

OWNER'S CERTIFICATION
T.P. 24-009A-,030-,0000-

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF CENTRE
ON THIS DAY OF , 2022, BEFORE ME THE UNDERSIGNED OFFICER PERSONALLY APPEARED, ELIZABETH GROVE, OWNER OF PGH REAL ESTATE HOLDING LLC, IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT SHE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF OF THE OWNER, AND THAT THE OWNER ACKNOWLEDGES THE SAME TO BE THEIR ACT AND DEED, AND THAT THE OWNER DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW..

SIGNATURE OF LAND OWNER REPRESENTATIVE
WITNESS MY HAND AND SEAL THIS DAY OF , 2022.

NOTARY PUBLIC COMMISSION EXPIRES

STORMWATER FACILITIES ACKNOWLEDGEMENT
I, THE LANDOWNER, ACKNOWLEDGE THAT THE STORMWATER MANAGEMENT SYSTEM IS TO BE MAINTAINED IN ACCORDANCE WITH THE APPROVED OWNERSHIP AND MAINTENANCE PROGRAM AND TO BE A PERMANENT FIXTURE WHICH CAN BE ALTERED OR REMOVED AFTER APPROVAL OF A REVISED PLAN BY FERGUSON TOWNSHIP.

DATE

DESIGN ENGINEER
I, JEFFERY R. BAUGHMAN, PE, DO HEREBY CERTIFY THAT THIS LAND DEVELOPMENT PLAN MEETS ALL DESIGN CRITERIA OF THE COLLEGE TOWNSHIP ZONING AND LAND DEVELOPMENT/SUBDIVISION REGULATIONS.

DESIGN ENGINEER STORMWATER CERTIFICATION
I, JEFFERY R. BAUGHMAN, PE, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE COLLEGE TOWNSHIP STORMWATER ORDINANCE.

FIRE DIRECTOR CERTIFICATION
THE FIRE DIRECTOR HAS REVIEWED THIS PLAN FOR COMPLIANCE WITH APPLICABLE FIRE PROTECTION STANDARDS AND DOES HEREBY CERTIFY THE COMPLIANCE WITH THOSE STANDARDS HAS BEEN DEMONSTRATED.

DATE

MUNICIPAL STORMWATER CERTIFICATION
I, , HAVE REVIEWED THE STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE FERGUSON TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

FERGUSON TOWNSHIP PLANNING COMMISSION
FERGUSON TOWNSHIP PLANNING COMMISSION APPROVED:

CHAIR DATE

SECRETARY DATE

FERGUSON TOWNSHIP COUNCIL
FERGUSON TOWNSHIP COUNCIL APPROVED:

CHAIR DATE

SECRETARY DATE

RECORDER OF DEEDS

PRELIMINARY LAND DEVELOPMENT PLAN
125 E PINE GROVE ROAD DEVELOPMENT
PGH REAL ESTATE HOLDINGS LLC

FERGUSON TOWNSHIP
CENTRE COUNTY, PENNSYLVANIA
OCTOBER 7, 2022

PROJECT LOCATION

PROJECT LOCATION

KEY MAP

SCALE: 1"=500'

GENERAL NOTES:
1. THIS PLAN IS TO EXPAND PARKING FOR A PROPOSED COMMERCIAL BUSINESS AT 125 E PINE GROVE ROAD.
2. UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE BASED ON ABOVE GROUND APPURTENANCES AND SUPPLEMENTAL INFORMATION SUPPLIED BY THE UTILITY PROVIDERS. NO LOCATION BY EXCAVATION WAS COMPLETED.
3. NO CONSTRUCTION MATERIALS, DEBRIS, CLEANING SOLUTIONS, WASH WATER OR OTHER FORMS OF ILLICIT DISCHARGES SHALL ENTER THE STORM SEWER SYSTEM.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION.
5. WORK SITE SHALL BE PROTECTED AT ALL TIMES. BARRICADES, WARNING SIGNS, GUARDS, LIGHTS, ETC. SHALL BE ERRECTED AS REQUIRED. NO TRENCHES OR EXCAVATIONS MAY REMAIN OPEN OVERNIGHT OR BE LEFT UNPROTECTED.
6. ALL CONSTRUCTION AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF PENN D.O.T. PUBLICATION 408 AND THESE DRAWINGS, WHERE THESE DOCUMENTS CONFLICT, THE MOST RESTRICTIVE SHALL APPLY.
7. ALL WORK RELATING TO THIS PROJECT SHALL BE SUBJECT TO ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, AND REGULATIONS REGARDING OCCUPATIONAL SAFETY AND HEALTH, ENVIRONMENTAL PROTECTION, AND CONSTRUCTION STANDARDS. NOTHING CONTAINED IN THE SPECIFICATIONS OR THE DRAWINGS SHALL BE CONSTRUED TO CONFLICT WITH SUCH LAWS, CODES, ORDINANCES, OR REGULATIONS, AND IN THE EVENT OF SUCH CONFLICT ANY REQUIREMENT IMPOSED BY LAW, ORDINANCE, OR REGULATION SHALL BE DEEMED CONTROLLING.
8. CONTRACTOR SHALL NOT DISTURB ANY GROUND BEYOND THE IMMEDIATE AREA REQUIRED FOR THE EX. DEMOLITION AND THE NEW CONSTRUCTION. CONTRACTOR SHALL MINIMIZE EXCAVATION, DISTURBANCE AND COMPACTION WITHIN THE IMMEDIATE CONSTRUCTION AREA. ALL DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS.
9. ALL EXISTING CONCRETE, ASPHALT PAVEMENT, ETC, THAT IS NOT SPECIFIED FOR REPLACEMENT SHALL BE PROTECTED DURING CONSTRUCTION (SPECIFICALLY, CONSTRUCTION VEHICLES ENTERING THE SITE).
10. NO UTILITIES, OTHER THAN THOSE INDICATED, SHALL BE INTERRUPTED OR DISTURBED FOR THIS PROJECT.
11. COMPACT EACH LAYER TO THE REQUIRED PERCENTAGE OF MAXIMUM DRY DENSITY OR RELATIVE DRY DENSITY FOR EACH AREA CLASSIFICATION INDICATED BELOW. BEFORE COMPACTION, MOISTEN OR AERATE EACH LAYER AS NECESSARY TO PROVIDE OPTIMUM MOISTURE CONTENT. SEE ENGINEER FOR COMPLETE SPECIFICATIONS. PERCENTAGE OF MAXIMUM DENSITY REQUIREMENTS: COMPACT SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DENSITY, IN ACCORDANCE WITH ASTM D 1557 (MODIFIED PROCTOR):
A. UNDER STRUCTURES, BUILDING SLABS AND STEPS, COMPACT TOP 12 INCHES OF SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 95 PERCENT MAXIMUM DENSITY.
B. UNDER LAWN OR UNPAVED AREAS, COMPACT TOP 6 INCHES OF SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 90 PERCENT MAXIMUM DENSITY.
C. UNDER WALKWAYS, COMPACT TOP 6 INCHES OF SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 95 PERCENT MAXIMUM DENSITY.
15. FURNISH BACKFILL AND FILL SOIL MATERIALS FREE OF CLAY, ROCK, OR GRAVEL LARGER THAN 2 INCHES IN ANY DIMENSION; DEBRIS; WASTE; FROZEN MATERIALS; VEGETATION; AND OTHER DELETERIOUS MATTER. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. DO NOT PLACE BACKFILL OR FILL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN, OR CONTAIN FROST OR ICE.
16. ALL EXCAVATION IS UNCLASSIFIED AND INCLUDES (WITHOUT LIMITATION THERETO) THE EXCAVATION AND REMOVAL OF ALL SOIL, SHALE, ROCK OR ROCK FORMATIONS, BOULDERS, EXISTING FOUNDATIONS, FILL, AND ANY TYPE OF SUBSURFACE CONDITION ENCOUNTERED IN THE CONTRACT AREA. NO CLAIMS FOR EXTRA COMPENSATION OR EXTENSION OF CONTRACT TIME BECAUSE OF THE NATURE OF SUBSURFACE CONDITIONS ENCOUNTERED WILL BE CONSIDERED.
17. THE CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND CONSTRUCTING STABLE, TEMPORARY EXCAVATIONS AND SHOULD SHORE, SLOPE, OR BENCH THE SIDES OF THE EXCAVATIONS AS REQUIRED TO MAINTAIN STABILITY OF BOTH THE EXCAVATION SIDES AND BOTTOM. THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING THE GUIDELINES PRESENTED IN FEDERAL REGISTER, VOLUME 54, NO. 209 (OCTOBER 1989), THE UNITED STATES DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SECTION TITLED "CONSTRUCTION STANDARDS FOR EXCAVATION, 29 CFR, PART 1926, SUBPART P."

DRAWING INDEX

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C07 EROSION AND SEDIMENT CONTROL PLAN
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L01 LANDSCAPE PLAN
L01 LANDSCAPE DETAILS
LIGHTING PLAN:
E.01 LEGEND AND GENERAL NOTES
E1.0 SITE PLAN
E1.1 LIGHTING CALCULATIONS
E2.0 DETAILS AND DIAGRAMS

SITE INFORMATION

A. OWNER OF RECORD: PGH REAL ESTATE HOLDINGS LLC
B. TAX PARCEL: 24-009A-,030-,0000-
C. DEED BOOK/PAGE NUMBER: DB 2052 PG 0022
D. PROPERTY SIZE: 0.496 AC.
E. ZONING: COMMICAL
F. SITE USE EXISTING: STRUCTURE / YARD
G. SITE USE PROPOSED: STRUCTURE / YARD / PARKING LOT
IMPERVIOUS CHANGE: 16,941 SF

LOCATION MAP

125 E PINE GROVE ROAD DEVELOPMENT

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA ! CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY

STAHL SHEAFFER
ENGINEERING

301 SCIENCE PARK ROAD, SUITE 333
STATE COLLEGE, PA 16803
TEL: 814-689-1562
FAX: 814-689-1885
www.stahlsheaffer.com

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
JEFFERY R. BAUGHMAN
ENGINEER
PE0083227

SURVEYOR ----- CES
CADD ----- JUN
DESIGNER ----- DDC
MANAGER ----- MRV
FILE: 21-330_ELIZABETH GROVE ADD PARKING_LD_COVER.DWG

REVISIONS

PGH REAL ESTATE HOLDINGS LLC

125 E PINE GROVE ROAD DEVELOPMENT

FERGUSON TOWNSHIP, CENTRE COUNTY, PA

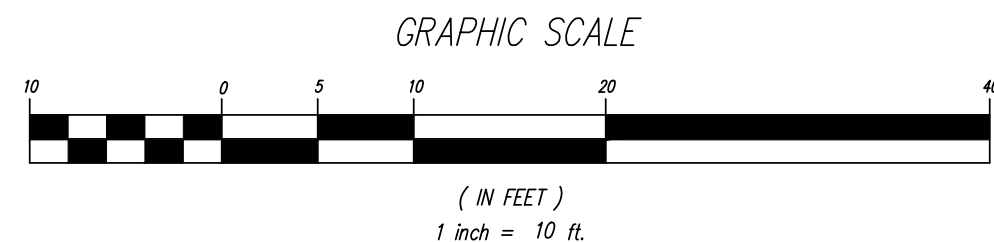
SHEET NAME

COVER SHEET

PROJECT NO. 21-330
DATE 10/07/2022

SCALE SHEET NO.
N.T.S. A1

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ISTING
ILDING

DB-2235 PG-0548
TAX ID: 24-009A,028--0000

COVERED PORCH
ELEV: 1283.24
5.0' x 5.0'

N/F
PGH REAL ESTATE HOLDINGS LLC
DB-2235 PG-0548
TAX ID: 24-009A,029--0000

S53° 33' 11"E 71.56'

S40° 12' 24"W 12.73'

EXISTING DWELLING
F.F.E= 1287.15

EAST PINE GROVE ROAD
SR. 28 (ROW VARIES)

PROPOSED LIMITS OF
DISTURBANCE (0.51 AC)

PEAR TREES
TBR

N/F
DEAN & LINDA SPANOS
DB-2052 PG-0022
TAX ID: 24-009A,030--0000

GARDEN
TBR

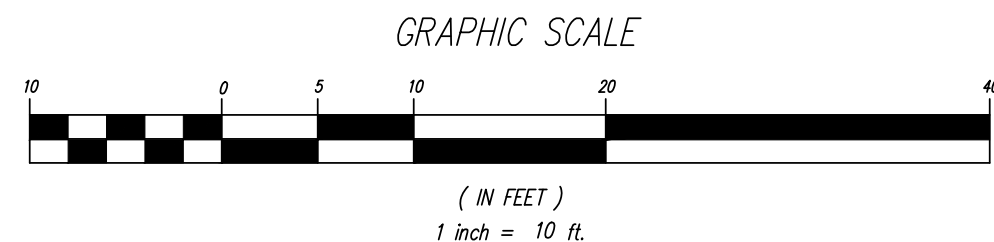
24" DECIDUOUS TREE
TBR

18" DECIDUOUS TREE
TBR

DECIDUOUS
BUSHES
TBR

EXISTING
MINOR CONTOUR
MAJOR CONTOUR
PROPERTY BOUNDARY
ADJOINER PROPERTY BOUNDARY
PAVED EDGE OF ROAD
CURBING
SIDEWALK
BUILDING
STORMWATER LINE
SANITARY SEWER LINE
WATER LINE
WATER VALVE
UNDERGROUND TELECOM LINE
OVERHEAD TELECOM LINE
OVERHEAD ELECTRIC LINE
UNDERGROUND ELECTRIC LINE
SITE LIGHTING
UTILITY POLE
WOOD LINE
SOILS BOUNDARY
SOILS SYMBOL

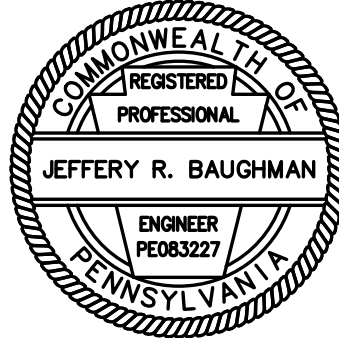
500
SAN
W
UC
OHC
OHE
UE
MhB



N/F
GERALD A. & KELLY J. GREENLAND
DB-0993 PG-0012
TAX ID: 24-009A,031--0000

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SURVEYOR ----- CES
CADD ----- JUN
DESIGNER ----- DDC
MANAGER ----- MRV
FILE:
21-330 DESIGN.DWG

REVISIONS

PGH REAL
ESTATE
HOLDINGS LLC

125 E PINE
GROVE ROAD
DEVELOPMENT

FERGUSON TOWNSHIP,
CENTRE COUNTY, PA

SHEET NAME

DEMOLITION PLAN

PROJECT NO.

21-330

DATE

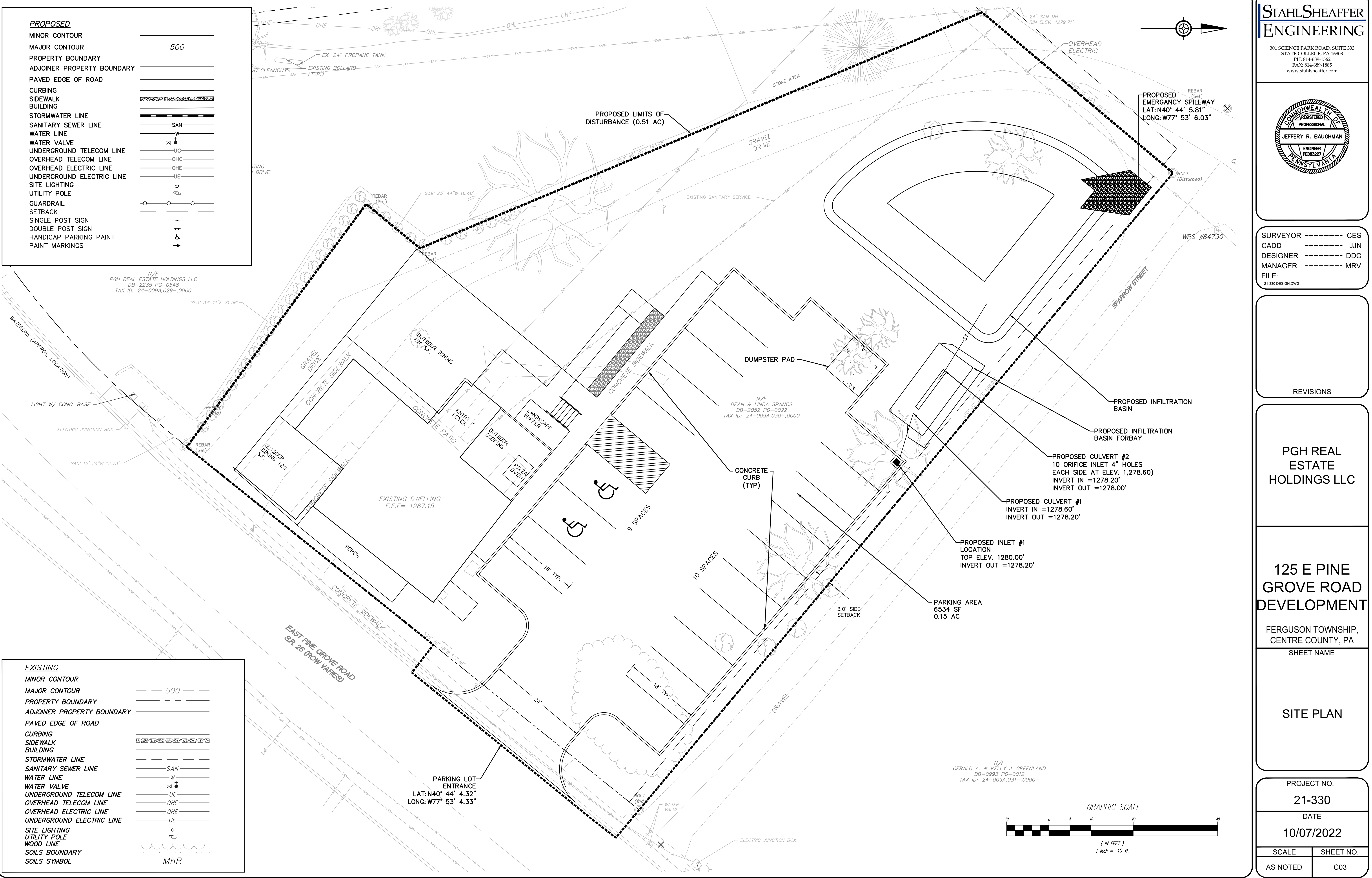
10/07/2022

SCALE

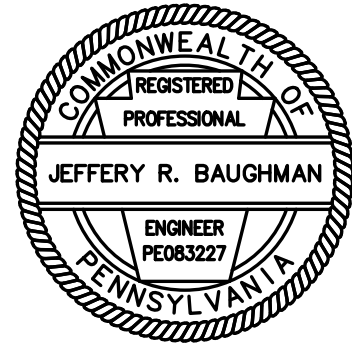
AS NOTED

SHEET NO.

C02



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CADD ----- JUN
DESIGNER ----- DDC
MANAGER ----- MRV
FILE: 21-330 DESIGN.DWG

REVISIONS

PGH REAL ESTATE HOLDINGS LLC

125 E PINE GROVE ROAD DEVELOPMENT

FERGUSON TOWNSHIP,
CENTRE COUNTY, PA
SHEET NAME

SITE PLAN

PROJECT NO.

21-330

DATE

10/07/2022

SCALE

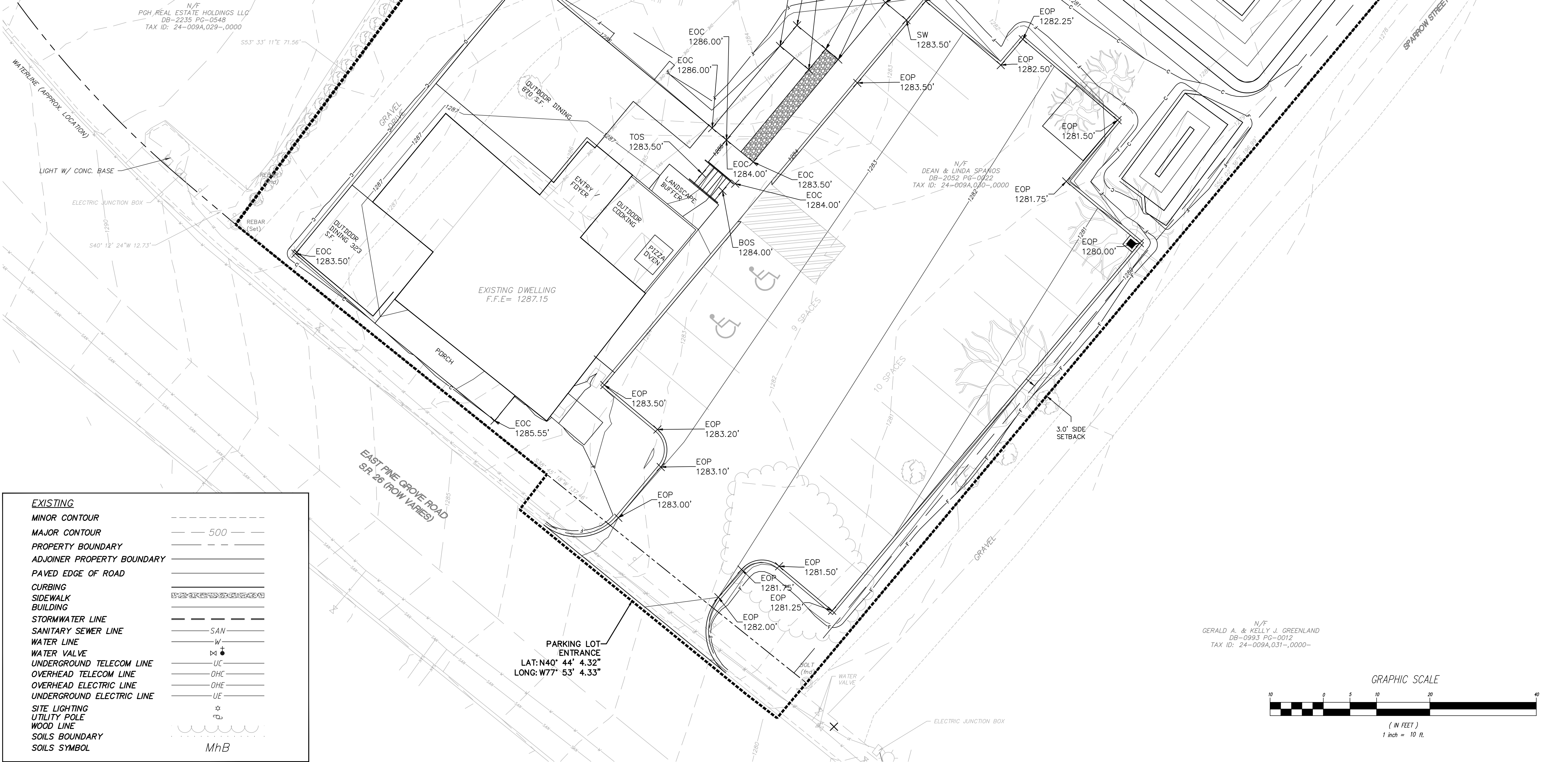
AS NOTED

SHEET NO.

C03

PROPOSED

MINOR CONTOUR
MAJOR CONTOUR
PROPERTY BOUNDARY
ADJOINER PROPERTY BOUNDARY
PAVED EDGE OF ROAD
CURBING
SIDEWALK
BUILDING
STORMWATER LINE
SANITARY SEWER LINE
WATER LINE
WATER VALVE
UNDERGROUND TELECOM LINE
OVERHEAD TELECOM LINE
OVERHEAD ELECTRIC LINE
UNDERGROUND ELECTRIC LINE
SITE LIGHTING
UTILITY POLE
GUARDRAIL
SETBACK
SINGLE POST SIGN
DOUBLE POST SIGN
HANDICAP PARKING PAINT
PAINT MARKINGS

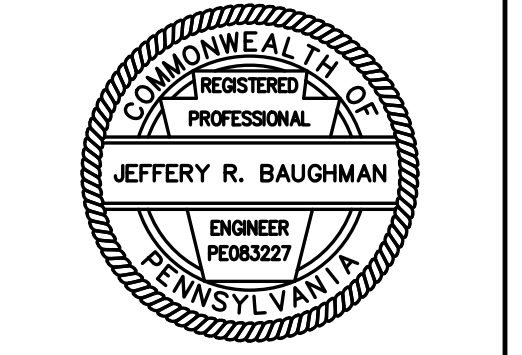


EXISTING

MINOR CONTOUR
MAJOR CONTOUR
PROPERTY BOUNDARY
ADJOINER PROPERTY BOUNDARY
PAVED EDGE OF ROAD
CURBING
SIDEWALK
BUILDING
STORMWATER LINE
SANITARY SEWER LINE
WATER LINE
WATER VALVE
UNDERGROUND TELECOM LINE
OVERHEAD TELECOM LINE
OVERHEAD ELECTRIC LINE
UNDERGROUND ELECTRIC LINE
SITE LIGHTING
UTILITY POLE
WOOD LINE
SOILS BOUNDARY
SOILS SYMBOL

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DESIGNER ----- DDC
MANAGER ----- MRV
FILE: 21-330 DESIGN.DWG

REVISIONS

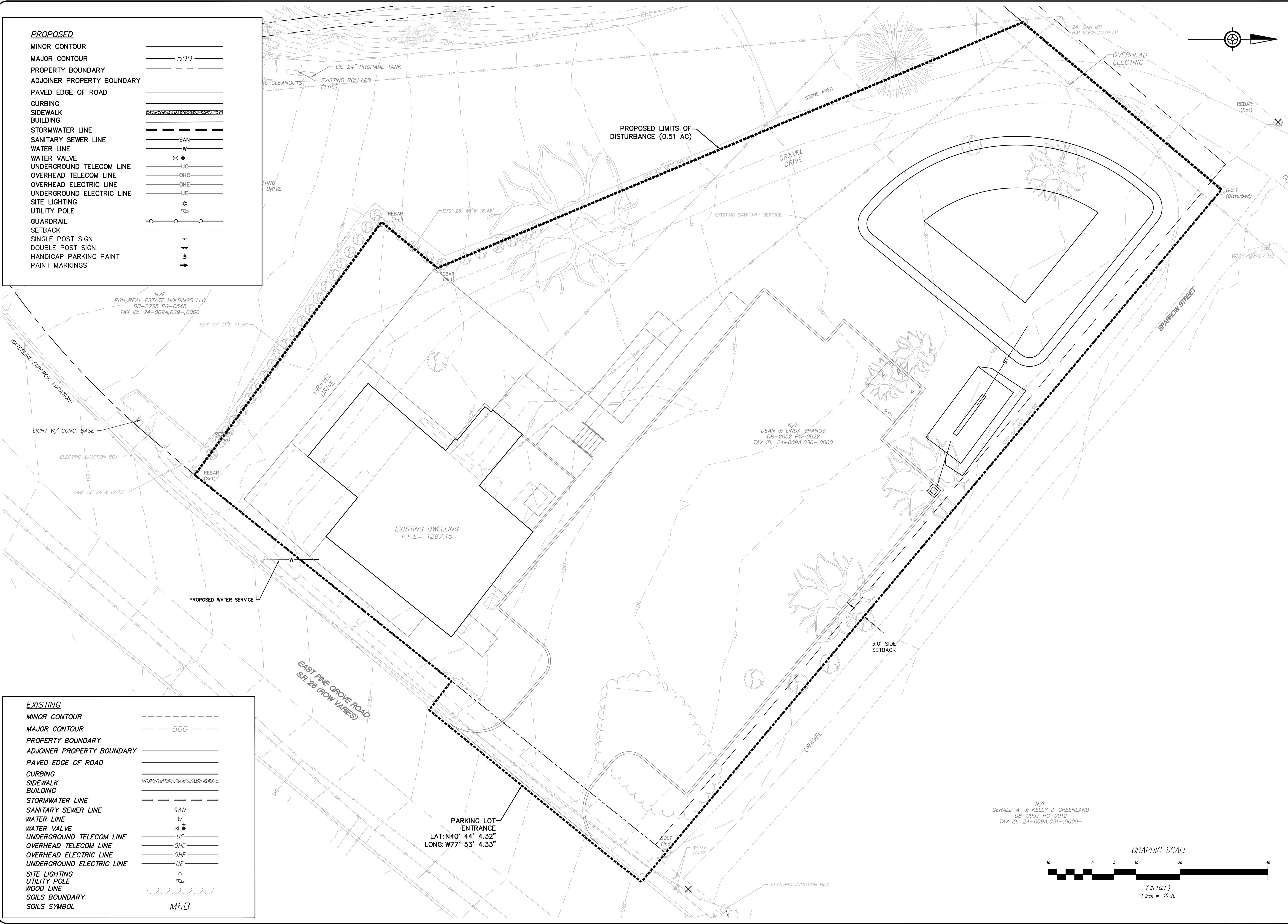
**PGH REAL
ESTATE
HOLDINGS LLC**

**125 E PINE
GROVE ROAD
DEVELOPMENT**

FERGUSON TOWNSHIP,
CENTRE COUNTY, PA
SHEET NAME

GRADING PLAN

PROJECT NO.
21-330
DATE
10/07/2022
SCALE SHEET NO.
AS NOTED C04



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COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
JEFFERY R. BAUGHMAN
ENGINEER
PE008327

SURVEYOR ----- CES
CADD ----- JUN
DESIGNER ----- DDC
MANAGER ----- MRV
FILE: 21-330 DESIGN.DWG

REVISIONS

**PGH REAL ESTATE
HOLDINGS LLC**

**125 E PINE GROVE ROAD
DEVELOPMENT**

FERGUSON TOWNSHIP,
CENTRE COUNTY, PA

























SHEET NAME

UTILITY PLAN

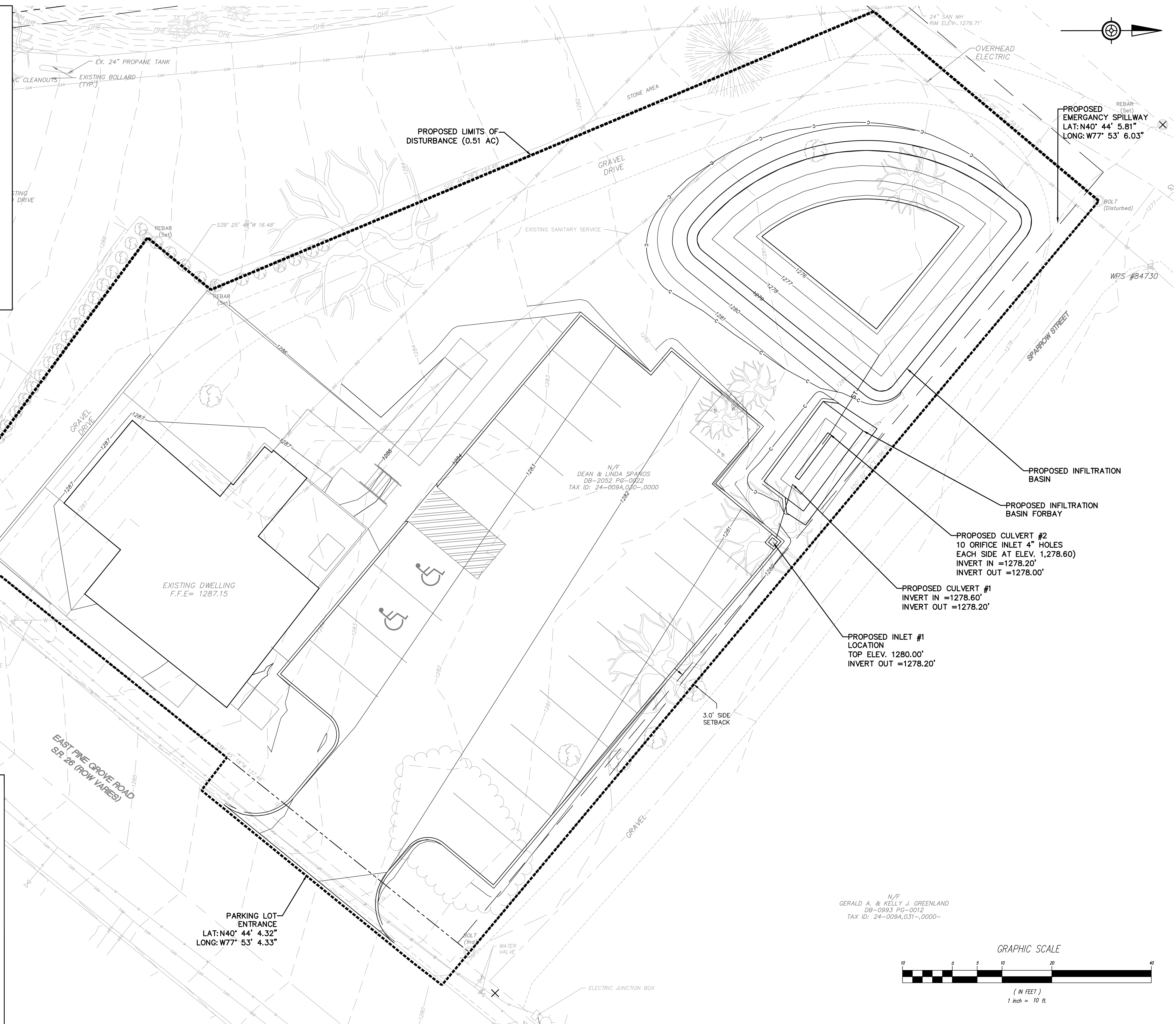
PROJECT NO.
21-330

DATE
10/07/2022

SCALE AS NOTED	SHEET NO. C05
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MINOR CONTOUR	
MAJOR CONTOUR	
PROPERTY BOUNDARY	
ADJOINER PROPERTY BOUNDARY	
PAVED EDGE OF ROAD	
CURBING	
SIDEWALK	
BUILDING	
STORMWATER LINE	
SANITARY SEWER LINE	
WATER LINE	
WATER VALVE	
UNDERGROUND TELECOM LINE	
OVERHEAD TELECOM LINE	
OVERHEAD ELECTRIC LINE	
UNDERGROUND ELECTRIC LINE	
SITE LIGHTING	
UTILITY POLE	
GUARDRAIL	
SETBACK	
SINGLE POST SIGN	
DOUBLE POST SIGN	
HANDICAP PARKING PAINT	
PAINT MARKINGS	

<u>EXISTING</u>	
MINOR CONTOUR	-----
MAJOR CONTOUR	----- 500 -----
PROPERTY BOUNDARY	-----
ADJOINER PROPERTY BOUNDARY	-----
PAVED EDGE OF ROAD	=====
CURBING	=====
SIDEWALK	=====
BUILDING	=====
STORMWATER LINE	-----
SANITARY SEWER LINE	----- SAN -----
WATER LINE	----- W -----
WATER VALVE	⊕ ⊗
UNDERGROUND TELECOM LINE	----- UC -----
OVERHEAD TELECOM LINE	----- OHC -----
OVERHEAD ELECTRIC LINE	----- OHE -----
UNDERGROUND ELECTRIC LINE	----- UE -----
SITE LIGHTING	☆
UTILITY POLE	⊙
WOOD LINE	~~~~~
SOILS BOUNDARY	-----
SOILS SYMBOL	MhB



C06

PROPOSED

MINOR CONTOUR

MAJOR CONTOUR

PROPERTY BOUNDARY

ADJOINER PROPERTY BOUNDARY

PAVED EDGE OF ROAD

CURBING

SIDEWALK

BUILDING

STORMWATER LINE

SANITARY SEWER LINE

WATER LINE

WATER VALVE

UNDERGROUND TELECOM LINE

OVERHEAD TELECOM LINE

OVERHEAD ELECTRIC LINE

UNDERGROUND ELECTRIC LINE

SITE LIGHTING

UTILITY POLE

GUARDRAIL

SETBACK

SINGLE POST SIGN

DOUBLE POST SIGN

HANDICAP PARKING PAINT

PAINT MARKINGS

N/F
PGH, REAL ESTATE HOLDINGS LLC
DB-2235 PG-0548
TAX ID: 24-009A,029-0000

WATERLINE (APPROX. LOCATION)

LIGHT W/ CONC. BASE

ELECTRIC JUNCTION BOX

PROPOSED WATER SERVICE

EXISTING DWELLING
F.F.E= 1287.15

GRAVEL DRIVE

EXISTING BOLLARD (TYP.)

EX. 24" PROPANE TANK

EXISTING ROAD TO BE UTILIZED AS RCE DURING CONSTRUCTION

OVERHEAD ELECTRIC

PROPOSED ROCK CONSTRUCTION ENTRANCE

STONE AREA

GRAVEL DRIVE

EXISTING SANITARY SERVICE

PROPOSED LIMITS OF DISTURBANCE (0.51 AC)

REBAR (Set)

CFS 2

CFS 1

BOLT (Disturbed)

WPS #84730

SPARROW STREET

INLET FILTER BAG

GRAVEL

ELECTRIC JUNCTION BOX

WATER VALVE

BOLT (Disturbed)

WATER LINE

WATER VALVE

UNDERGROUND TELECOM LINE

OVERHEAD TELECOM LINE

OVERHEAD ELECTRIC LINE

UNDERGROUND ELECTRIC LINE

SITE LIGHTING

UTILITY POLE

GUARDRAIL

SETBACK

SINGLE POST SIGN

DOUBLE POST SIGN

HANDICAP PARKING PAINT

PAINT MARKINGS

EXISTING

MINOR CONTOUR

MAJOR CONTOUR

PROPERTY BOUNDARY

ADJOINER PROPERTY BOUNDARY

PAVED EDGE OF ROAD

CURBING

SIDEWALK

BUILDING

STORMWATER LINE

SANITARY SEWER LINE

WATER LINE

WATER VALVE

UNDERGROUND TELECOM LINE

OVERHEAD TELECOM LINE

OVERHEAD ELECTRIC LINE

UNDERGROUND ELECTRIC LINE

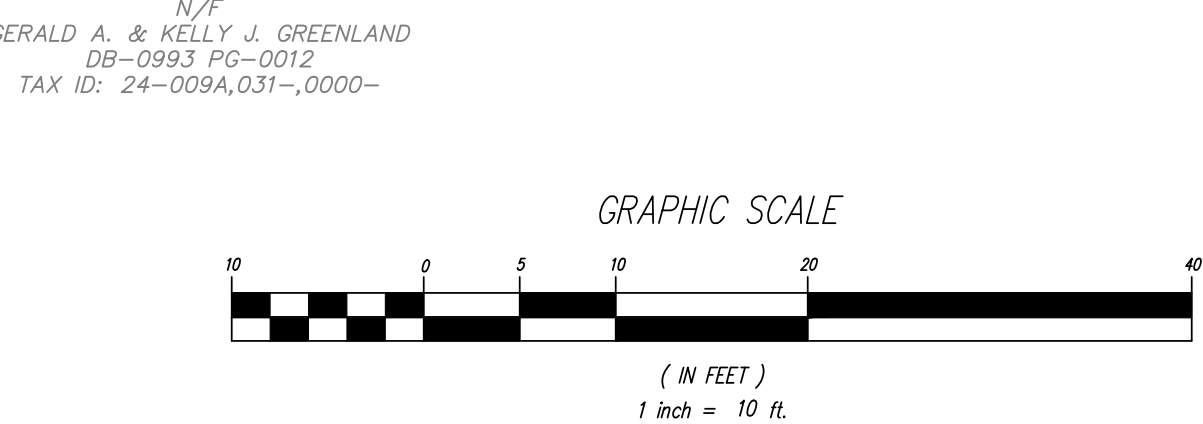
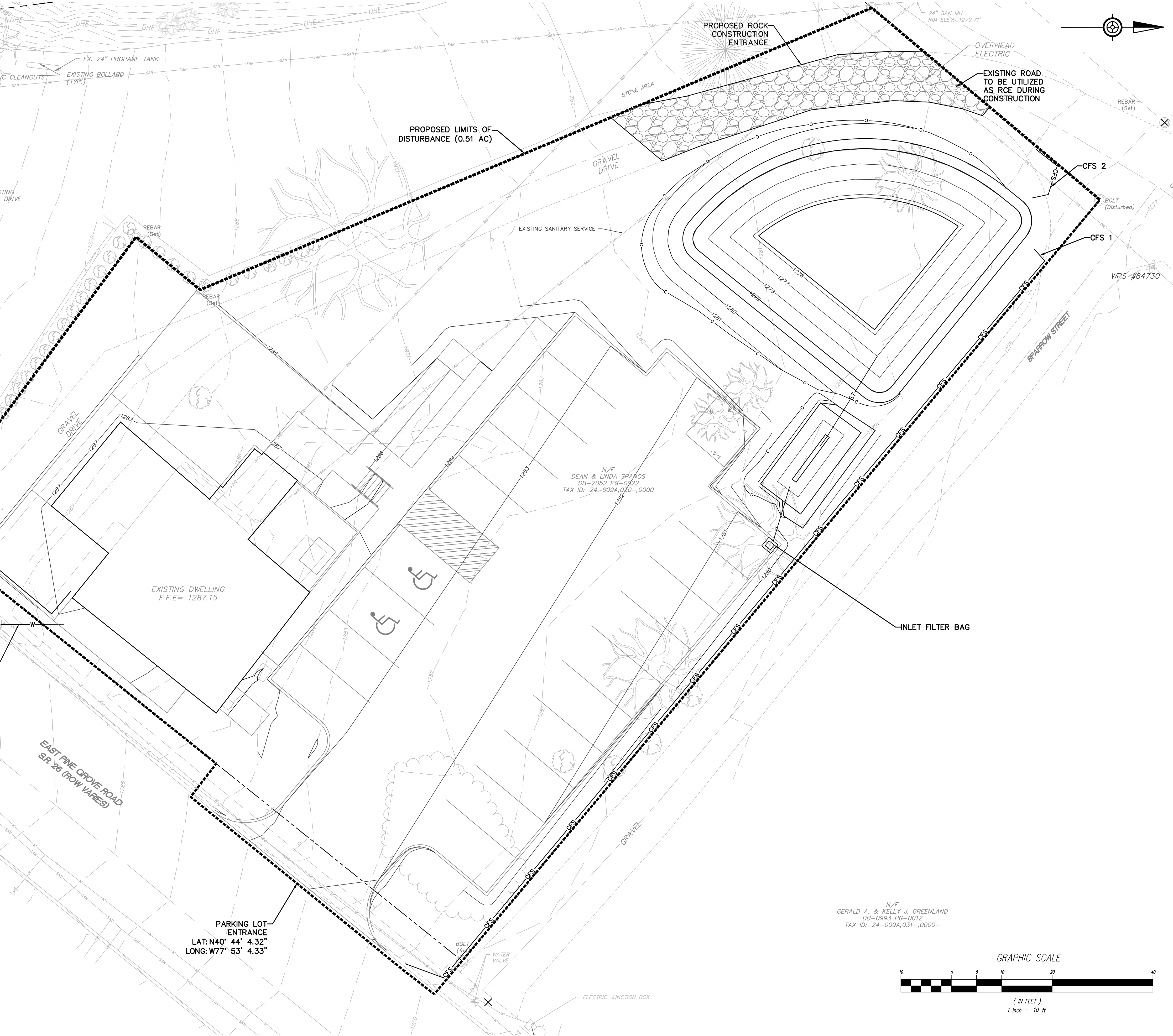
SITE LIGHTING

UTILITY POLE

WOOD LINE

SOILS BOUNDARY

SOILS SYMBOL



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COMMONWEALTH OF PENNSYLVANIA
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ENGINEER
P.E. #008327

SURVEYOR ----- CES
CADD ----- JUN
DESIGNER ----- DDC
MANAGER ----- MRV
FILE:
21-330 DESIGN.DWG

REVISIONS

PGH REAL ESTATE HOLDINGS LLC

125 E PINE GROVE ROAD DEVELOPMENT

FERGUSON TOWNSHIP, CENTRE COUNTY, PA

SHEET NAME

EROSION AND SEDIMENT CONTROL PLAN

PROJECT NO.
21-330

DATE
10/07/2022

SCALE AS NOTED	SHEET NO. C07
-------------------	------------------

PROPOSED

MINOR CONTOUR

MAJOR CONTOUR

PROPERTY BOUNDARY

ADJOINER PROPERTY BOUNDARY

PAVED EDGE OF ROAD

CURBING

SIDEWALK

BUILDING

STORMWATER LINE

SANITARY SEWER LINE

WATER LINE

WATER VALVE

UNDERGROUND TELECOM LINE

OVERHEAD TELECOM LINE

OVERHEAD ELECTRIC LINE

UNDERGROUND ELECTRIC LINE

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DOUBLE POST SIGN

HANDICAP PARKING PAINT

PAINT MARKINGS



EXISTING

MINOR CONTOUR

MAJOR CONTOUR

PROPERTY BOUNDARY

ADJOINER PROPERTY BOUNDARY

PAVED EDGE OF ROAD

CURBING

SIDEWALK

BUILDING

STORMWATER LINE

SANITARY SEWER LINE

WATER LINE

WATER VALVE

UNDERGROUND TELECOM LINE

OVERHEAD TELECOM LINE

OVERHEAD ELECTRIC LINE

UNDERGROUND ELECTRIC LINE

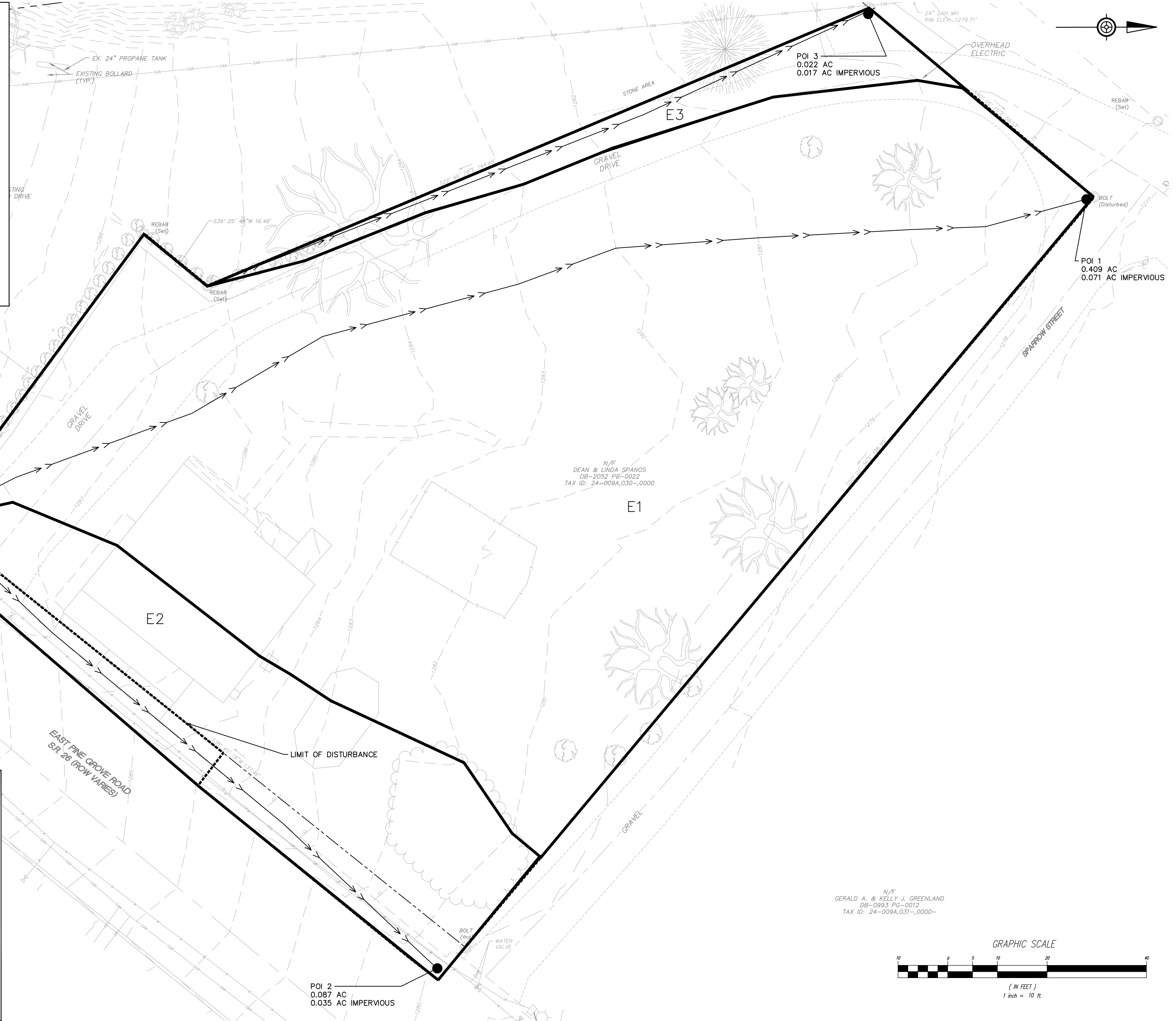
SITE LIGHTING

UTILITY POLE

WOOD LINE

SOILS BOUNDARY

SOILS SYMBOL



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JEFFERY R. BAUGHMAN
REGISTERED PROFESSIONAL ENGINEER
PENNSYLVANIA
ENGINEER REG-003227

SURVEYOR ----- CES
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MANAGER ----- MRV
FILE: 21-330 DESIGN.DWG

REVISIONS

PGH REAL ESTATE HOLDINGS LLC

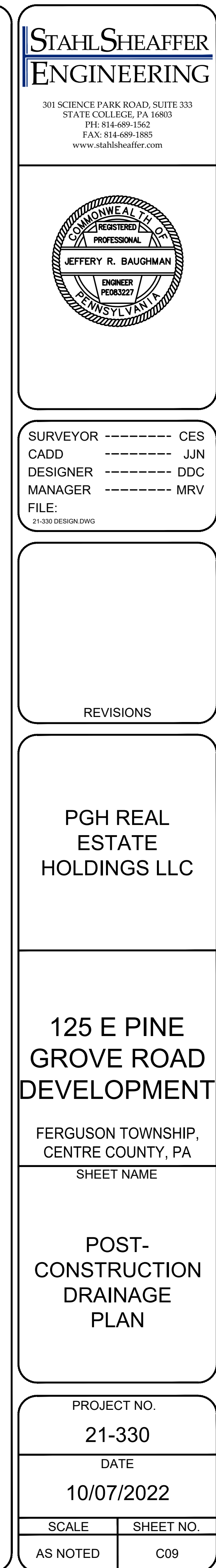
125 E PINE GROVE ROAD DEVELOPMENT

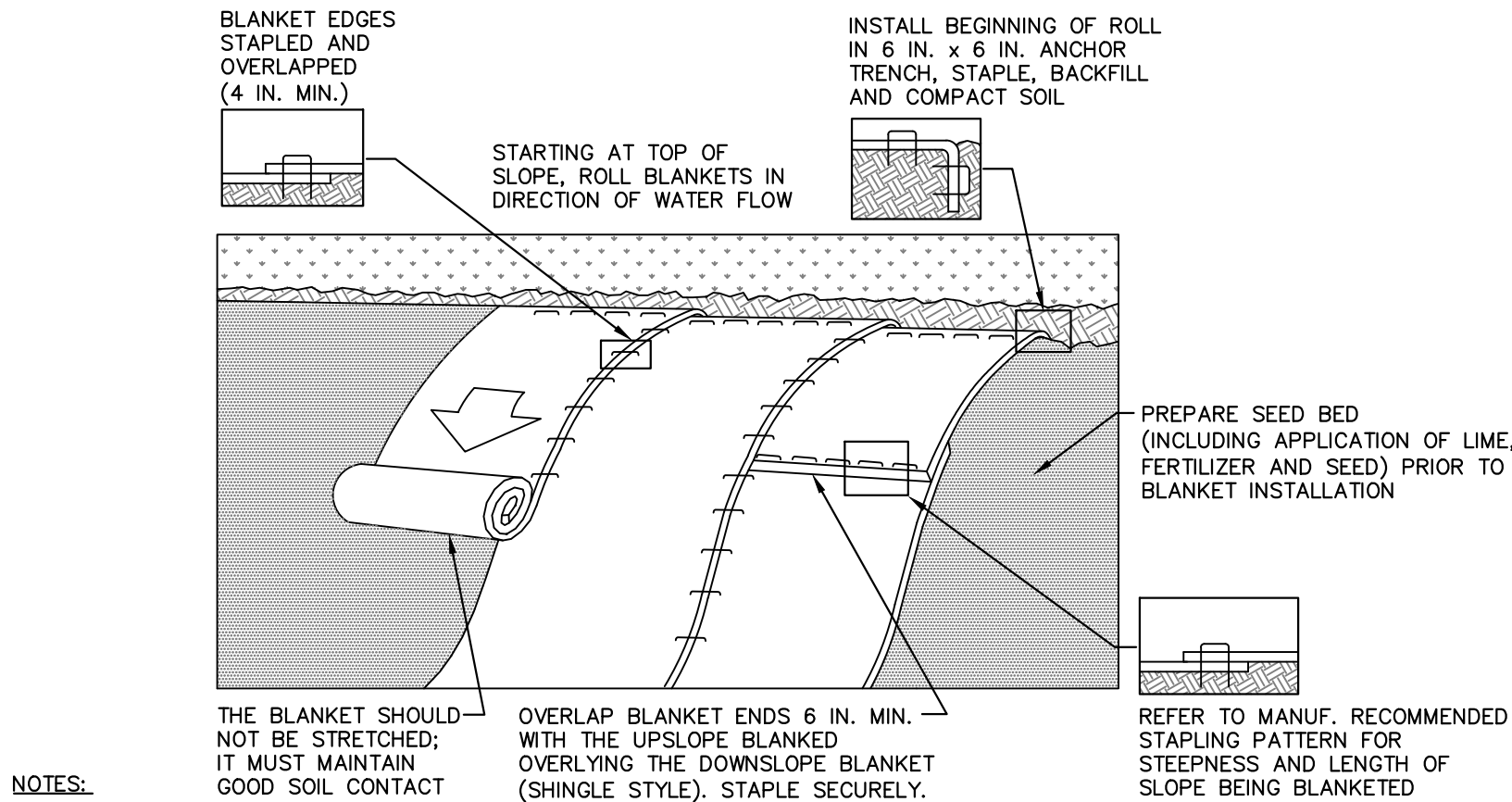
FERGUSON TOWNSHIP, CENTRE COUNTY, PA
SHEET NAME

PRE-CONSTRUCTION DRAINAGE PLAN

PROJECT NO. 21-330
DATE 10/07/2022

SCALE AS NOTED
SHEET NO. C08





NOTES:

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

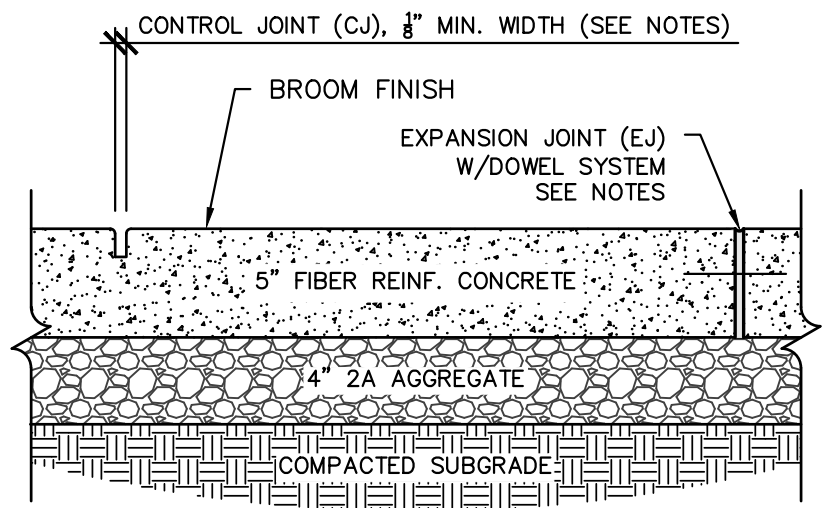
BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

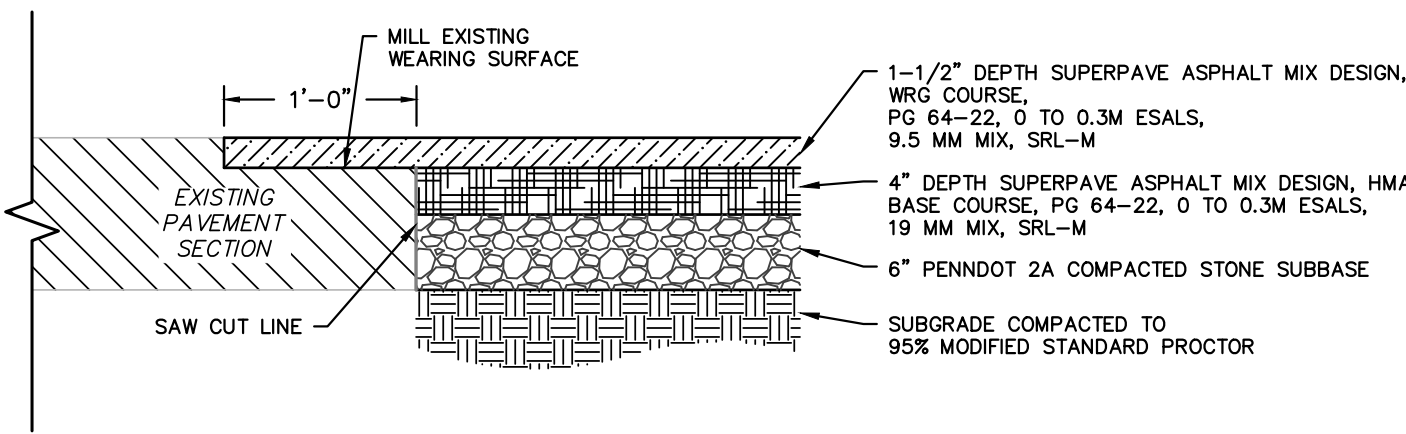
STANDARD CONSTRUCTION DETAIL EROSION CONTROL BLANKET INSTALLATION

NOT TO SCALE



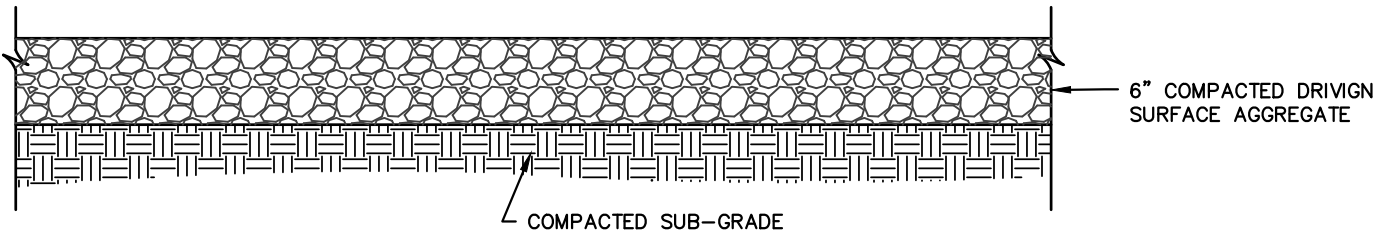
- NOTES:
1. SIDEWALK CROSS SLOPE NOT TO EXCEED 2%.
 2. PLACE EXPANSION JOINTS (EJ) AT 20'-0" O/C MAX, FOLLOWING THE GUIDELINES BELOW:
 - 2.1. INSTALL 5" LONG "SPEED LOAD" SLEEVES, BY GREENSTREAK (OR APPROVED EQUAL), AND 10" LONG, 1/2" SMOOTH DOWELS AT 42" O.C. (MINIMUM TWO DOWELS PER EJ)
 - 2.2. INSTALL ASPHALT IMPREGNATED MATERIAL, CLOSED-CELL BACKER ROD AND POLYURETHANE SEALANT.
 - 2.2.1. FOR JOINTS 1/4" TO 1/2" WIDE, THE SEALANT WIDTH TO DEPTH RATIO SHALL BE EQUAL.
 - 2.2.2. JOINTS GREATER THAN 1/2" WIDE, SEALANT DEPTH SHALL BE 1/2".
 - 2.3. PROTECT JOINT SEALANT FROM PEDESTRIAN AND VEHICULAR TRAFFIC UNTIL IT COMPLETELY CURES.
 3. SCORE LINES BETWEEN EXPANSION JOINTS TO BE 1-1/4" DEEP TOOLED CONTROL JOINTS (CJ) UNLESS OTHERWISE NOTED. SEE PLANS AND SPECS FOR SPACING.
 4. PROVIDE 1/2" ISOLATION JOINT WITH SEALANT ALONG BUILDING/RETAINING WALLS.

CONCRETE SIDEWALK N.T.S.



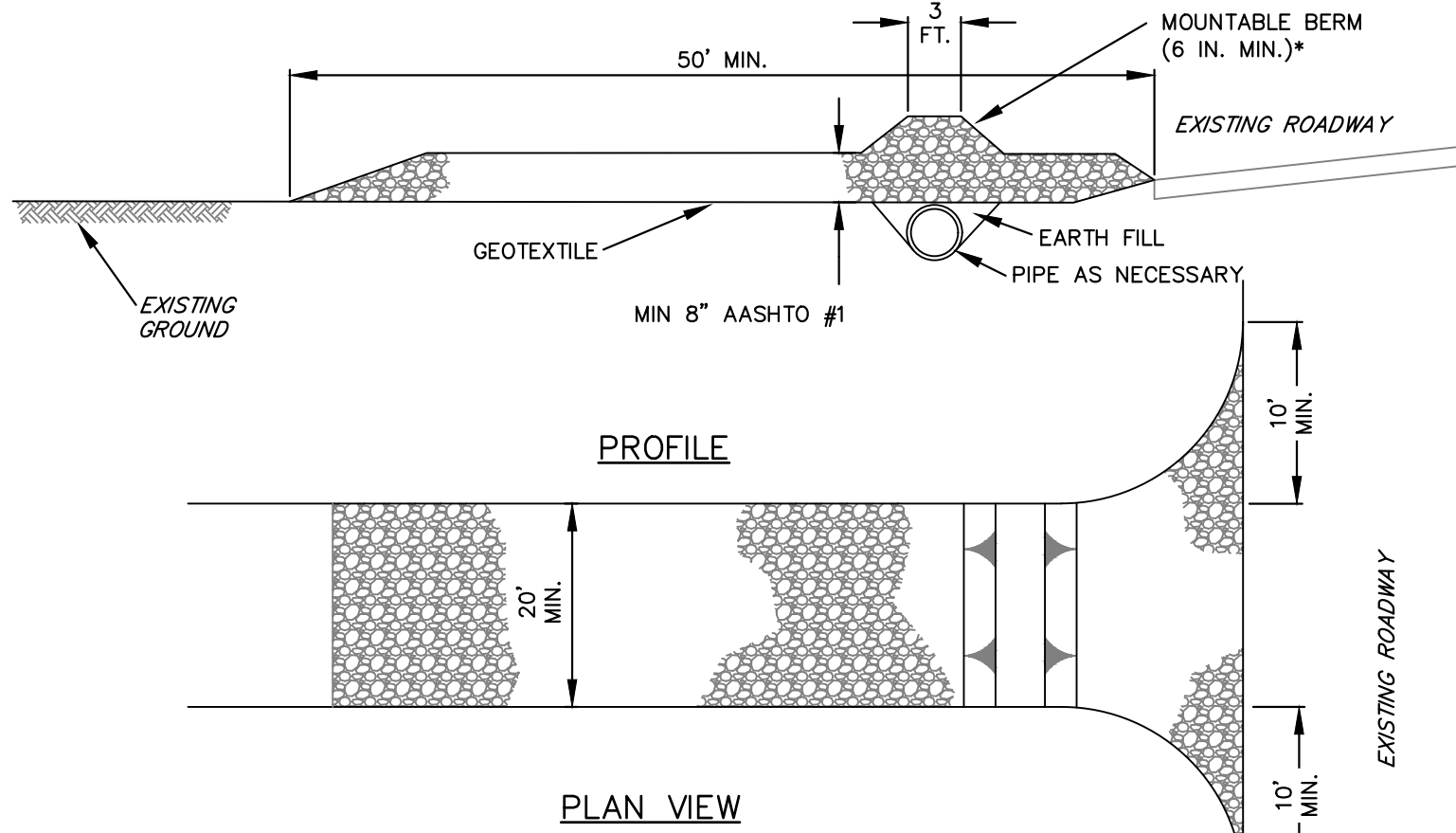
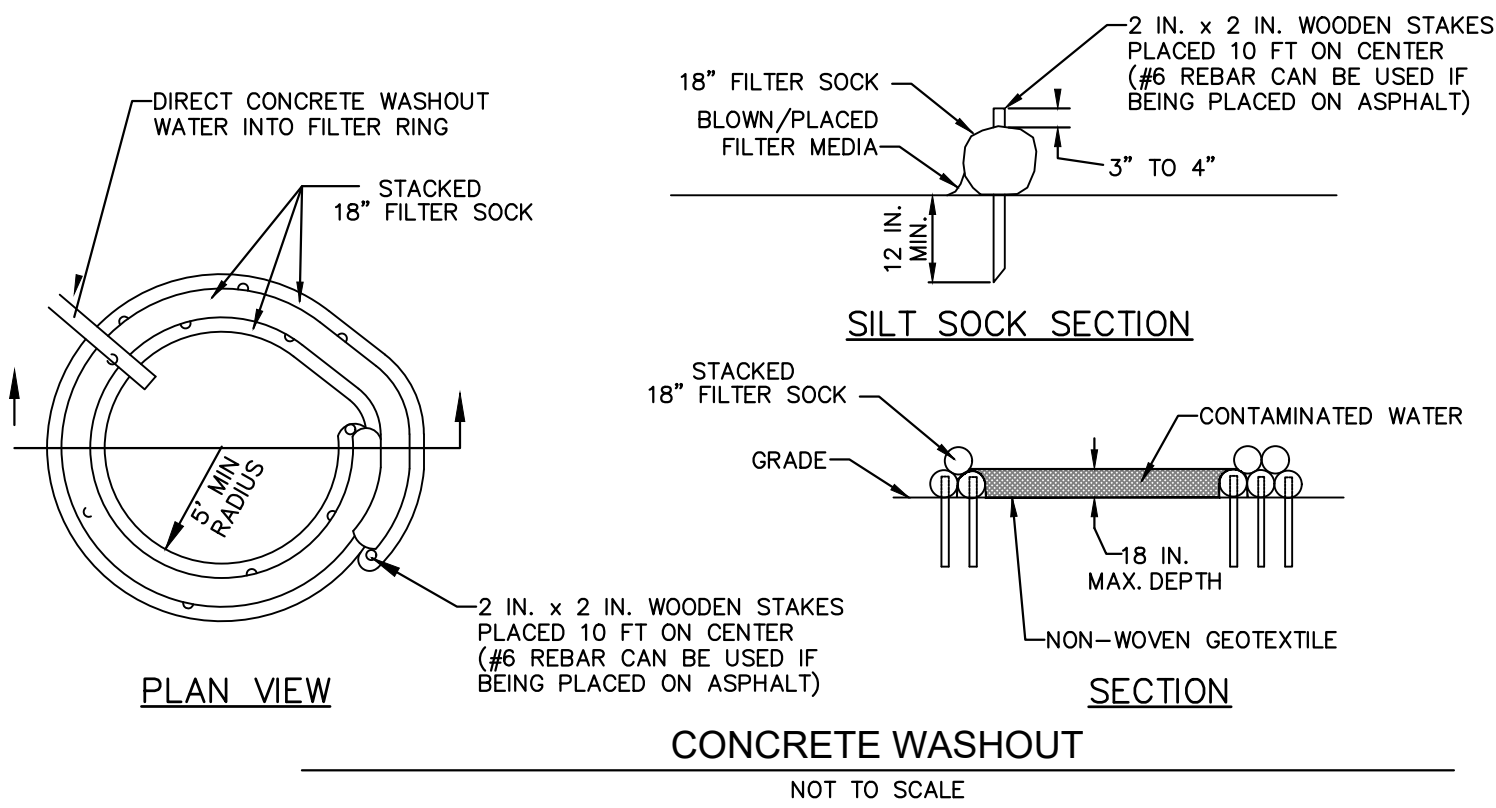
- NOTES:
1. SAWCUT & SEAL FINISHED JOINTS PER PENNDOT PUB 408, SECTION 469, CURRENT EDITION.

STANDARD ASPHALT PAVEMENT N.T.S.



- NOTES:
1. DRIVING SURFACE MIX SHALL MEET THE SPECIFICATIONS FOR "TRAIL AGGREGATE MIX" AS SPECIFIED IN THE "AGGREGATE HANDBOOK" PUBLISHED BY PENN STATE CENTER FOR DIRT & GRAVEL ROAD STUDIES.

DRIVING SURFACE AGGREGATE N.T.S.

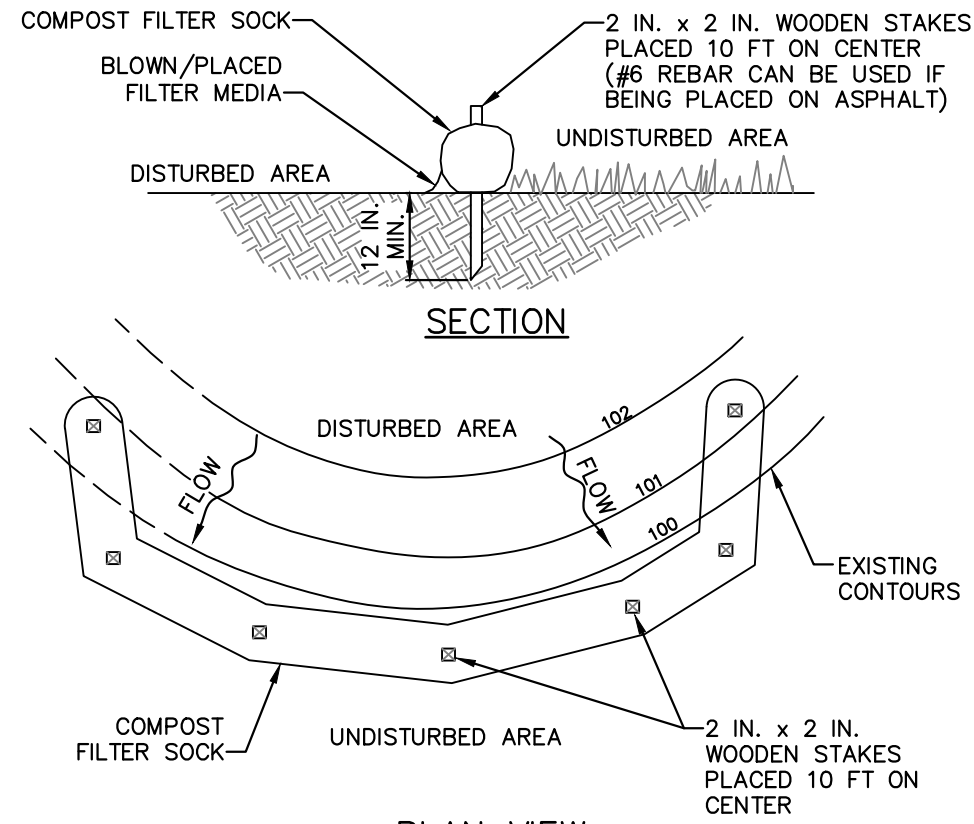


* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

- NOTES:
- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. INSTALL GEOTEXTILE AROUND INTERFACE AREAS WITH GROUND CONTACT. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
- MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
- MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.
- REMOVE THE ROCK CONSTRUCTION ENTRANCE WHEN NO LONGER REQUIRED. REMOVE AND PROPERLY DISPOSE OF ALL ROCK, GEOTEXTILE AND ACCUMULATED SEDIMENT. BACK FILL AND STABILIZE PAVING AS INDICATED IN THE PLANS

STANDARD CONSTRUCTION DETAIL ROCK CONSTRUCTION ENTRANCE

NOT TO SCALE

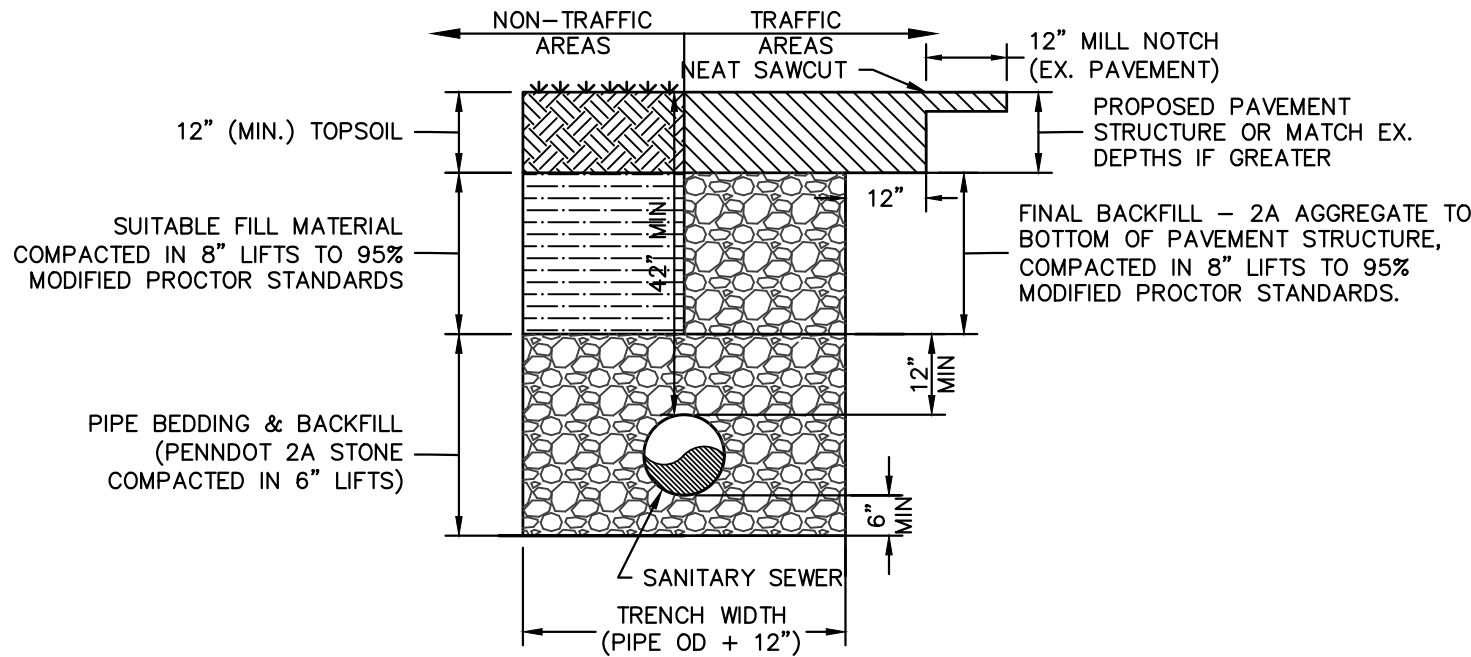


SOCK NO.	DIAMETER	LOCATION	SLOPE PERCENT	SLOPE LENGTH ABOVE BARRIER
1	12"	SPARROW ST	5.512%	127'
2	12"	POND	4.310%	73'
3	12"	POND	3.704%	15'

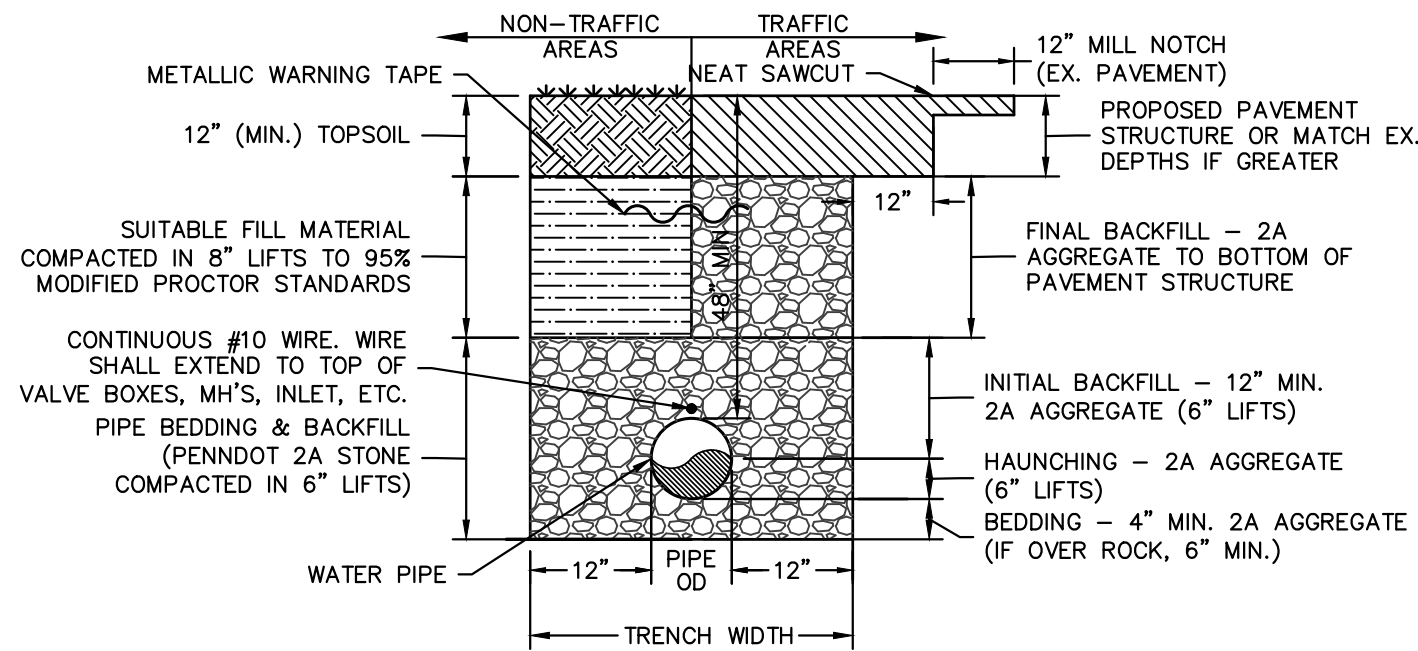
- NOTES:
- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
- COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
- COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
- BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL COMPOST FILTER SOCK

NOT TO SCALE



SANITARY SEWER INSTALLATION N.T.S.



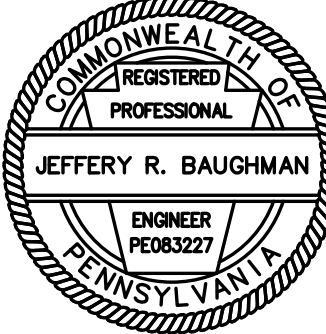
- NOTES:
1. WATER LINE MAX. DEPTH 8' TO CROWN OF PIPE
 2. CLAY DIKES INSTALLED ON PIPE RUNS OVER 300' IN LENGTH.

WATER LINE INSTALLATION N.T.S.

SIEVE SIZE	PERCENT PASSING
1.5"	100%
0.75"	65-95%
#4	30-65%
#16	15-30%
#200	10-15%

STAHL SHEAFFER ENGINEERING

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STATE COLLEGE, PA 16803
TEL: 814-689-1562
FAX: 814-689-1885
www.stahlsheaffer.com



SURVEYOR ----- CES
CADD ----- JUN
DESIGNER ----- DDC
MANAGER ----- MRV
FILE: 21-330 DESIGN.DWG

REVISIONS

PGH REAL
ESTATE
HOLDINGS LLC

125 E PINE
GROVE ROAD
DEVELOPMENT

FERGUSON TOWNSHIP,
CENTRE COUNTY, PA

SHEET NAME

DETAILS

PROJECT NO.

21-330

DATE

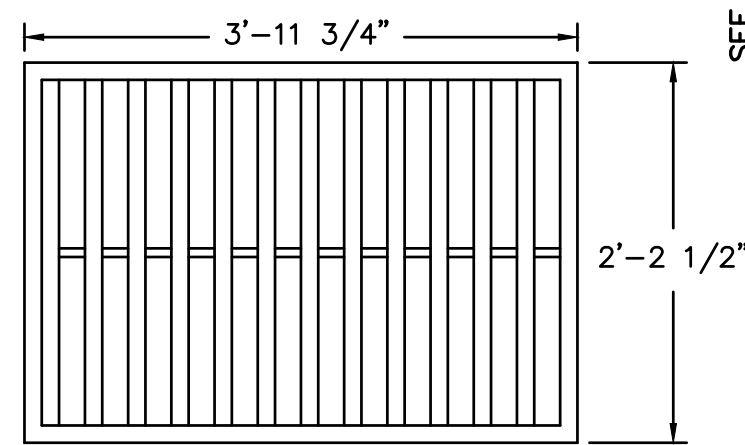
10/07/2022

SCALE

N.T.S.

SHEET NO.

D1



4" MIN.

9" MAX. HEIGHT

6" MIN.

3" MIN., 7" SHOWN AS TYP. FOR PRECAST

ADDITIONAL CONCRETE TO SHAPE THE BOTTOM

1. PLACE MATERIAL MEETING THE REQUIREMENTS OF PUBLICATION 408 SEC 350.2, IN 4" LAYERS COMPACTED TO A DENSITY SATISFACTORY TO THE ENGINEER. (1)

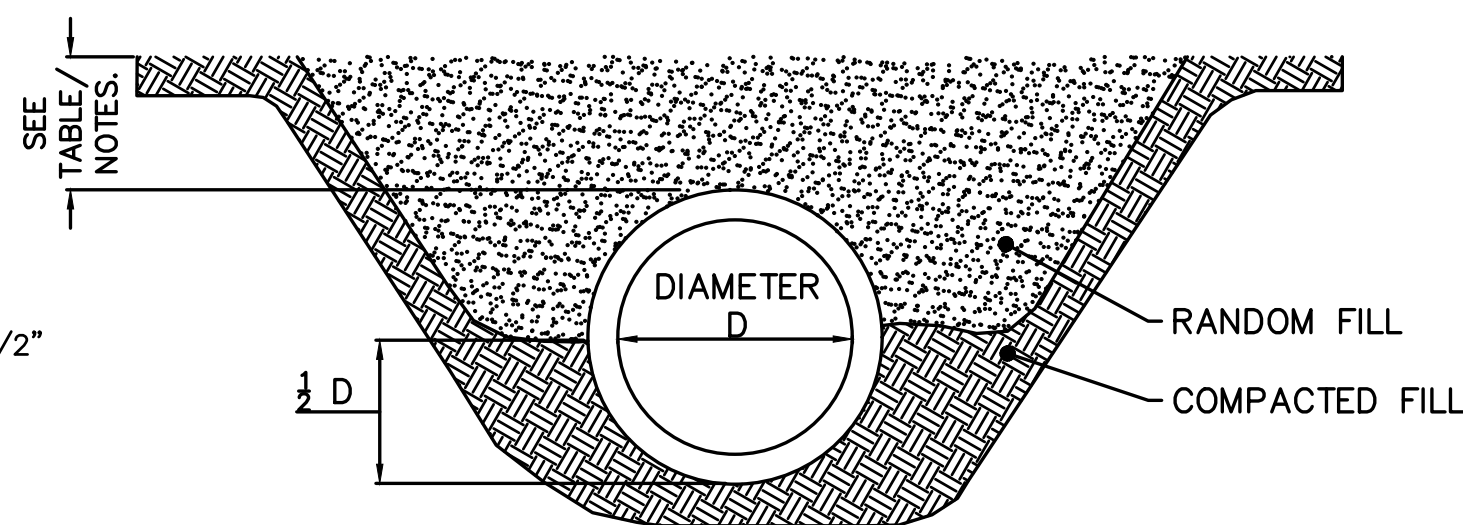
SECTION VIEW THROUGH SPILLWAY
NOT TO SCALE

TOP OF BERM
SPILLWAY WIDTH AS INDICATED
2:1
1:2
COMPACTED SELECT MATERIAL EARTHEN BERM
USE 4" (MIN.) OF NATIVE TOP SOIL
AND USE RECOMMENDED SEED MIXTURES
FOR STABILIZING.
GEOTEXTILE,
CLASS 4, TYPE A
SPILLWAY LINING, AS INDICATED

INFILTRATION BASIN DETAIL
NOT TO SCALE

TOP OF BERM = 1279.00 FT.
EMERGENCY SPILLWAY = 1277.85 FT.
INTERIOR SLOPES NO GREATER THAN 3:1
BOTTOM BASIN = 1275.75 FT.
UNDISTURBED VIRGIN GROUND
TOP OF BERM WIDTH 2'
EXTERIOR SLOPES NO GREATER THAN 3:1
UNDISTURBED GROUND

BMP DESCRIPTION	SPILLWAY ELEV.	CLEANOUT ELEV.	SPILLWAY WIDTH	EMBANKMENT ELEV.	BOTTOM ELEV.	BOTTOM		SIDE SLOPES		SPILLWAY SLOPES
						W (AVG.)	L (AVG.)	INSIDE (Z1)	OUTSIDE (Z2)	
INFILTRATION BASIN 1	1277.75	1276.00	10	1279.00	1275.75	25	20	3	3	2: 1



NOT TO SCALE

1. MINIMUM DIAMETER FOR ANY CULVERT IS 12"; OTHERWISE CULVERT SHALL BE SIZED FOR ANTICIPATED PEAK FLOW. PLACE CULVERT SO BOTTOM IS AT SAME LEVEL AS BOTTOM OF DITCH OR ADJOINING SLOPE. CULVERTS SHALL BE PLACED WITH A SLOPE OF 2 TO 4%. LOWER END SHALL BE AT LEAST 2" BELOW UPPER END, UNLESS SPECIFIED OTHERWISE.
2. EXTEND CULVERT MIN. 12" BEYOND BASE OF ROAD FILL ON BOTH SIDES. FIRMLY PACK FILL AROUND CULVERT, ESPECIALLY THE BOTTOM HALF.
3. PROVIDE SUITABLE OUTLET PROTECTION ACCORDING TO PLAN. AND, WHERE APPROPRIATE, INLET PROTECTION.
4. INSPECT CULVERT WEEKLY: REMOVE ANY FLOW OBSTRUCTIONS AND MAKE NECESSARY REPAIRS IMMEDIATELY.
5. THIS DETAIL MAY BE USED FOR DITCH RELIEF CULVERTS AND FOR CROSSINGS OF ROADSIDE DITCHES. IT IS NOT APPROPRIATE FOR STREAM CROSSINGS.

PIPE DESIGNATION	LOCATION	PIPE LENGTH (ft)	TYPE	DIA. (in)	INV IN (ft)	INV OUT (ft)
CULVERT #1	PARKING LOT NE	20	HDPE	12	1278.2	1278.2
CULVERT #2	FOREBAY	20	HDPE	12	1278.6	1278.0

SEEDING SHALL BE APPLIED TO ALL DISTURBED AREAS AS SOON AS PRACTICAL FOLLOWING COMPLETION OF FINE GRADING. UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES.

SPRING OR EARLY SUMMER-----	50	TOTAL
OATS	100	50
LATE SUMMER TO FALL-----	50	TOTAL
WINTER WHEAT	100	50

STEEP SLOPES-----23 TOTAL

1 BUSHEL/ACRE ANNUAL CEREAL GRAIN (OATS IN SPRING, GRAIN RYE OR WHEAT IN FALL)		
TIMOTHY	43	10
BIRDSFOOT TREFOIL	13	3
LITTLE BLUESTEM	18	4
ALSIKE CLOVER	13	3
LADINO CLOVER	13	3

*STRAW MULCH, NO HAY

OTHER AREAS-----18.5 TOTAL

1 BUSHEL/ACRE ANNUAL CEREAL GRAIN (OATS IN SPRING, GRAIN RYE OR WHEAT IN FALL)		
TIMOTHY	27	5
BIRDSFOOT TREFOIL	27	5
LITTLE BLUESTEM	22	4
INDIANGRASS	10	2
SIDE—OATS GRAMA	5	1
SWITCHGRASS	5	1
BLACK-EYED SUSAN	2	1/4
LANCE—LEAVED COREOPSIS	2	1/4

*STRAW MULCH, NO HAY

MULCHING SHALL CONSIST OF STRAW OR HAY AND IS TO BE APPLIED IN ACCORDANCE WITH PENNDOT PUB. 408, SECTION 805, APPLIED AT A RATE OF 1200 LBS/1000 SY.

% OF MIX

VIRGINIA WILD RYE (ELYMUS VIRGINICUS, (PA ECOTYPE))	20
ALKALIGRASS, "FULTS" (PUCCINELLIA DISTANS, $\frac{3}{2}$ FULTS $\frac{5}{2}$)	20
DEERTONGUE, "TIOGA" (DICHTANTHELIUM CLANDESTINUM)	17
FOX SEDGE (CAREX VULPINOIDEA, PA ECOTYPE)	17
CREeping BENTGRASS (AGROSTIS STOLONIFERA)	14
TICKLEGRASS (AGROSTIS SCABRA, PA ECOTYPE)	4
AUTUMN BENTGRASS (AGROSTIS PERENNANS, PA ECOTYPE)	4
SOFT RUSH (JUNCUS EFFUSUS, PA ECOTYPE)	3
PATH RUSH (JUNCUS TENUIS, PA ECOTYPE)	1
*STRAW MULCH, NO HAY	

RATE: 20-40 LBS PER ACRE OR 1 LB PER 1,000 SQ. FT.

FERTILIZER: NONE

MULCH: LOOSE STRAW AT 2 LBS/ACRE (LIGHTER THAN 3 LBS/ACRE DUE TO NATIVE SEED CONTENT)

NOTES:

1. SPREAD SEEDS WHERE INDICATED AND AT THE RATES SPECIFIED IN ABOVE TABLE, OR AS OTHERWISE INDICATED.
2. FORMULA D - MARCH 15TH TO JUNE 1ST, AUGUST 1ST TO OCTOBER 15TH
3. FORMULA E - MARCH 15TH TO OCTOBER 15TH
4. BIO-RETENTION, WETLAND RESTORATION, LANDSCAPE RESTORATION AND RIPARIAN PLANTING SEED MIXTURE - MARCH 25TH TO MAY 15TH; AUGUST 15TH TO SEPTEMBER 15TH; (IN THE ABSENCE OF SNOW COVER). NOVEMBER 1ST TO JANUARY 15TH (MAY BE SPREAD OVER FROZEN GROUND WITH A MULCH COVERING).

MULCHING PER 1000 SY:

HAY OR STRAW	1200 LBS. (MIN.)
NON ASPHALTIC EMULSION	PER MANUFACTURER REC.
WOOD-CELLULOSE FIBER	160 LBS.
BIO-RETENTION, WETLAND	620 LBS. (STRAW ONLY)
RESTORATION, LANDSCAPE	
RESTORATION, AND RIPARIAN	
PLANTING SEED MIXTURE	

PGH REAL
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HOLDINGS LLC

125 E PINE
GROVE ROAD
DEVELOPMENT

FERGUSON TOWNSHIP
CENTRE COUNTY, PA

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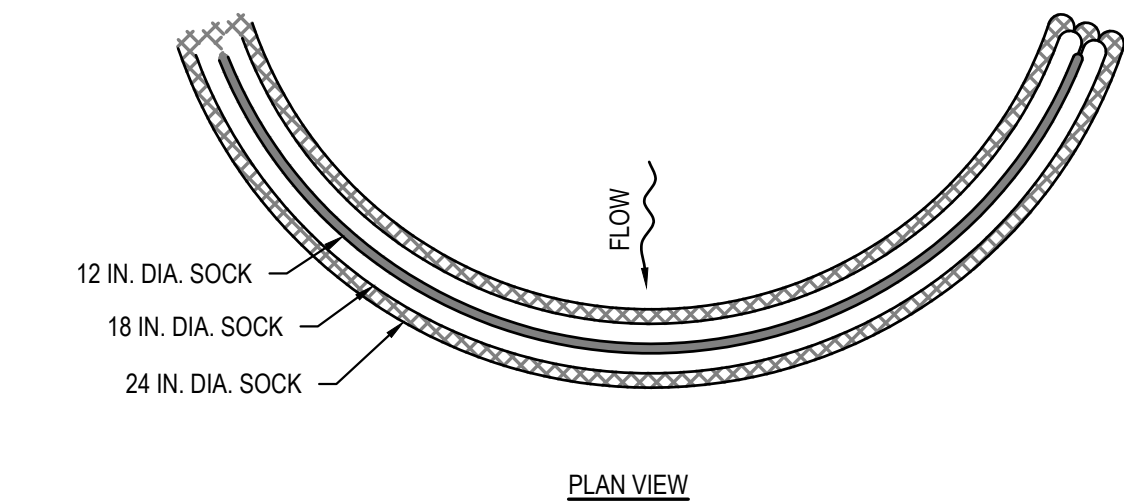
10/07/2022

SCALE

SHEET NO.

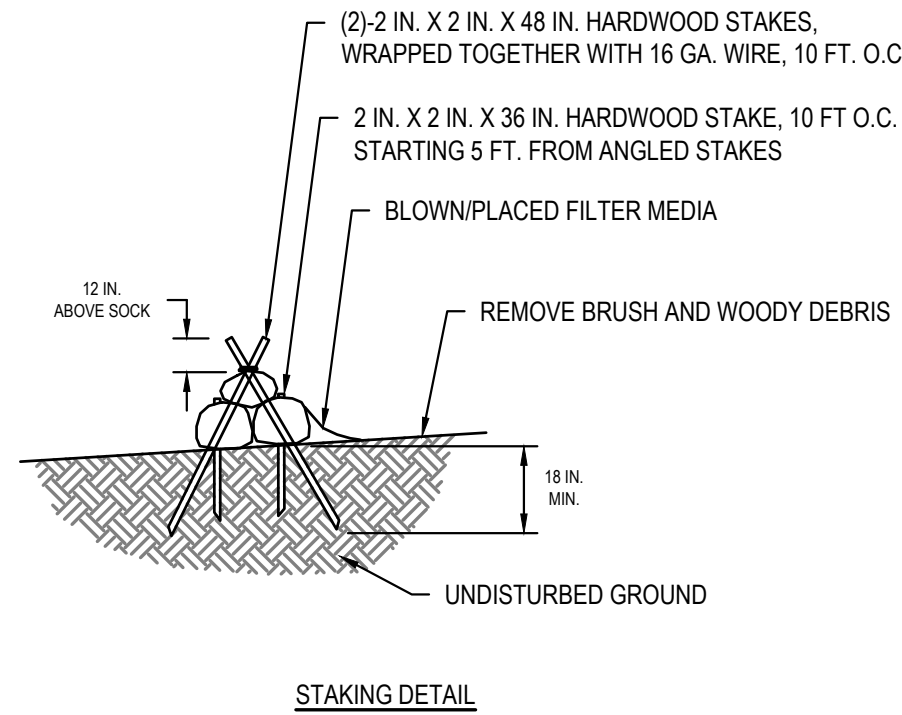
N.T.S

D2



DESIGN NOTES:

1. COMPOST SOCK SEDIMENT TRAP SHALL BE SIZED TO PROVIDE 2000 CUBIC FEET OF STORAGE CAPACITY FOR EACH ACRE TRIBUTARY TO THE TRAP.
2. MINIMUM BASE WIDTH IS EQUAL TO THE HEIGHT.
3. SEDIMENT ACCUMULATION SHALL NOT EXCEED 1/3 THE TOTAL HEIGHT OF THE TRAP.
4. SOCKS SHALL BE OF LARGER DIAMETER AT THE BASE OF THE TRAP AND DECREASE IN DIAMETER FOR SUCCESSIVE LAYERS AS SHOWN ON THE PLAN VIEW.
5. ENDS OF THE TRAP SHALL BE A MINIMUM OF 1 FOOT HIGHER IN ELEVATION THAN THE MID-SECTION, WHICH SHALL BE LOCATED AT THE POINT OF DISCHARGE.

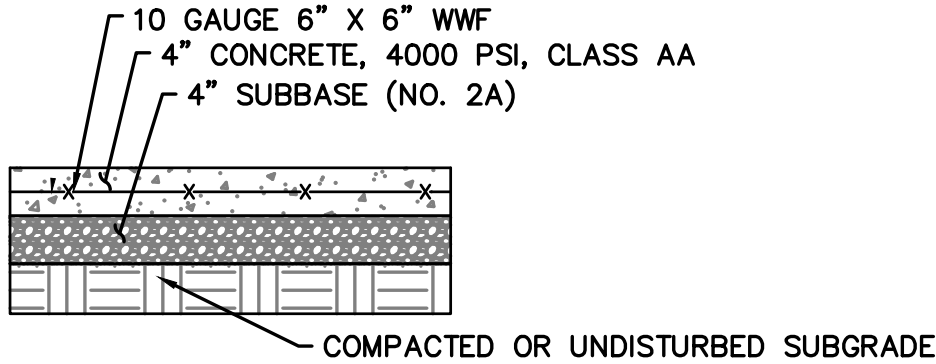


NOTES:

1. SOCK MATERIAL SHALL MEET THE STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
2. COMPOST SOCK SEDIMENT TRAPS SHALL NOT EXCEED THREE SOCKS IN HEIGHT AND SHALL BE STACKED IN PYRAMIDAL FORM AS SHOWN ABOVE. MINIMUM TRAP HEIGHT IS ONE 24" DIAMETER SOCK. ADDITIONAL STORAGE MAY BE PROVIDED BY MEANS OF AN EXCAVATED SUMP 12" DEEP EXTENDING 1 TO 3 FEET UPSLOPE OF THE SOCKS ALONG THE LOWER SIDE OF THE TRAP.
3. COMPOST SOCK SEDIMENT TRAPS SHALL PROVIDE 2,000 CUBIC FEET STORAGE CAPACITY WITH 12" FREEBOARD FOR EACH TRIBUTARY DRAINAGE ACRE. (SEE MANUFACTURER FOR ANTICIPATED SETTLEMENT.)
4. THE MAXIMUM TRIBUTARY DRAINAGE AREA IS 5.0 ACRES. SINCE COMPOST SOCKS ARE "FLOW-THROUGH," NO SPILLWAY IS REQUIRED.
5. COMPOST SOCK SEDIMENT TRAPS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 THE HEIGHT OF THE SOCKS.
6. PHOTODEGRADABLE AND BIODEGRADABLE SOCKS SHALL NOT BE USED FOR MORE THAN 1 YEAR.

STANDARD CONSTRUCTION DETAIL
COMPOST SOCK SEDIMENT TRAP

NOT TO SCALE

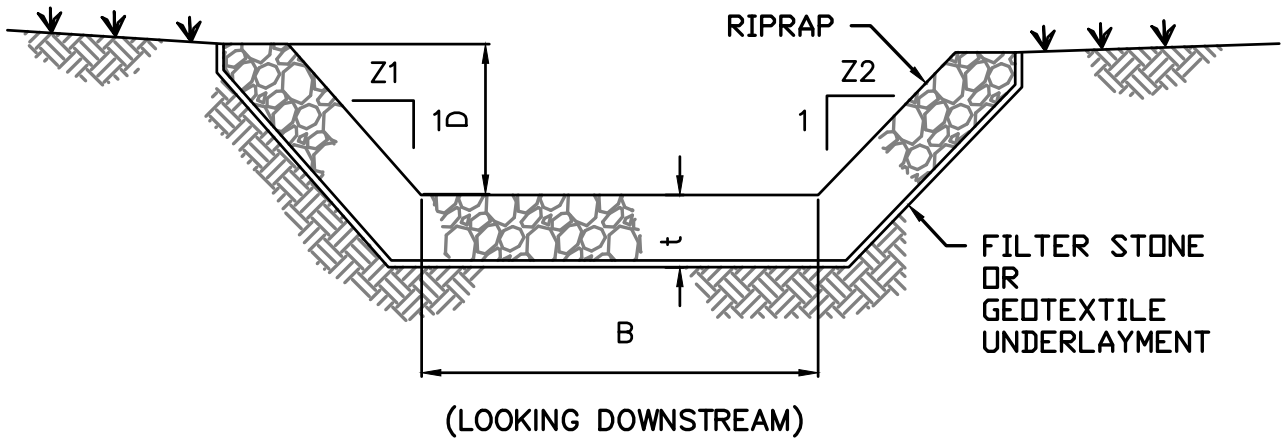


NOTES:

1. PROVIDE 1/2" EXPANSION JOINT EVERY 20' O.C. UTILIZING POLYURETHANE JOINT FILLER 1/4" BELOW THE TOP OF SIDEWALK.
2. PROVIDE TRANSVERSE TOOLED CONTROL JOINT EVERY 4' O.C.
3. ALL SIDEWALKS WILL NEED TO HAVE A BROOM FINISH SO THEY PROVIDE A NON-SLIP SURFACE.
4. ALL CONCRETE MUST MEET ALL SPECIFICATIONS WITHIN PENNDOT PUBLICATION 408, MOST CURRENT EDITION, FOR MATERIALS AND TESTING.

CONCRETE SIDEWALK/ BIKE RACK PAD DETAIL

NOT TO SCALE



CHANNEL CROSS-SECTION

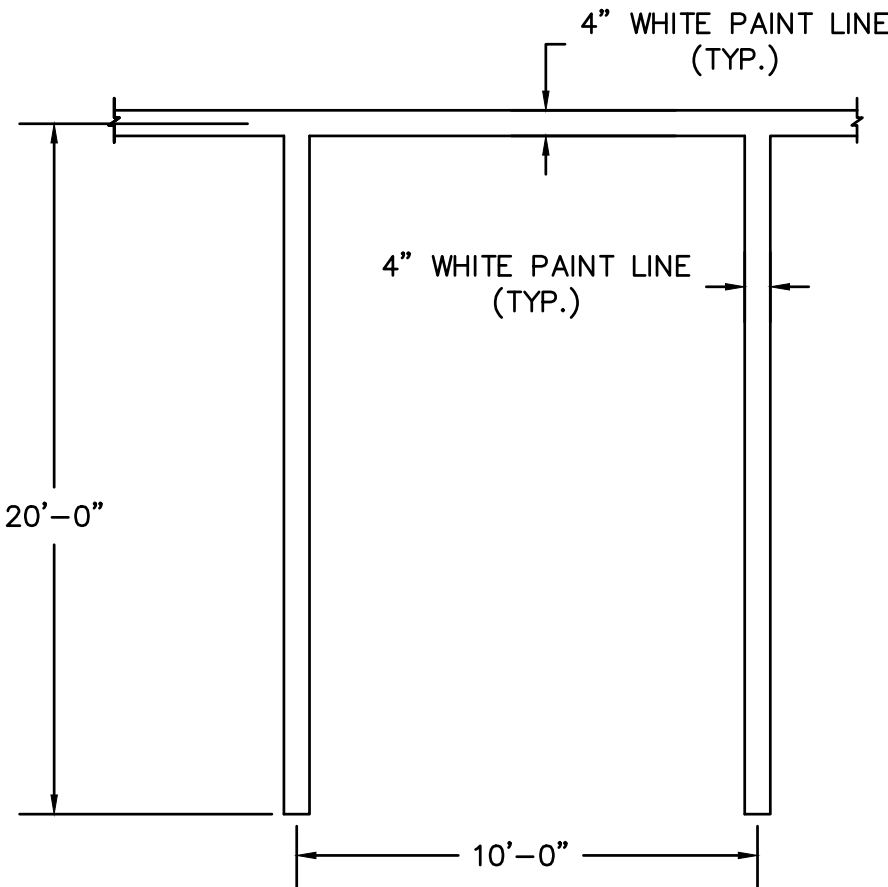
CHANNEL NO.	STATIONS	BOTTOM WIDTH B (FT)	DEPTH D (FT)	Z1 (FT)	Z2 (FT)	RIPRAP GRADATION (R-)	RIPRAP DEPTH t (IN)	UNDERLAYMENT	UNDER-LAYMENT THICKNESS
88	888+88 - 888+88	88	88	8	8	8	88	1234567890	88

NOTES:

1. FILTER STONE UNDERLAYMENT FOR BED SLOPES ≥ 0.10 FT/FT (10 %) SHALL BE USED.
2. CHANNEL DIMENSIONS ARE FOR THE COMPLETED CHANNEL AFTER ROCK PLACEMENT. CHANNEL MUST BE OVER-EXCAVATED A SUFFICIENT AMOUNT TO ALLOW FOR THE VOLUME OF ROCK PLACED WITHIN THE CHANNEL WHILE PROVIDING THE SPECIFIED FINISHED DIMENSIONS.
3. CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE.
4. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.
5. THE MINIMUM ROCK THICKNESS (t) SHALL BE 1.5 TIMES THE MAX ROCK SIZE.

STANDARD CONSTRUCTION DETAIL RIPRAP CHANNEL

NOT TO SCALE

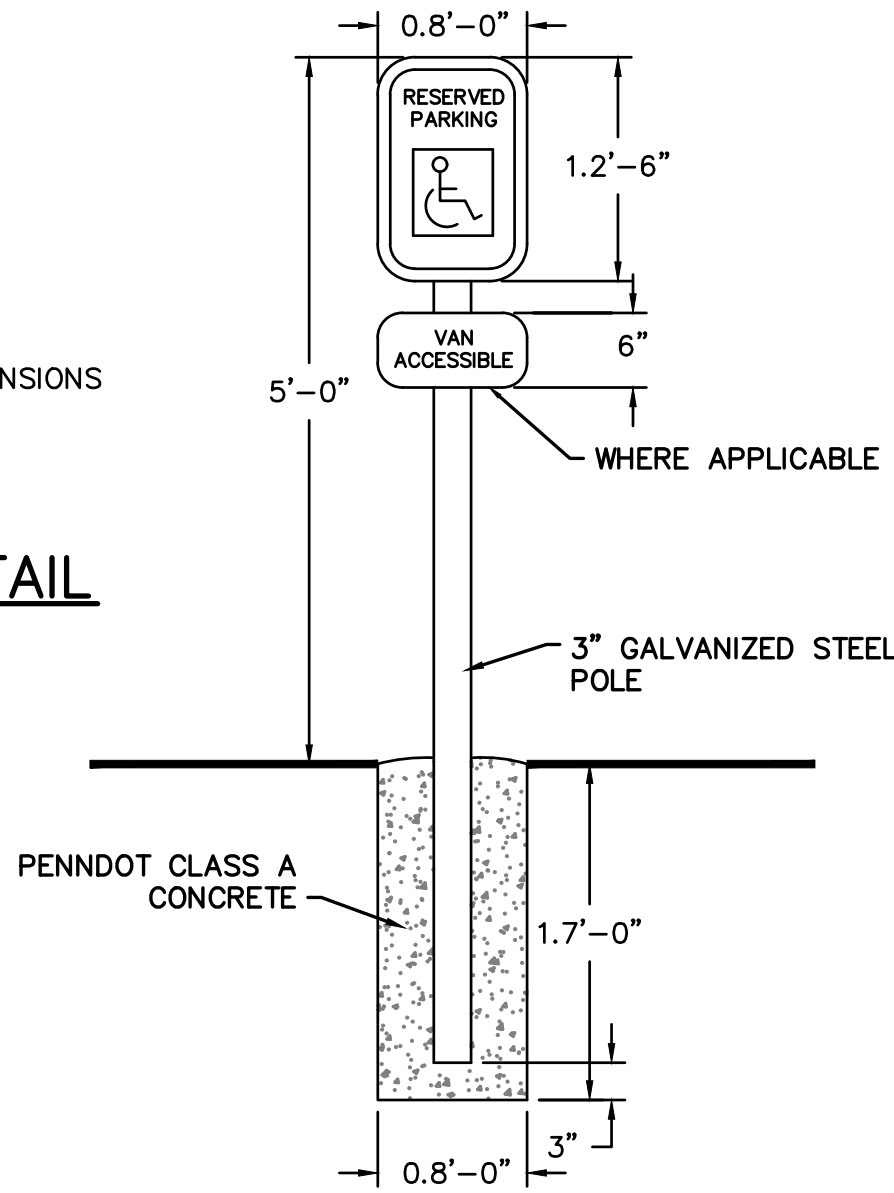


NOTES:

1. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.
2. SEE PLAN FOR ACTUAL SPARE LOCATION AND DIMENSIONS

TYPICAL PARKING SPACE DETAIL

NOT TO SCALE

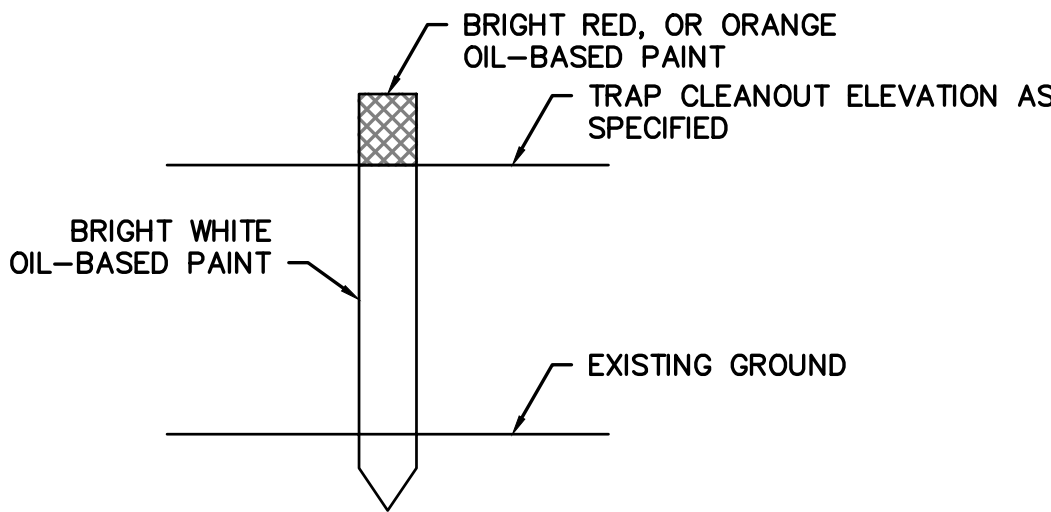


NOTES:

1. PANELS ARE TO BE .100 ALUMINUM WITH RAISED OR SILKSCREEN COPY.
2. THIS SIGN TYPICAL AT EACH ACCESSIBLE PARKING SPACE.

ACCESSIBLE PARKING SIGN DETAIL

NOT TO SCALE



PLACE CLEAN OUT STAKE NEAR THE DEEPEST POINT OF THE TRAP.

REMOVE SEDIMENT FROM TRAP TO RESTORE TRAP CAPACITY WHEN SEDIMENT HAS ACCUMULATED TO THE CLEANOUT ELEVATION ON THE STAKE.

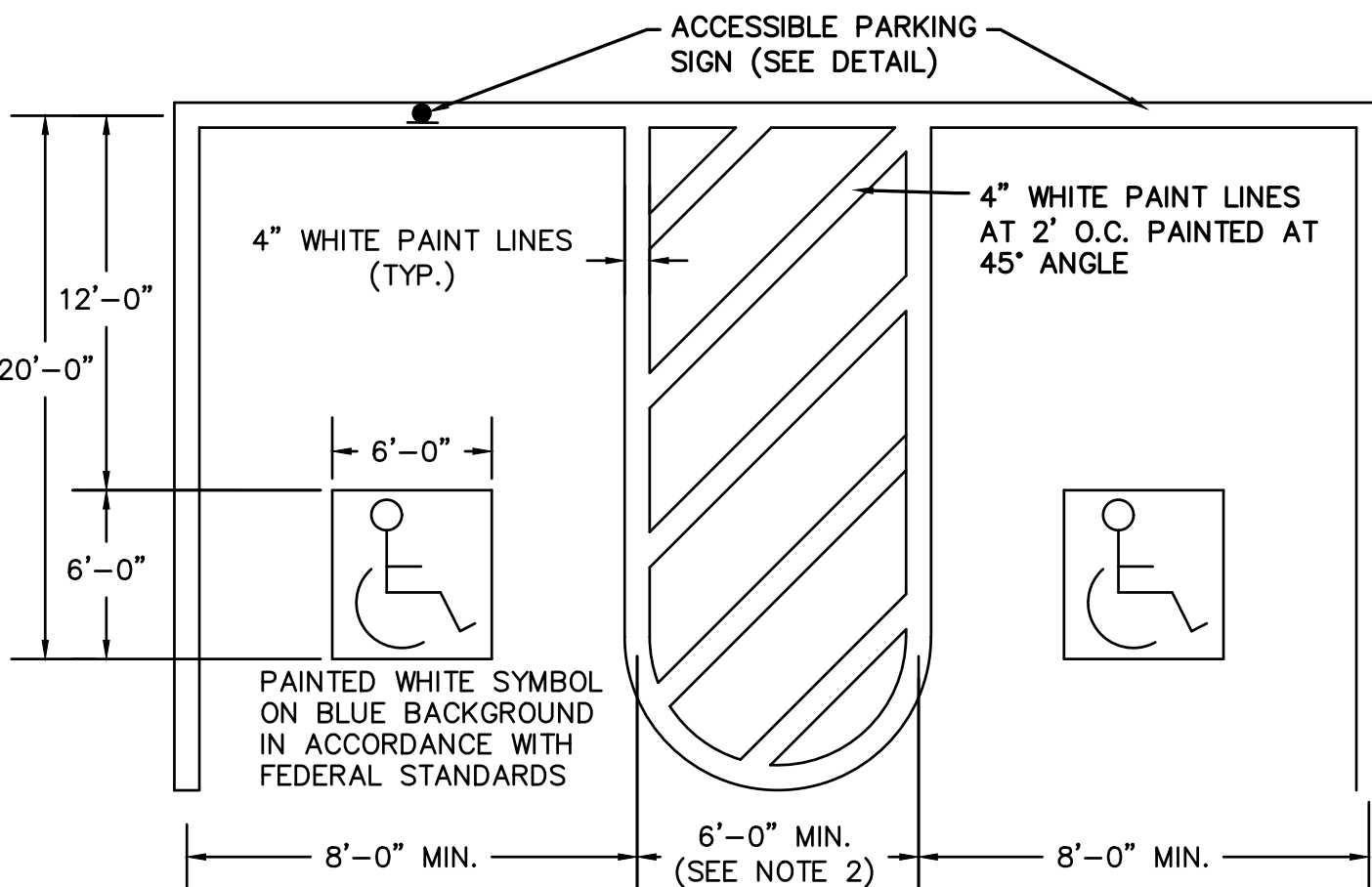
PROTECT SEDIMENT TRAP FROM UNAUTHORIZED ACTS OF THIRD PARTIES.

NOTES:

1. PLACE CLEAN OUT STAKES NEAR THE CENTER OF SEDIMENT TRAP. REMOVE SEDIMENT WHEN THE CLEAN OUT ELEVATIONS ON THE STAKES HAVE BEEN MET. DURING REMOVAL, IF REQUIRED, REMARK CLEAN OUT ELEVATIONS ON THE STAKES. SATISFACTORILY DISPOSE OF SEDIMENT.
2. STABILIZE INTERIOR AND EXTERIOR SLOPES WITH SEEDING AND SOIL SUPPLEMENTS AND MULCH AS INDICATED.
3. INSPECT SEDIMENT TRAP ONCE A WEEK AND AFTER EACH STORM EVENT THAT PRODUCES RUNOFF.
4. REPAIR DAMAGED OR CLOGGED SPILLWAYS IMMEDIATELY.
5. REMOVE ALL TRASH AND OTHER DEBRIS FROM SEDIMENT TRAP AND SPILLWAY WHEN DIRECTED.
6. WHEN DIRECTED, REMOVE TEMPORARY SEDIMENT TRAP.

SEDIMENT TRAP CLEANOUT STAKE

NOT TO SCALE



NOTES:

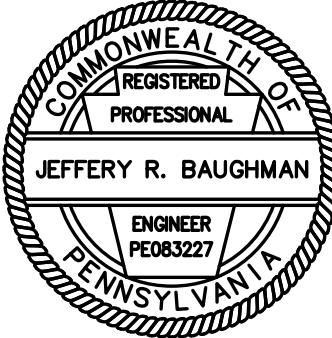
1. SEE SITE PLAN FOR ACCESSIBLE SPACE LOCATION AND DIMENSIONS.
2. PAINTED ISLAND SHALL BE 8'-0" FOR ALL VAN ACCESSIBLE SPACES.
3. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.

TYPICAL ACCESSIBLE PARKING SPACE DETAIL

NOT TO SCALE

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HOLDINGS LLC

125 E PINE
GROVE ROAD
DEVELOPMENT

FERGUSON TOWNSHIP,
CENTRE COUNTY, PA

SHEET NAME

DETAILS

PROJECT NO.

21-330

DATE

10/07/2022

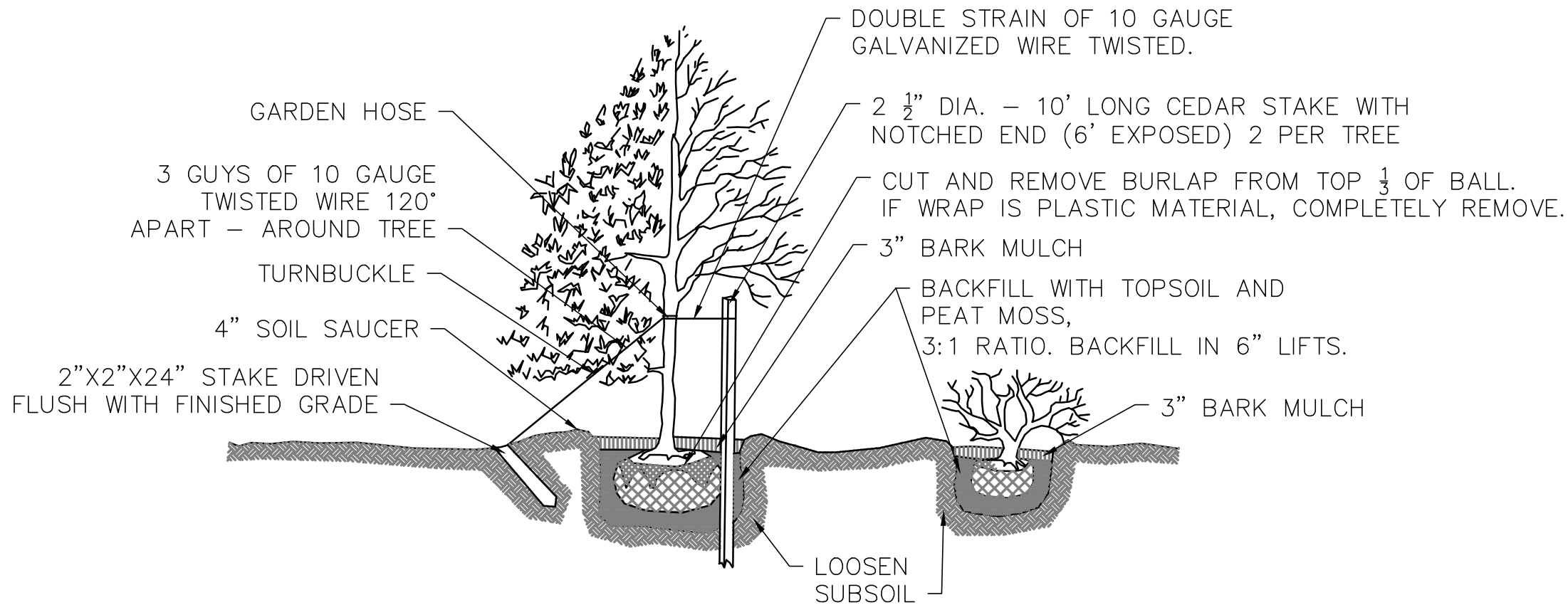
SCALE

N.T.S

SHEET NO.

D3





TREE

SHRUB

NOTES:

- GROUND LINE TO BE THE SAME AS EXISTED AT THE NURSERY.
- PRUNE DECIDUOUS TREES BACK $\frac{1}{4}$ " ON-SITE, SPRAY WITH ANTIDESICCANT ACCORDING TO MANUFACTURER'S INSTRUCTIONS IF FOLIAGE IS PRESENT.
- WRAP DECIDUOUS TREES OVER 1" CAL. WITH BURLAP OR ASPHALTIC KRINKLE KRAFT TREE WRAP.

TREE AND SHRUB PLANTING DETAIL

NOT TO SCALE

MASTER LANDSCAPE SCHEDULE							
SYMBOL		QUANTITIES	BOTANICAL NAME	COMMON NAME	TYPE	PLANT SPACING (FT.) O.C.	PLANT HT AT INSTALL (FT)
TREES							
	CK	2	CORNUS KOUSA	JAPANESE DOGWOOD	B&B	AS SHOWN	3.0 MINIMUM
	GT	1	GLEDITSIA TRIACANTHOS "INERMIS"	THORNLESS HONEYLOCUST	B&B	AS SHOWN	5.0 MINIMUM
	CC	4	CERCIS CANADENSIS	EASTERN REDBUD	B&B	AS SHOWN	4.0 MINIMUM
	IO	1	ILEX OPACA	AMERICAN HOLLY	B&B	AS SHOWN	4.0 MINIMUM
SHRUBS							
	BS	5	BUXUS SEMPERVIRENS "BULLATA"	BOXWOOD	CONTAINER	2.5	2.0 MINIMUM
	IG	47	ILEX GLABRA "COMPACTA"	INKBERRY HOLLY	CONTAINER	3.0	3.0 MINIMUM
HERBACEOUS PLANTS							
		18	RUDBECKI HIRTA	BLACKEYED SUSAN	CONTAINER	2.0	NA
		45	HEMEROCALLIS "STELLA DE ORO"	DAYLILLY STELLA DE ORO	CONTAINER	2.0	NA
		18	CLEMATIS "DIANA'S DELIGHT"	CLEMATIS	QT CONTAINER MIN	3.0	NA
		TBD	HOSTA "REGAL SPLENDOR"	HOSTA	CONTAINER	TBD	NA

REVISIONS

PGH REAL
ESTATE
HOLDINGS LLC

125 E PINE
GROVE ROAD

FERGUSON TOWNSHIP,
CENTRE COUNTY, PA

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LANDSCAPING
DETAILS

PROJECT NO.

21-330

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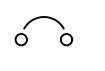
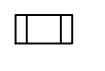


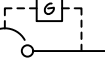
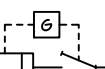

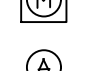

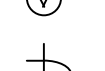
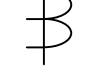
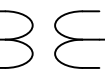
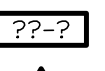


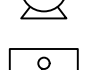
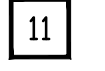
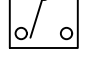

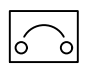

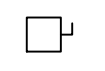
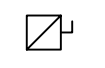


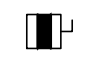





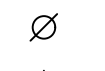

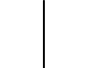
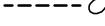





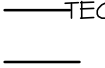



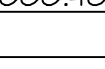
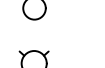


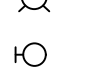




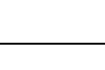


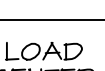



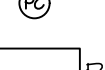

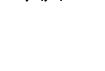

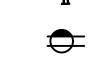
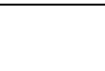



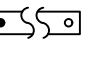

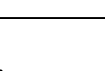
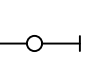


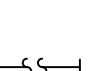

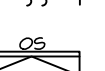











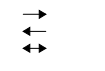

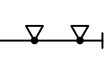




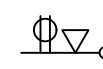


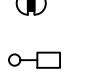
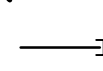

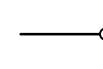
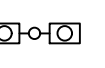
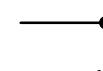
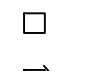

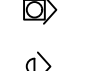
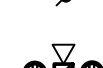
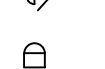


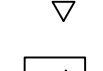



10/07/2022

SCALE

SHEET NO.

AS NOTED

L01

ELECTRICAL LEGEND AND ABBREVIATIONS				GENERAL NOTES		GENERAL ELEC SITE NOTES	
ABBREVIATIONS		ABBREVIATIONS		LIGHTING CONTROL SYMBOLS		POWER SYMBOLS	
A	AMPERE(S)	UC	UNDERCOUNTER/CABINET	\$	SINGLE POLE SWITCH (+48" AFF, UON)		CIRCUIT BREAKER
AC	ABOVE COUNTER OR AIR CONDITIONER	UG	UNDERGROUND	\$3	THREE-WAY SWITCH (+48" AFF, UON)		FUSE
AFG	ABOVE FINISHED CEILING	UON	UNLESS OTHERWISE NOTED	\$4	FOUR-WAY SWITCH (+48" AFF, UON)		SWITCH
AFF	ABOVE FINISHED FLOOR	V	VOLT(S)	\$F	FAN AND/OR FANLIGHT SWITCH (+48" AFF, UON)		DRAW-OUT CIRCUIT BREAKER
AFI	ARC FAULT CIRCUIT INTERRUPTER	VA	VOLT AMPERES	\$K	KEY OPERATED SWITCH (+48" AFF, UON)		CIRCUIT BREAKER WITH GROUND FAULT PROTECTION
AHJ	AUTHORITY HAVING JURISDICTION	W	WATT(S) OR WIRE	\$P	SWITCH WITH PILOT LIGHT (ILLUMINATED WHEN ON) (+48" AFF, UON)		FUSED SWITCH WITH GROUND FAULT PROTECTION
AHU	AIR HANDLING UNIT	WG	WIREGUARD	\$T	TIMER SWITCH (+48" AFF, UON)		METER
AIC	AMPERES INTERRUPTING CURRENT	WH	ELECTRIC WATER HEATER	\$C	LIGHTING CONTACTOR		AMMETER
BFC	BELOW FINISHED CEILING	WP	WEATHERPROOF	\$E	PHOTOELECTRIC CELL		VOLTMETER
C	CONDUIT	XFMR	TRANSFORMER	\$C	TIME CLOCK		CURRENT TRANSFORMER
CATV	CABLE TELEVISION	REFERENCE SYMBOLS		\$D	DIMMER SWITCH (+48" AFF, UON)- DIMMER STYLE SHALL MATCH STYLE OF TOGGLE SWITCH STYLE CHOSEN BY ARCHITECT. PROVIDE DIMMER-TYPE COMPATIBLE WITH LAMP SOURCE AND RATED FOR CONNECTED LOAD)		POTENTIAL TRANSFORMER
CB	CIRCUIT BREAKER			\$OS	OCCUPANCY SENSOR (+48" AFF, UON)-		ENGINE GENERATOR SET
CKT	CIRCUIT		EQUIPMENT DESIGNATION	\$OS2	DUAL RELAY OCCUPANCY SENSOR SWITCH (+48" AFF, UON)		AUTOMATIC TRANSFER SWITCH
CT	CURRENT TRANSFORMER		REVISION DESIGNATION	\$OS3	THREE-WAY OCCUPANCY SENSOR SWITCH (+48" AFF, UON)		ENCLOSED CIRCUIT BREAKER
CU	CONDENSING UNIT		KEY NOTE DESIGNATION	\$OS4	DIGITAL LIGHTING CONTROL SYSTEM WALL SWITCH (+48" AFF, UON) _ = NUMBER OF BUTTONS REQUIRED		DISCONNECT SWITCH
DISC	DISCONNECT		DETAIL REFERENCE	\$OS5	DIGITAL LIGHTING CONTROL SYSTEM DIMMER SWITCH (+48" AFF, UON)		FUSED DISCONNECT SWITCH
DWG(S)	DRAWING(S)		FLOOR BOX KEY	\$OS6	DIGITAL LIGHTING CONTROL SYSTEM SCENE SWITCH (+48" AFF, UON)		MOTOR STARTER
(E)	EXISTING, TO REMAIN - MAINTAIN CIRCUIT CONTINUITY TO EXISTING DEVICES. FOR LUMINAIRES, CLEAN LENSES AND REPLACE FAILED LAMPS, UNLESS OTHERWISE NOTED. NEW LAMPS ARE TO MATCH EXISTING LAMP'S COLOR TEMPERATURE. FOR WIRING DEVICES, PROVIDE NEW DEVICE AND FACEPLATE TO MATCH EXISTING COLORS, UNLESS OTHERWISE NOTED.	SITE SYMBOLS		\$OS7	DIGITAL LIGHTING CONTROL SYSTEM WALL SWITCH OCCUPANCY SENSOR, DUAL TECH (+48" AFF, UON) _ = NUMBER OF BUTTONS REQUIRED		SHUNT TRIP ELEVATOR DISCONNECT SWITCH
EG	ELECTRICAL CONTRACTOR OR EMPTY CONDUIT			\$OS8	DIGITAL LIGHTING CONTROL SYSTEM PARTITION SWITCH (+48" AFF, UON)		DRY TYPE TRANSFORMER
EDH	ELECTRIC DUCT HEATER		UNDERGROUND ELECTRIC	\$OS9	OCCUPANCY SENSOR - LINE VOLTAGE		CURRENT TRANSFORMER
EF	EXHAUST FAN		OVERHEAD ELECTRIC	\$OS10	OCCUPANCY SENSOR - LOW-VOLTAGE		UTILITY POLE
EHP	ELECTRIC HEATING PANEL		UNDERGROUND COMMUNICATION	\$OS11	OCCUPANCY SENSOR POWER PACK		GROUNDING ELECTRODE CONDUCTOR
(ER)	EXISTING TO RELOCATE - MAINTAIN CIRCUIT CONTINUITY TO DEVICES. REMOVE, RELOCATE OR RENOTE, ANY CONDUIT AND WIRING TO FACILITATE NEW CONSTRUCTION. FOR LUMINAIRES EXISTING TO BE RELOCATED, CLEAN LENSES AND REPLACE FAILED LAMPS, UNLESS OTHERWISE NOTED. NEW LAMPS ARE TO MATCH EXISTING LAMP'S COLOR TEMPERATURE. FOR WIRING DEVICES, PROVIDE NEW DEVICE AND FACEPLATE TO MATCH EXISTING COLORS, UNLESS OTHERWISE NOTED.		OVERHEAD COMMUNICATION	POWER SYMBOLS			GROUND BUS
FLA	FULL LOAD AMPS		UNDERGROUND WATER				GROUND ROD
FLS	FLOOR SURFACE		UNDERGROUND GAS		MAN HOLE		HAND HOLE
FM	FIRE MASTER		UNDERGROUND STORM		FEEDER SIZE TAG, SEE FEEDER SCHEDULE		PANELBOARD
FO	FIELD OFFICE		DIRECT BURIED ELECTRICAL HANDHOLE		LOAD CENTER	FIRE ALARM SYMBOLS	
FP	FIRE PROTECTION	LIGHTING SYMBOLS			SURFACE MOUNTED PANELBOARD OR LOADCENTER		
FS	FLOOR SURFACE				FLUSH MOUNTED PANELBOARD OR LOADCENTER		WALL MOUNTED STROBE ONLY NOTIFICATION APPLIANCE (15) INDICATES CANDELA RATING
FT	FLOOR TRAILER		CEILING LUMINAIRE - RECESSED		SINGLE RECEPTACLE (+18" AFF, UON)		WALL MOUNTED COMBINATION STROBE/HORN NOTIFICATION APPLIANCE
GA	GENERAL AVAILABILITY		WALL MOUNTED LUMINAIRE		20A 120V 5-20R GFCI PROTECTED DUPLEX RECEPT (+18" AFF, UON)		WALL MOUNTED EXTERIOR WEATHERPROOF COMBINATION STROBE/ HORN
GB	GENERAL BIDDING		PENDANT MOUNTED LUMINAIRE		20A 120V 5-20R AFCI PROTECTED DUPLEX RECEPT (+18" AFF, UON)		COMB SMOKE/CO DETECTOR
GC	GENERAL CONTRACTOR		WALL WASH LUMINAIRE - SURFACE MOUNTED		20A 120V 5-20R GFCI PROTECTED QUAD RECEPTACLE (+18" AFF, UON)		COMB SMOKE/CO DETECTOR WITH AUDIBLE BASE
GFI	GROUND FAULT CIRCUIT INTERRUPTER		WALL WASH LUMINAIRE - RECESSED		ISOLATED GROUND DUPLEX RECEPTACLE		HEAT DETECTOR
HP	HORSEPOWER		PHOTO CELL		SPLIT WIRED AND/OR SWITCHED RECEPTACLE (+18" AFF, UON)		DUCT SMOKE DETECTOR
IDF	INTERMEDIATE DATA FRAME		LED/FLUORESCENT LUMINAIRE - SURFACE MOUNTED RI INDICATES FIXTURE TYPE		CEILING MOUNTED DUPLEX RECEPTACLE ('CR' = CORD REEL DEVICE)		MANUAL PULL STATION-DUAL ACTION
ISC	SHORT CIRCUIT CURRENT		LED/FLUORESCENT LUMINAIRE - RECESSED		RECESSED CLOCK RECEPTACLE (+48" AFF, UON)		INDIVIDUAL ADDRESSABLE MODULE WITH RELAY
KV	KILOVOLTS		LINEAR PENDANT LUMINAIRE (FILLED CIRCLE INDICATES POWER FEED END) (LENGTH AS SHOWN ON DRAWING)		IN-FLOOR DUPLEX RECEPTACLE		FIRE ALARM CONTROL PANEL
KVA	KILOVOLT AMPERE(S)		FLUORESCENT STRIP LUMINAIRE/UNDER CABINET LUMINAIRE (LENGTH AS SHOWN ON DRAWING)		IN-FLOOR DOUBLE DUPLEX RECEPTACLE		FIRE ALARM ANNUNCIATOR PANEL
KN	KILOWATT(S)		EGRESS ARROWS		IN-FLOOR COMBINATION RECEPTACLE/TELEPHONE/ DATA DEVICE	LEGEND AND GENERAL NOTES	
LT6	LIGHTING		TRACK LIGHTINGS (NUMBER OF HEADS AS SHOWN ON DRAWING)		4" SQ BOX WITH 1" CONDUIT TO ABOVE CL6		
MC	MECHANICAL CONTRACTOR		COMBINATION EXIT SIGN AND DUAL-HEAD EMERG LUMINAIRE		JUNCTION BOX	SHEET TITLE	
MCA	MINIMUM CIRCUIT AMPS		SINGLE FACE EXIT LUMINAIRE - CEILING MOUNTED		WALL MOUNTED JUNCTION BOX		
MCB	MAIN CIRCUIT BREAKER		DUAL FACE EXIT LUMINAIRE - CEILING MOUNTED		MOTOR	LEGEND AND GENERAL NOTES	
MDC	MAIN DISTRIBUTION CENTER		SINGLE FACE EXIT LUMINAIRE - WALL MOUNTED		HP RATED TOGGLE SWITCH (+48" AFF, UON)		
MDF	MAIN DATA FRAME		DUAL FACE EXIT LUMINAIRE - WALL MOUNTED		PUSH BUTTON, TYPE AS NOTED (+48" AFF, UON)	LEGEND AND GENERAL NOTES	
MLO	MAIN LUGS ONLY		EGRESS ARROWS		PULL BOX		
NL	NIGHT LIGHT/SECURITY LIGHT, CONNECT LIGHTS AHEAD OF LOCAL SWITCHING TO OPERATE CONTINUOUSLY		TRACK LIGHTINGS (NUMBER OF HEADS AS SHOWN ON DRAWING)		PLUGMOLD (LENGTH AS SHOWN ON DRAWING)	LEGEND AND GENERAL NOTES	
NO	NORMALLY OPEN		REMOTE EMERGENCY LIGHTING HEAD		SURFACE RACEWAY (+18" AFF, UON) (LENGTH AS SHOWN ON DRAWING)		
OAE	OR APPROVED EQUAL		EMERGENCY LUMINAIRE WITH INTEGRAL BATTERY PACK		CABLE TRAY (LENGTH AS SHOWN ON DRAWING)	LEGEND AND GENERAL NOTES	
P	POLE		NIGHT-LIGHT LUMINAIRE		CONDUIT END BUSHING		
PH	PHASE		NIGHT LIGHT LUMINAIRE, THROUGH THE WALL MOUNTING		CONDUIT UP	LEGEND AND GENERAL NOTES	
PNL	PANEL		POLE MOUNTED LUMINAIRE		CONDUIT DOWN		
REC	RECEPTACLE		POST-TOP LUMINAIRE		CONDUIT BREAK SYMBOL	LEGEND AND GENERAL NOTES	
(RL)	RELOCATE - MAINTAIN CIRCUIT CONTINUITY TO NEW LOCATION OF EXISTING DEVICE(S). REMOVE, RELOCATE OR RENOTE, ANY CONDUIT AND WIRING TO FACILITATE RELOCATION. FOR LUMINAIRES, CLEAN LENSES AND REPLACE FAILED LAMPS, UNLESS OTHERWISE NOTED. NEW LAMPS ARE TO MATCH EXISTING LAMP'S COLOR TEMPERATURE. FOR WIRING DEVICES, PROVIDE NEW DEVICE AND FACEPLATE TO MATCH EXISTING COLORS, UNLESS OTHERWISE NOTED.		POST-TOP TWIN HEAD LUMINAIRE		GROUND ROD		
SCA	SHORT CIRCUIT CURRENT AVAILABLE		BOLLARD LUMINAIRE		MULTI-SERVICE TEL/POWER POWER POLE	LEGEND AND GENERAL NOTES	
SW	SWITCH		IN-GRADE FLOOD LUMINAIRE		PHONE/DATA OUTLET		
TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSION		ABOVE-GRADE FLOOD LUMINAIRE		WIRELESS ACCESS POINT (POWER OVER ETHERNET)	LEGEND AND GENERAL NOTES	
			STEP-LIGHT LUMINAIRE				
			EXTERIOR WALL MOUNTED SITE LUMINAIRE			LEGEND AND GENERAL NOTES	
			UNSWITCHED NIGHTLIGHT FIXTURE				

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Parking Lot Lighting
125 East Pine Grove Rd
Pine Grove Mills, Pa 16868

			FINAL - ISSUED TO OWNER	99% OWNER REVIEW	SUBMISSIONS
			10-4-22	9-29-22	

Project No.:	2022-42
Drawn By:	mwm
Checked By:	MWM

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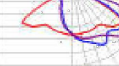


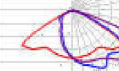






Sheet Title

LEGEND AND GENERAL NOTES

Sheet No.

E0.1



Schedule											
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	A		1	Lumca	CPO4KX 12LEDOS 20W 120V Lx 30K	Concept	1	2170	0.89	21.9	 Max: 937cd
	B		1	Lumca	CPO4KX 24LEDOS 40W 120V Lx 30K	Concept	1	4339	0.89	42	 Max: 1074cd
	H		1	Lumca	CPO4KX 12LEDOS 20W 120V Lx 30K HSG	Concept	1	1738	0.89	21.79	 Max: 674cd
	BW		1	Lumca	CPO4KX 24LEDOS 40W 120V Lx 30K	Concept	1	4339	0.89	42	 Max: 1074cd

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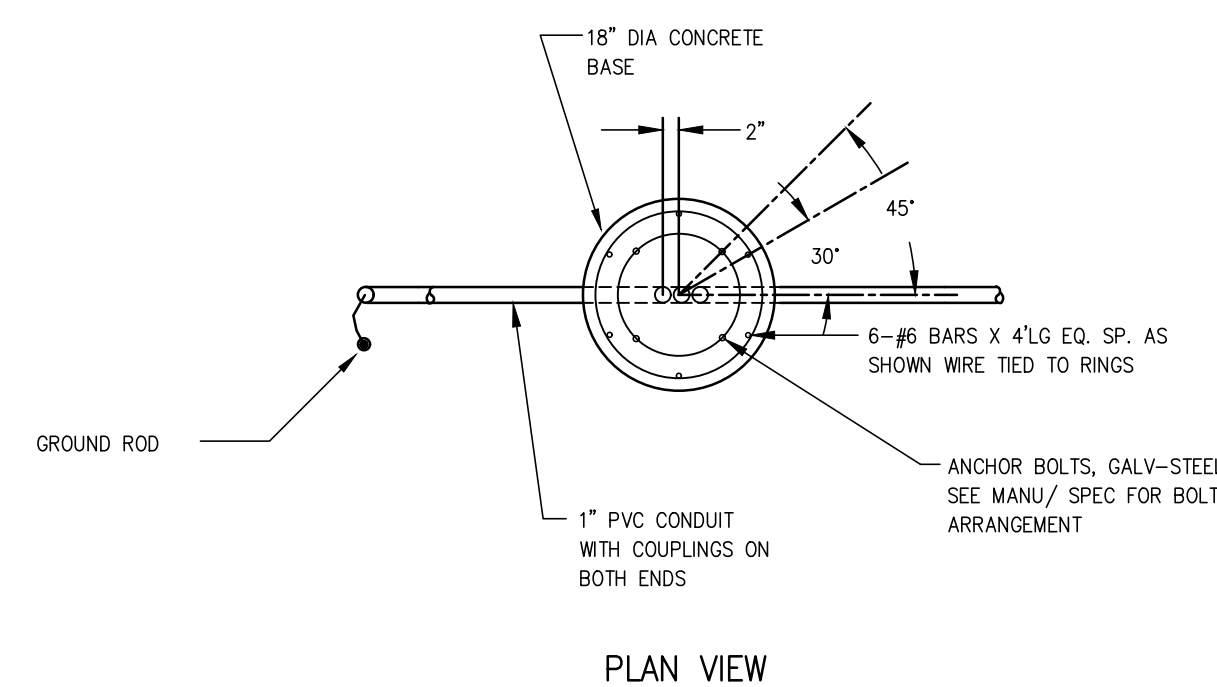
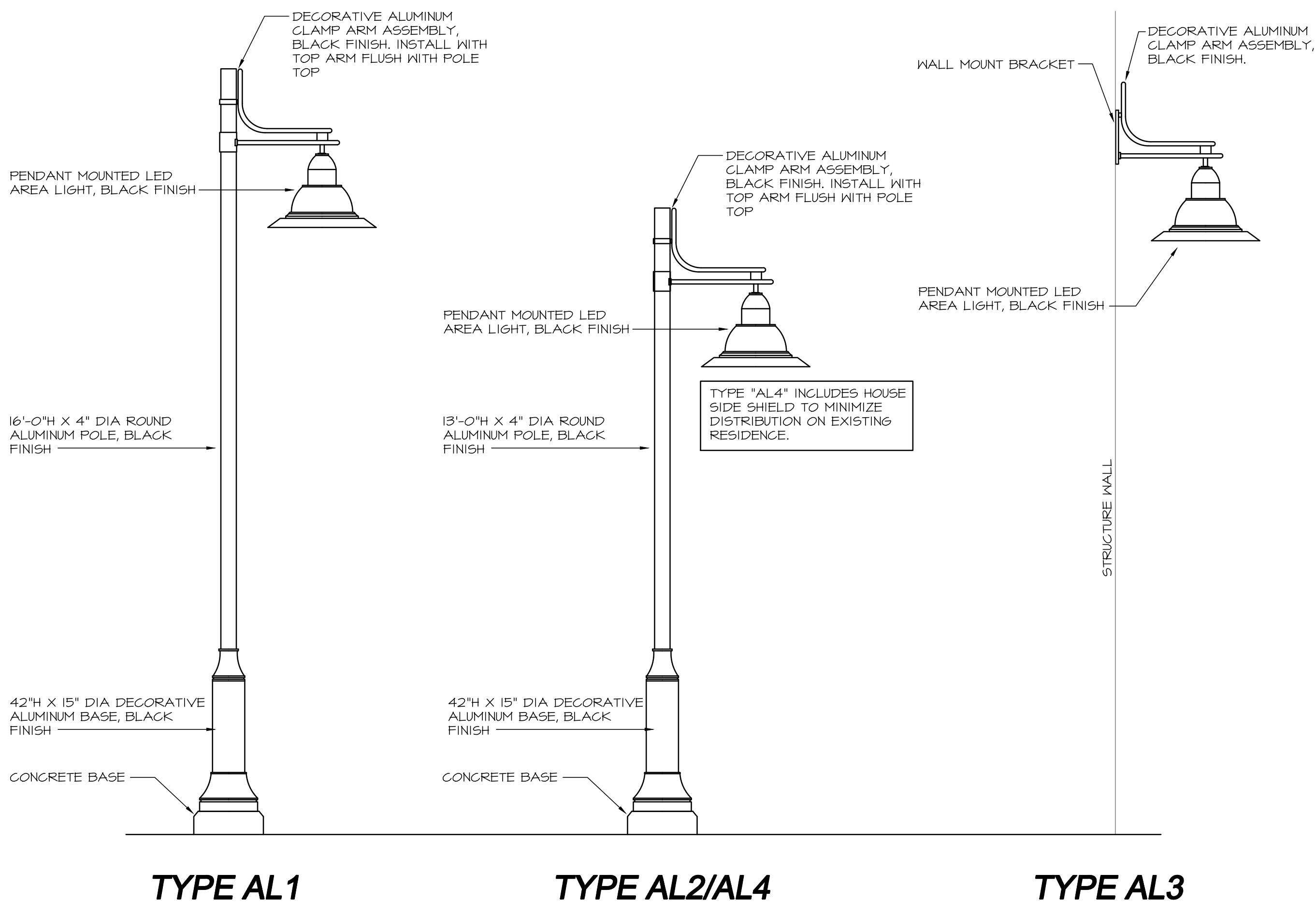
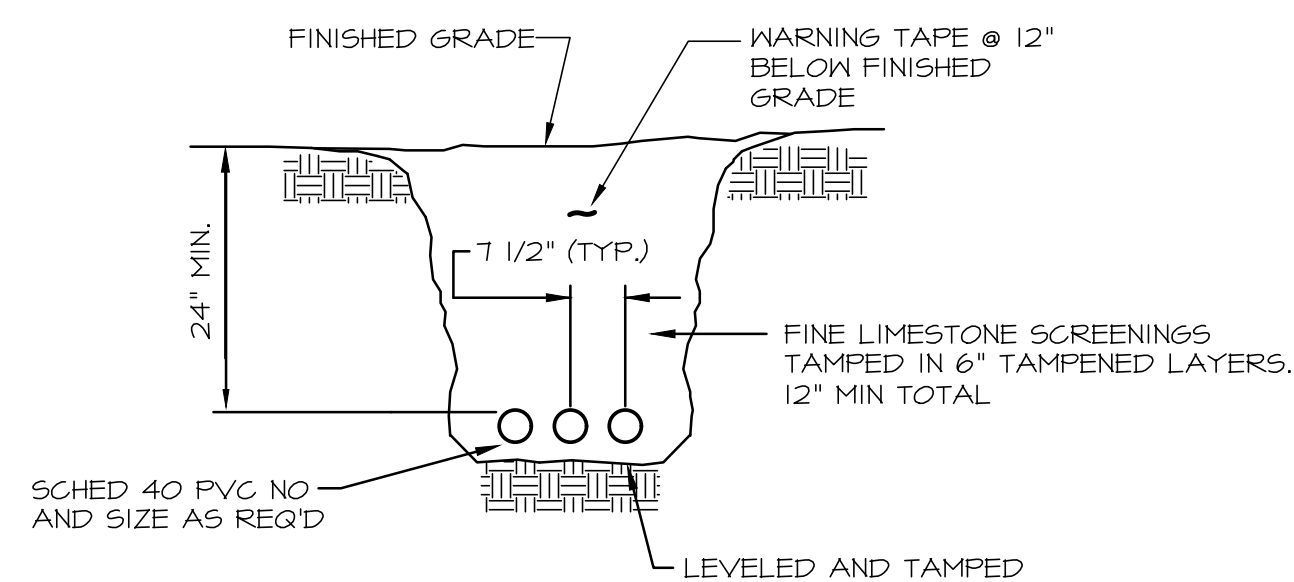
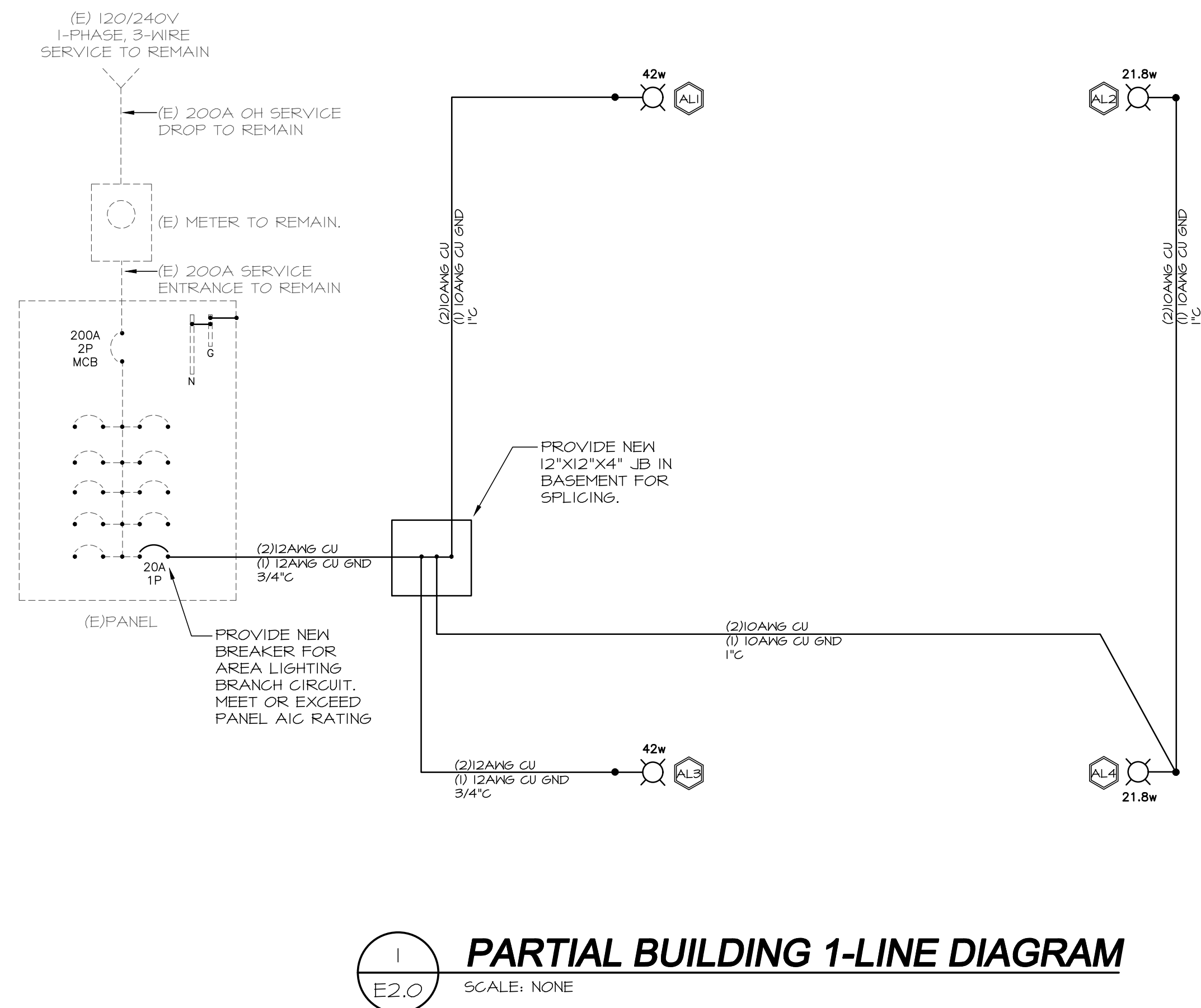
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Sheet Title

LIGHTING CALCULATIONS

Sheet No.

E1.1



SITE LIGHTING FIXTURE SCHEDULE													
FIXTURE DESIGNATION	ASSEMBLY/FIXTURE DESCRIPTION	NUMBER OF LAMPS AND RESPECTIVE WATTAGE	LUMINAIRE INFORMATION					POLE/MOUNTING INFORMATION				REMARKS	
			LUMINAIRE MANUFACTURER	LUMINAIRE MODEL NUMBER	VOLTAGE	LUMINAIRE MOUNTING	ASSY WATTAGE	TOTAL QTY	TOTAL WATTAGE	POLE/MOUNT DESCRIPTION	POLE DIMENSIONS		POLE/MOUNT MFR/MODEL
AL-1	SINGLE ARM POLE MOUNTED LED AREA LIGHT TYPE IV DISTRIBUTION	40 WATT 3000K LED	LUMCA	CPM0406-EKF-24LED05-40W-30K-L4-120-BK-BTP	120	SINGLE ARM	42	1	42	16"-0", 4"DIA ROUND STRAIGHT ALUMINUM W/ DECORATIVE BASE AND ARM	16"H 4"DIA .188"TH	ARM: LUMCA M1A-CF42-BK BASE: LUMCA WB15 (42"H)	POLE, ARM AND FIXTURE TO BE BLACK FINISH. PROVIDE BUTTON TYPE PHOTOCELL ON LUMINAIRE. POLE MIN 5.2EPA @90MMH
AL-2	SINGLE ARM POLE MOUNTED LED AREA LIGHT TYPE IV DISTRIBUTION	20 WATT 3000K LED	LUMCA	CPM0406-EKF-12LED05-20W-30K-L4-120-BK-BTP	120	SINGLE ARM	22	1	22	13"-0", 4"DIA ROUND STRAIGHT ALUMINUM W/ DECORATIVE BASE AND ARM	13"H 4"DIA .188"TH	ARM: LUMCA M1A-CF42-BK BASE: LUMCA WB15 (42"H)	POLE, ARM AND FIXTURE TO BE BLACK FINISH. PROVIDE BUTTON TYPE PHOTOCELL ON LUMINAIRE. POLE MIN 5.2EPA @90MMH
AL-3	SINGLE ARM WALL MOUNTED LED AREA LIGHT TYPE IV DISTRIBUTION	40 WATT 3000K LED	LUMCA	CPM0406-EKF-24LED05-40W-30K-L4-120-BK-BTP	120	SINGLE ARM	42	1	42	DECORATIVE ARM WITH WALL MOUNT BRACKET	N/A	ARM: LUMCA MA-CF42-BK	ARM AND FIXTURE TO BE BLACK FINISH. PROVIDE BUTTON TYPE PHOTOCELL ON LUMINAIRE.
AL-4	SINGLE ARM POLE MOUNTED LED AREA LIGHT TYPE IV DISTRIBUTION WITH HOUSE SIDE SHIELD	20 WATT 3000K LED	LUMCA	CPM0406-EKF-12LED05-20W-30K-L4-120-BK-BTP-HSS	120	SINGLE ARM	22	1	22	13"-0", 4"DIA ROUND STRAIGHT ALUMINUM W/ DECORATIVE BASE AND ARM	13"H 4"DIA .188"TH	ARM: LUMCA M1A-CF42-BK BASE: LUMCA WB15 (42"H)	POLE, ARM AND FIXTURE TO BE BLACK FINISH. PROVIDE BUTTON TYPE PHOTOCELL ON LUMINAIRE AND HOUSE SIDE SHIELD. POLE MIN 5.2EPA @90MMH
NOTE: ALL LED LAMPS SHALL INCORPORATE A MIN 70 CRI													

NOTE: ALL LED LAMPS SHALL INCORPORATE A MIN 70 CRI

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DETAILS AND DIAGRAMS

Sheet No. _____

E2.0