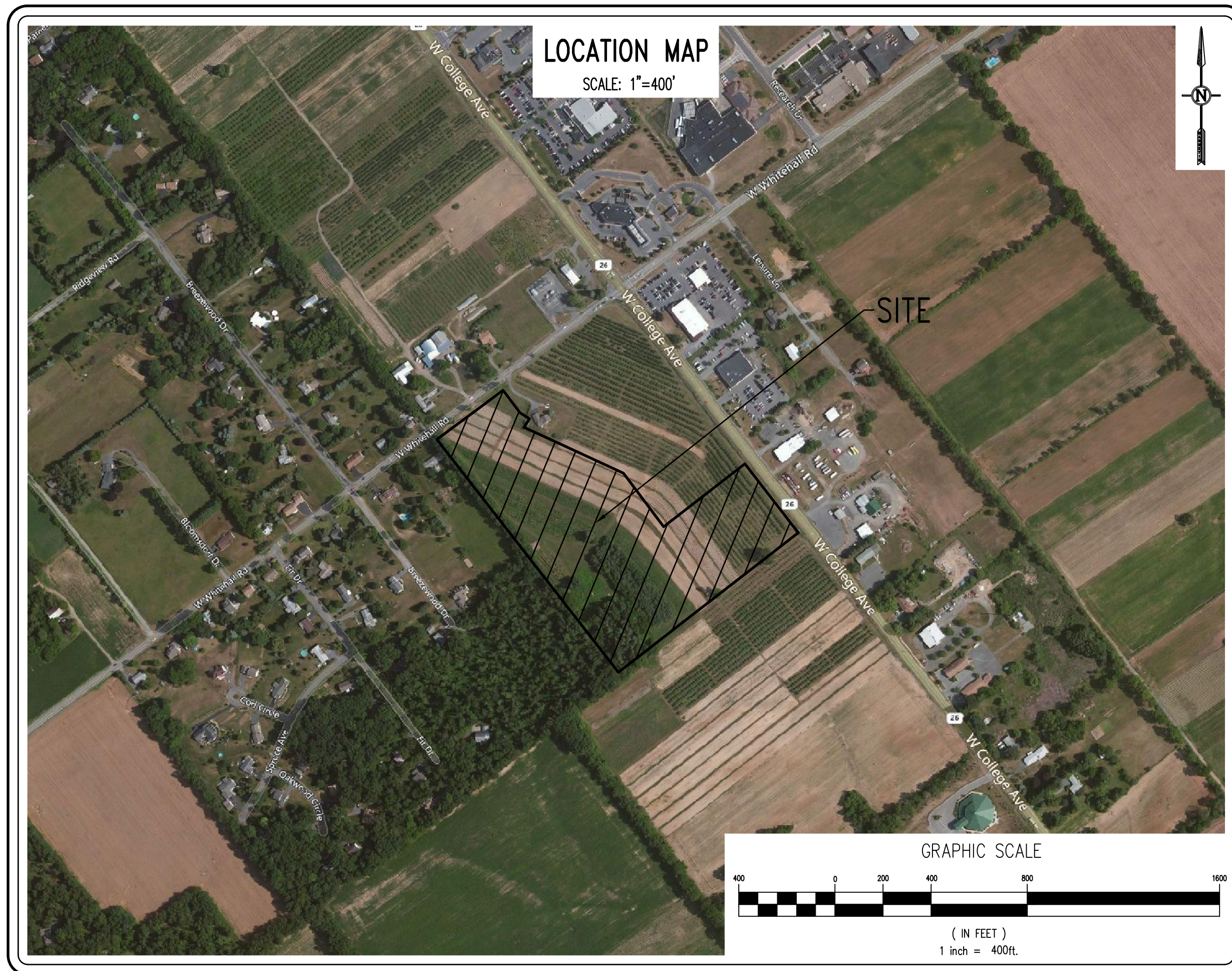


ORCHARD VIEW

PRELIMINARY/FINAL SUBDIVISION PLAN

FERGUSON TOWNSHIP * CENTRE COUNTY * PENNSYLVANIA

MAY 14, 2019



PennTerra
ENGINEERING, INC.

CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

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13	EROSION & SEDIMENTATION CONTROL NARRATIVE
14	EROSION & SEDIMENTATION CONTROL DETAILS

ACT 287 UTILITY INFORMATION
(SERIAL NUMBER: 20183162948)

SANITARY SEWER
UNIVERSITY AREA JOINT AUTHORITY
1576 SPRING VALLEY ROAD
STATE COLLEGE, PA 16801
PHONE: (814) 238-9662

PUBLIC WATER
STATE COLLEGE BOROUGH WATER AUTHORITY
1201 WEST BRANCH ROAD
STATE COLLEGE, PA 16801
PHONE: (814) 238-6766

NATURAL GAS
COLUMBIA GAS OF PENNSYLVANIA
2550 CAROLEAN INDUSTRIAL DRIVE
STATE COLLEGE, PA 16801
PHONE: (814) 238-6775

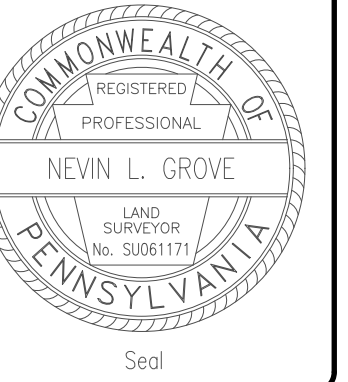
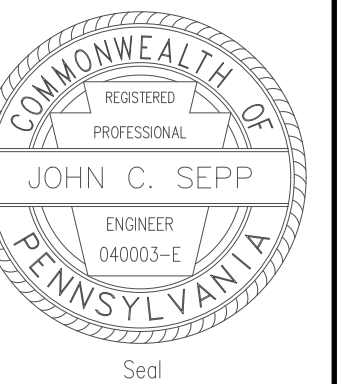
ELECTRIC
WEST PENN POWER COMPANY
2800 EAST COLLEGE AVENUE
STATE COLLEGE, PA 16801
PHONE: (814) 237-5721

TELEPHONE
VERIZON
224 SOUTH ALLEN STREET
STATE COLLEGE, PA 16801
PHONE: (814) 231-6511

CABLE TELEVISION
COMCAST
60 DECIBEL ROAD
STATE COLLEGE, PA 16801
PHONE: (800) 992-3515

BEFORE YOU DIG ANYWHERE IN
PENNSYLVANIA | CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY

\\penn\2017\1725\Design\Drawings\Residential\Sub-CP.dwg, 5/13/2019 3:17:34 PM, 1:1



Designer	EAH
Draftsman	EAH
Proj. Manager	MAT/JCS
Surveyor	MAK/JDF
Perimeter Ck.	
Book	543 Pg 1
Acad	17125-RESIDENTIAL-SUB-EX
Layout	EX

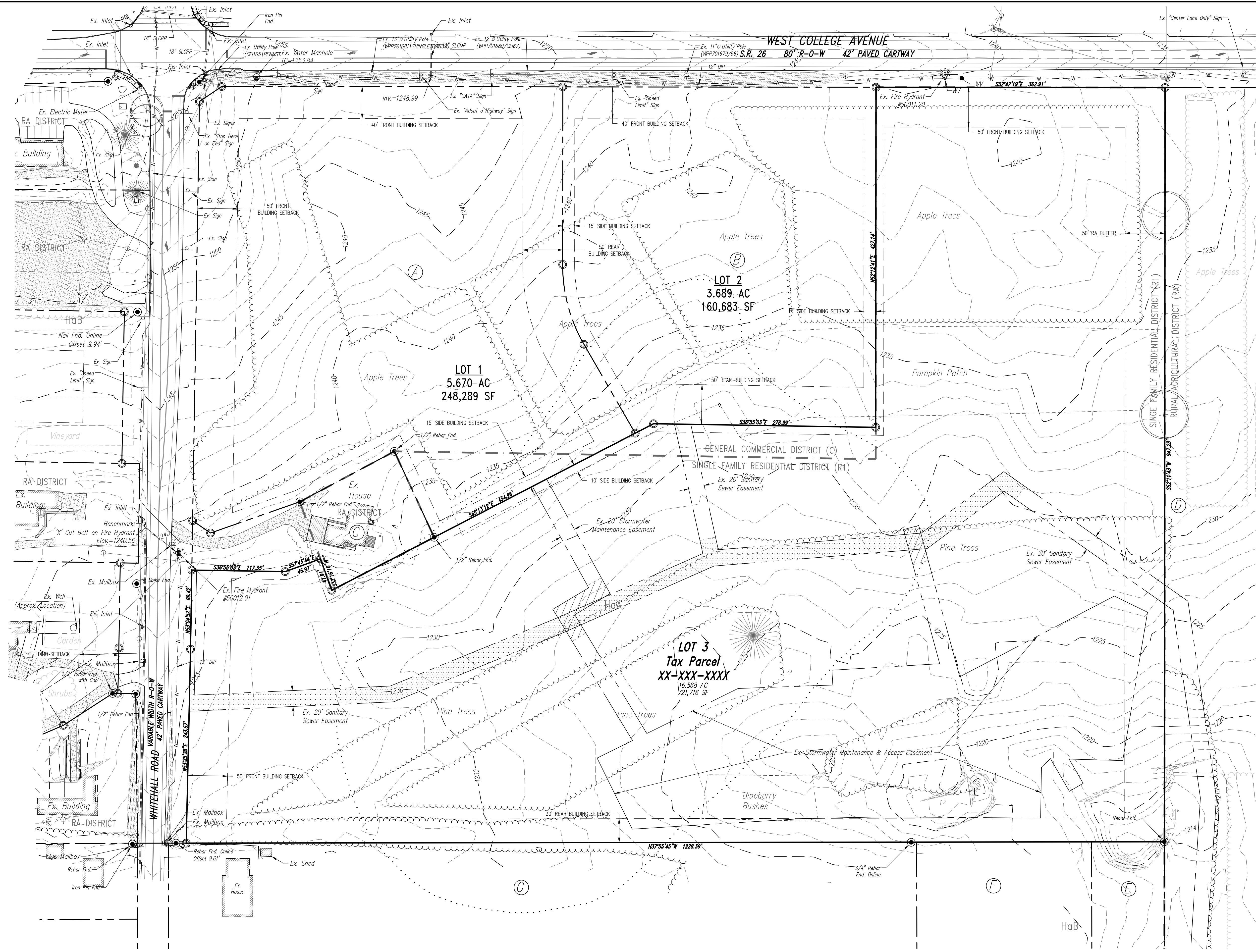
Date	Description	REVISIONS

ORCHARD VIEW
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

**PRELIMINARY/FINAL
SUBDIVISION PLAN**

**EXISTING
CONDITIONS
PLAN**

PROJECT NO.	17125
DATE	MAY 14, 2019
SCALE	1"=60'
SHEET NO.	2



SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Zoning Boundary
- Property Corner Found
- Property Corner To Be Set
- Project Benchmark

SOILS LEGEND

- Soil cover on the site consists of:
- HaA - Hagerstown Silt Loam, 0-3% Slopes
 - HaB - Hagerstown Silt Loam, 3-8% Slopes
 - HuA - Hublerburg Silt Loam, 0-3% Slopes
 - HuB - Hublerburg Silt Loam, 3-8% Slopes
 - OhB - Opequon-Hagerstown Complex, 3-8% Slopes

EXISTING FEATURES LEGEND

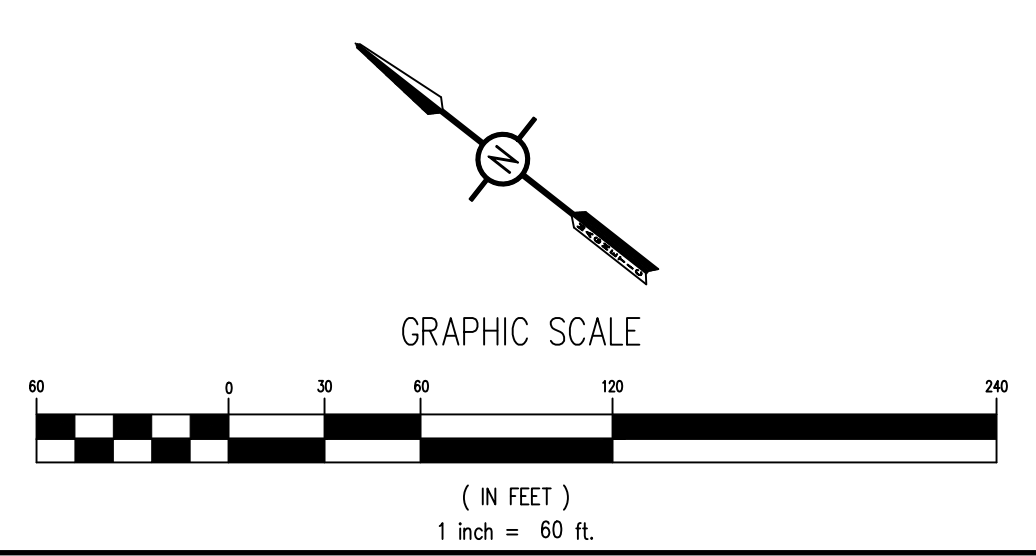
- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Gravel Areas
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Underground Electric
- Existing Overhead Utility Line w/ Pole
- Existing Fire Hydrant
- Existing Utility Pole
- Existing Guy Wire
- Existing Sign
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Row
- 25% Slopes Or Greater
- Existing Deciduous Tree
- Existing Evergreen Tree

Property Adjoiners

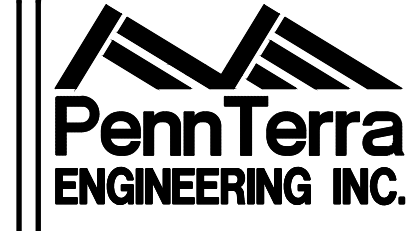
Lot	Owner
A	ASPEN WHITEHALL PARTNERS, LLC
B	ASPEN WHITEHALL PARTNERS, LLC
C	24-004-0070-0000 HARNER, THOMPSON P
D	24-004-0780-0000 0623-0218 HARNER, THOMPSON P & DANNY R
E	24-017-017-0000 2146-0355 SMITH, VIRGINIA CAROL & RICHARD B
F	24-017-018-0000 0516-0162 DELAUNTER, JOSEPH H & SANDRA
G	24-017-019-0000 0418-0759 WIKES, IRVING A & WENDY L

- AREA OF EX. STORMWATER MAINTENANCE & ACCESS EASEMENT TO BE VACATED UPON DEDICATION OF PROPOSED APPLE VIEW DRIVE ROW.
- AREA OF EX. 20" SANITARY SEWER EASEMENT TO BE VACATED UPON DEDICATION OF PROPOSED APPLE VIEW DRIVE ROW.

NOTE:
1. THE EXISTING LOT LINES AND EASEMENTS SHOWN ARE BASED UPON THE "STATE COLLEGE, PA (WHITEHALL ROAD) SHEETZ" LAND DEVELOPMENT PLAN, WHICH IS CURRENTLY UNDER REVIEW BY FERGUSON TOWNSHIP. SEE NOTE 12.b. ON SHEET 4 FOR MORE INFORMATION.



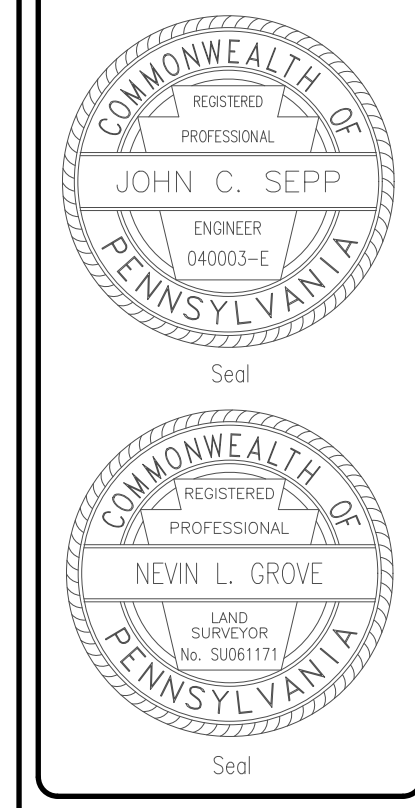
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PennTerra Engineering Inc.
 CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 Fax: 814-237-2308

WWW.PENNTERRA.COM

LANCASTER REGION OFFICE:
 3904 B ADEL DRIVE
 COLUMBIA, PA 17512
 PH: 717-522-5031
 Fax: 717-522-5046



Designer: EAH
 Draftsman: EAH
 Proj/Manager: MAT/ACS
 Surveyor: MAK/ADE
 Perimeter Cl.
 Book: 543 Pg: 1
 Aced: 17125-RESIDENTIAL-SUB-RP
 Layout: RP

Date	Description
	REVISIONS

ORCHARD VIEW
 FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY/FINAL
SUBDIVISION PLAN

RECORD PLAN

PROJECT NO:
 17125
 DATE:
 MAY 14, 2019
 SCALE: SHEET NO:
 1"=60' **3**

CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C1	354.82'	625.00'	182.33'	S 52° 50' 22" E	350.08'	32° 31' 39"
C2	286.94'	525.00'	147.15'	S 53° 26' 45" E	283.38'	31° 18' 53"
C3	318.30'	175.00'	224.86'	S 89° 53' 44" E	276.21'	104° 12' 51"
C4	31.01'	125.00'	15.59'	N 45° 06' 16" E	30.93'	14° 12' 51"
C5	45.51'	125.00'	23.01'	N 62° 38' 29" E	45.26'	20° 51' 37"
C6	27.31'	75.00'	13.81'	N 62° 38' 29" E	27.16'	20° 51' 37"
C7	45.51'	125.00'	23.01'	S 62° 38' 29" W	45.26'	20° 51' 37"
C8	27.31'	75.00'	13.81'	S 62° 38' 29" W	27.16'	20° 51' 37"
C9	18.61'	75.00'	9.35'	S 45° 06' 16" W	18.56'	14° 12' 51"
C10	409.25'	225.00'	289.10'	N 89° 53' 44" W	355.12'	104° 12' 51"
C11	259.61'	475.00'	133.13'	N 53° 26' 45" W	256.39'	31° 18' 53"
C12	383.21'	675.00'	196.92'	N 52° 50' 22" W	378.08'	32° 31' 39"
C13	15.89'	675.00'	7.95'	S 37° 15' 00" E	1233.27'	1° 20' 56"
C14	77.14'	675.00'	38.61'	S 41° 11' 54" E	1235.58'	6° 32' 53"
C15	77.14'	675.00'	38.61'	S 47° 44' 47" E	77.10'	6° 32' 53"
C16	77.14'	675.00'	38.61'	S 54° 17' 40" E	77.10'	6° 32' 53"
C17	77.14'	675.00'	38.61'	S 60° 50' 33" E	211.76'	6° 32' 53"
C18	58.75'	675.00'	29.39'	S 66° 36' 36" E	205.78'	4° 59' 11"
C19	56.34'	475.00'	28.20'	S 65° 42' 19" E	56.31'	6° 47' 45"
C20	94.86'	475.00'	47.59'	S 56° 35' 11" E	94.70'	11° 26' 31"

CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C21	96.57'	475.00'	48.45'	S 45° 02' 29" E	96.40'	11° 38' 53"
C22	11.85'	475.00'	5.92'	S 38° 30' 11" E	11.85'	1° 25' 44"
C23	59.77'	225.00'	30.06'	S 45° 23' 54" E	59.59'	15° 13' 11"
C24	77.99'	225.00'	39.39'	S 62° 56' 19" E	77.60'	19° 51' 37"
C25	77.92'	225.00'	39.36'	S 82° 47' 24" E	77.53'	19° 50' 33"
C26	77.62'	225.00'	39.20'	N 77° 24' 22" E	77.23'	19° 45' 55"
C27	78.13'	225.00'	39.46'	N 57° 34' 33" E	77.74'	19° 53' 42"
C28	37.82'	225.00'	18.96'	N 42° 48' 46" E	37.78'	9° 37' 52"
C29	25.00'	125.00'	12.54'	S 46° 28' 55" W	24.96'	11° 27' 33"
C30	6.01'	125.00'	3.01'	S 39° 22' 29" W	6.01'	2° 45' 18"
C31	5.08'	175.00'	2.54'	S 38° 49' 45" W	5.08'	1° 39' 51"
C32	135.24'	175.00'	71.20'	S 61° 48' 01" W	131.90'	44° 16' 40"
C33	126.12'	175.00'	65.94'	N 75° 24' 51" W	123.41'	41° 17' 36"
C34	51.86'	175.00'	26.12'	N 46° 16' 41" W	51.67'	16° 58' 45"
C35	37.55'	525.00'	18.78'	N 39° 50' 15" W	37.54'	4° 05' 52"
C36	76.36'	525.00'	38.25'	N 46° 03' 12" W	76.30'	8° 20' 02"
C37	76.36'	525.00'	38.25'	N 54° 23' 14" W	76.30'	8° 20' 02"
C38	76.36'	525.00'	38.25'	N 62° 43' 16" W	76.30'	8° 20' 02"
C39	20.30'	525.00'	10.15'	N 67° 59' 44" W	20.29'	2° 12' 54"
C40	1.67'	625.00'	0.83'	N 69° 01' 36" W	1.67'	0° 09' 10"

CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C41	83.33'	625.00'	41.73'	N 65° 07' 50" W	83.27'	7° 38' 22"
C42	83.33'	625.00'	41.73'	N 57° 29' 28" W	83.27'	7° 38' 22"
C43	85.99'	625.00'	43.06'	N 49° 43' 48" W	85.92'	7° 52' 59"
C44	83.33'	625.00'	41.73'	N 41° 58' 08" W	83.27'	7° 38' 22"
C45	17.16'	625.00'	8.58'	N 37° 21' 44" W	17.16'	1° 34' 25"

Adjoint	Owner
A	ASPEN WHITEHALL PARTNERS, LLC
B	ASPEN WHITEHALL PARTNERS, LLC
C	HARNER, THOMPSON P
D	HARNER, THOMPSON P & DANNY R
E	SMITH, VIRGINIA CAROL & RICHARD B
F	DELAUER, JOSEPH H & SANDRA
G	MYERS, DENNIS A & WENDY L

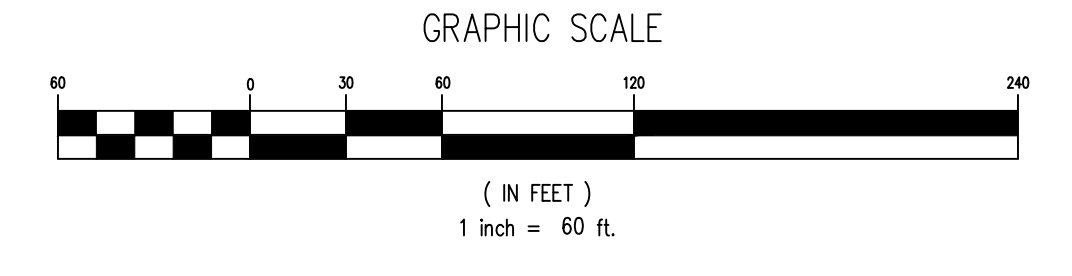
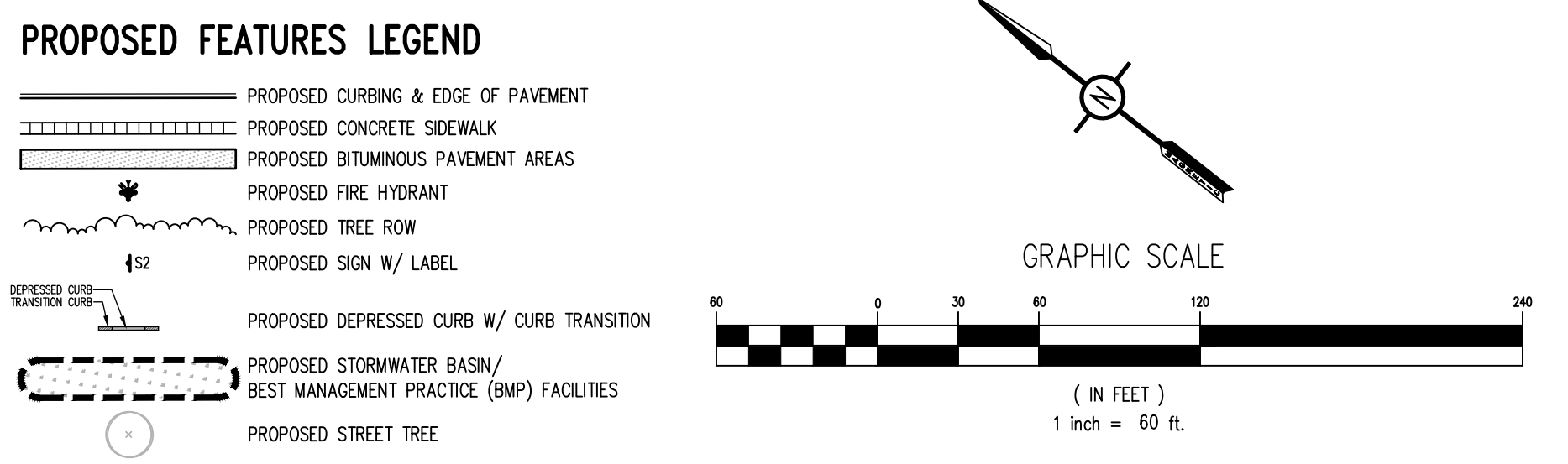
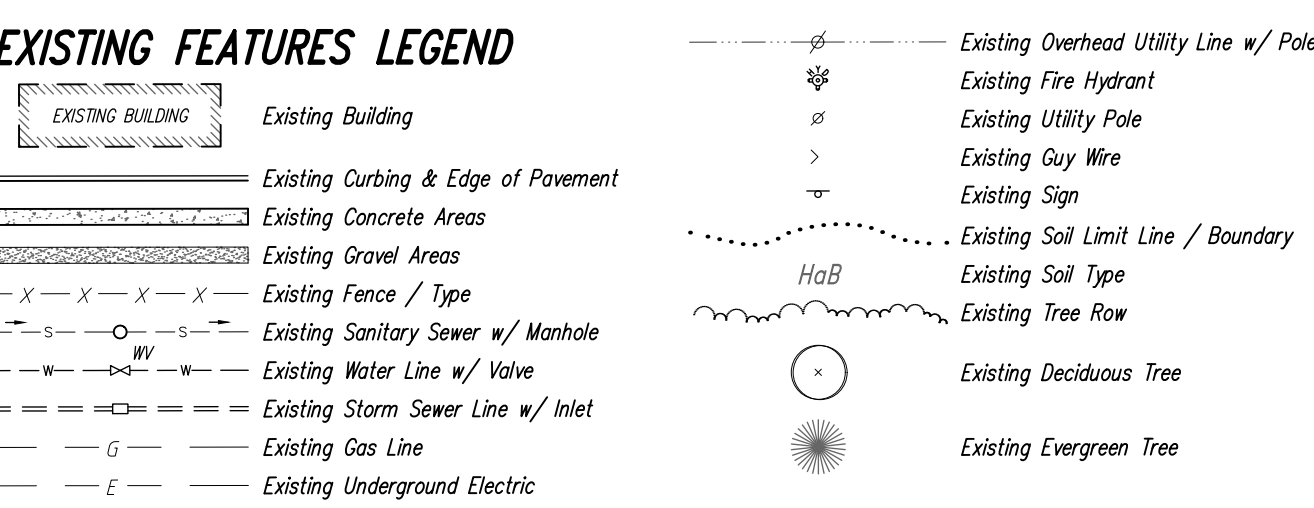
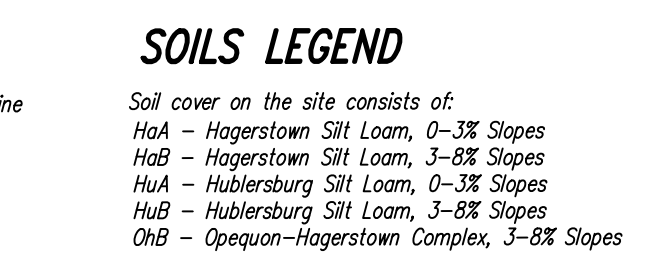
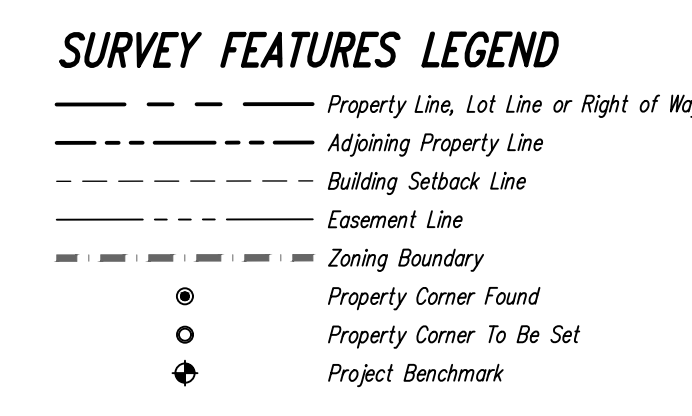
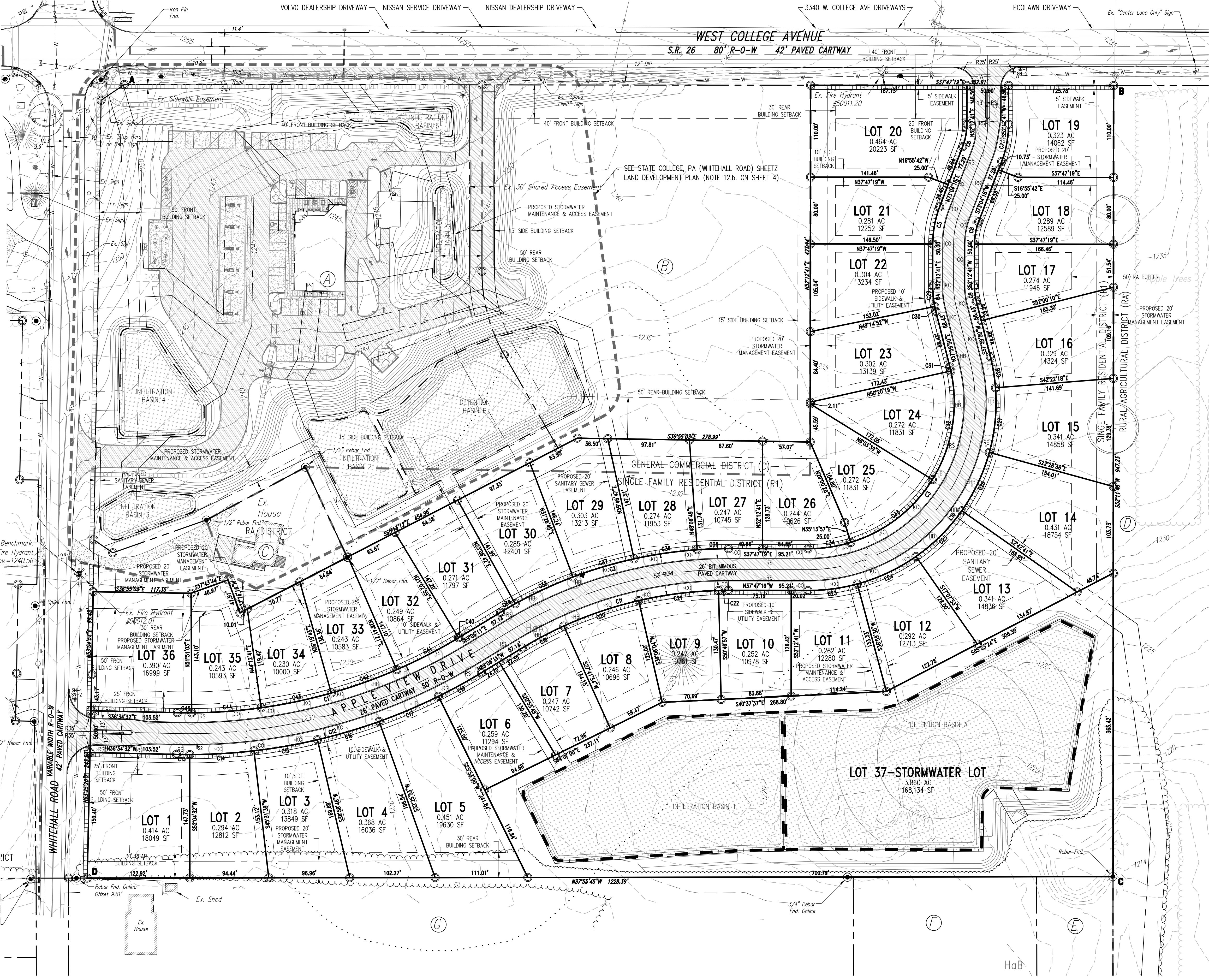
POINT	LATITUDE	LONGITUDE
A	40°45'35.041"	77°52'40.614"
B	40°45'25.801"	77°52'31.164"
C	40°45'20.053"	77°52'40.878"
D	40°45'29.616"	77°52'50.708"

SYMBOL	KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE	MATURE HEIGHT	MATURE SPREAD
STREET TREES							
(Symbol)	CO	16	CHINKAPIN OAK	Q. muhlenbergi	2" CAL.	45'	45'
(Symbol)	HB	16	HACKBERRY	Celtis occidentalis	2" CAL.	50'	50'
(Symbol)	KC	16	KENTUCKY COFFEE TREE	Gymnocladia dioica	2" CAL.	60'	40'
(Symbol)	RS	21	RED SUNSET MAPLE	Acer rubrum - red sunset	2" CAL.	60'	30'

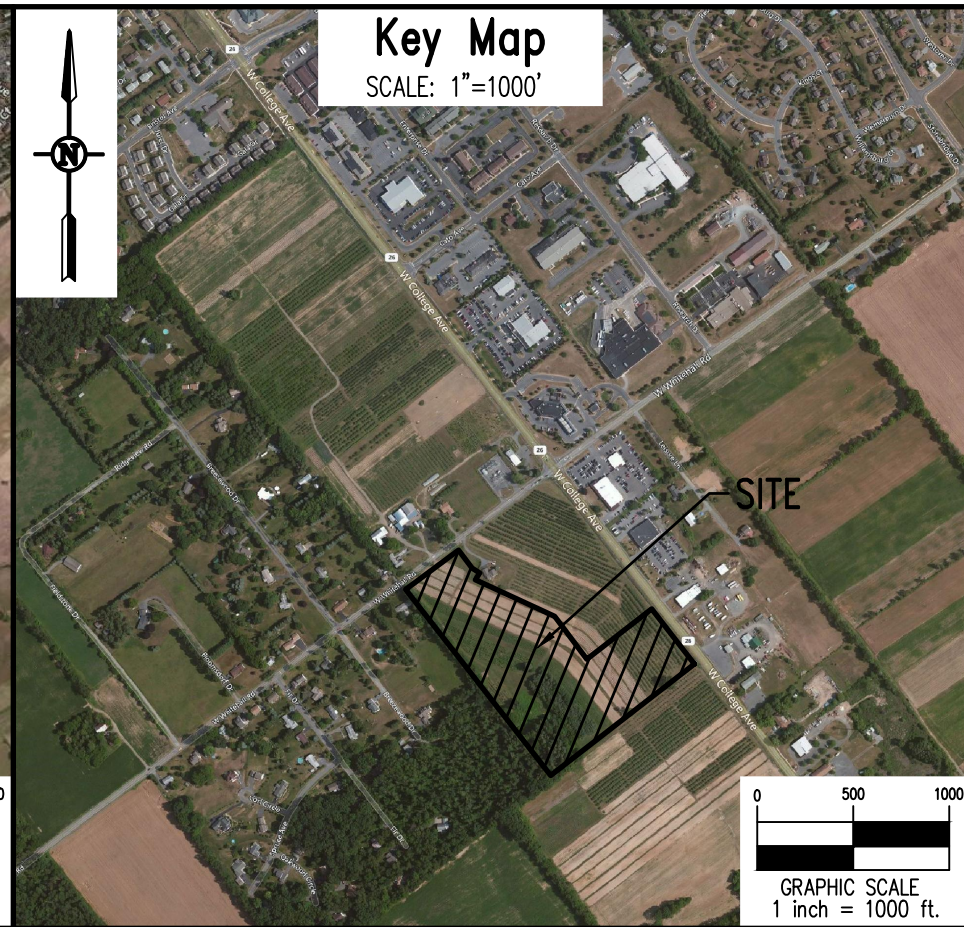
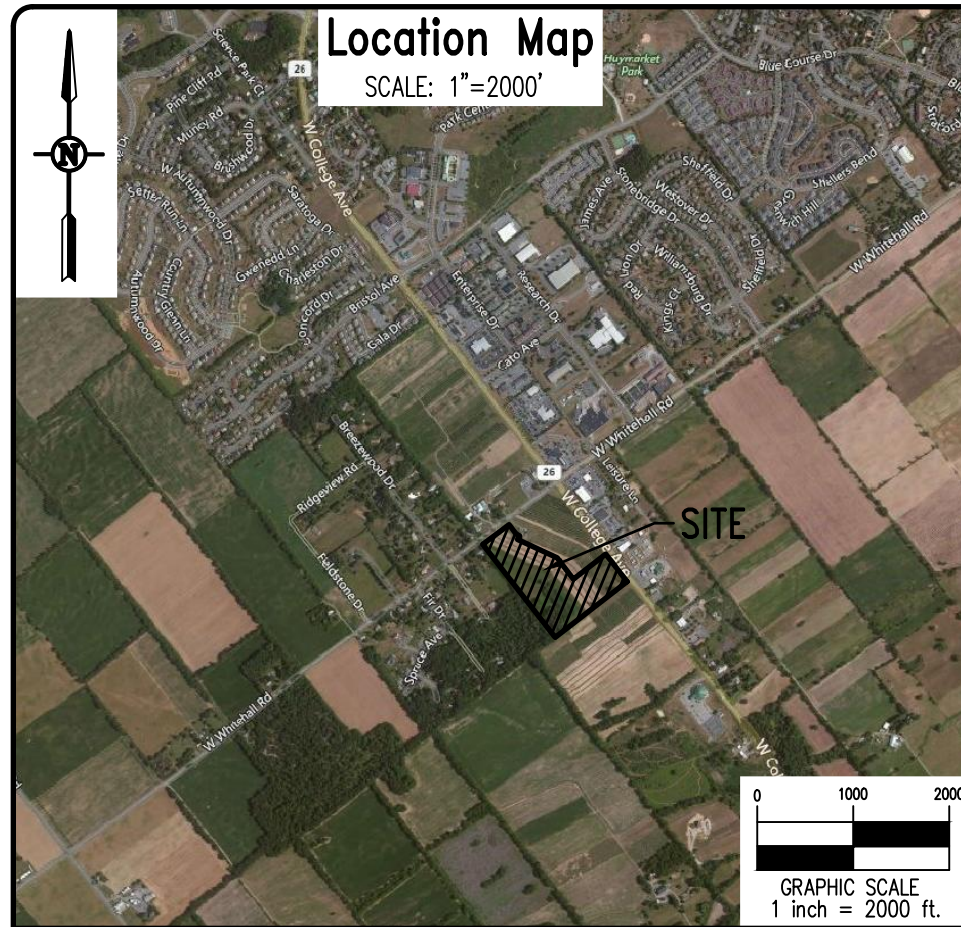
NOTE: ALL TREES & SHRUBS ARE TO BE PLANTED IN ACCORDANCE WITH CHAPTER 25 (SHADE TREES) OF THE FERGUSON TOWNSHIP SUBDIVISION ORDINANCE.

Fire Flow Information:
 Fire Hydrant #50011.20
 Location: Across from 3340 W College Ave
 Flow Information:
 Test Date: 08/17/2017
 Nozzle: 4.5"
 Pressure: 74 psi
 Residual: 58 psi
 Flow: 1,750 gpm

Fire Hydrant #50012.01
 Location: Across from 2177 W Whitehall Rd
 Flow Information:
 Test Date: 08/28/2017
 Nozzle: 4.5"
 Pressure: 76 psi
 Residual: 60 psi
 Flow: 1,800 gpm



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Project Notes:

- 1. General Site Information:
a. Owner Information: Aspen Whitehall Partners LLC
b. Tax Parcel Number:
c. Deed Information:
d. Property Address:
e. Municipality:
f. Zoning:
g. Existing Site Use:
h. Proposed Site Use:
i. Lot Size:
j. Maximum Building Coverage:
k. Proposed Building Coverage:
l. Maximum Impervious Coverage:
m. Proposed Impervious Coverage:
n. Maximum Building Height:
o. Proposed Building Height:
p. Total Number of Lots:

- 2. Building Setbacks:
a. Single Family Residential (R-1):
b. Corridor Overlay District:
c. The purpose of this plan is to Subdivide existing Tax Parcel Number into 36 Single Family Residential lots, 1 Stormwater Management Lot, construct a public street, and install all associated utilities.

- 4. Act 287 Utility Information:
a. Water:
b. Sanitary Sewer:
c. Telephone:
d. Electric:
e. Cable television:
f. Gas:
g. Storm Sewer:

- 5. Natural Site Features & Survey Information:
a. Soil limits and descriptions have been taken from the Natural Resources Conservation Service Web Soil Survey dated March 2019.
b. There are not wetlands on the site according to the National Wetland Inventory Mapping (U.S. Fish & Wildlife Service) for State College, PA last updated March 2019.
c. There are no portions of this site within Flood Plain according to the Federal Emergency Management Agency (FEMA) Map Number 42027C0619F, effective date May 4, 2009.
d. Contours shown are taken from survey data collected in the field by PennTerra Engineering, Inc.
e. Horizontal Datum is Pennsylvania North Zone State Plane Coordinates, North American Datum of 1983 (PA NAD83) U.S. Feet.
f. Elevation Datum is the North American Vertical Datum of 1988 (NAVD 88).
g. The Project Benchmark is a 'X' cut bolt over the large opening on a fire hydrant along Whitehall Road. Elevation = 1240.56'.

- 6. Easement Information:
a. There is a 10' Utility and Sidewalk Easement located along the street frontage of all lots.
b. There is a 5' Sidewalk Easement located along the West College Avenue side of Lots 19 & 20.

- 7. Street Lighting: Each lot shall be equipped with a "dusk 'til dawn" photocell controlled lamp on a post placed on the front lawn.
8. Any signage required by the Township shall be acquired and erected at the expense of the developer.
9. Property monuments and pins shall be set after lot development and landscaping is completed.
10. Apple View Drive shall have a 26' wide paved cartway bordered by extruded plain cement concrete curb and centered within a dedicated 50' R-O-W.
11. All pedestrian walkways, drainage easements, detention basins, and all drainage structures located outside of the street R-O-W shall be maintained by.

- 12. For additional information, refer to:
a. "Subdivision of Tax Parcel 24-4-67 & Replot of Tax Parcel 24-4-67C", prepared by PennTerra Engineering, Inc., dated April 19, 2019.
b. "State College, PA (Whitehall Road) Sheet", prepared by PennTerra Engineering, Inc., dated April 19, 2019.
13. As-Built drawings/documentation of the stormwater management facilities must be prepared in accordance with Chapter 26 §26-402D.4 and submitted to Ferguson Township at the completion of construction as a prerequisite of the release of surety and issuance of Occupancy Permit.
14. Street trees along Apple View Drive shall be as follows: (Min. Spacing: 41', Max. Spacing: 50', Min. Caliper: 2") (Refer to Plan Sheet 3). Due to potential conflicts with driveway entrances and construction equipment, the installation of street trees within this subdivision shall be done all at the same time after all sidewalks are completed in this phase. Street tree planting shall be in compliance with Chapter 25 (Shade Trees) of the Ferguson Township Subdivision Ordinance.
15. A Sidewalk Easement Agreement has been recorded in Record Book Page for the concrete sidewalk along the street frontage of all single family lots.
16. No structure is required to have a built-in fire suppression system.
17. This Record Plan Conforms with the plan receiving final approval by the Ferguson Township Board of Supervisors on. All improvements are or will be installed in accordance with such plan in a manner and time so specified therein.
18. A fee-in-lieu payment will be provided by the developer to meet the parkland requirement.
19. No more than 36 dwelling units may be constructed on the land which is the subject of this Subdivision Plan unless additional land is dedicated to the Township of Ferguson for parkland and/or the Board of Supervisors accepts an additional fee-in-lieu of dedication of parkland.

Stormwater BMPs Long Term Ownership, Operation and Maintenance Program

All stormwater management BMPs on this site not contained in a Ferguson Township Right-of-Way shall be owned and maintained by the Home Owners Associations their executors, heirs and assigns. The owners agree to provide perpetual maintenance, access to and ownership of the BMPs. Ferguson Township, its agents and assigns shall have the uninterrupted right to access the property for inspection and maintenance of the stormwater BMPs. This note applies to the entire property shown on these plans and shall be in effect for perpetuity. The responsibility for long-term operation and maintenance of the BMPs is a covenant that runs with the land and binding upon and enforceable by subsequent grantees.

Ferguson Township and/or the Centre County Conservation District requires the Owners to maintain a record of all inspections, repairs, and maintenance activities associated with the proposed stormwater management and permanent erosion and sediment pollution control facilities at this project site. The Owners shall immediately notify Ferguson Township and Centre County Conservation District prior to initiating any major repair activities.

The Owners hereby acknowledges Ferguson Township's right to periodically access the project site to inspect the permanent stormwater management facilities that are part of this project. The Owners acknowledges Ferguson Township's right to access the project site with notice to repair and/or maintain the permanent stormwater management facilities in accordance with this Maintenance Program. Any maintenance and/or repair activities conducted by Ferguson Township shall be at the expense of the Owners.

The facilities that will require maintenance are inlets, storm sewer pipes, rip-rap aprons, swales and detention/infiltration basins. All stormwater facilities should be inspected monthly or after any rainfall producing runoff and maintained as follows:

- 1. The proposed storm sewer pipe inlets and outlets shall be cleaned of all debris, litter, and other deleterious material.
2. The rip-rap aprons at the outlets of the pipes need to be inspected to ensure proper erosion protection. If erosion occurs, additional rip-rap should be added.
3. The rear lot swales shall be cleaned of debris and if any erosion is present the area is to be backfilled with topsoil and seeded with a permanent mixture. Vegetation shall be maintained to a height of six inches.
4. The stormwater detention/infiltration basins shall be cleaned of debris and if any erosion is present the area is to be backfilled with topsoil and seeded with a permanent mixture. The outlet structures shall be kept clean of trash and debris. Vegetation in Detention Basin A and on the sides of Infiltration Basin 1 shall be maintained to a height of six inches. The vegetation within the bottoms of Infiltration Basin 1 should not be frequently cut. This vegetation shall at a minimum be trimmed annually to a height of three to six inches. All clippings in excess of two inches in length shall be removed from the basins. Vehicular traffic in Infiltration Basin 1 shall be limited to the maximum extent possible. No vehicular traffic should operate within the basin bottoms when the soils are saturated.
5. Documentation of inspections must be maintained by the owner and submitted to Township upon request. Maintenance inspections may be performed by the Township to ensure proper functioning of all stormwater facilities.

Owners Certification Tax Parcel

Commonwealth of Pennsylvania
County of Centre
On this the day of 20, personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.
witness my hand and seal, this date

Storm Water Certification

I, hereby certify that the Stormwater Management Plan meets all design standards and criteria of the Ferguson Township Stormwater Management Ordinance.

Design Engineer Certification

I, hereby certify that this land development meets all design requirements of the Subdivision and Land Development Ordinance, Zoning Ordinance and all other applicable Chapters of Ferguson Township Code.

Offer of Dedication

Commonwealth of Pennsylvania
County of
On this the day of 2019, certifies that all proposed streets, right of ways, and easements not heretofore dedicated shown on this plan, are hereby offered for public use. He acknowledges responsibility for maintenance of lands and/or facilities until they are complete and accepted for dedication by the Municipality.
witness my hand and seal, this date

Storm Water Facilities Acknowledgement

I/We, the landowner(s), my/our heirs and assigns, acknowledge the Stormwater Management System to be a permanent facility which can be altered or removed only after approval of a revised plan by the Ferguson Township Board of Supervisors. The stormwater management system is to be maintained in accordance with the approved ownership and maintenance program.

Township Engineer Certification

I, have reviewed and hereby certify that the plan meets all engineering design standards and criteria of the Ferguson Township Code of Ordinances.

Municipal Storm Water Certification

I, have reviewed the Stormwater Management Plan in accordance with the design standards and criteria of the Ferguson Township Stormwater Management Ordinance.

Township Planning Commission

Ferguson Township Planning Commission Approved
Chairman Date
Secretary Date

Township Supervisors

Ferguson Township Supervisors Approved
Chairman Date
Secretary Date

Fire Chief Certification

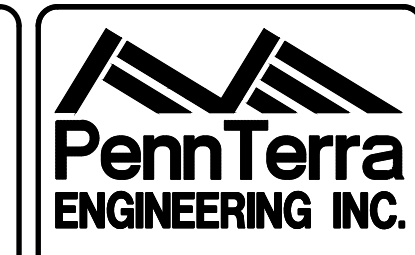
I have reviewed and hereby certify that the location of Fire Lanes and Fire Hydrants shown on this plan are adequate.
Fire Chief Date

Professional Land Surveyor Certification

I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.
Signature Date

Recorder of Deeds

Recorded in the Office of the Recorder of Deeds at Centre County, Pennsylvania, in Plot Book Page, on this day of 20.
By Recorder

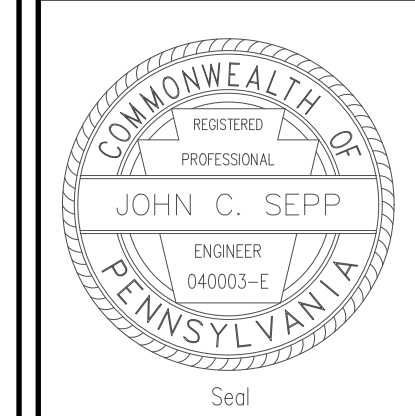


CENTRAL PENNSYLVANIA REGION OFFICE: 3075 ENTERPRISE DRIVE SUITE 100 STATE COLLEGE, PA 16801 PH: 814-231-8285 Fax: 814-237-2308

LANCASTER REGION OFFICE: 3904 B ABEL DRIVE COLUMBIA, PA 17512 PH: 717-522-5031 Fax: 717-522-5046

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Designer EAH
Draftsman EAH
Proj/Manager MAT/JCS
Surveyor MAK/JDF
Perimeter Ok.
Book 543 Pg 1
Acad 17125-RESIDENTIAL-SUB-SIG
Layout SIGN-NOTES

Table with 2 columns: Date, Description. Includes a row for REVISIONS.

ORCHARD VIEW

FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

PRELIMINARY/FINAL SUBDIVISION PLAN

SIGNATURE & NOTES PAGE

PROJECT NO. 17125
DATE MAY 14, 2019
SCALE N.T.S. SHEET NO. 4

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- - - Adjoining Property Line
- ⊕ Project Benchmark

EXISTING FEATURES LEGEND

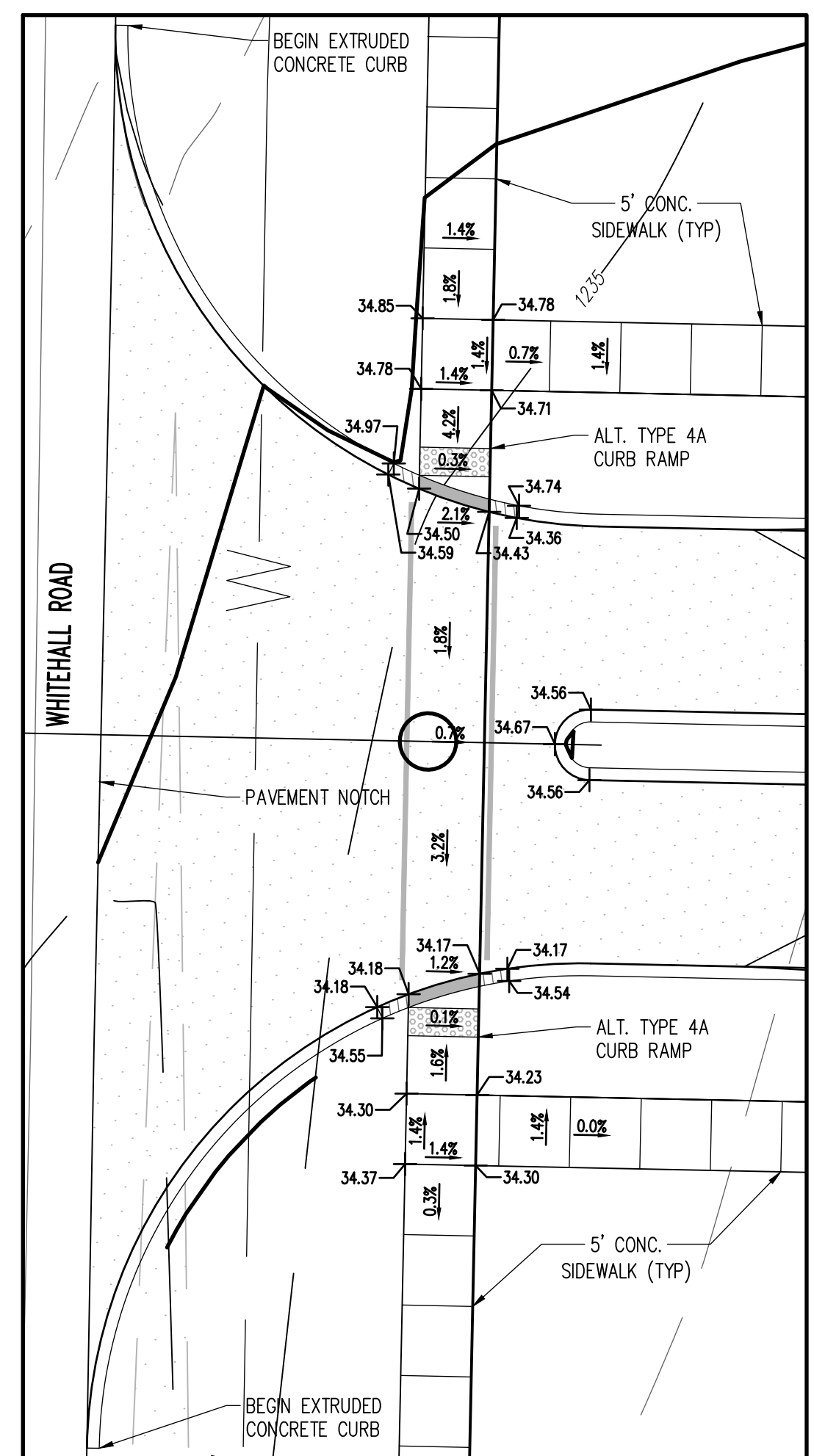
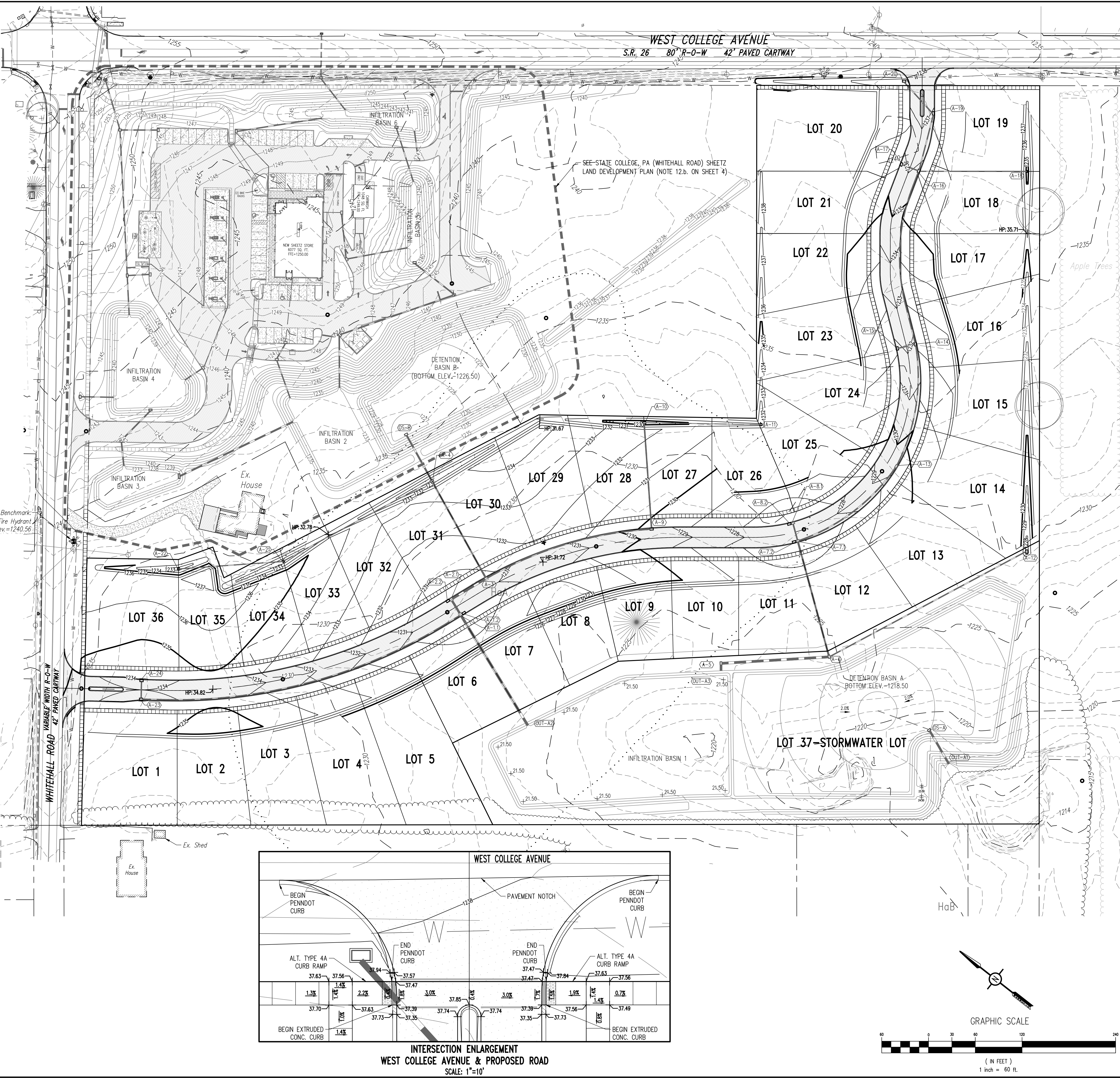
- ▭ Existing Building
- Existing Curbing & Edge of Pavement
- ▬ Existing Concrete Areas
- ▬ Existing Gravel Areas
- x - x - x - Existing Fence / Type
- - - Existing Contours w/ Elevation (1's & 2's)
- - - Existing Contours w/ Elevation (5's & 10's)
- - - Existing Storm Sewer Line w/ Inlet
- ⊕ Existing Sign
- Existing Soil Limit Line / Boundary
- HaB Existing Soil Type
- ⊕ Existing Tree Row
- 25% Slopes Or Greater
- ⊕ Existing Deciduous Tree
- ⊕ Existing Evergreen Tree

PROPOSED FEATURES LEGEND

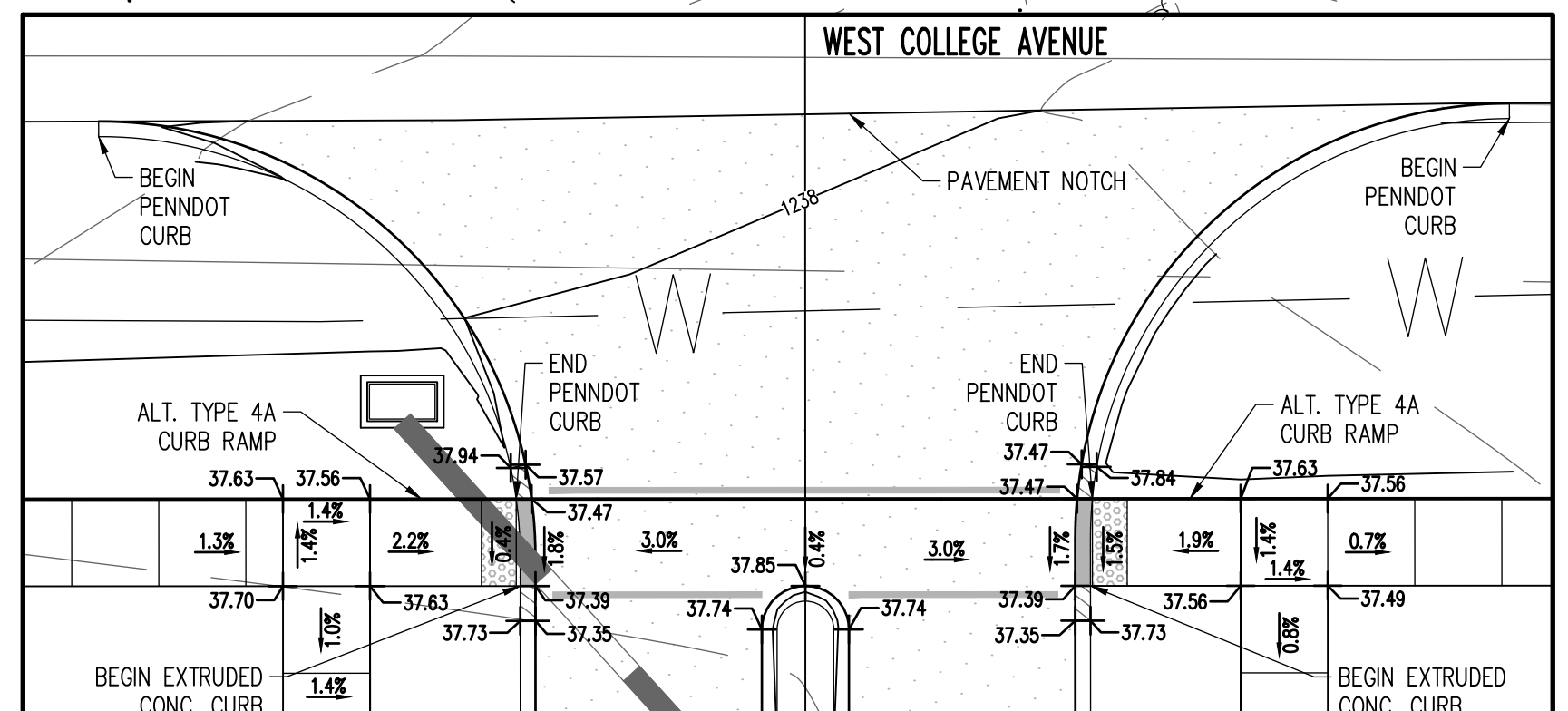
- ▬ PROPOSED CURBING & EDGE OF PAVEMENT
- ▬ PROPOSED CONCRETE SIDEWALK
- ▬ PROPOSED BITUMINOUS PAVEMENT AREAS
- 1109 PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- 1110 PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- ⊕ 69.87 PROPOSED SPOT ELEVATION
- 2.0% PROPOSED GRADE SLOPE
- ⊕ PROPOSED STORM SEWER W/ TYPE C INLET
- ⊕ PROPOSED FIRE HYDRANT
- ⊕ PROPOSED UTILITY MANHOLE
- ⊕ PROPOSED STORM SEWER INLET - TYPE M
- ⊕ PROPOSED STORM SEWER INLET - TYPE C
- ▬ PROPOSED TREE ROW
- ▬ PROPOSED DEPRESSED CURB W/ CURB TRANSITION

SOILS LEGEND

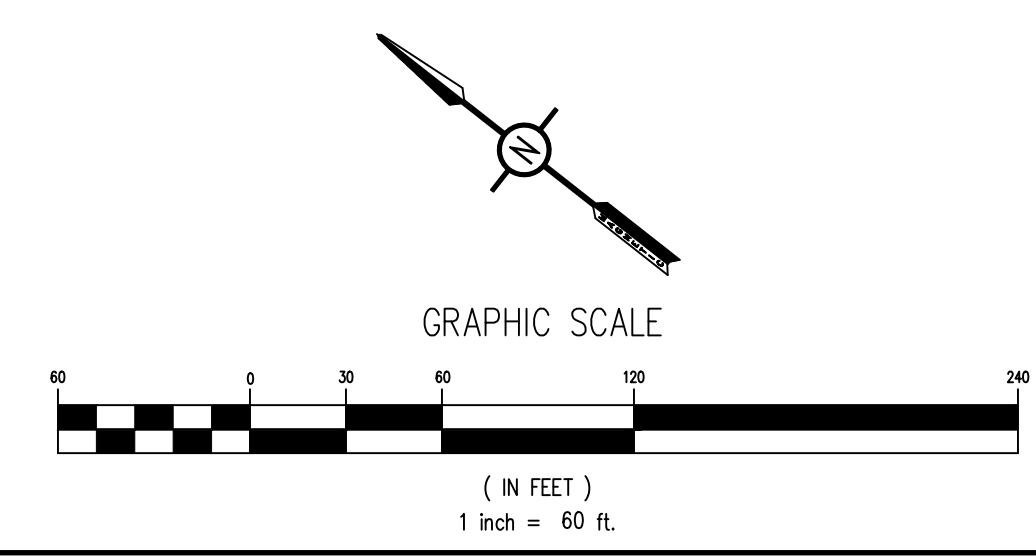
- Soil cover on the site consists of:
- HaA - Hagerstown Silt Loam, 0-3% Slopes
 - HaB - Hagerstown Silt Loam, 3-8% Slopes
 - HuA - Hublersburg Silt Loam, 0-3% Slopes
 - HuB - Hublersburg Silt Loam, 3-8% Slopes
 - OhB - Opequon-Hagerstown Complex, 3-8% Slopes



**INTERSECTION ENLARGEMENT
WHITEHALL ROAD & PROPOSED ROAD
SCALE: 1"=10'**



**INTERSECTION ENLARGEMENT
WEST COLLEGE AVENUE & PROPOSED ROAD
SCALE: 1"=10'**

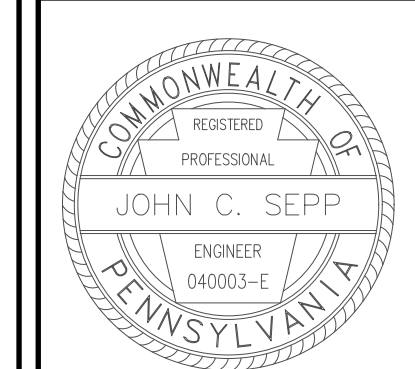


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CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 Fax: 814-237-2308

LANCASTER REGION OFFICE:
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Designer	EAH
Draftsman	EAH
Proj Manager	MAT/UCS
Surveyor	MAX/JOE
Perimeter Ck.	
Book	543 Pg 1
Acad	17125-RESIDENTIAL-SUB-GP
Layout	GP

ORCHARD VIEW

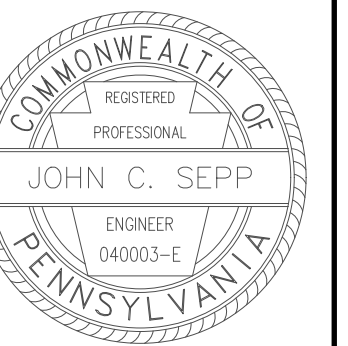
FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

**PRELIMINARY/FINAL
 SUBDIVISION PLAN**

GRADING PLAN

PROJECT NO.	17125
DATE	MAY 14, 2019
SCALE	1"=60'
SHEET NO.	5

P:\dipno\201717125\Design\Drawings\Residential\Subdivision\17125-RESIDENTIAL-SUB-GP.dwg, 5/13/2019 3:19:28 PM, 1:1



Designer	EAH
Draftsman	EAH
Proj Manager	MAT/JCS
Surveyor	MAK/JDF
Perimeter Ck.	
Book	543 Pg 1
Acad	1725-RESIDENTIAL-SUB-PCSM
Layout	PCSM

Date	Description

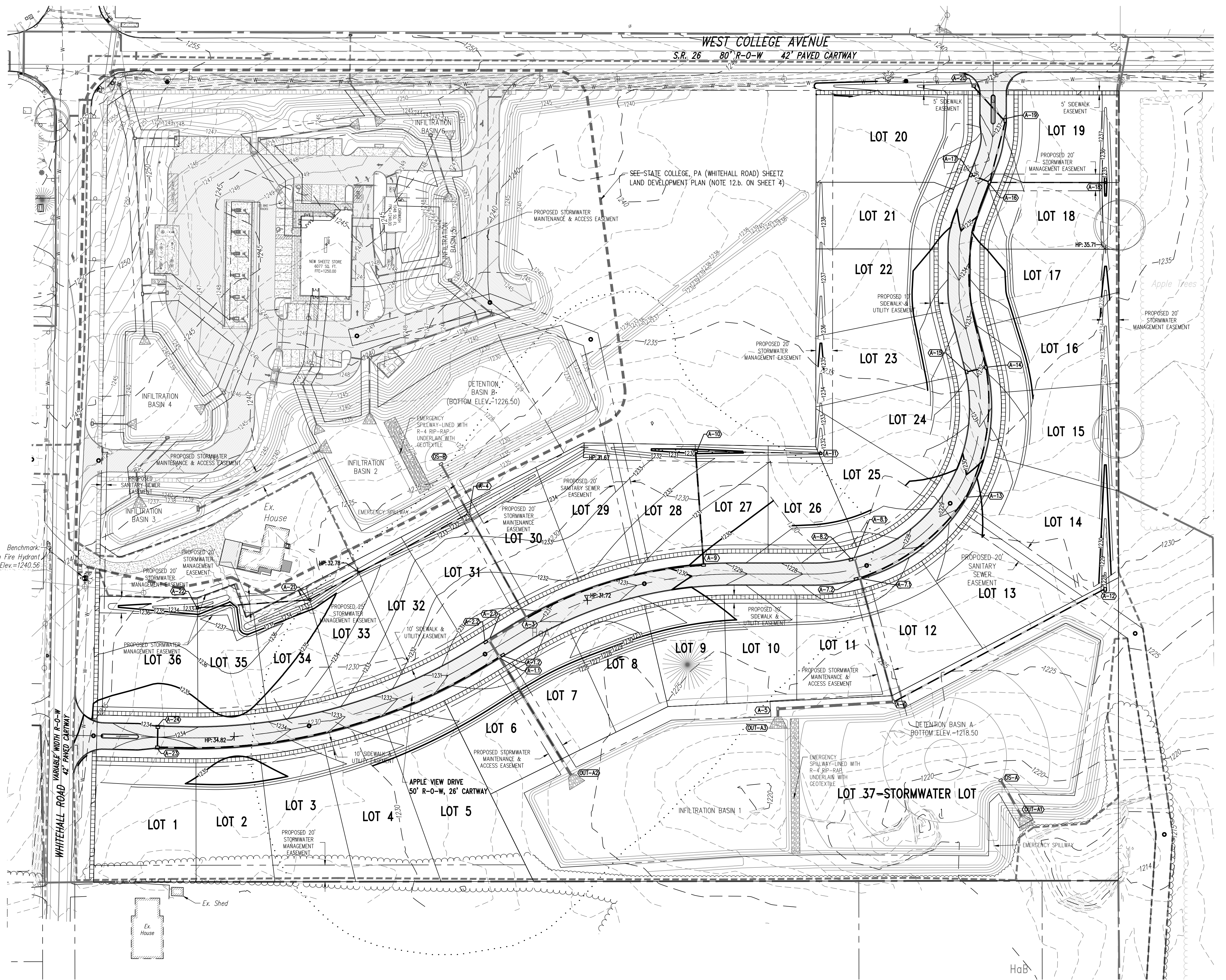
ORCHARD VIEW

FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

**PRELIMINARY/FINAL
SUBDIVISION PLAN**

**POST
CONSTRUCTION
STORMWATER
MANAGEMENT
PLAN**

PROJECT NO.	17125
DATE	MAY 14, 2019
SCALE	1"=60'
SHEET NO.	6



SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- - - Adjoining Property Line
- Project Benchmark

SOILS LEGEND

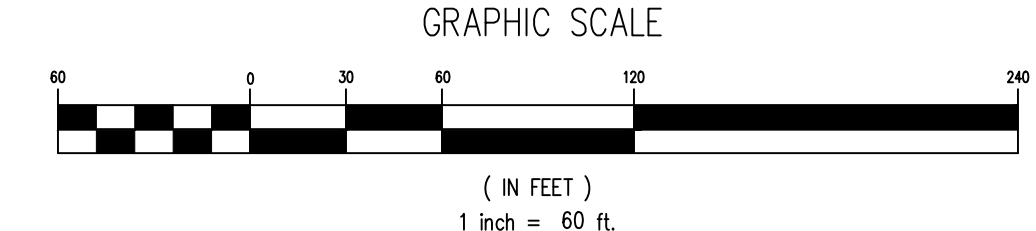
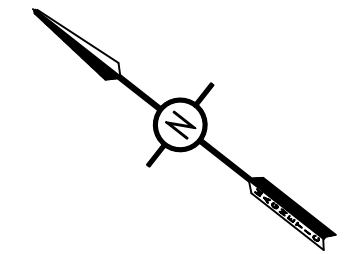
- Soil cover on the site consists of:
- HaA - Hagerstown Silt Loam, 0-3% Slopes
 - HaB - Hagerstown Silt Loam, 3-8% Slopes
 - HuA - Hubersburg Silt Loam, 0-3% Slopes
 - HuB - Hubersburg Silt Loam, 3-8% Slopes
 - OnB - Opequon-Hagerstown Complex, 3-8% Slopes

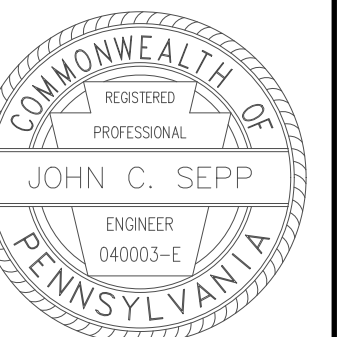
EXISTING FEATURES LEGEND

- [Hatched Box] Existing Building
- [Dashed Line] Existing Curbing & Edge of Pavement
- [Solid Line] Existing Concrete Areas
- [Dotted Line] Existing Gravel Areas
- [Cross-hatched Line] Existing Fence / Type
- [Dashed Line] Existing Contours w/ Elevation (1's & 2's)
- [Dashed Line] Existing Contours w/ Elevation (5's & 10's)
- [Dashed Line] Existing Storm Sewer Line w/ Inlet
- [Circle with X] Existing Sign
- [Dotted Line] Existing Soil Limit Line / Boundary
- [Wavy Line] Existing Soil Type
- [Dashed Line] Existing Tree Row
- [Dashed Line] 25% Slopes Or Greater
- [Wavy Line] Existing Stream
- [Dashed Line] Existing Floodplain
- [Dashed Line] Delineated Wetlands Line
- [Circle with X] Existing Deciduous Tree
- [Circle with Star] Existing Evergreen Tree

PROPOSED FEATURES LEGEND

- [Dashed Line] PROPOSED CURBING & EDGE OF PAVEMENT
- [Dashed Line] PROPOSED CONCRETE SIDEWALK
- [Dashed Line] PROPOSED BITUMINOUS PAVEMENT AREAS
- [Dashed Line] PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- [Dashed Line] PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- [Dashed Line] PROPOSED STORM SEWER W/ TYPE C INLET
- [Circle] PROPOSED UTILITY MANHOLE
- [Circle with X] PROPOSED STORM SEWER INLET - TYPE M
- [Circle with X] PROPOSED STORM SEWER INLET - TYPE C
- [Dashed Line] PROPOSED TREE ROW
- [Dashed Line] PROPOSED DEPRESSED CURB W/ CURB TRANSITION
- [Dashed Line] NPDES BOUNDARY LINE
- [Dashed Line] LIMIT OF DISTURBANCE





Designer	EAH
Draftsman	EAH
Proj Manager	MAT/JCS
Surveyor	MAK/JDF
Perimeter Ck.	
Book	543 Pg 1
Acad	17125-RESIDENTIAL-SUB-UP
Layout	LUP

Date	Description
	REVISIONS

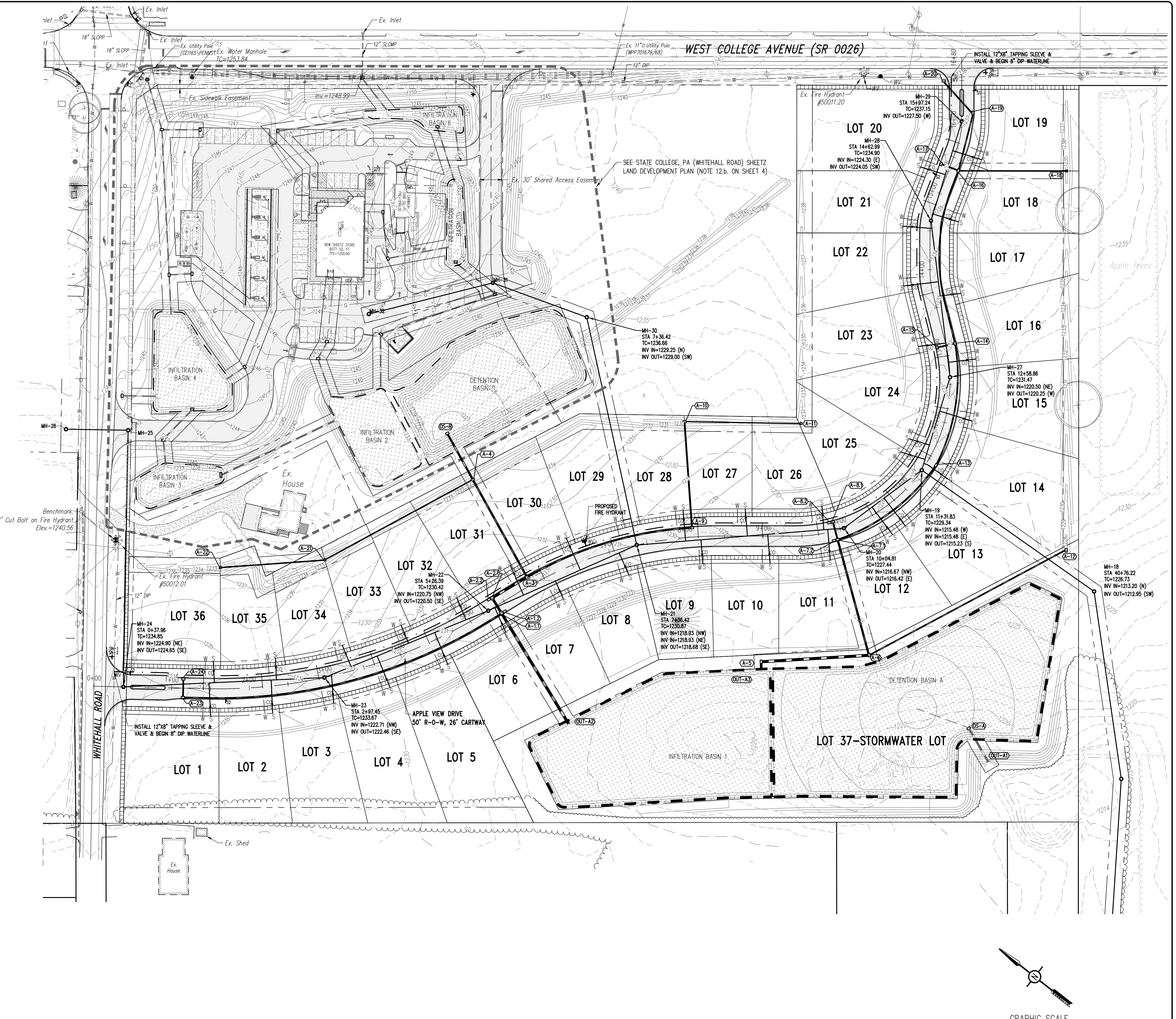
ORCHARD VIEW

FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

**PRELIMINARY/FINAL
SUBDIVISION PLAN**

UTILITY PLAN

PROJECT NO.	17125
DATE	MAY 14, 2019
SCALE	1"=60'
SHEET NO.	7



SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Easement Line
- ◆ Project Benchmark

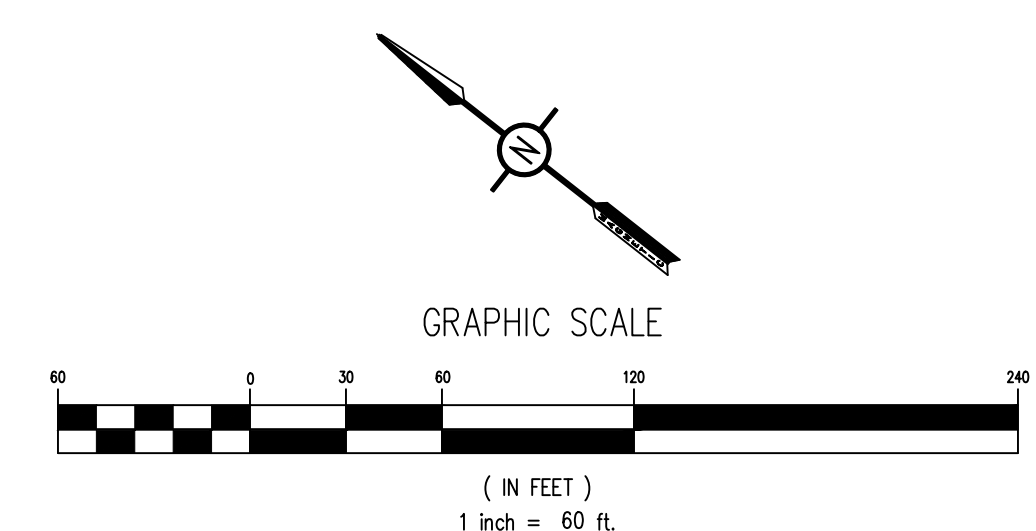
EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Gravel Areas
- Existing Fence / Type
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Underground Electric
- Existing Overhead Utility Line w/ Pole
- Existing Fire Hydrant
- Existing Utility Pole
- Existing Guy Wire
- Existing Sign
- Existing Tree Row
- Existing Deciduous Tree
- Existing Evergreen Tree

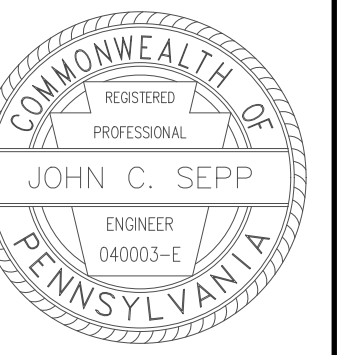
PROPOSED FEATURES LEGEND

- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED 8" SANITARY SEWER W/ MANHOLE
- PROPOSED 6" PVC SANITARY SEWER LATERAL W/ CLEAN OUT
- PROPOSED 8" WATER LINE W/ VALVE
- PROPOSED 1" SINGLE UNIT DOMESTIC WATER SERVICE LATERAL W/ CURB BOX
- PROPOSED STORM SEWER W/ TYPE C INLET
- PROPOSED GAS LINE
- PROPOSED UNDERGROUND ELECTRIC
- ETC ETC PROPOSED COMBINED UTILITY CONDUIT
- PROPOSED FIRE HYDRANT
- PROPOSED UTILITY MANHOLE
- PROPOSED STORM SEWER INLET - TYPE M
- PROPOSED STORM SEWER INLET - TYPE C
- PROPOSED STORM SEWER END SECTION
- PROPOSED WATER SERVICE VALVE
- PROPOSED CLEAN-OUT
- PROPOSED TREE ROW
- PROPOSED SIGN W/ LABEL
- PROPOSED DEPRESSED CURB W/ CURB TRANSITION

NOTE:
1. THE PROPOSED FIRE HYDRANT SHALL BE AMERICAN DARLING, MODEL B-62-B, TRAFFIC MODEL, AND INSTALLED PER SCBWA SPECIFICATIONS.



P:\dtp\2017\17125\Design\lot final\Residential Subdivision Plan\17125-RESIDENTIAL-SUB-UP.dwg, 5/13/2019 3:20:30 PM, 1:1



Designer	EAH
Draftsman	EAH
Proj/Manager	MAT/JCS
Surveyor	MAK/JDF
Perimeter Ok.	
Book	543 Pg 1
Acad	17125-RESIDENTIAL-SUB-PF
Layout	PE

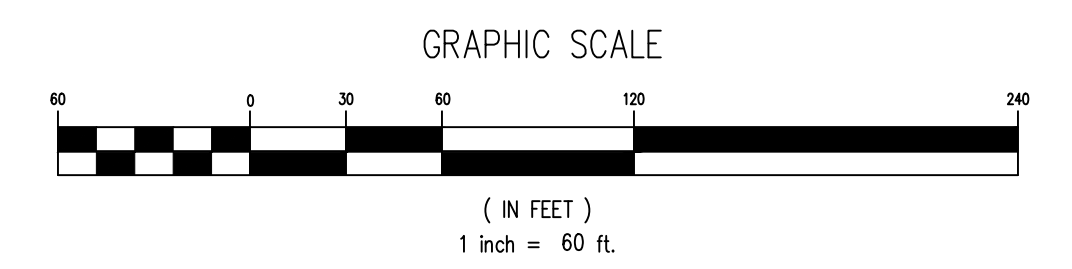
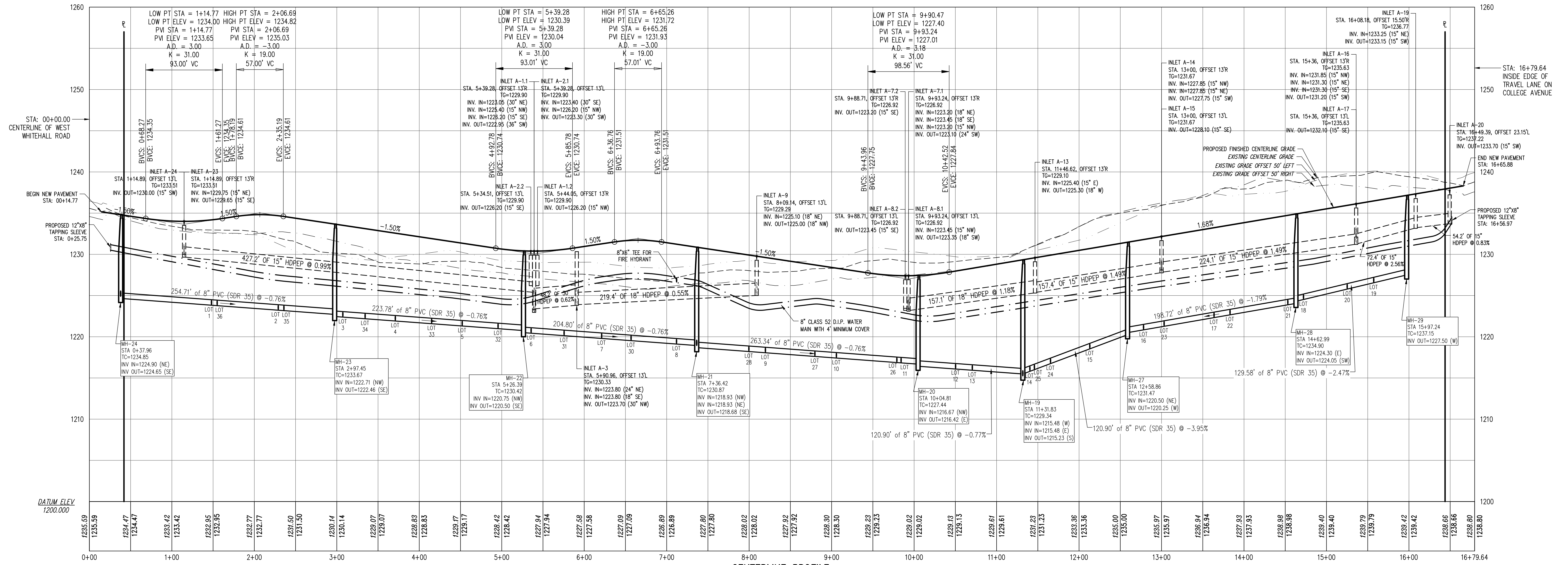
ORCHARD VIEW

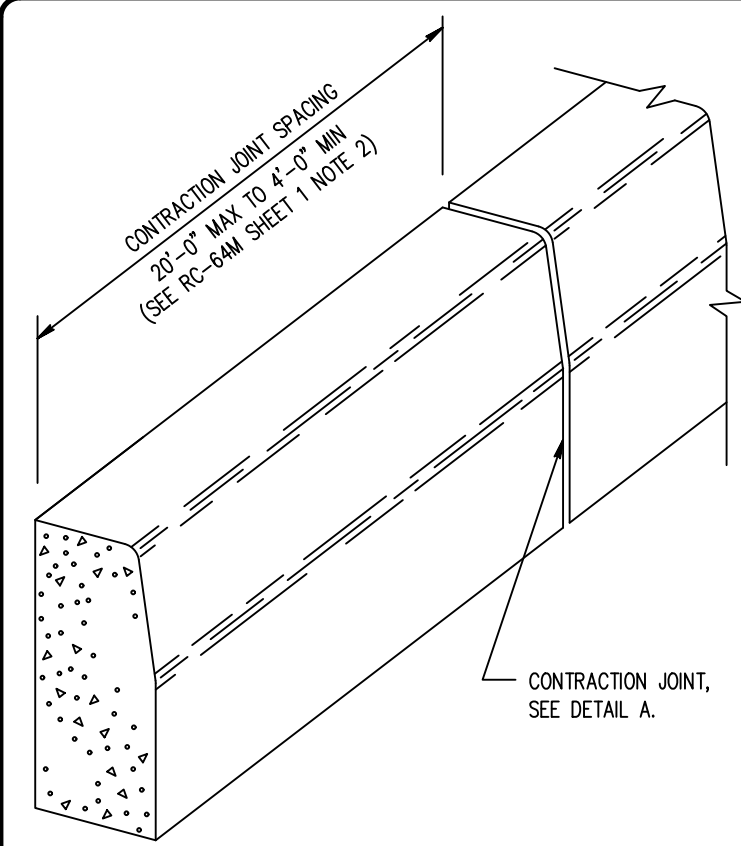
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY/FINAL
SUBDIVISION PLAN

PROFILE -
APPLE VIEW
DRIVE

PROJECT NO.	17125
DATE	MAY 14, 2019
SCALE	HZ: 1"=60' VT: 1"=6'
SHEET NO.	8





PLAIN CEMENT CONCRETE CURB

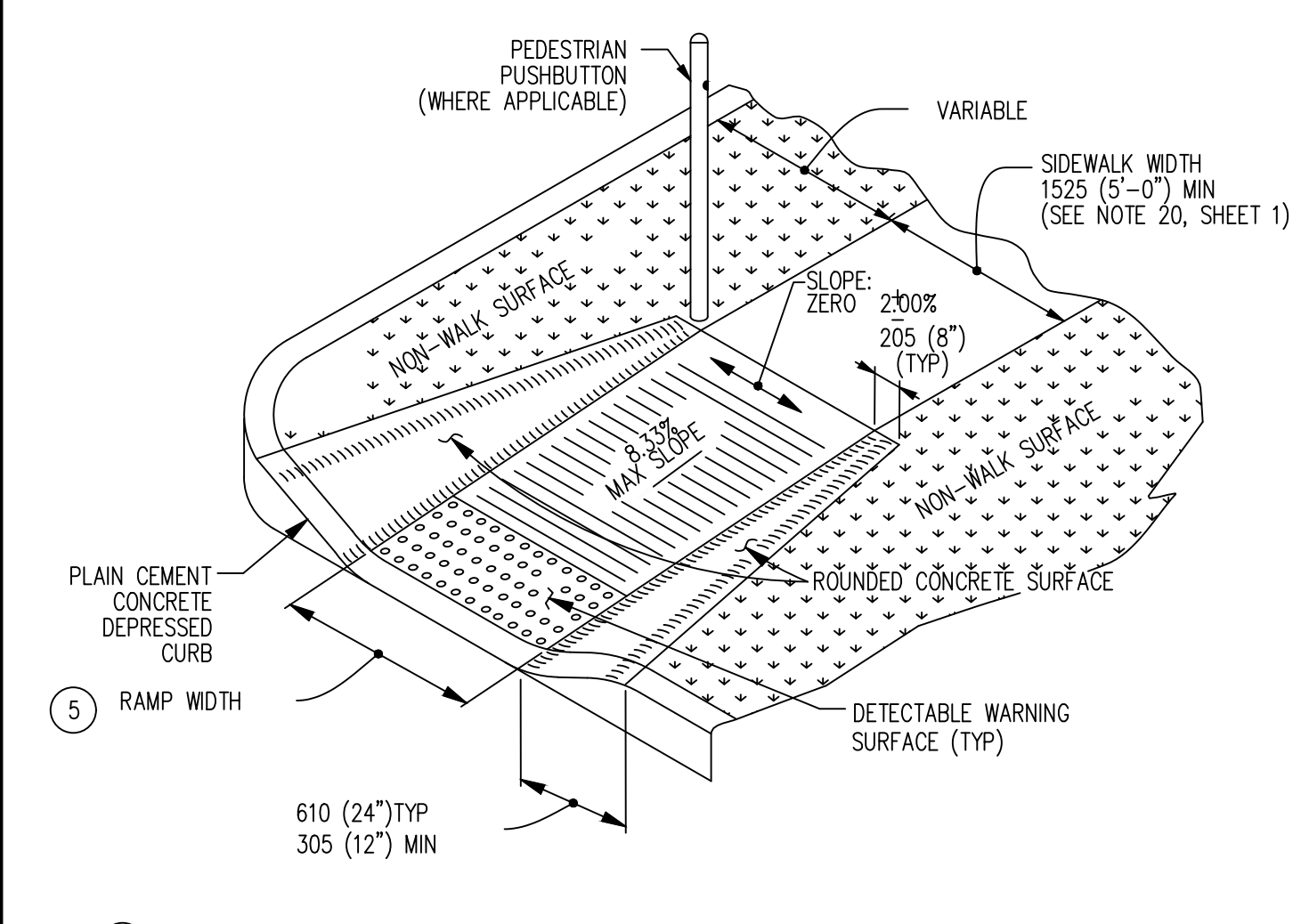
RC-67M SHEET 1 NOTES

- PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTIONS 350, 409, 630, 676, 694 AND 695.
- PROVIDE EXPANSION JOINT MATERIAL 1/2" THICK WHERE CURB RAMP ADJOINS ANY RIGID PAVEMENT, SIDEWALK OR STRUCTURE WITH THE TOP OF JOINT FILLER FLUSH WITH ADJACENT CONCRETE SURFACE.
- SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
- MODIFY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS THAN THE STANDARD 8" HEIGHT.
- NON-WALK AREA IS AN OBSTRUCTED OR GRASS/NON-PAVED AREA ADJACENT TO THE PEDESTRIAN ACCESS ROUTE THAT IS NOT USED BY THE PEDESTRIAN FOR ACCESS.
- FOR NEW CONSTRUCTION, DO NOT EXCEED 2.00% CROSS SLOPE ON THE CURB RAMP OR PEDESTRIAN ACCESSIBLE ROUTE.
- CONSTRUCT SIDEWALKS AT A LONGITUDINAL SLOPE NOT TO EXCEED 5.00% FOR ROADWAY PROFILE SLOPES THAT EXCEED 5.00% CONSTRUCT PARALLEL SIDEWALKS ADJACENT TO ROADWAY AT A LONGITUDINAL SLOPE NOT TO EXCEED ROADWAY PROFILE SLOPE.
- THE CONSTRUCTION STANDARDS DEPICTED ARE MOST APPROPRIATE FOR NEW CONSTRUCTION. ALL CONSTRUCTION MUST MEET THE STANDARDS CONTAINED HEREIN UNLESS OTHERWISE NOTED OR DIRECTED.
- SIDEWALK WIDTH MAY BE REDUCED TO 4'-0", WHEN PASSING AREAS 5'-0" X 5'-0" ARE PROVIDED EVERY 200'.
- THE TRAVEL LANE IS DEFINED BY THE OUTSIDE EDGE OF THE WHITE PAVEMENT MARKING LINE. IF A WHITE PAVEMENT MARKING LINE DOES NOT EXIST, THE TRAVEL LANE IS DEFINED BY THE CONTRACT DOCUMENTS.
- A 4'-0" MAXIMUM DIGITAL DISPLAY LEVEL WILL BE USED TO VERIFY THE SLOPES OF CURB RAMP AND SIDEWALKS.
- INSTALL DUMMY JOINTS WHERE RAMPS, TURNING SPACES, FLARES, AND SIDEWALKS ABUT.
- DO NOT SCORE OR MAKE GROOVES ON SLOPED SURFACES. LINES SHOWN ON DETAILS ARE FOR ILLUSTRATION ONLY. SEE NOTE 5.

PENNDOT CURB
NOT TO SCALE

RC-64M SHEET 1 NOTES

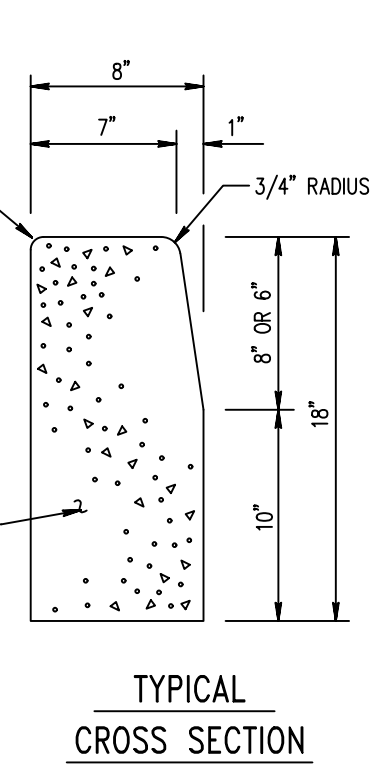
- PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 630 FOR PLAIN CEMENT CONCRETE CURBS AND DEPRESSED CURB, SECTION 640 FOR PLAIN CEMENT CONCRETE GUTTER AND SECTION 641 FOR PLAIN CEMENT CONCRETE CURB CUTTER.
 - SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
 - PLACE 3/4" THICK PREMOULDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.
 - WHERE CURBS ARE INSTALLED ADJACENT TO PARKING LANES A 6" HIGH CURB CAN BE UTILIZED WITH APPROVAL FROM THE LOCAL MUNICIPALITY.
- CONTRACTOR NOTES:
-PER RC-64M SHEET 1 NOTE #5, WHERE CURBS ARE INSTALLED ADJACENT TO PARKING LANES A 6" HIGH CURB CAN BE UTILIZED WITH APPROVAL FROM LOCAL MUNICIPALITY
-PER RC-67M SHEET 1 NOTE #6, CONTRACTOR TO MODIFY TYPICAL CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS THAN THE STANDARD 8" HEIGHT.
-CONTRACTOR TO MATCH ALL EXISTING CURBS HEIGHTS ALONG EAST BEAVER AVENUE.



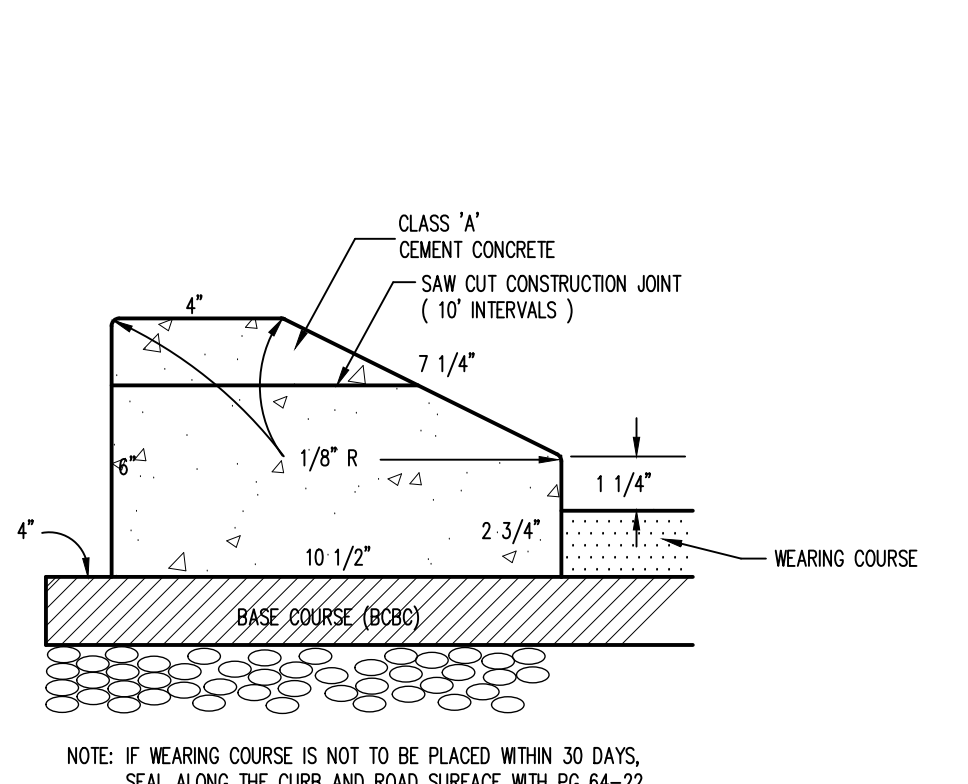
ALTERNATE TYPE 4A CURB RAMP (PARALLEL)
NOT TO SCALE

- 5 CURB RAMP WIDTH IS EQUAL TO SIDEWALK WIDTH WHEN THE SIDEWALK WIDTH IS GREATER THAN OR EQUAL TO THE MINIMUM 1220 (4'-0").

5' CEMENT CONCRETE SIDEWALK
NOT TO SCALE

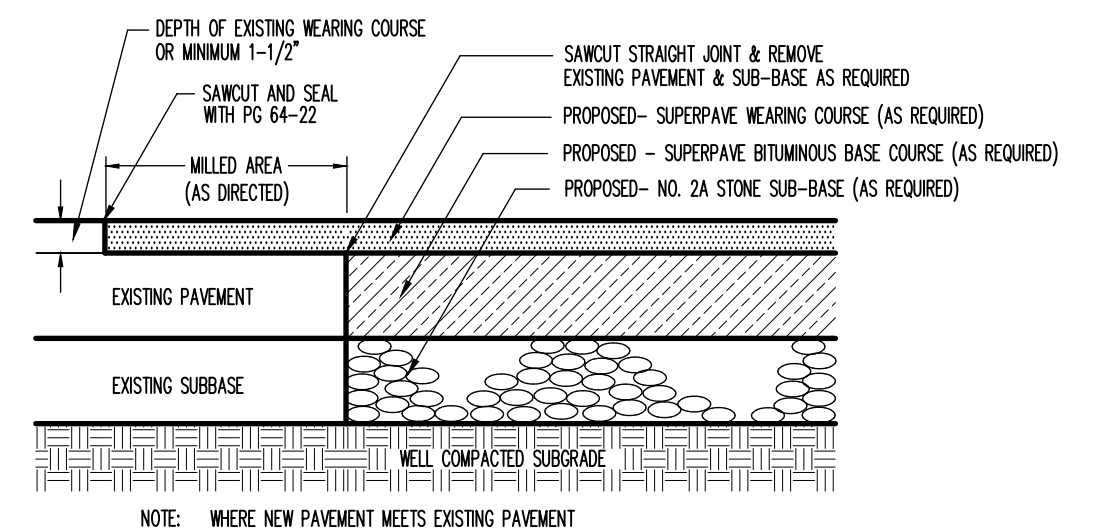


TYPICAL CROSS SECTION

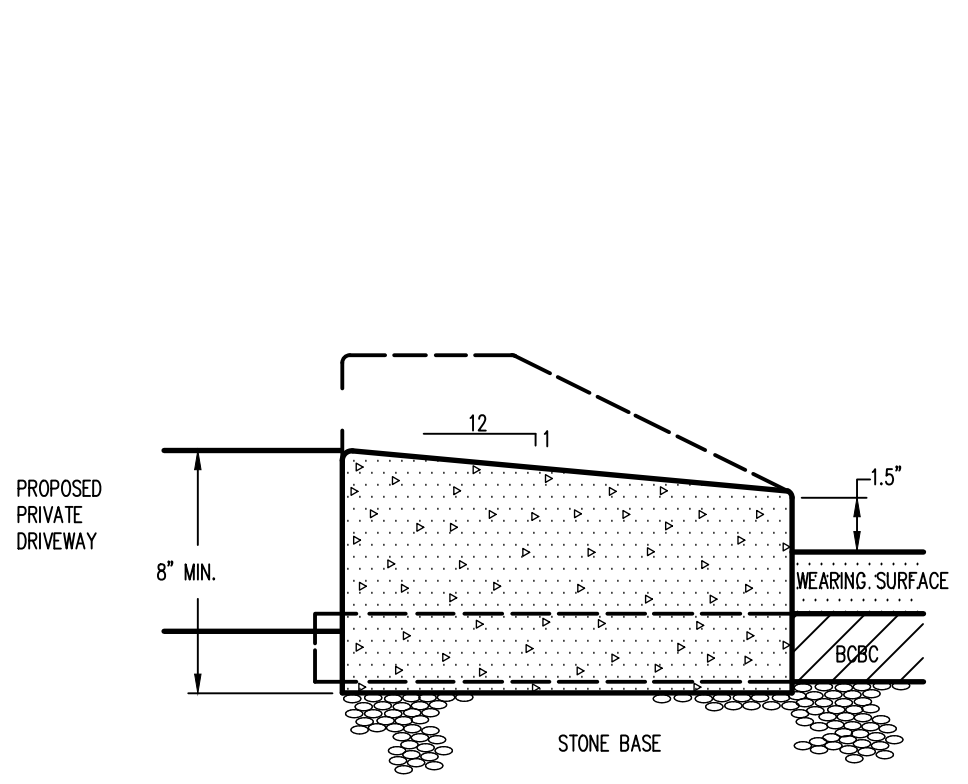


EXTRUDED CONCRETE CURB DETAIL
NOT TO SCALE

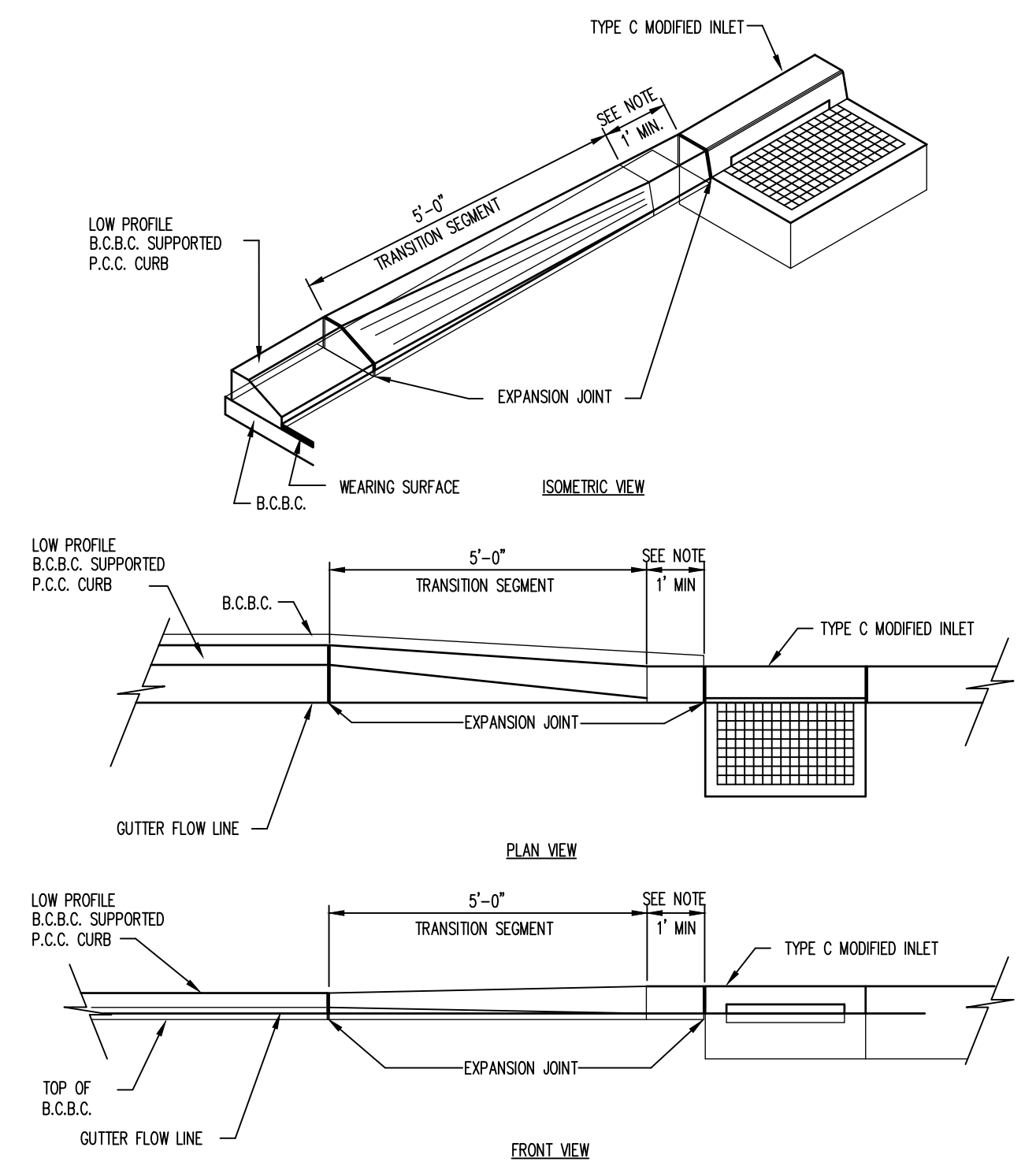
PAVEMENT NOTCH DETAIL
NOT TO SCALE



DEPRESSED EXTRUDED CONCRETE CURB FOR DRIVEWAYS
NOT TO SCALE

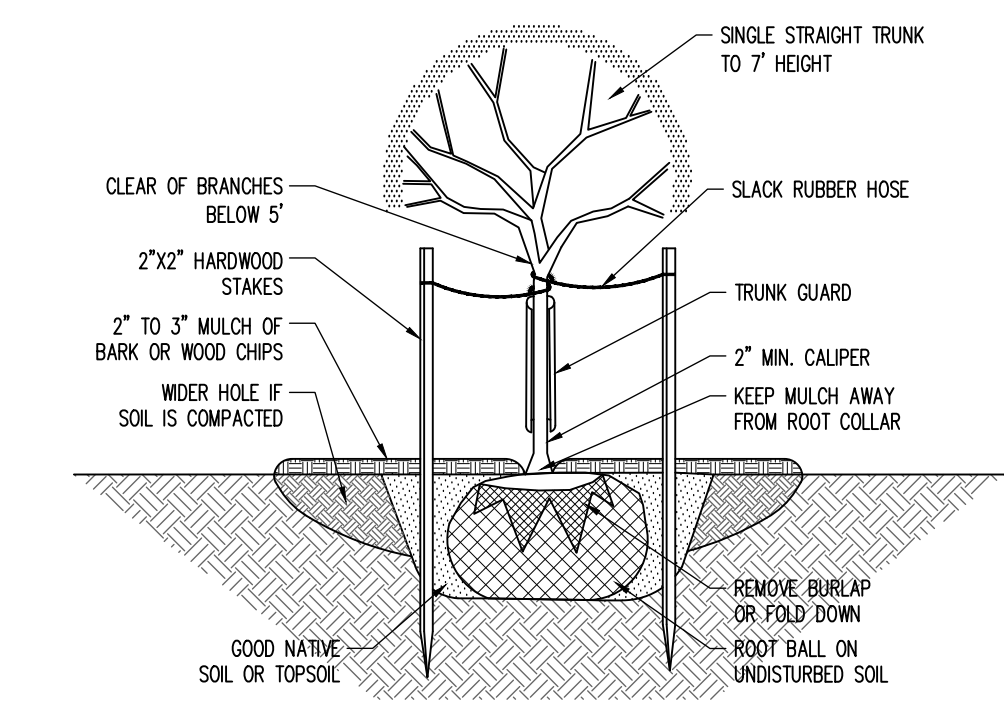


TRANSITION: EXTRUDED CURB TO TYPE C INLET
NOT TO SCALE

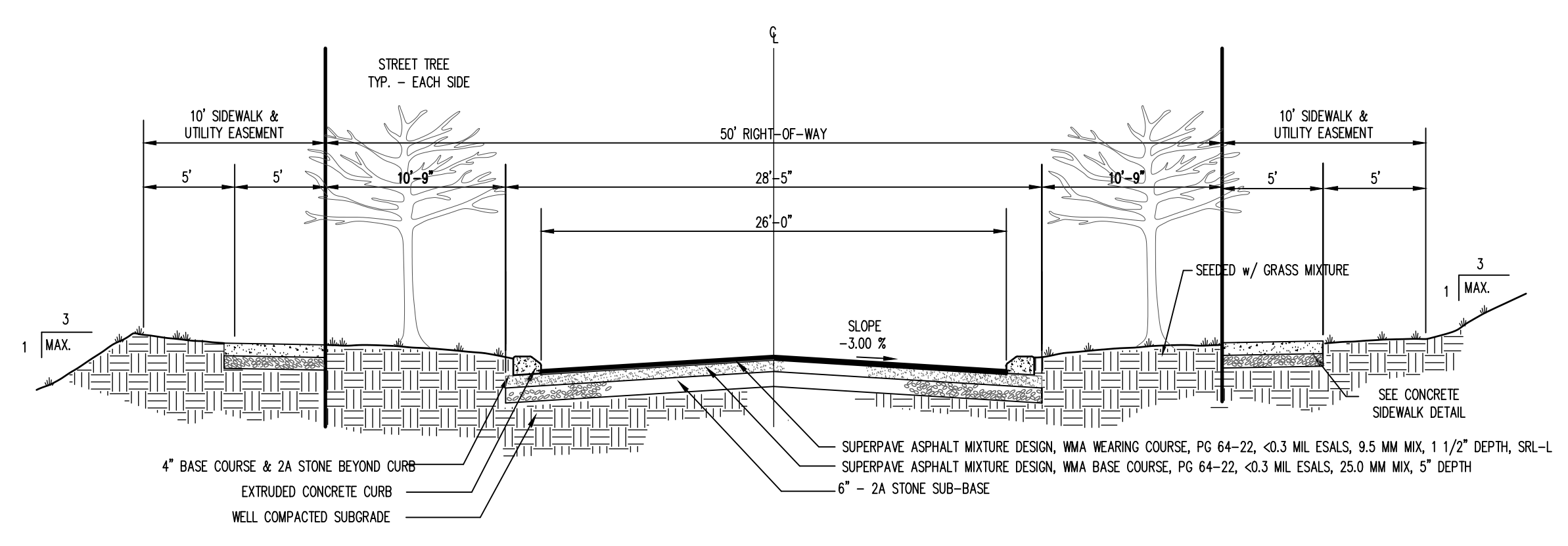


NOTE: MUST MAINTAIN THE SAME SHAPE AS THE TYPE C MODIFIED INLET TOP FOR A MINIMUM OF ONE FOOT TO PROVIDE SUFFICIENT COVER OVER THE TIE BAR.

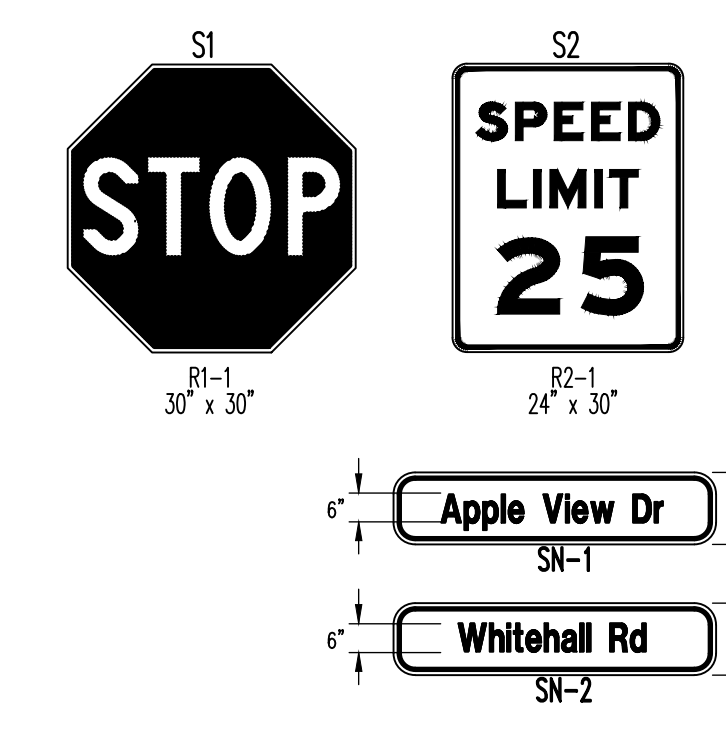
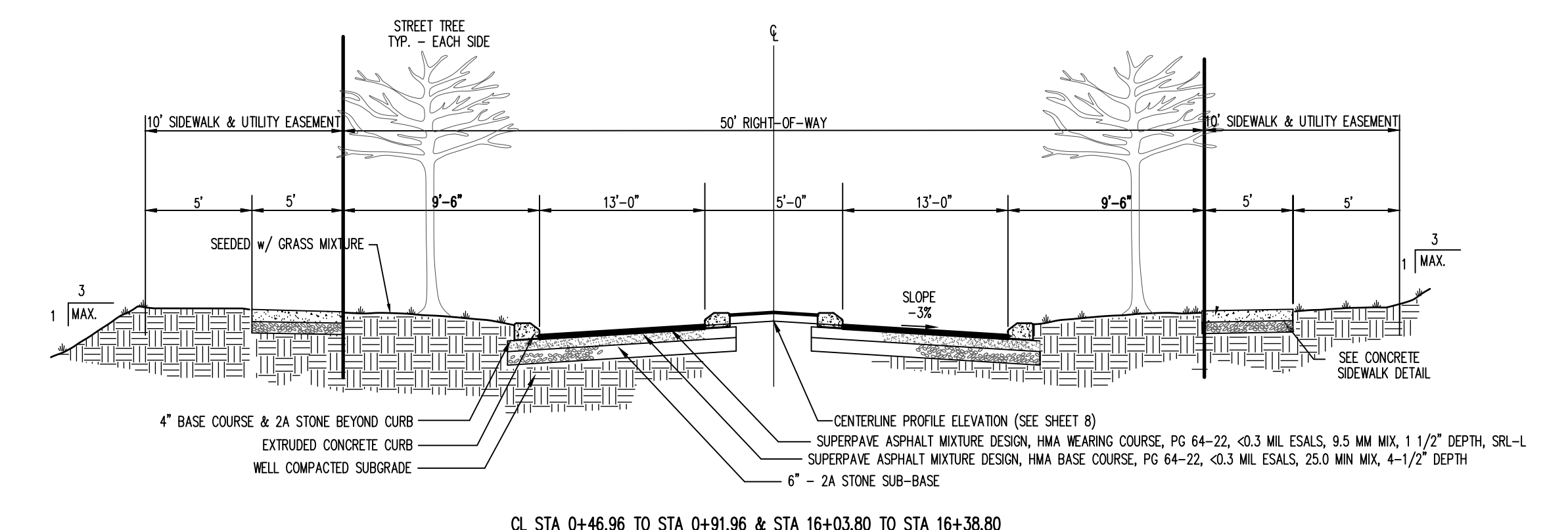
STREET TREE PLANTING DETAIL
NOT TO SCALE



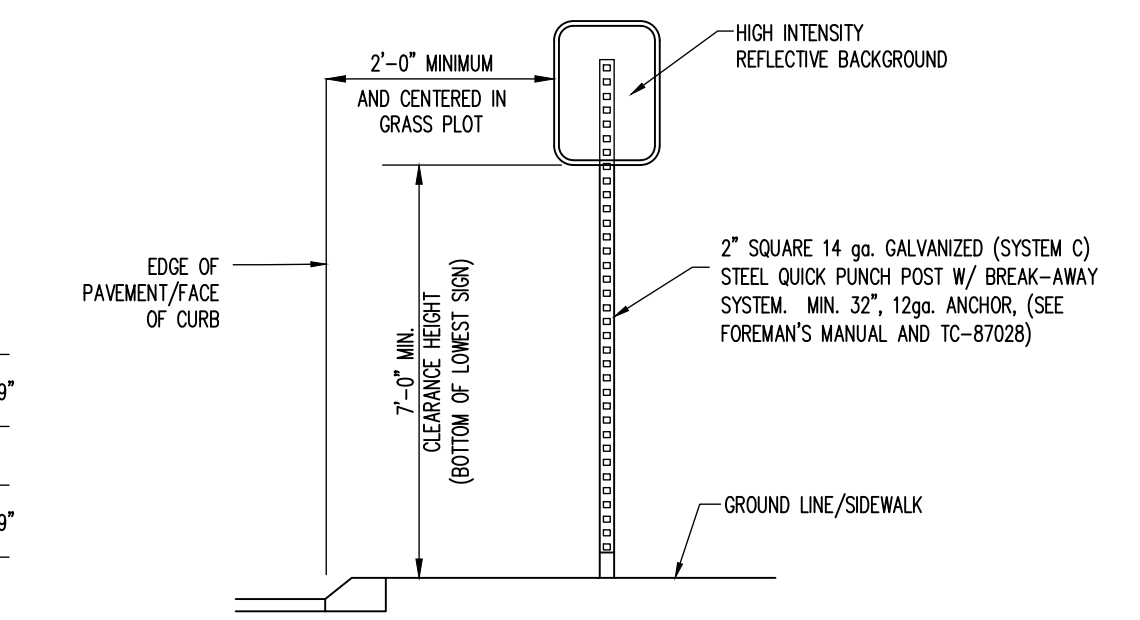
CROSS SECTION: 50' R-0-W W/26' CARTWAY
APPLE VIEW DRIVE
NOT TO SCALE



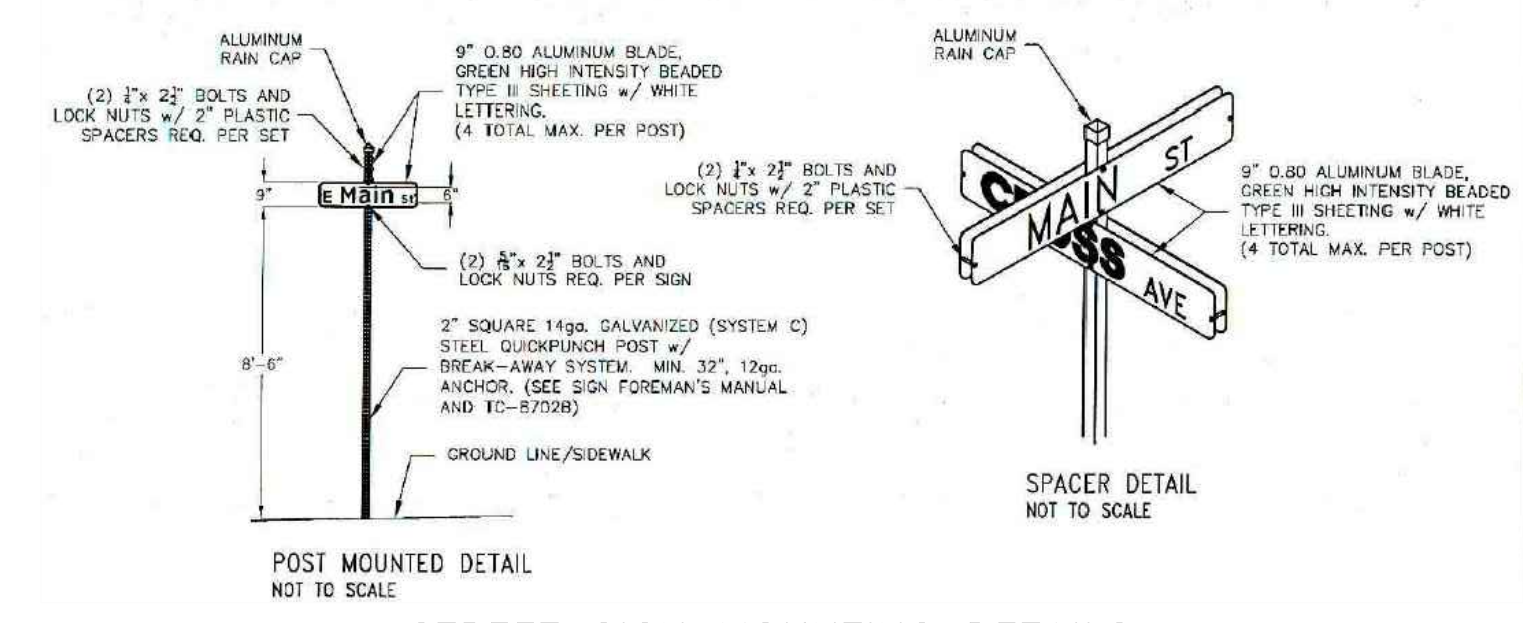
APPLE VIEW DRIVE - STREET CROSS SECTION (BOULEVARD WITH MEDIAN SECTION)
NOT TO SCALE



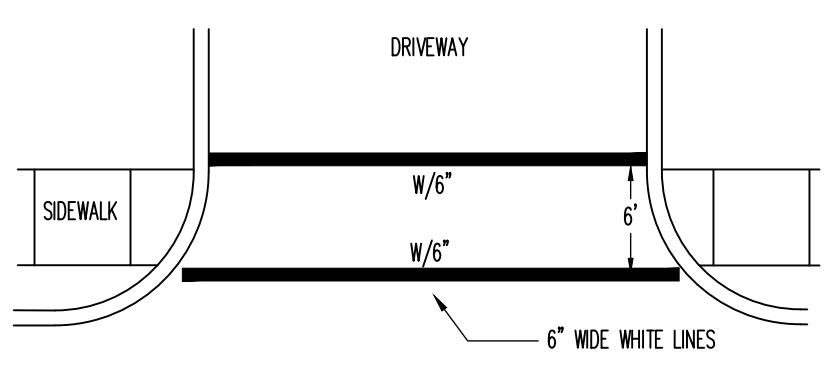
STREET SIGNS
NOT TO SCALE



SIGN POST DETAIL
NOT TO SCALE



STREET SIGN MOUNTING DETAILS
NOT TO SCALE



CROSSWALK DETAIL
NOT TO SCALE

PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
FOX: 814-237-2308
LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
FOX: 717-522-5046
WWW.PENNTERRA.COM

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
JOHN C. SEPP
04003-E
Seal

DESIGNER: EAH
DRAFTSMAN: EAH
PROJ/MANAGER: MAT/SCS
SURVEYOR: MAK/JBF
PERIMETER OK
BOOK: 543 Pg 1
ACAD: 17125-RESIDENTIAL-SUB-DTI
LAYOUT: DTT

Date	Description

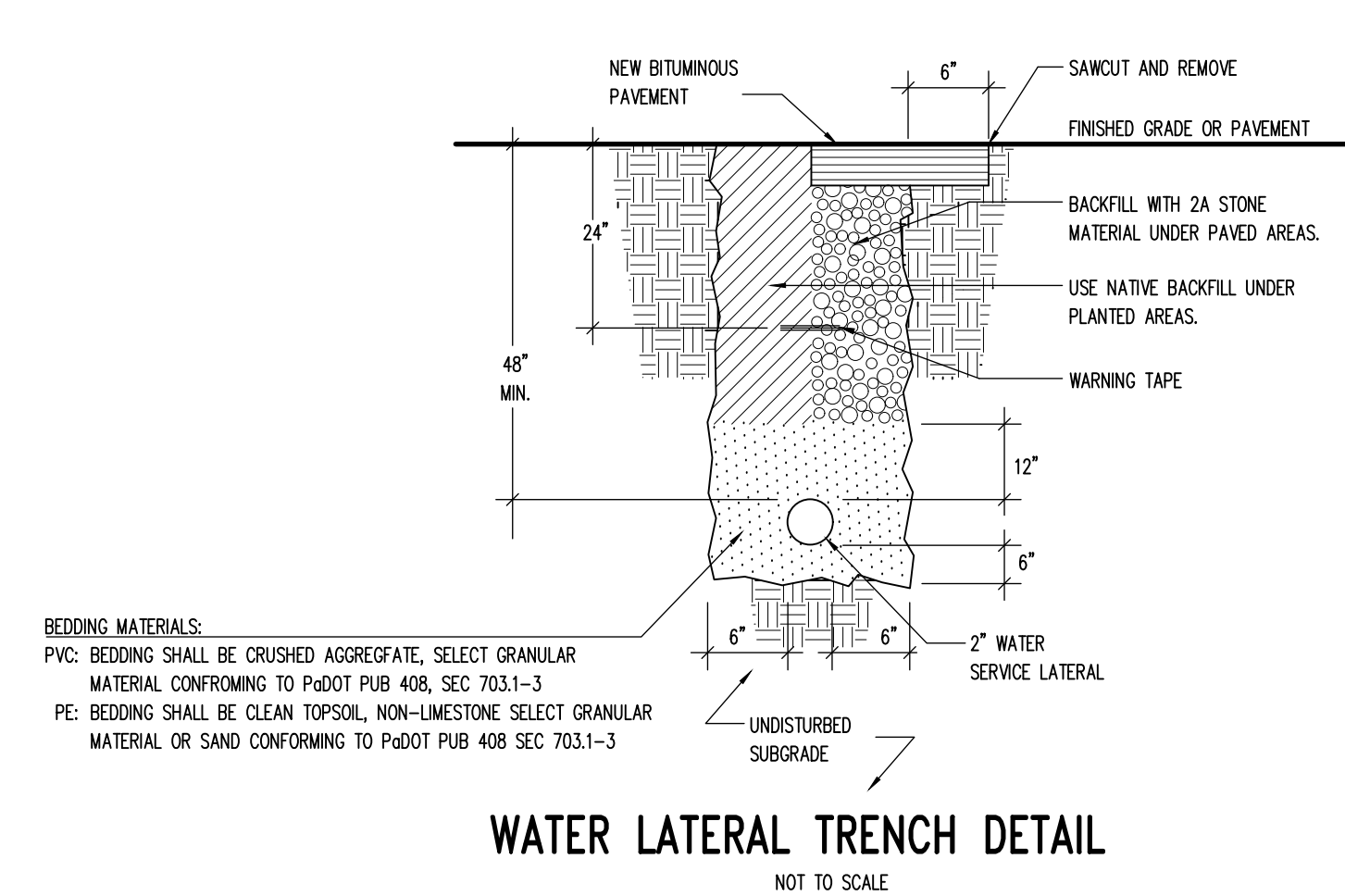
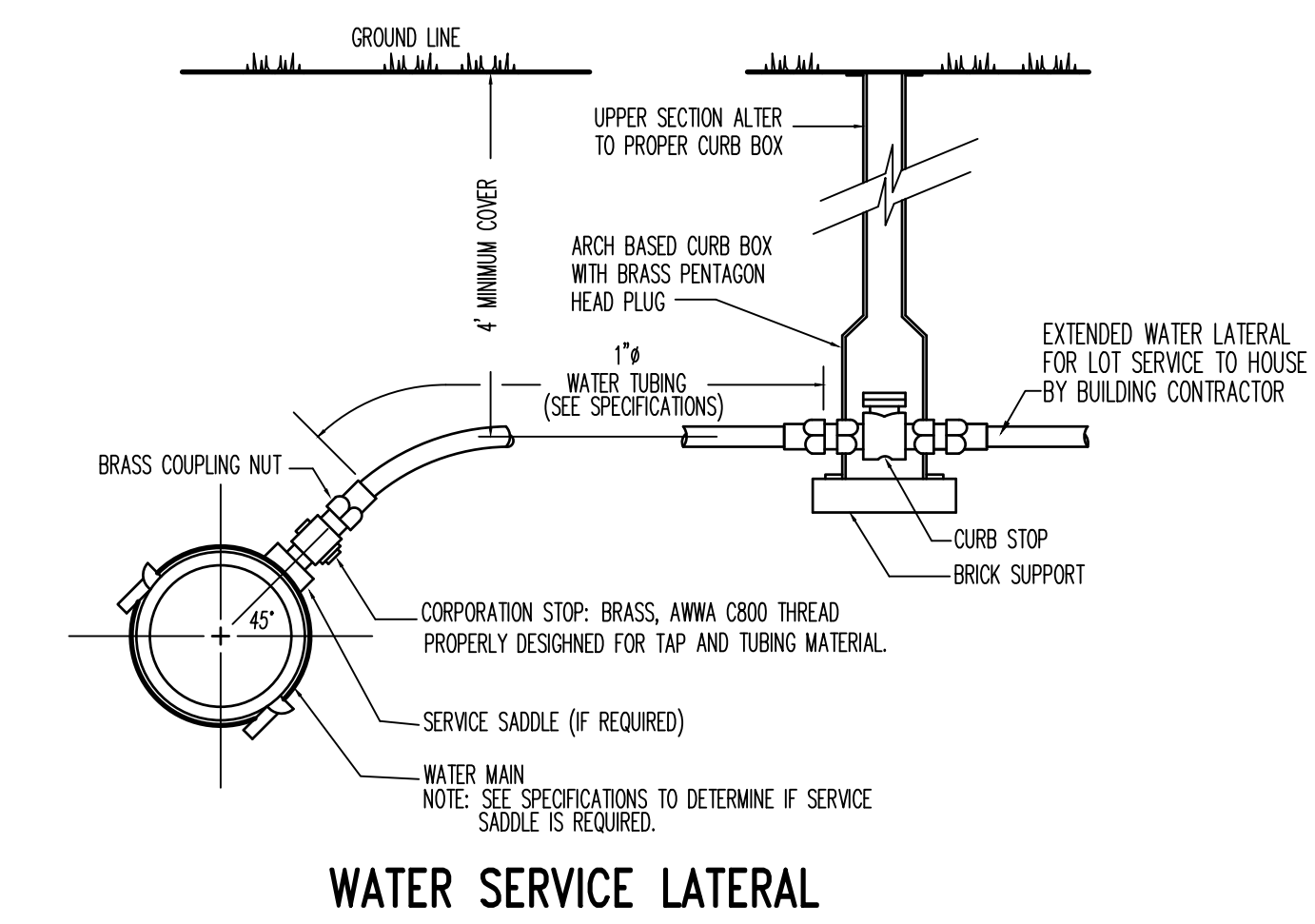
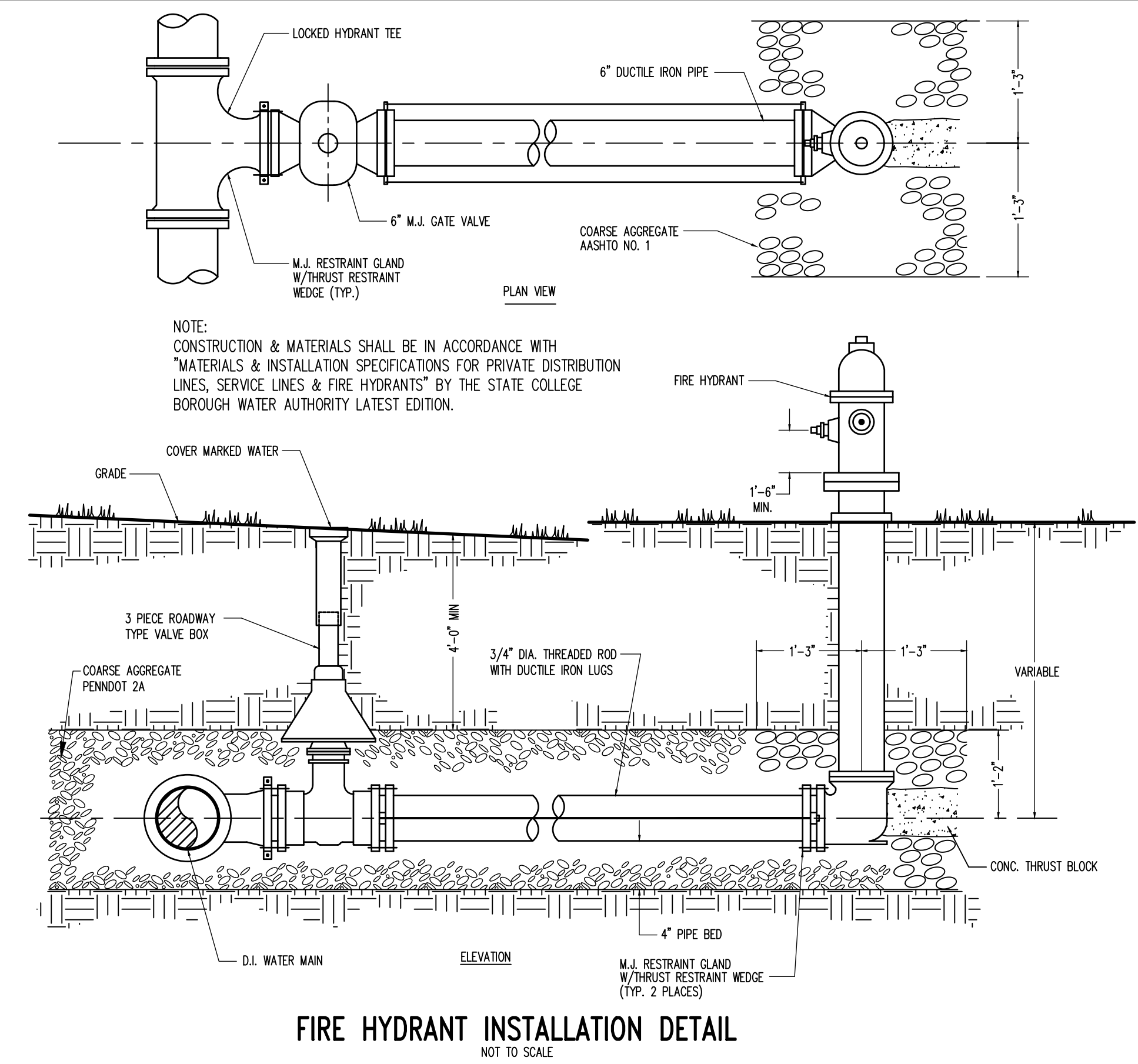
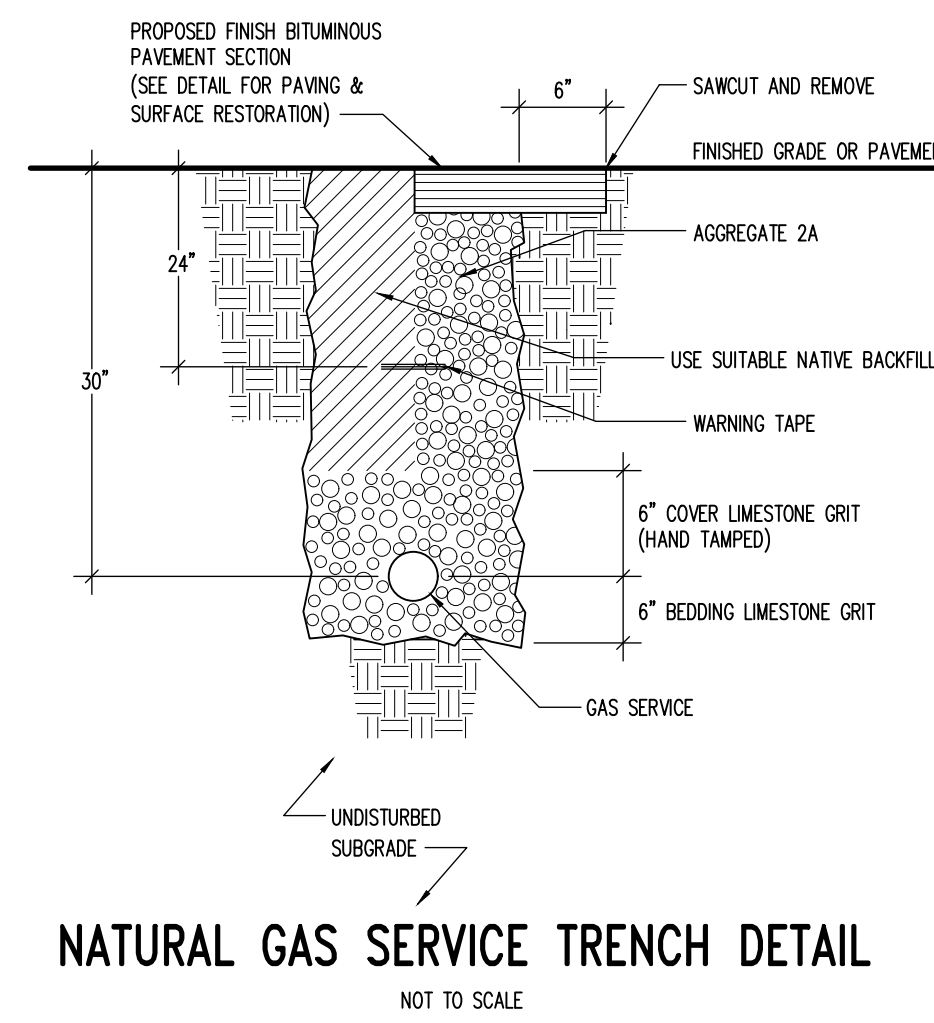
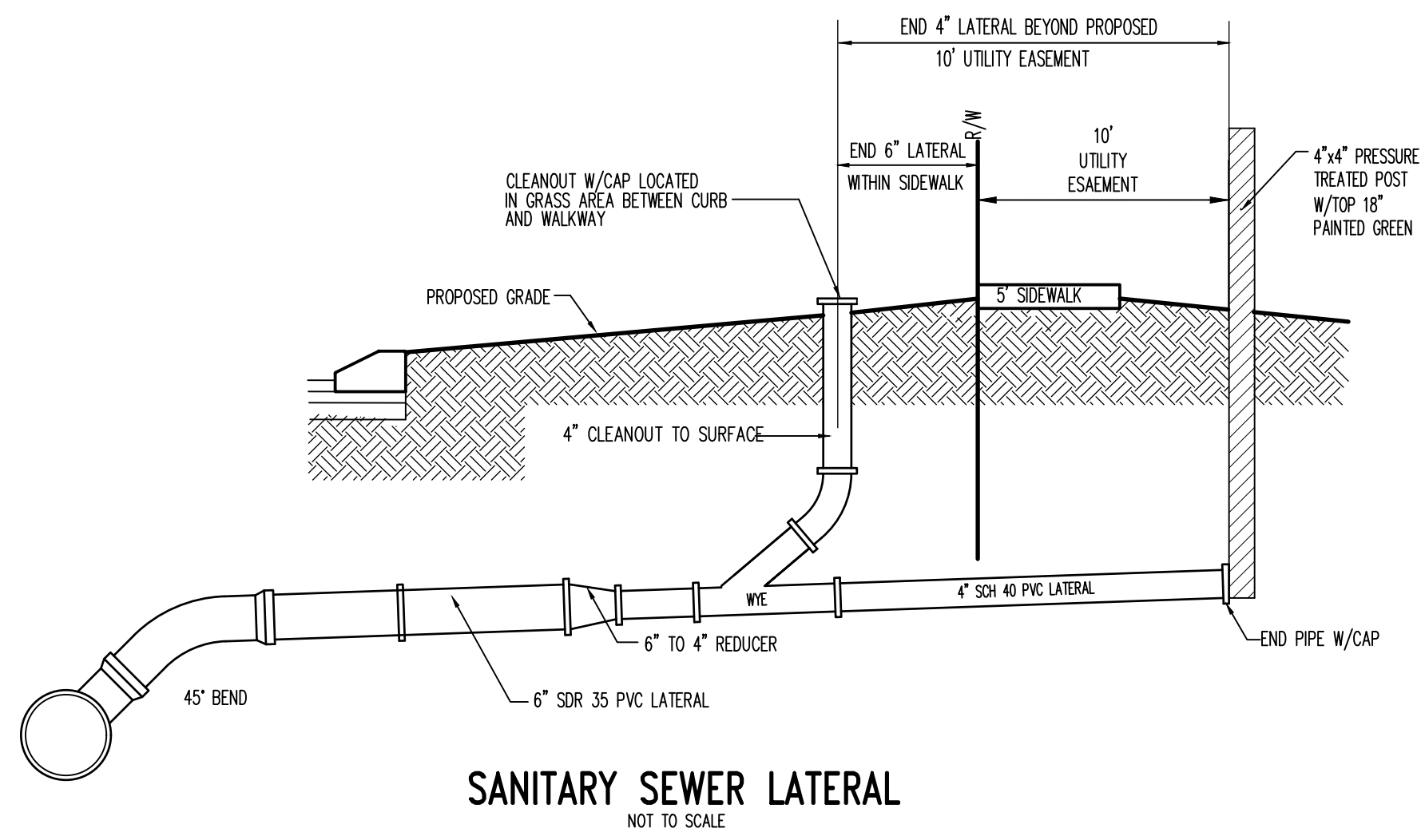
ORCHARD VIEW
FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

PRELIMINARY/FINAL SUBDIVISION PLAN

GENERAL CONSTRUCTION DETAILS

PROJECT NO. 17125
DATE MAY 14, 2019
SCALE N.T.S. SHEET NO. 9

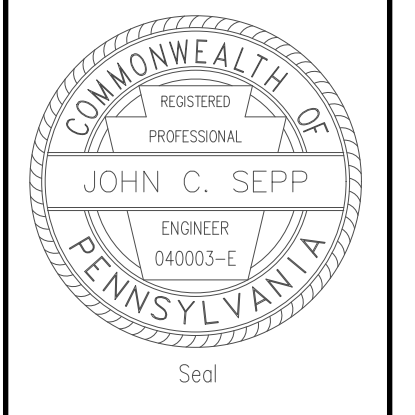
P:\dtp\20171725\Design\pl\Residential Sub-DTI.dwg, 6/13/2019 12:05 PM, 1:1



PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

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Designer: EAH
Draftsman: EAH
Proj Manager: MAT/SJS
Surveyor: MAK/SJF
Perimeter Ok:
Book: 543 Pg: 1
Acad: 17125-RESIDENTIAL-SUB-DT2
Layout: DT2

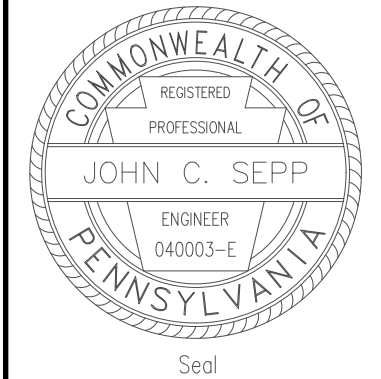
Date	Description

ORCHARD VIEW
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY/FINAL
SUBDIVISION PLAN

UTILITY DETAILS

PROJECT NO.
17125
DATE
MAY 14, 2019
SCALE
N.T.S.
SHEET NO.
10



Designer: EAH
Draftsman: EAH
Proj/Manager: MAT/JCS
Surveyor: MAK/JDF
Perimeter Ok.
Book: 543 Pg: 1
Acad: 7125-RESIDENTIAL-SUB-SWOT
Layout: SWOT

ORCHARD VIEW

FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

**PRELIMINARY/FINAL
SUBDIVISION PLAN**

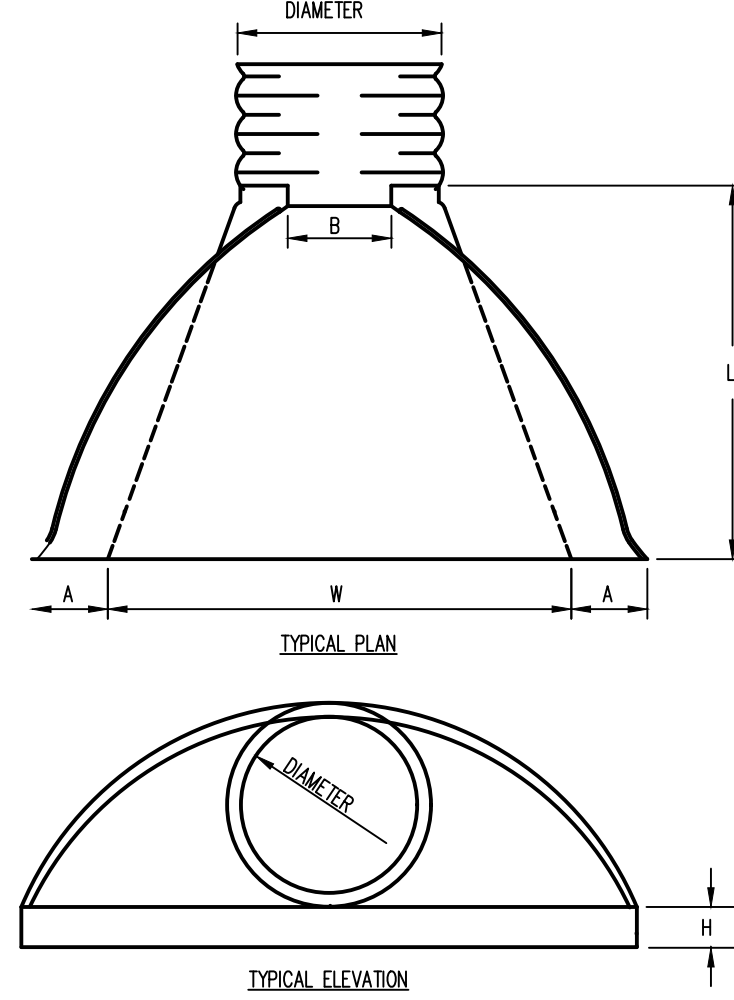
**STORMWATER
MANAGEMENT
DETAILS**

PROJECT NO.
17125
DATE
MAY 14, 2019
SCALE SHEET NO.
N.T.S. 11

PROPOSED STORM DRAINAGE STRUCTURE DATA

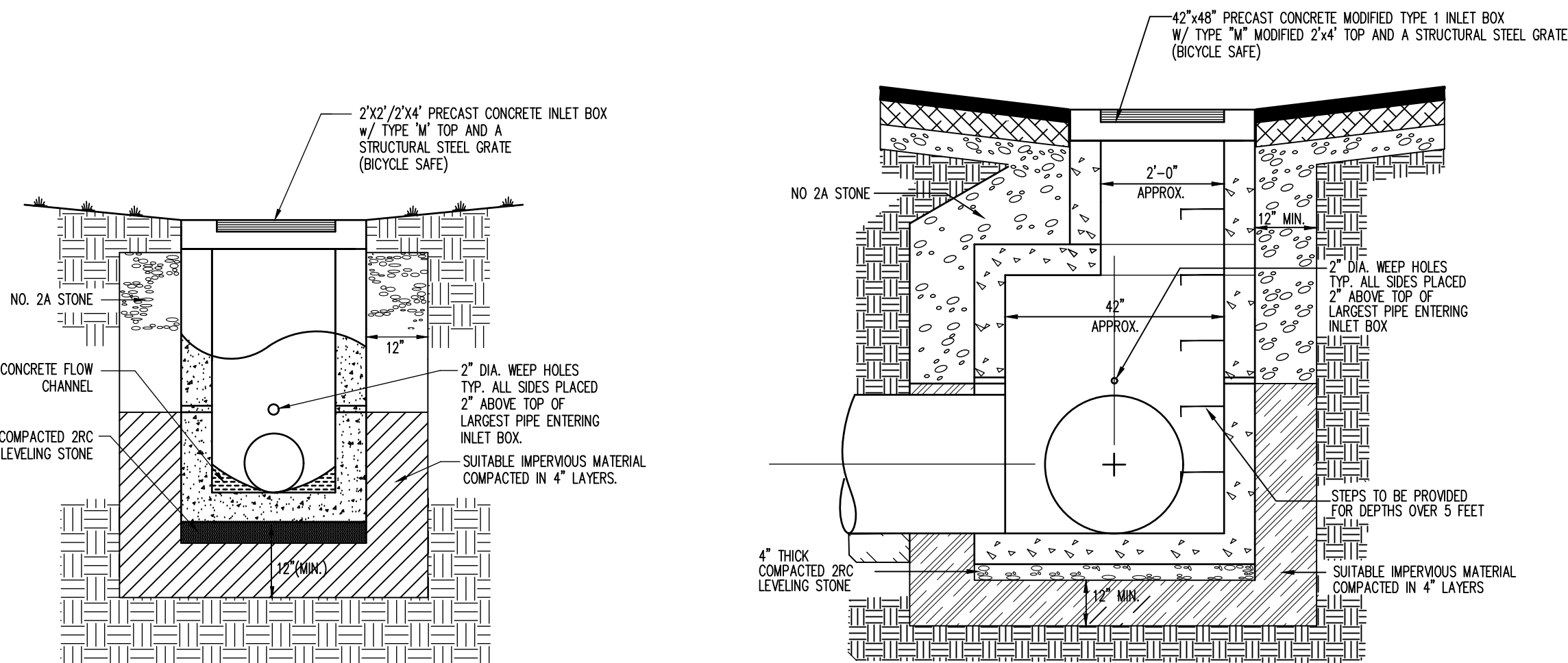
ID	STRUCTURE TYPE	TG ELEV	INVERT IN	INVERT OUT	PIPE RUN PIPE TYPE	LENGTH (FT)	SIZE (IN)	SLOPE (%)
OUT-A2	HDPEP End Section							
A-1.1	42 X 48 Precast Penn D.O.T. Type 1 Inlet Box with 24 x 48 Type C Modified Bicycle Safe Gate/Top	1229.90	1223.05 1225.40 1226.20	A-1.1 A-2.3 A-1.1	1221.50 A-2.1 TO A-1.1 A-2.3 TO A-1.1	HDPEP HDPEP HDPEP	21.5 30 427.2	1.16 15 0.99
A-1.2	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1229.90						
A-2.1	42 X 48 Precast Penn D.O.T. Type 1 Inlet Box with 24 x 48 Type C Modified Bicycle Safe Gate/Top	1229.90	1223.40 1226.20	A-3 A-2.2	1223.30 A-3 TO A-2.1	HDPEP HDPEP	48.2 15	0.62
A-2.2	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1229.90			1226.20			
A-3	42 X 48 Precast Penn D.O.T. Type 1 Inlet Box with 24 x 48 Type C Modified Bicycle Safe Gate/Top	1230.33	1223.80 1223.80	A-4 A-9	1223.70 A-4 TO A-3 A-9 TO A-3	HDPEP HDPEP	140.8 219.4	0.64 18 0.55
A-4	2 X 4 Precast Type M Inlet w/ Bicycle Safe Gate	1229.98	1226.75	A-21	1224.70	HDPEP	213.5	12 0.69
A-21	2 X 2 Precast Inlet w/ Bicycle Safe Gate	1231.24	1228.75	A-22	1228.65	HDPEP	133	12 0.94
A-22	2 X 2 Precast Inlet w/ Bicycle Safe Gate	1232.54			1230.00			
A-23	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1233.51	1229.75	A-24	1229.65	HDPEP	21.5	15 1.16
A-24	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1233.51			1230.00			
A-9	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1229.29	1225.10	A-10	1225.00	HDPEP	134.5	18 1.04
A-10	2 X 4 Precast Type M Inlet w/ Bicycle Safe Gate	1229.33	1226.80	A-11	1228.50	HDPEP	147.1	15 0.95
A-11	2 X 2 Precast Inlet w/ Bicycle Safe Gate	1230.83			1228.00			
OUT-A3	HDPEP End Section							
A-5	42 X 48 Precast Penn D.O.T. Type 1 Inlet Box with 24 x 48 Type M Bicycle Safe Gate/Top	1225.50	1221.60	A-6	1221.60	HDPEP	136.9	36 0.51
A-6	42 X 48 Precast Penn D.O.T. Type 1 Inlet Box with 24 x 48 Type M Bicycle Safe Gate/Top	1226.50	1222.30 1223.20	A-7.1 A-12	1222.30 A-7.1 TO A-6 A-12 TO A-6	HDPEP HDPEP	150.8 285.1	24 15 0.53 0.51
A-7.1	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1226.92	1223.20 1223.45 1223.20	A-8.1 A-13 A-7.2	1223.10 A-8.1 TO A-7.1 A-13 TO A-7.1	HDPEP HDPEP HDPEP	21.5 157.1 15	18 1.18 1.18
A-7.2	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1226.92			1223.20			
A-8.1	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1226.92	1223.45	A-8.2	1223.35	HDPEP	15	
A-8.2	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1226.92			1223.45			
A-12	2 X 4 Precast Type M Inlet w/ Bicycle Safe Gate	1227.57			1224.65			
A-13	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1229.10	1225.40	A-14	1225.30	HDPEP	157.4	15 1.49
A-14	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1231.67	1227.85 1227.85	A-15 A-16	1227.75 A-15 TO A-14 A-16 TO A-14	HDPEP HDPEP	21.5 224.1	15 1.16 1.49
A-15	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1231.67			1228.10			
A-16	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1235.63	1231.85 1231.30 1231.30	A-17 A-18 A-19	1231.20 A-17 TO A-16 A-18 TO A-16 A-19 TO A-16	HDPEP HDPEP HDPEP	21.5 137.2 72.4	15 1.16 0.51 2.56
A-17	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1235.63			1232.10			
A-18	2 X 2 Precast Inlet w/ Bicycle Safe Gate	1234.72			1232.00			
A-19	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1236.77	1233.25	A-20	1233.15	HDPEP	54.2	15 0.83
A-20	2 X 4 Precast Type M Inlet w/ Bicycle Safe Gate	1237.22			1233.70			

NOTES:
1. ALL INLET TOP OF GRATES HAVE BEEN SET 0.10' BELOW THE FINAL DESIGN SURFACE ELEVATION.
2. ALL INLETS DENOTED BY "*" MUST MEET PENNDOT SPECIFICATIONS. SEE PENNDOT RC-45M & RC-46M IN PUB. 72M FOR MORE INFORMATION.

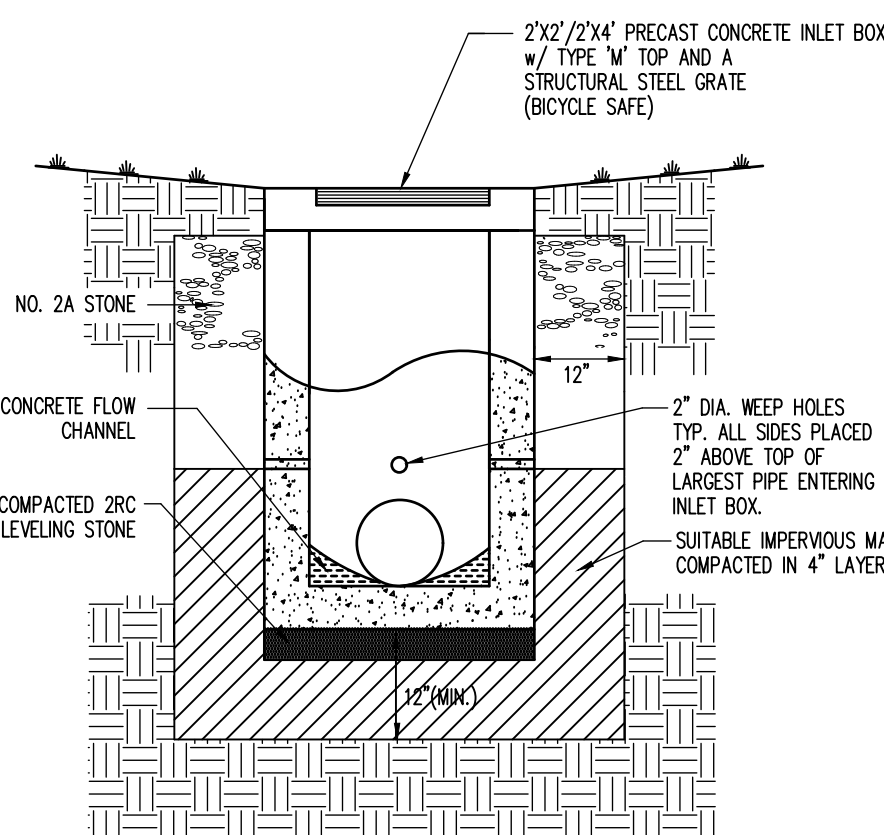


DIAM.	A (±1)	B (MAX)	H (±1)	L (± 1/2)	W (±2)
36"	10.5"	NA	7"	53"	68"

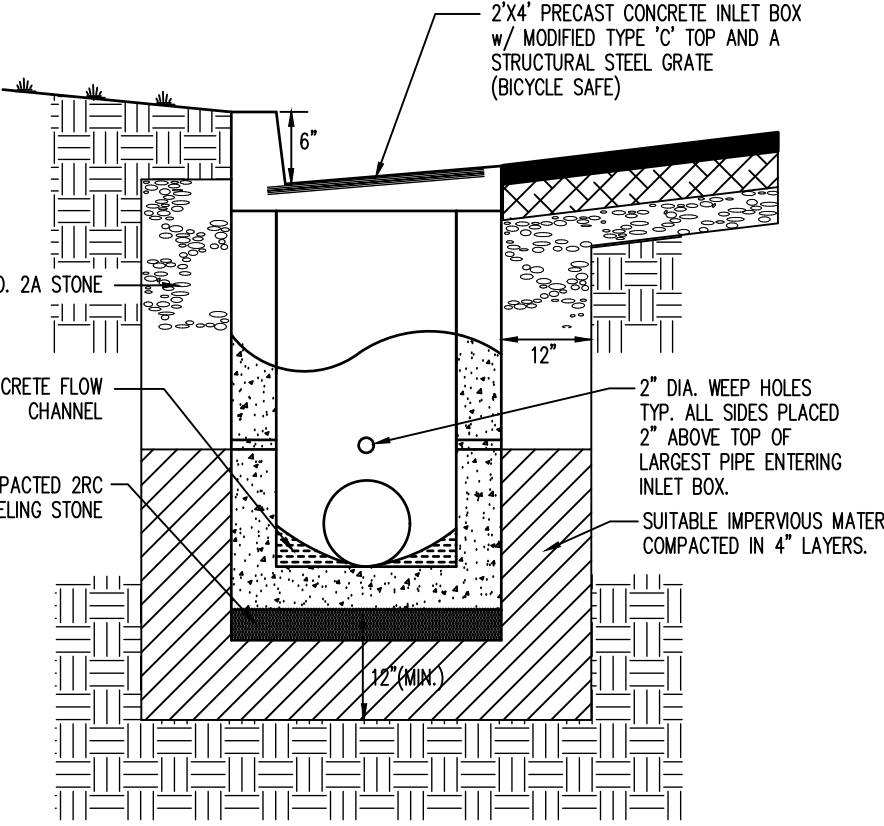
HDPEP END SECTION
NOT TO SCALE



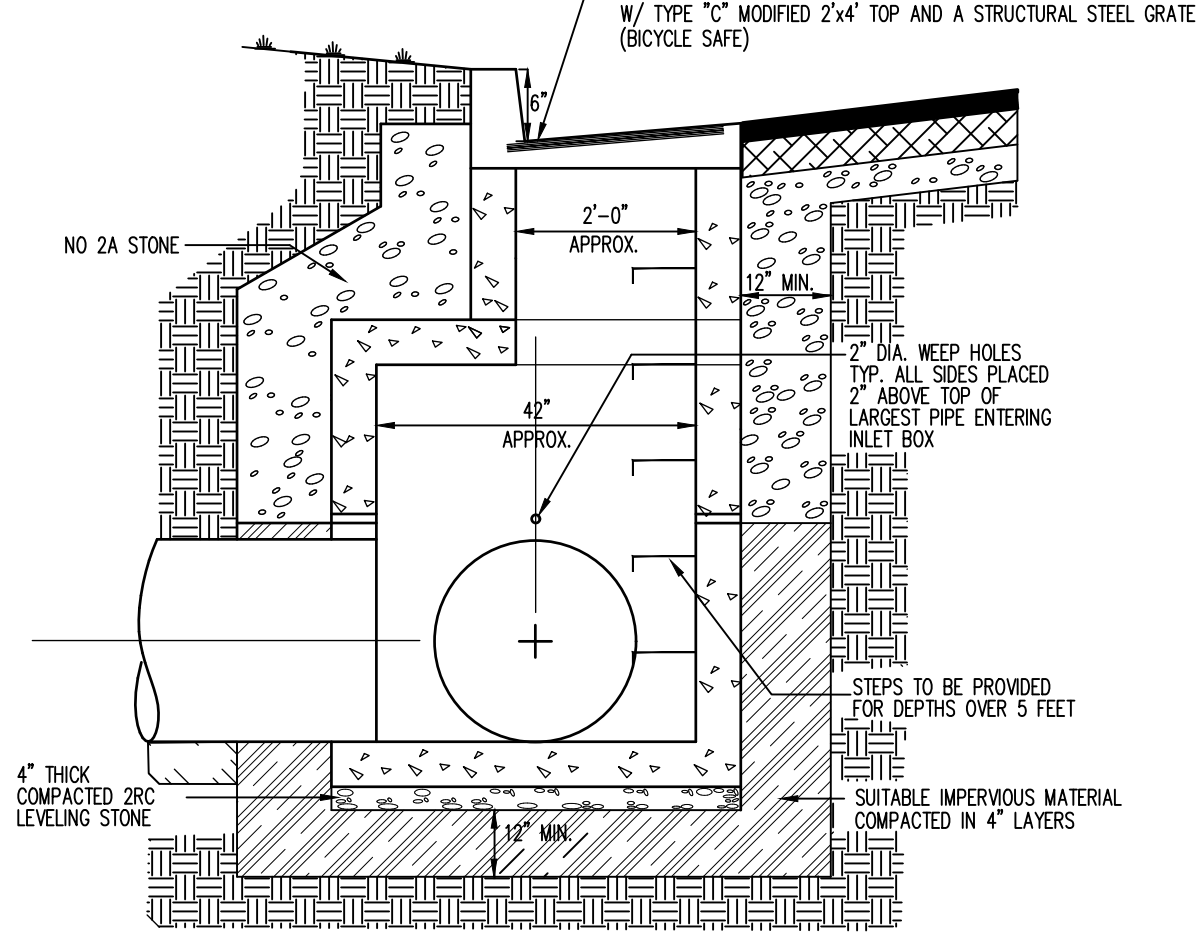
**42"x48" PENNDOT PRECAST TYPE 1 INLET
W/ 24 X 48 TYPE M TOP**
NOT TO SCALE



TYPE 'M' PRECAST CONCRETE INLET
NOT TO SCALE

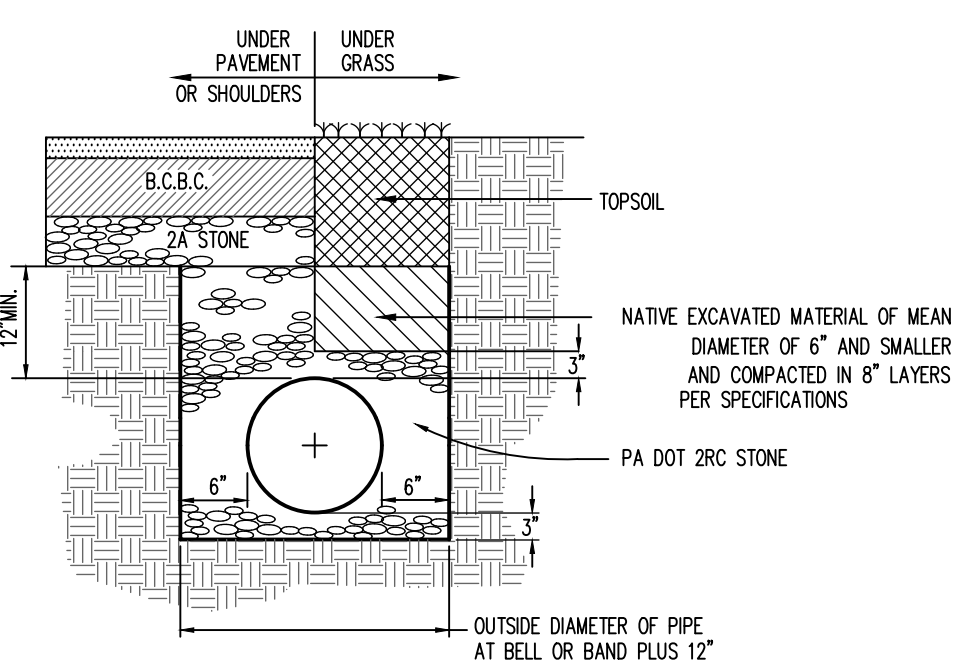


MODIFIED TYPE 'C' PRECAST CONCRETE INLET
NOT TO SCALE

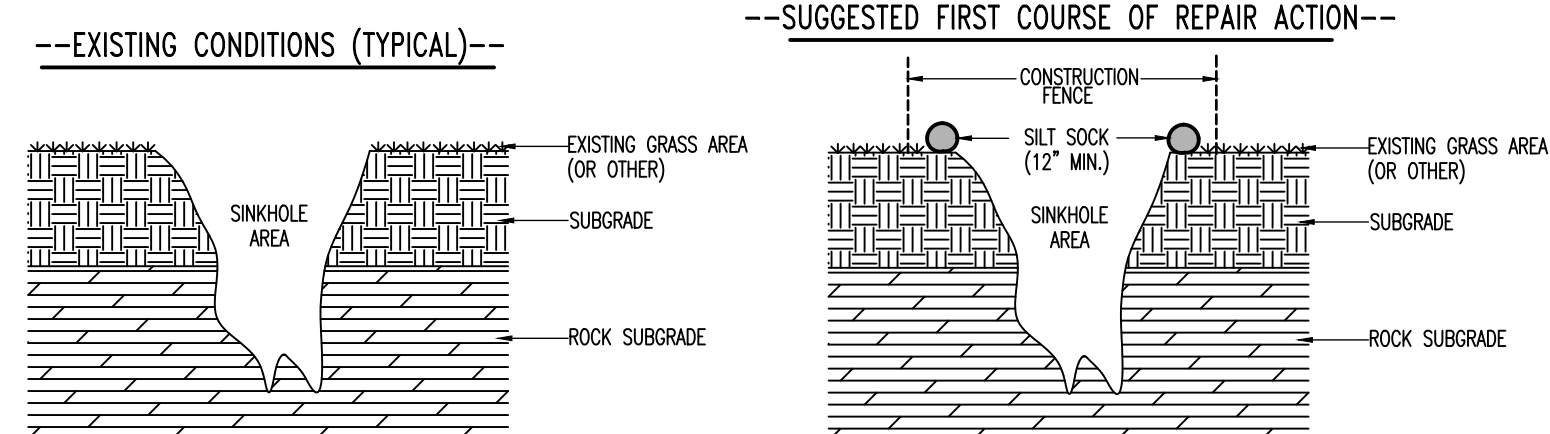


**42"x48" PENNDOT PRECAST TYPE 1 INLET
W/ 24 X 48 TYPE C TOP**
NOT TO SCALE

OVERALL INLET NOTE
INLETS A-1 THRU A-3, A-7 THRU A-9, A-13 THRU A-17, A-19, A-23 AND A-24 MUST MEET PENNDOT SPECIFICATIONS. SEE PENNDOT RC-45M & RC-46M IN PUB. 72M FOR MORE INFORMATION.



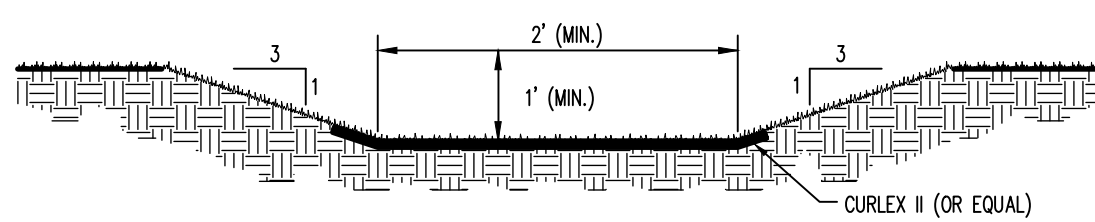
STORMSEWER (HDPEP) INSTALLATION
NOT TO SCALE



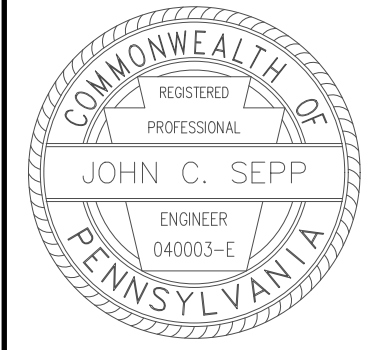
REPAIR STEPS

- UPON DISCOVERY OF A SINKHOLE, THE FOLLOWING STEPS SHALL IMMEDIATELY OCCUR:
1. INSTALL SILT SOCK OR SOME OTHER PERIMETER EROSION AND SEDIMENT CONTROL BMP AROUND THE SINKHOLE PERIMETER, AS SHOWN UNDER THE SUGGESTED FIRST COURSE OF REPAIR ACTION.
 2. INSTALL CONSTRUCTION FENCE AROUND THE SINKHOLE PERIMETER, AS SHOWN ABOVE UNDER THE SUGGESTED FIRST COURSE OF REPAIR ACTION.
 3. CONTACT THE PROJECT GEOTECHNICAL AND CIVIL CONSULTING ENGINEERS TO ARRANGE A FIELD VIEWING OF THE SINKHOLE AND DETERMINE THE FINAL COURSE OF ACTION TO REPAIR THE SINKHOLE.
 4. IMPLEMENT THE FINAL COURSE OF ACTION TO REPAIR THE SINKHOLE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER. REFER TO THE INVERTED FILTER FOR A TYPICAL REPAIR. THE FINAL REPAIR APPROACH SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER.

SINKHOLE REPAIR—COURSE OF ACTION PLAN
(NOT INCLUDED IN UTILITY/EARTHWORK BASE BID)
NOT TO SCALE



TYPICAL REAR LOT SWALE DETAIL
NOT TO SCALE



Designer	EAH
Draftsman	EAH
Proj Manager	MAT/JCS
Surveyor	MAK/JDF
Perimeter Ck.	
Book	543 Pg 1
17125-RESIDENTIAL-SUB-ES-PLAN	
Layout	EAS-PLAN

Date	Description

ORCHARD VIEW

FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

**PRELIMINARY/FINAL
SUBDIVISION PLAN**

**EROSION &
SEDIMENTATION
CONTROL PLAN**

PROJECT NO.	17125
DATE	MAY 14, 2019
SCALE	1"=60'
SHEET NO.	12

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Easement Line
- Project Benchmark

SOILS LEGEND

- Soil cover on the site consists of:
- HaA - Hagerstown Silt Loam, 0-3% Slopes
 - HaB - Hagerstown Silt Loam, 3-8% Slopes
 - HuA - Hublersburg Silt Loam, 0-3% Slopes
 - HuB - Hublersburg Silt Loam, 3-8% Slopes
 - OhB - Opequon-Hagerstown Complex, 3-8% Slopes

EXISTING FEATURES LEGEND

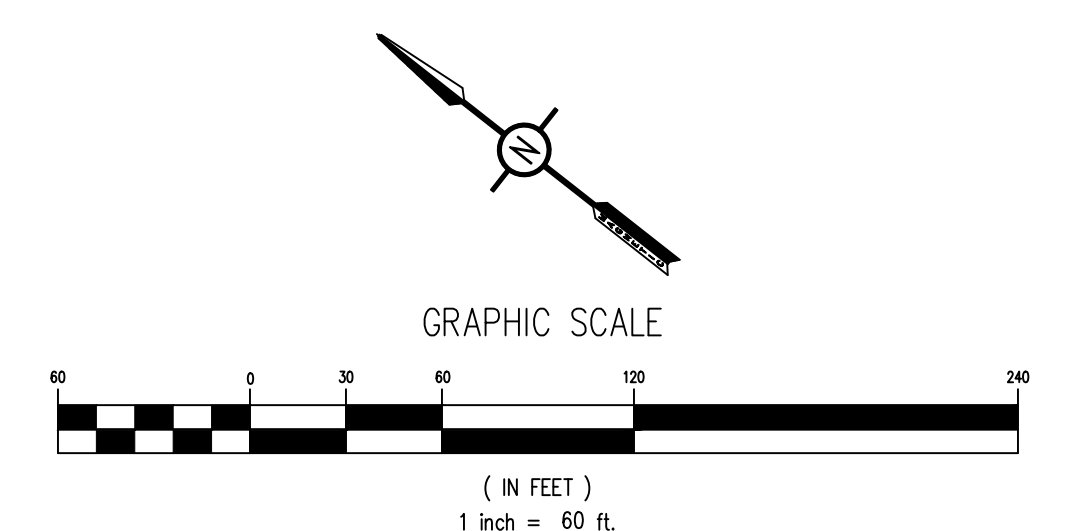
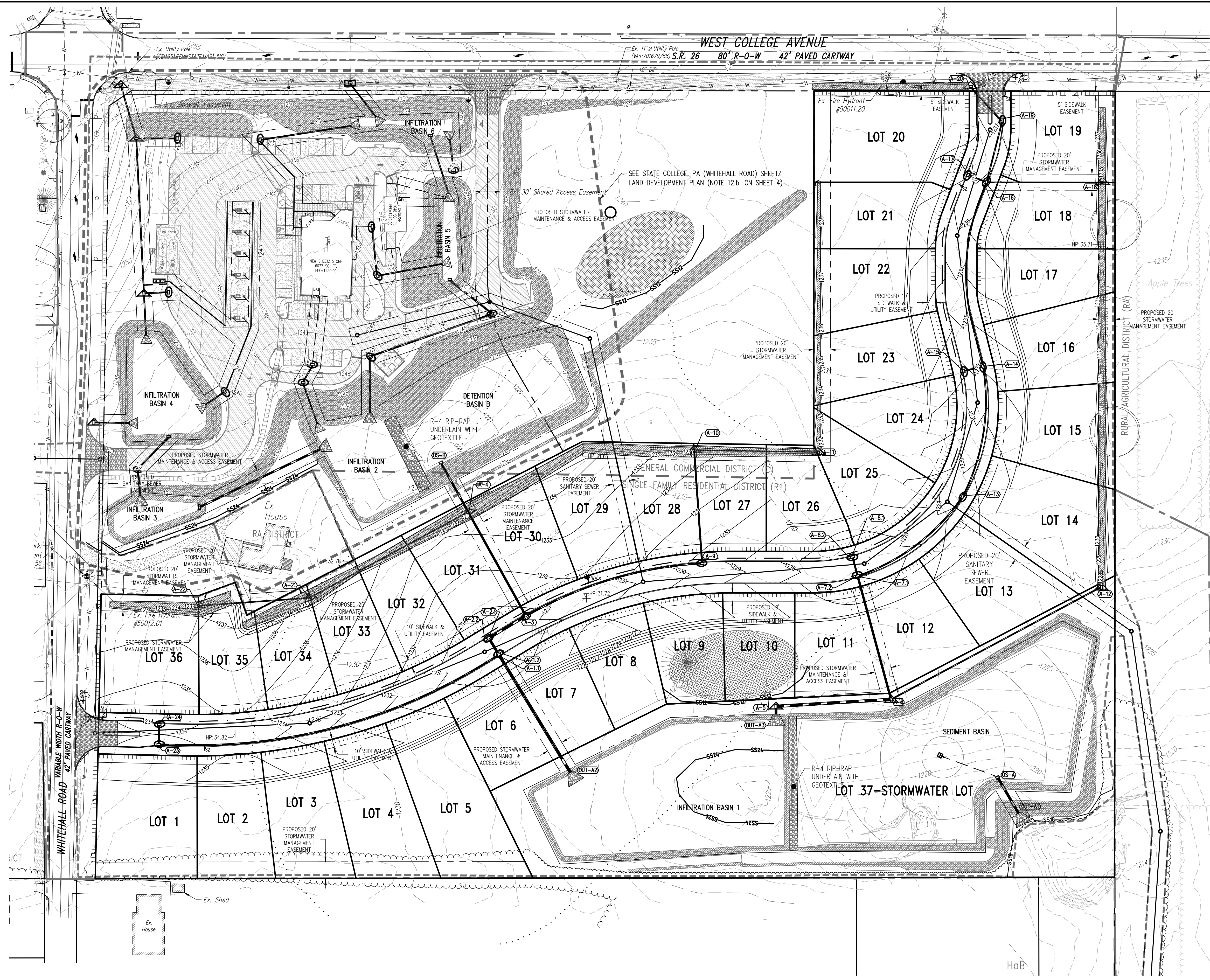
- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Gravel Areas
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Storm Sewer Line w/ Inlet
- Existing Sign
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Row
- 25% Slopes Or Greater
- Existing Stream
- Existing Floodplain
- Delineated Wetlands Line
- Existing Deciduous Tree
- Existing Evergreen Tree

PROPOSED FEATURES LEGEND

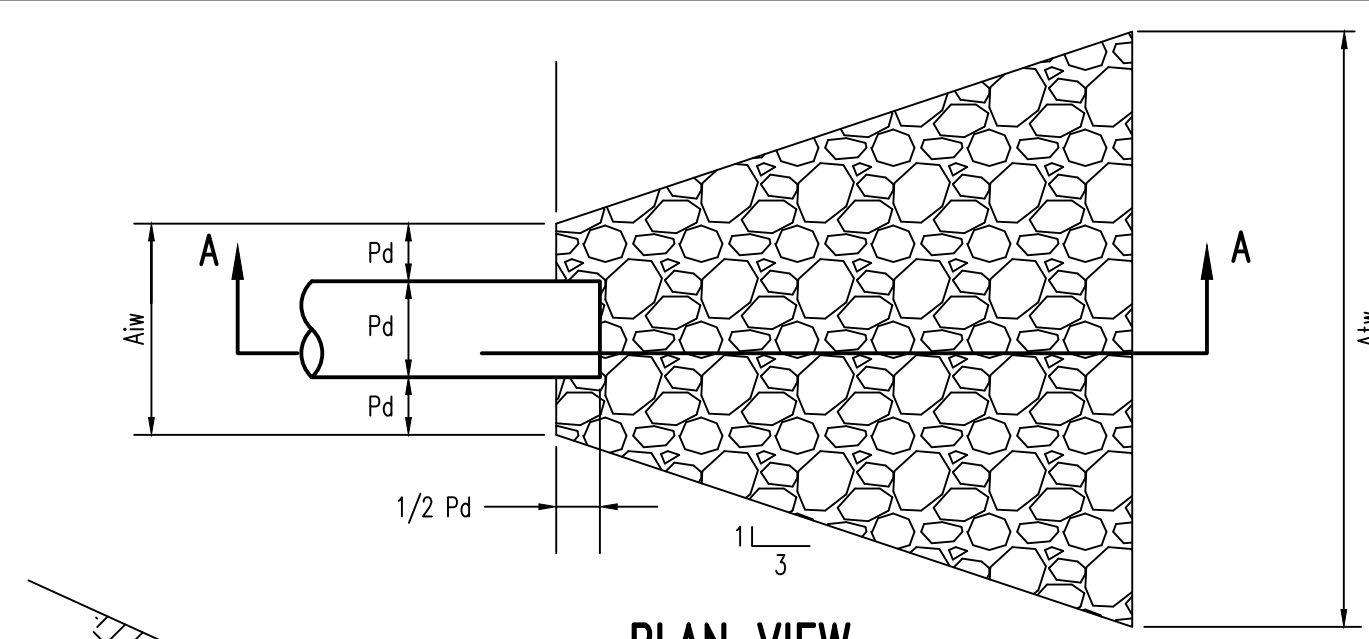
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- PROPOSED STORM SEWER W/ TYPE C INLET
- PROPOSED FIRE HYDRANT
- PROPOSED UTILITY MANHOLE
- PROPOSED STORM SEWER INLET - TYPE M
- PROPOSED STORM SEWER INLET - TYPE C
- PROPOSED TREE ROW
- PROPOSED SIGN W/ LABEL
- PROPOSED DEPRESSED CURB W/ CURB TRANSITION

EROSION & SEDIMENTATION CONTROL LEGEND

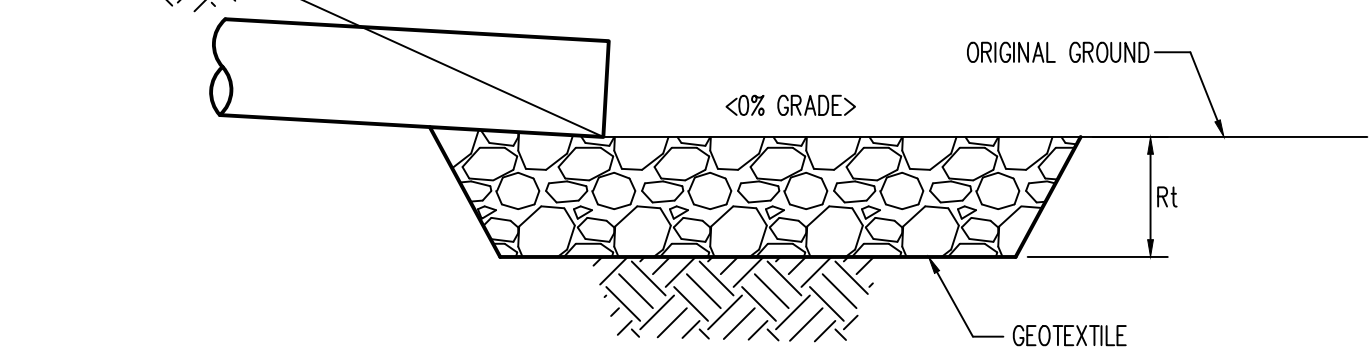
- NPDES BOUNDARY LINE
- LIMIT OF DISTURBANCE
- CONSTRUCTION ENTRANCE
- INLET PROTECTION-TYPE M
- INLET PROTECTION-TYPE C
- INLET PROTECTION-TYPE C-FILTER BAG
- RIP-RAP APRON
- EROSION CONTROL LINING (CURLEX II OR APPROVED EQUAL)
- TOPSOIL STOCKPILE
- 12" SILT SOCK
- 18" SILT SOCK
- 24" SILT SOCK



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PLAN VIEW



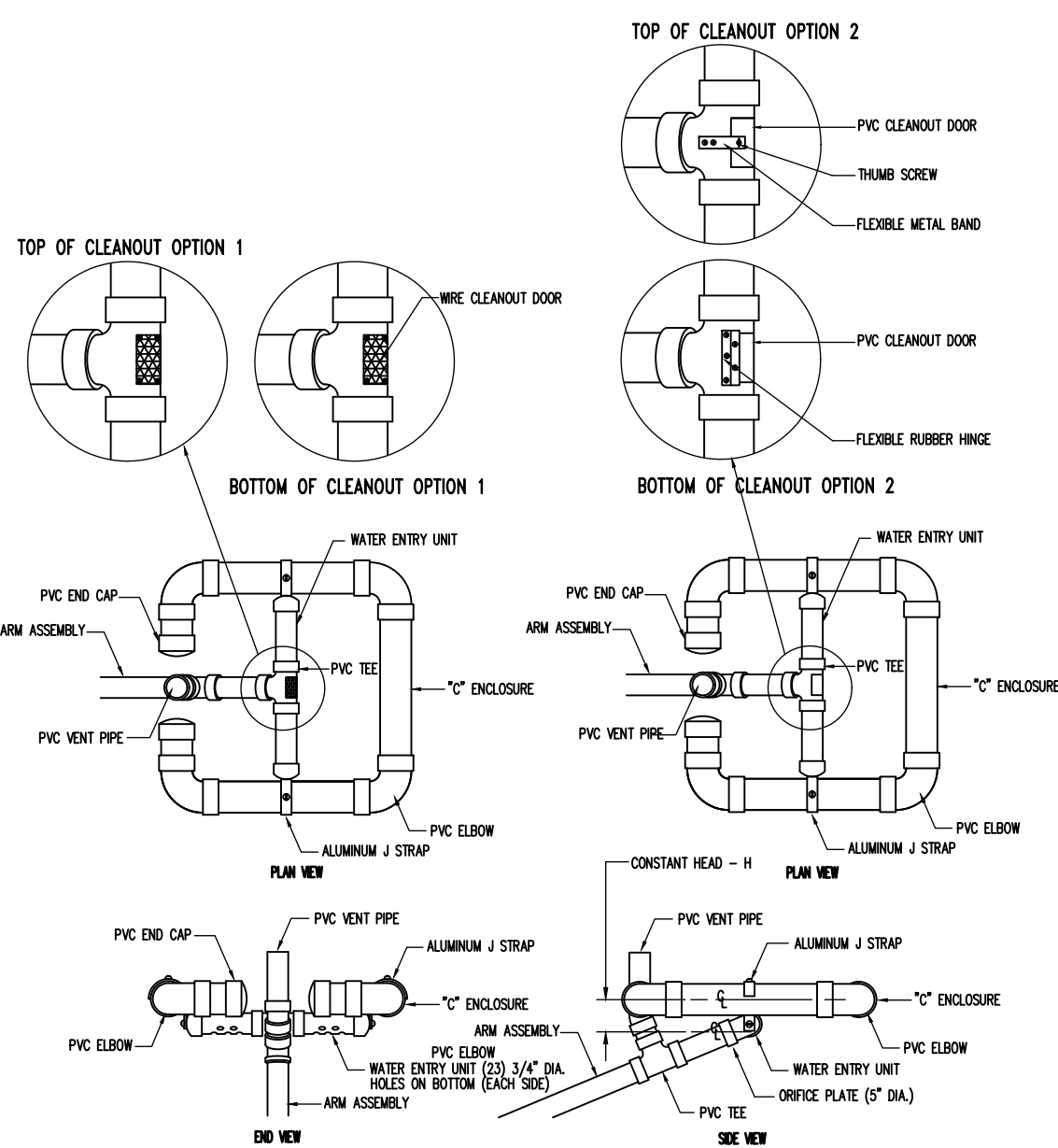
SECTION A-A

OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON		
		SIZE (R-)	THICK. Rt (IN)	LENGTH Al (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Aiw (FT)
OUT-A2-A3	36	R-5	27	20	9.00	29.00

- NOTES:
- All aprons shall be constructed to the dimensions shown. Terminal widths shall be adjusted as necessary to match receiving channels.
 - All aprons shall be inspected at least weekly and after each runoff event. Displaced riprap within the apron shall be replaced immediately.
 - Extend riprap on back side of apron to at least 1/2 depth of pipe on both sides to prevent scour around the pipe.

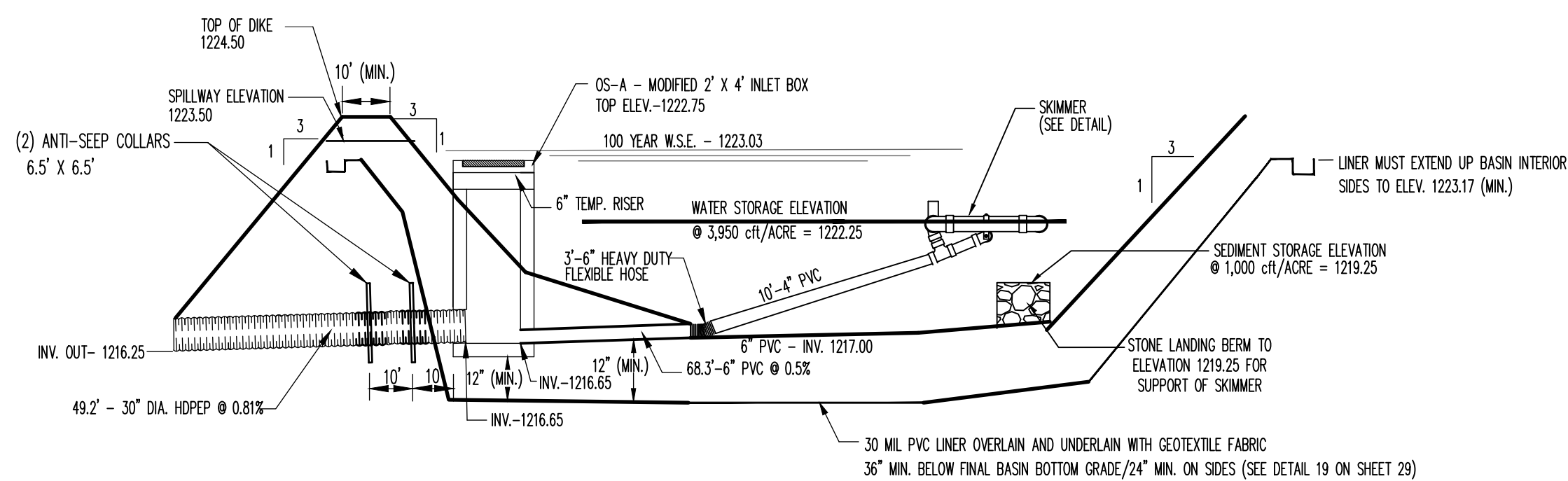
RIPRAP APRON

NOT TO SCALE



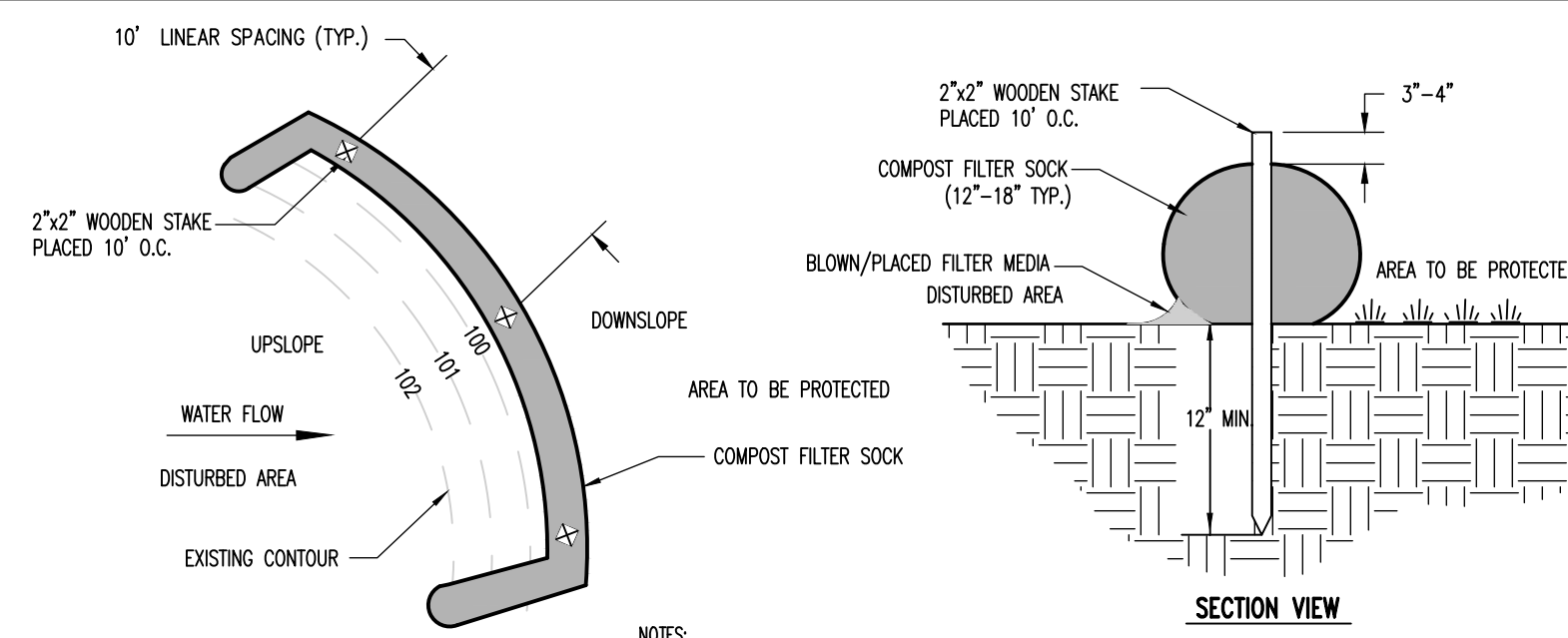
SKIMMER-CONSTRUCTED WITH SHEETZ STATE COLLEGE PA, (WHITEHALL ROAD) PLAN

NOT TO SCALE



SEDIMENT BASIN CROSS SECTION - CONSTRUCTED WITH SHEETZ STATE COLLEGE PA, (WHITEHALL ROAD) PLAN

NOT TO SCALE



PLAN VIEW

SECTION VIEW

- NOTES:
- ALL MATERIAL TO MEET EPA COMPOST FILTER SOCK SPECIFICATIONS.
 - SILT SOCK COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
 - SILT SOCKS DEPICTED ARE FOR USE ON MINIMAL SLOPES. GREATER SLOPES MAY REQUIRE LARGER SILT SOCKS PER THE ENGINEER.
 - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

TABLE 4.1
Compost Sock Fabric Minimum Specifications

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MPPF)	Heavy Duty Multi-Filament Polypropylene (HDMPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years

Two-Ply Systems

Inner Containment Netting	Outer Filtration Mesh
HDPE biaxial net Continuously wound Fusion-welded junctures 3/4"x3/4" Max. aperture size	Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch) 3/16" Max. aperture size

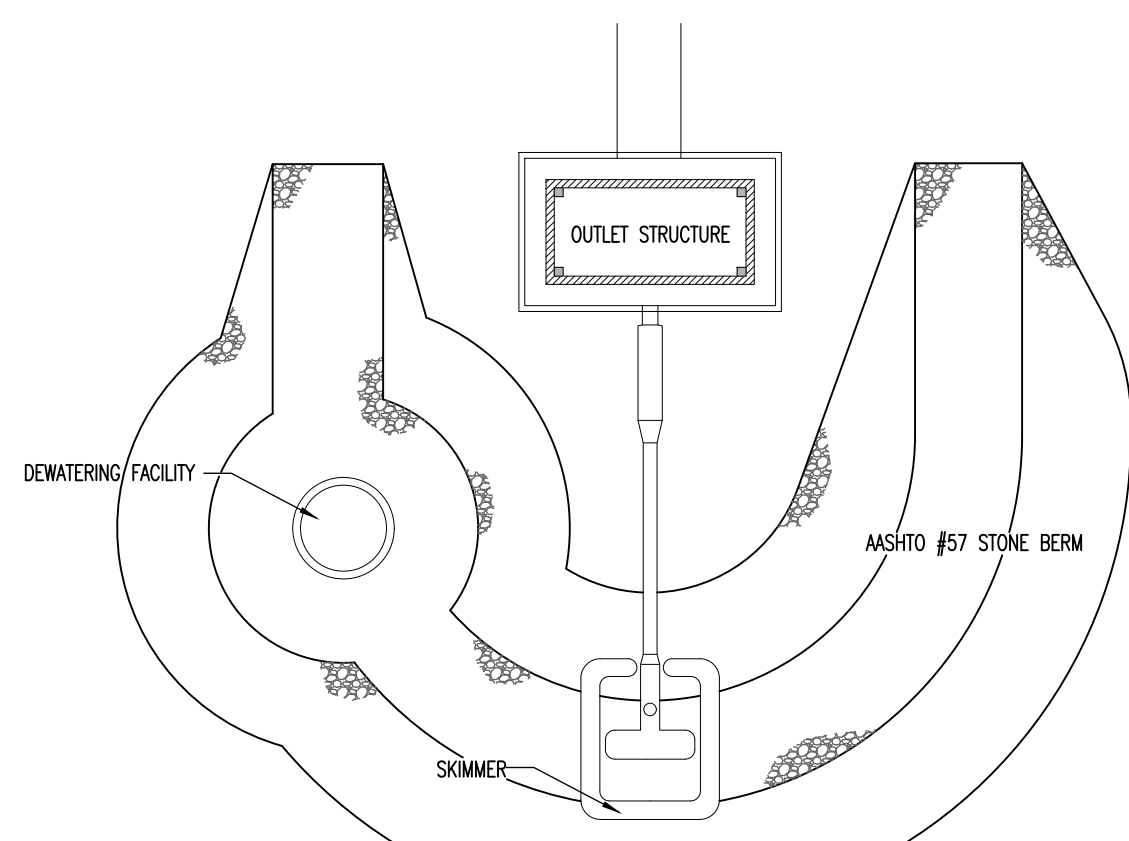
Sock fabrics composed of burlap may be used on projects lasting 6 months or less.

TABLE 4.2
Compost Standards

Organic Matter Content	25%-100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5-8.5
Moisture Content	30%-60%
Particle Size	30% - 50% pass through 3/8" sieve
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum

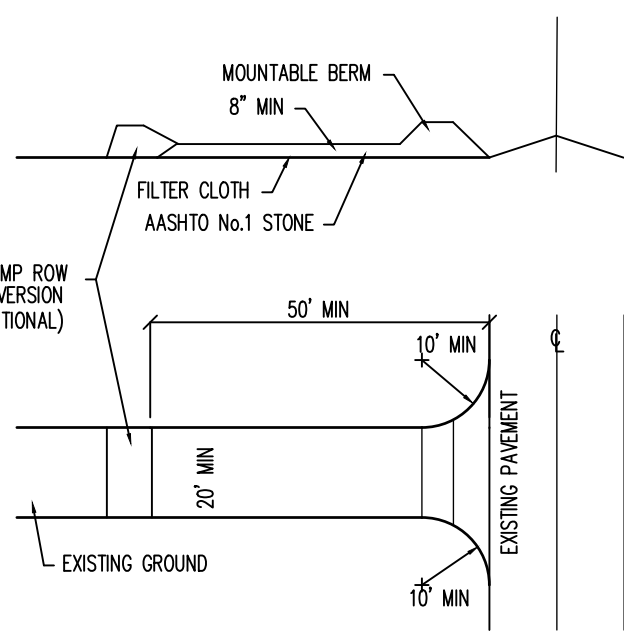
COMPOST FILTER SOCK DETAIL

NOT TO SCALE



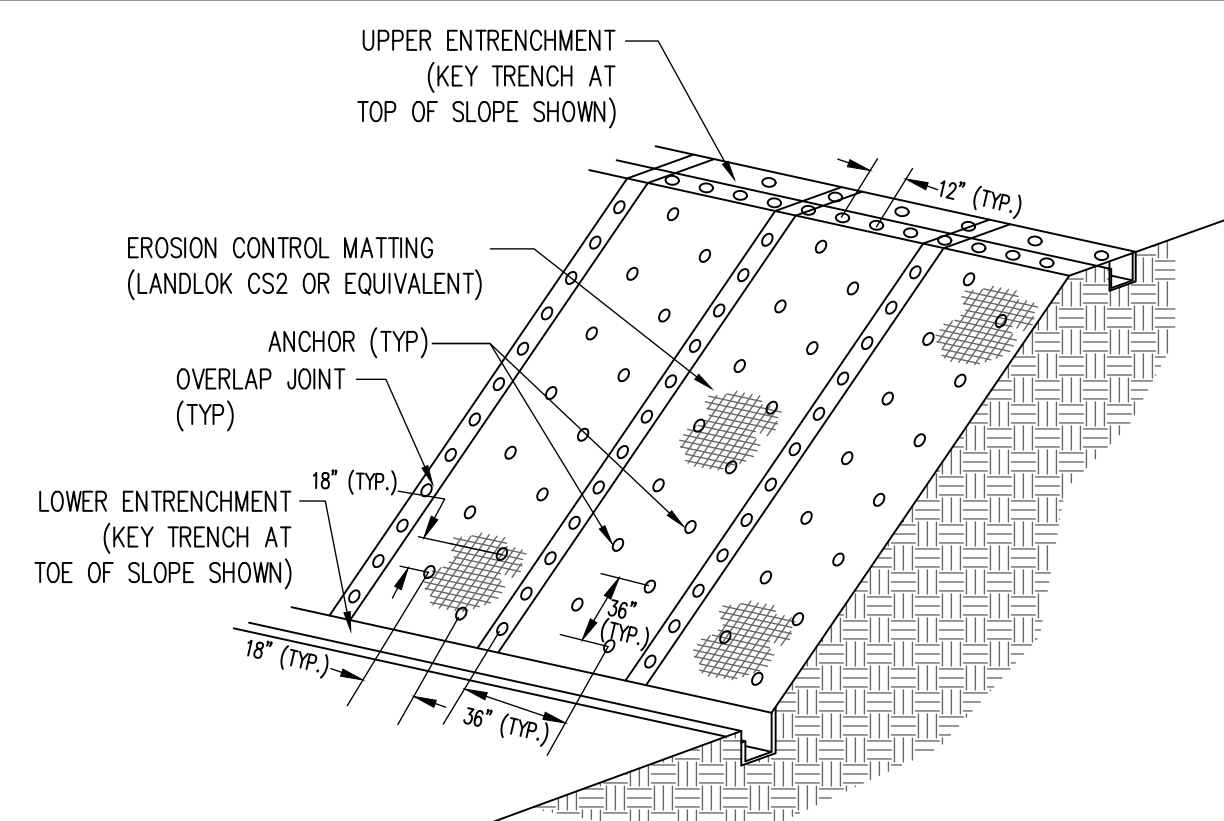
SKIMMER WITH STONE LANDING BERM

NOT TO SCALE

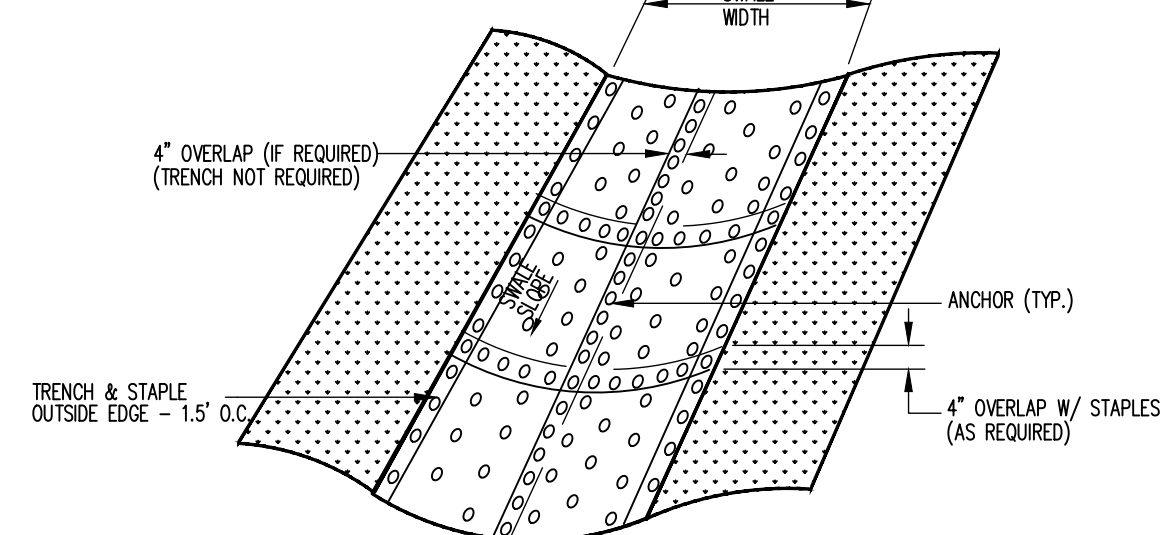
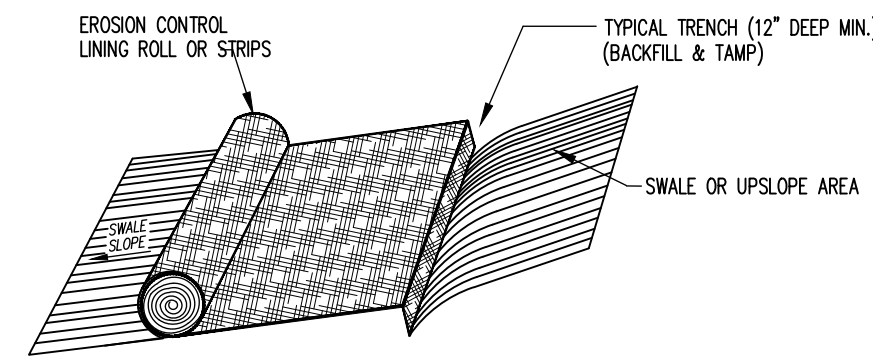


CONSTRUCTION ENTRANCE

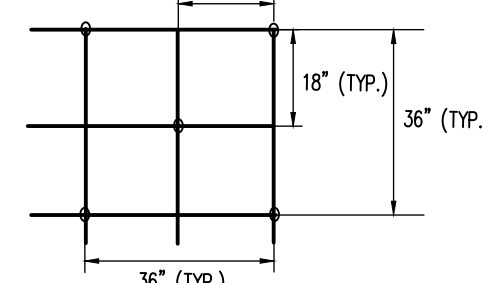
NOT TO SCALE



ON SLOPES



IN SWALES

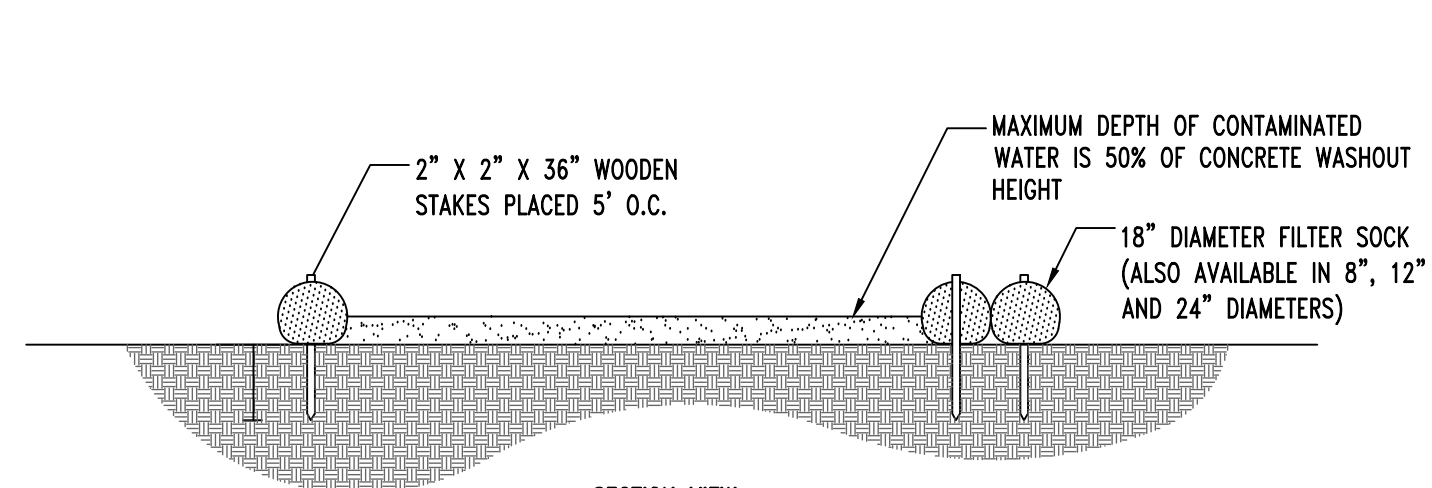


TYPICAL ANCHORING PATTERN

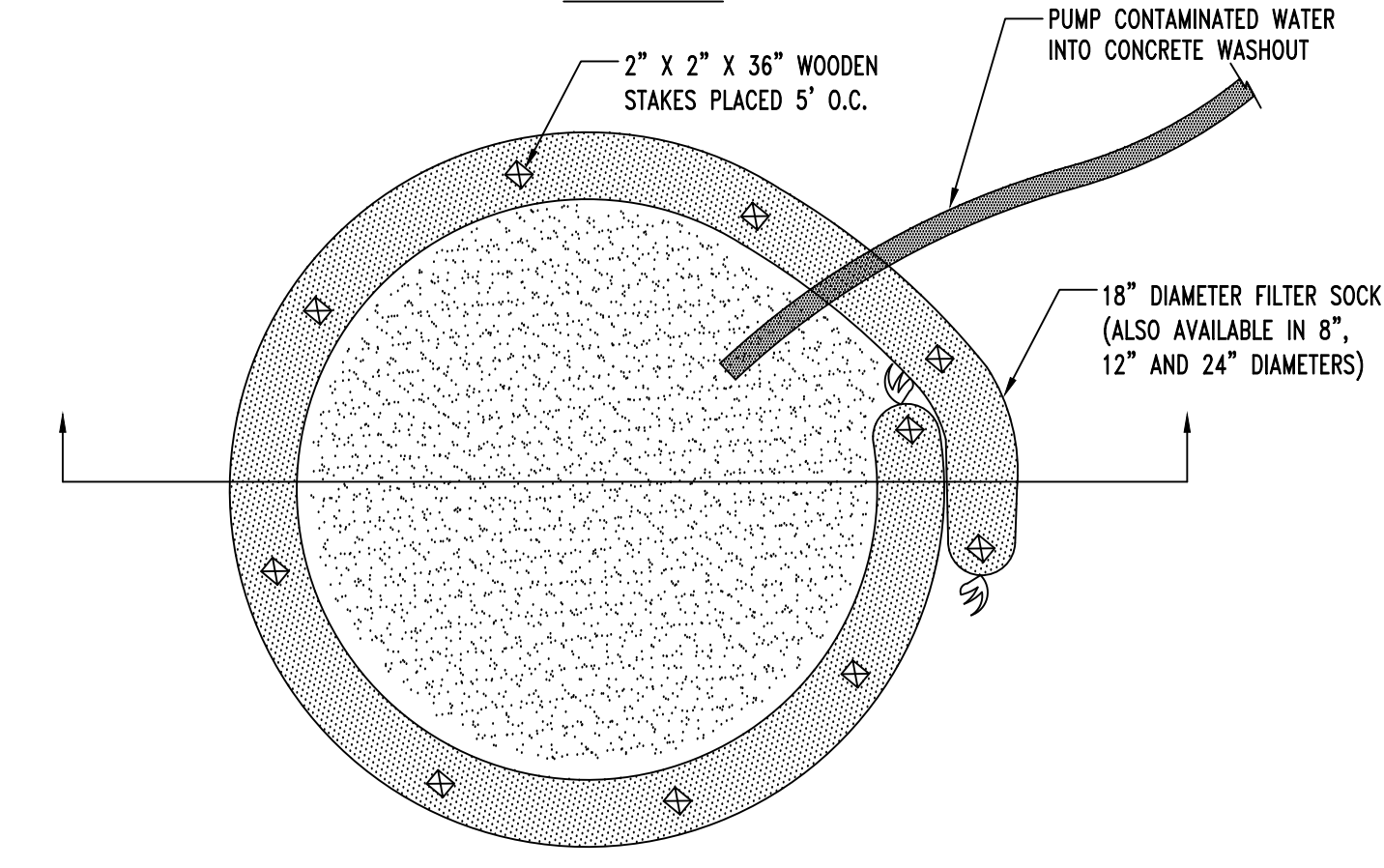
- INSTALLATION NOTES:
- PRIOR TO EROSION CONTROL LINING INSTALLATION, STABILIZATION SHALL BE AS FOLLOWS:
A. SPREAD TOPSOIL.
B. SEED SLOPE WITH THE PERMANENT SEEDING MIXTURE.
C. BEGIN APPROPRIATE SLOPE MATING INSTALLATION AS FOLLOWS BELOW
 - BURY TOP END OF THE STRIPS IN A TRENCH 12" DEEP (MIN.) X 6" WIDE (MIN.)
 - TAMP TRENCH FULL OF SOIL - SECURE WITH ROW OF STAPLES
12" SPACING - 4" AWAY FROM TRENCH
 - OVERLAP AND BURY UPPER END OF LOWER STRIP. OVERLAP END OF TOP STRIP 4" AND STAPLE
 - INSTALL DOUBLE ROW OF STAPLES AT EACH STRIP END (4" ABOVE AND BELOW TRENCH)
 - OVERLAP STRIPS AND STAPLE EVERY 18" O.C. ALONG OVERLAP IF MULTIPLE STRIPS ARE REQUIRED ALONG WIDTH OF SLOPE.

EROSION CONTROL LINING INSTALLTION

NOT TO SCALE



SECTION VIEW

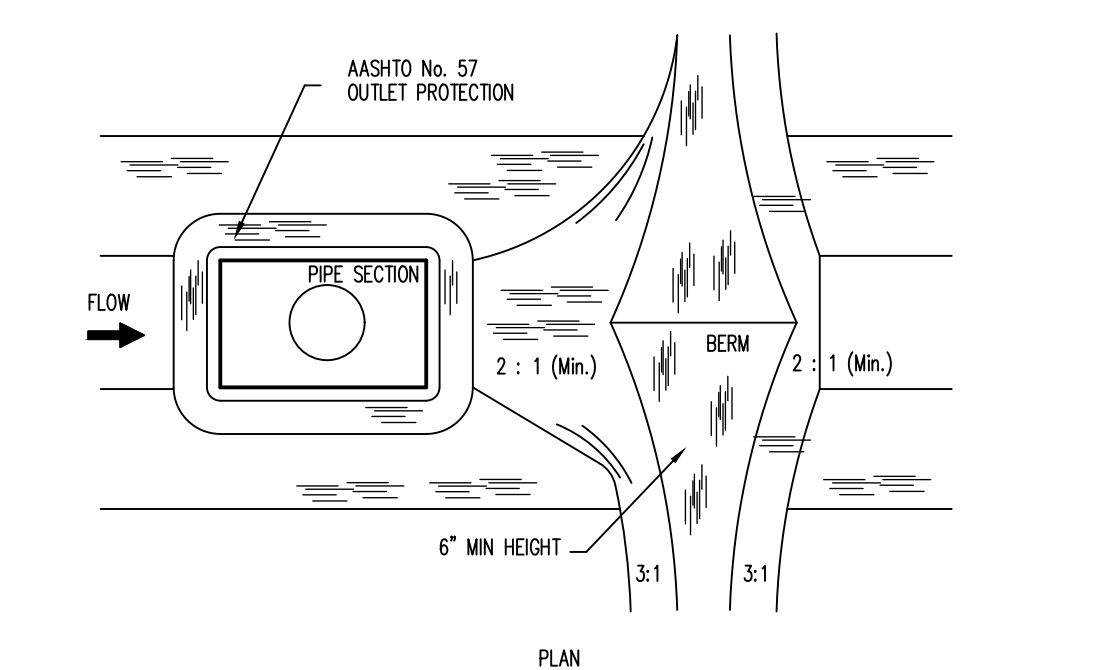


PLAN VIEW

- NOTES:
- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE
 - CONCRETE WASHOUT MAY BE STACKED IN A PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT AND STABILITY
 - CONCRETE WASHOUT MAY BE DIRECT SEEDS AT THE TIME OF INSTALLATION
 - A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE FILTER SOCKS.

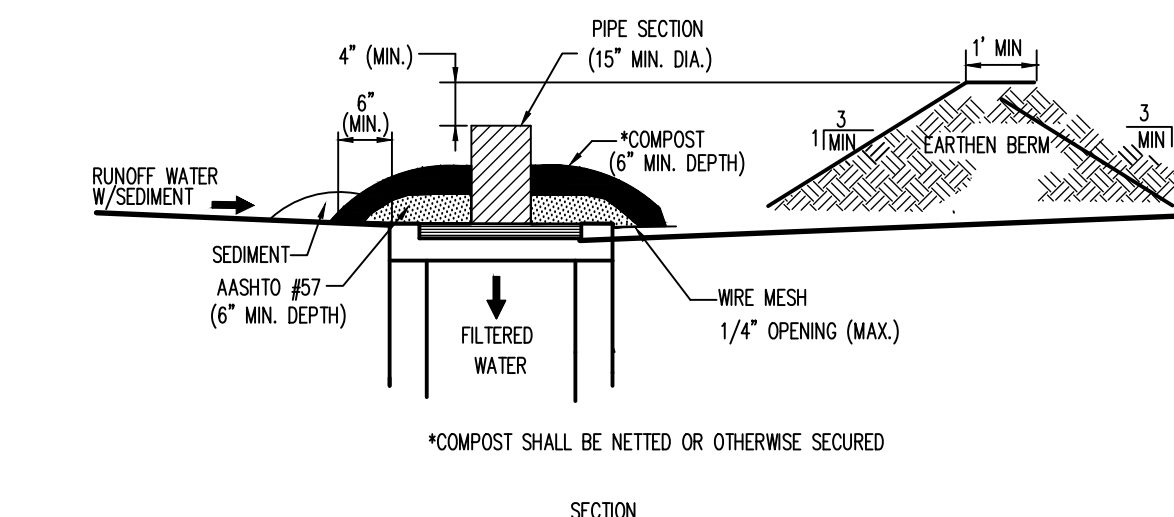
CONCRETE WASHOUT AREA

NOT TO SCALE

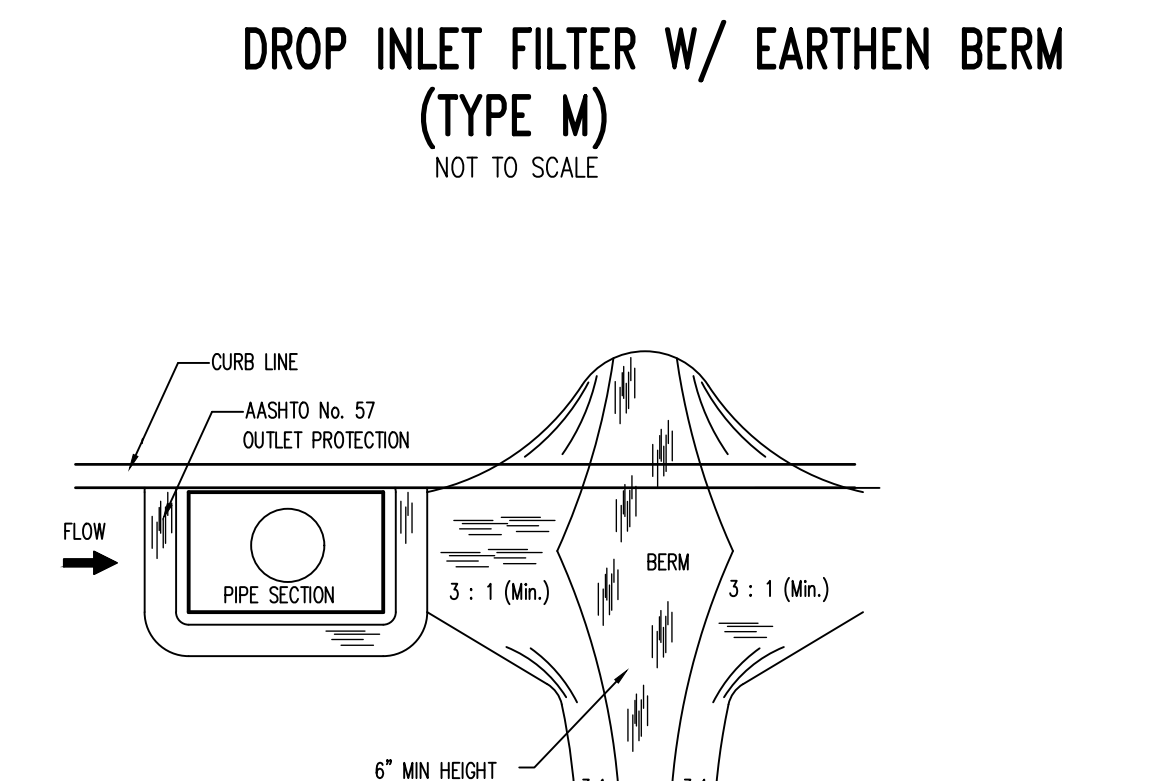


DROP INLET FILTER W/ EARTHEN BERM (TYPE M)

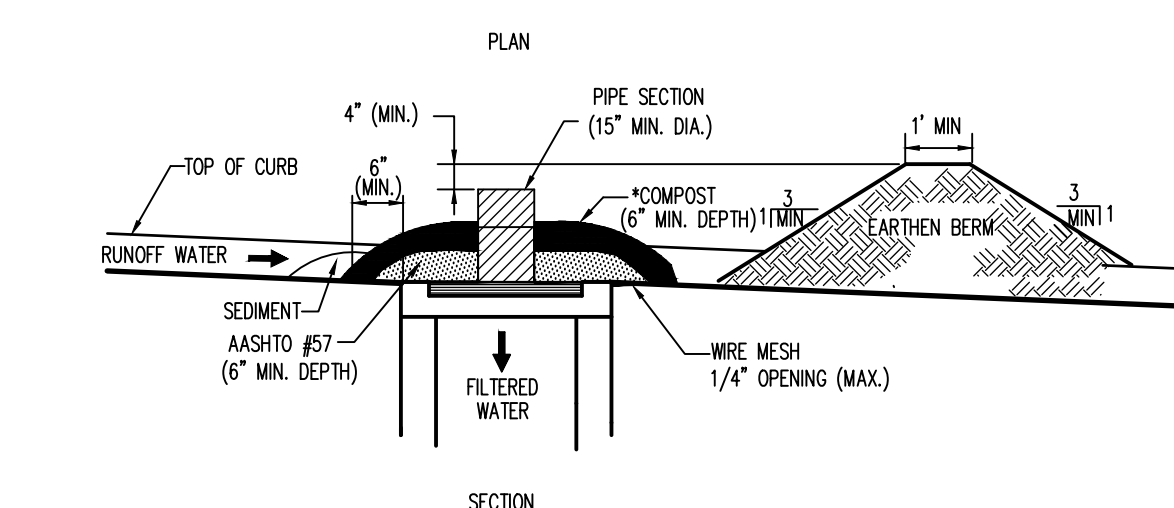
NOT TO SCALE



SECTION



PLAN



SECTION

DROP INLET FILTER W/ EARTHEN BERM (TYPE C)

NOT TO SCALE

PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 FAX: 814-237-2308

LANCASTER REGION OFFICE:
 3904 B ABEL DRIVE
 COLUMBIA, PA 17512
 PH: 717-522-5031
 FAX: 717-522-5046

WWW.PENNTERRA.COM

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Designer: EAH
 Draftsman: EAH
 Proj/Manager: MAT/JCS
 Surveyor: MAK/JWF
 Perimeter Ok.
 Book: 543 Pg: 1
 A&W 25-RESIDENTIAL-SUB-ES-DT
 Layout: ES-DET

Date	Description	REVISIONS

ORCHARD VIEW

FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY/FINAL
 SUBDIVISION PLAN

EROSION &
 SEDIMENTATION
 CONTROL
 DETAILS

PROJECT NO.
 17125

DATE
 MAY 14, 2019

SCALE SHEET NO.
 N.T.S. 14