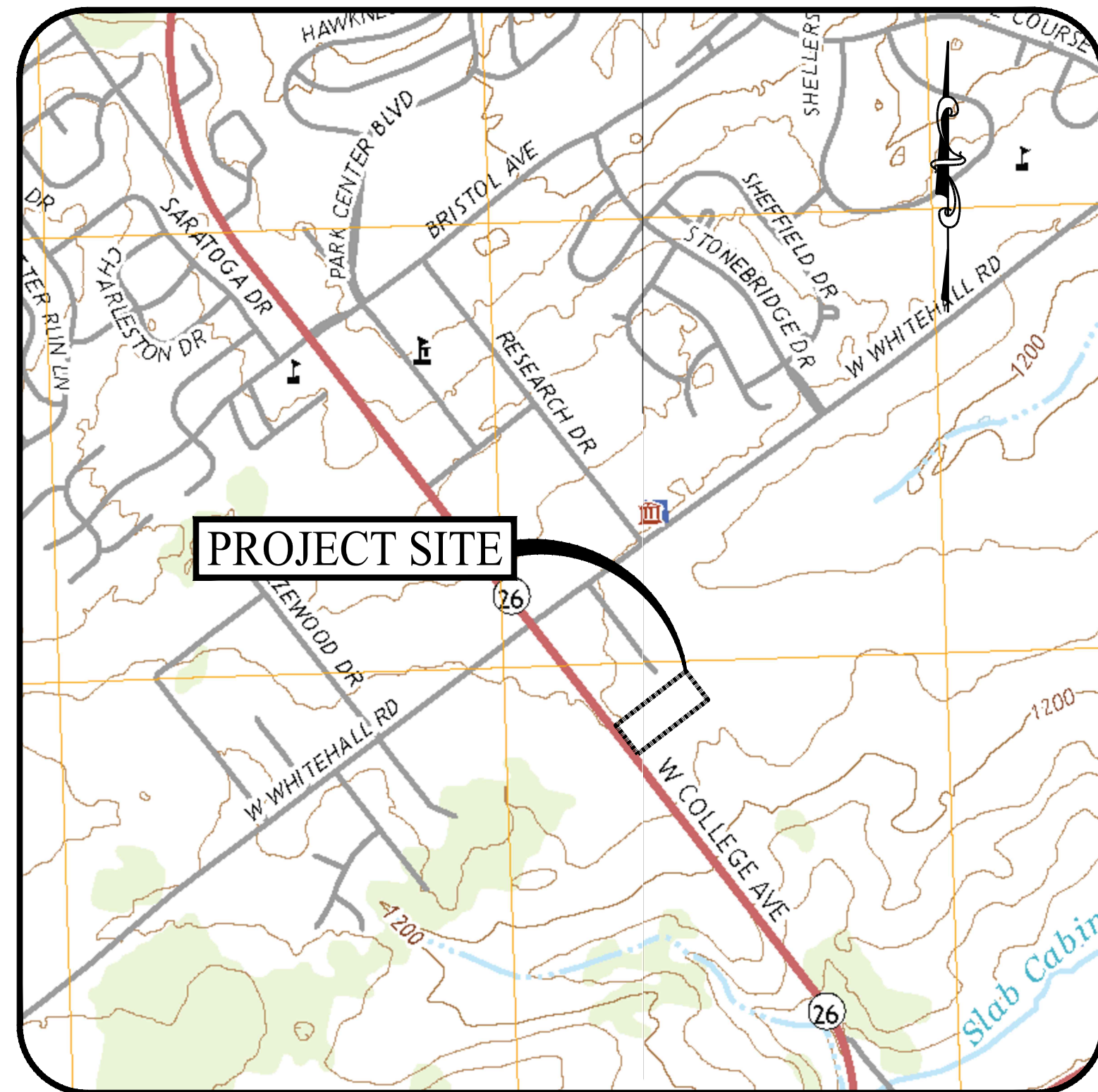


# PROPOSED STACK-N-STOR

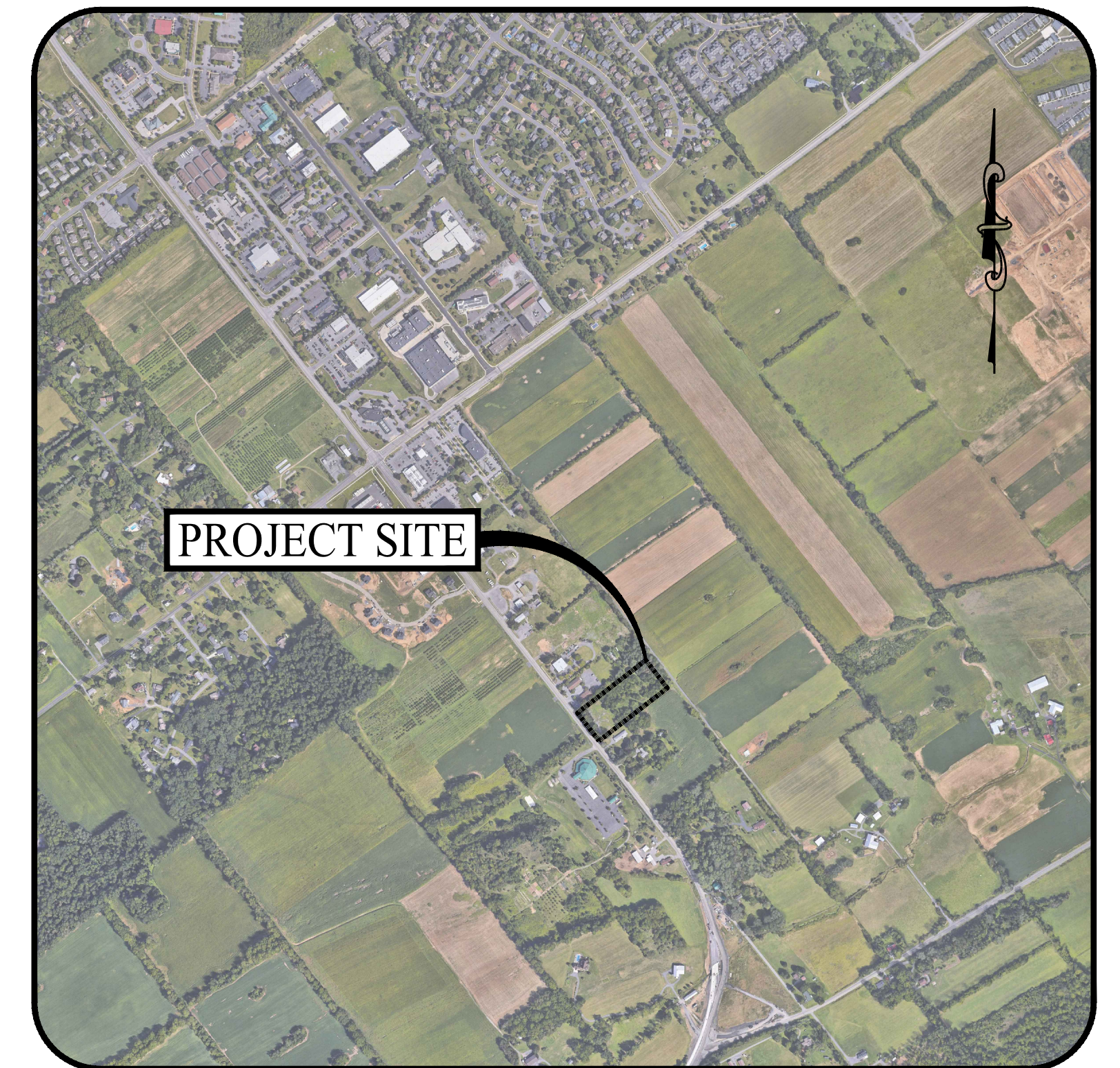
3610 WEST COLLEGE AVENUE  
FERGUSON TOWNSHIP, PENNSYLVANIA 16801

## PRELIMINARY LAND DEVELOPMENT PLAN APPLICATION



USGS MAP

SCALE: 1" = 1,000'



LOCATION MAP

SCALE: 1" = 1,000'

PREPARED FOR:

**BDC HOLDINGS INC**

222 BLOOMINGDALE ROAD, SUITE 404  
WHITE PLAINS, NEW YORK 10605

PREPARED BY:

**SOLLI**  
ENGINEERING

501 MAIN STREET, MONROE, CONNECTICUT 06468

**PROPERTY INFORMATION**

ADDRESS: 3610 WEST COLLEGE AVENUE,  
FERGUSON TOWNSHIP, PENNSYLVANIA 16801  
MAP-BLOCK-LOT: 24-004-079A  
DEED BOOK / PAGE NUMBER: DB 2179 PG 235  
PROPERTY SIZE: 4.003 ACRES  
ZONING: GENERAL COMMERCIAL (C) DISTRICT  
CORRIDOR OVERLAY (CO) DISTRICT  
SITE USE EXISTING: RESIDENTIAL  
SITE USE PROPOSED: SELF-STORAGE FACILITY

**APPLICANT**

BDC HOLDINGS INC  
222 BLOOMINGDALE ROAD, SUITE 404  
WHITE PLAINS, NEW YORK 10605

**OWNER**

TEAM RAHAL OF LEWISTON, LLC  
6715 CARLISLE PIKE  
MECHANICSBURG, PENNSYLVANIA 17050

**SITE/CIVIL ENGINEER**

KEVIN SOLLI, P.E., CPESC, LEED AP BD+C  
PA LICENSE NO. 083293  
SOLLI ENGINEERING, LLC  
501 MAIN STREET  
MONROE, CONNECTICUT 06468  
(203) 880-5455

**SURVEYOR OF RECORD**

NEVIN L. GROVE, L.S.  
PEN TERRA ENGINEERING, INC.  
3075 ENTERPRISE DRIVE, SUITE 100  
STATE COLLEGE, PENNSYLVANIA 16801  
(814) 321-8285

**ARCHITECT**

DEREK GRIBULIS  
COTLER ARCHITECTURE  
95 LOUDON ROAD, SUITE 250  
LATHAM, NEW YORK 12110  
(518) 783-1663

**SITE/LANDSCAPE ARCHITECT**

MARY BLACKBURN, P.L.A.,  
LICENSE CT NO. 1499  
SOLLI ENGINEERING, LLC  
501 MAIN STREET  
MONROE, CONNECTICUT 06468  
(203) 880-5455

<p><b>FIRE DIRECTOR CERTIFICATION</b></p> <p>THE FIRE DIRECTOR HAS REVIEWED THIS PLAN FOR COMPLIANCE WITH APPLICABLE FIRE PROTECTION STANDARDS AND DOES HEREBY CERTIFY THE COMPLIANCE WITH THOSE STANDARDS HAS BEEN DEMONSTRATED.</p> <p>DATE: _____</p>	<p><b>OWNER'S CERTIFICATION</b> T.P. 24-009A-056-000</p> <p>COMMONWEALTH OF PENNSYLVANIA COUNTY OF CENTRE ON THIS DAY OF _____, 2023, BEFORE ME THE UNDERSIGNED OFFICER PERSONALLY APPEARED _____ OWNER OF BDC HOLDINGS LLC, IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN. THAT _____ IS AUTHORIZED TO EXECUTE AUTHORIZED SAID PLAN ON BEHALF OF THE OWNER, AND THAT THE OWNER ACKNOWLEDGES THE SAME TO BE THEIR ACT AND DEED, AND THE OWNER DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.</p> <p>SIGNATURE OF LAND OWNER REPRESENTATIVE: _____ WITNESS MY HAND AND SEAL THIS _____ DAY OF _____, 2023</p> <p>NOTARY PUBLIC _____ COMMISSION EXPIRES _____</p>
<p><b>MUNICIPAL STORMWATER CERTIFICATION</b></p> <p>I, _____ HAVE REVIEWED THE STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE FERGUSON TOWNSHIP STORMWATER MANAGEMENT ORDINANCE</p> <p>CHAIR _____ DATE: _____ SECRETARY _____ DATE: _____</p>	<p><b>STORMWATER FACILITIES ACKNOWLEDGEMENT</b></p> <p>I, THE LANDOWNER, ACKNOWLEDGE THAT THE STORMWATER MANAGEMENT SYSTEMS TO BE MAINTAINED IN ACCORDANCE WITH THE APPROVED OWNERSHIP AND MAINTENANCE PROGRAM AND TO BE A PERMANENT FEATURE WHICH CAN BE ALTERED OR REMOVED AFTER APPROVAL OF A REVISED PLAN BY FERGUSON TOWNSHIP.</p> <p>DATE: _____</p>
<p><b>FERGUSON TOWNSHIP PLANNING COMMISSION</b></p> <p>FERGUSON TOWNSHIP PLANNING COMMISSION APPROVED:</p> <p>CHAIR _____ DATE: _____ SECRETARY _____ DATE: _____</p>	<p><b>DESIGN ENGINEER</b></p> <p>I, KEVIN SOLLI, P.E., DO HEREBY CERTIFY THAT THIS LAND DEVELOPMENT PLAN MEETS ALL DESIGN CRITERIA OF FERGUSON TOWNSHIP ZONING AND LAND DEVELOPMENT SUBDIVISION REGULATIONS.</p>
<p><b>FERGUSON TOWNSHIP COUNCIL</b></p> <p>FERGUSON TOWNSHIP COUNCIL APPROVED:</p> <p>CHAIR _____ DATE: _____ SECRETARY _____ DATE: _____</p>	<p><b>DESIGN ENGINEER STORMWATER CERTIFICATION</b></p> <p>I, KEVIN SOLLI, P.E., DO HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN CRITERIA OF FERGUSON TOWNSHIP ZONING AND LAND DEVELOPMENT SUBDIVISION REGULATIONS.</p>
	<p><b>RECORDER OF DEEDS</b></p>

**DRAWING LIST**

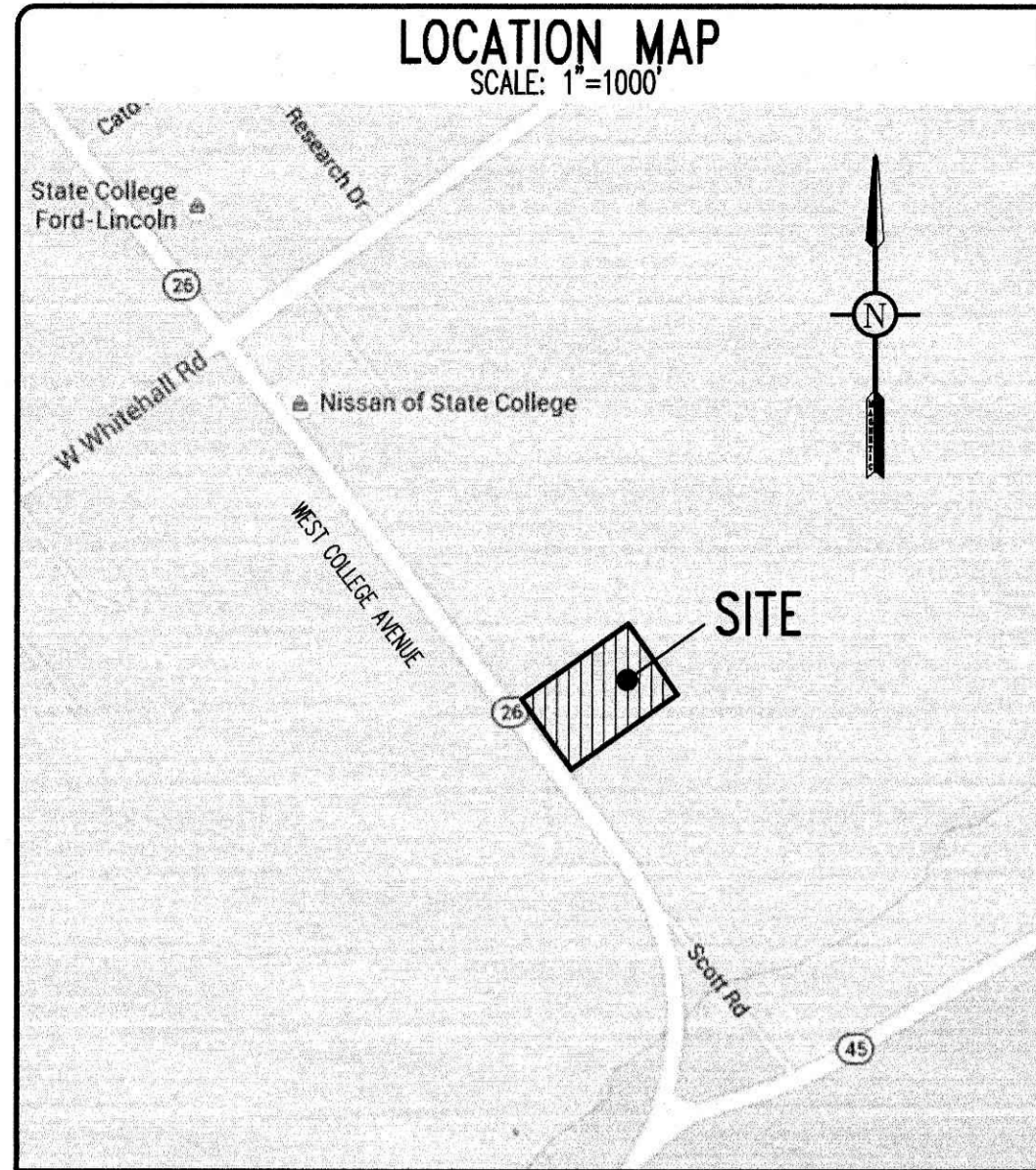
SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
0.00	COVER SHEET	08/21/23	N/A
1	EXISTING CONDITIONS PLAN	12/07/22	N/A
2.11	SITE LAYOUT PLAN	08/21/23	N/A
2.21	GRADING AND DRAINAGE PLAN	08/21/23	N/A
2.31	SOIL EROSION AND SEDIMENT CONTROL PLAN	08/21/23	N/A
2.41	SOIL EROSION AND SEDIMENT CONTROL NOTES & DETAILS	08/21/23	N/A
2.51	SITE UTILITY PLAN	08/21/23	N/A
2.61	LANDSCAPE PLAN	08/21/23	N/A
2.71	LIGHTING PLAN	08/21/23	N/A
3.01	DETAIL SHEET	08/21/23	N/A
3.02	DETAIL SHEET	08/21/23	N/A
3.03	DETAIL SHEET	08/21/23	N/A

Rev. #:	Date	Description

Project:  
**PROPOSED  
STACK-N-STOR**  
3610 WEST COLLEGE AVENUE  
FERGUSON TOWNSHIP,  
PENNSYLVANIA 16801

Sheet Title: **COVER SHEET**      Sheet #: **0.00**





**Project Notes:**

1. General Site Information:
  - a. Owner of Record: Team Rahal of Lewistown, LLC  
6175 Carlisle Pike  
Mechanicsburg, PA 17050
  - b. Zoning: C - General Commercial with the Corridor Overlay District
  - c. Building Setbacks: 40' (Front) 15' (Side) 20' (Rear)  
(Setbacks may vary with proposed use)
  - d. Tax Parcel No.: 24-04-79A
  - e. Site Address: 3610 West College Avenue
  - f. Site Size: 4.003 Acres (174,351 S.F.)
  - g. Record Book/Page: 2179 / 235
2. Act 287 Utility Information (Serial No. 20160430150):
  - a. Water: State College Borough Water Authority (SCBWA)  
1201 West Branch Road, State College, PA 16801;  
(814) 238-6766
  - b. Sewer: University Area Joint Authority (UAJA)  
1576 Spring Valley Road, State College, PA 16801;  
(814) 238-9662
  - c. Telephone: Verizon Facilities Management Center  
224 South Allen Street, State College, PA 16801;  
(814) 231-6511
  - d. Electric: West Penn Power Company  
2800 East College Avenue, State College, PA 16801;  
(814) 237-5821
  - e. Cable Television: Comcast  
60 Decibel Road, State College, PA 16801;  
(814) 238-5050
  - f. Gas: Columbia Gas  
2550 Carolan Drive, State College, PA 16801; (814) 238-6775

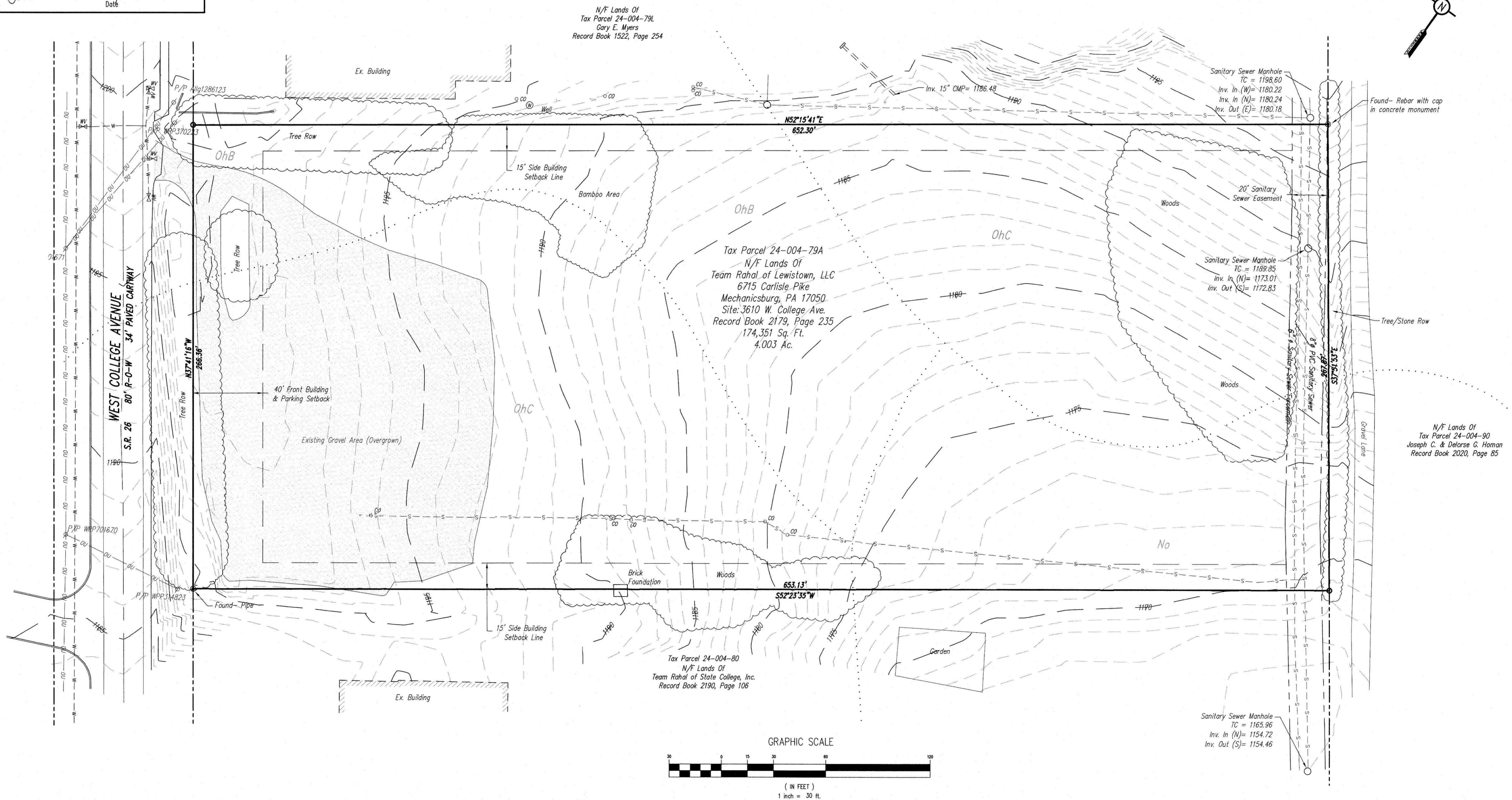
**Professional Land Surveyor Certification**

I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

*Nevin L. Grove* 12/07/22  
Signature Date

**EXISTING FEATURES LEGEND**

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- I.P. Found
- I.P. To Be Set
- Existing Building
- Existing Curbing
- Existing Contours (1's & 2's)
- Existing Contours (5's & 10's)
- Existing Tree Line
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Overhead Utility Line w/ Pole
- Existing Clean-Out



**PennTerra ENGINEERING INC.**  
CENTRAL PENNSYLVANIA REGION OFFICE:  
3075 ENTERPRISE DRIVE  
SUITE 100  
STATE COLLEGE, PA 16801  
PH: 814-231-8285  
Fax: 814-237-2308

LANCASTER REGION OFFICE:  
3904 B ABEL DRIVE  
COLUMBIA, PA 17512  
PH: 717-522-5031  
Fax: 717-522-5046

WWW.PENNTERRA.COM

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Designer: JDH  
Draftsman: JDH/BRK  
Proj Manager: CAF  
Surveyor: MAK  
Perimeter Ck:  
Book: 497 Pg: 16-19  
Draw: P: Layout 24x36  
Acad: 15350.01-MD-C3016.dwg

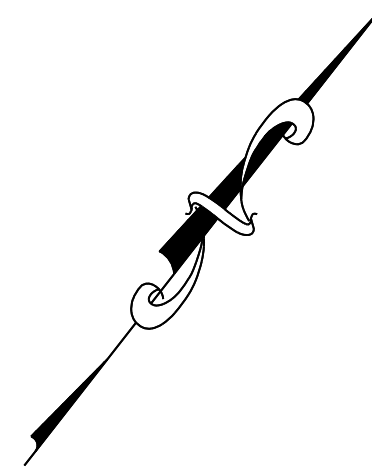
00/00/00  
Date Description  
REVISIONS

**TAX PARCEL 24-4-79A**  
FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

**EXISTING CONDITIONS PLAN**

PROJECT NO.  
22280/15350  
DATE  
DECEMBER 7, 2022  
SCALE SHEET NO.  
1" = 30' 1





**SIGN LEGEND**

<b>A</b> 	<b>B</b> 	<b>C</b> 	<b>D</b> 								
SIZES (IN) 24"x24"	PENN DOT # R1-1	SUPPORTS 1	SIZES (IN) 12"x18" 12"x6"	PENN DOT # R7-8 R7-8A	SUPPORTS 1	SIZES (IN) 30"x30"	PENN DOT # R5-1	SUPPORTS 1	SIZES (IN) 36"x12"	PENN DOT # R6-1R	SUPPORTS 1

PARKING SUMMARY				
PROPOSED DEVELOPMENT	UNITS/AREA	TOWN REQ.	REQUIRED	PROVIDED
PROPOSED SELF STORAGE	511 UNITS	1 SPACE / 50 UNITS + 1 PER FULL-TIME EMPLOYEE	12	12
PROPOSED OFFICE	830 SF ±	1 SPACE / 250 SF	4	6
		<b>TOTAL</b>	<b>16</b>	<b>18</b>

ZONING COMPLIANCE TABLE		
ZONE: GENERAL COMMERCIAL (C) DISTRICT		
ZONING REQUIREMENT	FERGUSON ZONING STANDARD	PROPOSED
MINIMUM LOT AREA	20,000 SF	174,351 SF
MINIMUM LOT FRONTAGE	100 FT	266 FT
MINIMUM FRONT YARD SETBACK	50 FT	88.0 FT
MINIMUM SIDE YARD SETBACK	25 FT	39.1 FT
MINIMUM REAR YARD SETBACK	50 FT	391.7 FT
MAXIMUM BUILDING COVERAGE	45.0%	15.1%
MAXIMUM IMPERVIOUS COVERAGE	80.0%	32.8%
MAXIMUM HEIGHT <sup>1</sup>	45 FT	44.5 FT

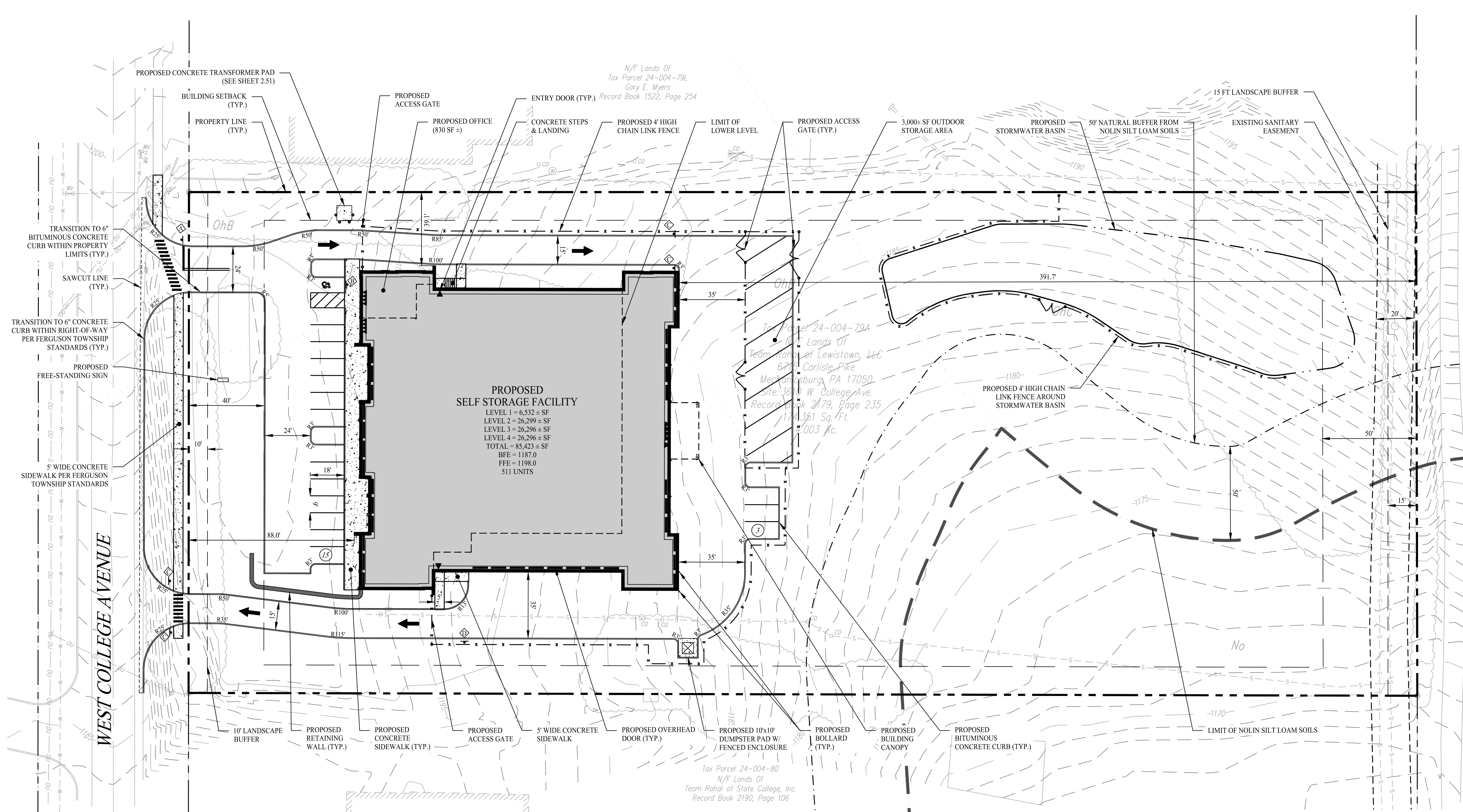
1. COMPUTATION: THE HEIGHT OF A STRUCTURAL SHALL BE COMPUTED AS THE VERTICAL DISTANCE MEASURED FROM THE MEAN LEVEL OF THE GROUND SURROUNDING THE STRUCTURE TO ITS HIGHEST POINT.

**GENERAL NOTES**

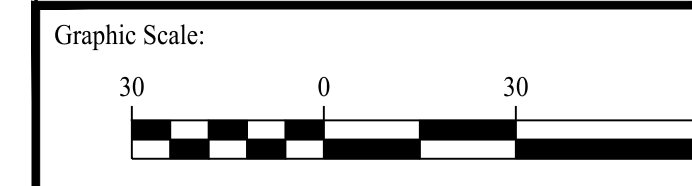
- EXISTING SITE CONDITIONS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS PLAN" TAX PARCEL 24-004-79A, DATED DECEMBER 7, 2022, SCALE: 1"=30', BY PENNTERRA ENGINEERING, INC.
- THIS PLAN WAS DESIGNED IN ACCORDANCE WITH THE FERGUSON TOWNSHIP ZONING REGULATIONS.
- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLAN IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES AND ISSUANCE OF A DULY AUTHORIZED CERTIFIED OF ZONING COMPLIANCE AND BUILDING PERMIT FROM THE TOWNSHIP OF FERGUSON.
- THE SUBJECT PARCEL CONSISTS OF A TOTAL AREA OF APPROXIMATELY 4.00+ ACRES, LOCATED WITHIN THE GENERAL COMMERCIAL DISTRICT, WITHIN THE CORRIDOR DISTRICT OVERLAY OF THE TOWN OF FERGUSON, PENNSYLVANIA AND SELF-STORAGE FACILITIES ARE PERMITTED. A CONDITIONAL USE PERMIT FOR THE OUTDOOR STORAGE AREA IS REQUESTED AS PART OF THIS APPLICATION.
- THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD AND BELOW GROUND ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
- THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES, PRIOR TO DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG™ 72 HOURS BEFORE COMMENCEMENT OF WORK AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTORS AND SUBCONTRACTORS RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS FOR USE IN BIDDING AND CONSTRUCTION.
- ALL NOTES AND DIMENSIONS DESIGNATED "TYP." APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
- CONTRACTORS TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.

**LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	BUILDING SETBACK
	LANDSCAPE BUFFER
	LIMIT OF EASEMENT
	EXISTING BUILDING LIMITS
	PROPOSED BUILDING LIMITS
	PROPOSED BUILDING HATCH
	BUILDING OVERHANG LINE / CANOPY
	SAWCUT PAVEMENT LINE
	BITUMINOUS CONCRETE CURB
	STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT
	CONCRETE SIDEWALK / PAVEMENT
	RETAINING WALL / GRAVITY OR SEGMENTAL BLOCK
	SIDEWALK LIMITS
	PAVEMENT STRIPING - YELLOW CHAIN LINK FENCE
	PAVEMENT STRIPING - WHITE STANDARD AND ADA PARKING SPACES
	PAVEMENT ARROW MARKINGS
	PARKING SPACE COUNT
	TRAFFIC SIGN
	TRAFFIC SIGN DESIGNATION



Rev. #:	Date:	Description:



**SOLLI ENGINEERING**  
 501 Main Street, Monroeville, PA 15146  
 11 Vanderbilt Ave., Norwood, MA 02062  
 T: (203) 880-5455 F: (203) 880-9695  
 T: (781) 352-8491 F: (203) 880-9695

Drawn By:	CJP
Checked By:	RPP
Approved By:	KMS
Project #:	22108901
Plan Date:	08/21/23
Scale:	1" = 30'



**PROPOSED STACK-N-STOR**  
 3610 WEST COLLEGE AVENUE  
 FERGUSON TOWNSHIP,  
 PENNSYLVANIA 16801

Sheet Title:	Sheet #:
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**SITE LAYOUT PLAN**  
**2.11**

Aug 17, 2023 - 3:15pm jmontano  
 X:\SE Files\Project Data\2023\22108901 - 3610 W College Ave - State College, PA\Code Book\22108901-2.11.dwg



**TEST PIT & INFILTRATION DATA**

1. TEST PITS AND INFILTRATION TESTS PERFORMED ON 04/19/23 BY HILLIS-CARNES ENGINEERING ASSOCIATES.

Test Pit Designation	Excavated Depth (Feet)	General Subsurface Conditions (Refer to Test Pit Summary in Appendix for More Detailed Results)	Groundwater Conditions
TP-1	2.5	<b>Infiltration Basin #1</b> 0.0' - 0.1' Dark Brown TOPSOIL 0.1' - 2.0' Tannish-Brown Sandy Clay (cl) 2.0' - 2.5' Light Gray Limestone Bedrock  Dolomite Bedrock Encountered and Bucket Refusal Obtained at Depth of 2.5' Prior to Reaching Desired Test Depth  Double-Ring Infiltration Test Not Performed	Groundwater Not Encountered
TP-2	4.0	0.0' - 0.1' Dark Brown TOPSOIL 0.1' - 2.2' Tannish-Brown Sandy Clay (cl) 2.2' - 3.6' Light Gray Dolomite Bedrock  Dolomite Bedrock Encountered and Bucket Refusal Obtained at Depth of 4.0' Prior to Reaching Desired Test Depth  Double-Ring Infiltration Test Performed at 1.5' (EL. 1183.0)	Groundwater Not Encountered
SWM-3	3.6	0.0' - 0.1' Dark Brown TOPSOIL 0.1' - 2.2' Tannish-Brown Sandy Clay (cl) 2.2' - 3.6' Light Gray Dolomite Bedrock  Dolomite Bedrock Encountered and Bucket Refusal Obtained at Depth of 3.6' Prior to Reaching Desired Test Depth  Double-Ring Infiltration Test Performed at 0.1' (EL. 1184.4)	Groundwater Not Encountered
SWM-4	2.7	0.0' - 0.2' Dark Brown TOPSOIL 0.2' - 1.5' Orangish-Brown Lean Clay (cl) 1.5' - 2.7' Light Gray Dolomite Bedrock  Dolomite Bedrock Encountered and Bucket Refusal Obtained at Depth of 2.7' Prior to Reaching Desired Test Depth  Double-Ring Infiltration Test Not Performed	Groundwater Not Encountered
SWM-2	4.0	<b>Stormwater Basin #1</b> 0.0' - 0.1' Dark Brown TOPSOIL 0.1' - 3.7' Light to Medium Brown Sandy SILT (ml) 3.7' - 4.0' Light Gray Dolomite Bedrock  Dolomite Bedrock Encountered and Bucket Refusal Obtained at Minimum Depth of 3.7' Prior to Reaching Desired Test Depth  Double-Ring Infiltration Test Performed at 1.2' (EL. 82.4)	Groundwater Not Encountered

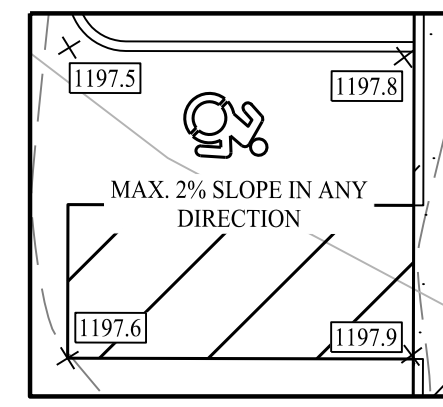
**INFILTRATION TEST RESULTS**

LOCATION	TEST ELEVATION (FT)	RATE (IN/HR)
TP-2	1183.0	3.36
SWM-2	1183.0	2.00
SWM-3	1184.4	0.00

**FILTRATION MEDIA SPECIFICATIONS**

SPECIFICATIONS PROVIDED BY PENNSYLVANIA POST-CONSTRUCTION STORMWATER MANAGEMENT (PCSM) MANUAL

- Soils should be classified by the USCS (ASTM D2487-17) to consider behavior of the fine fraction (i.e., plasticity):
  - A minimum of 70% total sand content (includes fine, medium and coarse sand) defined by particle sizes between 4.75 to 0.075 mm with either: 1) a minimum of total of coarse and medium sand of 55% (defined by particle sizes between 4.75 and 0.425 millimeter) or 2) up to 15% fine sand (as defined by particle sizes between 0.425 and 0.075 millimeter) or 3) a well graded soil.
  - A maximum non-plastic fine content (silt and clay) of 30% defined by particle sizes less than 0.075 millimeter or a maximum fine content of 20% with a plasticity index of less than 10.
- Soil media may have up to 5% organic material as determined by loss on ignition (ASTM D2974). Soil media with less than 2% organic matter may be difficult to support some plant life. After establishment, plants will provide their own organic material through decomposing roots and foliage.
- Media should have a pH between 6.0 and 8.5.
- The recommended phosphorus content of the soil media is between seven and 23 milligrams per kilogram (mg/kg).
- Soil media (including imported media) should not contain pollutant concentrations that exceed 10% of the residential or non-residential Medium Specific Concentrations (MSCs) in 25 Pa. Code Chapter 250 for residential and non-residential sites, respectively, to reduce concerns related to pollutant leaching, unless higher concentrations are a result of natural background conditions.



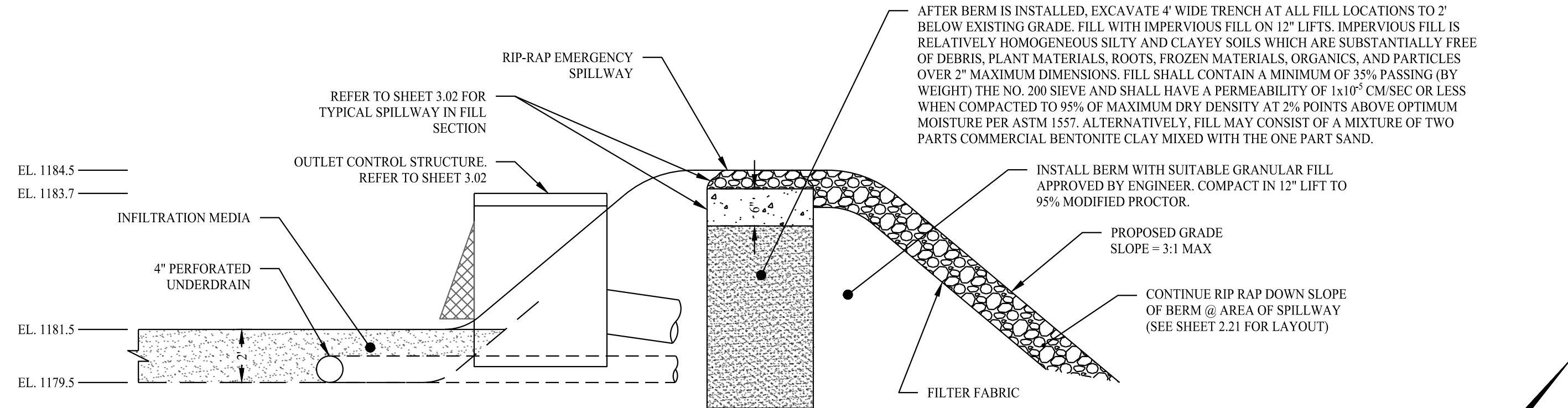
**ENLARGEMENT "A"**  
SCALE: 1" = 10'

**ABBREVIATIONS**

- @ AT
- BC BOTTOM OF CURB
- BW BOTTOM OF WALL
- C CURB
- CB CATCH BASIN
- CF CUBIC FEET
- CL CURBLESS
- DMH DRAINAGE MANHOLE
- ELEV ELEVATION
- EX EXISTING
- FLARED END SECTION FLARED END SECTION
- FFS FINISHED FLOOR ELEVATION
- HDPE HIGH-DENSITY POLYETHYLENE PIPE
- INV INVERT
- LF LINEAR FEET
- PR PROPOSED
- RCP REINFORCED CONCRETE PIPE
- S SLOPE
- SF SQUARE FEET
- TC TOP OF CURB
- TF TOP OF FRAME
- TW TOP OF WALL
- TYP. TYPICAL

**GRADING & DRAINAGE NOTES**

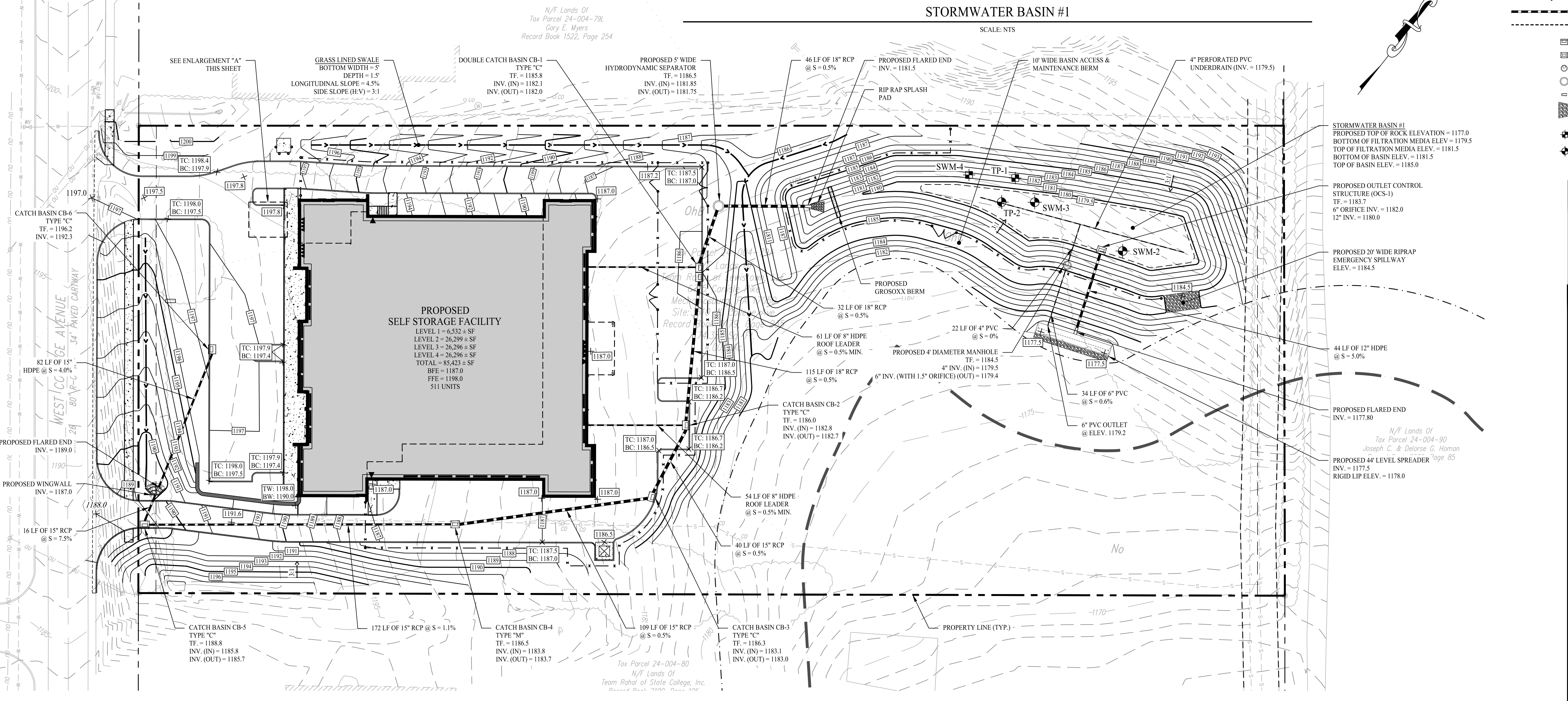
- EXISTING SITE CONDITIONS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS PLAN", TAX PARCEL 24-4-79A, DATED DECEMBER 7, 2022, SCALE: 1"=30', BY PENNTERRA ENGINEERING, INC.
- THIS PLAN WAS DESIGNED IN ACCORDANCE WITH THE TOWNSHIP OF FERGUSON ZONING REGULATIONS.
- THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES AND ISSUANCE OF A DULY AUTHORIZED CERTIFICATE OF ZONING COMPLIANCE AND BUILDING PERMIT FROM THE TOWNSHIP OF FERGUSON. THIS DRAWING IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS FROM THE TOWNSHIP OF FERGUSON, AS APPLICABLE, TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
- THE CONTRACTOR SHALL COMPACT FILL IN 12" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- ALL DISTURBANCE INCURRED TO CITY OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWNSHIP OF FERGUSON, AS APPLICABLE.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNERS ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNERS ENVIRONMENTAL CONSULTANT.
- ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
- GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACTION ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO BASE AND PAVING OPERATIONS COMMENCING.
- ALL EXISTING UTILITY FRAME AND GRATES SHALL BE ADJUSTED TO PROPOSED GRADED.
- ALL BUILDINGS ARE TO BE CONNECTED TO THE PROPOSED DRAINAGE SYSTEM, CONTRACTOR TO VERIFY ROOF DRAINAGE LOCATIONS WITH ARCHITECTURAL/MEP PLANS.
- ALL PROPOSED CATCH BASINS SHALL BE INSTALLED WITH TWO-FOOT SUMPS.
- THIS PROJECT IS LOCATED WITHIN A SOURCE WATER PROTECTION AREA FOR THE STATE COLLEGE BOROUGH WATER AUTHORITY. BLASTING SHOULD BE USED AS A LAST RESORT METHOD OF ROCK EXCAVATION. IF BLASTING TECHNIQUES ARE TO BE EMPLOYED, THE CONTRACTOR SHALL PROVIDE THE TOWNSHIP AND THE WATER PROVIDER WITH INFORMATION SUPPORTING THE USE OF BLASTING TECHNIQUES ALONG WITH COPIES OF BLASTING PERMITS.
- A MINIMUM OF SIX INCHES OF TOPSOIL MATERIAL SHALL BE PLACED ON ALL AREAS AFFECTED BY THE BASIN CONSTRUCTION. THE MATERIALS MUST MEET THE REQUIREMENTS OF PADOT FORM 408 SPECIFICATIONS.
- TEMPORARY AND PERMANENT GRASSES OR STABILIZATION MEASURES SHALL BE ESTABLISHED ON THE SIDES AND BASE OF ALL EARTHEN BASINS WITHIN 15 DAYS OF CONSTRUCTION.
- WHEN ROCK IS ENCOUNTERED DURING THE EXCAVATION OF A POND, IT SHALL BE REMOVED TO AN ELEVATION OF AT LEAST 12 INCHES BELOW THE PROPOSED BASIN FLOOR OR 24 INCHES TO 30 INCHES FOR A MANUFACTURED LINER. ALL EXPOSED CRACKS AND FISSURES ARE TO BE STRUCTURALLY FILLED. A FENCE OR SUITABLE VEGETATIVE SCREENING MAY BE PROVIDED, AS REQUIRED BY THE TOWNSHIP. AROUND ALL DETENTION BASINS. ALL FENCING SHALL BE AT LEAST 42 INCHES IN HEIGHT AND THE MATERIAL TYPE IS SUBJECT TO APPROVAL BY THE TOWNSHIP.
- AS-BUILT DRAWINGS WILL BE PROVIDED BY THE DEVELOPER FOR ALL STORMWATER FACILITIES PRIOR TO OCCUPANCY, OR THE RELEASE OF THE SURETY BOND.



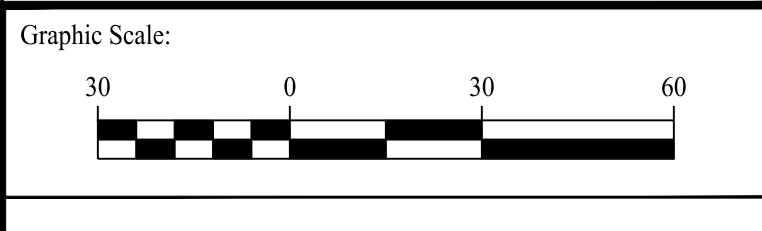
**STORMWATER BASIN #1**  
SCALE: NTS

**LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	MAJOR CONTOURS
	MINOR CONTOURS
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	CONTOUR LABEL
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	GRADE TO DRAIN
	SWALE
	STORM DRAIN PIPE
	PERFORATED UNDERDRAIN / TRENCH DRAIN
	TYPE "C" CATCH BASIN
	TYPE "M" CATCH BASIN
	STORM MANHOLE
	WATER QUALITY UNIT
	FLARED END SECTION
	RIP RAP
	TEST PIT
	INFILTRATION TEST PIT



Rev. #:	Date	Description



**SOLLI ENGINEERING**  
501 Main Street, Monroeville, PA 15146  
11 Vanderbilt Ave., Norwood, MA 02062

T: (203) 880-5455 F: (203) 880-9695  
T: (781) 352-8491 F: (203) 880-9695

Drawn By:	JMGM
Checked By:	RPP
Approved By:	KMS
Project #:	22108901
Plan Date:	08/21/23
Scale:	1" = 30'



**PROPOSED STACK-N-STOR**  
3610 WEST COLLEGE AVENUE  
FERGUSON TOWNSHIP,  
PENNSYLVANIA 16801

Sheet Title:	GRADING & DRAINAGE PLAN
Sheet #:	2.21



**NPDES PERMIT NOTICE OF TERMINATION NOTE:**

UPON CONTRACTOR BEING AWARDED THE SITE CONTRACT, THE CONTRACTOR IS RESPONSIBLE AND SHOULD PROCESS FORMS WITH THE CENTRE COUNTY CONSERVATION DISTRICT TO BECOME A CO-PERMITTEE ON THE NPDES PERMIT AND SHALL REMAIN AS A CO-PERMITTEE UNTIL THE CONTRACTOR FILES THE NOTICE OF TERMINATION. THE NOTICE OF TERMINATION REQUIRES CERTIFICATION OF THE STORMWATER FACILITIES MENTIONED ON THE POST CONSTRUCTION STORMWATER PLAN.

**CRITICAL STAGES OF CONSTRUCTION**

THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNER TO ENSURE THAT A REGISTERED PROFESSIONAL SHALL BE ONSITE FOR THE CONSTRUCTION OF THE FOLLOWING FACILITIES:

- EXISTING PERMANENT SINKHOLE SHALL BE FURTHER INVESTIGATED BY A QUALIFIED GEOTECHNICAL ENGINEER. IF A REPAIR IS NECESSARY, THE DESIGN OF PERMANENT SINKHOLE SHALL BE OVERSEEN BY QUALIFIED GEOTECHNICAL ENGINEER OR THEIR DESIGNEE.
- EXCAVATION AND INSTALLATION OF STORMWATER BASIN #1.

**CONSTRUCTION GRADING NOTES**

DURING ALL PHASES OF CONSTRUCTION, SITE RUNOFF SHALL BE KEPT IN A SHEET FLOW CONDITION TO BE TREATED BY THE EROSION CONTROL SILT SOCK. IF AT ANY MOMENT THE SILT SOCK IS BEING BYPASSED OR IT ACTS AS A DIVERSION WITHOUT BEING TREATED, STEPS SHALL BE TAKEN TO HAVE RUNOFF TREATED BY EACH INDIVIDUAL SILT SOCK SECTION.

**SEDIMENT TRAP CALCULATIONS**

NOTE:  
TEMPORARY SEDIMENT TRAPS HAVE BEEN SIZED TO PROVIDE A MINIMUM STORAGE VOLUME OF 2,000 CUBIC FEET PER CONTRIBUTING ACRE OF DRAINAGE AREA PER THE 2012 PA DEP FOR SOIL EROSION AND SEDIMENT CONTROL.

SEDIMENT TRAP #1:  
CONTRIBUTING DRAINAGE AREA = 2.05± ACRES  
REQUIRED STORAGE CAPACITY = 2.05 AC x 2,000 CF/AC = 4,100 CF  
SEDIMENT STORAGE CAPACITY = 700 CF/AC \* 4,100/2,000 = 1,435 CF  
WET STORAGE CAPACITY = 1,300 CF/AC \* 4,100/2,000 = 2,665 CF  
SEDIMENT TRAP #1 STORAGE CAPACITY = 5,109± CF

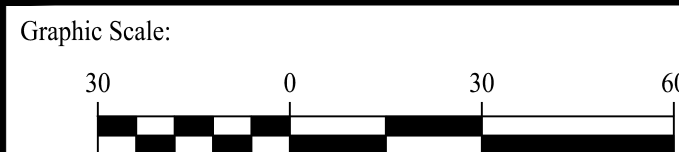
**GENERAL NOTES**

- EXISTING SITE CONDITIONS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS PLAN", DATED DECEMBER 7, 2022, SCALE: 1"=30', PREPARED BY PENNTERRA ENGINEERING, INC.
- THIS PLAN WAS DESIGNED IN ACCORDANCE WITH THE TOWNSHIP OF FERGUSON ZONING REGULATIONS.
- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES AND ISSUANCE OF A DULY AUTHORIZED CERTIFIED OF ZONING COMPLIANCE AND BUILDING PERMIT FROM THE TOWNSHIP OF FERGUSON AND CENTRE COUNTY.
- PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT 8-1-1 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY AND SECURITY OF THE SITE DURING ALL PHASES OF CONSTRUCTION. THE ARCHITECT AND ENGINEER ARE NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFETY METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER. DURING CONSTRUCTION CONTRACTOR IS TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS AND OVERGROWN VEGETATION.
- THE OWNER SHALL BE RESPONSIBLE TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS AND OVERGROWN VEGETATION.
- REFER TO SHEET 241 FOR SOIL EROSION & SEDIMENT CONTROL NOTES, SCHEDULES, INSTALLATION & MAINTENANCE GUIDES, AND DETAILS.

**LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	SILT FENCE PROTECTION
	HAYBALE PROTECTION
	CONSTRUCTION FENCE
	LIMIT OF DISTURBANCE
	TEMPORARY SEDIMENT TRAP
	SILT SACK INLET PROTECTION
	SOIL TYPE BOUNDARY
	SOIL TYPE
	MATERIAL STOCKPILE AREA
	CONSTRUCTION ENTRANCE

Rev. #:	Date	Description



501 Main Street, Monroe, CT 06468 T: (203) 880-5455 F: (203) 880-9695  
11 Vanderbilt Ave, Norwood, MA 02062 T: (781) 352-8491 F: (203) 880-9695

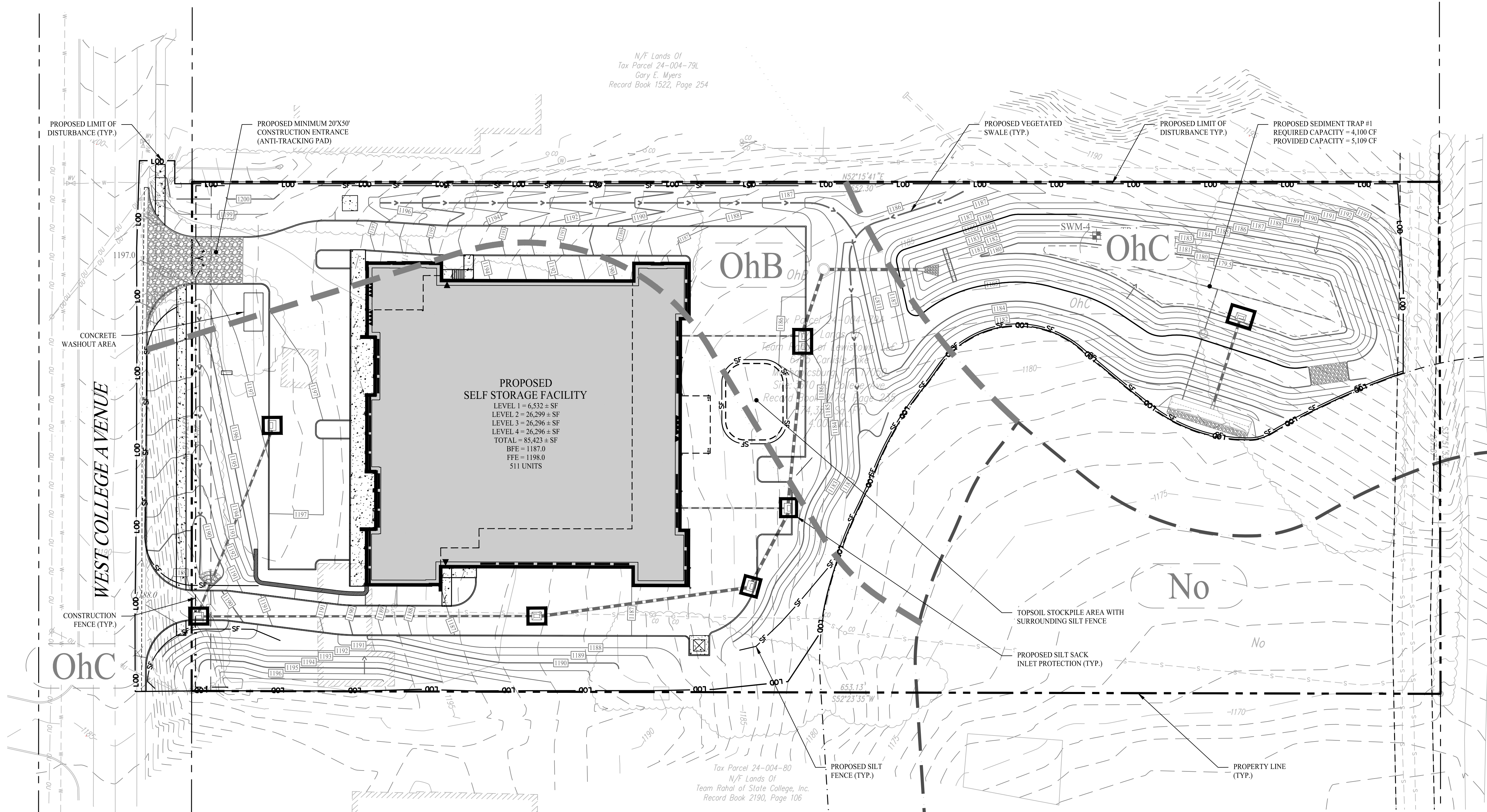
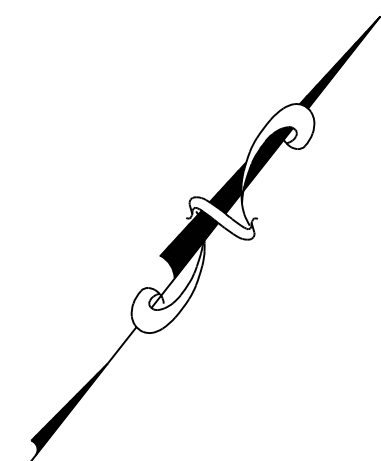
Drawn By:	JMGM
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Approved By:	KMS
Project #:	22108901
Plan Date:	08/21/23
Scale:	1" = 30'



Kevin Solli, P.E.  
PA 083293

**PROPOSED  
STACK-N-STOR**  
3610 WEST COLLEGE AVENUE  
FERGUSON TOWNSHIP,  
PENNSYLVANIA 16801

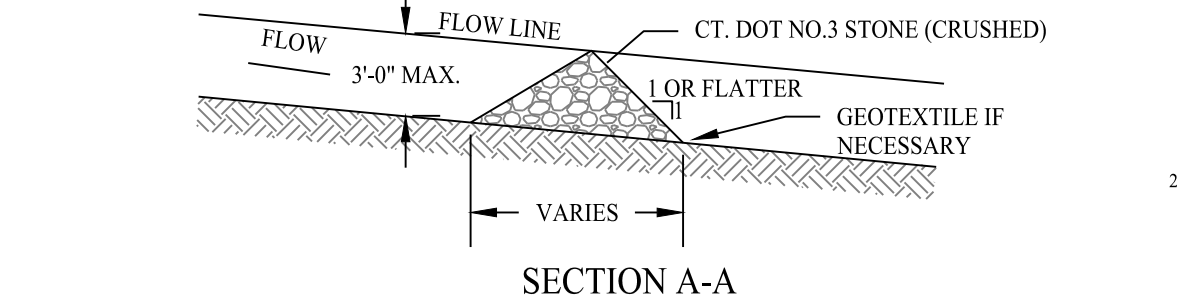
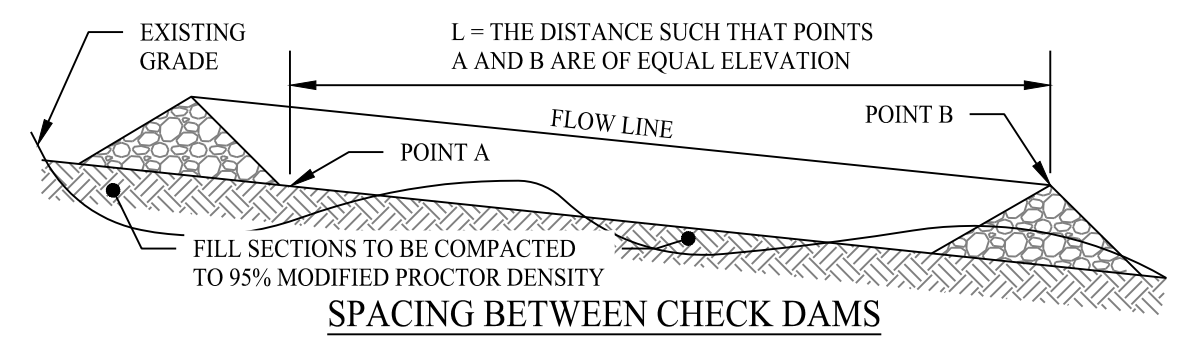
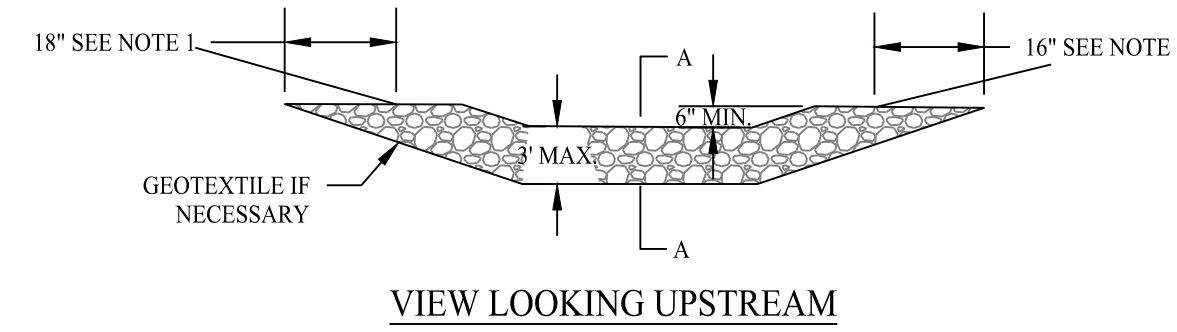
Sheet Title:	Sheet #:
SOIL EROSION & SEDIMENT CONTROL PLAN	2.31





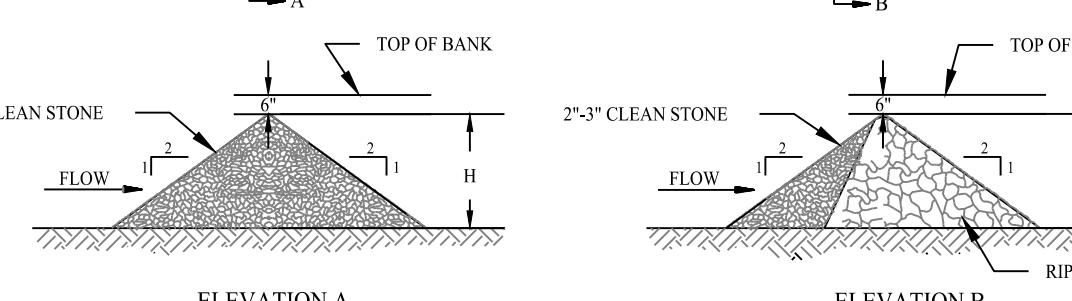
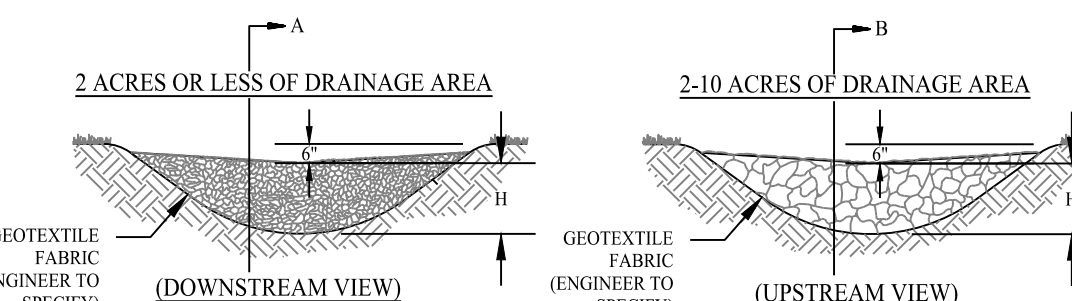
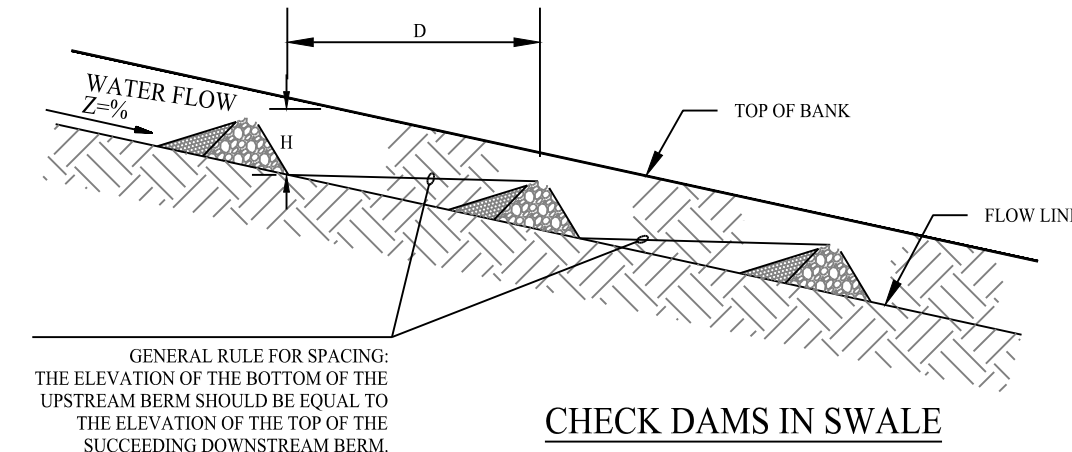
**SOIL EROSION AND SEDIMENT CONTROL GENERAL NOTES**

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOTS 079L, 080 & 090 ONTO WEST COLLEGE AVENUE.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRAVING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELLED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONTENTS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SLEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATERS.
- ANY DAMAGE THAT OCCURS IN WHOLE OR IN PART AS A RESULT OF BASIN OR TRAP DISCHARGE SHALL BE IMMEDIATELY REPAIRED BY THE PERMITTEE IN A PERMANENT MANNER SATISFACTORY TO THE MUNICIPALITY, LOCAL CONSERVATION DISTRICT, AND THE OWNER OF THE DAMAGED PROPERTY.
- EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.



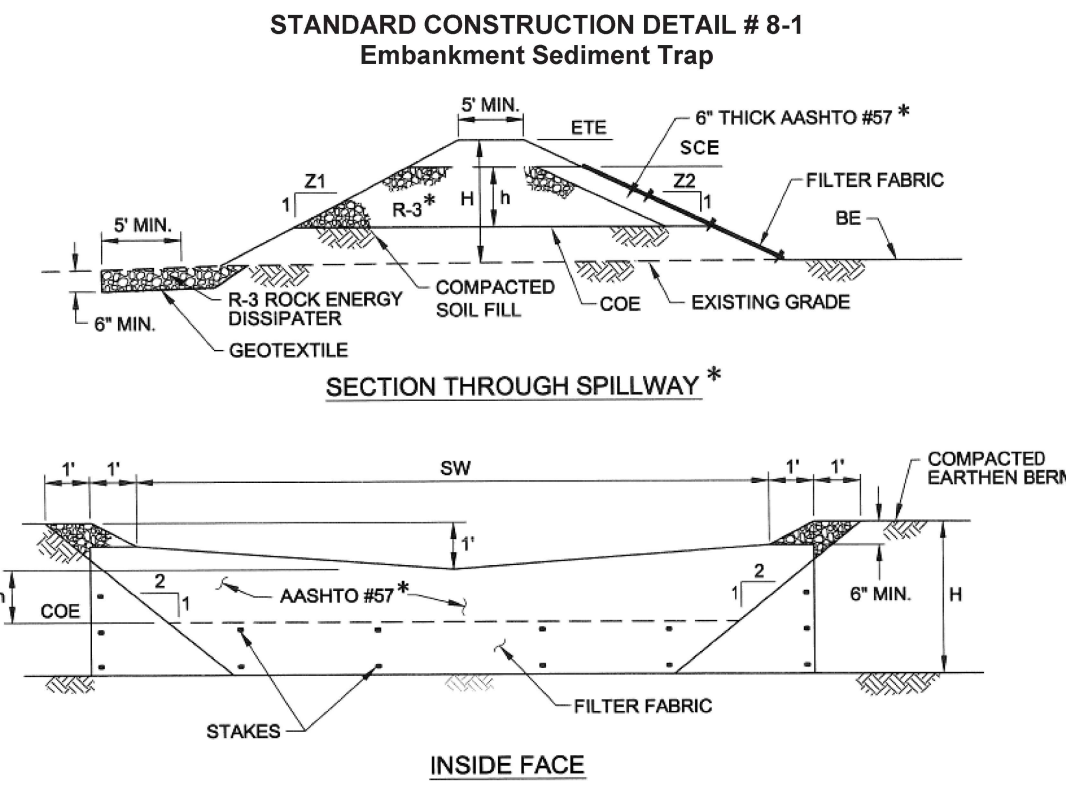
- NOTES**
- KEY STONE INTO THE DITCH BANKS AND EXTEND INTO THE ABUTMENTS A MINIMUM OF 18" TO PREVENT FLOW FROM FLANKING THE DAM.
  - THE MINIMUM DESIGN CAPACITY SHALL CONVEY A 2 YEAR-24 HOUR PEAK FLOW.

SCALE: N.T.S.

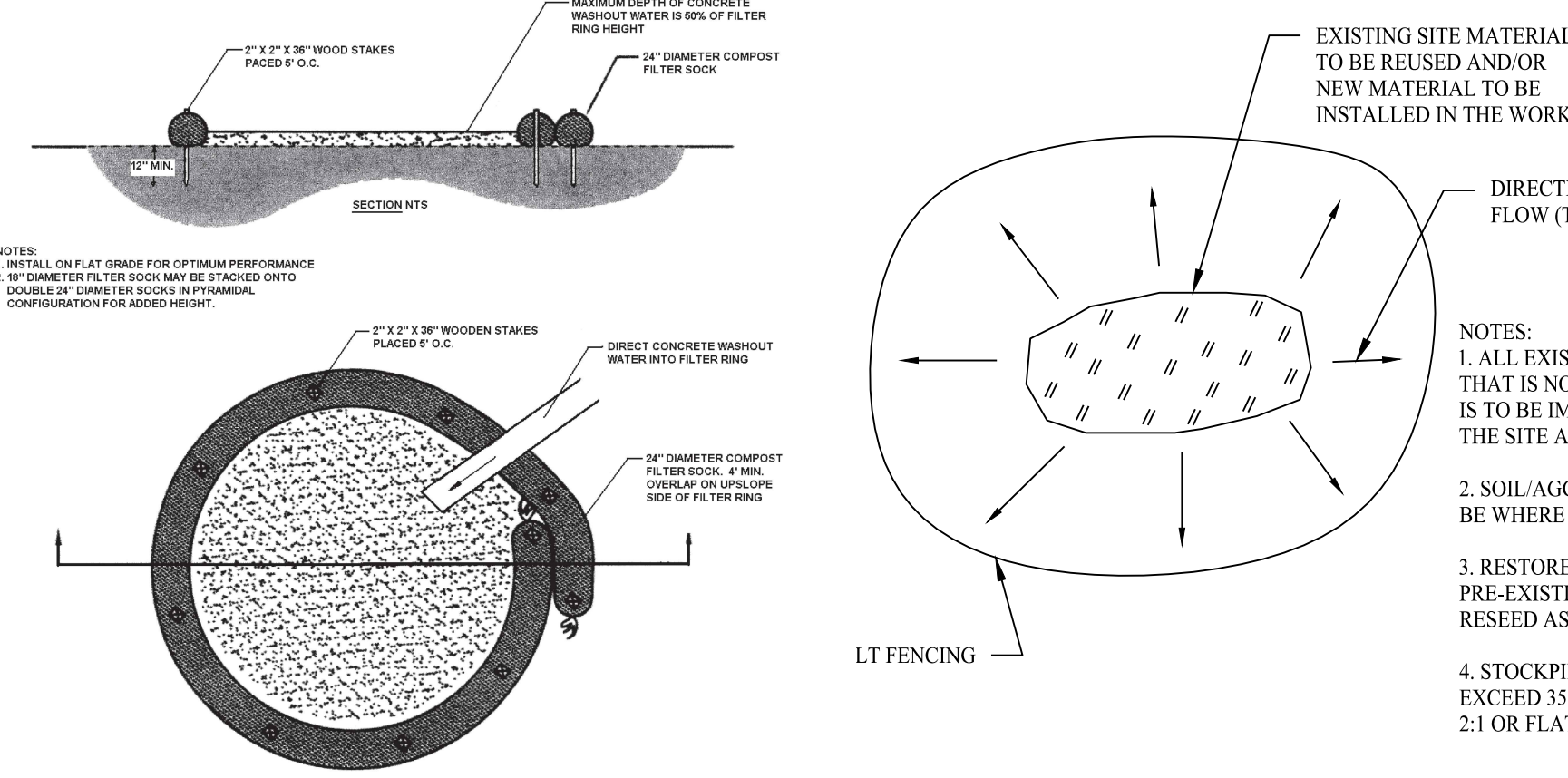


**STONE CHECK DAM DETAIL**

NOTE: SEE SITE MAP FOR LOCATION OF CHECK DAMS.



SCALE: N.T.S.

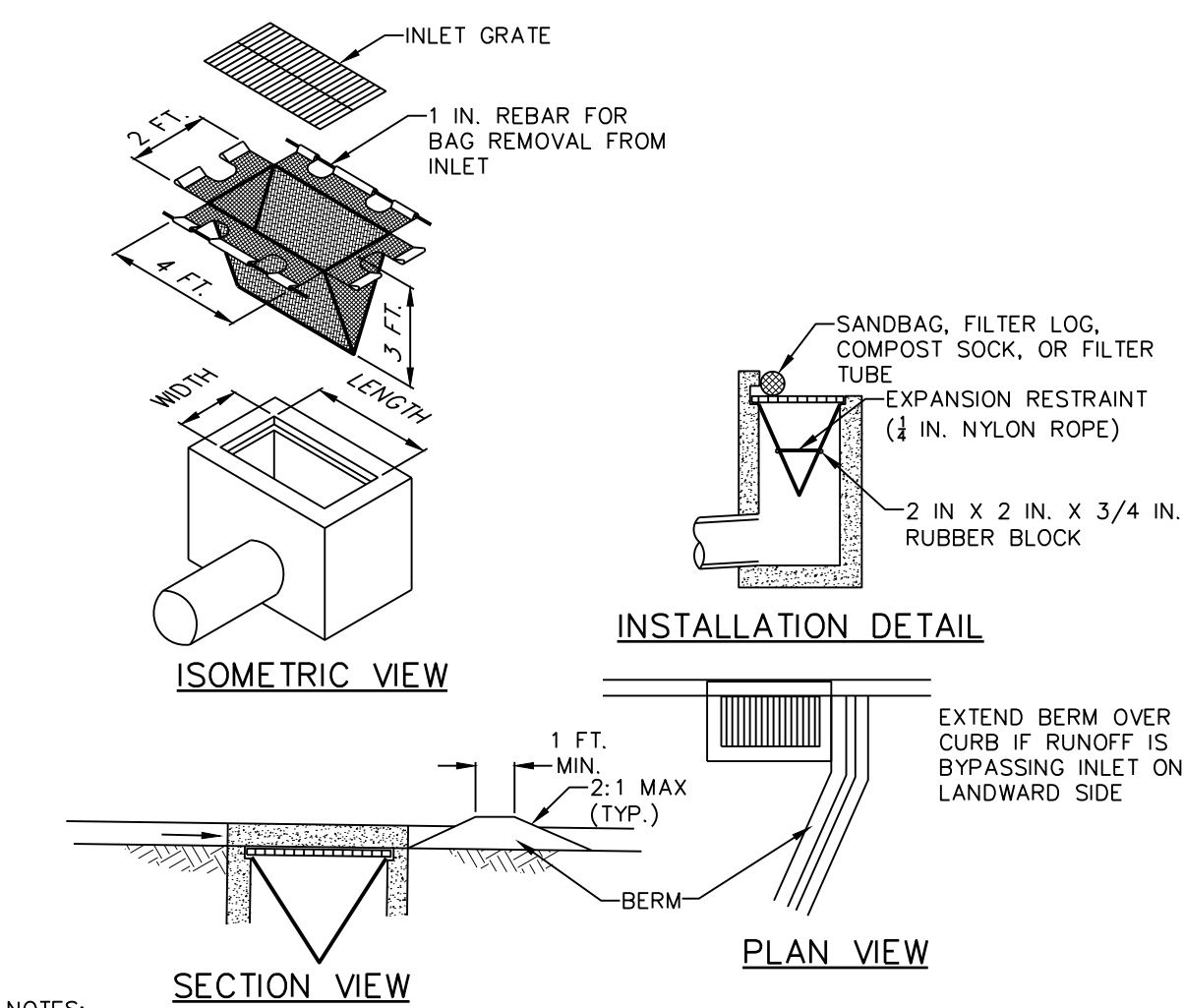


**CONCRETE WASHOUT AREA DETAIL**

SCALE: N.T.S.

**STOCKPILE AREA DETAIL**

SCALE: N.T.S.

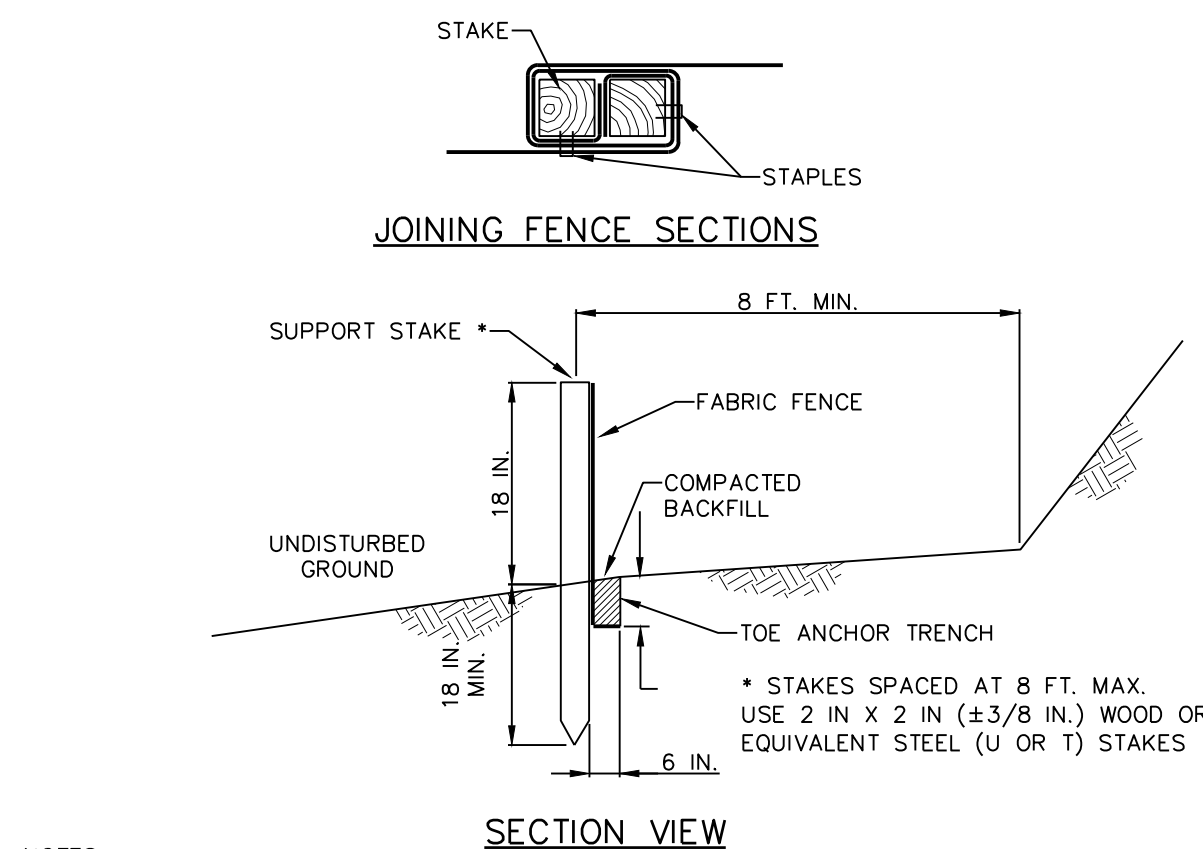


- NOTES**
- MAXIMUM DRAINAGE AREA = 1/2 ACRE. INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS. ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES. DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STANDARD CONSTRUCTION DETAIL #4-15 FILTER BAG INLET PROTECTION - TYPE C INLET**

SCALE: N.T.S.

DETAIL PROVIDED BY: PA EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL

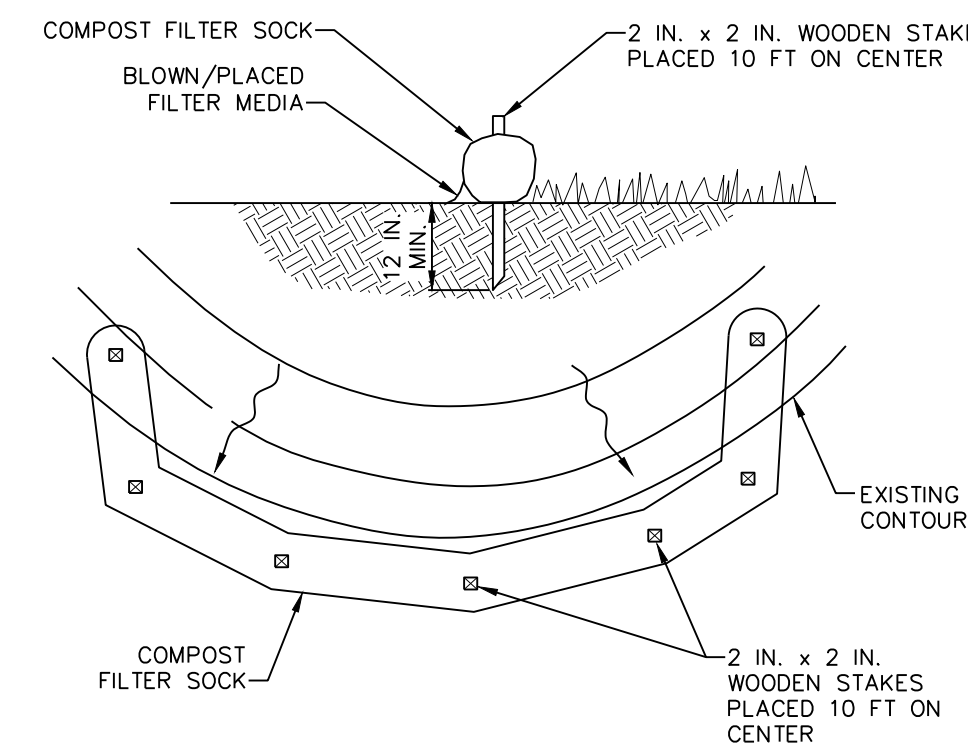


- NOTES**
- FABRIC SHALL HAVE THE MINIMUM PROPERTIES AS SHOWN IN TABLE 4.3 OF THE PA DEP EROSION CONTROL MANUAL. FABRIC WIDTH SHALL BE 30 IN. MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL (U OR T) STAKES. SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE. ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET (STANDARD CONSTRUCTION DETAIL # 4-6). FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

**STANDARD CONSTRUCTION DETAIL #4-7 STANDARD SILT FENCE (18\"/>**

SCALE: N.T.S.

DETAIL PROVIDED BY: PA EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL

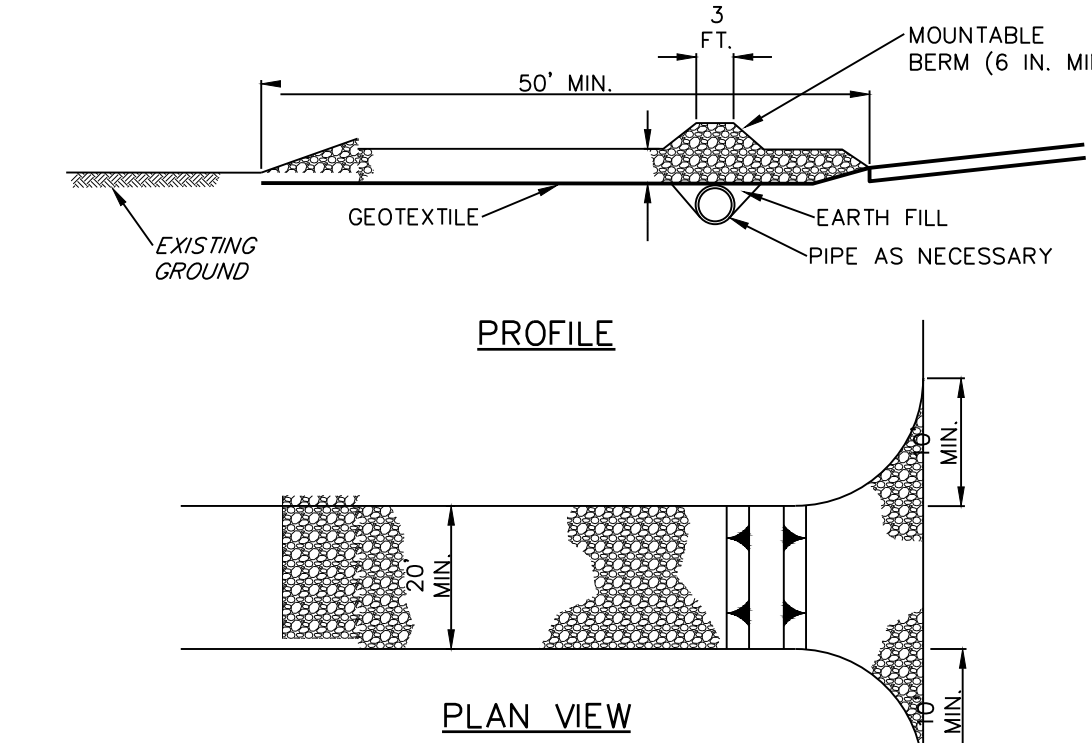


- NOTES**
- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK. THE SLOPE OF ITS TRIBUTARY AREA. TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN. COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION. BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

**STANDARD CONSTRUCTION DETAIL #4-1 COMPOSITE FILTER SOCK**

SCALE: N.T.S.

DETAIL PROVIDED BY: PA EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL



- NOTES**
- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING ROUGH. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH TRUCK WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**STANDARD CONSTRUCTION DETAIL #3-1 ROCK CONSTRUCTION ENTRANCE**

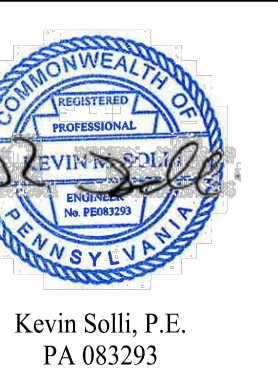
SCALE: N.T.S.

DETAIL PROVIDED BY: PA EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL

Rev. #:      Date      Description



Drawn By: JGMG  
 Checked By: RPP  
 Approved By: KMS  
 Project #: 22108901  
 Plan Date: 08/21/23  
 Scale: NTS



**PROPOSED STACK-N-STOR**  
 3610 WEST COLLEGE AVENUE  
 FERGUSON TOWNSHIP,  
 PENNSYLVANIA 16801

Sheet Title:  
**SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS**

Sheet #:

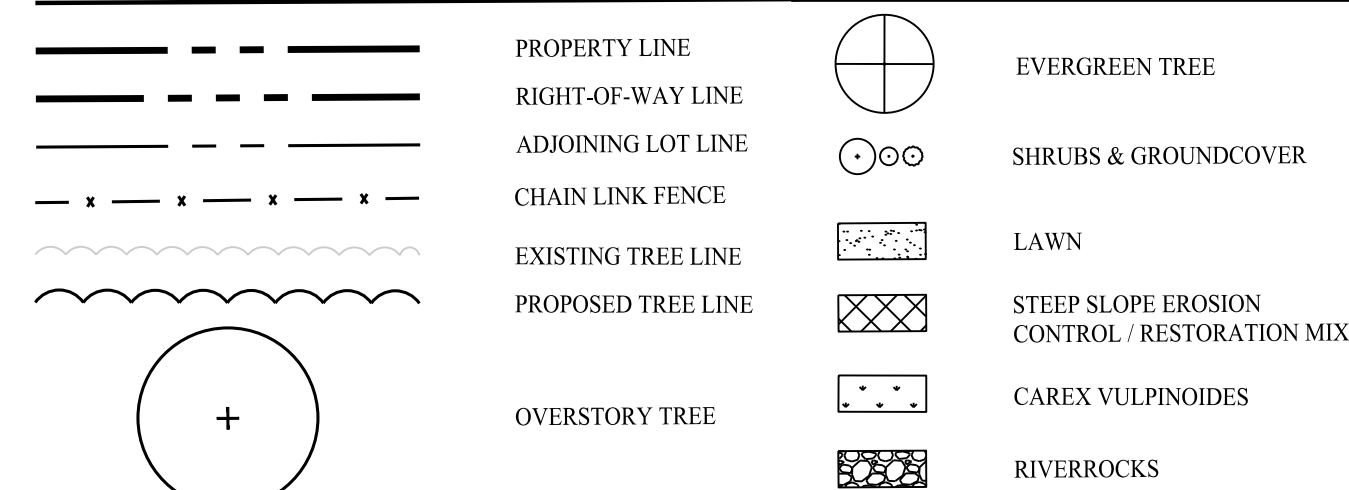
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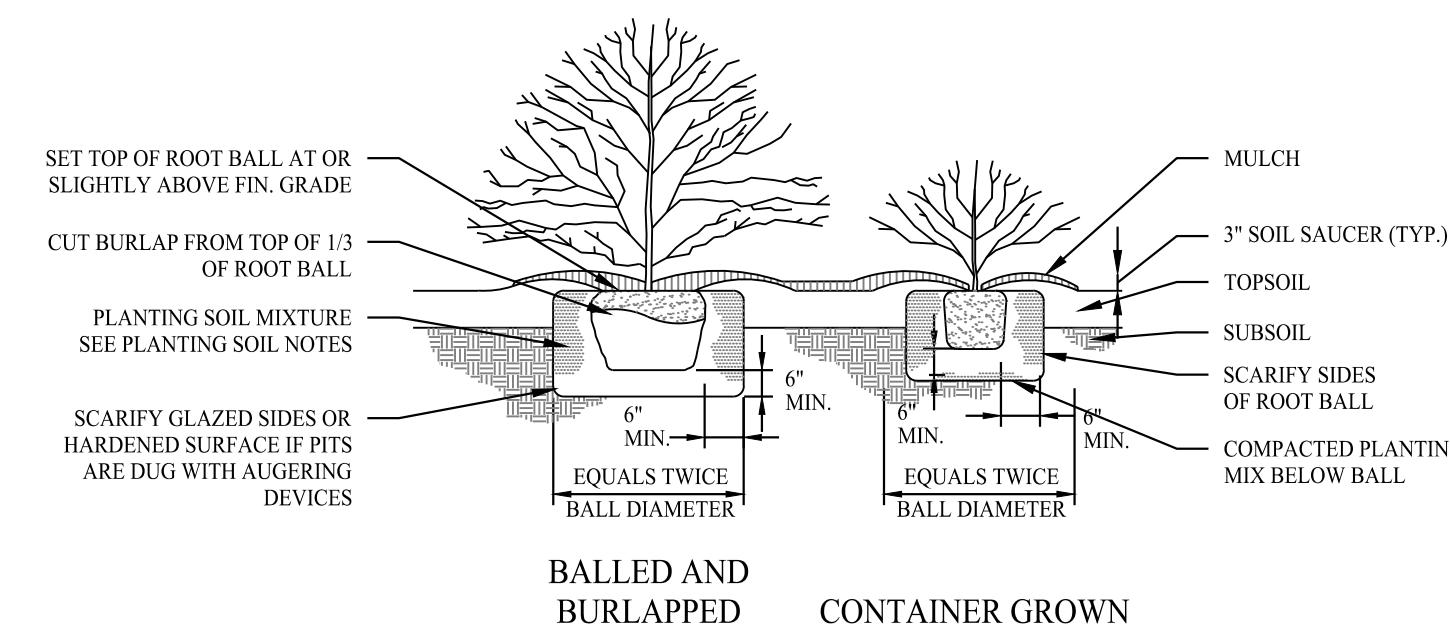


**LEGEND**

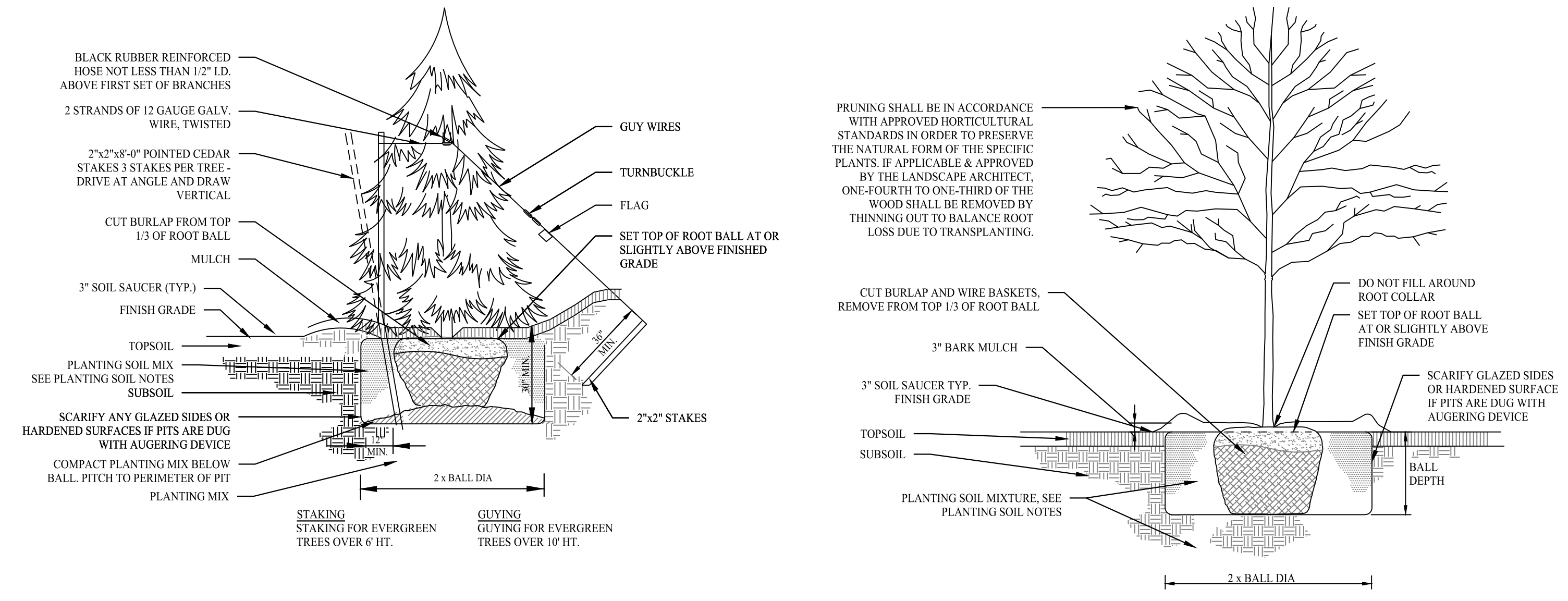


**PLANTING SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE	MATURE SIZE	COMMENTS
<b>TREES</b>						
AC	10	ABIES CONCOLOR	CONCOLOR FIR	B&B 6-8 HT	30-50' HT & 15-25'W	FULL, EXTRA HEAVY
AR	2	ACER RUBRUM	RED MAPLE	B&B 2"-2 1/2" CAL	40-70' HT & 40'W	FULL, EXTRA HEAVY
BN	3	BETULA NIGRA	RIVER BIRCH	B&B 2"-2 1/2" CAL	40-70' HT & 40-60'W	FULL, EXTRA HEAVY, MULTI-STEM
GB	6	GINKGO BILOBA	MAIDENHAIR TREE	B&B 2"-2 1/2" CAL	50-80' HT & 40'W	FULL, EXTRA HEAVY
PA	13	PICEA ABIES	NORWAY SPRUCE	B&B 6-8 HT	40-60' HT & 25-30' W	FULL, EXTRA HEAVY
<b>UPLAND SHRUBS</b>						
AA	5	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	CONT 2 GAL	6-12' HT & 3-6'W	FULL, EXTRA HEAVY
AP	5	AESCULUS PARVIFLORA	BOTTLEBRUSH BUCKEYE	CONT 2 GAL	8-12' HT & 8-15'W	FULL, EXTRA HEAVY
CO	14	CEPHALANTHUS OCCIDENTALIS	BUTTONBUSH	CONT 2 GAL	6-10' H&W	FULL, EXTRA HEAVY
CL	15	CLETHRA ALNIFOLIA	SUMMERSWEET	CONT 2 GAL	3-8' HT & 4-6'W	FULL, EXTRA HEAVY
CS	2	CORNUS SERICA 'BAILEY'	RED TWIG DOGWOOD	CONT 2 GAL	6-9' H&W	FULL, EXTRA HEAVY, MULTI-STEM
HQ	16	HYDRANGEA QUERIFOLIA	OAKLEAF HYDRANGEA 'ALICE'	CONT 2 GAL	5-12' H&W	FULL, EXTRA HEAVY
IG	21	ILEX GLABRA	INKBERRY	CONT 2 GAL	6-12' H&W	FULL, EXTRA HEAVY
IT	15	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPICE	CONT 2 GAL	4-6' H	FULL, EXTRA HEAVY
LB	15	LINDERA BENZOIN	SPICE BUSH	CONT 2 GAL	6-12' H&W	FULL, EXTRA HEAVY
TM	8	TAXUS X MEDIA	HICKS YEW	CONT 2 GAL	10-12' HT & 3-4' W	FULL, EXTRA HEAVY
VB	12	VIBURNUM ACERIFOLIUM	MAPLE-LEAF VIBURNUM	CONT 2 GAL	4-5' H&W	FULL, EXTRA HEAVY
<b>GRASSES/GROUNDCOVER / PERENNIALS</b>						
AU	16	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	CONT 2 GAL	6-12' H & 3-6' W	FULL, EXTRA HEAVY
CA	1800	CAREX VULPINOIDEA	FOX SEDGE	CONT PLUG	3" H & 2" W	FULL, EXTRA HEAVY
CH	4	CONTONEASTER HORIZONTALIS	ROCKSPRAY COTONEASTER	CONT 2 GAL	2-3' HT & 6-8'W	FULL, EXTRA HEAVY
JH	10	JUNPERUS HORIZONTALIS	WILTON JUNIPER	CONT 2 GAL	6-18" HT & 4-10" W	FULL, EXTRA HEAVY
PS	14	PHLOX STOLONIFERA	CREeping PHLOX	CONT 2 GAL	6-12" H	FULL, EXTRA HEAVY
<b>SEED MIXES</b>						
<b>LAWN: COMMERCIAL CONSERVATION MIX (ERNST SEEDS)</b>						
APPLICATION RATE: 3-5 LB/1,000 S.F.						
<b>EASTERN WEST VIRGINIA STEEP SLOPE MIX (ERNST SEEDS)</b>						
APPLICATION RATE: 45 LB/1 ACRE.						



**SHRUB / GROUNDCOVER PLANTING**



**PLANTING NOTES**

- BE AWARE OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING OPERATIONS. USE CARE TO PROTECT EXISTING UTILITIES FROM DAMAGE, CONTACT "CALL BEFORE YOU DIG" PRIOR TO EXCAVATION.
- ALL PLANTINGS ARE TO BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR.
- THE CONTRACTOR SHALL BE REQUIRED TO CARRY WORKMENS COMPENSATION, INSURANCE AND COMPREHENSIVE GENERAL LIABILITY INSURANCE CERTIFICATES WILL BE REQUIRED PRIOR TO SIGNING CONTRACTS.
- CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY. CONTRACTOR SHALL MAINTAIN A SAFE JOBSITE AT ALL TIMES.
- CONTRACTOR SHALL BE FAMILIAR WITH THE SITE TO VERIFY ALL DIMENSIONS, GRADES AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES REQUIRED FOR COMPLETING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL EXCAVATED SOIL, BRUSH AND DEBRIS OFF-SITE IN A SAFE AND LEGAL MANNER.
- NOTIFY OWNER OR LANDSCAPE DESIGNER 72 HOURS MINIMUM IN ADVANCE OF STARTING PLANTING OPERATIONS. RECEIVE APPROVAL FOR LAYOUT OF ALL BED LINES AND MATERIAL LOCATIONS PRIOR TO INSTALLATION.
- PROTECT EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION. IT IS THE INTENT OF THIS CONTRACT TO AVOID ANY DISTURBANCE TO EXISTING VEGETATION ON THE SITE OTHER THAN THOSE SPECIFICALLY DESIGNATED FOR REMOVAL. ADJUSTMENTS SHALL BE MADE IN THE FIELD AT THE DIRECTION OF THE LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL PLANTING, SEEDING AND TREE WORK WITH OTHER TRADES. RESPECT OTHER TRADES WORK AT ALL TIMES.
- CONTRACTOR IS TO EXERCISE EXTREME CARE DURING THE COURSE OF DEMOLITION AND REMOVALS ANY DAMAGE TO EXISTING FACILITIES, UTILITIES OR TREES TO REMAIN SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE TO KIND.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL AREAS DAMAGED TO PRE-EXISTING CONDITIONS AS A RESULT OF PLANTING OPERATIONS TO OWNERS AND/OR LANDSCAPE DESIGNERS APPROVAL.
- VEGETATION TO BE REMOVED, NOT INDICATED ON PLAN, SHALL BE TAGGED IN FIELD BY LANDSCAPE DESIGNER.
- THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RECTIFY INTERIOR PLANT MATERIALS AND SUBSTITUTIONS. THE LANDSCAPE DESIGNER IS WILLING TO MAKE TWO TRIPS TO SUPPLIERS TO TAG, REVIEW AND APPROVE MATERIALS. PREVIOUSLY UNAPPROVED MATERIALS MAY BE REJECTED AT THE SITE. MINIMALLY, ALL MATERIALS WILL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1 - 2004) OF THE AMERICAN ASSOCIATION OF NURSEYMEN.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. THE CONTRACTOR SHALL REPLACE AS SOON AS WEATHER AND SEASONAL CONDITIONS PERMIT. ALL DEAD PLANTS AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE DESIGNER DURING, AND AT THE END OF THE GUARANTEE PERIOD, WARRANTY REPLACEMENT WILL BE PROVIDED AT NO COST TO THE OWNER AND INCLUDE MATERIALS AND LABOR. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE INCURRED DURING REPLACEMENT OF WARRANTY MATERIALS.
- WHEN THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES SHOWN ON THE PLANT LIST & THE PLAN, USE THE QUANTITIES FROM THE PLAN.
- PERENNIALS, GROUNDCOVERS & GRASSES TO BE FIELD LOCATED BY LANDSCAPE DESIGNER. COORDINATE TO NOTIFY LANDSCAPE DESIGNER AT LEAST 72 HOURS IN ADVANCE OF EXPECTED INSTALLATION DATE. ON THAT DATE ALL BEDS SHALL BE PREPARED & ALL PLANT MATERIAL SHALL BE ON SITE.
- PROVIDE A MINIMUM 6" TOPSOIL FOR ALL DISTURBED AREAS. SUBMIT SAMPLE OF TOPSOIL AND SOIL TEST RESULTS FOR LANDSCAPE DESIGNER APPROVAL PRIOR TO DELIVERING TO SITE.
- ALL BEDS SHOWN AS CONTINUOUS WITH A 2" MINIMUM OF BROWNSTONE. SAMPLE TO BE SUBMITTED TO LANDSCAPE DESIGNER FOR APPROVAL.
- ALL PLANT MATERIALS TO BE SOURCED FROM LOCALLY GROWN GROWERS.
- TRANSPLANTED MATERIALS TO BE WATERED, HEELED IN AND TENDED BY CONTRACTOR UNTIL FINAL PLACEMENT.

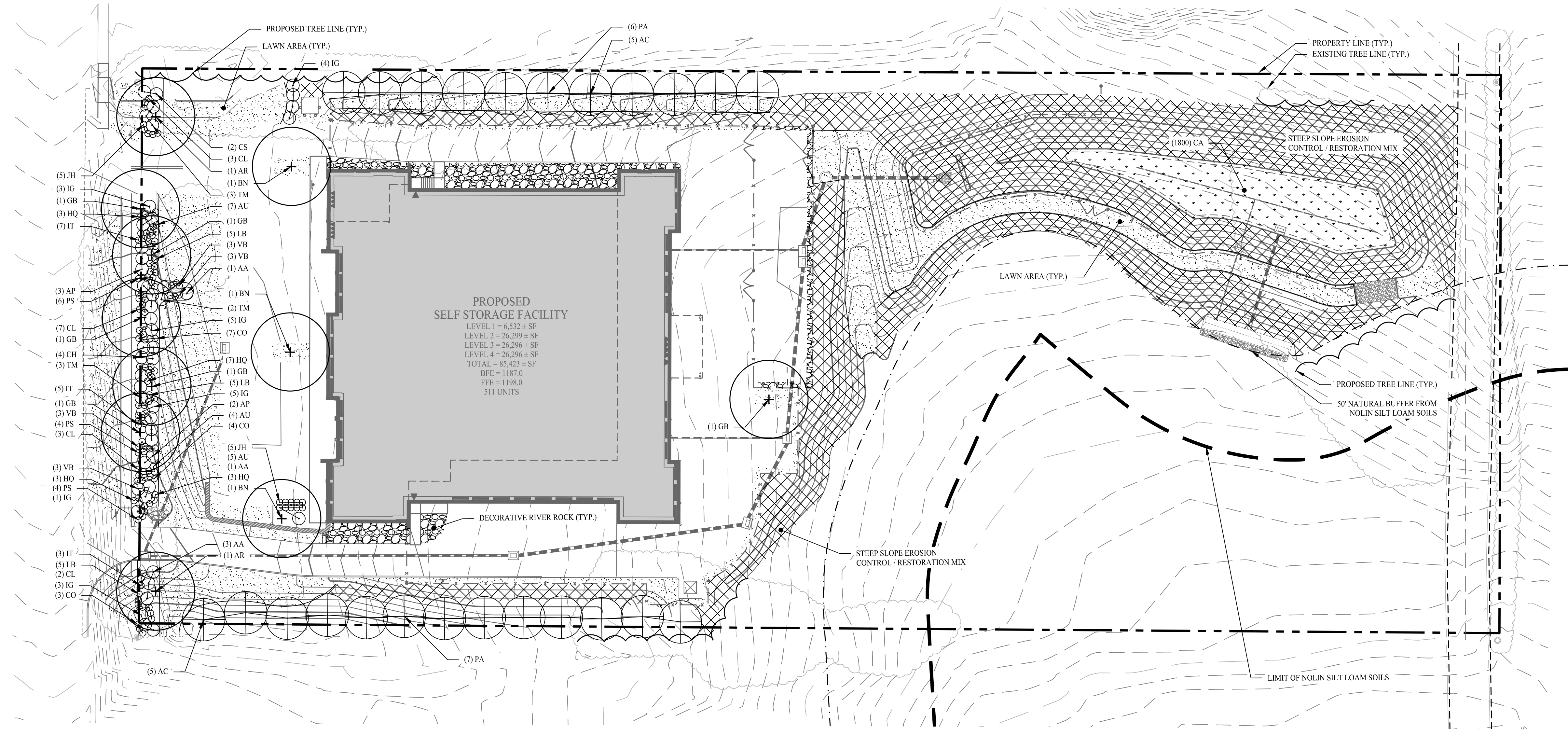
**GENERAL NOTES**

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY FERGUSON TOWNSHIP, PENNSYLVANIA AND THE STATE OF PENNSYLVANIA FOR THIS PROJECT.
- EXISTING SITE CONDITIONS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS PLAN", TAX PARCEL 24-4-9A, DATED DECEMBER 7, 2022, SCALE: 1"=30', BY PENNERRA ENGINEERING, INC.
- THE SUBJECT PARCEL CONSISTS OF A TOTAL AREA OF APPROXIMATELY 4.003 ACRES, LOCATED WITHIN THE GENERAL COMMERCIAL DISTRICT, WITHIN THE CORRIDOR DISTRICT OVERLAY OF FERGUSON TOWNSHIP, PENNSYLVANIA AND SELF-STORAGE FACILITIES ARE PERMITTED PER ZONING RIGHTS.

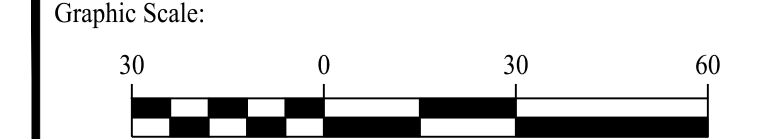
**PLANTING SOIL NOTES**

- ALL PLANTING MIXES SHALL BE PREPARED PRIOR TO DELIVERY TO SITE.
- PLANTING MIX FOR TREES AND SHRUBS SHALL BE AS FOLLOWS:  
3 PARTS SCREED TOPSOIL  
1 PART CLEAN WASHED COARSE SAND  
1 PART PEAT HUMUS  
5 LBS. SUPER PHOSPHATE PER CUBIC YARD OF MIX
- MYCORRHIZAL INOCULANT TO BE MYCOR TREE SAVER TRANSPARENT BY PLANT HEALTH CARE, INC. (1-800-421-9051) OR APPROVED EQUAL.
- TERRASORB AVAILABLE FROM PLANT HEALTH CARE, INC. OR APPROVED EQUAL.
- SUBMIT CERTIFICATION OF PLANTING MIX FOR TREES AND SHRUBS FROM SOIL DISTRIBUTOR.
- TOPSOIL MIX SHALL INCLUDE:  
3 PARTS SCREENED TOPSOIL  
1 PART SAND  
1 PART HUMUS  
5 LBS. SUPER PHOSPHATE PER CU. YD. OF MIX
- TOPSOIL:  
A. PROVIDE A NATURAL, FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, OF UNIFORM COMPOSITION THROUGHOUT AND WITHOUT ADMIXTURES OF SUBSOIL, AND FREE OF STONES, LUMPS, PLANTS, ROOTS, STICKS OR OTHER EXTRANEOUS MATTER.  
B. TOPSOIL SHALL CONTAIN NOT LESS THAN 4% NOR MORE THAN 20% ORGANIC MATTER AS DETERMINED BY THE WET COMBUSTION METHOD.  
C. MECHANICAL ANALYSIS  

SCREEN SIZE	% BY WEIGHT PASSING
1"	100
1/4"	97-100
NO. 200	20-65
- CONTRACTORS SHALL BE RESPONSIBLE FOR ALL TESTING AND ANALYSIS OF EXISTING AND IMPORTED SOILS. FURNISH A SOIL ANALYSIS MADE BY A QUALIFIED INDEPENDENT SOIL TESTING AGENCY STATING PERCENTAGES OF ORGANIC MATTER, INORGANIC MATTER (SILT, CLAY, AND SAND), DELETERIOUS MATERIAL, PH, AND MINERAL AND PLANT-NUTRIENT CONTENT OF TOPSOIL.
- REPORT SUITABILITY OF TOPSOIL FOR LAWN AND SHRUB PLANTING GROWTH. RECOMMEND QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENT AND ANY LIMESTONE, ALUMINUM SULFATE, OR OTHER SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL.



Rev. #	Date	Description

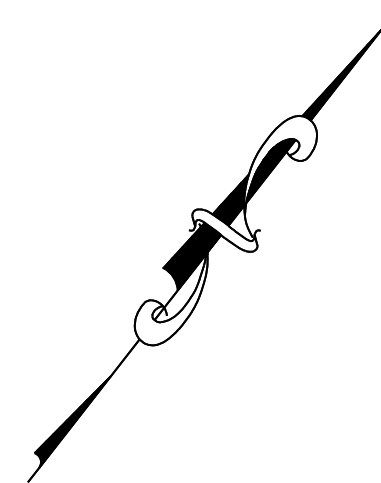


Drawn By:	MMH
Checked By:	MFB
Approved By:	KMS
Project #:	22108901
Plan Date:	08/21/23
Scale:	1" = 30'

**PROPOSED STACK-N-STOR**  
3610 WEST COLLEGE AVENUE  
FERGUSON TOWNSHIP,  
PENNSYLVANIA 16801

Sheet Title: **LANDSCAPE PLAN**  
Sheet #: **2.61**



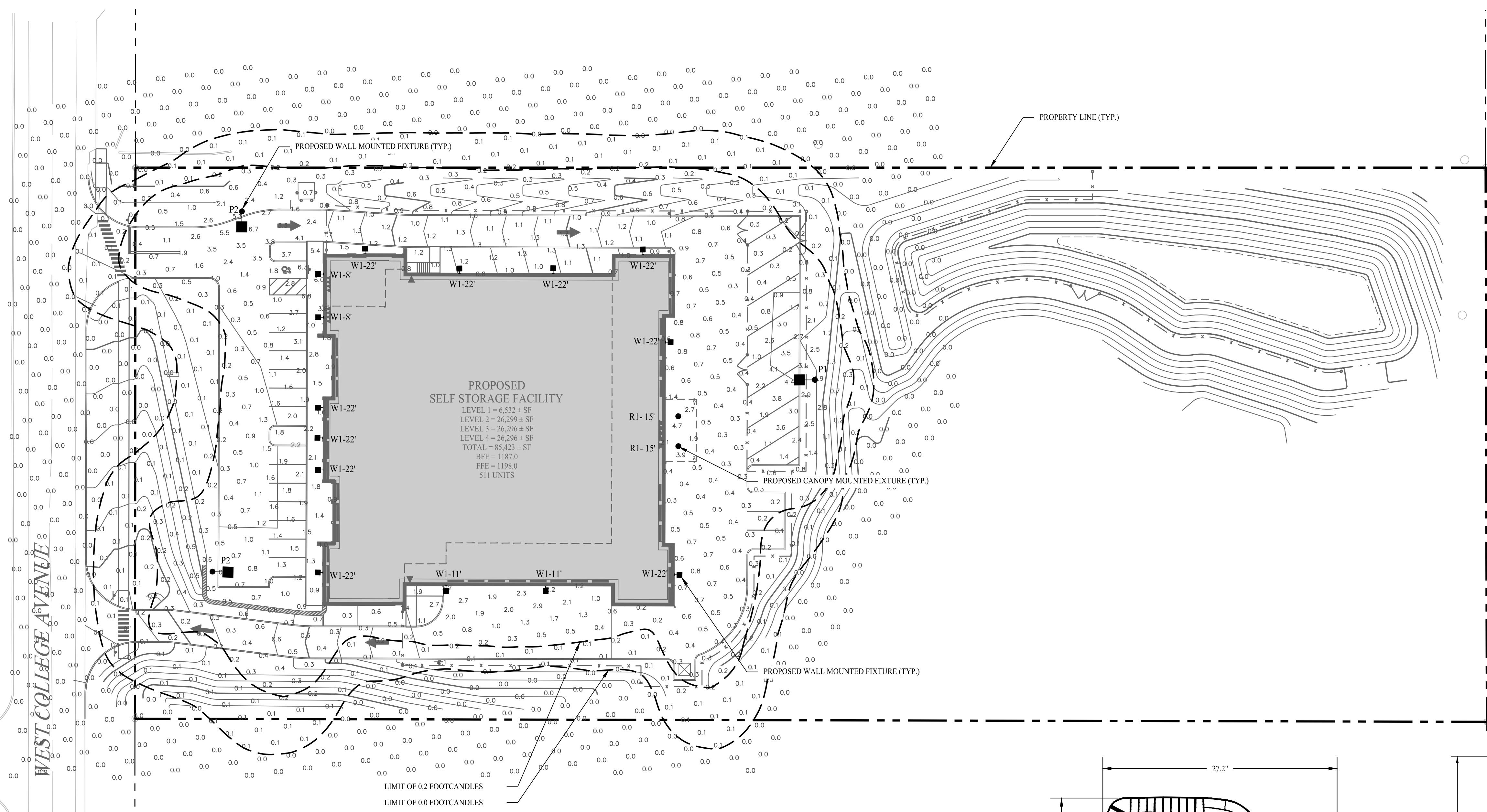


FIXTURE SCHEDULE						
QTY	CALLOUT	SYMBOL	FIXTURE DESCRIPTION	MODEL	NOTES	LUMENS
14	W1		WALL MOUNTED FIXTURE	LITHONIA LIGHTING, DSXW2 LED 20C 350 30K T3M MVOLT	25W 3K LED, MOUNTING HEIGHT AS SHOWN ON PLAN	2,793
2	R1		RECESSED FIXTURE	ALPHABET LEDRA BRANDS, SERIES NU1 TYPE RAPH, WD	27W 3K LED, 10" MOUNTING HEIGHT	1,110
1	P1		POLE MOUNTED FIXTURE	CREE LIGHTING OSQ LED SERIES, MODEL OSQ-BLMSF-A-NM-2ME-B-30K, POWDER COATED ALUMINUM, BRONZE	86W 30K LED, TYPE II DISTRIBUTION 18" MOUNTING HEIGHT	8,251
2	P2		POLE MOUNTED FIXTURE	CREE LIGHTING OSQ LED SERIES, MODEL OSQ-A-NM-5ME-UL-40K, POWDER COATED ALUMINUM, BRONZE	86W 30K LED, TYPE V DISTRIBUTION 18" MOUNTING HEIGHT	10,232

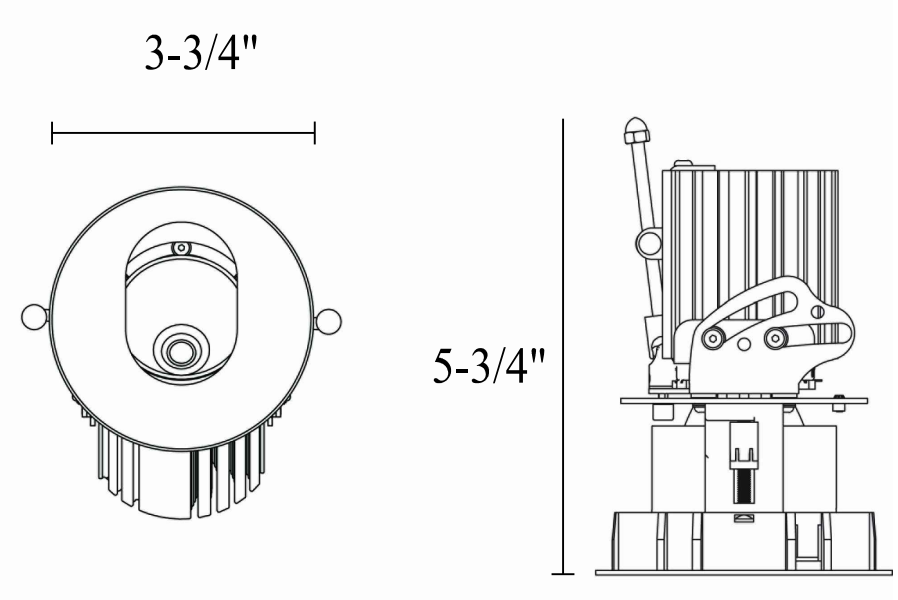
LEGEND	
	0.1 0.1 0.1 PROPOSED FOOTCANDLES
	0.1 0.1 0.0 PROPOSED WALL MOUNTED FIXTURE
	0.1 0.0 0.0 PROPOSED RECESSED FIXTURE
	PROPOSED POLE MOUNTED FIXTURES
	LINE OF 0.2 & 0.0 FOOTCANDLES

- ### GENERAL NOTES
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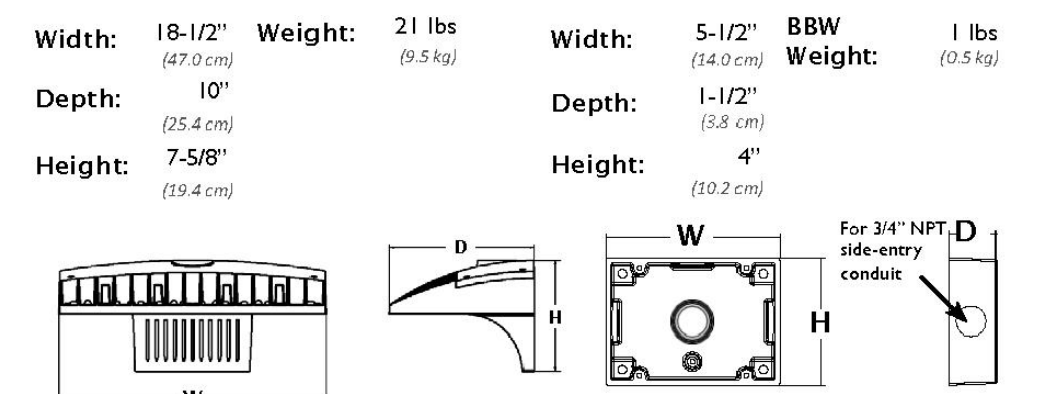
- ### LIGHTING NOTES
- ALL LIGHT FIXTURES TO BE MOUNTED AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
  - ALL WORK AND RELATED MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.



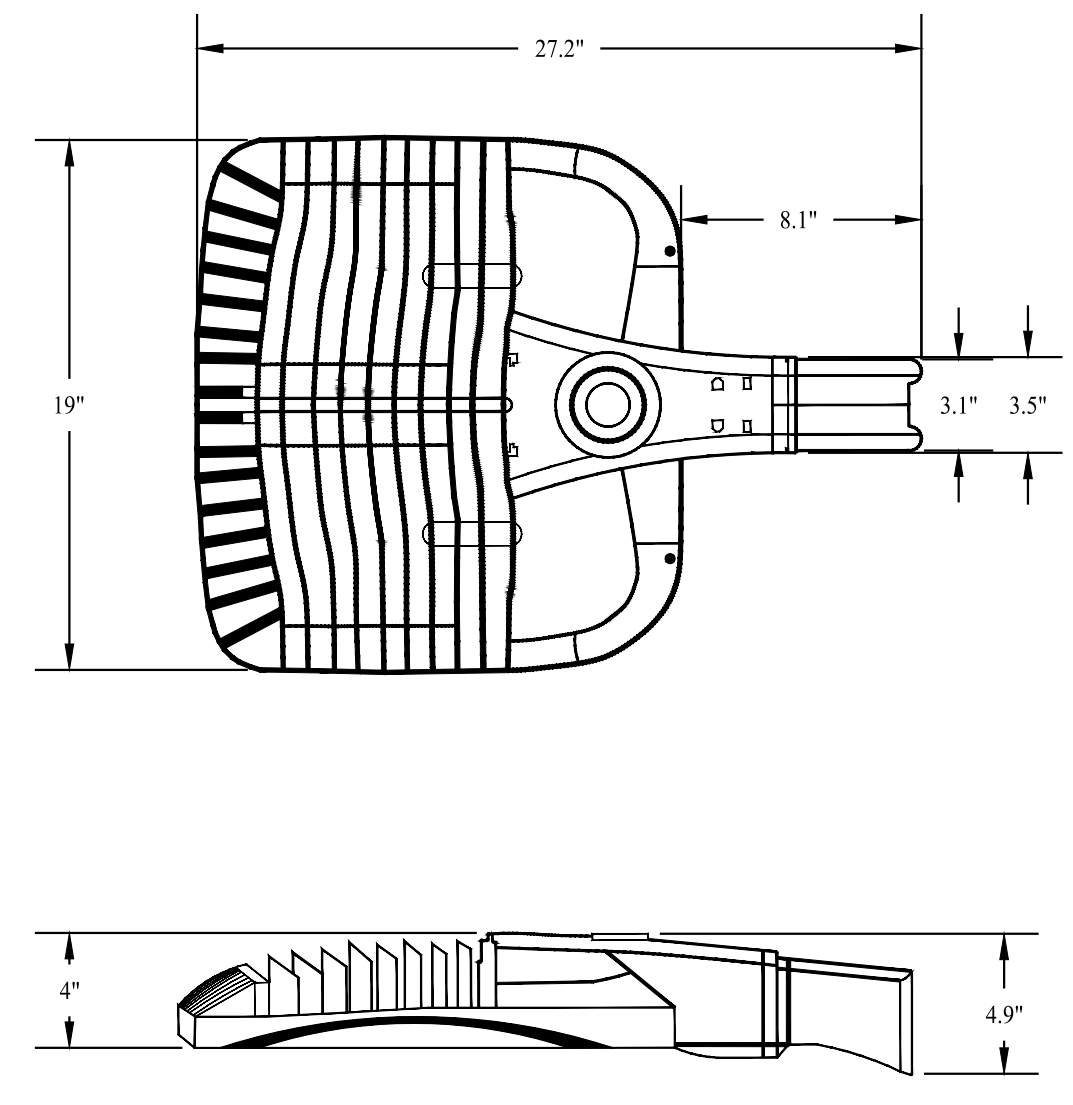
**PROPOSED SELF STORAGE FACILITY**  
 LEVEL 1 = 6,532 ± SF  
 LEVEL 2 = 26,299 ± SF  
 LEVEL 3 = 26,296 ± SF  
 LEVEL 4 = 26,296 ± SF  
 TOTAL = 85,423 ± SF  
 BFE = 1187.0  
 FFE = 1198.0  
 511 UNITS



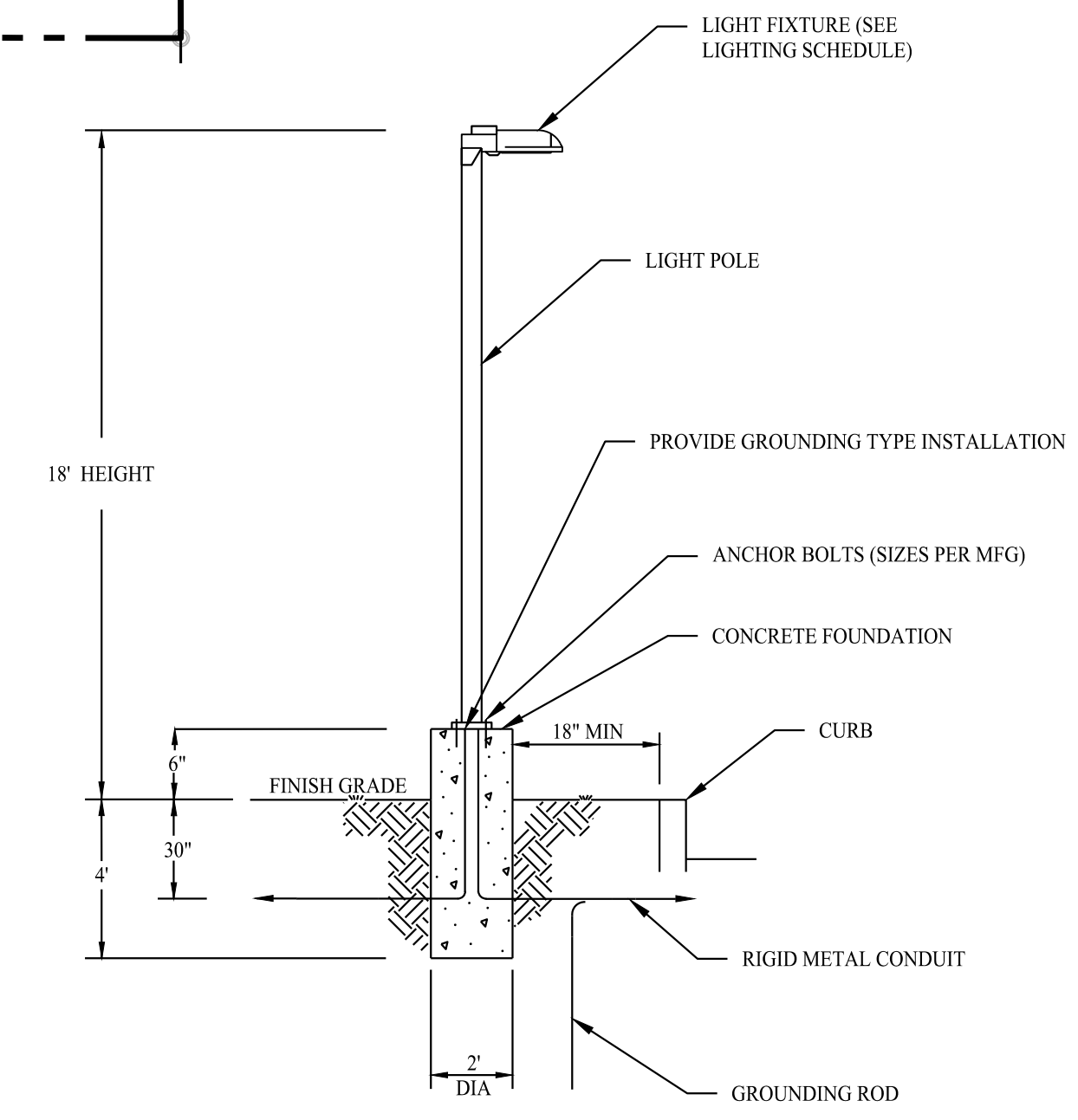
**PROPOSED CANOPY DOWN LIGHT FIXTURE - R1**  
 ALPHABET LEDRA BRANDS, SERIES NU1 TYPE RAPH, WD  
 SCALE: NTS



**PROPOSED WALL MOUNTED LIGHT FIXTURE - W1**  
 LUMINAIRE D-SERIES SIZE 2, FINISH BLACK, SCALE: NTS

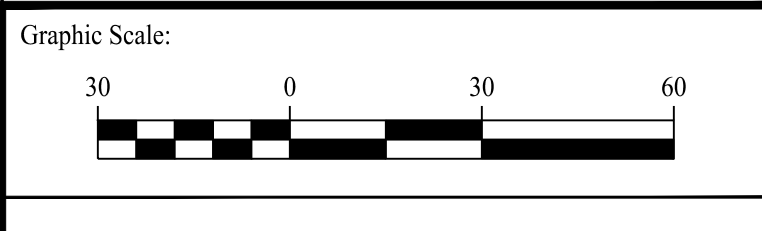


**POLE MOUNTED LIGHT FIXTURE - P1 & P2**  
 CREE LIGHTING, OSQ-A LED SERIES  
 SCALE: NTS



**PROPOSED LIGHT POLE - P1 & P2**  
 SCALE: NTS

Rev. #:	Date	Description



**SOLLI ENGINEERING**  
 501 Main Street, Monroeville, PA 15146  
 11 Vanderbilt Ave, Norwood, MA 02062  
 T: (203) 880-5455 F: (203) 880-9695  
 T: (781) 352-8491 F: (203) 880-9695

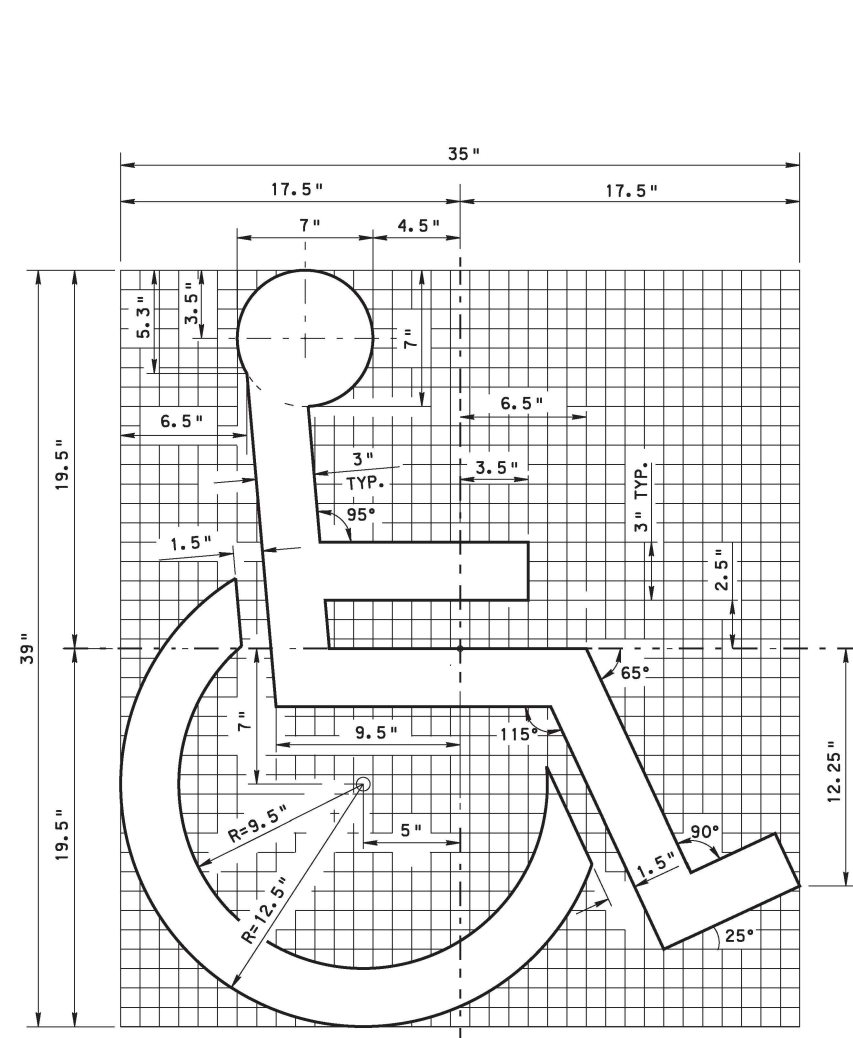
Drawn By:	MMH
Checked By:	MFB
Approved By:	KMS
Project #:	22108901
Plan Date:	08/21/23
Scale:	1" = 30'



**PROPOSED STACK-N-STOR**  
 3610 WEST COLLEGE AVENUE  
 FERGUSON TOWNSHIP,  
 PENNSYLVANIA 16801

Sheet Title:	Sheet #:
<b>LIGHTING PLAN</b>	<b>2.71</b>

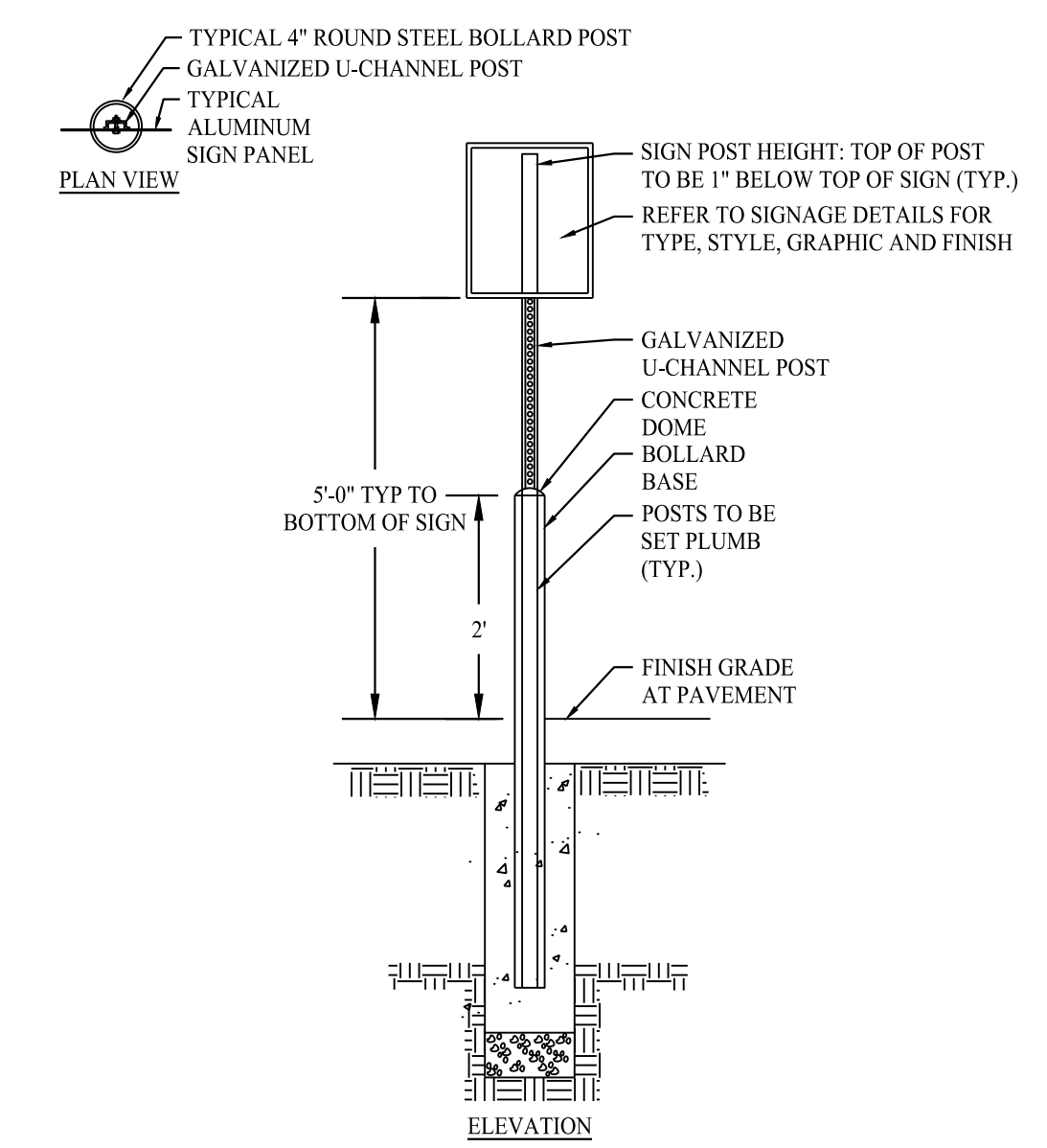




**NOTE:**  
 1. HANDICAPPED SYMBOL SHALL BE WHITE. IT MAY BE INSTALLED ALONE OR WITH A BLUE BACKGROUND WHICH EXTENDS A MINIMUM OF 3" BEYOND THE SYMBOL. IF MATERIAL THICKNESS OF SYMBOL IS GREATER THAN 20 MILS THE BLUE BACKGROUND MUST BE USED. ANY REDUCTION IN DIMENSIONS MUST BE APPROVED BY THE DEPARTMENT.

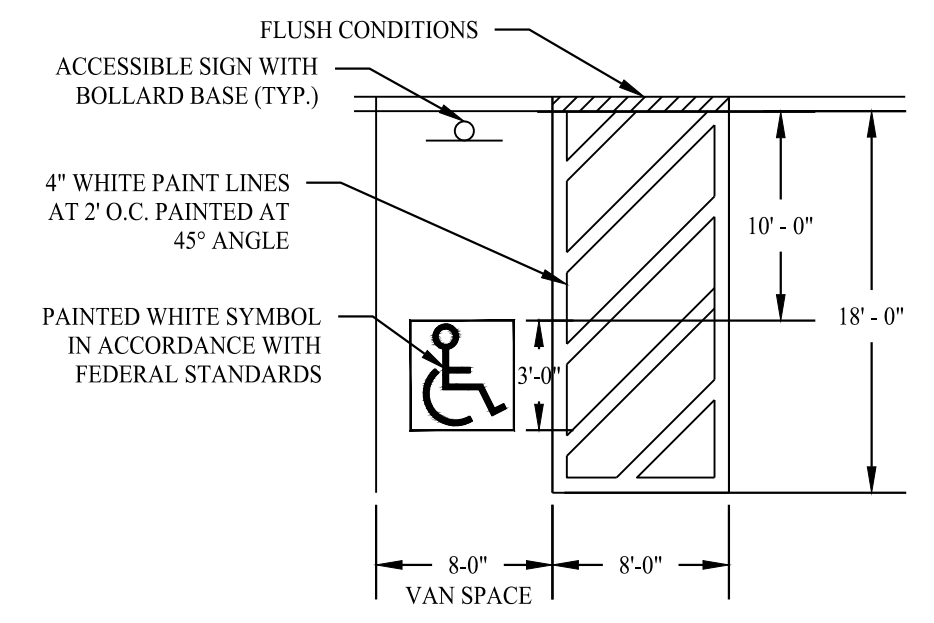
**HANDICAP MARKING**

SCALE: N.T.S. DETAIL PROVIDED BY PENNDOT



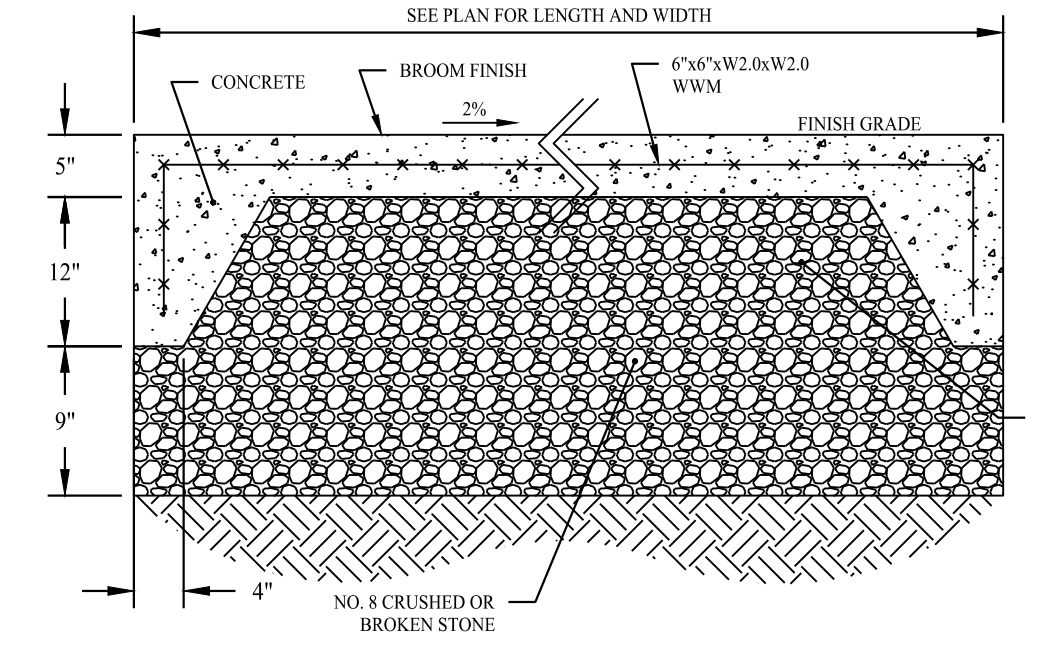
**SIGN MOUNTING FOR ACCESSIBLE SIGN**

SCALE: N.T.S.



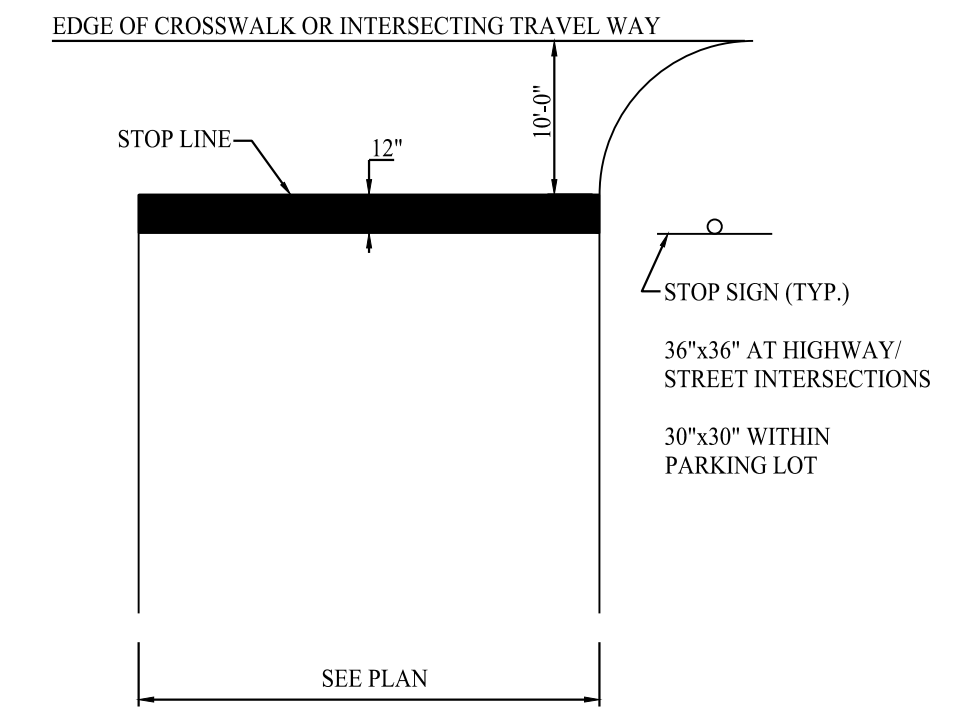
**ACCESSIBLE PARKING SPACE DETAIL**

SCALE: N.T.S.



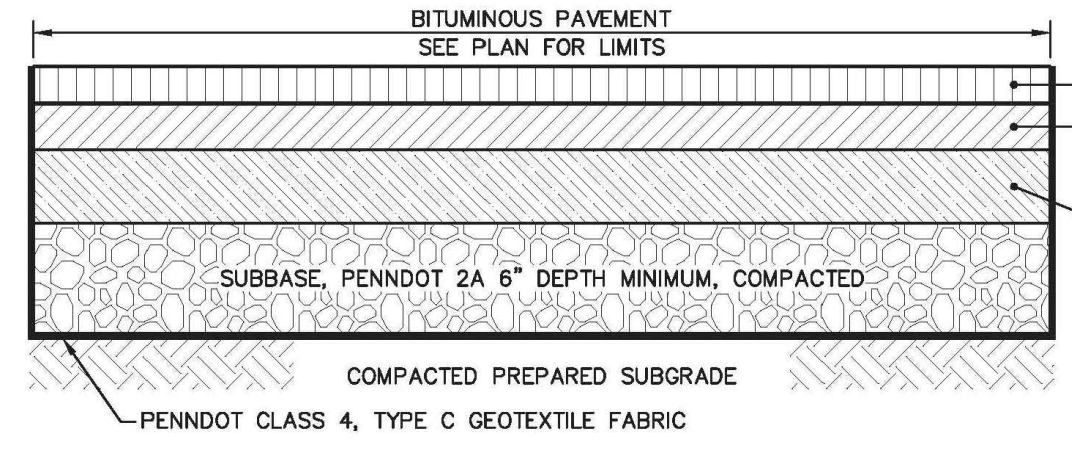
**CONCRETE PAD DETAIL**

SCALE: N.T.S.



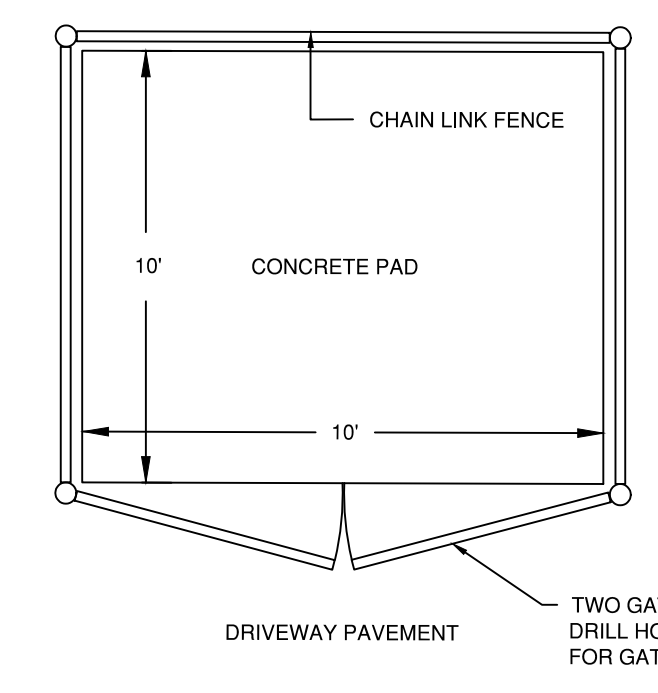
**STOP SIGNAGE AND MARKING**

SCALE: N.T.S.



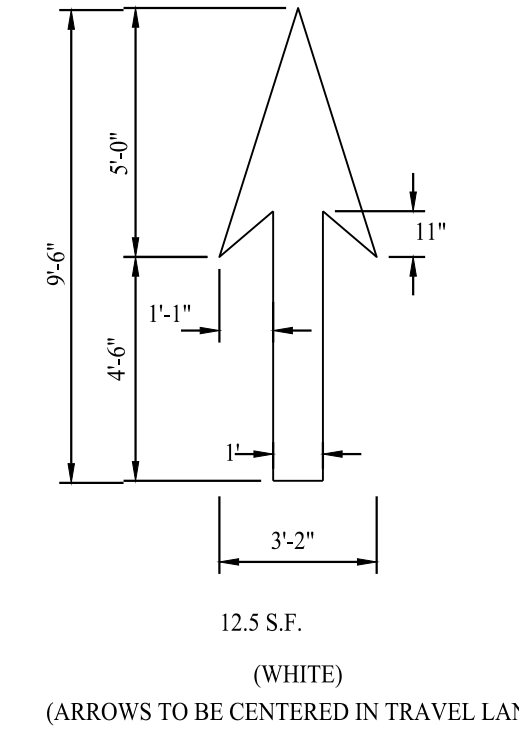
**BITUMINOUS PAVEMENT SECTION**

SCALE: N.T.S.



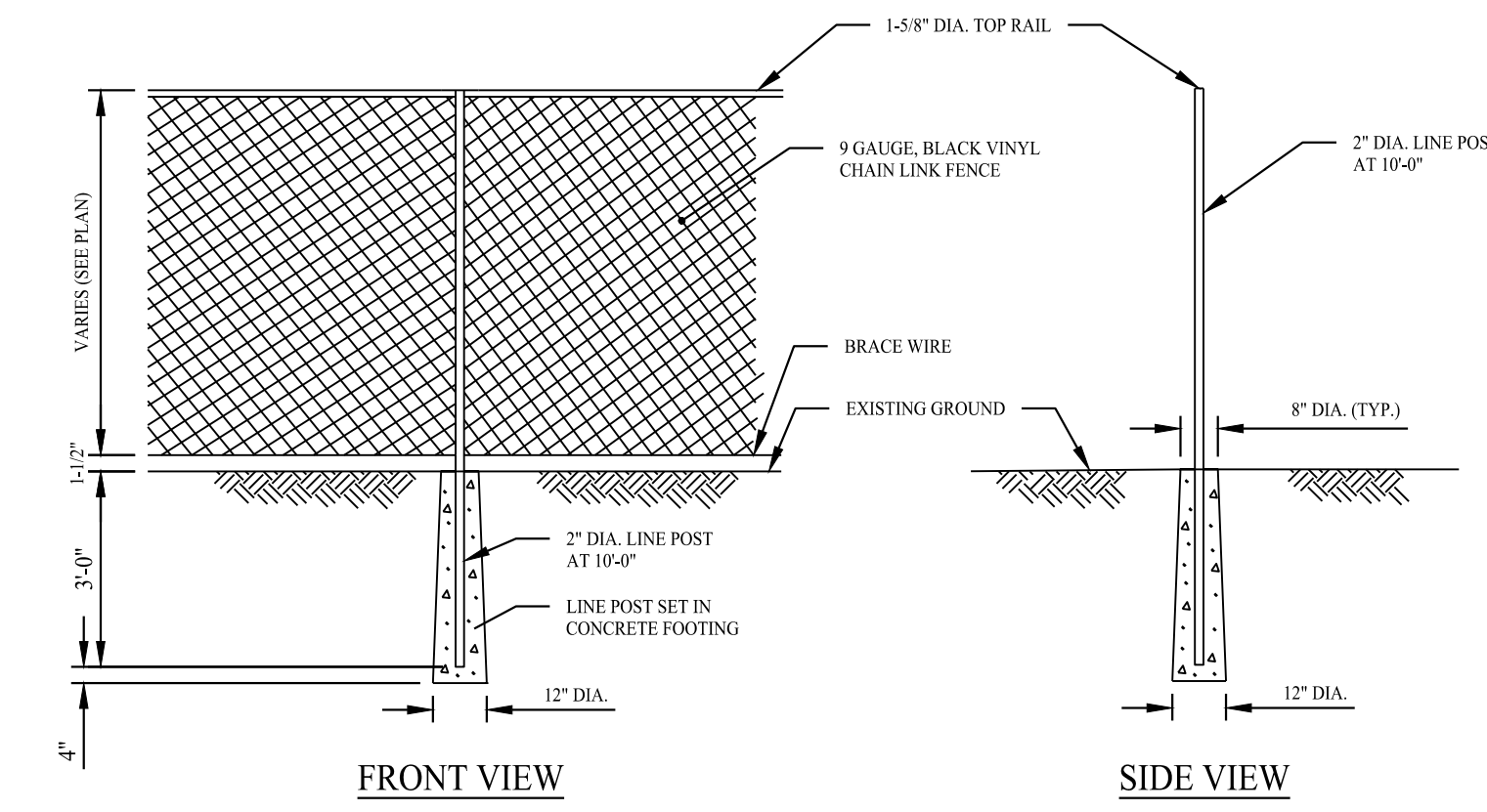
**DUMPSTER ENCLOSURE DETAIL**

SCALE: N.T.S.



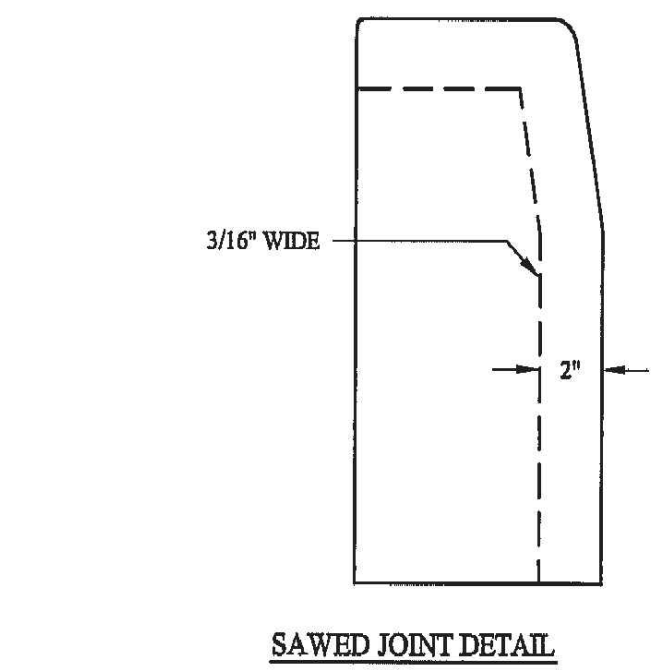
**PAVEMENT ARROW DETAILS**

SCALE: N.T.S.

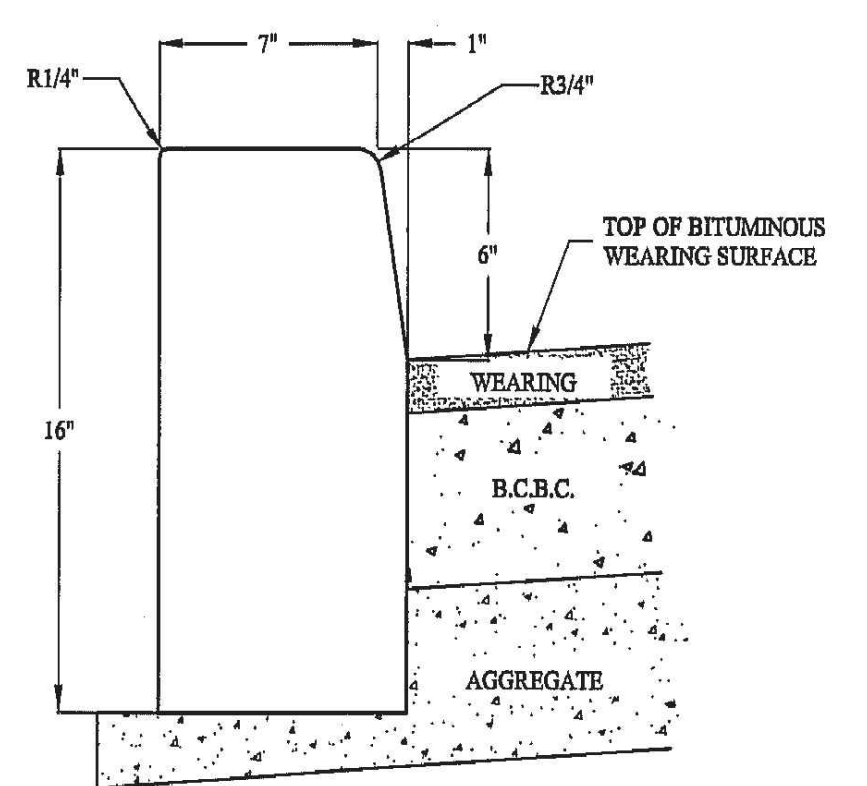


**CHAIN LINK FENCE DETAIL**

SCALE: N.T.S.



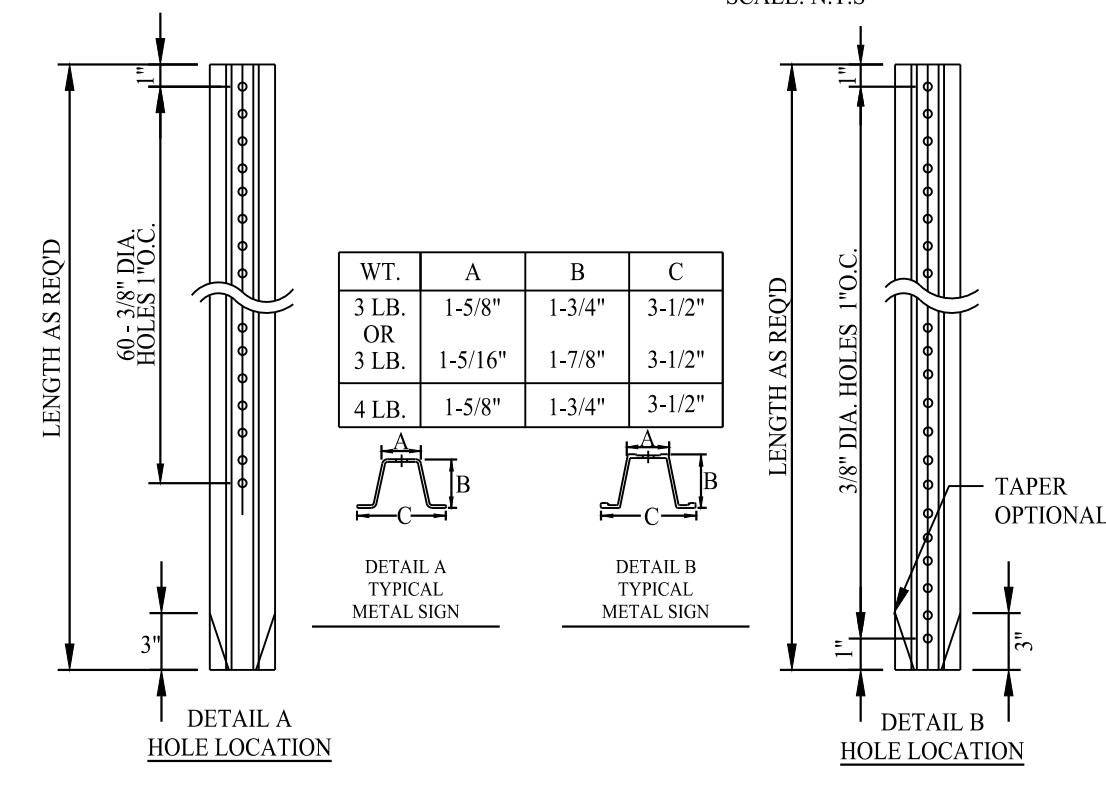
**SAWED JOINT DETAIL**



**CONCRETE CURB DETAIL**

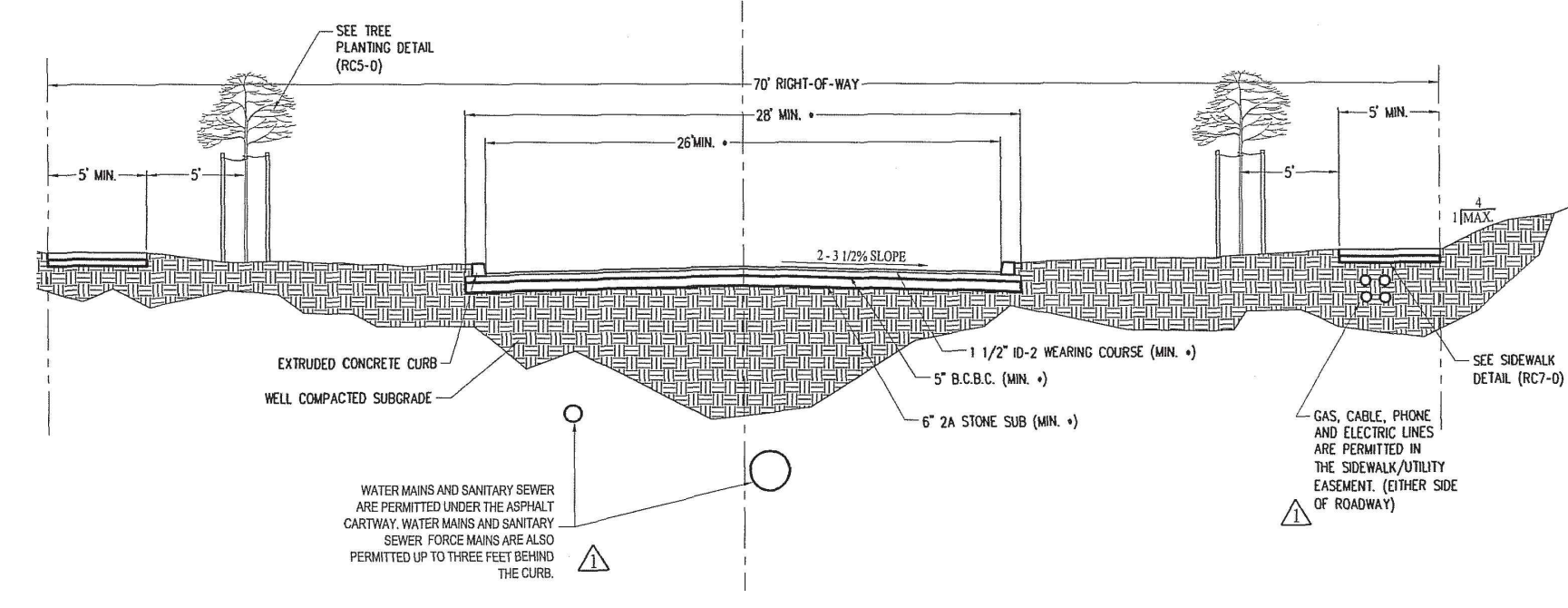
SCALE: N.T.S.

DETAIL PROVIDED BY: FERGUSON TOWNSHIP



**TYPICAL METAL SIGN POSTS**

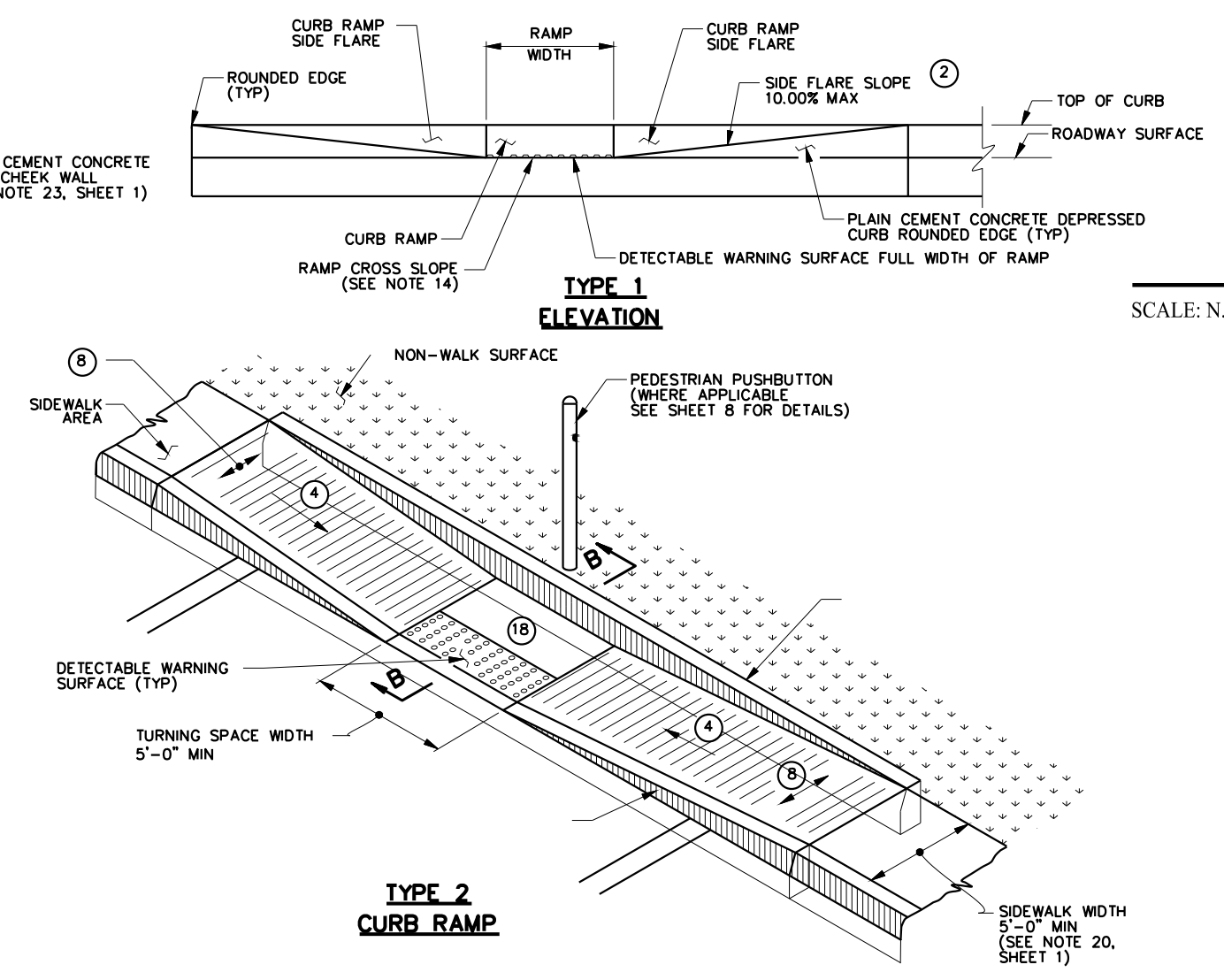
SCALE: N.T.S.



**70' RIGHT OF WAY WITH CURB AND SIDEWALK**

SCALE: N.T.S.

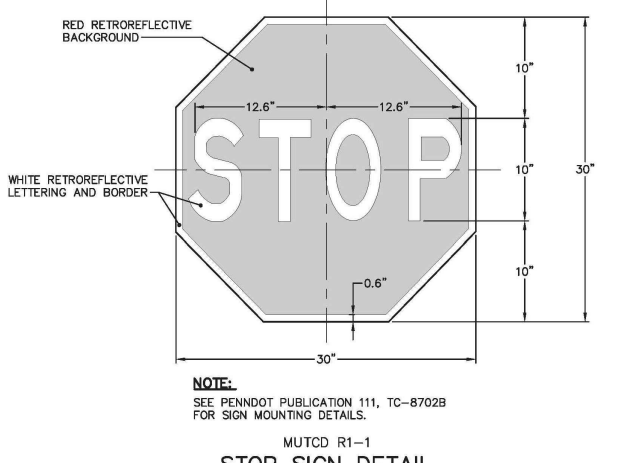
DETAIL PROVIDED BY: FERGUSON TOWNSHIP



**CURB TRANSITION DETAIL**

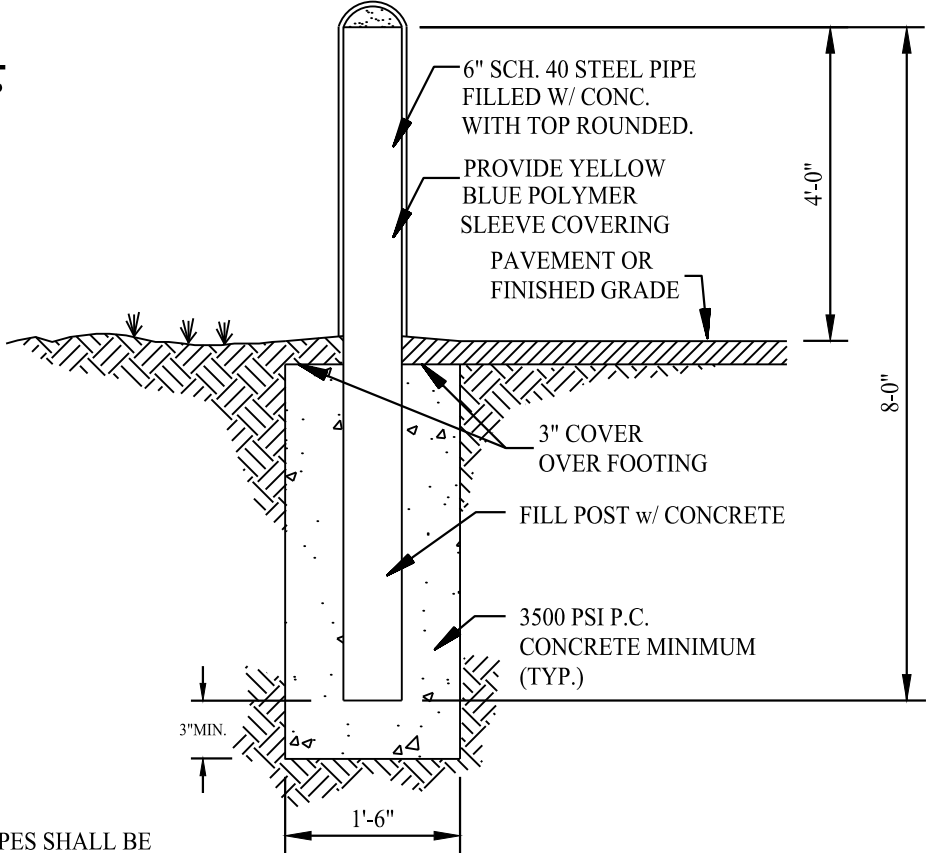
SCALE: N.T.S.

DETAIL PROVIDED BY: PENNDOT



**STOP SIGN DETAIL**

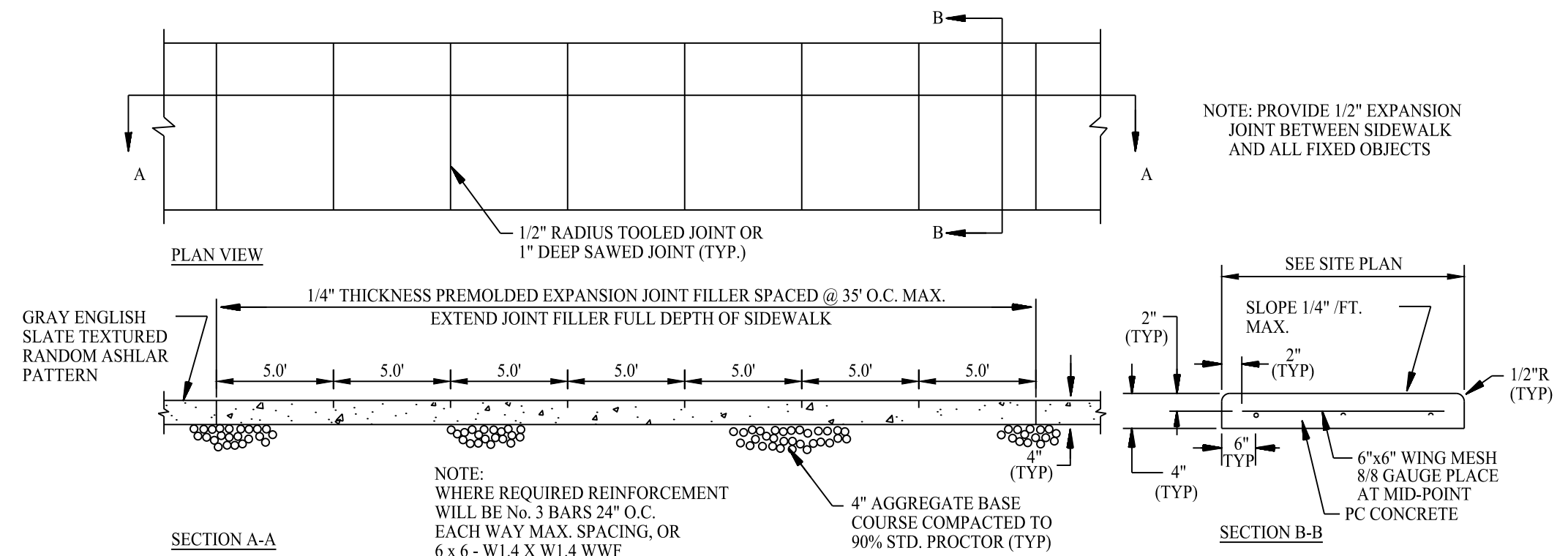
SCALE: N.T.S.



**PROTECTION BOLLARD DETAIL**

SCALE: N.T.S.

**NOTE:**  
 ALL PIPES SHALL BE PAINTED TRAFFIC YELLOW



**CONCRETE SIDEWALK**

SCALE: N.T.S.

Rev. #:	Date	Description

**SOLLI ENGINEERING**  
 501 Main Street, Monroeville, PA 15146  
 T: (724) 880-5455 F: (724) 880-9695  
 11 Vanderbilt Ave., Norwood, MA 02062 F: (781) 352-8491 F: (203) 880-9695

Drawn By:	JMGM
Checked By:	RPP
Approved By:	KMS
Project #:	22108901
Plan Date:	08/21/23
Scale:	NTS



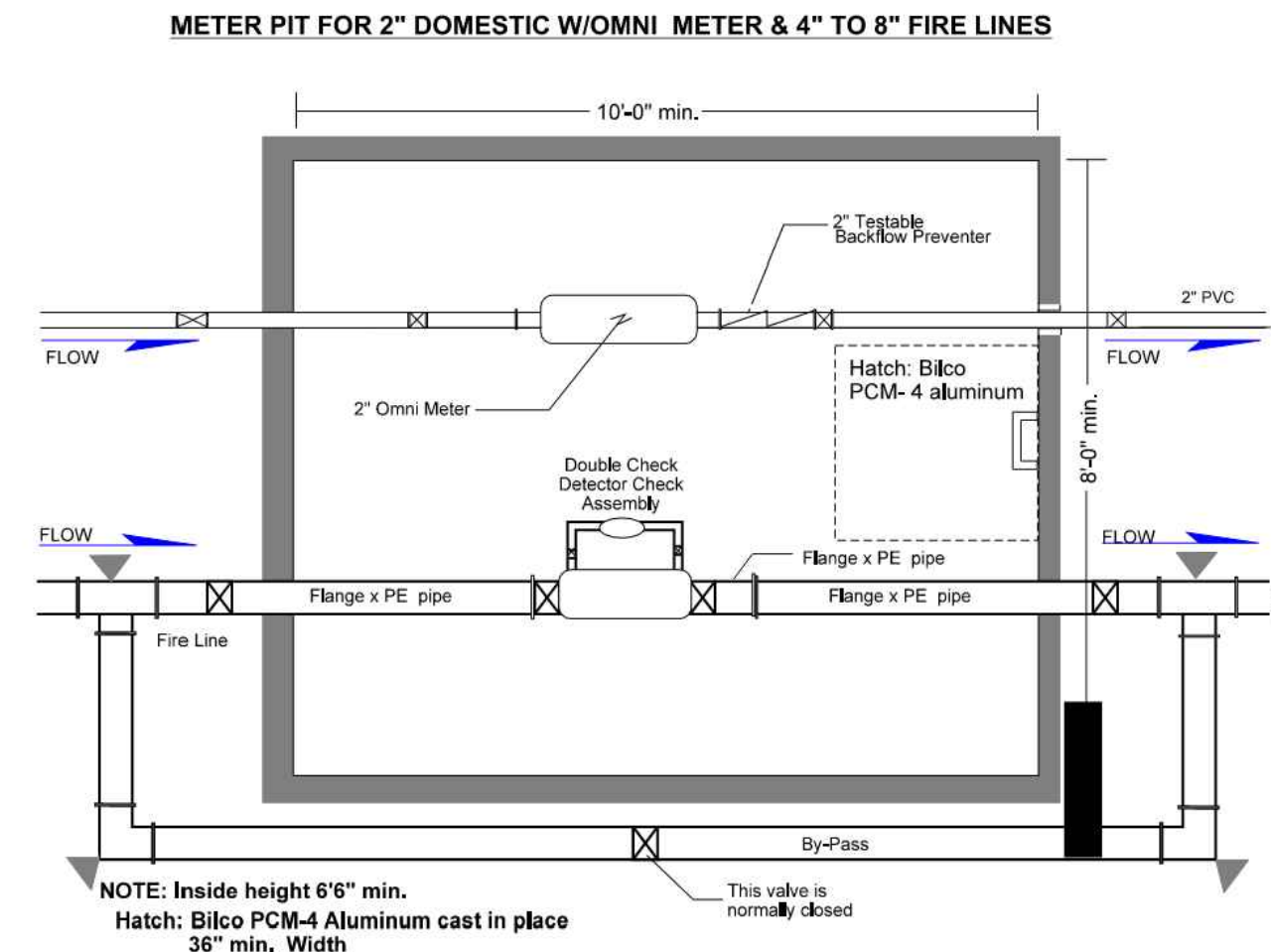
Kevin Solli, P.E.  
 PA 083293

**PROPOSED STACK-N-STOR**  
 3610 WEST COLLEGE AVENUE  
 FERGUSON TOWNSHIP,  
 PENNSYLVANIA 16801

Sheet Title:	Sheet #:
<b>DETAIL SHEET</b>	<b>3.01</b>

Aug 17, 2023 - 3:17pm jmontano  
 X:\SE Final\Project Data\2023\22108901 - 3610 W College Ave - State College, PA\Drawn\22108901-3.01.dwg





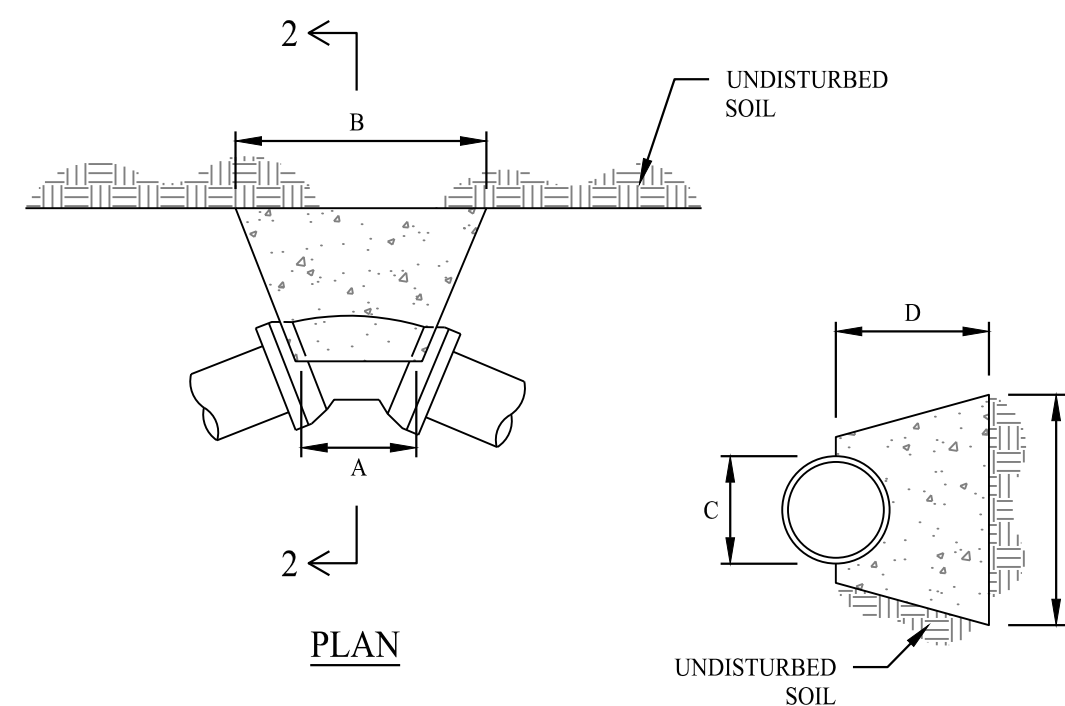
- NOTES:
- Hatch location may be moved with Authority approval.
  - Mega-lugs must be used on all fittings and valves or the fittings must be rodded (4 min.) and anchored in concrete.
  - Concrete Thrust Blocks must be used on all underground bends & tee's.
  - Vault size may need adjusted to accommodate the different sizes of fire lines.

**WATER METER PIT**

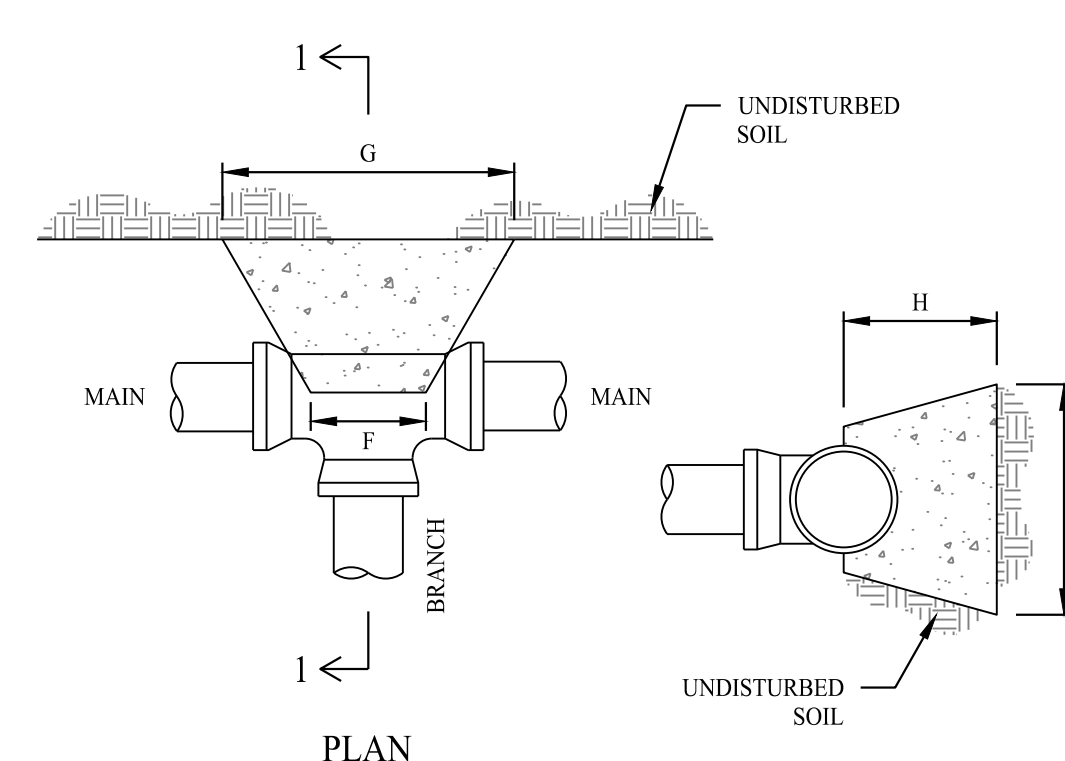
SCALE: N.T.S. DETAIL PROVIDED BY: STATE COLLEGE BOROUGH WATER AUTHORITY

**TABLE OF DIMENSION**

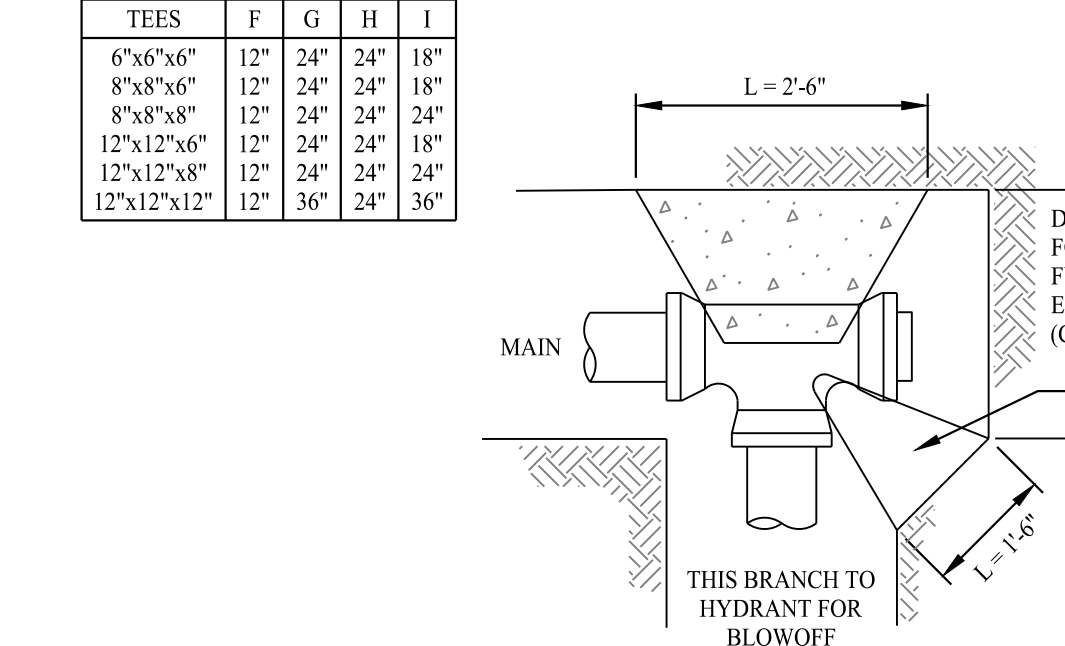
BENDS	A	B	C	D	E	BENDS	A	B	C	D	E
6" 111/4"	8"	15"	12"	24"	12"	6" 45°	8"	30"	12"	24"	14"
6" 211/2"	8"	19"	12"	24"	13"	6" 90°	8"	30"	12"	24"	27"
8" 111/4"	8"	20"	12"	24"	12"	8" 45°	8"	30"	12"	24"	24"
8" 211/2"	8"	22"	12"	24"	17"	8" 90°	8"	38"	12"	24"	34"
12" 111/4"	8"	30"	12"	24"	15"	12" 45°	8"	40"	12"	24"	40"
12" 211/2"	8"	35"	12"	24"	25"	12" 90°	8"	60"	12"	24"	52"



**SECTION 2-2**

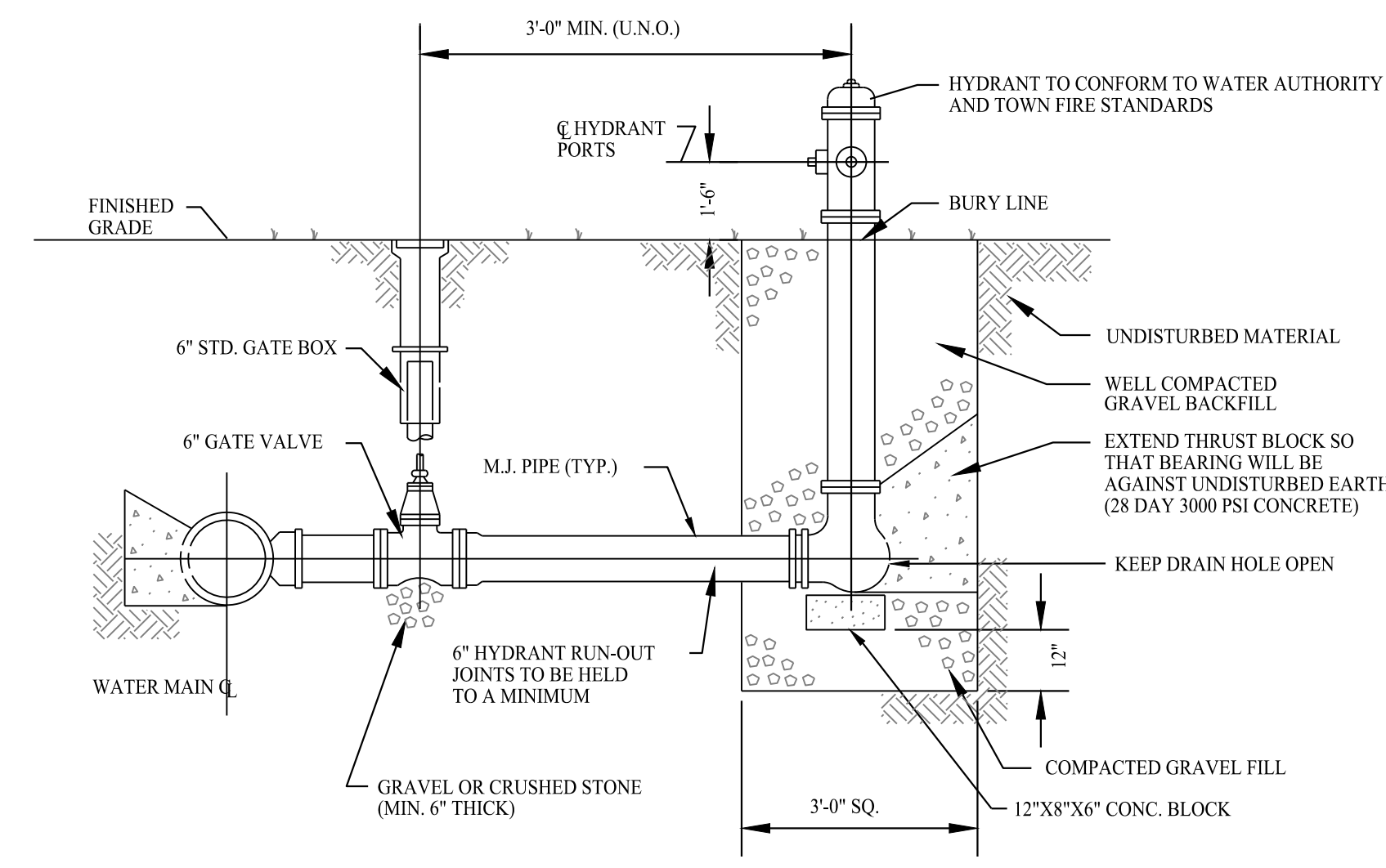


**SECTION 1-1**



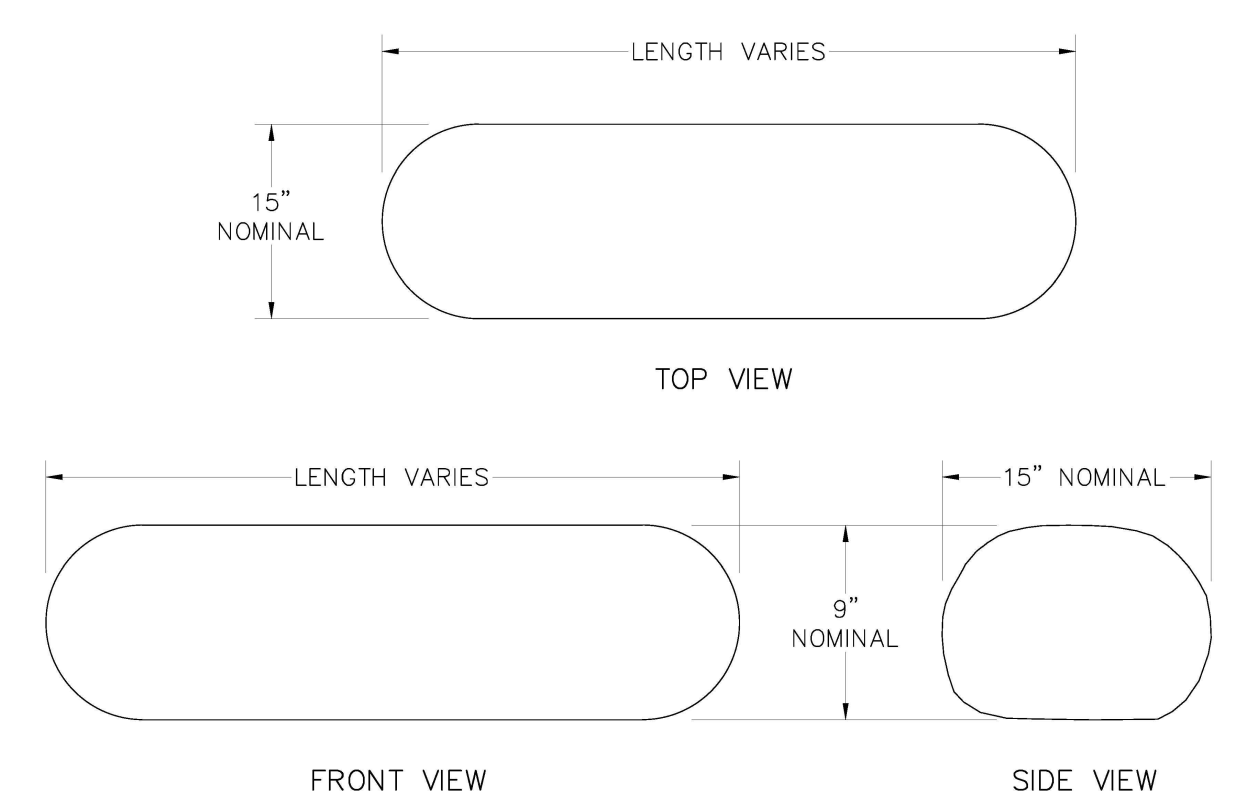
**CONCRETE THRUST BLOCKS**

SCALE: N.T.S.



**HYDRANT ASSEMBLY WITH GATE BOX**

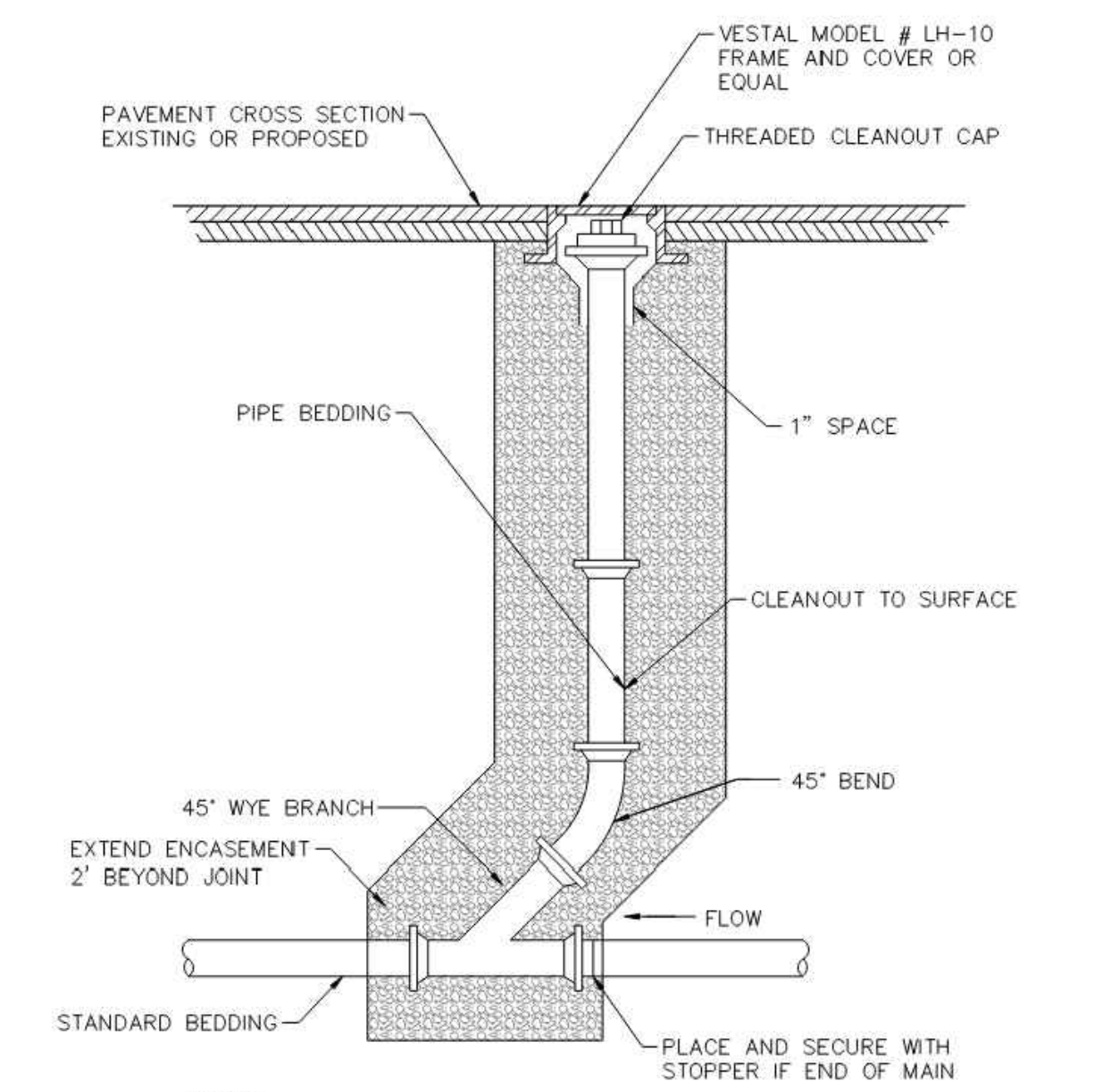
SCALE: N.T.S.



NOTES: GROSOXX ARE 12-INCH DIAMETER TUBES THAT DEFORM TO NOMINALLY 9-INCHES TALL AND 15-INCHES WIDE.

**12" GROSOXX MODULE DIMENSIONS DETAIL**

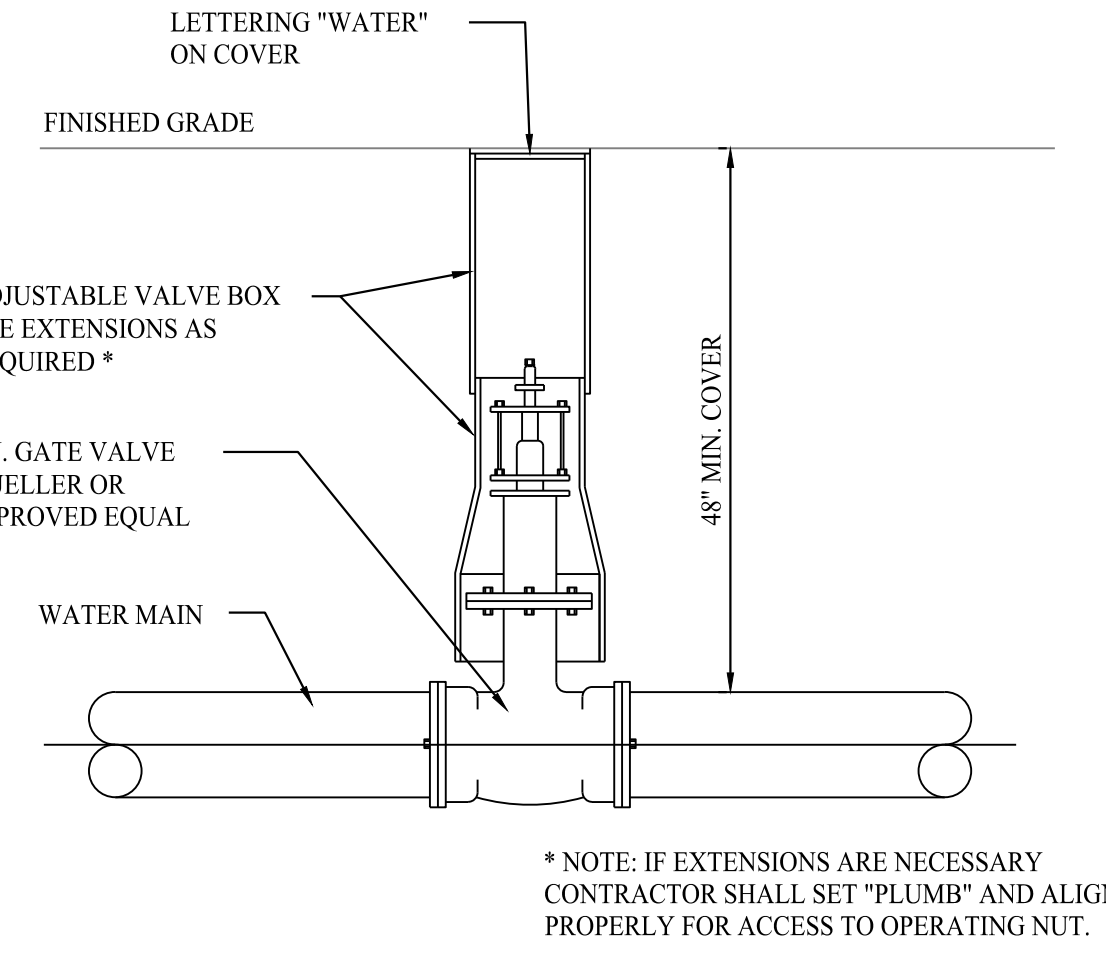
SCALE: N.T.S. DETAIL PROVIDED BY: FILTREXX SUSTAINABLE TECHNOLOGIES



NOTES: 1. REFER TO DWG. NO. 4 FOR COVER INSTALLATION DETAIL.

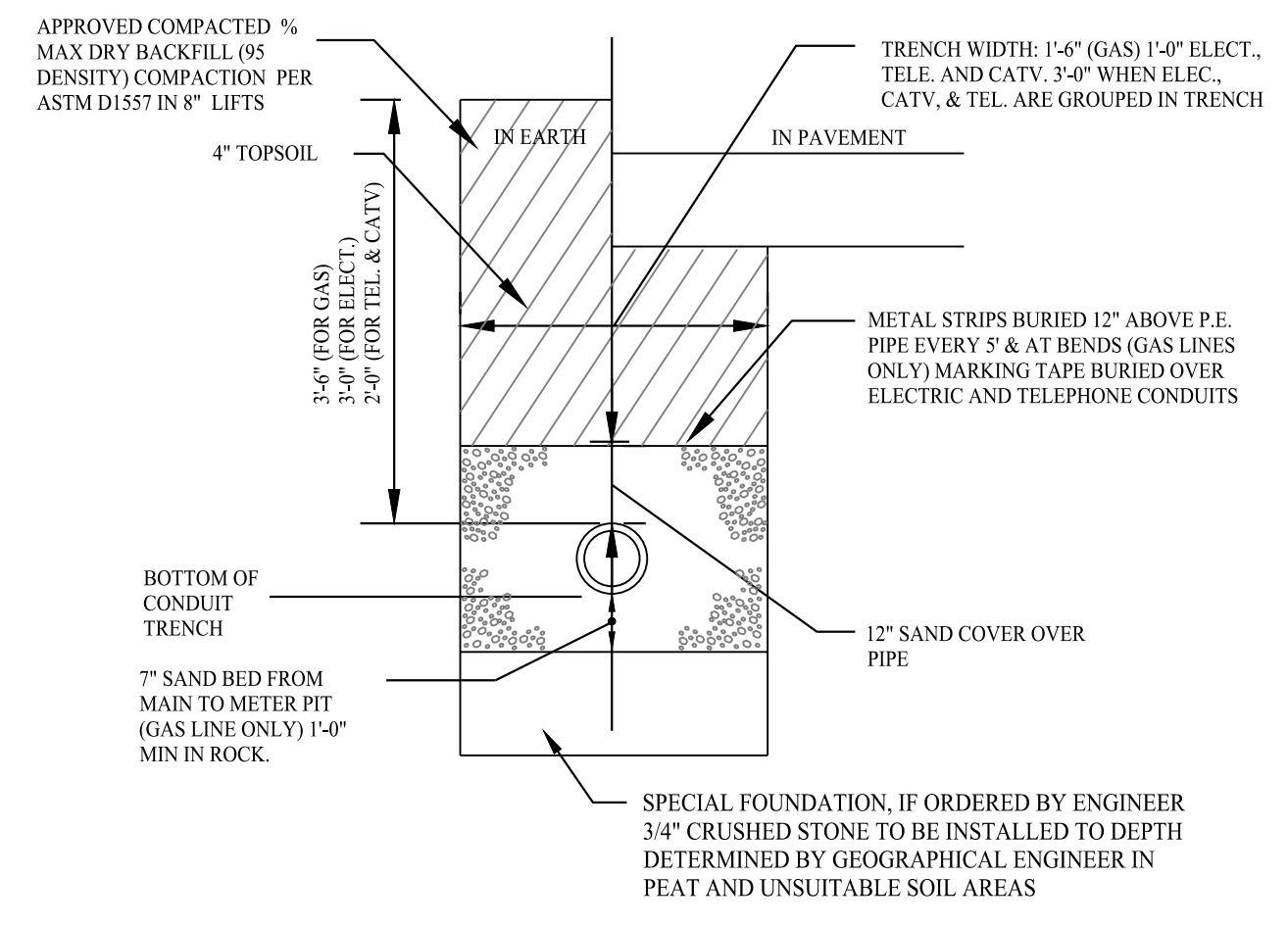
**CLEANOUT CONSTRUCTION DETAIL FOR PAVED AREAS**

SCALE: N.T.S. DETAIL PROVIDED BY: UNIVERSITY AREA JOINT AUTHORITY



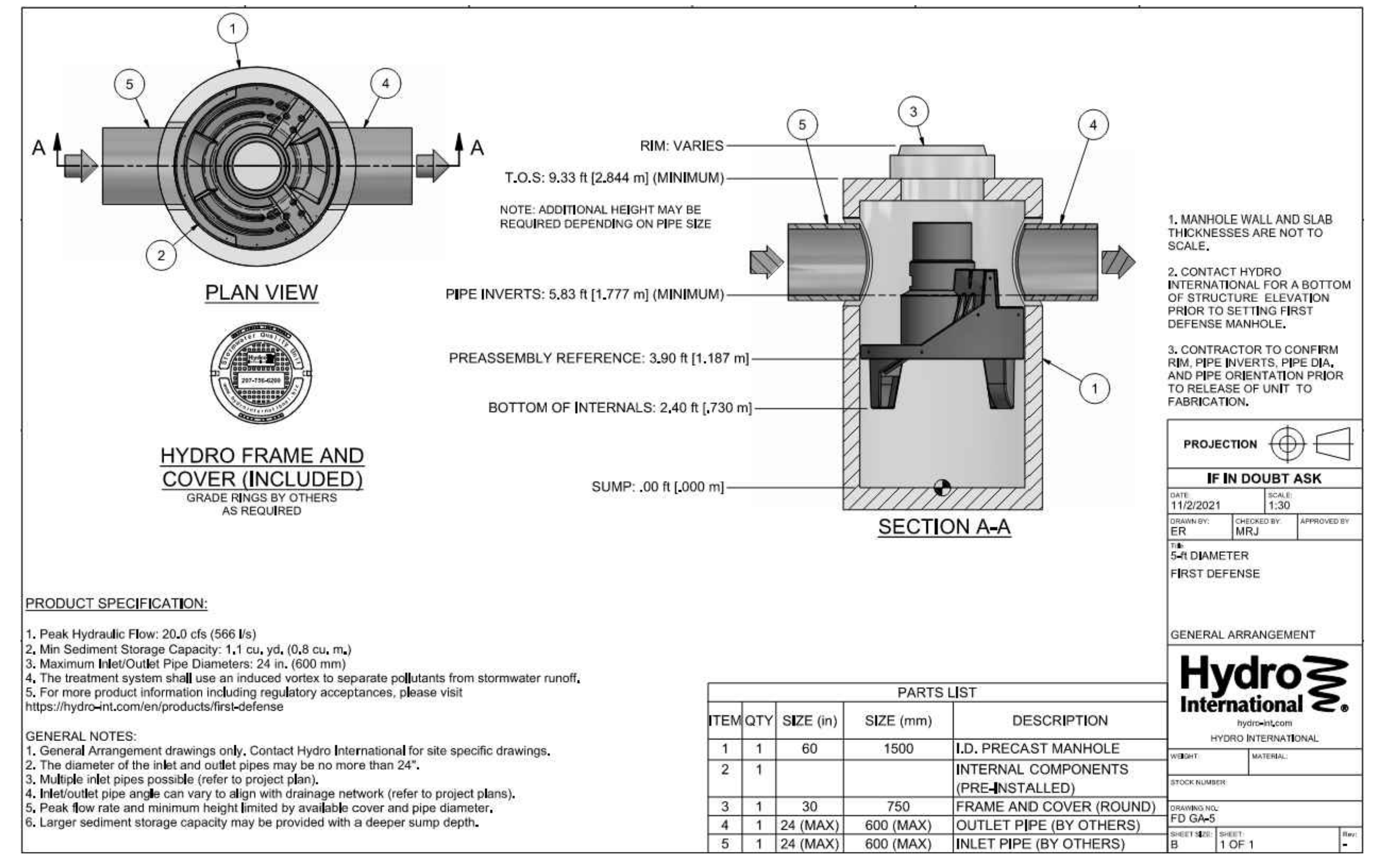
**TYPICAL GATE VALVE AND VALVE BOX DETAIL**

SCALE: N.T.S.



**ELECTRICAL, CABLE, TELEPHONE AND GAS TRENCH**

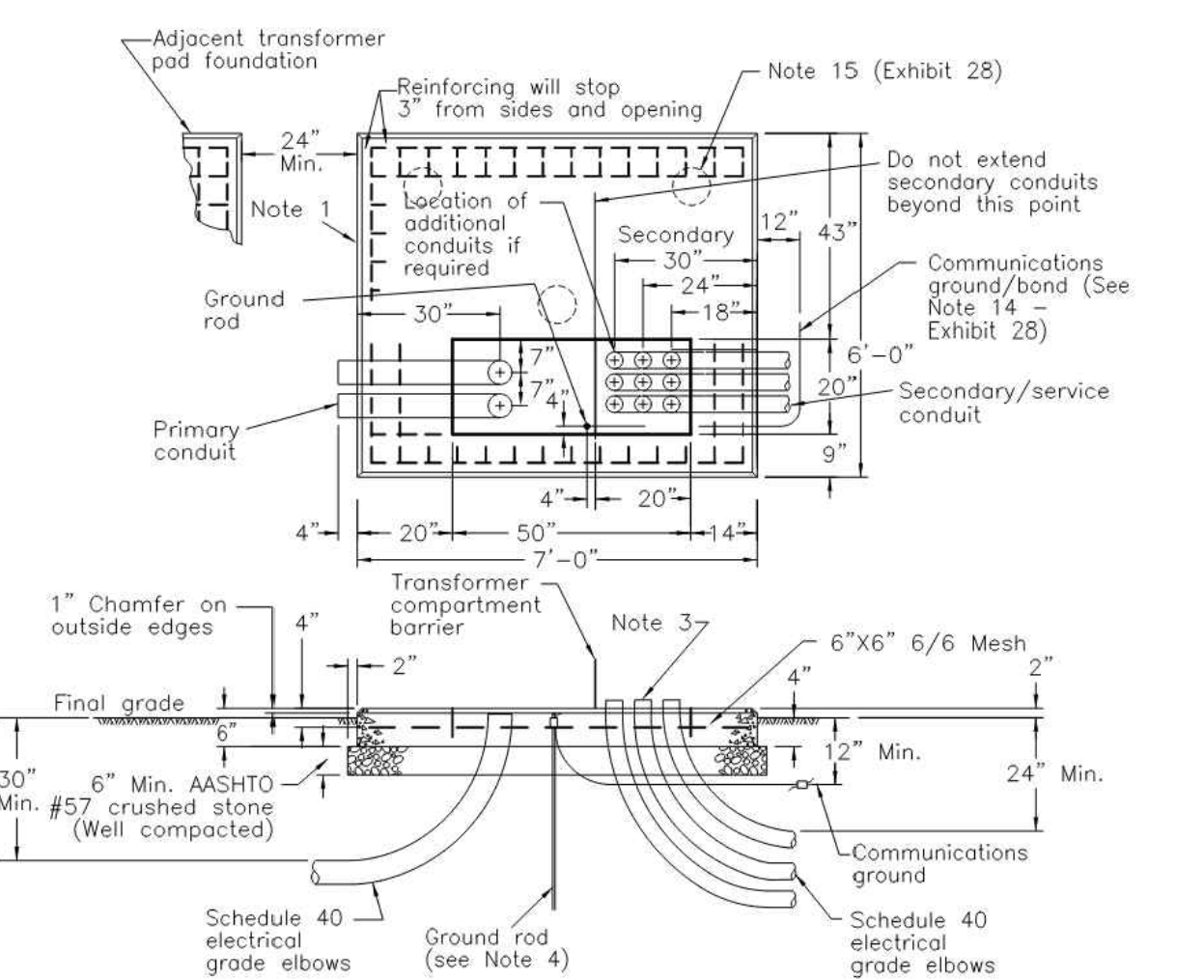
SCALE: N.T.S.



**FIRST DEFENSE 5' DIAMETER HYDRODYNAMIC SEPARATOR (OR APPROVED EQUAL)**

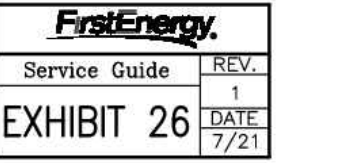
SCALE: N.T.S.

DETAIL COURTESY OF HYDRO INTERNATIONAL



- Notes:
- For customer/Company responsibilities, see Exhibit 1.
  - Reference Exhibit 28 for concrete pad foundation, pad-mounted transformer General Notes.
  - Secondary conduits should not extend more than 2 inches above the top of foundation. Primary conduits should be cut off 2 inches below the top of foundation to allow for terminating the cables.
  - Customer shall furnish and install one 5/8-inch diameter x 8-foot ground rod, grounding connections, and #6 copper communications ground wire (minimum wire required - 7 1/2 feet).
  - See Exhibit 22 for clearance from building wall or other parts of building.

**Concrete Flat-Pad Foundation Pad-Mounted Transformer 75 to 500 kVA Three-Phase, 34.5 kV & Below High-Side**



SCALE: N.T.S. DETAIL PROVIDED BY: FIRST ENERGY

Rev. #:	Date	Description

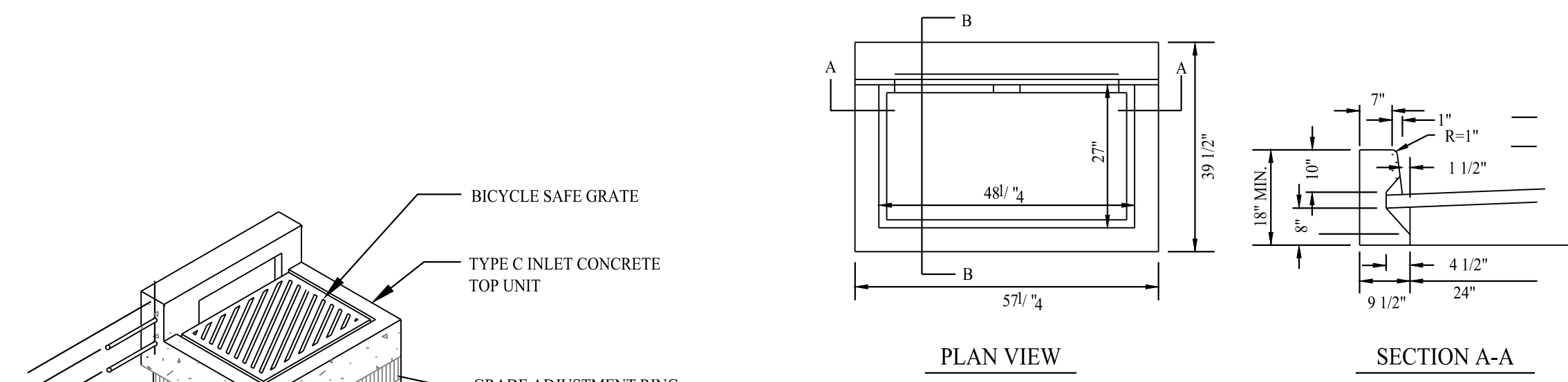


Drawn By:	JMGM
Checked By:	RPP
Approved By:	KMS
Project #:	22108901
Plan Date:	08/21/23
Scale:	NTS

**PROPOSED STACK-N-STOR**  
3610 WEST COLLEGE AVENUE  
FERGUSON TOWNSHIP,  
PENNSYLVANIA 16801

Sheet Title: **DETAIL SHEET** Sheet #: **3.02**

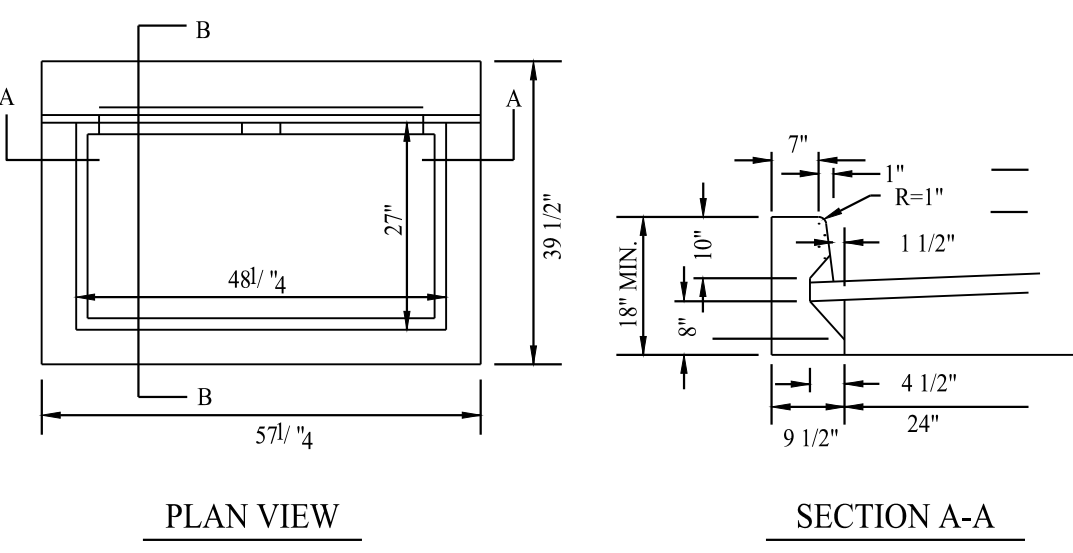




**NOTES:**  
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PENN DOT PUBLICATION 408, SECTION 605 AND STANDARDS FOR ROADWAY CONSTRUCTION, RC-34. CONTRACTOR SHALL VERIFY INLET BOX SIZING BASED ON PIPE SIZES AND ALIGNMENT PRIOR TO ORDERING PRECAST STRUCTURES.  
 2. ALL DRAINAGE STRUCTURES SHALL HAVE POURED-IN-PLACE CONCRETE CHANNEL BOTTOMS.

**TYPE "C" INLET DETAIL**

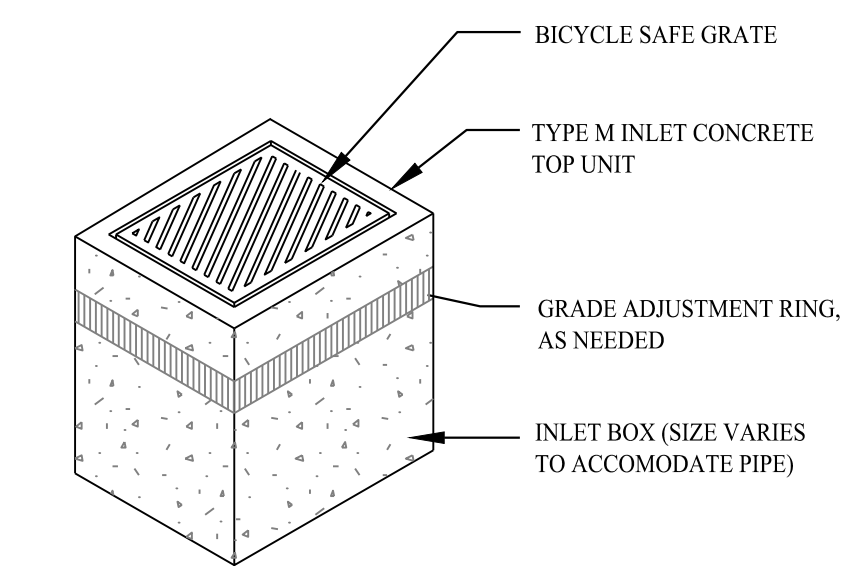
SCALE: N.T.S. DETAIL PROVIDED BY: PENNDOT



**NOTE:**  
 1. INLET TO BE IN CONFORMANCE WITH PA DOT ROADWAY CONSTRUCTION STANDARDS (RC-34) AND CERTIFIED FOR H20 LOADING.  
 2. PROVIDE BICYCLE SAFE GRATE

**TYPE "C" INLET TOP UNIT DETAIL**

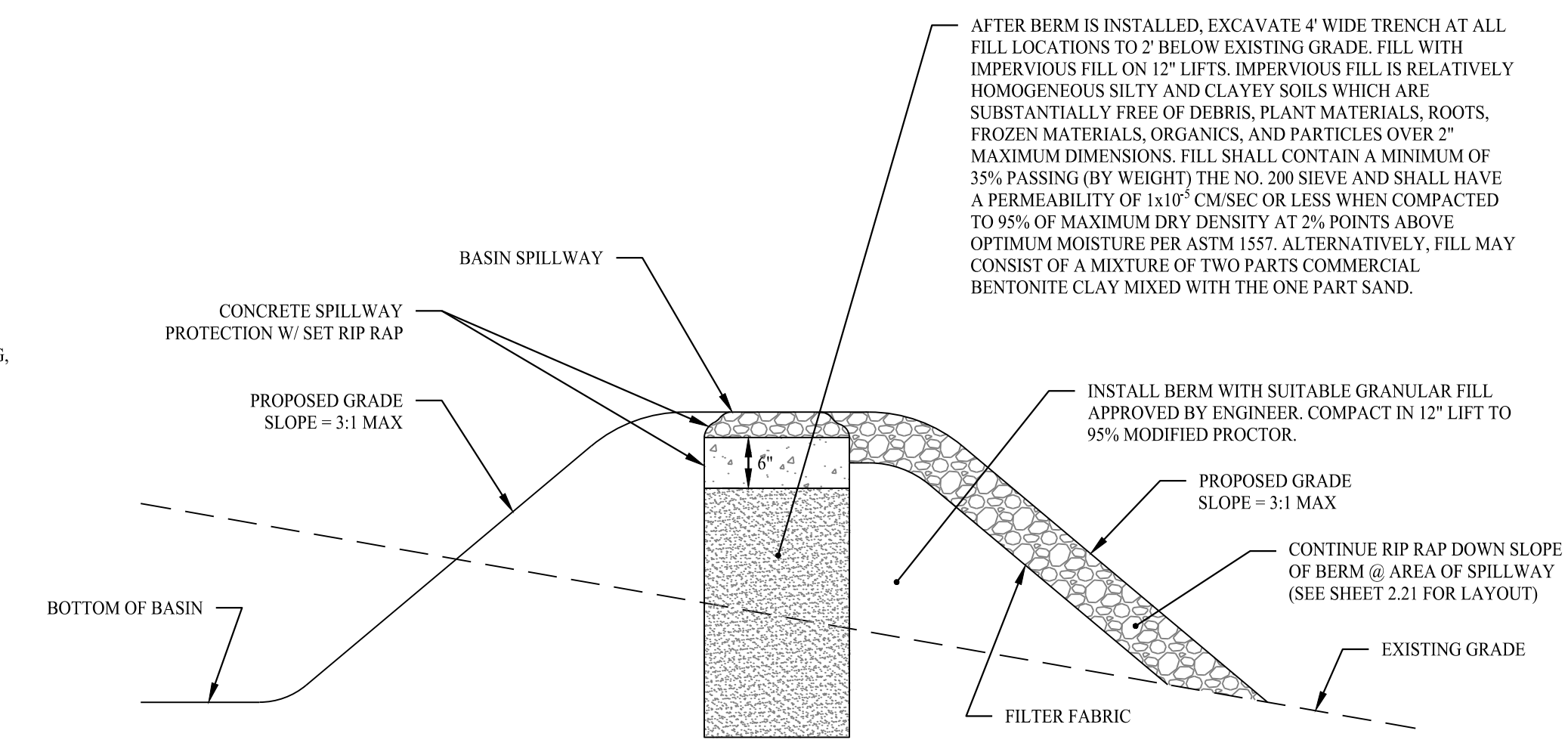
SCALE: N.T.S. DETAIL PROVIDED BY: PENNDOT



**NOTES:**  
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PENN DOT PUBLICATION 408, SECTION 605 AND STANDARDS FOR ROADWAY CONSTRUCTION, RC-34. CONTRACTOR SHALL VERIFY INLET BOX SIZING BASED ON PIPE SIZES AND ALIGNMENT PRIOR TO ORDERING PRECAST STRUCTURES.  
 2. ALL DRAINAGE STRUCTURES SHALL HAVE POURED-IN-PLACE CONCRETE CHANNEL BOTTOMS.

**TYPE "M" INLET DETAIL**

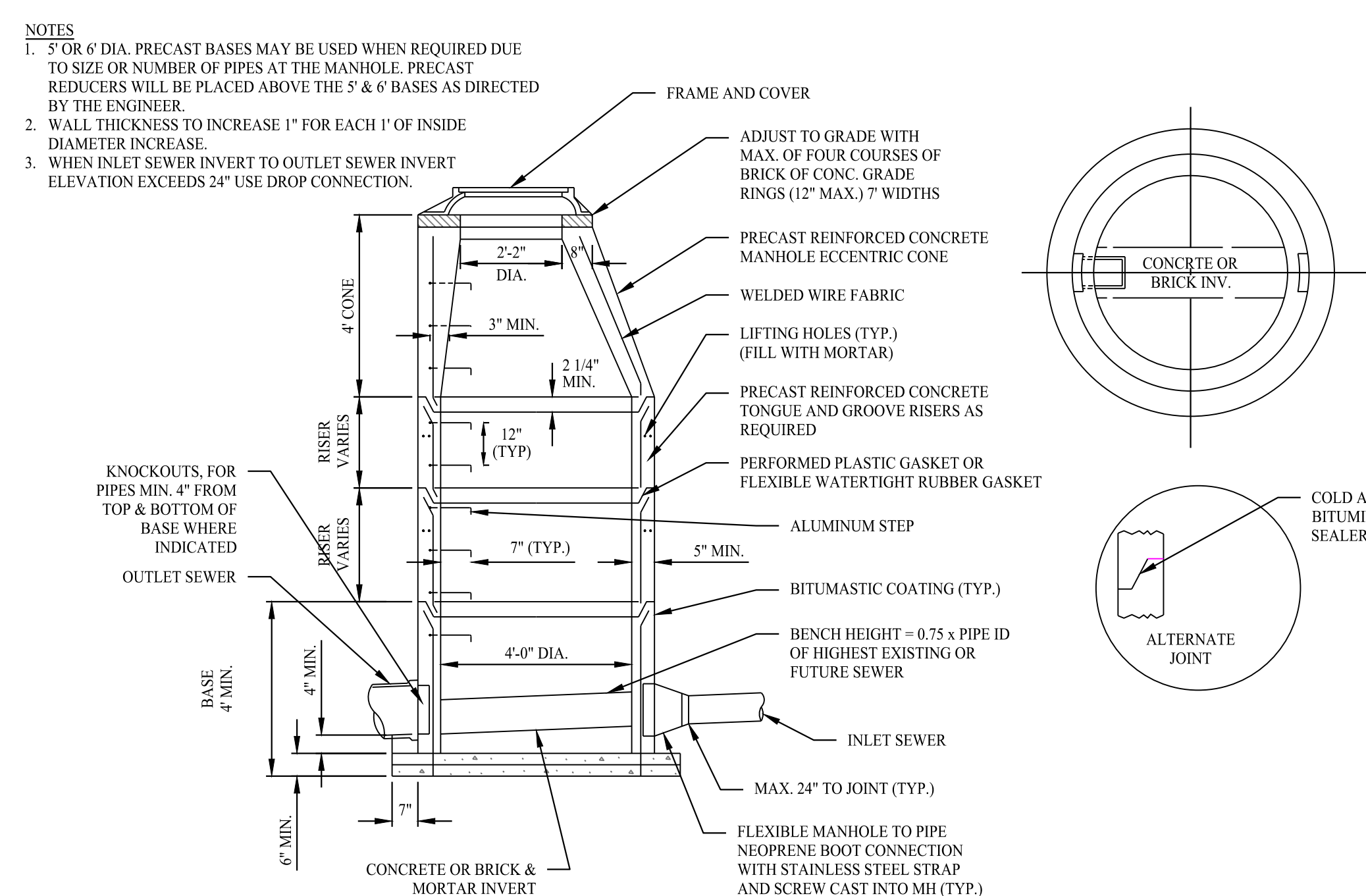
SCALE: N.T.S. DETAIL PROVIDED BY: PENNDOT



AFTER BERM IS INSTALLED, EXCAVATE 4" WIDE TRENCH AT ALL FILL LOCATIONS TO 2" BELOW EXISTING GRADE. FILL WITH IMPERVIOUS FILL ON 12" LIFTS. IMPERVIOUS FILL IS RELATIVELY HOMOGENEOUS SILTY AND CLAYEY SOILS WHICH ARE SUBSTANTIALLY FREE OF DEBRIS, PLANT MATERIALS, ROOTS, FROZEN MATERIALS, ORGANICS, AND PARTICLES OVER 2" MAXIMUM DIMENSIONS. FILL SHALL CONTAIN A MINIMUM OF 35% PASSING (BY WEIGHT) THE NO. 200 SIEVE AND SHALL HAVE A PERMEABILITY OF 1x10<sup>-9</sup> CM/SEC OR LESS WHEN COMPACTED TO 95% OF MAXIMUM DRY DENSITY AT 2% POINTS ABOVE OPTIMUM MOISTURE PER ASTM 1557. ALTERNATIVELY, FILL MAY CONSIST OF A MIXTURE OF TWO PARTS COMMERCIAL BENTONITE CLAY MIXED WITH THE ONE PART SAND.

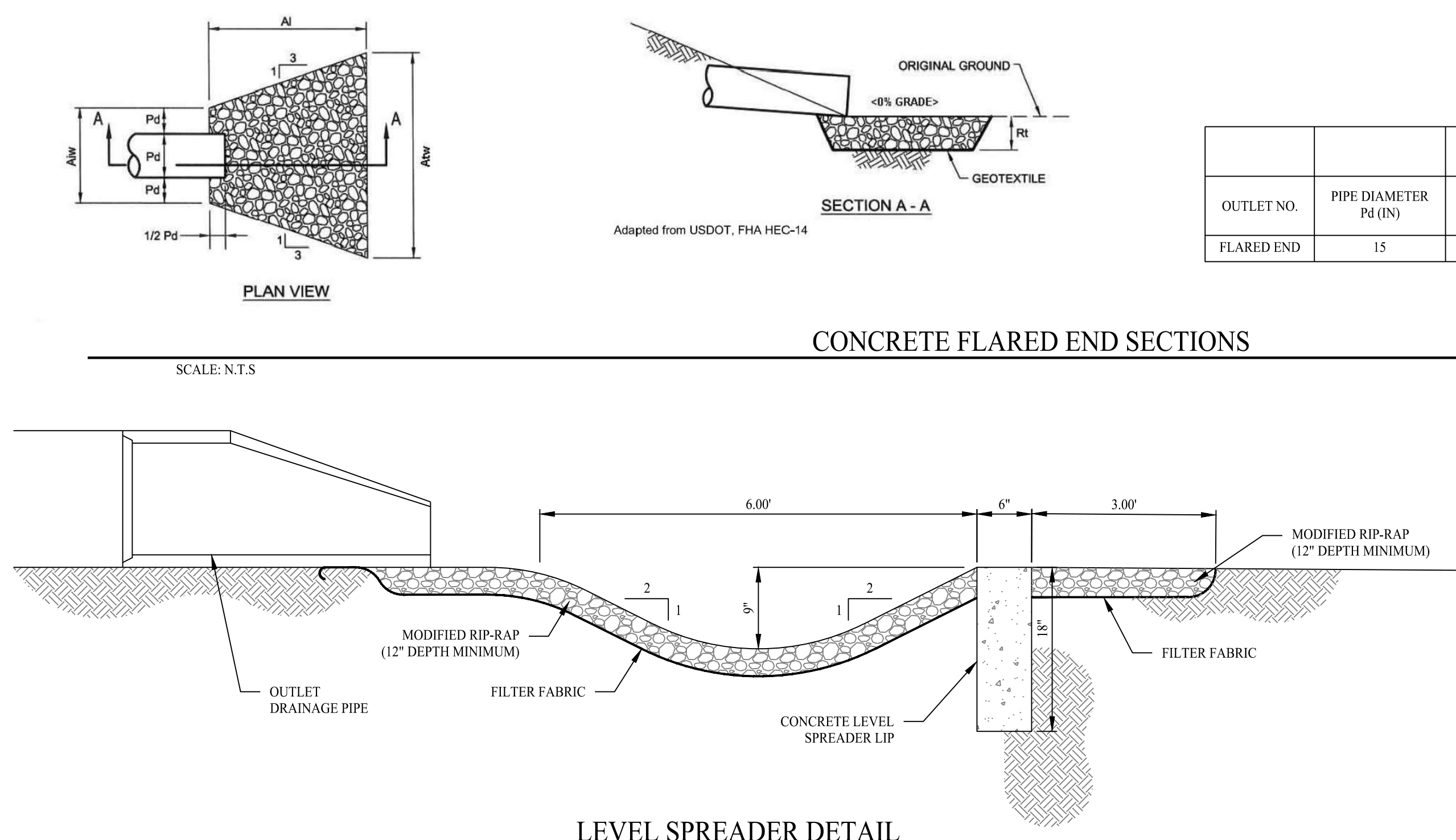
**TYPICAL SPILLWAY IN FILL SECTION**

SCALE: N.T.S.



**PRECAST SANITARY MANHOLE**

SCALE: N.T.S.

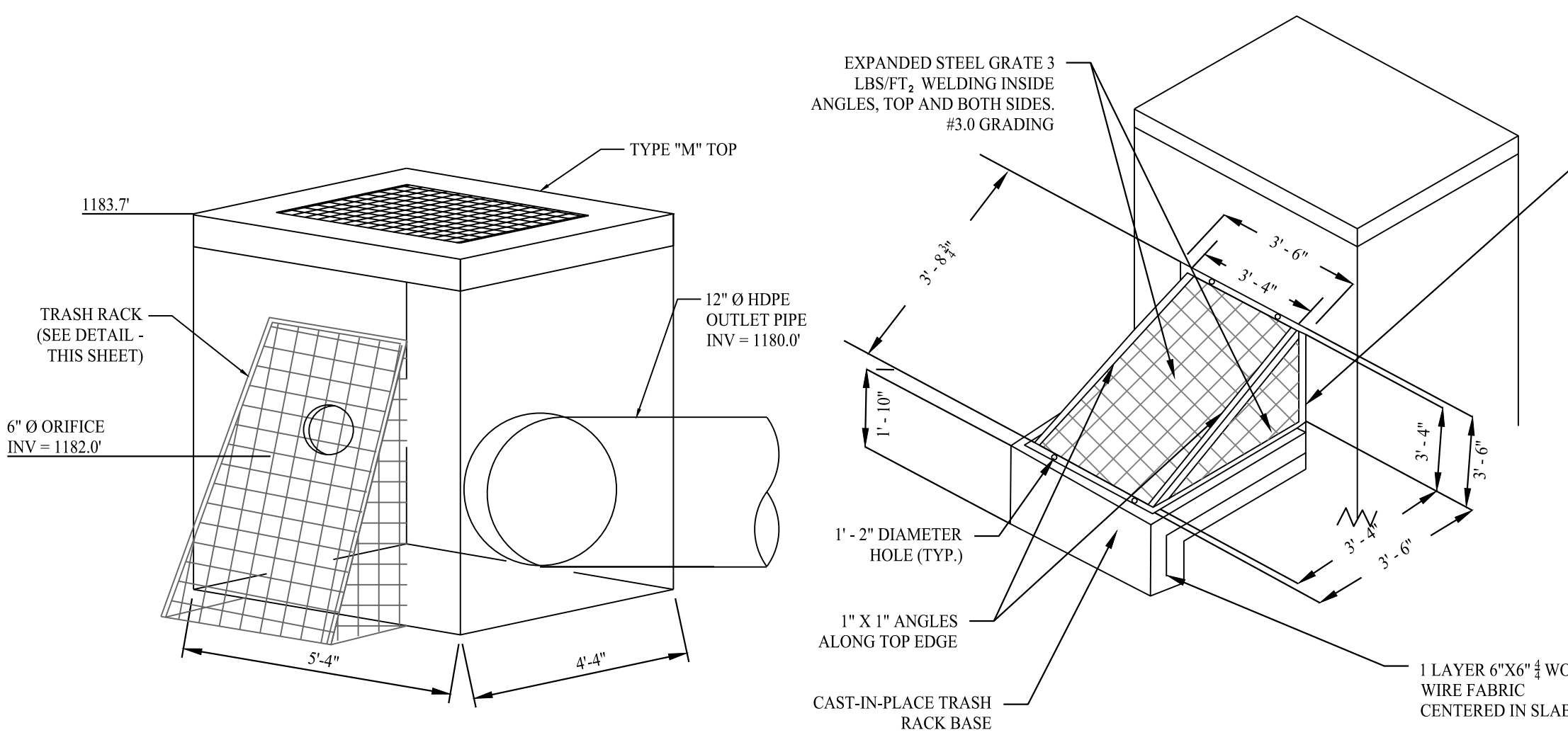


**LEVEL SPREADER DETAIL**

SCALE: N.T.S.

OUTLET NO.	PIPE DIAMETER P4 (IN)	RIPRAP		APRON		
		SIZE (R-)	THICKNESS Rt (IN)	LENGTH A1 (FT)	INITIAL WIDTH A1w (FT)	TERMINAL WIDTH A1w (FT)
FLARED END	15	R-4	1.5	8	3.75	11.75

DETAIL PROVIDED BY: PENNSYLVANIA DEP E&S MANUAL

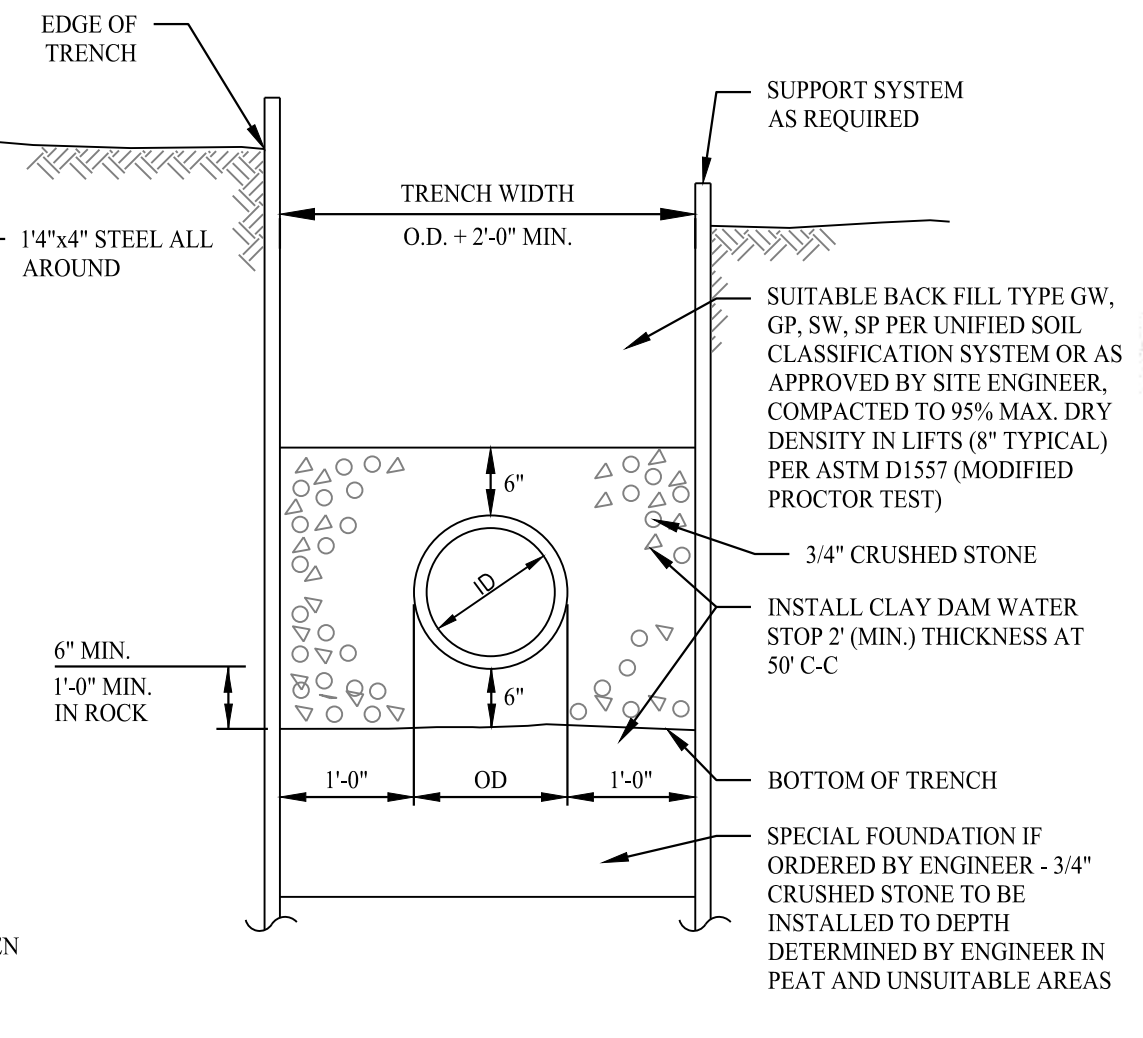


**OUTLET CONTROL STRUCTURE (OCS-1)**

SCALE: N.T.S.

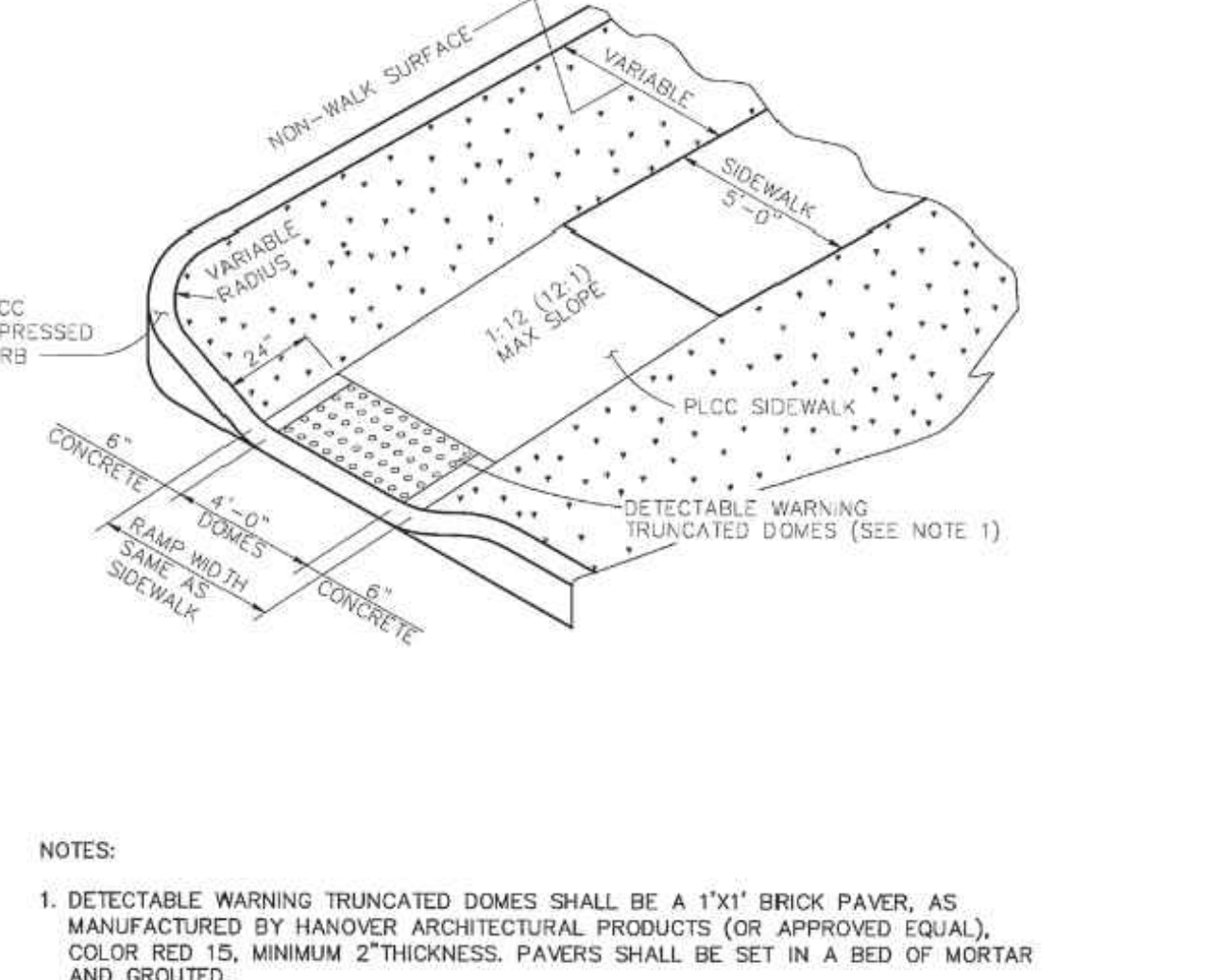
**PRIMARY OUTLET TRASH RACK DETAIL**

SCALE: N.T.S.



**TYPICAL SANITARY SEWER TRENCH SECTION**

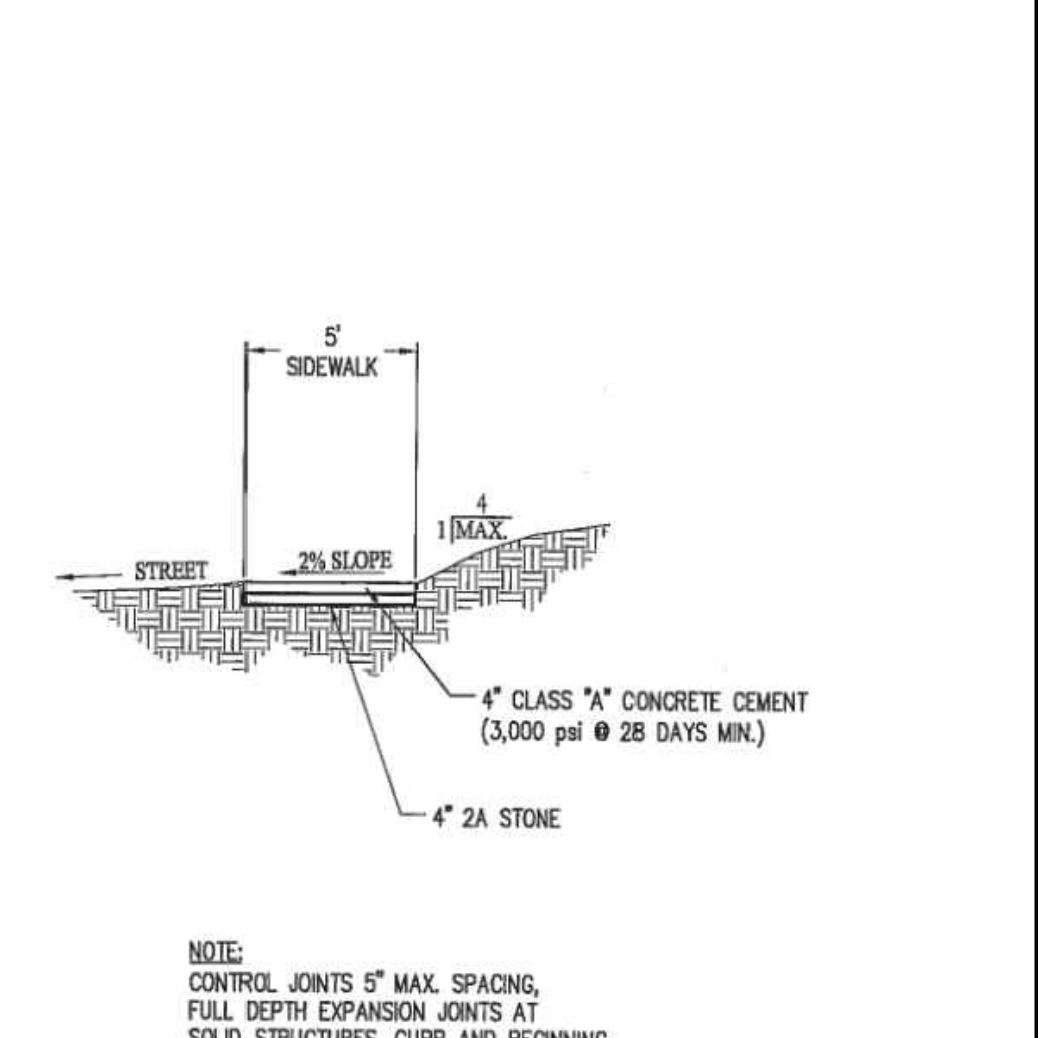
SCALE: N.T.S.



**STANDARD CURB RAMP DETAIL**

SCALE: N.T.S.

DETAIL PROVIDED BY: FERGUSON TOWNSHIP



**STANDARD 5' SIDEWALK DETAIL**

SCALE: N.T.S.

DETAIL PROVIDED BY: FERGUSON TOWNSHIP

Rev. #:	Date	Description

**SOLLI ENGINEERING**  
 501 Main Street, Monroeville, PA 15146  
 11 Vanderbilt Ave, Norwood, MA 02062

Drawn By: JMGM  
 Checked By: RJP  
 Approved By: KMS  
 Project #: 22108901  
 Plan Date: 08/21/23  
 Scale: NTS

Kevin Solli, P.E.  
 PA 083293

**PROPOSED STACK-N-STOR**  
 3610 WEST COLLEGE AVENUE  
 FERGUSON TOWNSHIP,  
 PENNSYLVANIA 16801

Sheet Title: **DETAIL SHEET**  
 Sheet #: **3.03**