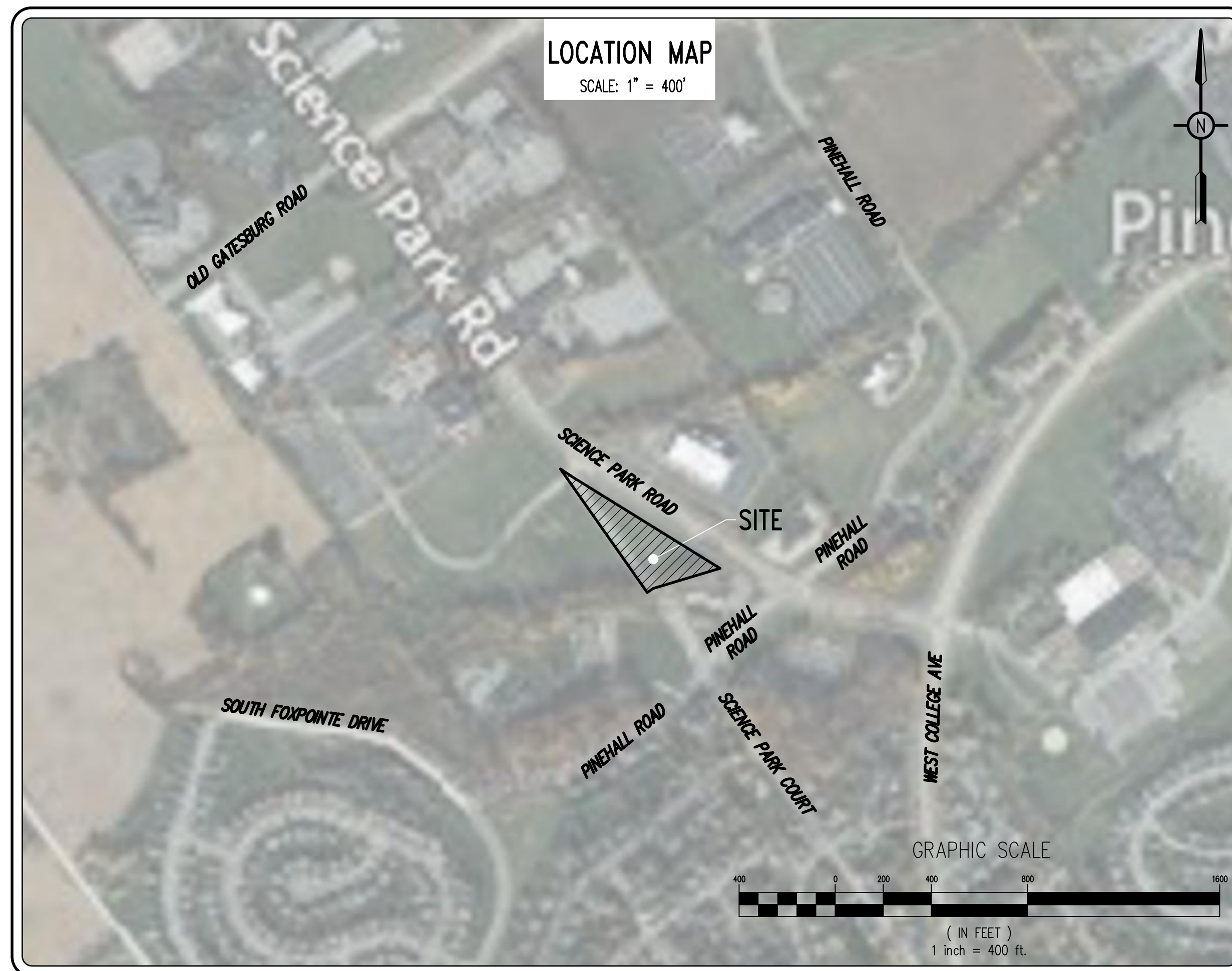


BRICKWORK SELF-STORAGE

PRELIMINARY LAND DEVELOPMENT PLAN

FERGUSON TOWNSHIP * CENTRE COUNTY * PENNSYLVANIA
 MARCH 5, 2024



PennTerra
 ENGINEERING, INC.

3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
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ACT 287 UTILITY INFORMATION:
 (SERIAL NUMBER: 20231591106)

All utility locations should be verified prior to any construction. Utility information and locations should be considered approximate. Contractor shall notify PA One Call prior to any excavation.

COMPANY: WINDSTREAM ADDRESS: 1450 CENTER POINT RD HIAWATHA, IA 52233 CONTACT: LOCATE DESK PERSONNEL EMAIL: LOCATE.DESK@WINDSTREAM.COM PHONE: 800-289-1901	COMPANY: COLUMBIA GAS OF PA INC ADDRESS: 1600 DUBLIN RD COLUMBUS, OH, 43215 CONTACT: LISA COLLINS EMAIL: LDUGAN@NCSOURCE.COM PHONE: 614-325-5961
COMPANY: COMCAST CABLE COMMUNICATIONS ADDRESS: 13085 HAMILTON CROSSING BLVD STE 200 CARMEL, IN, 46032 CONTACT: USC OFFICE PERSONNEL EMAIL: ONECALL5+PA-POCS@SMTPICKETS.COM PHONE: 800-762-0592 EXT. 3	COMPANY: VERIZON PENNSYLVANIA LLC ADDRESS: 1026 HAY ST PITTSBURGH, PA, 15221 CONTACT: DEBORAH BARUM EMAIL: DEBORAH.D.DELIA@VERIZON.COM PHONE: 412-344-3901
COMPANY: FERGUSON TOWNSHIP ADDRESS: 3147 RESEARCH DR STATE COLLEGE, PA, 16801 CONTACT: CHRIS LEIDY EMAIL: CLEIDY@TWP.FERGUSON.PA.US PHONE: 814-238-4651 EXT. 7025	COMPANY: ZAYO ADDRESS: 2804 DERBY DR POWELL, OH, 43065-1119 CONTACT: DANA COSTA EMAIL: DANA.COSTA@ZAYO.COM PHONE: 513-254-4348
COMPANY: FIRSTENERGY CORPORATION ADDRESS: 21 S MAIN ST AKRON, OH, 44308 CONTACT: MELLYSSA ADAMS EMAIL: MADAMS@FIRSTENERGYCORP.COM PHONE: 330-604-4073	COMPANY: PENN STATE UNIVERSITY ADDRESS: 110 UNIVERSITY SUPPORT BLDG 2 UNIVERSITY PARK, PA, 16802 CONTACT: RANDY KIBE EMAIL: RSK17@PSU.EDU PHONE: 814-867-4611
COMPANY: PENN STATE UNIVERSITY WASTEWATER TREATMENT PLANT ADDRESS: 501 UNIVERSITY DR STATE COLLEGE, PA, 16801 CONTACT: JEFF MCDONALD EMAIL: JAM66@PSU.EDU PHONE: 814-863-7701	COMPANY: STATE COLLEGE BOROUGH WATER AUTHORITY ADDRESS: 1201 W BRANCH RD STATE COLLEGE, PA, 16801 CONTACT: AUSTIN SHETTLER EMAIL: ASHETTLER@SCBWA.ORG PHONE: 814-238-6766 EXT. 119
COMPANY: UNIVERSITY AREA JOINT AUTHORITY ADDRESS: 1576 SPRING VALLEY ROAD STATE COLLEGE, PA, 16801 CONTACT: DAREN BROWN EMAIL: DBROWN@UJAJA.ORG PHONE: 814-238-5361 EXT. 7715	

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 NON-MEMBERS MUST BE CONTACTED DIRECTLY

GENERAL SITE DEMOLITION NOTES:

- The Contractor is responsible for obtaining all local and state permits required for demolition work unless other arrangements are coordinated with the owner.
- The Contractor shall indemnify and hold harmless the Owner and/or architect and engineer for any and all injuries and/or damages to personnel, equipment and/or existing facilities in the demolition and construction described in the plans and specifications.
- Existing conditions as depicted on these plans are general and illustrative in nature and do not include mechanical, electrical and miscellaneous structures. It is the responsibility of the Contractor to examine the site and be familiar with existing conditions prior to bidding on the demolition work for this project. If conditions encountered during examination are significantly different than those shown, the Contractor shall notify the architect and engineer immediately.
- All existing utilities are to remain operational at all times.
- Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify PA One Call 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
- All demolition waste and construction debris shall be removed by the Contractor and disposed of in a state approved waste site and in accordance with all local and state codes and permit requirements.
- The burning of cleared material and debris shall not be allowed without approval from the owner, appropriate governing agency, and per the NPDES permit.
- Erosion and sedimentation control measures around areas of demolition shall be installed prior to initiation of demolition activities. Refer to plan and details for site specific information including tree protection details, if necessary.
- Asbestos or hazardous materials, if found on site, shall be removed by a licensed hazardous materials Contractor. Contractor shall notify Owner immediately if hazardous materials are encountered.
- Contractor shall protect all corner pins, monuments, property corners, and benchmarks during demolition activities. If disturbed, the Contractor shall have disturbed items reset by a licensed surveyor at no additional cost to the Owner.
- Contractor shall adhere to all local, state, federal, and OSHA regulations operating demolition equipment around utilities.
- Contractor shall provide and maintain traffic control measures in accordance with the PennDOT standards, and as required by local agencies working in and/or along streets, roads, highways, etc. It shall be the Contractor's responsibility to obtain approval and coordinate with local and/or state agencies regarding the need, extent, and limitations associated with installing and maintaining traffic control measures.
- Contractor shall protect at all times adjacent structures and items from damage due to demolition activities.
- Contractor shall coordinate existing facilities utility disconnects with the Owner prior to anticipated demolition of structures.
- Contractor shall refer to Stormwater Management Site Plan, Architectural, and MEP plans for other pertinent information where applicable.
- Contractor shall replace or repair to the Owner's satisfaction all curb, utilities, sidewalks, landscaping, etc. damaged during construction that are not indicated to be removed.
- Contractor shall be responsible for all costs and work required to adjust existing and proposed utilities and appurtenances to finish grades within the limit of work.
- All paving to be removed shall be sawcut to provide a sharp clean edge. Existing pavement shall be removed as required for new curb, walkway, or utility construction.
- Contractor shall verify the location of manholes, inlets, valves, etc. Contractor shall test pit existing utilities as deemed necessary within the limits of construction to determine the exact location and depth as required. Report any discrepancies from that indicated on the plan to the architect and engineer. All existing utilities shall be retained unless marked otherwise, and appurtenances to be adjusted to final grade. Damage to existing conditions and utilities to remain shall be repaired as required to the Owner's satisfaction at the expense of the Contractor.
- Contractor shall coordinate with utilities companies on installation of electrical, phone, gas and cable services.

EXISTING CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C1	50.28'	813.94'	25.15'	S 56° 25' 50" E	50.27'	3° 32' 21"

GEODETIC GPS POINTS

POINT	LATITUDE	LONGITUDE
A	N 40° 46' 30.747"	W 77° 53' 35.199"
B	N 40° 46' 28.444"	W 77° 53' 30.333"
C	N 40° 46' 26.673"	W 77° 53' 26.562"
D	N 40° 46' 25.674"	W 77° 53' 30.496"

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Property Corner Found
- Project Benchmark

EXISTING FEATURES LEGEND

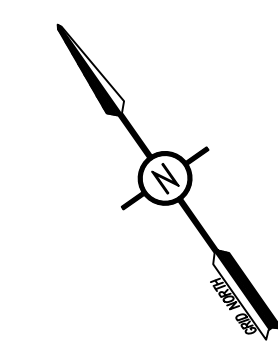
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Bituminous Areas
- Existing Retaining Wall
- Existing Contours w/ Elevation (1's)
- Existing Contours w/ Elevation (5's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Underground Electric
- Existing Overhead Utility Line w/ Pole
- Existing Guy Wire
- Existing Storm Sewer Inlet Type-C
- Existing Sign
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Row
- Existing Rip-Rap Apron
- Test Pit Location
- Existing DWS

DEMOLITION FEATURES LEGEND

- EXISTING BITUMINOUS AREA (TO BE REMOVED)
- EXISTING GATE/FENCE (TO BE REMOVED)

SOILS LEGEND

Soil cover on the site consists of:
 HuB - Hubertburg silt loam, 0% - 3% Slopes
 Ohb - Opequan-Hagerstown complex, 3% - 8% Slopes



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COMMONWEALTH OF PENNSYLVANIA
 REGISTERED PROFESSIONAL ENGINEER
 JOHN C. SEPP
 ENGINEER
 040033-E
 Seal

COMMONWEALTH OF PENNSYLVANIA
 REGISTERED PROFESSIONAL ENGINEER
 NEVIN L. GROVE
 LAND SURVEYOR
 040033-E
 Seal

Designer(s)	BDD
Environmental	MSF
Proj. Manager	MAT
Surveyor	MRK
Perimeter Ck.	
Book	599 Pg. 60
File	23088-PRE-02-EX.COM & DEMO
Layout	EX. COM & DEMO

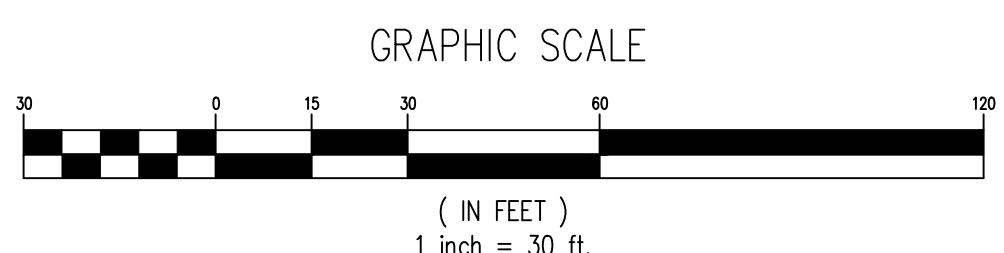
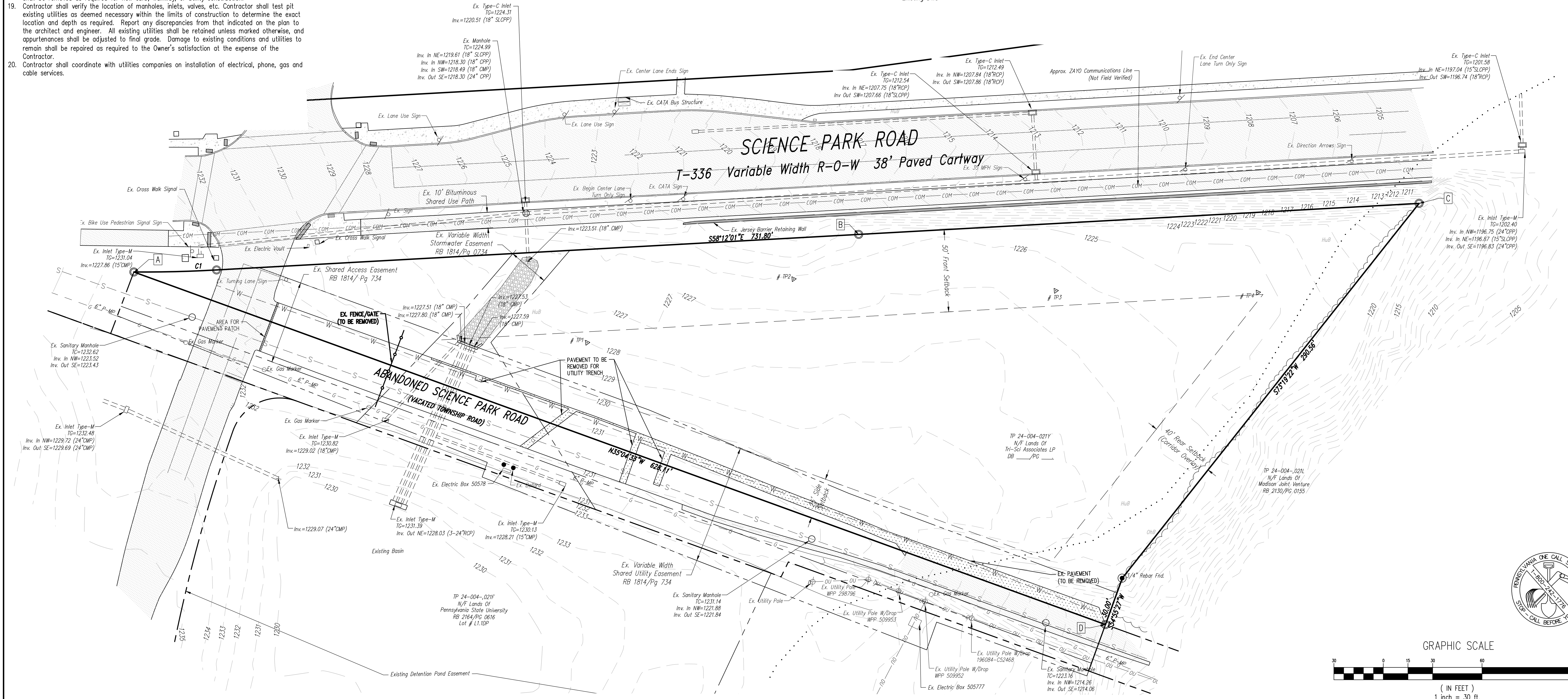
Date	Description
	REVISIONS

BRICKWORK SELF-STORAGE
 FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

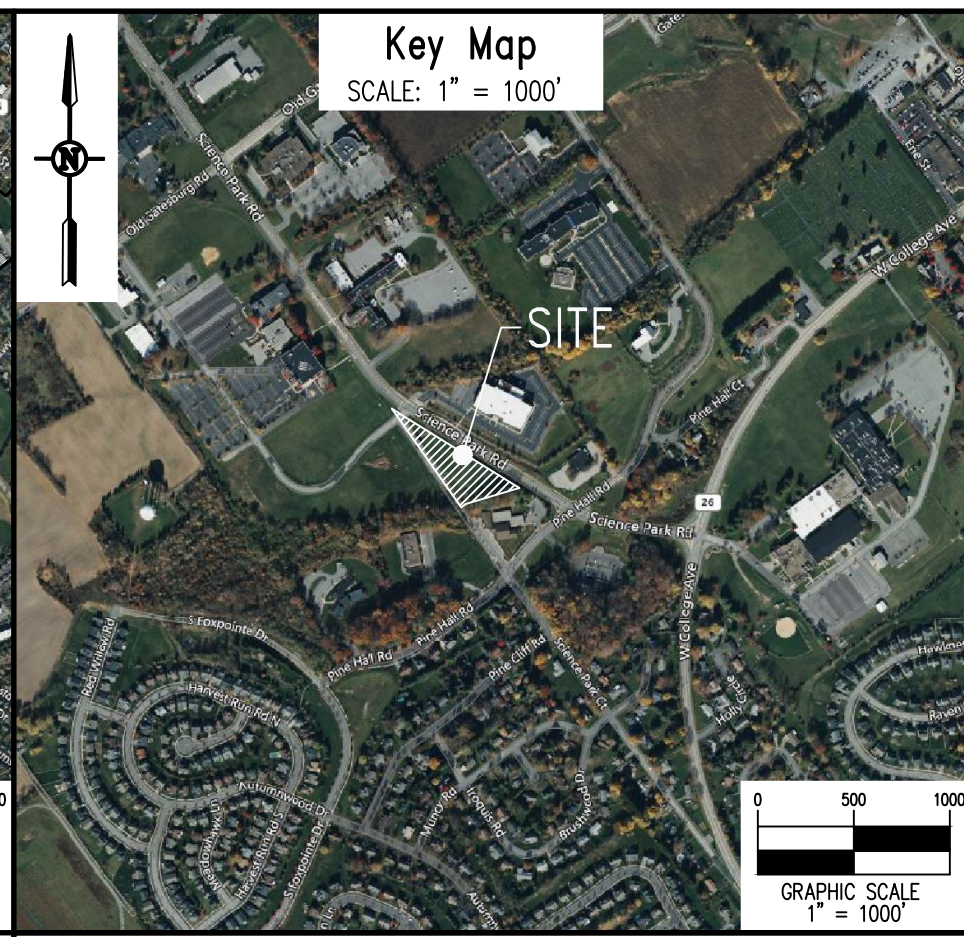
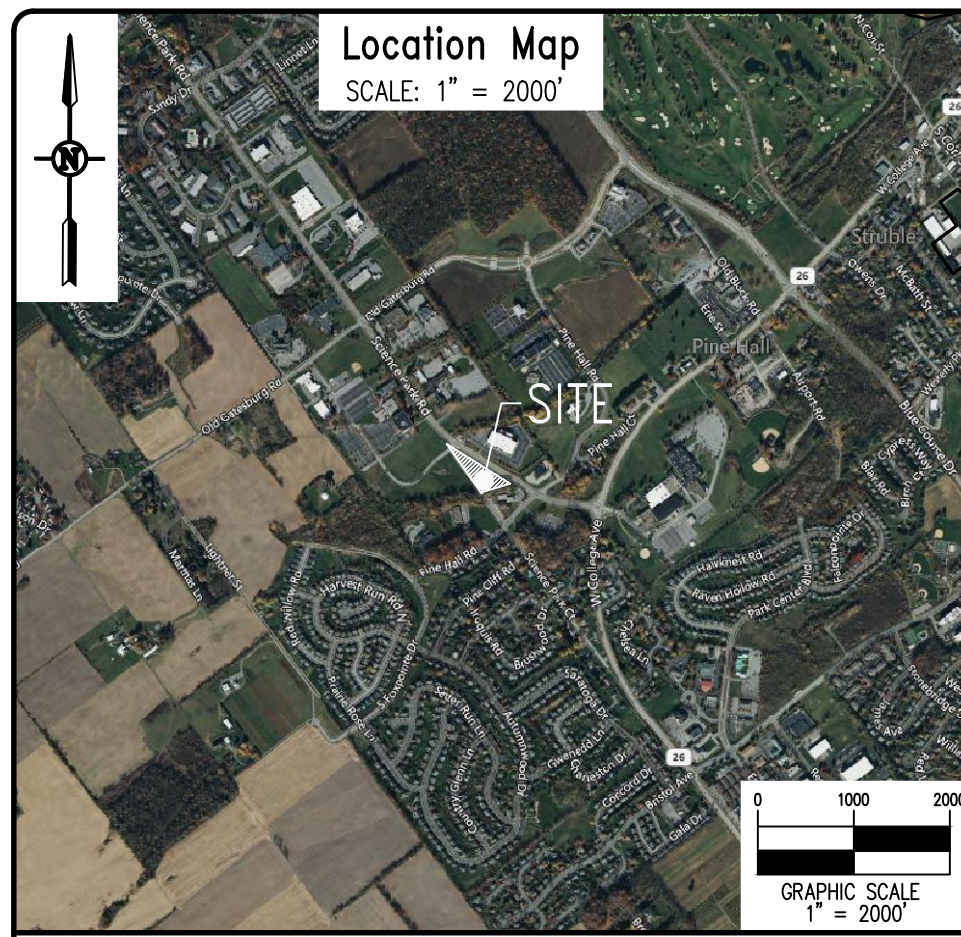
PRELIMINARY LAND DEVELOPMENT PLAN

EXISTING CONDITIONS & DEMOLITION PLAN

PROJECT NO.	23088
DATE	MARCH 5, 2024
SCALE	1" = 30'
SHEET NO.	2



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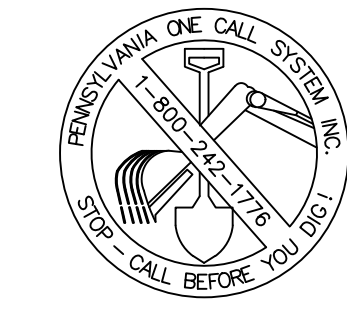
PROJECT NOTES:

- General Site Information:
 - Owner Information: Tri-Sci Associates LP
2040 Sandy Drive, Suite C
State College, PA 16803
 - Tax Parcel Numbers: 24-004-021Y
 - Deed Information: Record Book _____, Page _____
 - Total Parcel Area: 2.159 AC (94,052 SF)
 - Property Address: Science Park Rd
State College, PA 16803
 - Municipality: Ferguson Township
 - Zoning: Light, Industry, Research & Development District (IRD) Within the Corridor Overlay District (COO)
 - Existing Site Use: Vacant
 - Proposed Site Use: Self Storage Facility
 - Minimum Lot Size: 0.460 AC (20,000 SF)
 - Maximum Building Coverage: 30% (28,216 SF)
 - Proposed Building Coverage: 25.5% (24,000 SF)
 - Maximum Building Height: Principle: 45'
Accessory: 40'
42'
 - Proposed Building Height: 42'
 - Existing Impervious: 0.16 AC (6,866 SF)
 - Proposed Impervious: Bituminous Area 0.22 AC (9,551 SF)
Sidewalk 0.05 AC (2,271 SF)
Wall 0.01 AC (645 SF)
Building + 0.55 AC (24,000 SF)
R.O.W. - 0.02 AC (998 SF)
Total: 0.81 AC (35,468 SF) (37.71%)
- Building Setbacks:
 - Zoning (IRD within the COO): Front: 50'
Side: 25'
Rear: 40'
- Automobile Parking Calculations:
 - Required Spaces: 1 space per 50 storage spaces X 568 storage spaces = 11.36 = 12 spaces
1 space per full time equivalent employee X 1 employees = 1 space
Total Spaces Required: 13 spaces
 - Proposed Spaces: 10 spaces
1 Handicap space
11 Total
 - A modification request to reduce the required parking spaces, from 13 to 11 spaces, has been submitted to the Ferguson Township Supervisors for approval.
- Bicycle Parking Calculations:
 - Short-Term: If the new development or major renovation is for a use not listed in the above table, the number of bicycle parking spaces required shall be calculated on the basis of a similar use, as determined by the Township. See §22-5002.a
Required: Outdoor Parking Lot: 11 parking spots X 1 per 20 motor vehicle spaces = 1
1 Short-Term Bicycle Parking Space Required
Provided: 1 Short-Term Bicycle Parking Space
 - Long-Term: 2 Long-Term Parking Spaces Required
Required: 2 Long-Term Parking Spaces Required
Provided: 2 Long-Term Parking Spaces Required
- The purpose of these plans is to propose a three story self storage building and associated infrastructure off Science Park Road. The proposed facility will have 568 units.
- Natural Site Features & Survey Information:
 - Soil limits and descriptions have been taken from the Natural Resources Conservation Service Web Soil Survey.
 - There are no wetlands on the site according to the National Wetland Inventory Mapping (U.S. Fish & Wildlife Service).
 - There are no portions of this site within Flood Plain according to the Federal Emergency Management Agency (FEMA) Map Number 42027C0619F, effective date May 4, 2009.
 - Contours shown are taken from survey data collected in the field by PennTerra Engineering, Inc.
 - Horizontal Datum is Pennsylvania North Zone State Plane Coordinates, North American Datum Of 1983 (PA NAD83) U.S. Feet.
 - Elevation Datum is the North American Vertical Datum Of 1988 (NAVD 88).
 - The Project Benchmark is Ex. Manhole Located Between Science Park Road And TP 21-004-021Y. Elevation = 1224.99'.
- Property monuments and pins shall be set after lot development and landscaping is completed.
- For additional information, refer to:
 - "Final Subdivision Plan of H.R.B. Singer, Inc. Science Park Area 3", prepared by Sweetland Engineering & Associates, Inc., dated August 2, 1978 and recorded at the Centre County Recorder of Deeds in Plot Book 25, Page 5, on October 17, 1978.
 - "Ordinance 817", prepared by Ferguson Township, dated March 17, 2003, and recorded at the Centre County Recorder of Deeds in Record Book 1553, Page 1, on July 2, 2003.
 - "Brickwork Self-Storage Lot Consolidation Plan", prepared by PennTerra Engineering, Inc., dated March 5, 2024 and recorded at the Centre County Recorder of Deeds in Plot Book _____, Page _____.
- Easement Information:
 - All lots may be subject to future easements in favor of utility companies. Any future easements will be reflected in the deed for said lot.
 - A proposed variable width stormwater easement for TP 24-004-021Y for the benefit of the township.
- Lots containing drainage easements shall have no grading, plantings, or structures that will impede the flow of stormwater within the easement.
- As-Built drawings/documentation (including verification of infiltration testing) of the stormwater management facilities must be prepared in accordance with Chapter 26 (§26-402.D.4.) and submitted to Ferguson Township at the completion of construction as a prerequisite of issuance of Occupancy Permit or release of the Surety Bond. A narrative and photographic documentation for critical stages of construction and for the infiltration surface prior to placement of filter fabric/amended soils must be submitted to Ferguson Township. Refer to the Stormwater Management Site Plan set.
- A Stormwater Management Site Plan/PCSM Plan have been prepared for Brickwork Self-Storage, dated March 5, 2024.
- A Soil Erosion & Sedimentation Control Plan have been prepared for Brickwork Self-Storage, dated March 5, 2024.
- A pre-construction conference is required prior to starting work on the stormwater management BMPs.
- Approved Stormwater Management Site Plans must be on site at all times during construction.
- Storage and Use of Chemicals shall be comply with all associated state and federal laws.
- See proposed easements labeled on sheet 4 & 7.
- This record plan conforms with the plan receiving final approval by the Ferguson Township Board of Supervisors on _____, 2024. All improvements are or will be installed in accordance with such plan in a manner and time so specified therein.
- The date of application for a zoning permit is March 5, 2024.
- The proposed building will have built in-fire suppression systems.
- Building appearance requires that the sides and walls of the building visible from all existing or proposed public right of ways be covered with the same materials as is used on the designated front of the building.
- Per Appendix A, Source Water Protection Overlay District Map, dated January 2, 2019, the development site is within the Township-wide Source Water Protection Zone II Overlay District and is not within 10,000 feet of any of the existing public wells shown in the map.
- A Declaration of Stormwater Access & Maintenance Easement Agreement between the owners & Ferguson Township was recorded on _____, 2024 at the Centre County Recorder of Deeds in RB _____, Pg _____.
- There are no existing trees located on the property. An existing tree survey plan is not required.
- A modification request has been submitted to the Ferguson Township Supervisors to relocate a portion of the 15' rear buffer yard so as not to conflict with the proposed Stormwater Management Site Plan.
- All retaining walls shall be designed and sealed by a licensed professional engineer and submitted to Centre Region Code Administration for review and approval prior to commencing with site construction.

ACT 287 UTILITY INFORMATION:
(SERIAL NUMBER: 20231591106)

All utility locations should be verified prior to any construction. Utility information and locations should be considered approximate. Contractor shall notify PA One Call prior to any excavation.

COMPANY: WINDSTREAM ADDRESS: 1450 CENTER POINT RD HIAWATHA, IA 52233 CONTACT: LECATTE DESK PERSONNEL EMAIL: LOCATE.DESK@WINDSTREAM.COM PHONE: 800-289-1901	COMPANY: COLUMBIA GAS OF PA INC ADDRESS: 1600 DUBLIN RD COLUMBUS, OH. 43215 CONTACT: LISA COLLINS EMAIL: LDUGAN@NISOURCE.COM PHONE: 614-325-5961
COMPANY: COMCAST CABLE COMMUNICATIONS ADDRESS: 13085 HAMILTON CROSSING BLVD STE 200 CARMEL, IN. 46032 CONTACT: USIC OFFICE PERSONNEL EMAIL: DEBORAH.D.DELIA@VERIZON.COM ONECALLS+PA-POCS@SMTPICKETS.COM PHONE: 800-762-0592 EXT. 3	COMPANY: VERIZON PENNSYLVANIA LLC ADDRESS: 1026 HAY ST PITTSBURGH, PA. 15221 CONTACT: DEBORAH BARUM EMAIL: DEBORAH.D.DELIA@VERIZON.COM PHONE: 412-344-3901
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Owner's Certification
TP 24-004-021Y

I, _____
State of _____
County of _____

On this the _____ day of _____, 20____,

personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

Owner _____
witness my hand and seal, this date _____

Notary Public _____ Commission Expires _____

Ferguson Township Planning Commission
Ferguson Township Planning Commission Approved

Chair _____ Date _____

Secretary _____ Date _____

Ferguson Township Supervisors
Ferguson Township Supervisors Approved

Chair _____ Date _____

Secretary _____ Date _____

Design Engineer Certification

I, _____, hereby certify that this plan meets all design requirements of the Subdivision and Land Development Ordinance, Zoning Ordinance and all other applicable Chapters of the Ferguson Township Code.

Ferguson Township Zoning Approval

I hereby certify that this plan meets or exceeds all Ferguson Township zoning requirements at the date of signing.

Ferguson Township Zoning Officer _____ Date _____

Professional Land Surveyor Certification

I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

Signature _____ Date _____

Fire Chief Certification

I have reviewed and hereby certify that the location of Fire Lanes and Fire Hydrants shown on this plan are adequate.

Fire Chief _____ Date _____

Township Engineer Certification

I, _____, have reviewed and hereby certify that the plan meets all engineering design standards and criteria of the Ferguson Township Code of Ordinances.

PennTerra ENGINEERING INC.
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
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Seal of the Commonwealth of Pennsylvania, Registered Professional Engineer, John C. Sepp, License No. PA0003-E.

Seal of the Commonwealth of Pennsylvania, Registered Professional Engineer, Nevin L. Grove, License No. PA0003-E.

Designer(s) _____ BDD
Environmental _____ MSF
Proj. Manager _____ MAT
Surveyor _____ MKK
Perimeter Ok _____
Book _____ 599 Pg. _____ 60
File _____ 23088-PRE-03-SIGNATURES & NOTES
Layout _____ SIG&NOTES

Date _____ Description _____
REVISIONS

BRICKWORK SELF-STORAGE
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

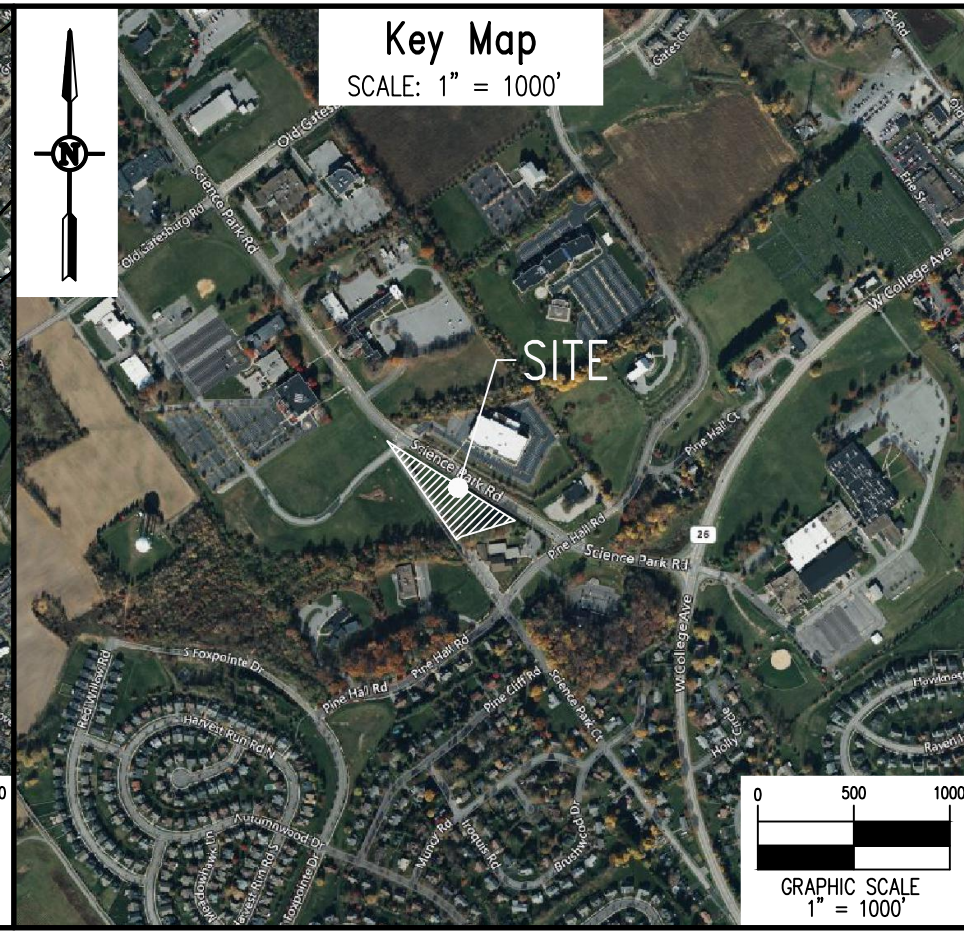
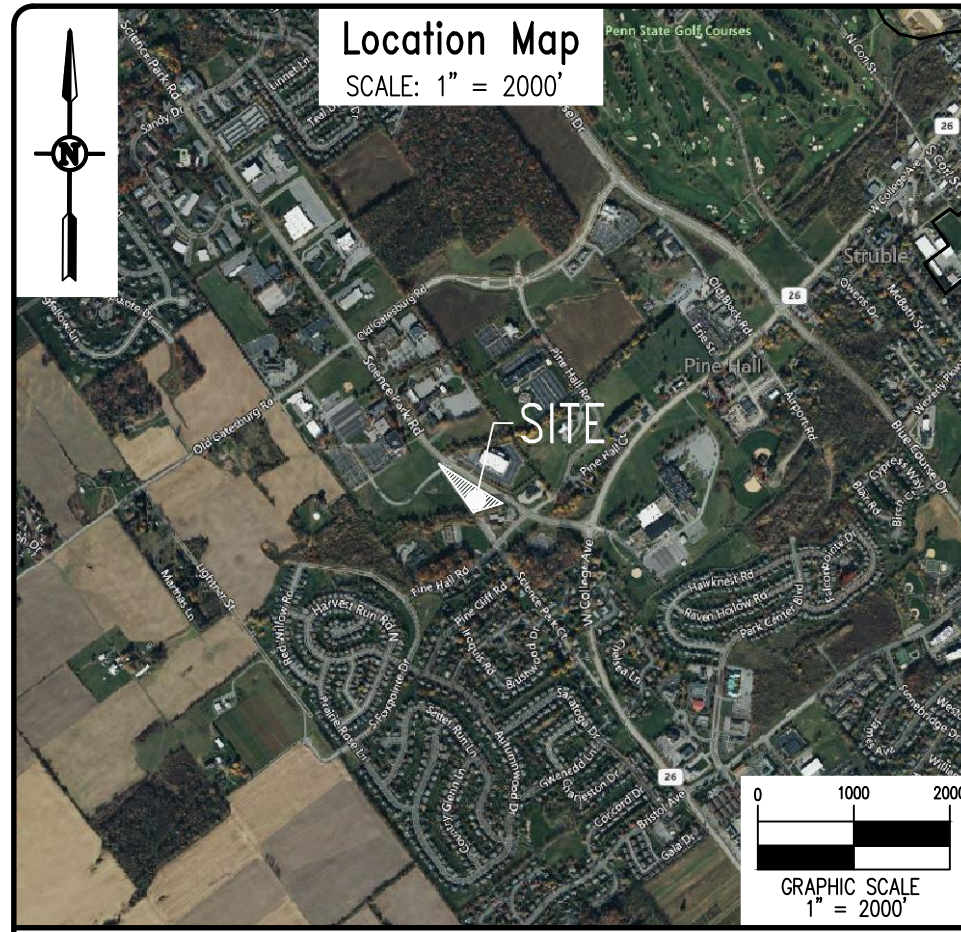
PRELIMINARY LAND DEVELOPMENT PLAN

SIGNATURES & NOTES

PROJECT NO.
23088

DATE
MARCH 5, 2024

SCALE SHEET NO.
N.T.S. **3**



PROPOSED STORMWATER EASEMENT LINE TABLE

LINE	DIRECTION	LENGTH
EL1	S 58° 11' 20" E	458.67'
EL2	S 31° 47' 59" W	14.91'
EL3	S 58° 12' 01" E	6.02'
EL4	S 5° 49' 38" W	15.34'
EL5	S 73° 45' 56" W	11.49'
EL6	S 16° 40' 38" E	15.03'
EL7	S 73° 15' 45" W	127.39'
EL8	N 85° 59' 01" W	42.91'
EL9	S 73° 19' 22" W	32.03'
EL10	N 66° 26' 02" W	113.73'
EL11	N 33° 52' 00" W	184.33'
EL12	N 55° 26' 38" E	20.00'
EL13	S 33° 51' 47" E	178.70'
EL14	S 66° 26' 02" E	100.59'
EL15	N 75° 35' 51" E	46.66'
EL16	N 35° 19' 16" E	33.43'
EL17	N 54° 40' 44" W	300.32'
EL18	N 63° 30' 07" W	53.79'
EL19	S 65° 10' 52" W	28.91'
EL20	N 24° 49' 08" W	20.00'
EL21	N 65° 10' 52" E	26.94'
EL22	N 54° 40' 44" W	11.54'
EL23	N 33° 45' 56" E	12.41'
EL24	N 75° 34' 26" E	25.26'

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- - - - - Adjoining Property Line
- - - - - Building Setback Line
- - - - - Easement Line
- Property Corner Found
- ⊕ Project Benchmark

EXISTING FEATURES LEGEND

- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Bituminous Areas
- Existing Retaining Wall
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
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- Existing Overhead Utility Line w/ Pole
- Existing Guy Wire
- Existing Storm Sewer Inlet Type-C
- Existing Sign
- Existing Tree Row
- Existing Rip-Rap Apron
- △ TP# 3 Test Pit Location
- Existing DWS

PROPOSED FEATURES LEGEND

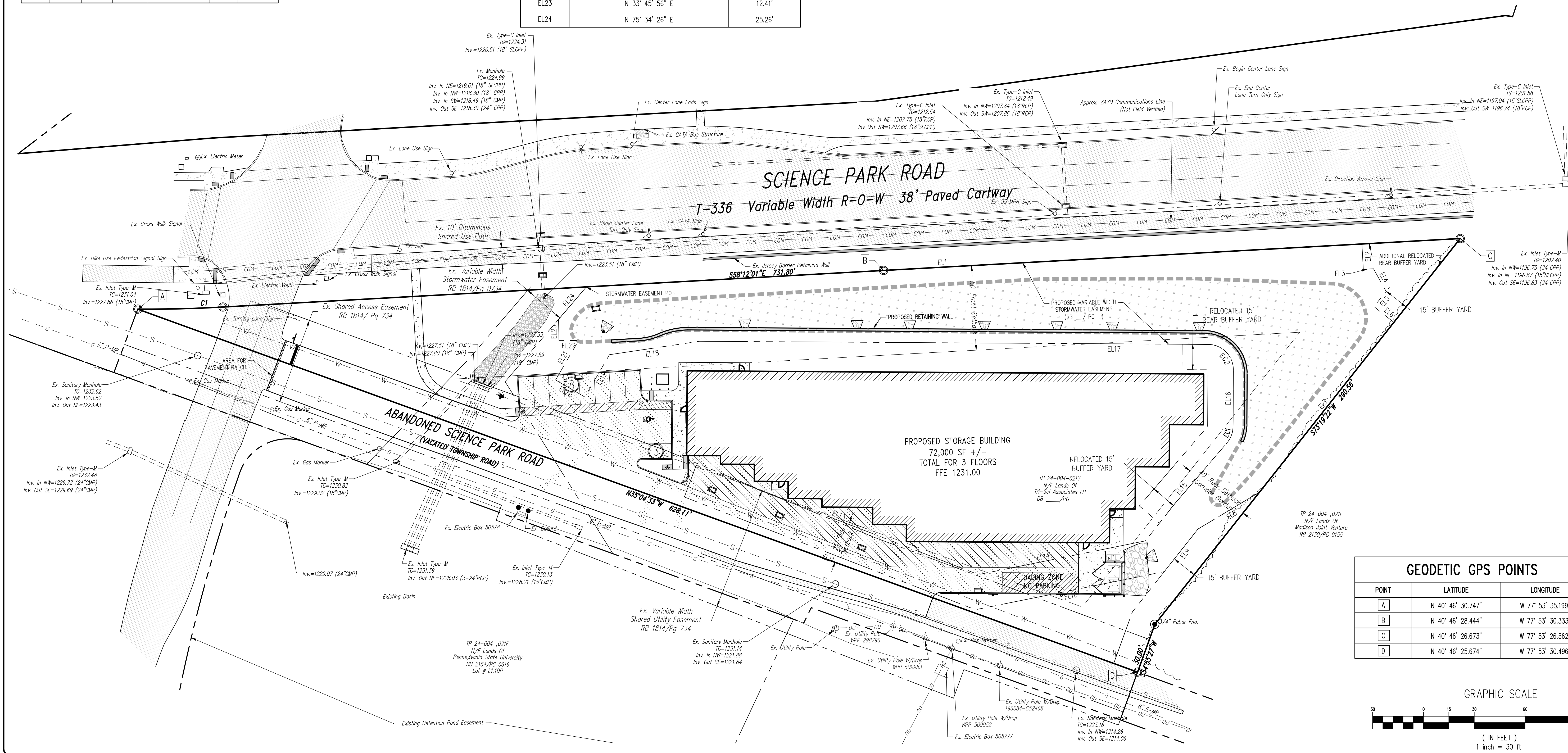
- ▭ PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL
- PROPOSED PARKING STALL COUNT
- PROPOSED DEPRESSED CURB W/ CURB TRANSITION
- PROPOSED ADA RAMP W/ DETECTABLE WARNING SURFACE
- PROPOSED RETAINING WALL
- PROPOSED STORMWATER BASIN/ BEST MANAGEMENT PRACTICE (BMP) FACILITIES
- PROPOSED PAD FOR BICYCLE PARKING (2 BIKES)
- PROPOSED 6" STEEL BOLLARD FILLED W/ CONCRETE
- PROPOSED FIRE HYDRANT

PROPOSED STORMWATER EASEMENT CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
EC1	10.80'	15.00'	5.64'	N 55° 56' 18" E	10.56'	41° 14' 02"
EC2	23.56'	15.00'	15.00'	N 9° 40' 44" W	21.21'	90° 00' 00"

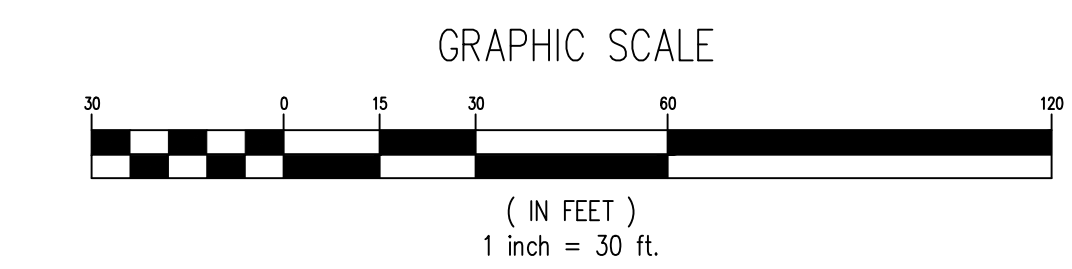
EXISTING CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C1	50.28'	813.94'	25.15'	S 56° 25' 50" E	50.27'	3° 32' 21"



GEODETIC GPS POINTS

POINT	LATITUDE	LONGITUDE
A	N 40° 46' 30.747"	W 77° 53' 35.199"
B	N 40° 46' 28.444"	W 77° 53' 30.333"
C	N 40° 46' 26.673"	W 77° 53' 26.562"
D	N 40° 46' 25.674"	W 77° 53' 30.496"



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 www.PENNTERRA.com

PROFESSIONAL ENGINEER
 JOHN C. SEPP
 LICENSE NO. 34003-E

PROFESSIONAL ENGINEER
 NEVIN L. GROVE
 LICENSE NO. 33003-E

Designer(s) BDD
 Environmental MSF
 Proj. Manager MAT
 Surveyor MRK
 Perimeter Ck. _____
 Book 599 Pg. 60
 File 23088-PRJ-04-00000
 Layout SITE

Date _____ Description _____
 REVISIONS

BRICKWORK SELF-STORAGE
 FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

SITE PLAN

PROJECT NO. **23088**
 DATE **MARCH 5, 2024**
 SCALE **1" = 30'** SHEET NO. **4**

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CONSTRUCTION NOTES:

- Field survey data prepared by PennTerra Engineering, Inc. Contractor shall field verify all information and contact the site Owner or Owner's representative and engineer in the event of a discrepancy.
- The Contractor shall be responsible for examining the areas and conditions under which the project is to be constructed prior to the submission of a bid. Submission of a bid shall be construed to mean the Contractor has reviewed the site and is familiar with conditions and constraints of the site.
- The Contractor shall repair or replace all curb, pavement, utilities, sidewalks, landscaping, etc., within the site damaged during construction that are not indicated to be removed. All repairs or replacements are at the Contractor's expense.
- All paving to be removed shall be sawcut to provide a sharp clean edge. Existing bituminous pavement shall be removed as required for new curb, walkway, or utility construction. Refer to the detail sheets for specific curb type installation. Contractor shall then mill and/or patch bituminous paving and install scratch course as required to meet existing or proposed grades. All new bituminous paving joints shall be sealed with PG64-22.
- The Contractor shall verify elevations of existing paving at new paving connection locations before the paving subbase installation and report any discrepancies that will affect the drainage of the areas to the Owner's representative and engineer.
- The Contractor shall maintain one set of contract documents on site to be utilized for record documents. Field records of the depth and locations of all underground service utilities (water, sanitary sewer, storm drains, primary and secondary electric, gas, and cable television) shall be added to the record set by the Contractor as well as all field revisions and adjustments. The Contractor shall refer to the architectural plans for the exact location of utility entrances, building dimensions, roof leaders exit doors, exit ramps, and porches. All site work shall be done in accordance with the plans prepared by PennTerra Engineering, the current regulations of the governing municipality, and all other pertinent federal, state & local laws. Any conflicts between the architectural plans and site plans shall be reported immediately to the Owner's representative.
- The Contractor shall comply at all times with applicable federal, state and local laws, provisions, and policies governing safety and health, including the Federal Construction Safety Act (Public Law 91-54), Federal Register, Chapter XVII, Part 1926 of Title 29 regulations, occupational safety and health regulations for construction, and subsequent publications updating these regulations.
- All site work shall be done in accordance with the plans prepared by PennTerra Engineering Inc., the current requirements of the Ferguson Township, Centre County, the applicable sections of the PennDOT Standard Specifications for Roadway Construction, and all other pertinent federal and state laws.
- The storage or removal of excess topsoil shall be coordinated with the owner or owner's representative.

PROPOSED FEATURES LEGEND

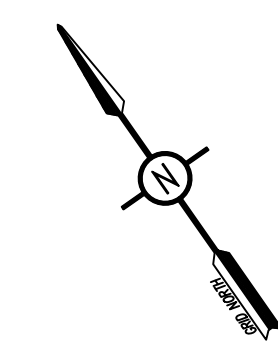
	PROPOSED BUILDING
	PROPOSED CURBING & EDGE OF PAVEMENT
	PROPOSED CONCRETE AREAS
	PROPOSED BITUMINOUS PAVEMENT AREAS
	PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
	PROPOSED PAINTED HANDICAPPED PARKING SYMBOL
	PROPOSED PARKING STALL COUNT
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	PROPOSED ADA RAMP W/ DETECTABLE WARNING SURFACE
	PROPOSED RETAINING WALL
	PROPOSED STORMWATER BASIN/ BEST MANAGEMENT PRACTICE (BMP) FACILITIES
	PROPOSED MILL & OVERLAY AREA
	PROPOSED PAD FOR BICYCLE PARKING (2 BIKES)
	PROPOSED 6" STEEL BOLLARD FILLED W/ CONCRETE

SURVEY FEATURES LEGEND

	Property Line, Lot Line or Right of Way Line
	Adjoining Property Line
	Building Setback Line
	Easement Line
	Property Corner Found
	Project Benchmark

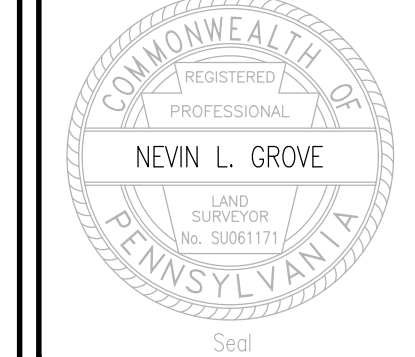
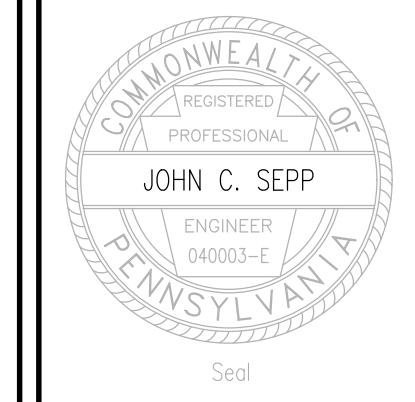
EXISTING FEATURES LEGEND

	Existing Curbing & Edge of Pavement
	Existing Concrete Areas
	Existing Bituminous Areas
	Existing Retaining Wall
	Existing Sign
	Existing Tree Row
	Existing Rip-Rap Apron
	Existing DWS



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Designer(s)	BDD
Environmental	MSF
Proj. Manager	MAT
Surveyor	MRK
Perimeter Ok.	
Book	599 Pg. 60
File	23088-PRC-05-GEOMETRY
Layout	GEOMETRY

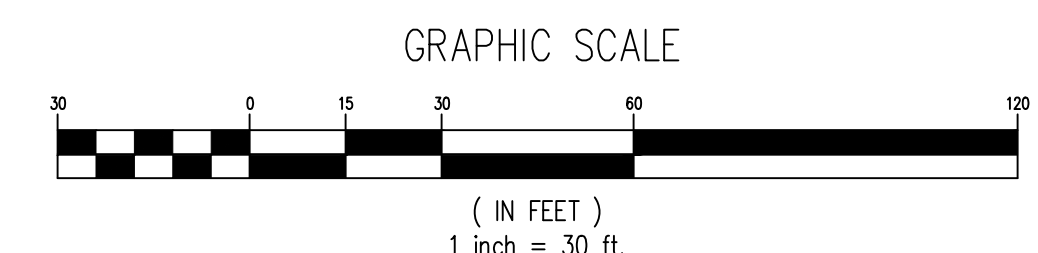
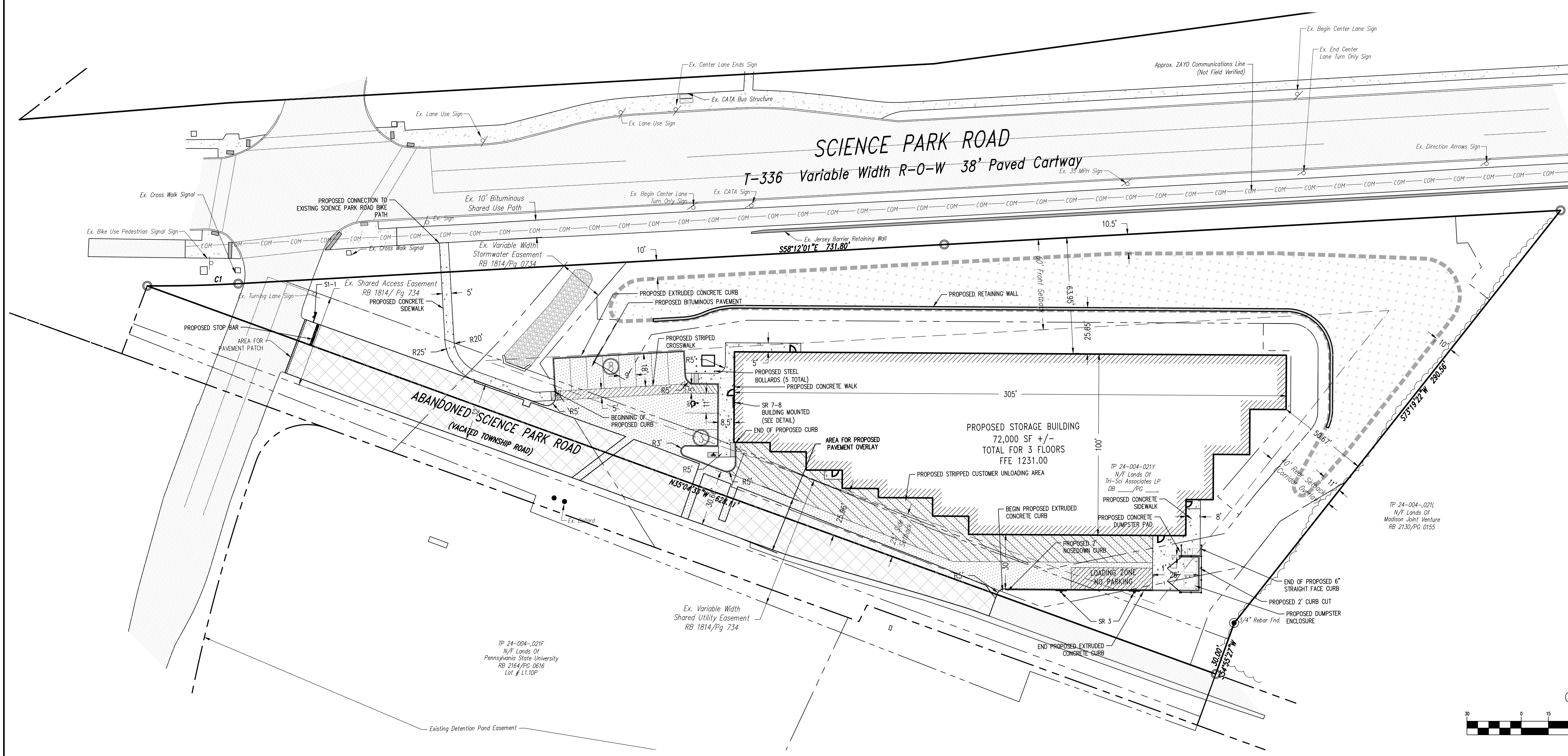
Date	Description
	REVISIONS

BRICKWORK SELF-STORAGE
 FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

GEOMETRY & MATERIALS PLAN

PROJECT NO.	23088
DATE	MARCH 5, 2024
SCALE	1" = 30'
SHEET NO.	5



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GRADING NOTES:

- The project benchmark is ex. manhole located between Science Park Road and TP 21-004-021Y. Elev. = 1224.99.
- All existing trees, vegetation, pavements shall be stripped and removed from new construction areas unless noted otherwise.
- All areas not paved shall be sodded, topsoiled, seeded, mulched or landscaped unless otherwise noted in the construction drawings, site specifications or instructed by the Owner.
- Contractor shall refer to the geotechnical report prior to initiation of any earthwork activity.
- The maximum slope within all the handicapped parking spaces shall be 2.00% in any direction.
- The maximum slope for all on-site sidewalks shall be 4.90% with a maximum cross slope of 2.00% and curb ramps shall have a maximum slope of 8.30%.
- Proposed spot elevations are to the bottom of the curb unless noted otherwise.
- The Contractor shall notify the assigned inspection agency before any retaining wall construction. Retaining walls shall be constructed per the project specification approved building permit and certified by the assigned inspection agency.
- All fill material brought on to the job by the Contractor must comply with all applicable D.E.P. regulations regarding clean fill.
- All areas disturbed during construction, not designated to receive paving or mulch, shall be fine graded, topsoiled, & seeded unless otherwise noted in the construction drawings, site specifications or instructed by the Owner.
- The Contractor shall notify the Owner's testing agency before any placement and compaction of fills on the site. Fill areas shall be prepared and compacted per the project specifications and certified by the Owner's testing agency. Contractor shall be responsible for removal, retesting, and replacement of fills not meeting the specifications. The Contractor is also responsible for all expenses associated with replacement of fills not meeting the specifications.
- The Contractor shall notify the assigned inspection agency before any retaining wall construction. Retaining walls shall be constructed per the project specification approved building permit and certified by the assigned inspection agency.
- Refer to the approved Stormwater Management Site Plan for basin grades and elevations.

SOILS LEGEND

Soil cover on the site consists of:
 HuB - Huberburg silt loam, 0%-3% Slopes
 Ohb - Opequon-Hagerstown complex, 3%-8% Slopes

SURVEY FEATURES LEGEND

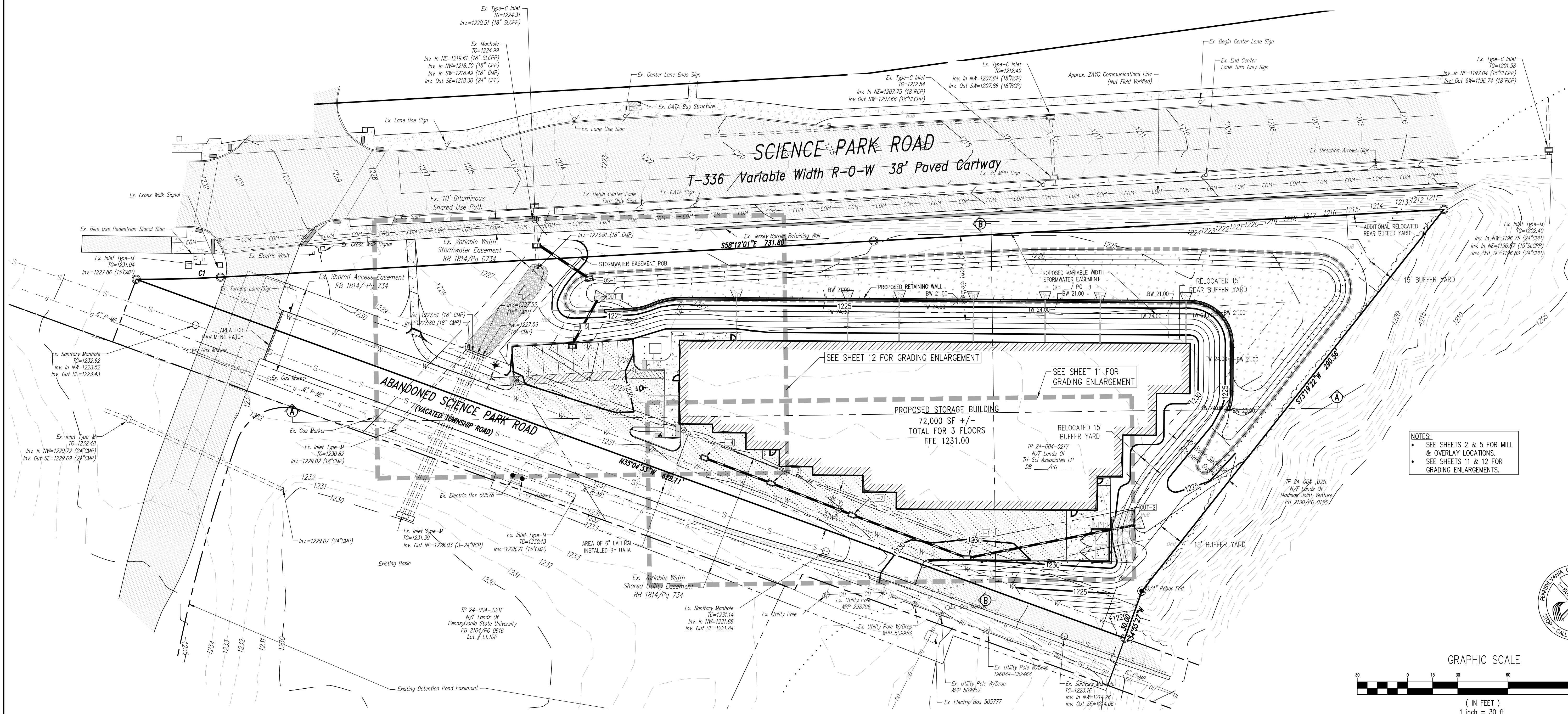
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- Adjoining Property Line
- Building Setback Line
- Easement Line
- Property Corner Found
- Project Benchmark

EXISTING FEATURES LEGEND

- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Bituminous Areas
- Existing Retaining Wall
- Existing Contours w/ Elevation (1's)
- Existing Contours w/ Elevation (5's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Underground Electric
- Existing Underground Communication
- Existing Overhead Utility Line w/ Pole
- Existing Guy Wire
- Existing Storm Sewer Inlet Type-C
- Existing Sign
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Row
- Existing Rip-Rap Apron
- Existing DWS

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE AREAS
- PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL
- PROPOSED PARKING STALL COUNT
- PROPOSED DEPRESSED CURB W/ CURB TRANSITION
- PROPOSED ADA RAMP W/ DETECTABLE WARNING SURFACE
- PROPOSED 6" STORM SEWER ROOF DRAIN
- PROPOSED STORM SEWER W/ TYPE C INLET
- PROPOSED STORM SEWER INLET - TYPE M
- PROPOSED 6" PVC SANITARY SEWER LATERAL W/ CLEAN OUT
- PROPOSED WATER LINE TEE
- PROPOSED 8" WATER LINE W/ VALVE
- PROPOSED 6" WATER LINE
- PROPOSED RETAINING WALL
- PROPOSED STORMWATER BASIN/ BEST MANAGEMENT PRACTICE (BMP) FACILITIES
- PROPOSED PAD FOR BICYCLE PARKING (2 BIKES)
- PROPOSED 6" STEEL BOLLARD FILLED W/ CONCRETE
- PROPOSED FIRE HYDRANT
- PROPOSED STORMWATER STRUCTURE LABEL



NOTES:

- SEE SHEETS 2 & 5 FOR MILL & OVERLAY LOCATIONS.
- SEE SHEETS 11 & 12 FOR GRADING ENLARGEMENTS.

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COMMONWEALTH OF PENNSYLVANIA
 REGISTERED PROFESSIONAL ENGINEER
 JOHN C. SEPP
 ENGINEER 040033-E

Designer(s)	BDD
Environmental	MSF
Proj. Manager	MAT
Surveyor	MRK
Perimeter Ck.	
Book	599 Pg. 60
File	13088-PRE-06-24080
Layout	GRADING

Date	Description
	REVISIONS

BRICKWORK SELF-STORAGE
 FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

GRADING & STORMWATER MANAGEMENT PLAN

PROJECT NO.
 23088
 DATE
 MARCH 5, 2024
 SCALE SHEET NO.
 1" = 30' 6

UTILITY NOTES:

- Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify PA One call at 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
- It is the responsibility of the Contractor to bid and perform all utility work in compliance with applicable local and state codes and regulations. The Contractor shall be responsible for all fees associated with the installation, testing and final acceptance of all proposed utilities construction unless other arrangements have been made with the owner.
- Contractor shall be responsible for all fees associated with the installation, inspection, testing and final acceptance of all proposed utility construction.
- Contractor shall coordinate with the appropriate utility company on the addition and/or relocation of utilities and utility poles and the extension of all proposed utilities to the proposed facilities.
- All utilities shall be installed in accordance with the specifications of the respective utility company. It is the responsibility of the Contractor to ensure all utilities are installed correctly to meet project requirements whether performed by the Contractor or not.
- Contractor shall verify all utility service connections at the proposed building with the architectural/mechanical/plumbing/electrical plans.
- An as-built drawing of new utility services shall be prepared by the Contractor and submitted to the Owner upon completion of the project.
- All sanitary sewer & water lines shall have 48" minimum coverage.
- All private water main & lateral service construction shall be in accordance with the water authority's standards and specifications.
- All sanitary sewer service laterals shall be in accordance with the sanitary sewer authority's standards and specifications. PVC pipe material shall be as shown on plan.
- An as-built drawing of new utility services must be prepared by the Contractor and submitted to the Owner upon completion of the project.
- The Contractor shall be responsible for all costs and work required to adjust existing and proposed utilities and appurtenances to finished grades within the limits of work.
- The Contractor shall be responsible for coordination with utility companies on location/removal and/or replacement of electrical, phone, gas, sanitary, water, and cable services.
- Refer to the approved Stormwater Management Site Plans for information regarding the proposed storm drainage management design.

UNIVERSITY AREA JOINT AUTHORITY:

Sanitary sewer laterals & clean-outs beyond UAJA's utility easement shall be PVC schedule 40 in accordance with UAJA specifications. Sanitary sewer laterals within the utility easement shall be PVC SDR-35.

Contractor shall coordinate depths of non-gravity utility lines, gravity line inverts & other non-gravity lines to obtain adequate depths, clearances, & coverage.

The Contractor shall refer to the architectural plans for the exact location of utility entrances, building dimensions, roof leaders exit doors, exit ramps, and porches. All site work shall be done in accordance with the plans prepared by PennTerra Engineering, the current regulations of the governing municipality, and all other pertinent federal, state & local laws. Any conflicts between the architectural plans and site plans shall be reported immediately to the Owner's representative.

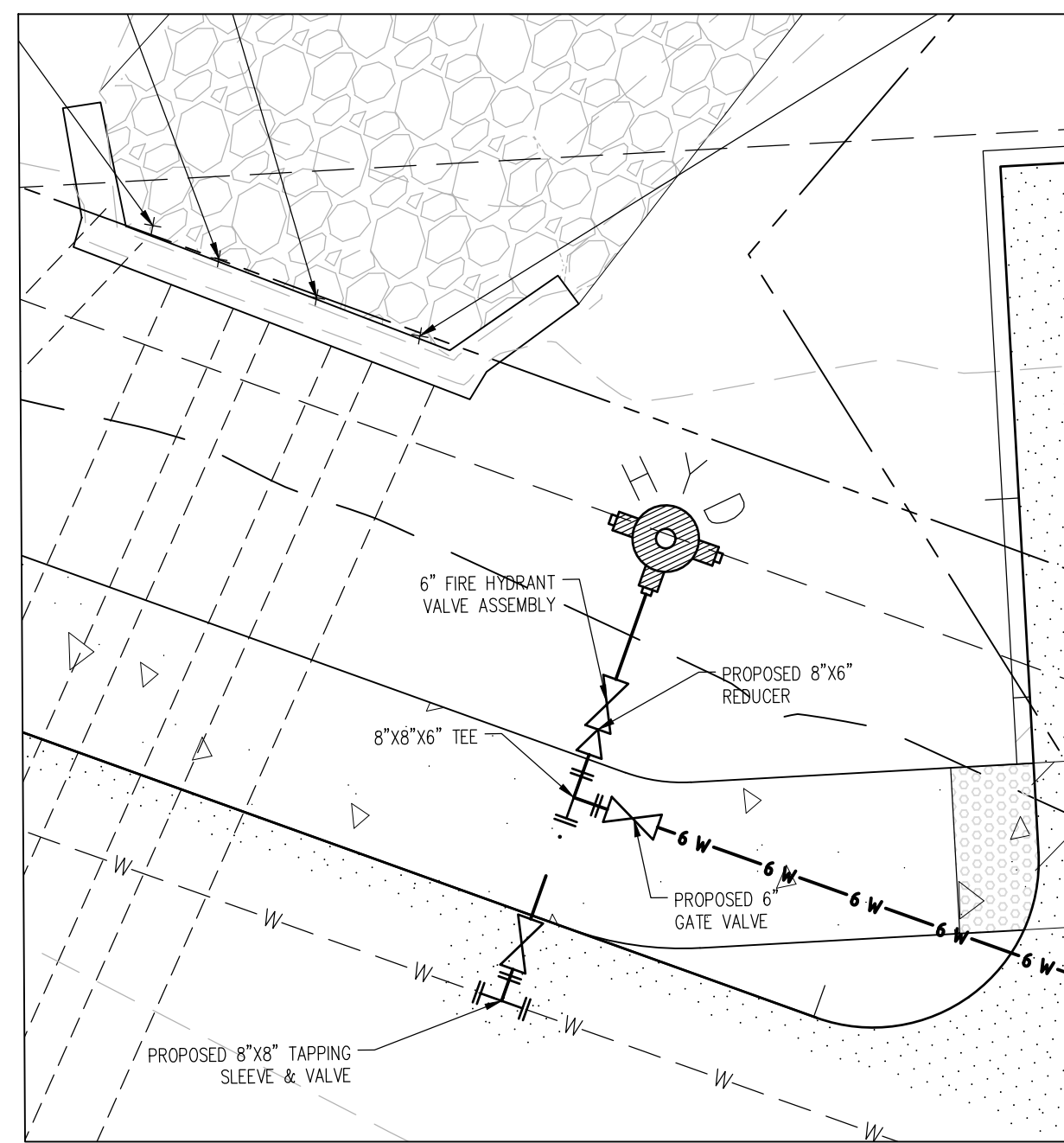
STATE COLLEGE BOROUGH WATER AUTHORITY

All private water main & lateral service construction shall be in accordance with State College Borough Water Authority's (SCBWA) "material & installation specifications for "private" distribution lines, service lines & fire hydrants", latest edition.

All water line pipes shall meet the State College Borough Water Authority's "public water main, service connections & fire hydrant specifications for Contractor installation" as well as "material & installation specifications for "private" distribution lines, service lines & fire hydrants", latest edition.

STORMWATER MANAGEMENT

Refer to the approved Stormwater Management Site Plan for the LeCone - West College Properties for the Township's stormwater management requirements including but not limited to the Pre-construction meeting involving the Township, Site Contractor and Engineer responsible for the record stormwater management as-built.



PROPOSED FEATURES LEGEND

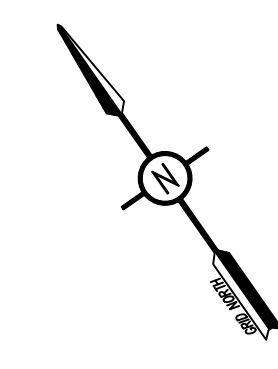
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- PROPOSED 8" D.I.P. WATER LINE W/ VALVE
- PROPOSED 6" D.I.P. WATER LINE W/ VALVE
- PROPOSED GAS LINE
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND TELECOM
- PROPOSED UNDERGROUND COMBINED ELECTRIC/TELECOM UTILITY SERVICE TRENCH
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SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
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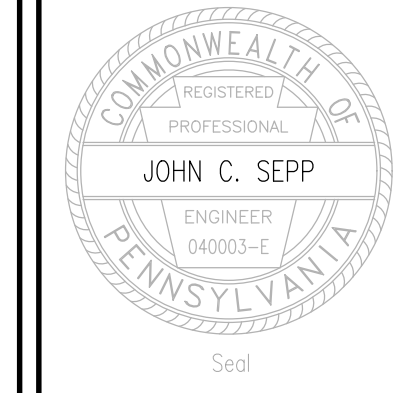
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Environmental	MSF
Proj. Manager	MAT
Surveyor	MRK
Perimeter Ck.	
Book	599 Pg. 60
File	23088-PR-07-UTILITIES
Layout	UTILITIES

Date	Description
	REVISIONS

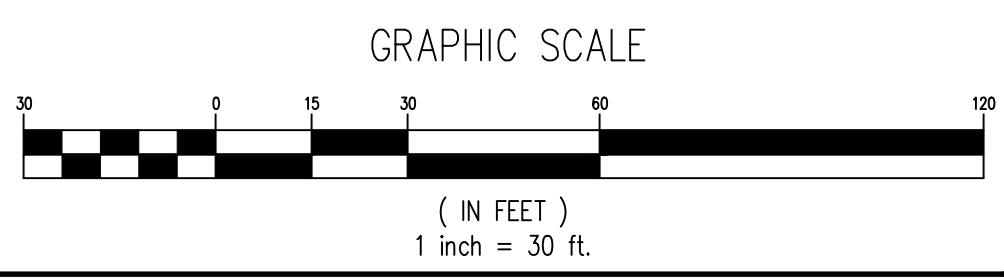
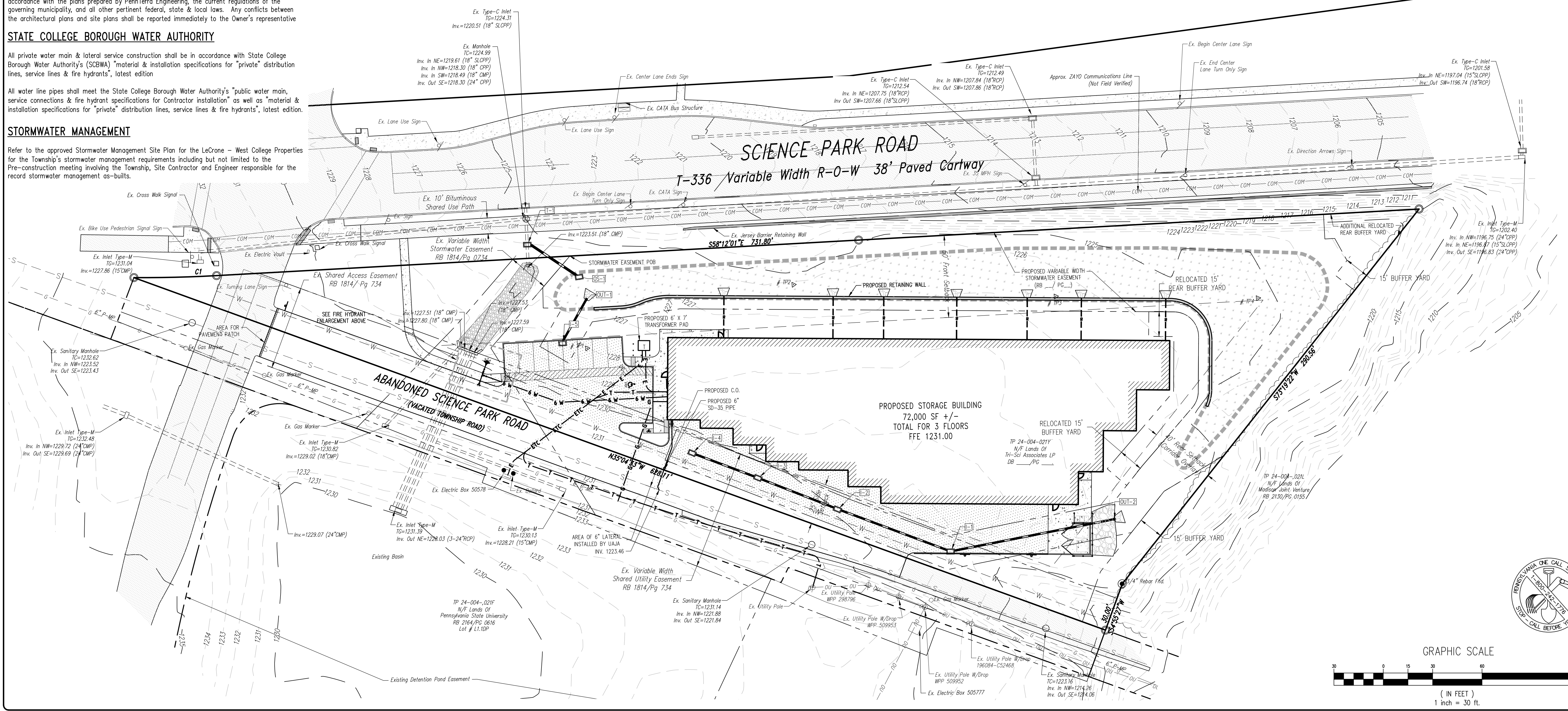
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 CENTRE COUNTY
 PENNSYLVANIA

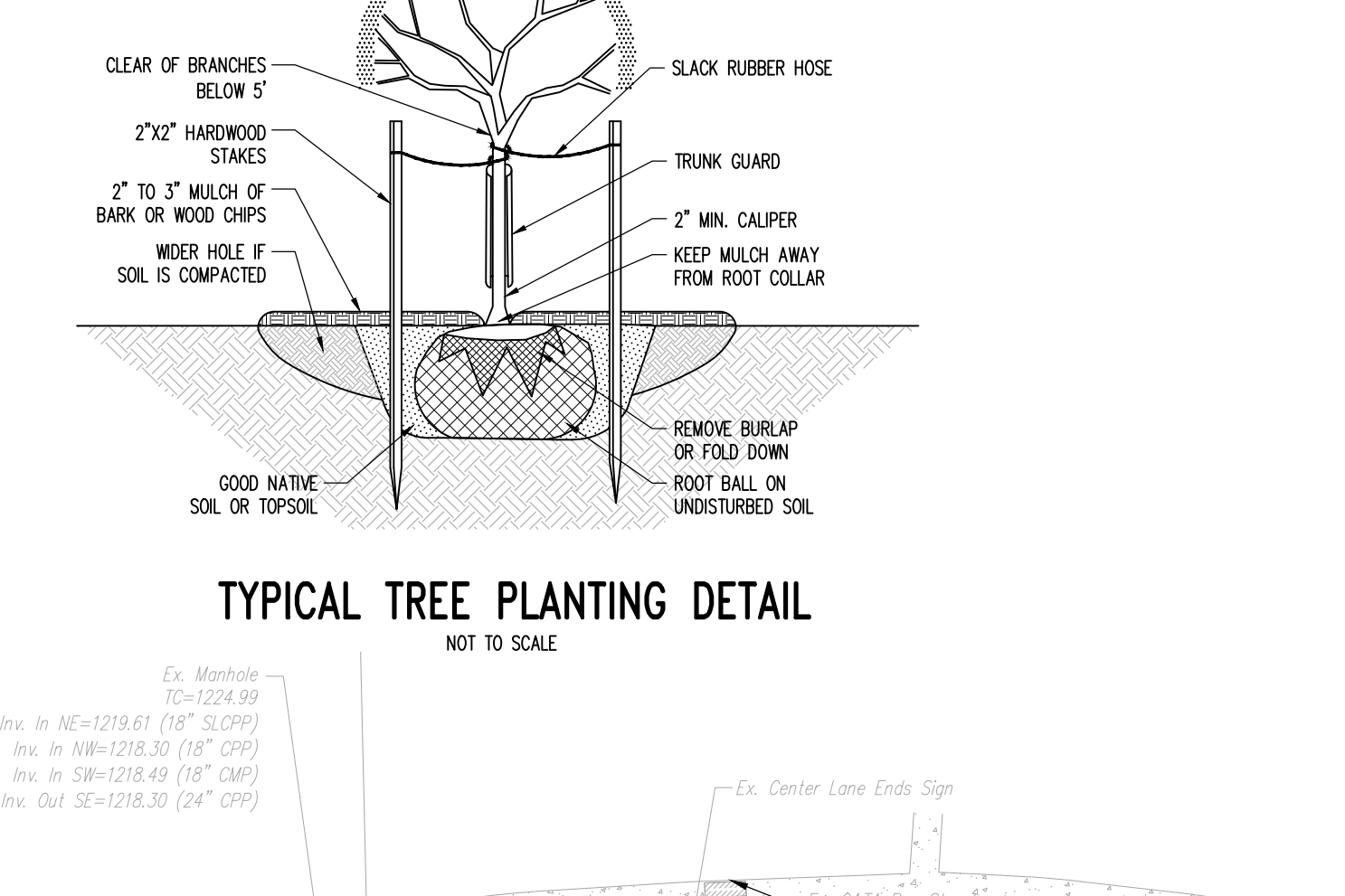
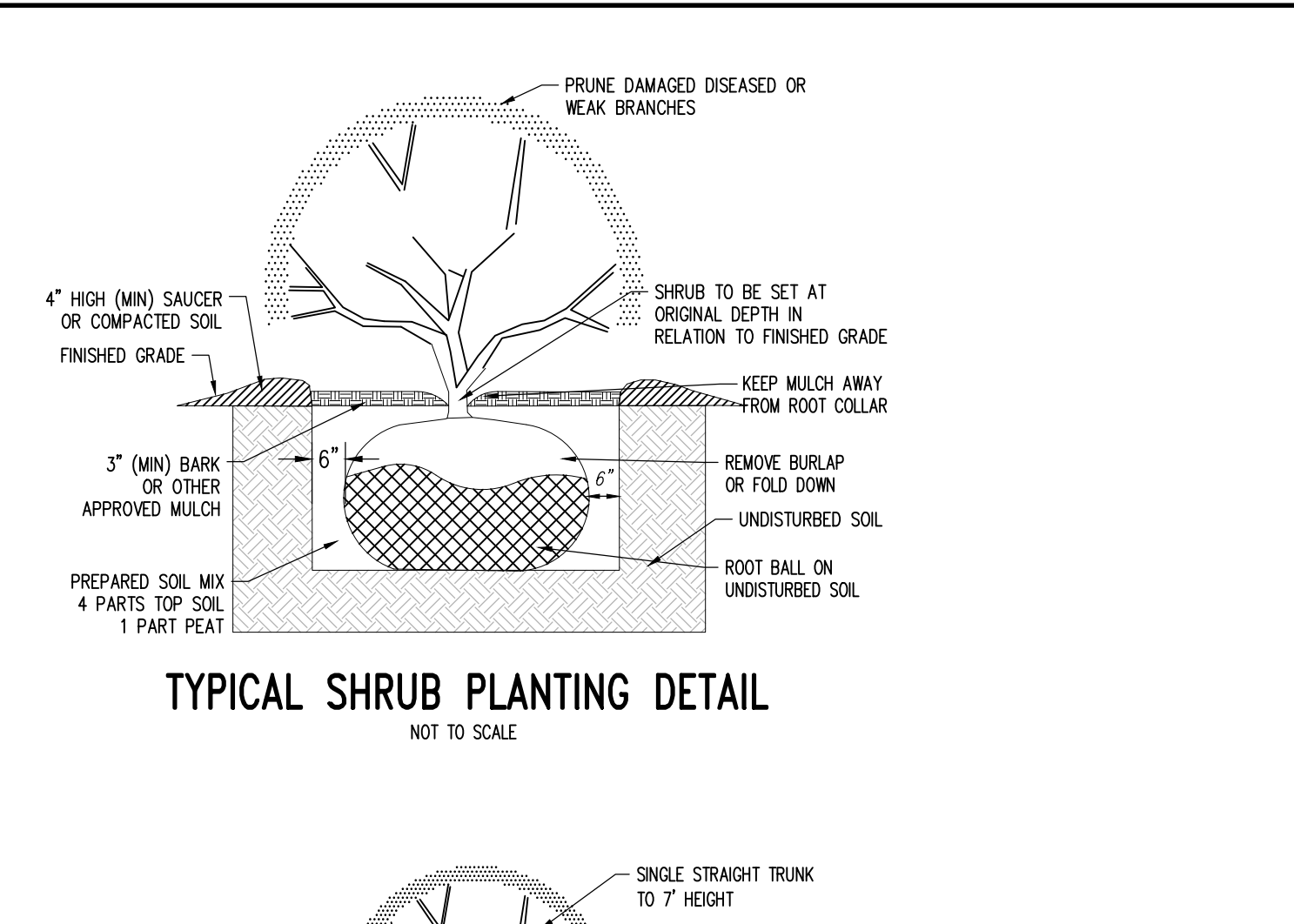
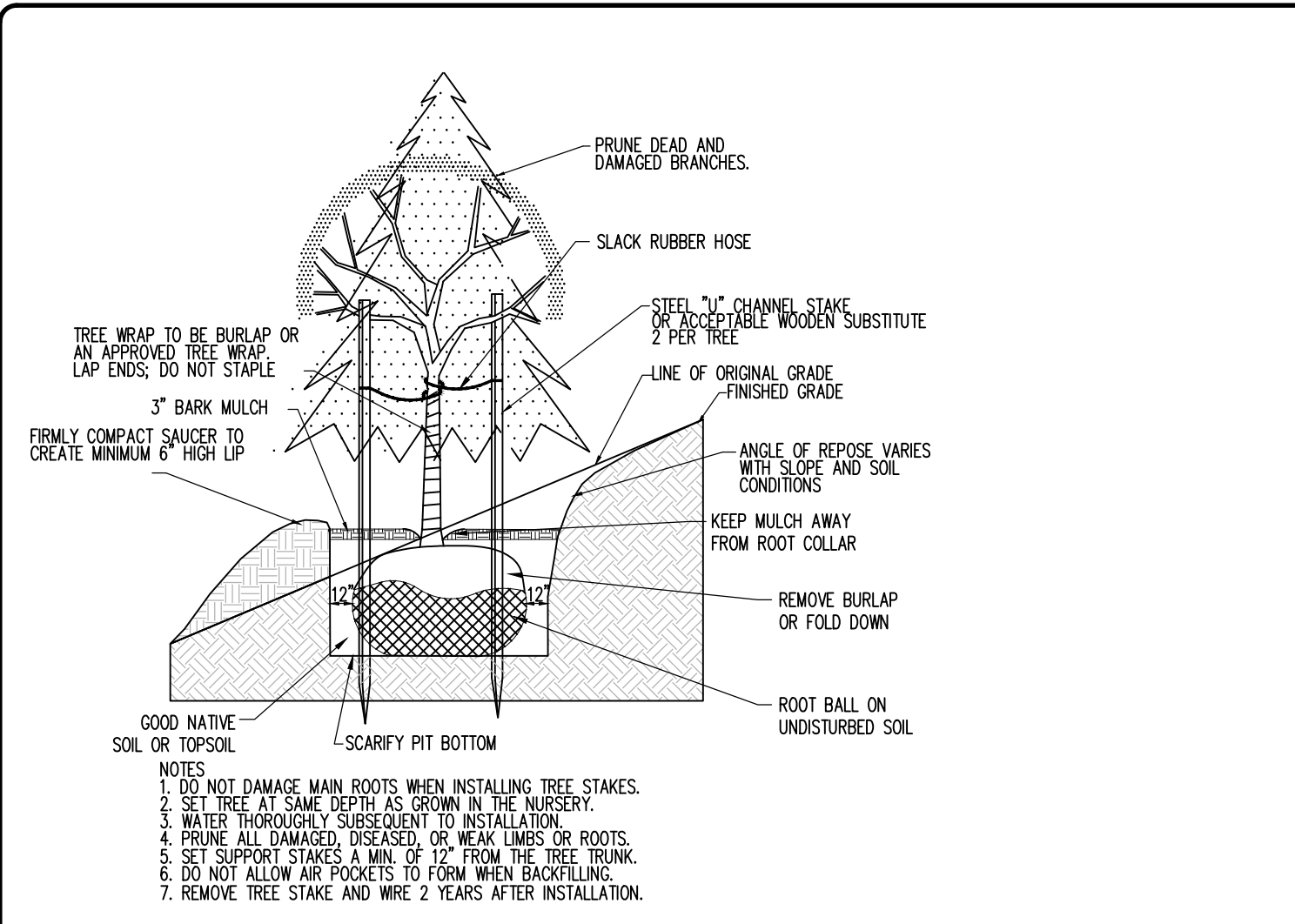
PRELIMINARY LAND DEVELOPMENT PLAN

UTILITY PLAN

PROJECT NO.	23088
DATE	MARCH 5, 2024
SCALE	1" = 30'
SHEET NO.	7

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PLANTING SCHEDULE					
SYMBOL	KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE
CANOPY TREES					
	T-1	3	River Birch	Betula nigra	2" Cal.
	T-2	2	Sweetgum	Liquidambar styraciflua	2" Cal.
	T-3	3	Blackgum	Nyssa sylvatica	2" Cal.
	T-4	2	Kwanzan Cherry	Prunus serrulata	2" Cal.
	T-5	5	Swamp White Oak	Quercus bicolor	2" Cal.
UNDERSTORY TREES					
	U-1	3	Eastern Redbud	Cercis canadensis	1 1/2" Cal.
	U-2	3	Washington Hawthorn	Crataegus phaenopyrum	1 1/2" Cal.
EVERGREEN TREES					
	E-1	3	Concolor Fir	Abies concolor	6'
	E-2	6	Norway Spruce	Picea abies	6'
SHRUBS					
	S-1	9	Summersweet	Clethra alnifolia	24" - 36"
	S-2	10	Oakleaf Hydrangea	Hydrangea quercifolia	24" - 36"
	S-3	6	Mountain Laurel	Kalmia latifolia	24" - 36"
	S-4	5	Northern Bayberry	Myrica pensylvanica	24" - 36"
	S-5	17	Red Chokeberry	Aronia arbutifolia	24" - 36"

NOTE: ALL TREES AND SHRUBS SHALL BE PLANTED IN ACCORDANCE WITH THE FERGUSON TOWNSHIP STANDARDS.

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SURVEY FEATURES LEGEND

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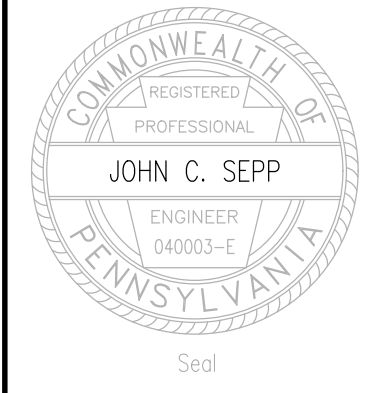
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PROPOSED FEATURES LEGEND

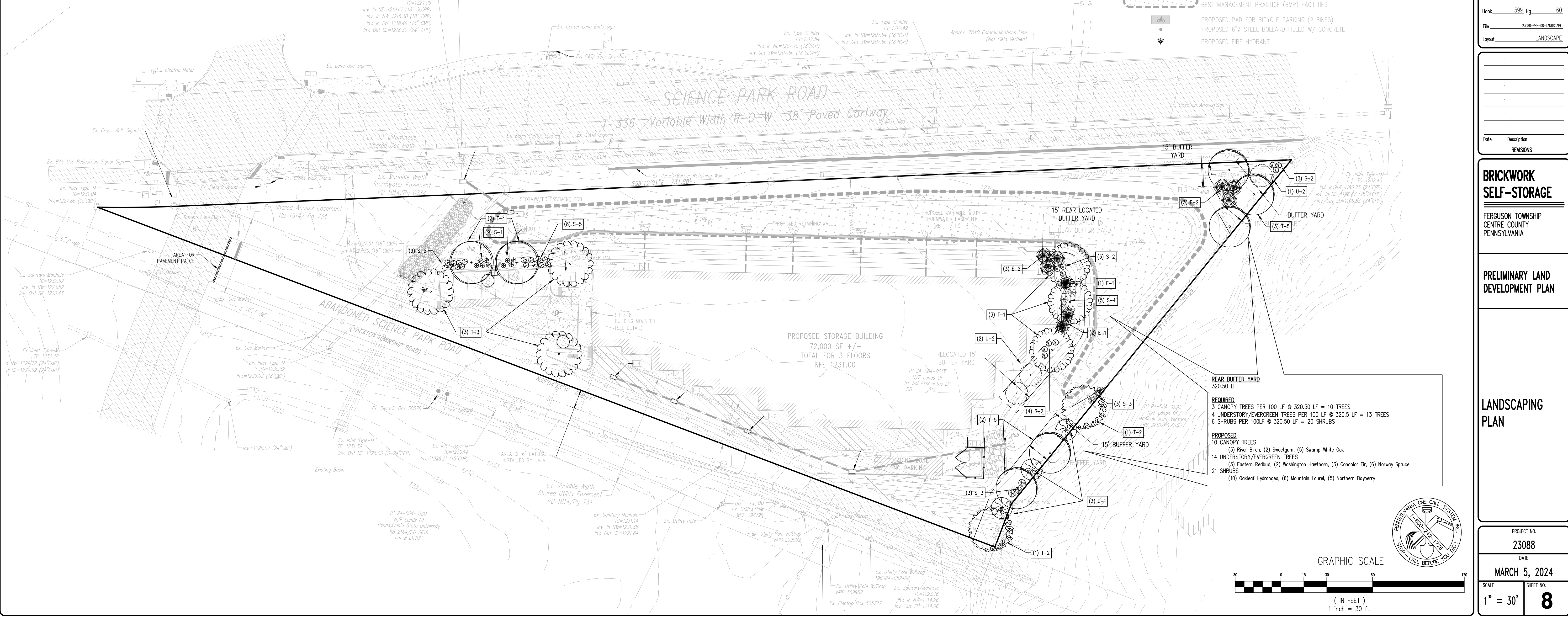
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- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL
- PROPOSED PARKING STALL COUNT
- PROPOSED DEPRESSED CURB W/ CURB TRANSITION
- PROPOSED ADA RAMP W/ DETECTABLE WARNING SURFACE
- PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- PROPOSED RETAINING WALL
- PROPOSED STORMWATER BASIN/ BEST MANAGEMENT PRACTICE (BMP) FACILITIES
- PROPOSED PAD FOR BICYCLE PARKING (2 BIKES)
- PROPOSED 6" STEEL BOLLARD FILLED W/ CONCRETE
- PROPOSED FIRE HYDRANT

BRICKWORK SELF-STORAGE
FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA



Designer(s)	BDD
Environmental	MSF
Proj. Manager	MAT
Surveyor	MRK
Perimeter Ck.	
Book	599 Pg. 60
File	2308-PRE-08-LANDSCAPE
Layout	LANDSCAPE

- LANDSCAPE NOTES**
- Trees are to be mulched individually in a 4' diameter circle.
 - The mulch is to be double shredded hardwood bark mulch, well-aged and dark in color. Apply the mulch 3-4" thick.
 - Plant material substitutions may only be permitted at the approval of the owner and approving municipality prior to planting.
 - Any plantings which do not survive for a period of one year from the date of planting are to be replaced by the landscape contractor at no additional cost to the Owner.
 - All new plant material is to be kept watered by the landscape contractor when working on site until acceptance of the completion of the landscape or end of the season (then resume next season until project is completed). The owner will be responsible for watering thereafter.
 - All disturbed areas not being planted in trees or shrubs are to be fine graded with 6" of topsoil and seeded with a hardy perennial grass seed mixture and mulched with straw.
 - Grass must be 2 inches high over 90% of the seeded areas prior to acceptance by the owner.
 - All caliper measurements for landscaping shall be measured at 6" above the root ball.
 - Quantities of plant material noted on the planting schedule are to be verified with quantities shown on the plan which will have priority.



GRAPHIC SCALE
0 15 30 60 90 120
(IN FEET)
1 inch = 30 ft.

REVISIONS

Date	Description

PROJECT NO.
23088

DATE
MARCH 5, 2024

SCALE SHEET NO.
1" = 30' 8

P:\ddp\2023\23088\Design\land\23088-PRE-08-LANDSCAPE.dwg, 3/5/2024, 3:02:12 PM, 1:1

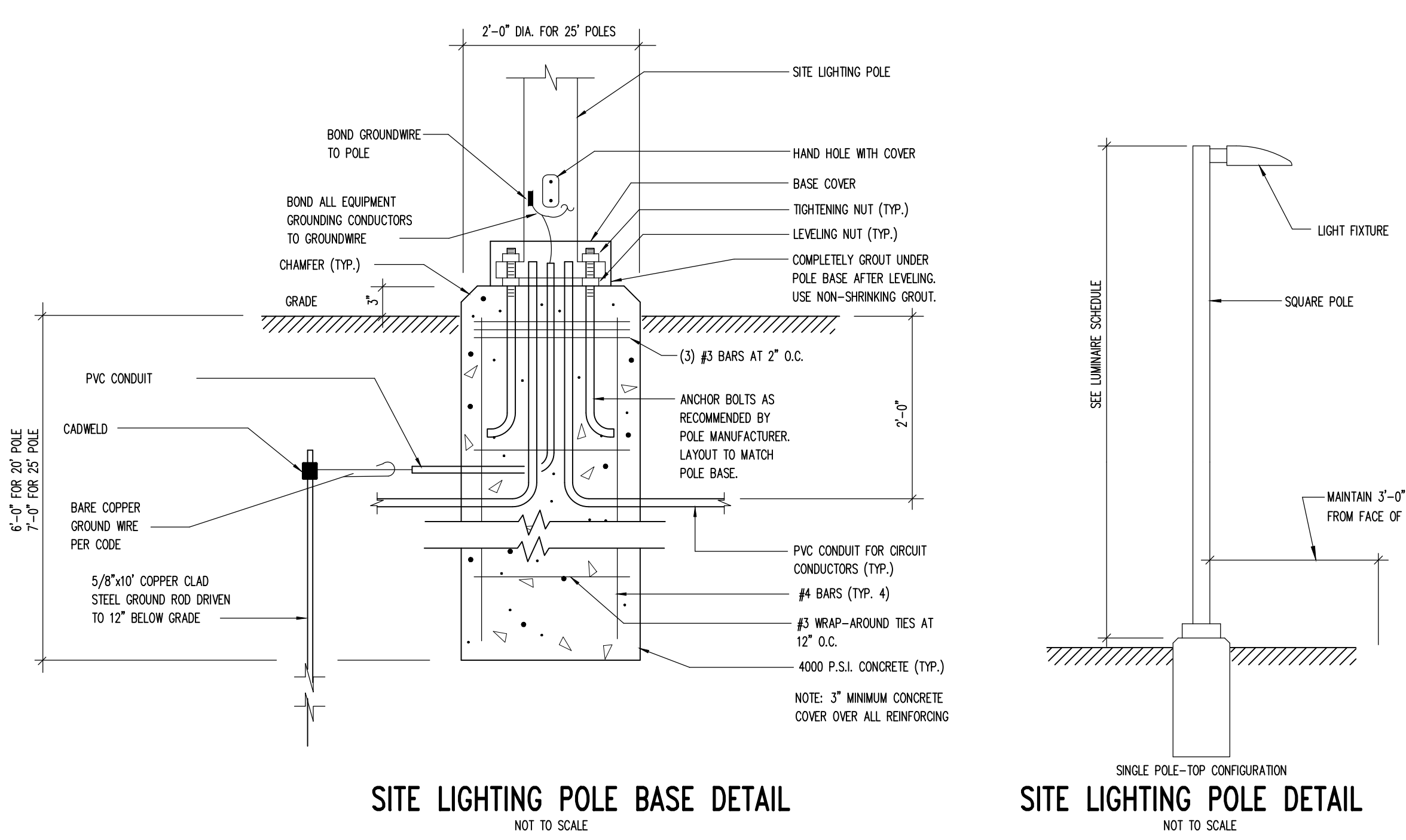
LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QTY.	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	TOTAL OUTPUT	LLF	INPUT POWER
	A	2	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GALN-SA3B-740-U-T4W-HSS	GALLEON AREA AND ROADWAY LUMINAIRE (3) 70 CRI, 4000K, 800mA LIGHTSQUARES WITH 16 LEADS EACH AND TYPE IV WIDE OPTICS WITH HOUSE SIDE SHIELD. 25' MOUNTING HEIGHT.	12290	1	121.00
	B	13	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	CCW-VA-3-740-U-T3	IN-VUE WALL PACK WAVE STREAM LUMINAIRE WITH T3 DISTRIBUTION LENS. 15' MOUNTING HEIGHT.	4516	1	48.90

ELECTRICAL NOTES:

- Electrical contractor shall verify and coordinate all existing and new underground facilities with all contractors, utility companies, etc. before beginning any underground construction.
- Wiring under all pavement surfaces shall be in PVC conduit size as indicated - minimum size 1". Electrical contractor shall field verify location of all roadways, walkways, patios, terraces, etc. and provide conduit under all locations for wiring access.
- All circuits shall be complete with ground wire.
- All conduit shall be set at a minimum depth of 24".
- All wiring trenches shall be run as close as possible to all curbs - no wiring shall run through the center of any island, planter, terrace, courtyard, etc. Electrical contractor shall verify conduit location in the field before excavating.
- Contractor shall provide electrical design services and drawings per latest building & electrical code standards for lighting connections, circuitry & controller, and shall be responsible for any code approvals for the design. Electrical installation for lighting shall include required wiring and conduit to 5' outside of the building. Building contractor to supply control panels, timing clocks and connection to exterior wiring.

STATISTICS

DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX/MIN	AVG/MIN
PAVED AREA	X	2.0 FC	4.8 FC	0.4 FC	12.0:1	5.0:1
TRESPASS	+	0.0 FC	4.8 FC	0.0 FC	N/A	N/A



SITE LIGHTING POLE BASE DETAIL
NOT TO SCALE

SITE LIGHTING POLE DETAIL
NOT TO SCALE

SURVEY FEATURES LEGEND

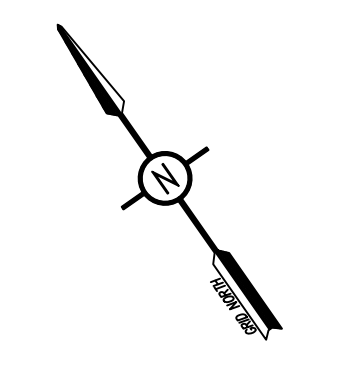
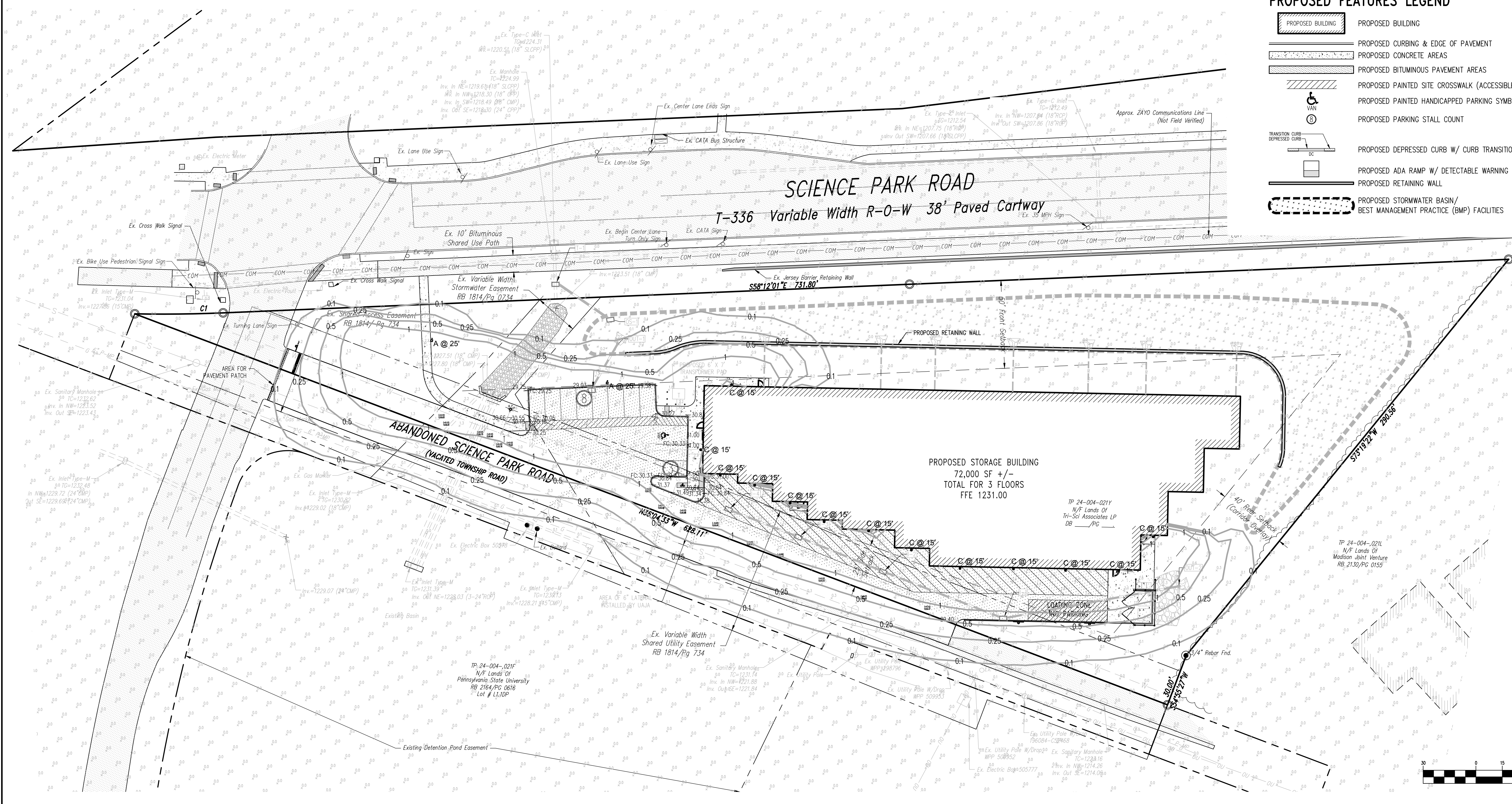
- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Property Corner Found
- Project Benchmark

EXISTING FEATURES LEGEND

- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Bituminous Areas
- Existing Retaining Wall
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Underground Electric
- Existing Underground Communication
- Existing Overhead Utility Line w/ Pole
- Existing Utility Pole
- Existing Guy Wire
- Existing Storm Sewer Inlet Type-C
- Existing Sign
- Existing Tree Row
- Existing Rip-Rap Apron

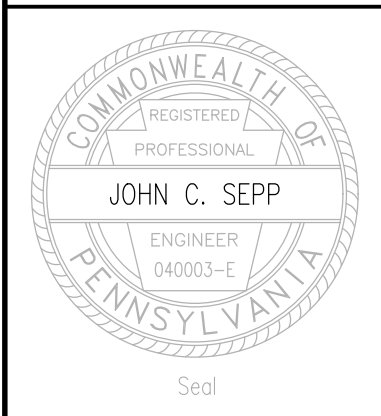
PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL
- PROPOSED PARKING STALL COUNT
- PROPOSED DEPRESSED CURB W/ CURB TRANSITION
- PROPOSED ADA RAMP W/ DETECTABLE WARNING SURFACE
- PROPOSED RETAINING WALL
- PROPOSED STORMWATER BASIN/ BEST MANAGEMENT PRACTICE (BMP) FACILITIES



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Designer(s) BDD
Environmental MSF
Proj. Manager MAT
Surveyor MRK
Perimeter Ck. _____
Book 599 Pg. 60
File 23088-PRJ-09-LIGHTING
Layout LIGHTING

Date	Description
	REVISIONS

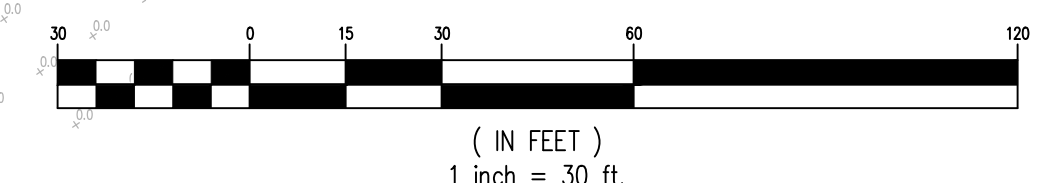
BRICKWORK SELF-STORAGE
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

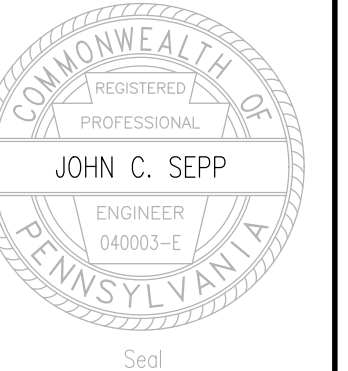
LIGHTING PLAN

PROJECT NO. **23088**
DATE **MARCH 5, 2024**
SCALE **1" = 30'** SHEET NO. **9**

GRAPHIC SCALE



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Designer(s)	BDD
Environmental	MSF
Proj. Manager	MAT
Surveyor	MRK
Perimeter Ck.	
Book	599 Pg. 60
File	23088-PRE-10-CROSS SECTION
Layout	SITE CROSS SECTION

Date	Description
	REVISIONS

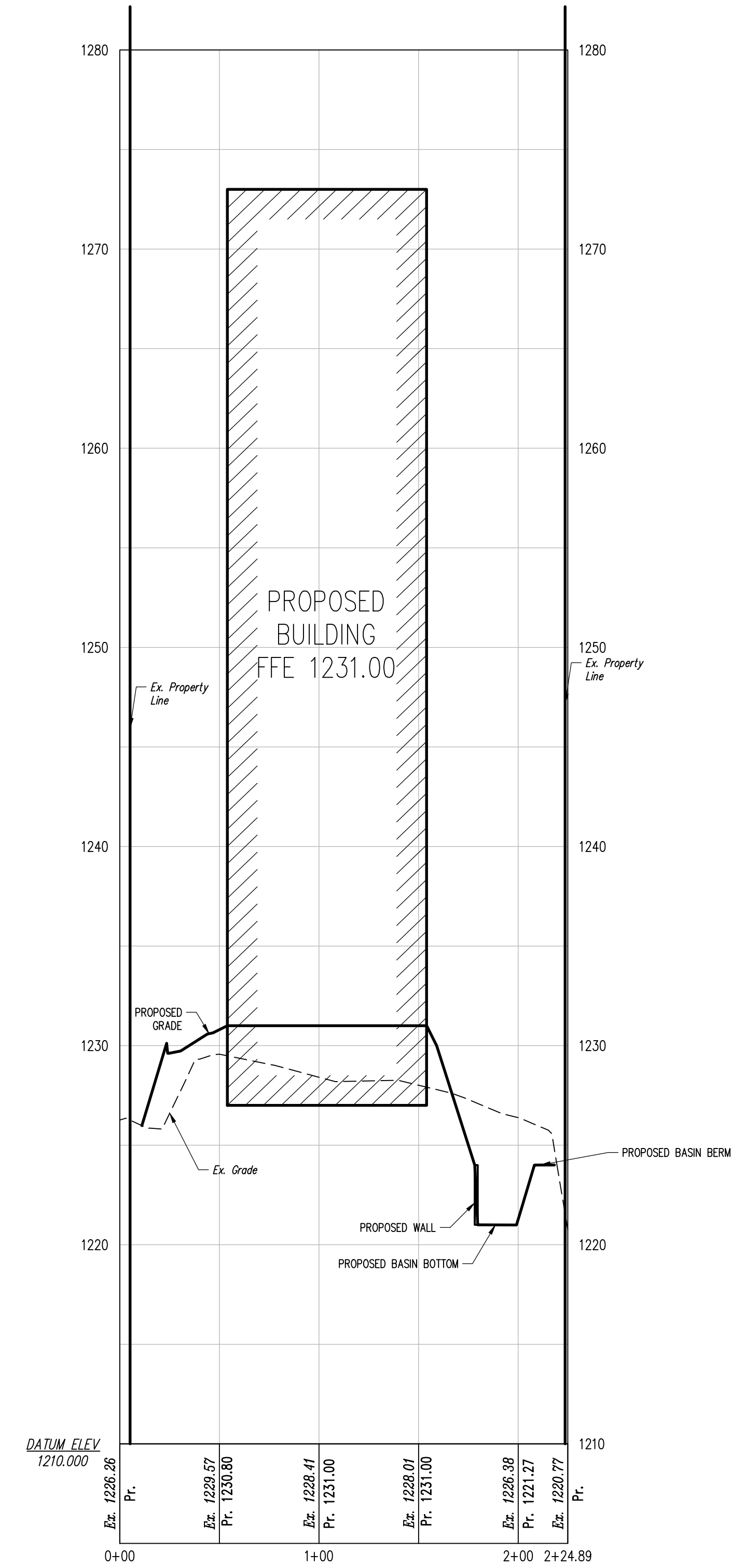
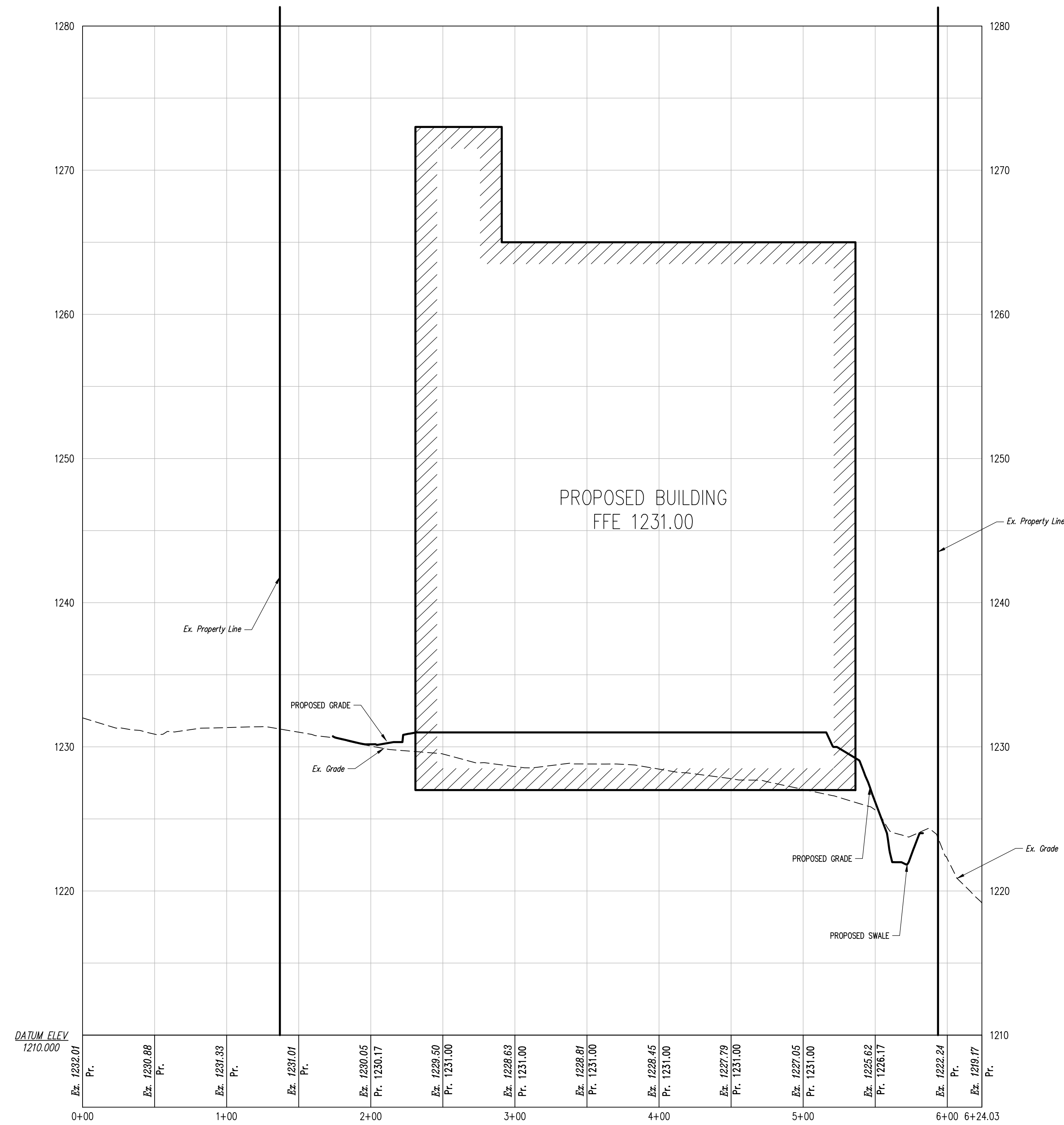
BRICKWORK SELF-STORAGE

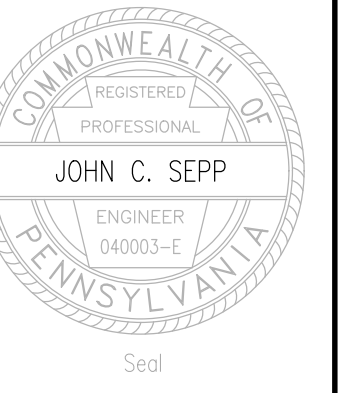
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

SITE CROSS SECTION

PROJECT NO.	23088
DATE	MARCH 5, 2024
SCALE	AS SHOWN
SHEET NO.	10





Designer(s)	BDD
Environmental	MSF
Proj. Manager	MAT
Surveyor	MRK
Perimeter Ck.	
Book	599 Pg. 60
File	23088-PRE-11-DETAILS
Layout	STORAGE AREA

BRICKWORK SELF-STORAGE

FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

SITE ENLARGEMENT - WEST SIDE @ ACCESS DRIVE

PROJECT NO.	23088
DATE	MARCH 5, 2024
SCALE	1" = 10'
SHEET NO.	11

SURVEY FEATURES LEGEND

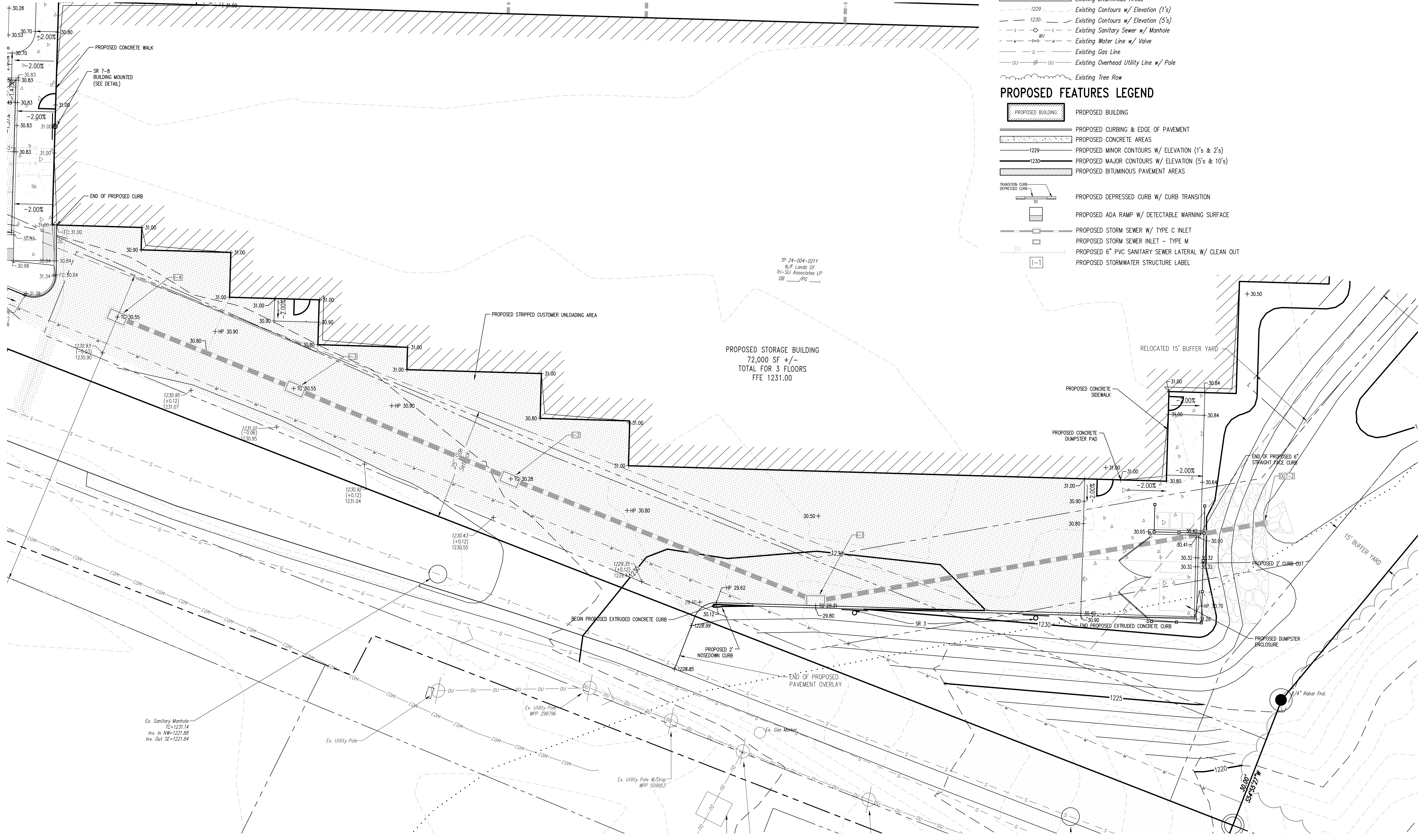
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- - - - - Adjoining Property Line
- - - - - Building Setback Line
- - - - - Easement Line
- Property Corner Found

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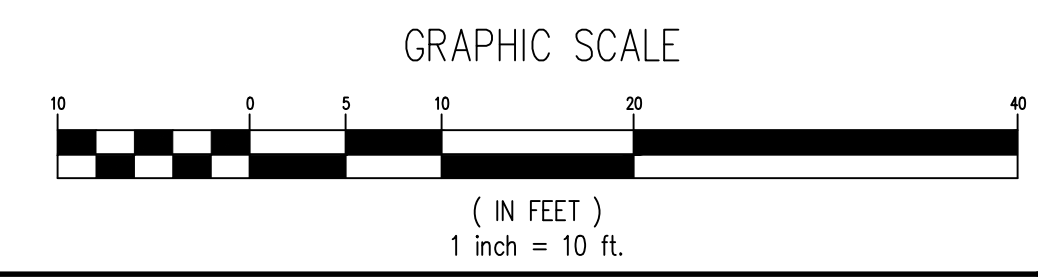
- Existing Bituminous Areas
- Existing Contours w/ Elevation (1's)
- Existing Contours w/ Elevation (5's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Gas Line
- Existing Overhead Utility Line w/ Pole
- Existing Tree Row

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE AREAS
- PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED DEPRESSED CURB W/ CURB TRANSITION
- PROPOSED ADA RAMP W/ DETECTABLE WARNING SURFACE
- PROPOSED STORM SEWER W/ TYPE C INLET
- PROPOSED STORM SEWER INLET - TYPE M
- PROPOSED 6" PVC SANITARY SEWER LATERAL W/ CLEAN OUT
- PROPOSED STORMWATER STRUCTURE LABEL



OVERHEAD STORAGE AREA ENLARGEMENT
 1"=10'



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SURVEY FEATURES LEGEND

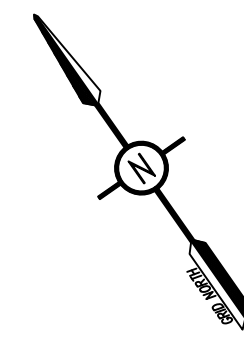
- Property Line, Lot Line or Right of Way Line
- - - Adjoining Property Line
- - - Building Setback Line
- - - Easement Line
- Property Corner Found

EXISTING FEATURES LEGEND

- Existing Bituminous Areas
- - - Existing Contours w/ Elevation (1's)
- - - Existing Contours w/ Elevation (5's)
- - - Existing Sanitary Sewer w/ Manhole
- - - Existing Water Line w/ Valve
- - - Existing Gas Line
- - - Existing Overhead Utility Line w/ Pole

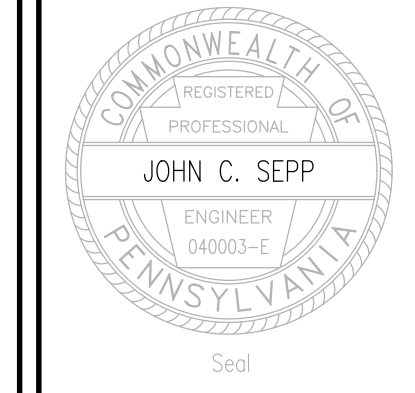
PROPOSED FEATURES LEGEND

- ▨ PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- ▨ PROPOSED CONCRETE AREAS
- - - 1229 PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- - - 1230 PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- ▨ PROPOSED BITUMINOUS PAVEMENT AREAS
- ▨ PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- ▨ PROPOSED PAINTED HANDICAPPED PARKING SYMBOL
- ▨ PROPOSED PARKING STALL COUNT
- ▨ PROPOSED DEPRESSED CURB W/ CURB TRANSITION
- ▨ PROPOSED ADA RAMP W/ DETECTABLE WARNING SURFACE
- ▨ PROPOSED 6" STORM SEWER ROOF DRAIN
- ▨ PROPOSED STORM SEWER W/ TYPE C INLET
- ▨ PROPOSED STORM SEWER INLET - TYPE M
- ▨ PROPOSED 6" PVC SANITARY SEWER LATERAL W/ CLEAN OUT
- ▨ PROPOSED WATER LINE TEE
- ▨ PROPOSED 8" WATER LINE W/ VALVE
- ▨ PROPOSED 6" WATER LINE
- ▨ PROPOSED RETAINING WALL
- ▨ PROPOSED STORMWATER BASIN/ BEST MANAGEMENT PRACTICE (BMP) FACILITIES
- ▨ PROPOSED PAD FOR BICYCLE PARKING (2 BIKES)
- ▨ PROPOSED 6" STEEL BOLLARD FILLED W/ CONCRETE
- ▨ PROPOSED FIRE HYDRANT
- ▨ PROPOSED STORMWATER STRUCTURE LABEL



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Designer(s)	BDD
Environmental	MSF
Proj. Manager	MAT
Surveyor	MRK
Perimeter Ck.	
Book	599 Pg. 60
File	2308-PRE-11-DETAILS
Layout	PARKING & SIDEWALK

Date	Description
	REVISIONS

BRICKWORK SELF-STORAGE

FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

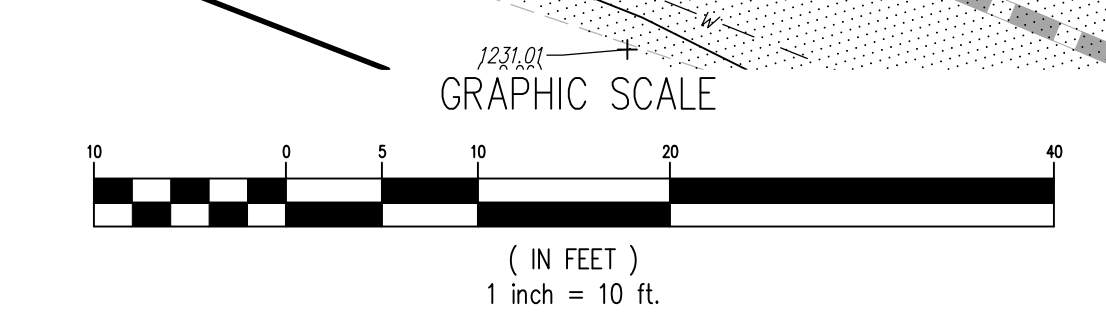
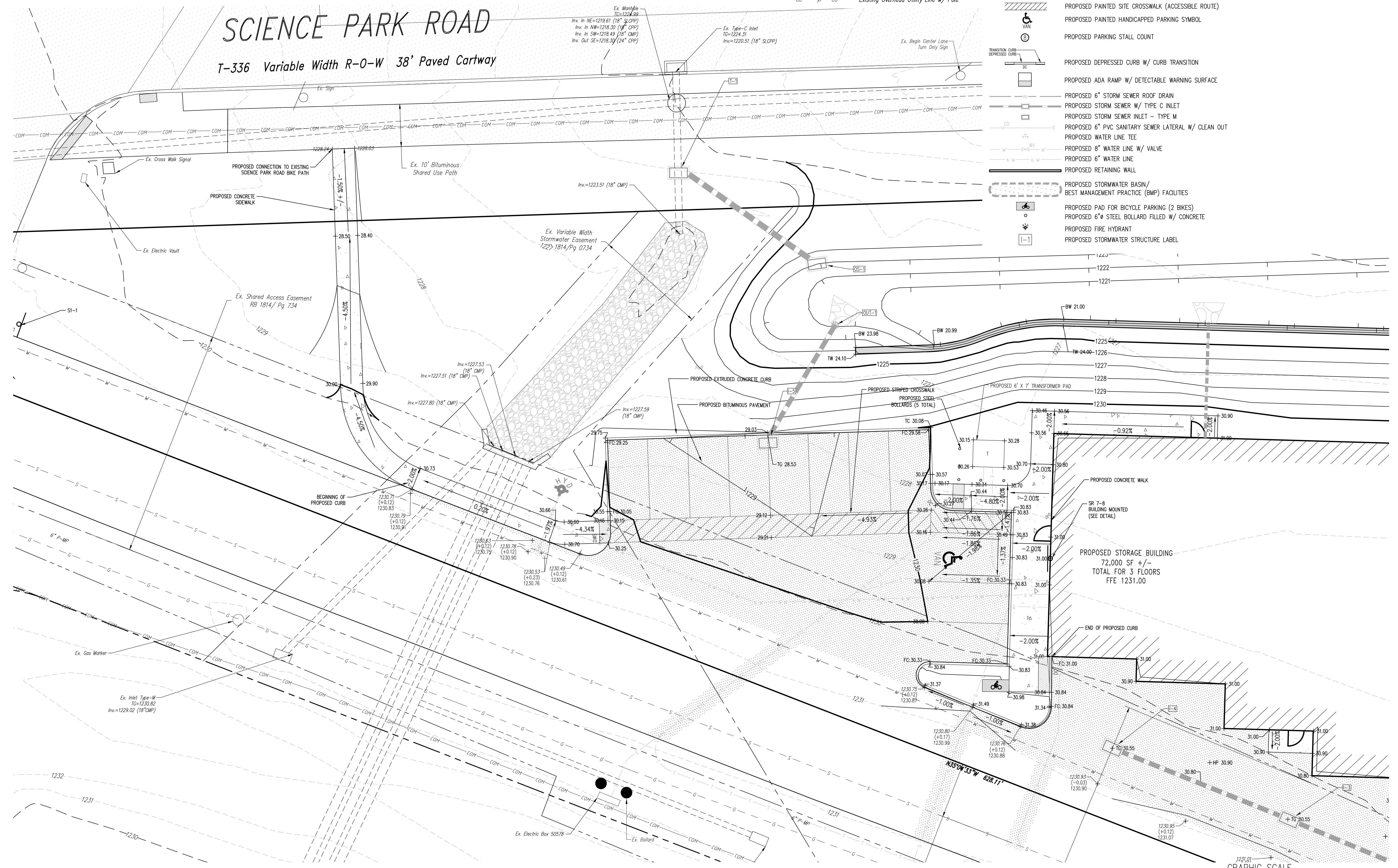
PRELIMINARY LAND DEVELOPMENT PLAN

PARKING & SIDEWALK ENLARGEMENT PLAN

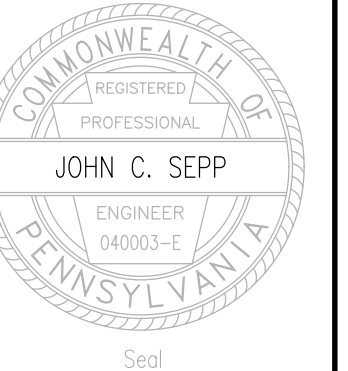
PROJECT NO.	23088
DATE	MARCH 5, 2024
SCALE	1" = 10'
SHEET NO.	12

SCIENCE PARK ROAD

T-336 Variable Width R-0-W 38' Paved Cartway



P:\ddp\2023\23088\Design\23088-11-DETAILS.dwg, 3/5/2024, 3:08:22 PM, 1:1



Designer(s)	BDD
Environmental	MSF
Proj. Manager	MAT
Surveyor	MKK
Perimeter Ck.	
Book	599 Pg. 60
File	23088-PRE-11-DETAILS
Layout	DETAILS (1)

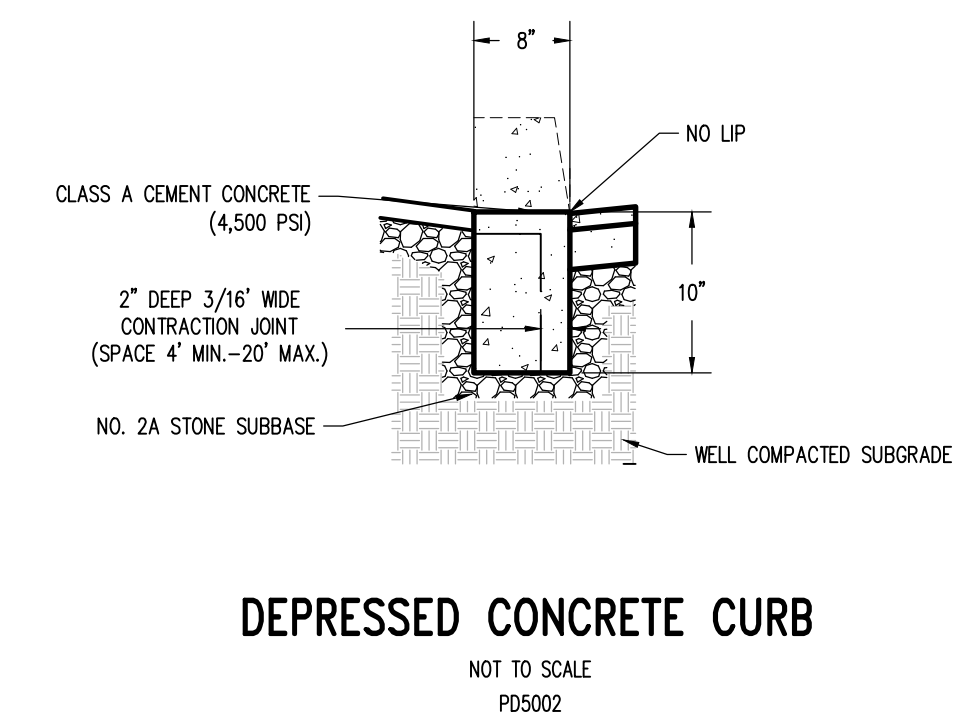
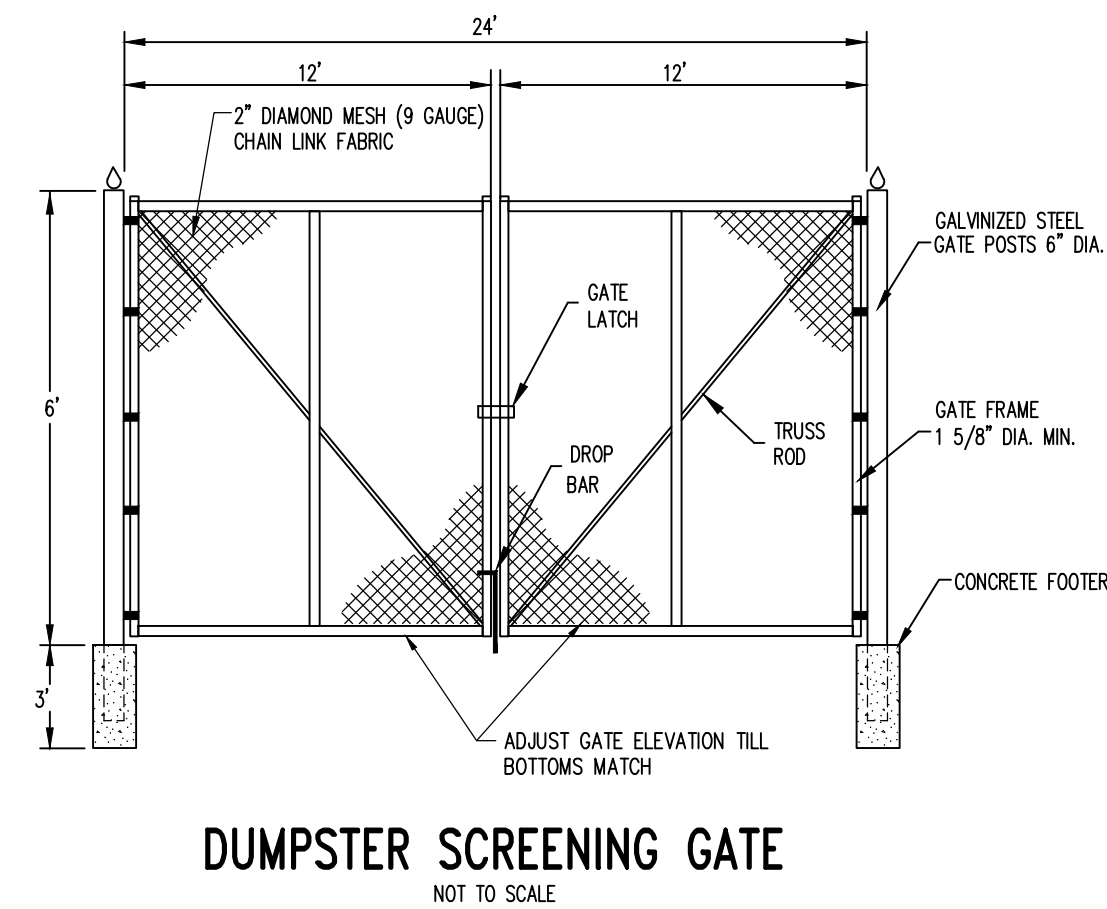
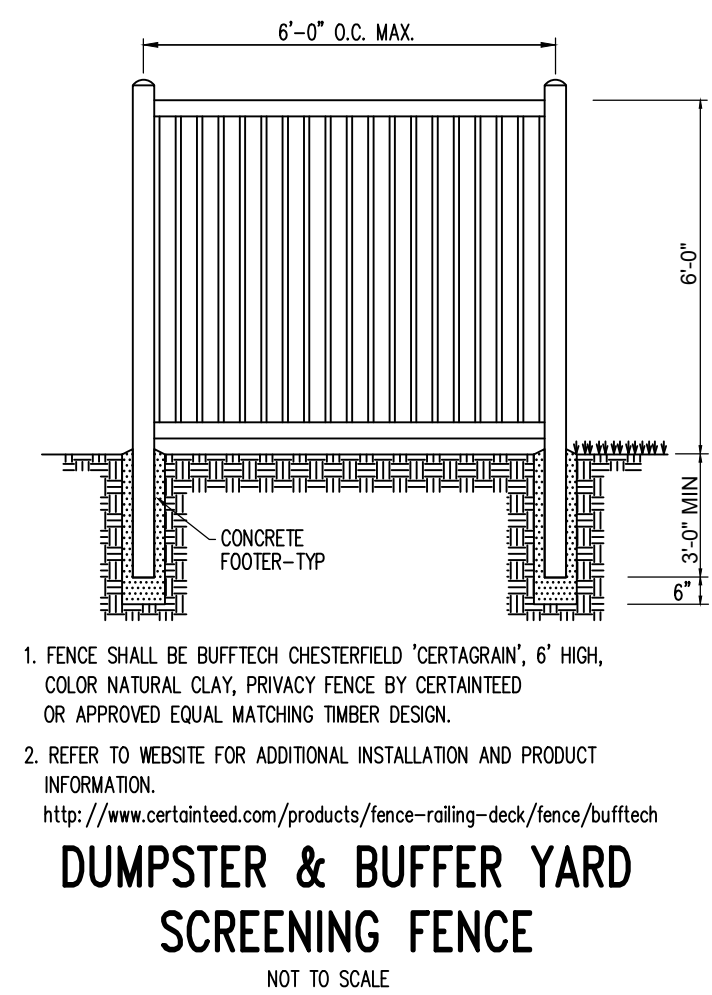
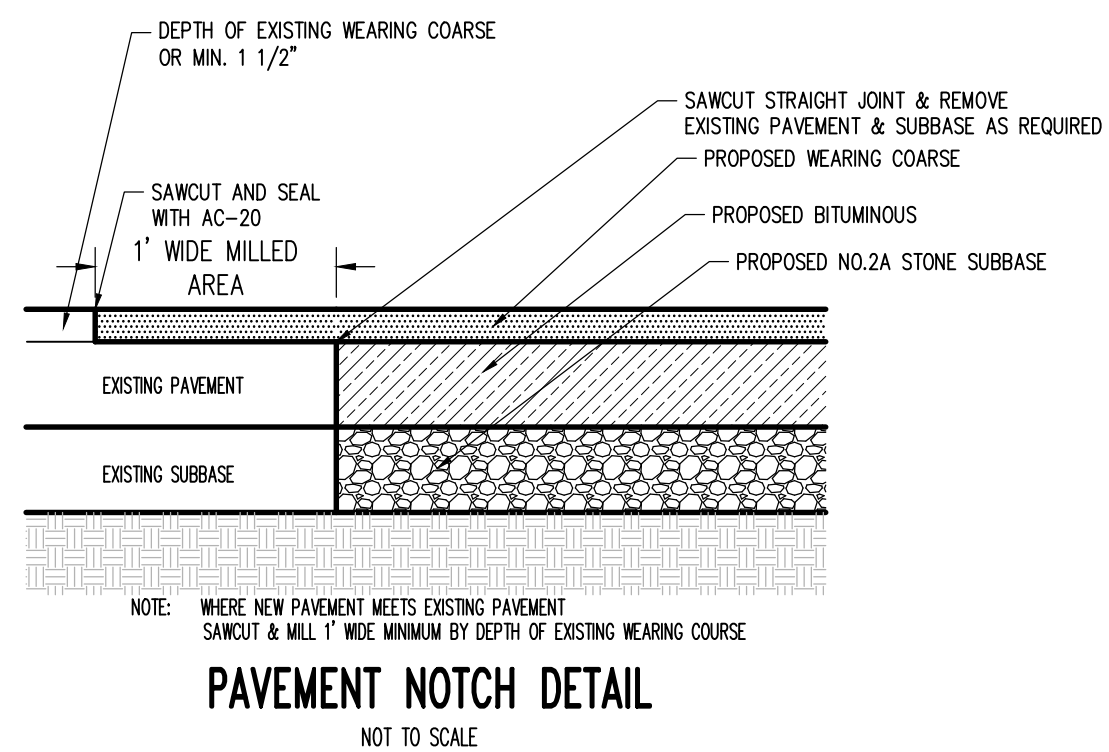
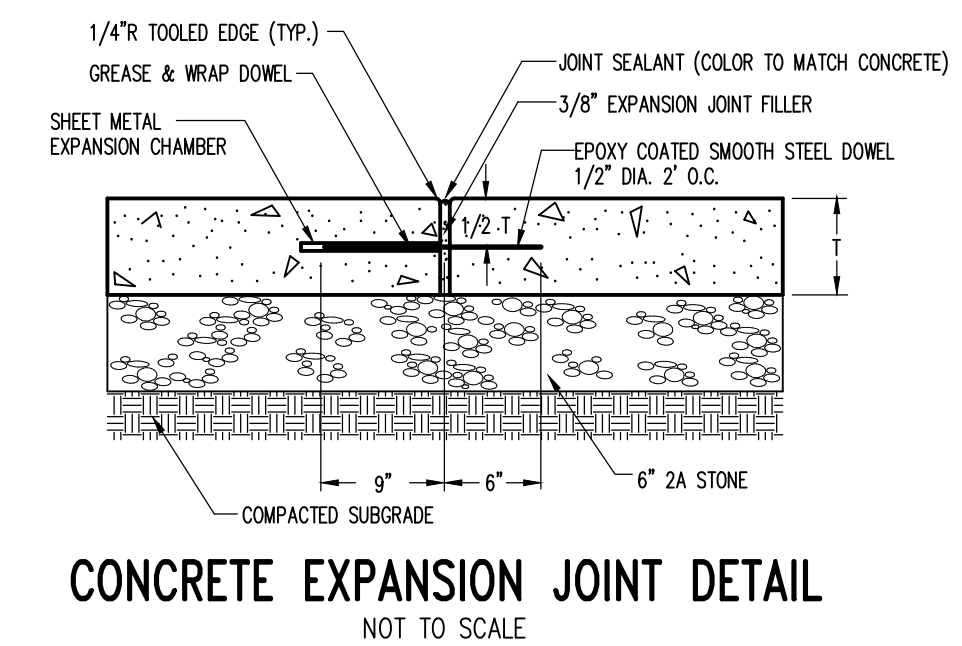
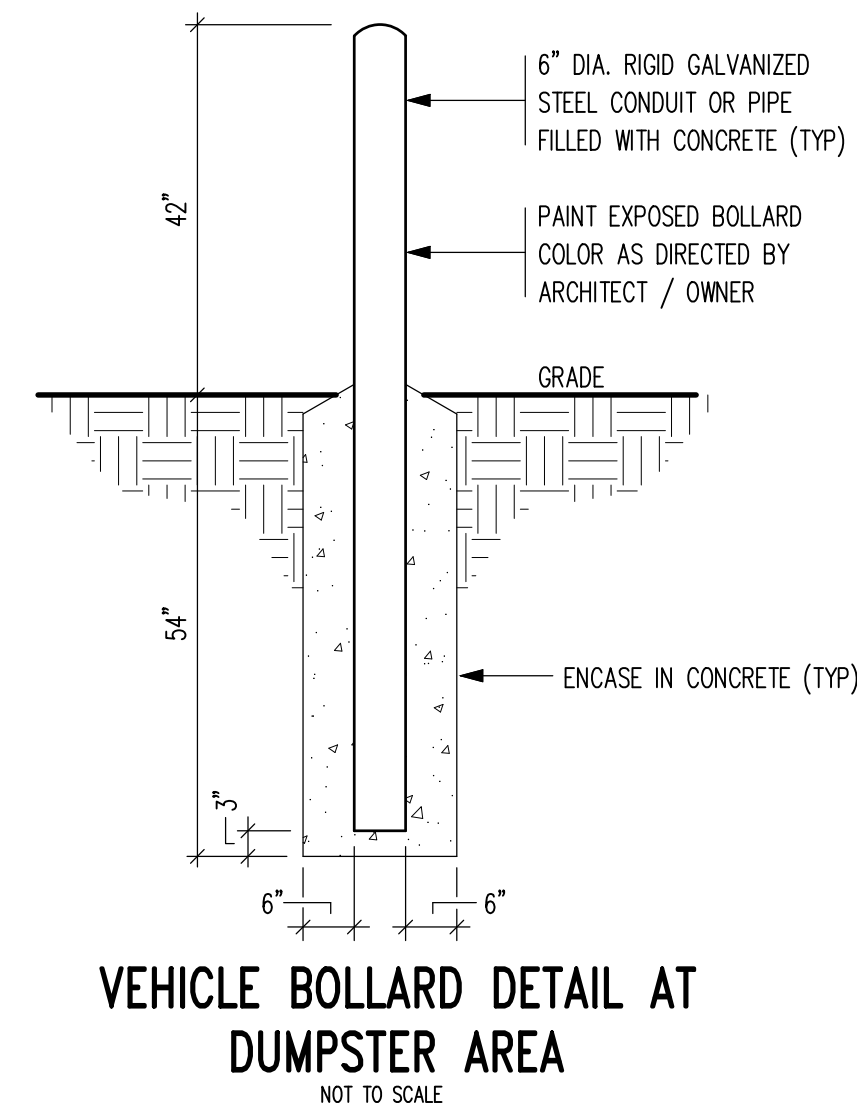
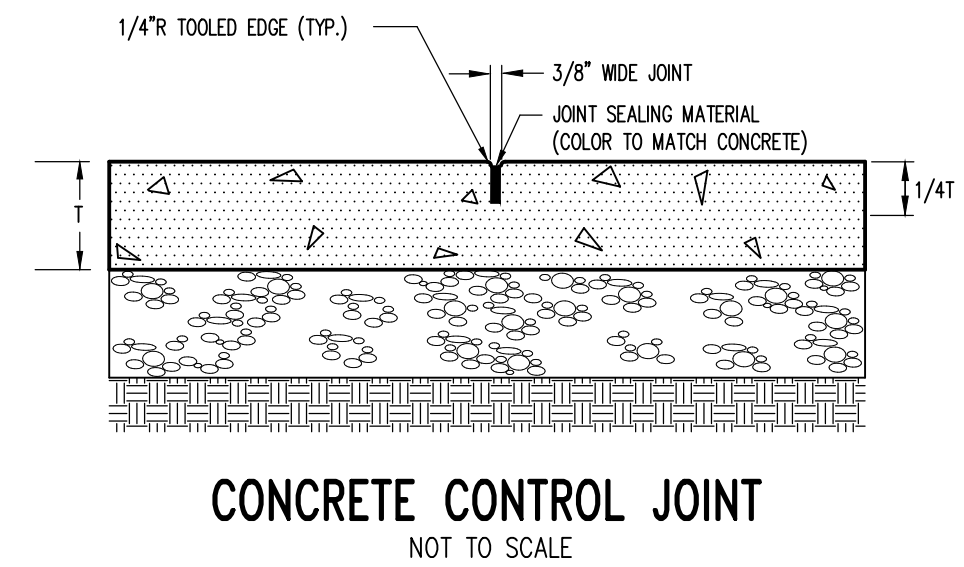
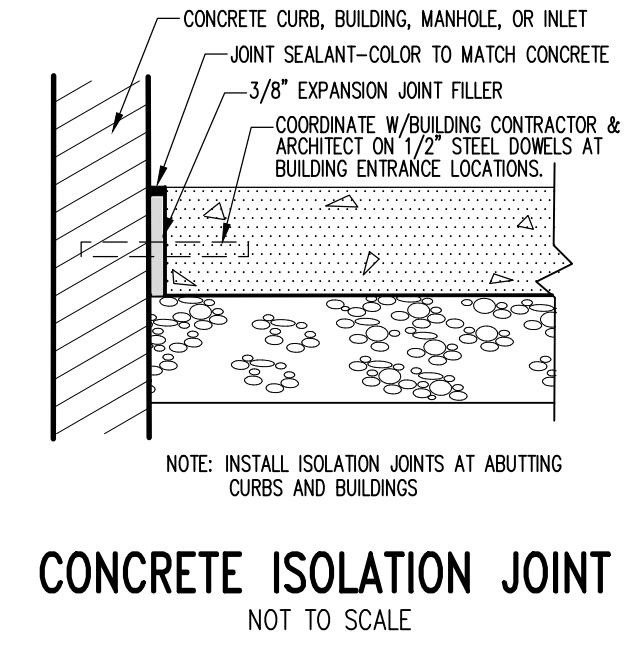
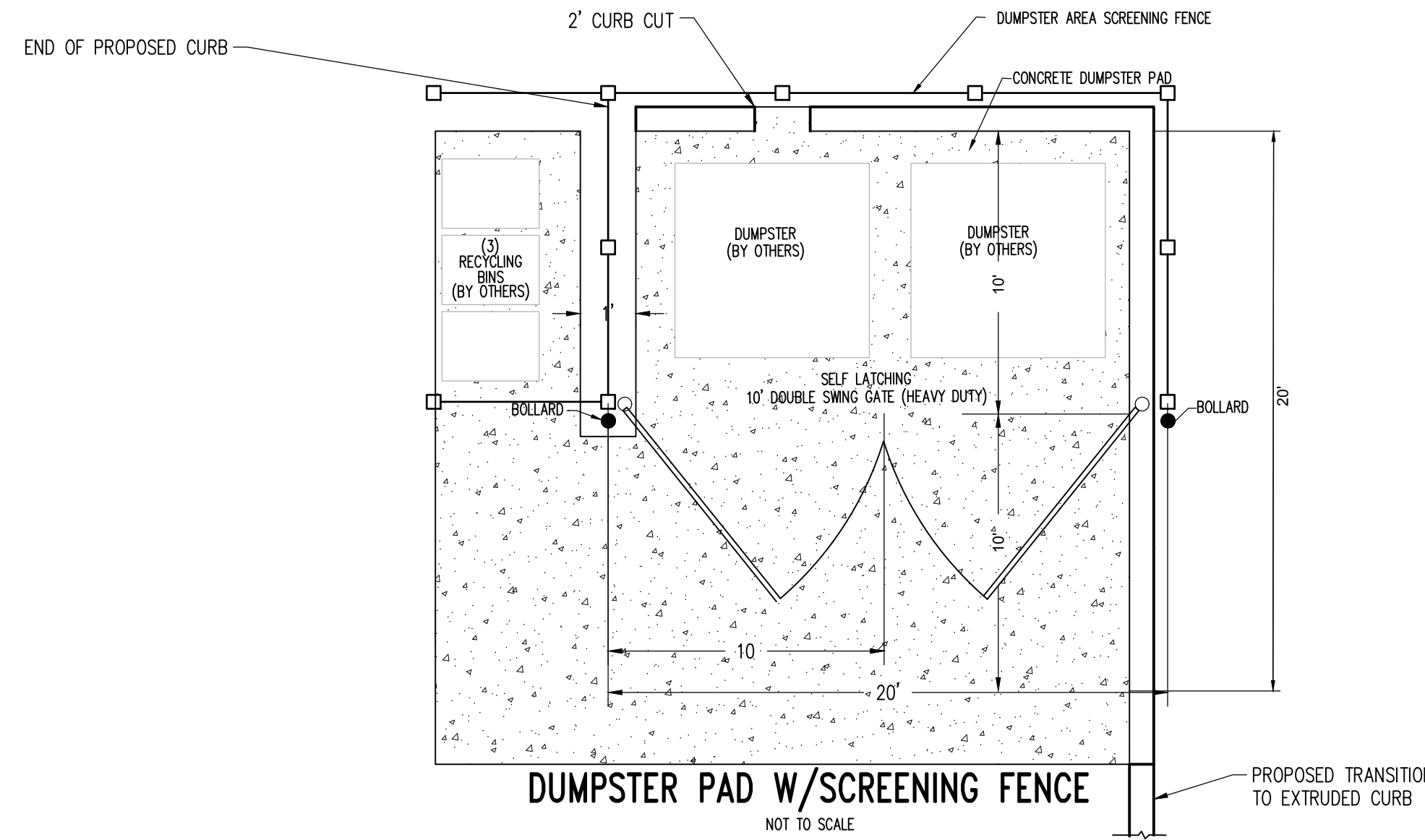
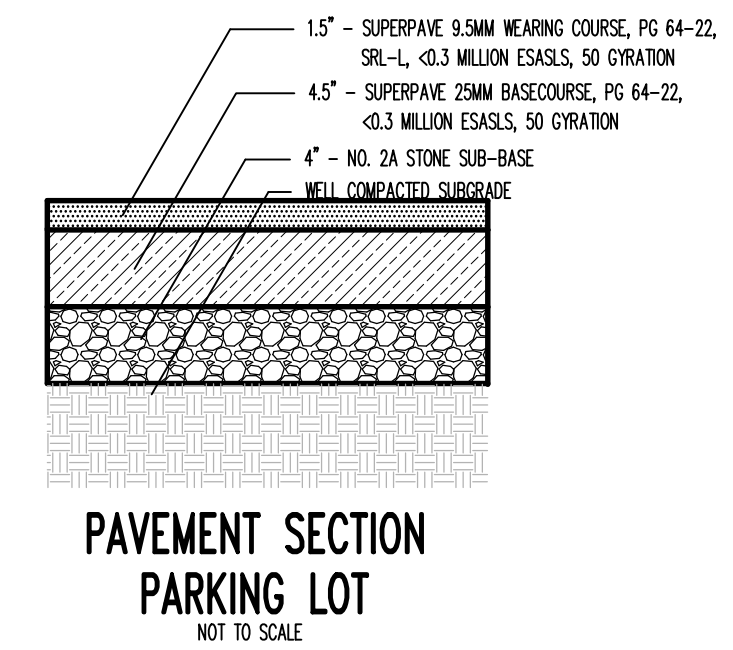
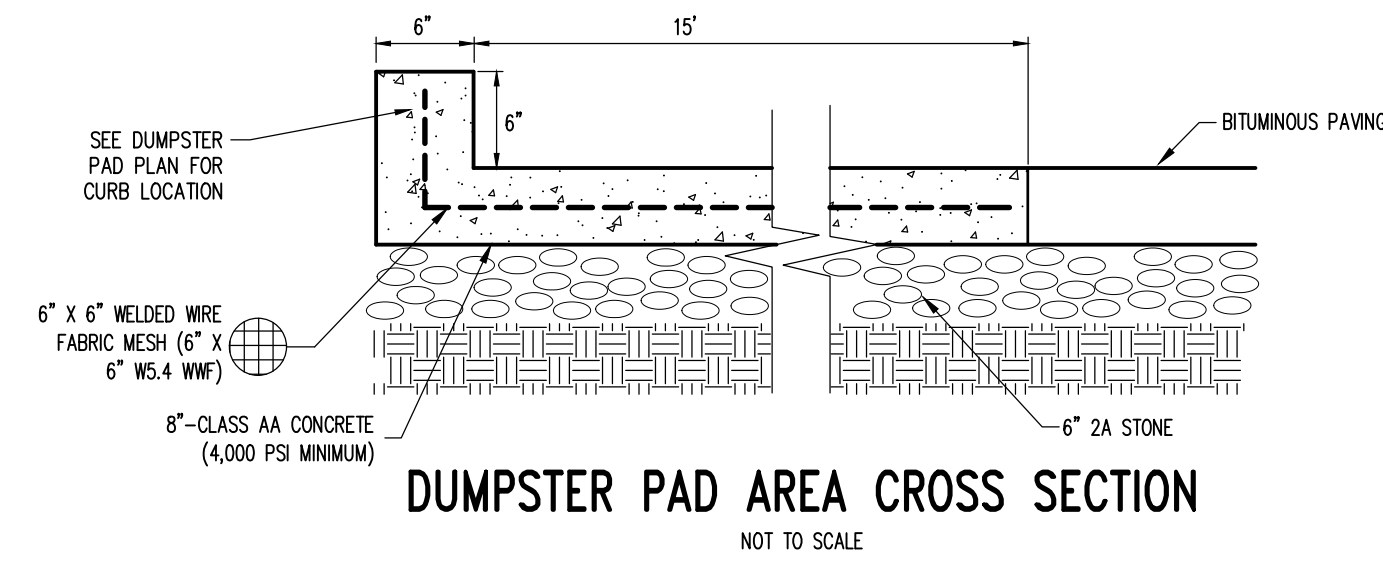
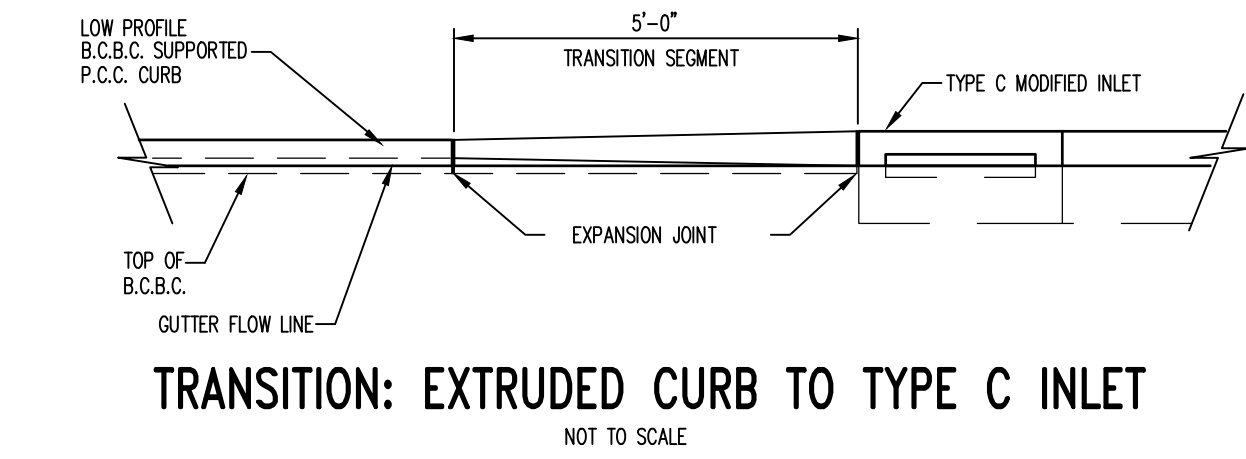
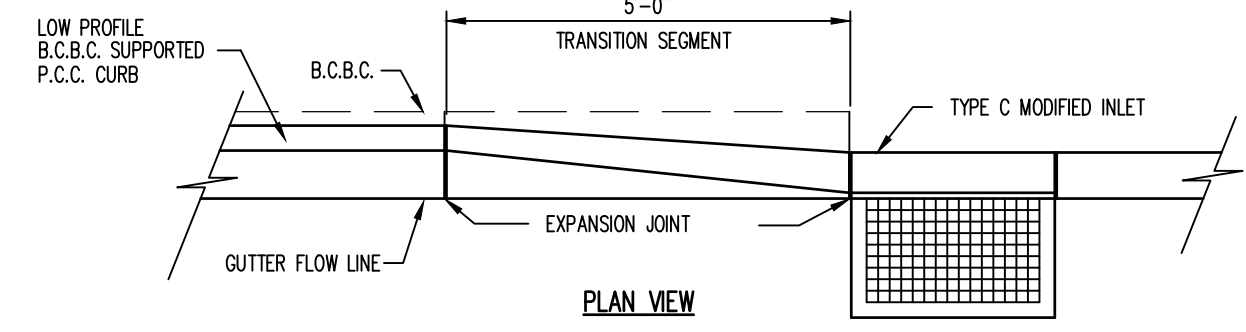
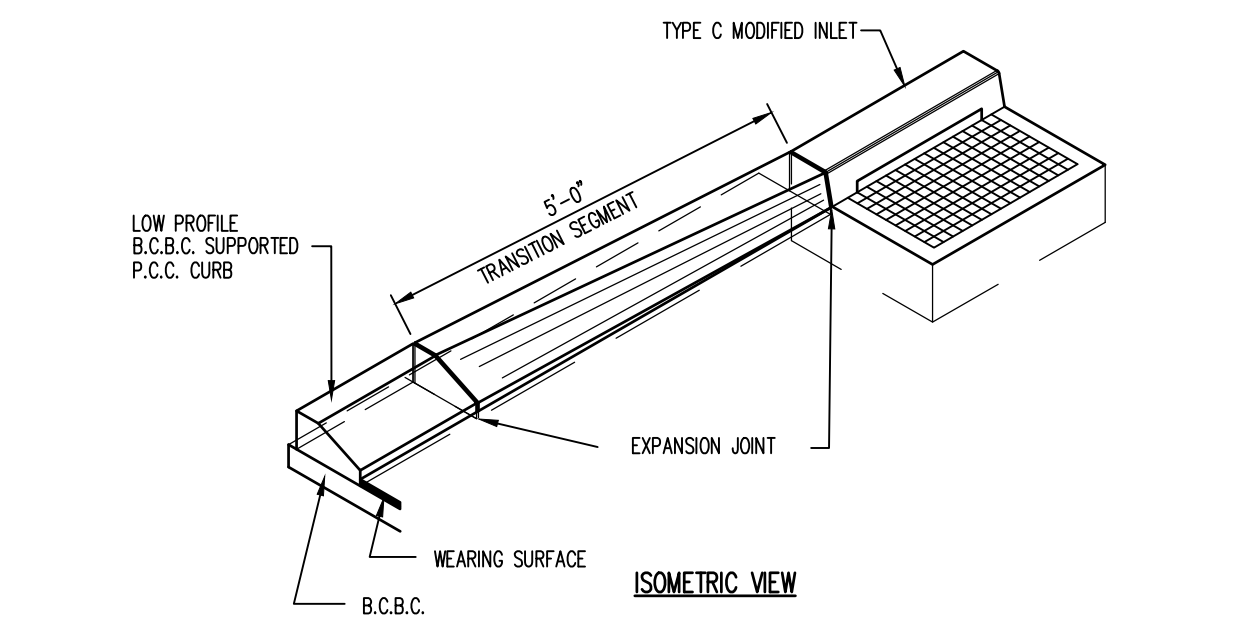
Date	Description
	REVISIONS

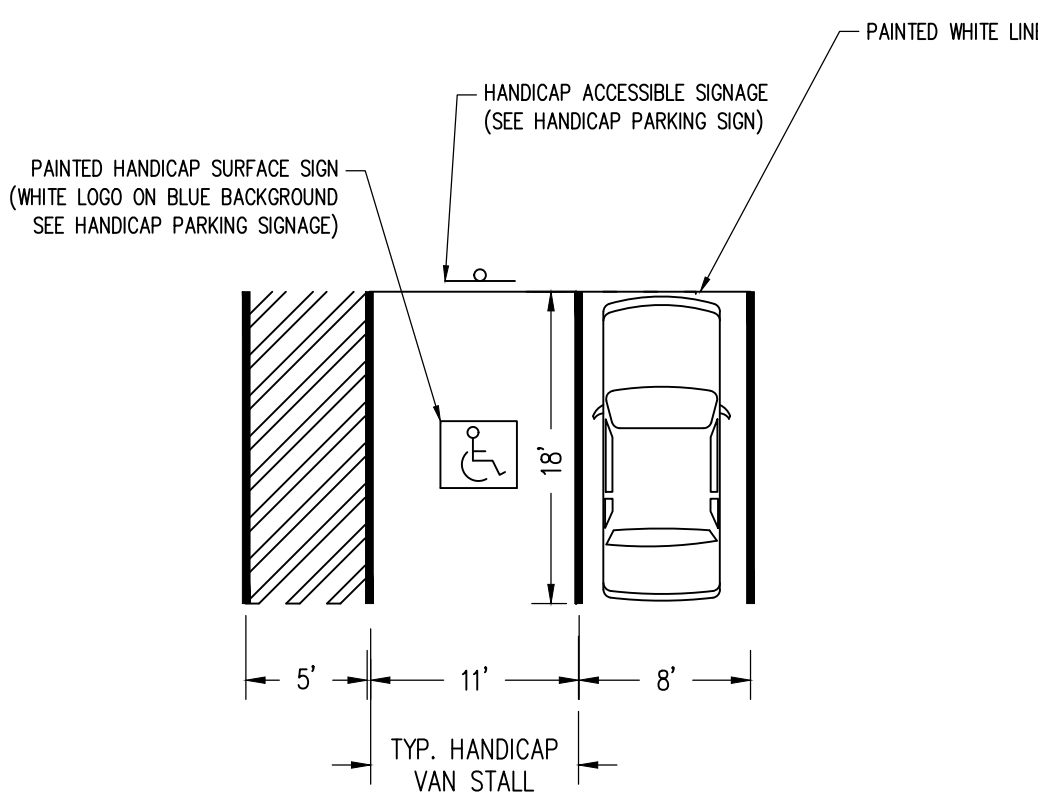
BRICKWORK SELF-STORAGE
 FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

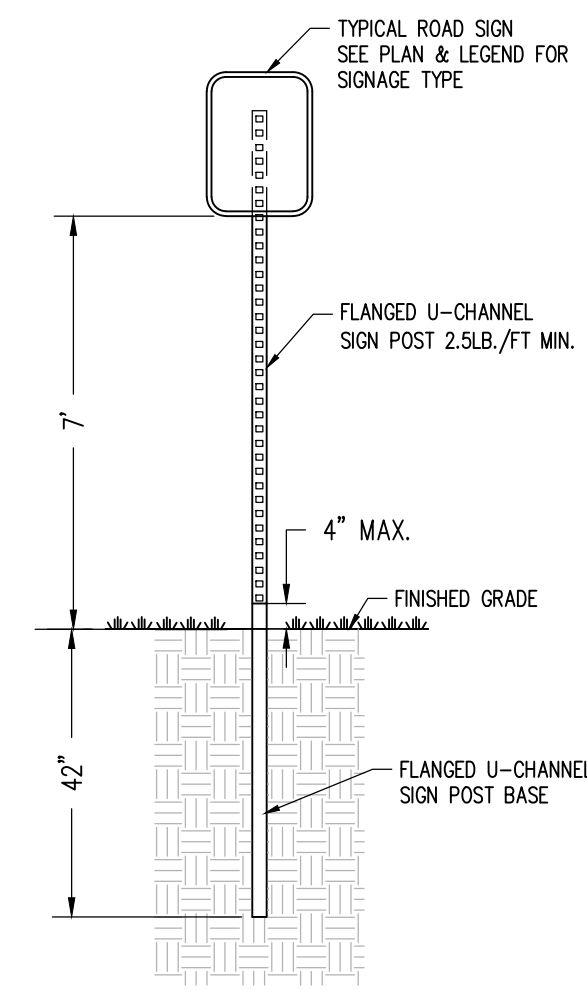
GENERAL SITE DETAILS

PROJECT NO.	23088
DATE	MARCH 5, 2024
SCALE	N.T.S.
SHEET NO.	13





TYPICAL HANDICAP PARKING
NOT TO SCALE

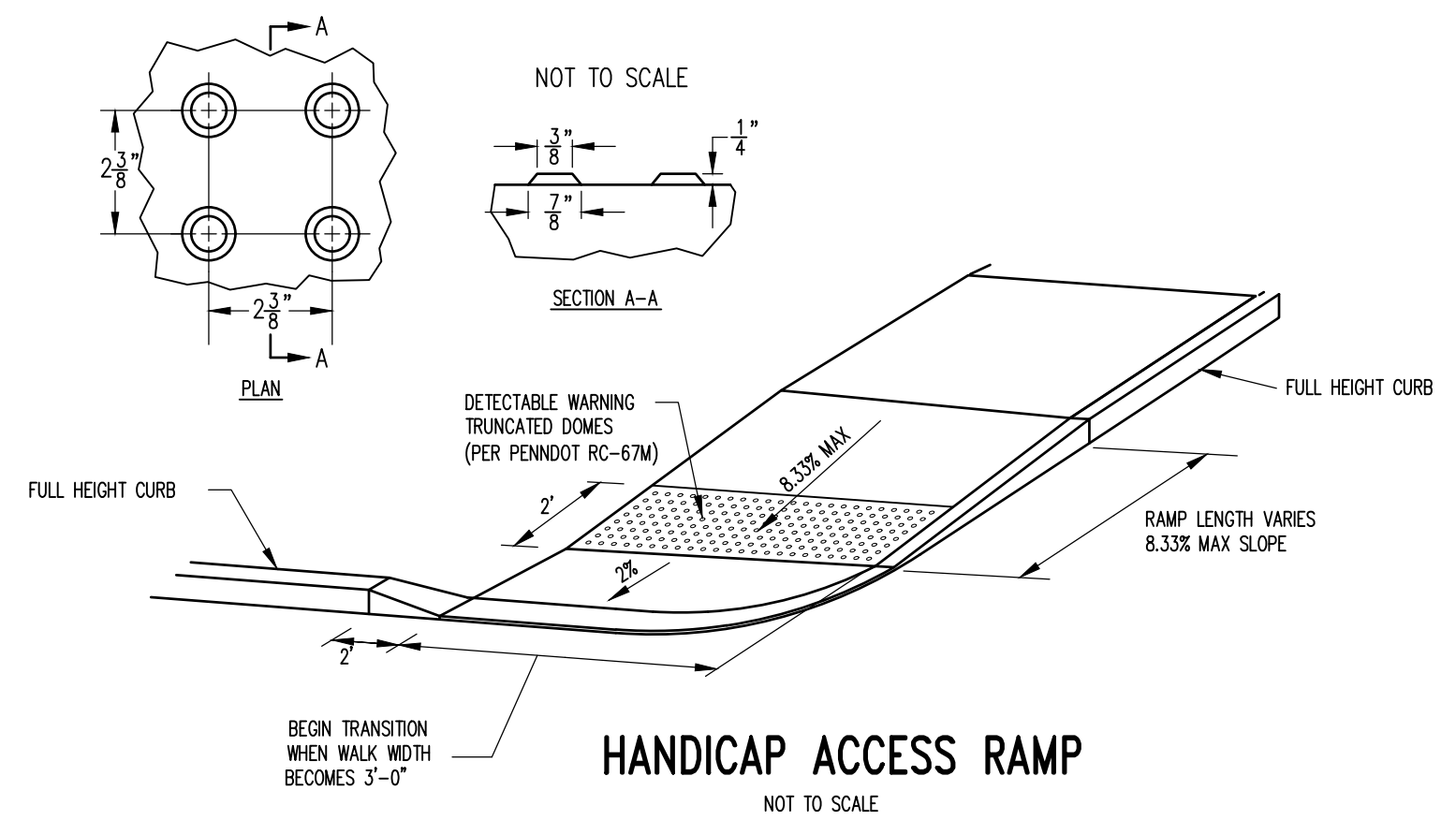


- NOTES:
1. MOUNT SIGN AT RIGHT ANGLE TO DIRECTION OF TRAFFIC FLOW.
2. PROVIDE A MINIMUM CLEARANCE OF ONE FOOT FROM FACE OF CURB.

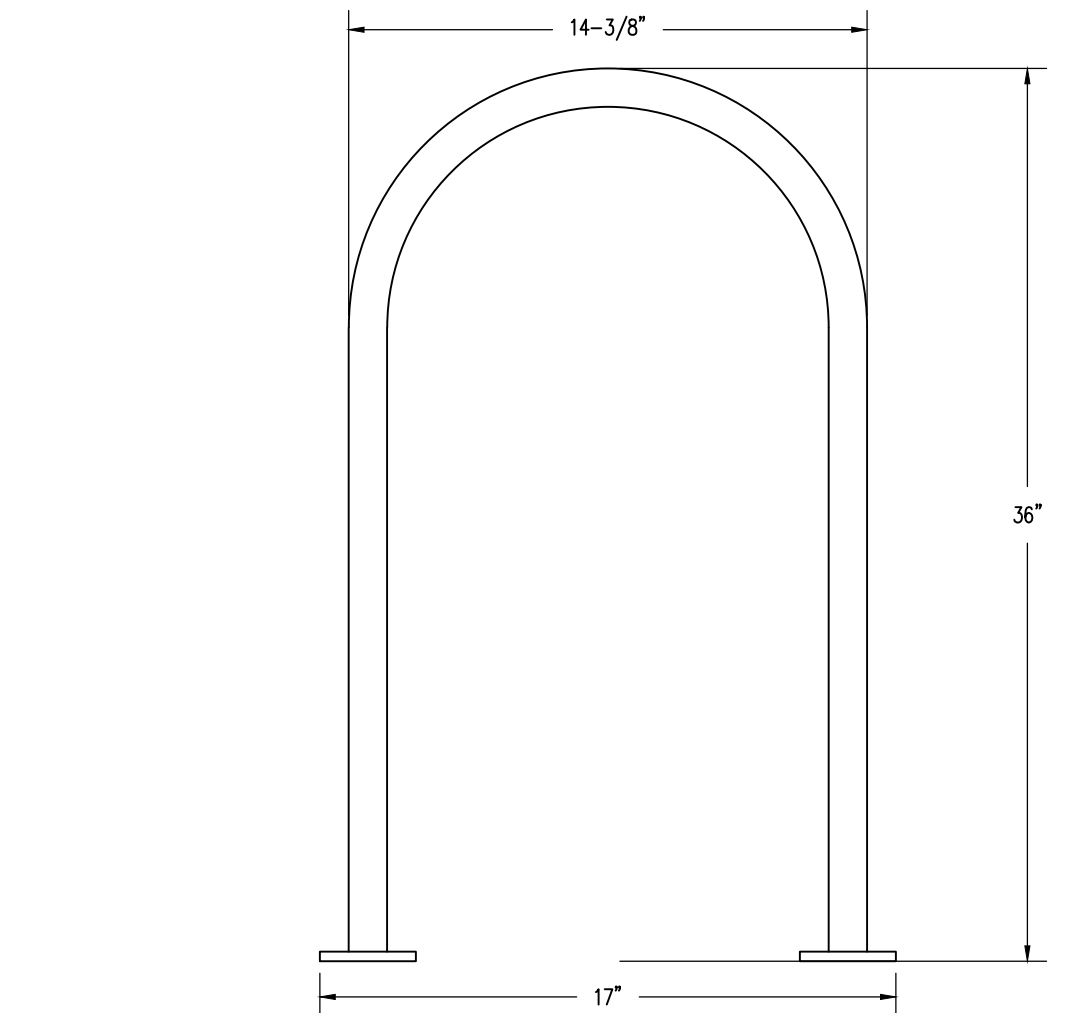
SIGN POST DETAIL
NOT TO SCALE



SIGN DETAILS

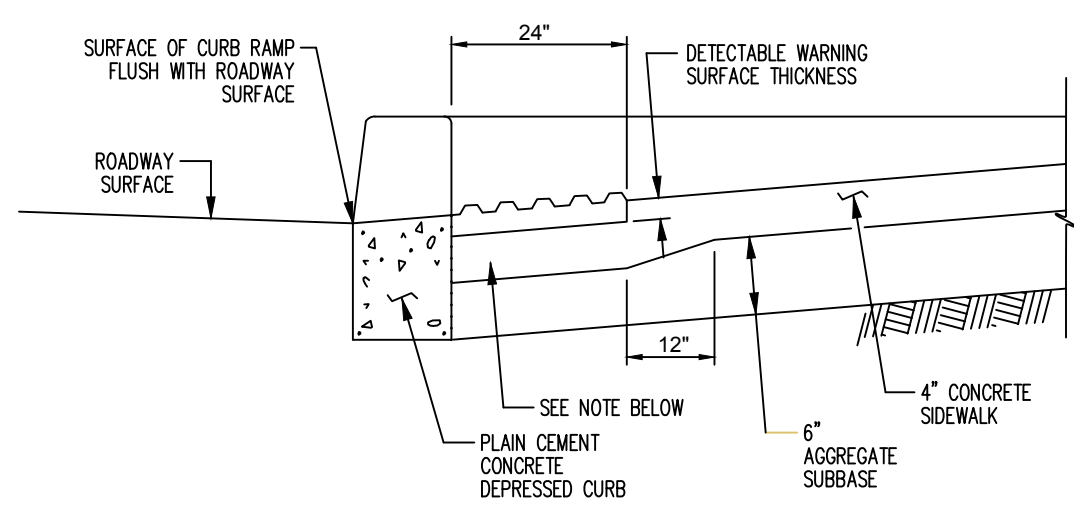
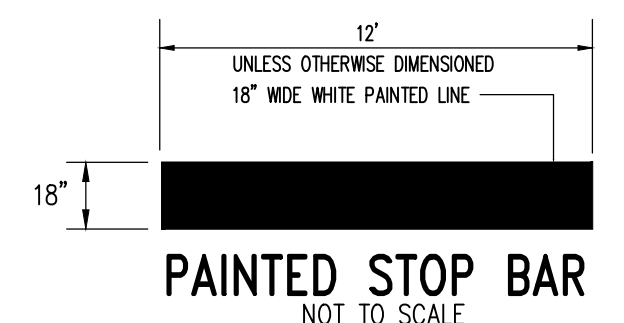
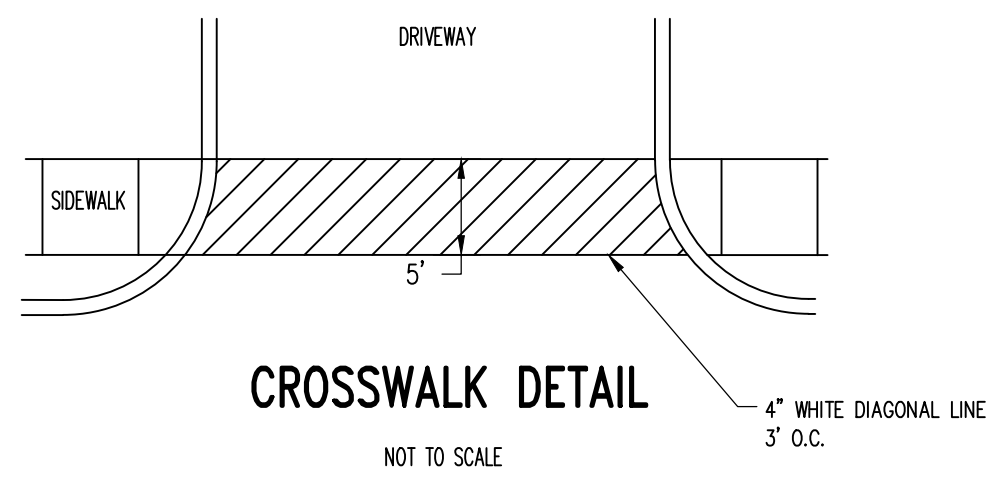


HANDICAP ACCESS RAMP
NOT TO SCALE

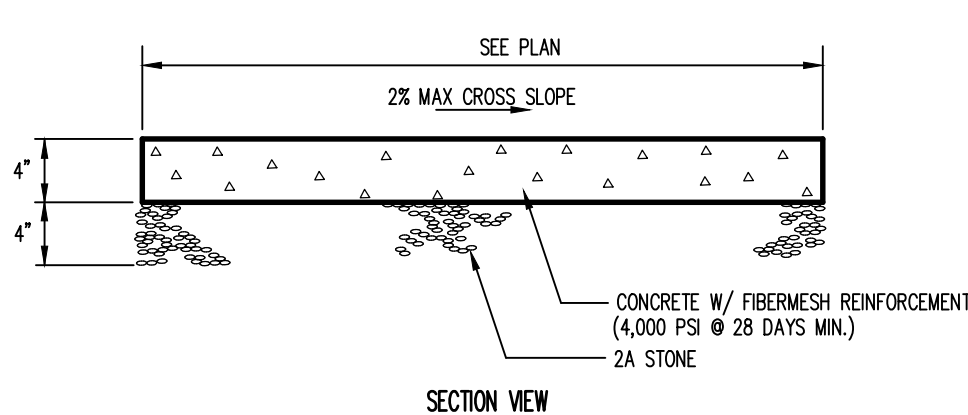


BELSON OUTDOORS STANDARD INVERTED 'U' BIKE RACK
NOT TO SCALE

- NOTES:
1. USE MODEL 5807SM FROM BELSON OUTDOORS OR APPROVED EQUAL.
2. COLOR TO BE SELECTED BY ARCHITECT.
3. BIKE RACKS SHALL HAVE 36" CLEARANCE FROM ANY OTHER BIKE RACKS, WALLS, DOORS, POST, COLUMNS OR EXTERIOR LANDSCAPING.

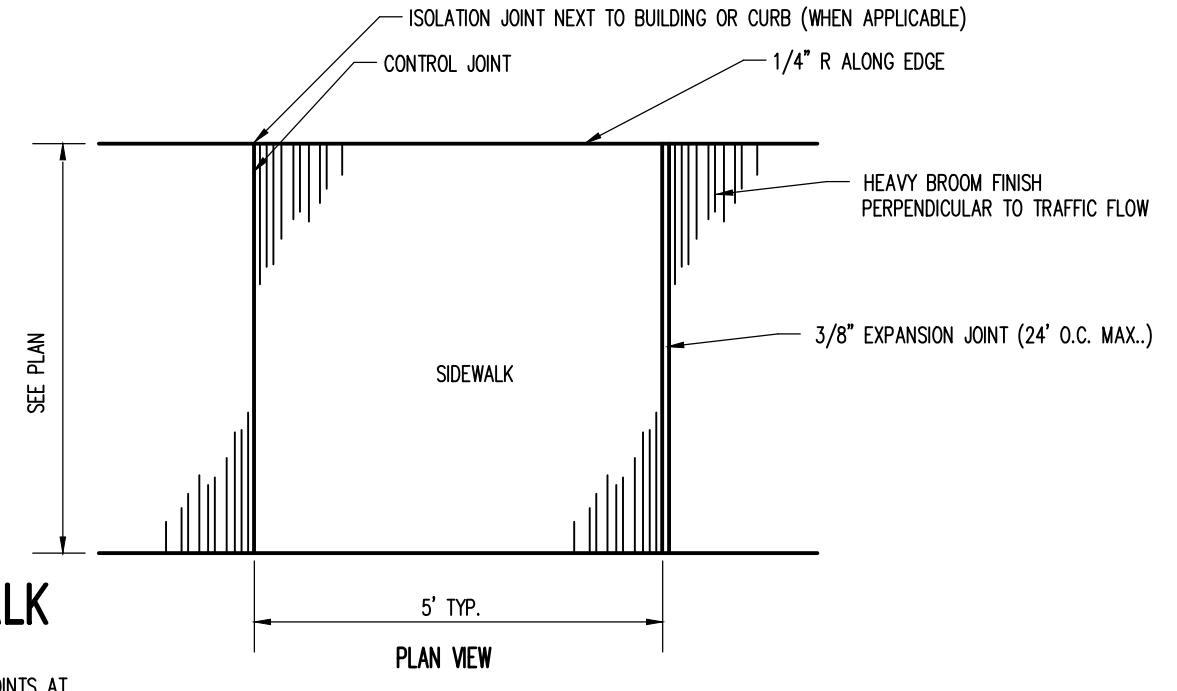


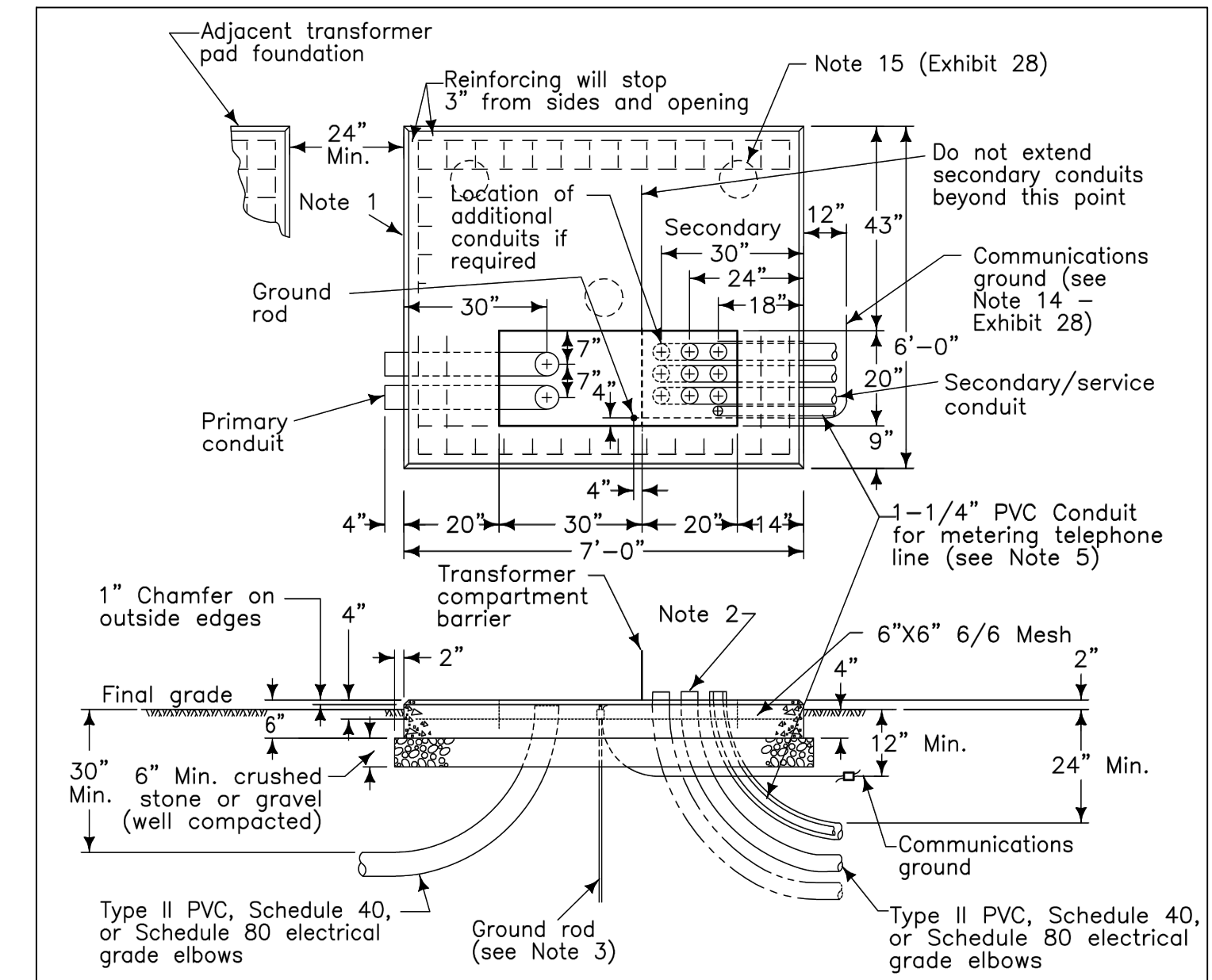
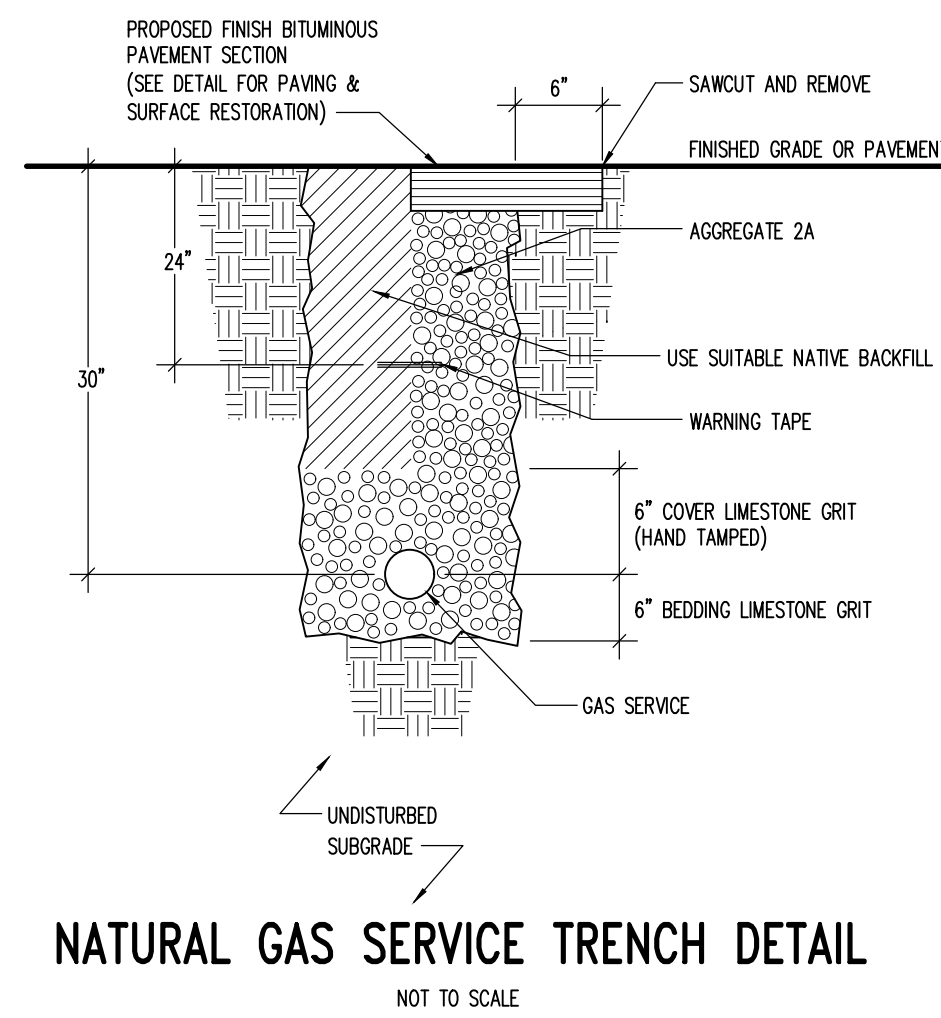
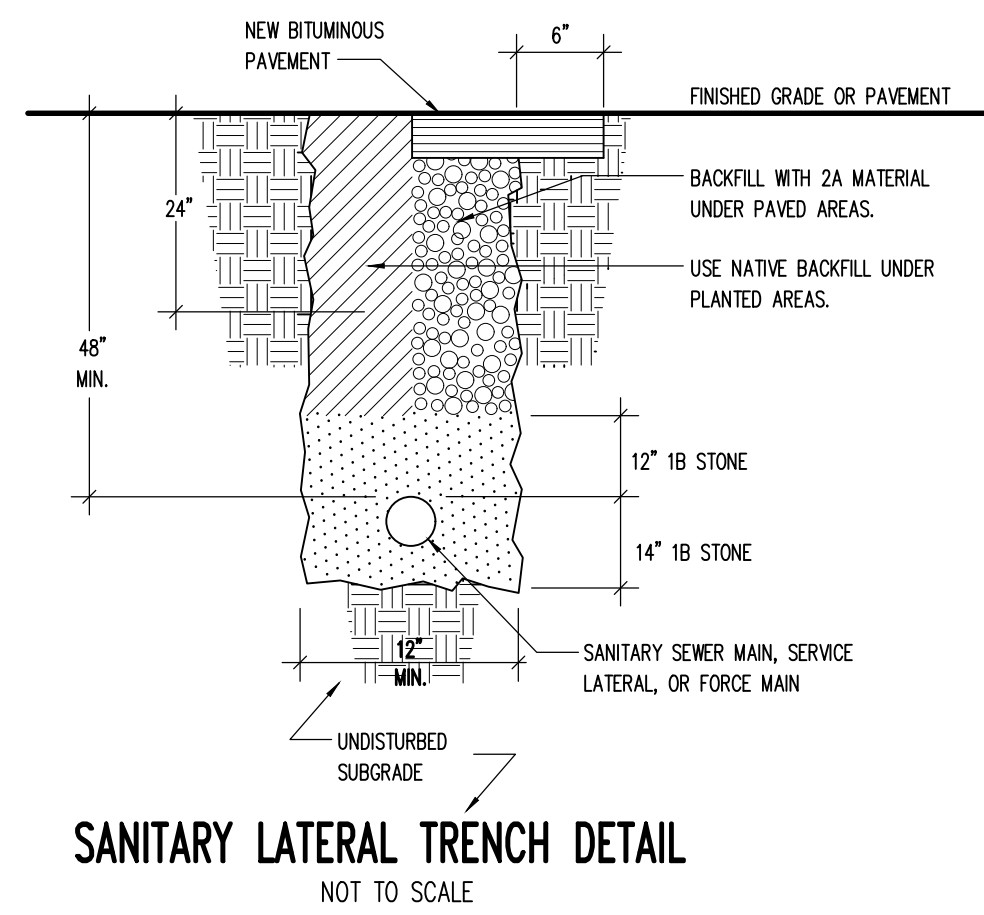
NOTE:
CONSTRUCT NOTCH AS SHOWN TO PROVIDE FULL THICKNESS SIDEWALK UNDER DETECTABLE WARNING SURFACE.
DETECTABLE WARNING SURFACE EMBEDDING DETAIL
NOT TO SCALE



CEMENT CONCRETE SIDEWALK
NOT TO SCALE

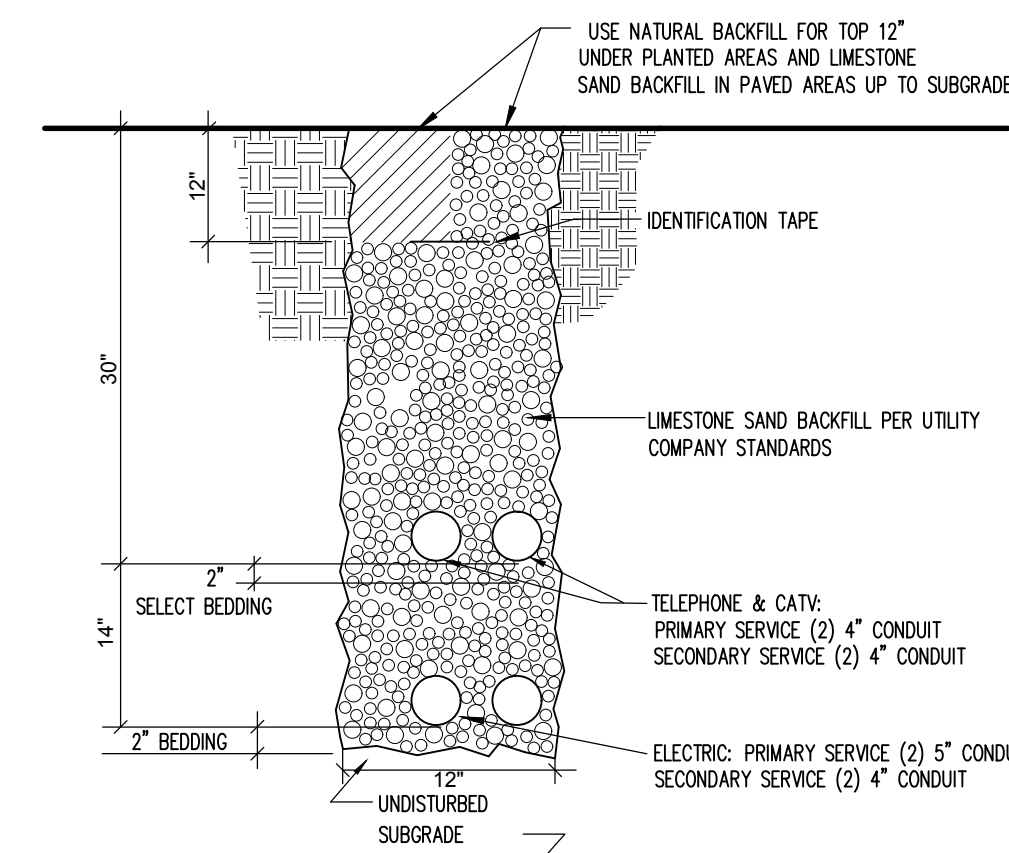
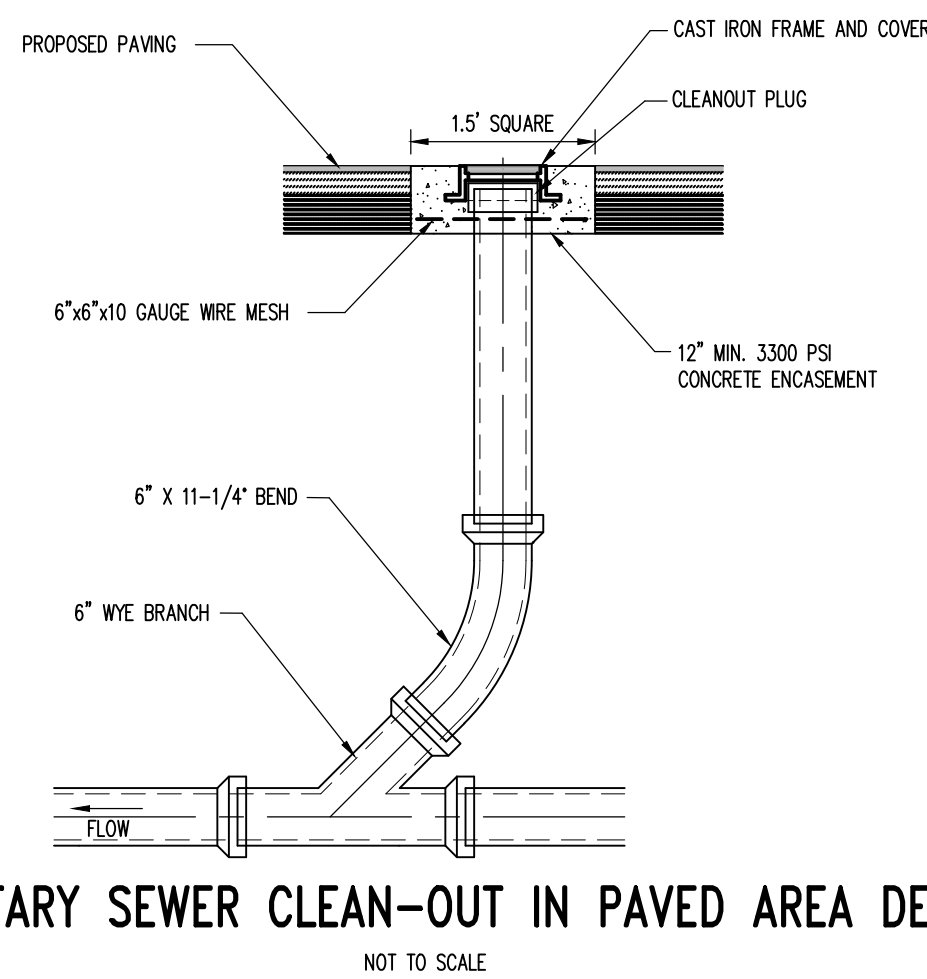
- NOTE:
1. CONTROL JOINTS 5' MAX. SPACING; FULL DEPTH EXPANSION JOINTS AT SOLID STRUCTURES, CURB AND BEGINNING AND END OF WORKING DAY.





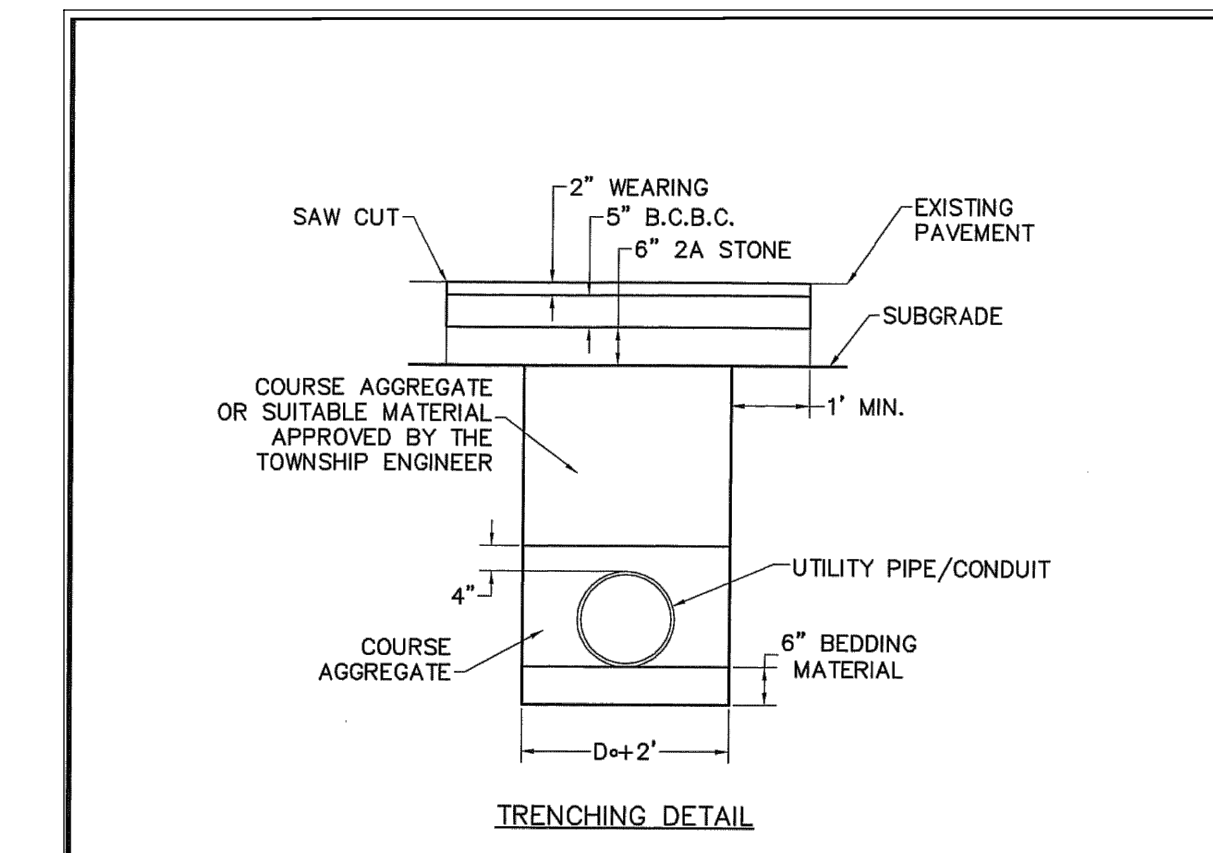
- NOTES:**
- Refer to Exhibit 28 for concrete pad foundation, pad-mounted transformer General Notes.
 - Secondary conduits should not extend more than 2 inches (maximum) above the top of foundation. Primary conduits should be cut off 2 inches below the top of foundation to allow for terminating the cables.
 - Customer shall furnish and install one 5/8-inch diameter x 8-foot ground rod, grounding connections, and #6 AWG copper communications ground wire (minimum length of wire required - 7-1/2 feet).
 - See Exhibit 22 for clearance from the building wall or other parts of building.
 - When required, extend 1-1/4-inch conduit to location at the customer's building where telephone line service can be made available at the telephone demarcation point.

FirstEnergy	
Service Guide	REV. 0
EXHIBIT 26	
DATE	8/14



- Pad installation and trenching/backfill by Site Contractor.
Conduit installation by Electrical Contractor. See Electrical Drawings.
- NOTES:**
- LIMESTONE SAND BACKFILL PER UTILITY COMPANY STANDARDS.
 - REFER TO UTILITY COMPANY DESIGN PLANS FOR LOCATIONS AND SIZES OF PVC CONDUITS.
 - INSTALL CONDUIT FOR POWER, TELEPHONE, & CATV AS SHOWN ON UTILITY PROVIDER PLANS.

ELEC., TELE. & CATV TRENCH
NOT TO SCALE

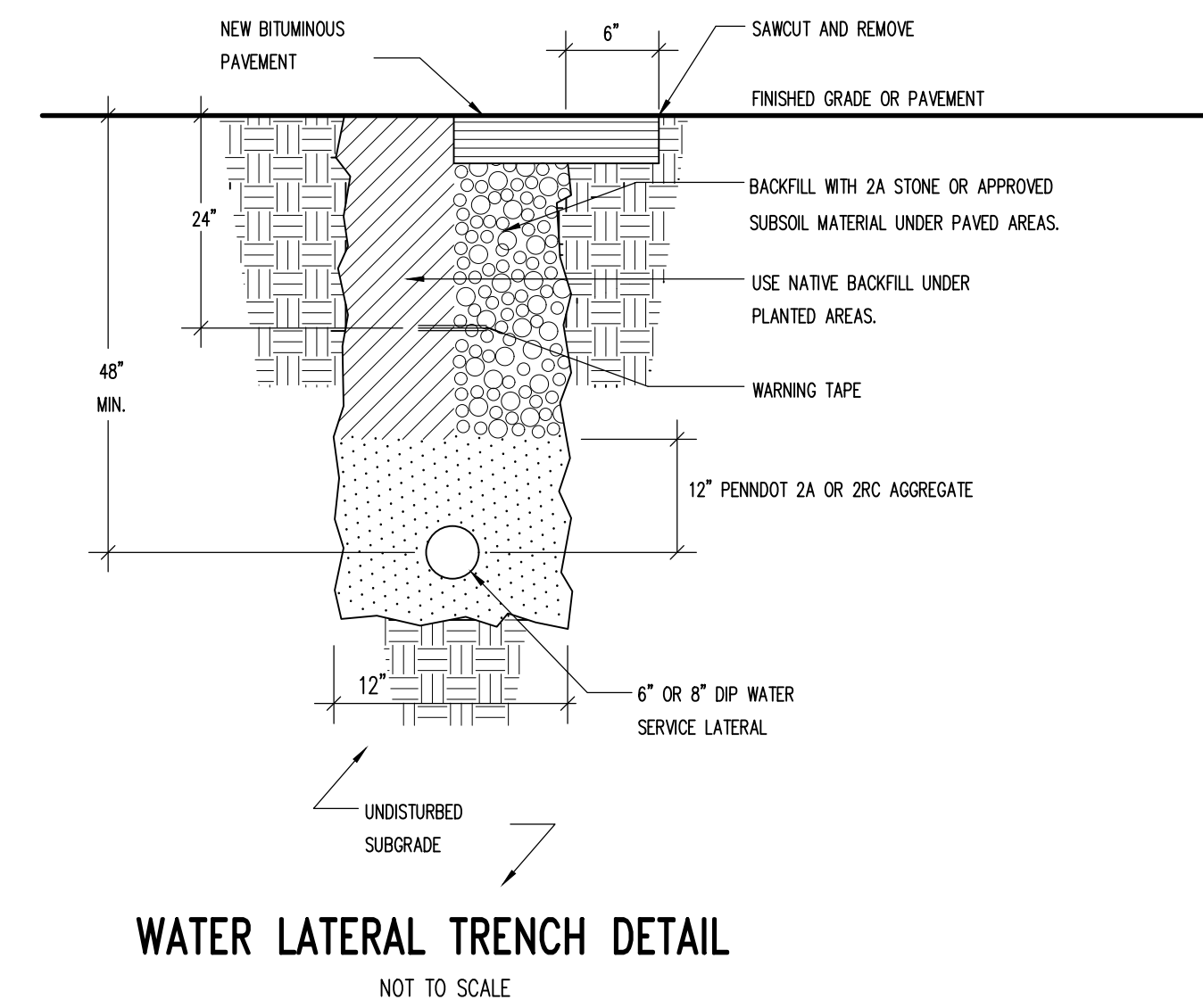
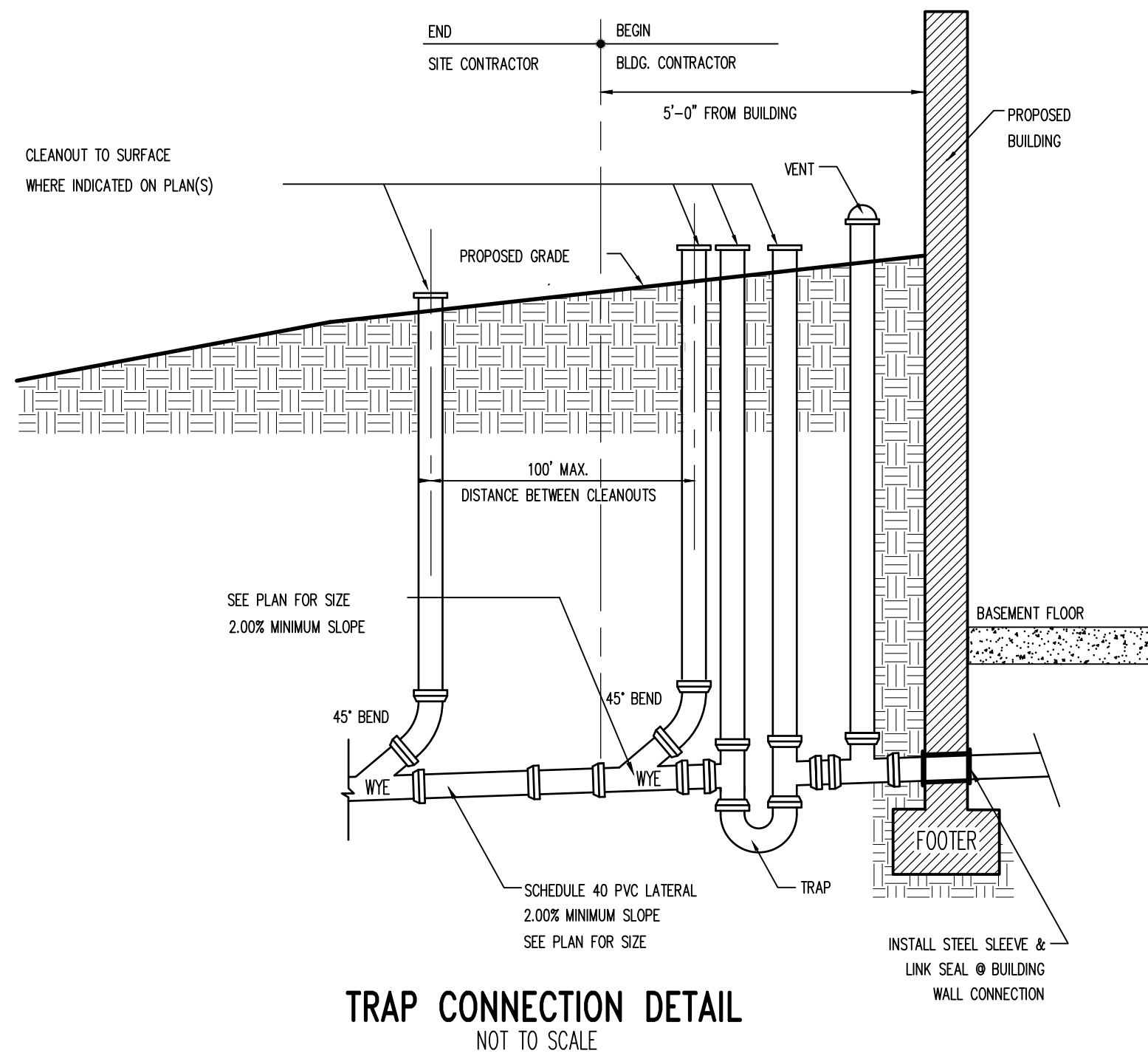


- CONSTRUCTION PROCEDURE:**
- EXCAVATE THE TRENCH TO THE WIDTH OF THE OUTSIDE DIAMETER OF THE PIPE (D_o) PLUS 2 FEET AND CREATE AN APPROPRIATE BEDDING 6 INCHES DEEP.
 - PLACE 2B COARSE AGGREGATE MATERIAL (IN 8\"/>

REV.	DATE	DESCRIPTION	BY	DESIGNED BY	DATE	SCALE
1				DES-S	2/20/02	N.T.S.
2				DES-S	2/4/02	AS SHOWN
3				DES-S	2/12/03	AS SHOWN

TOWNSHIP OF FERGUSON
DEPARTMENT OF PUBLIC WORKS / ENGINEERING
2547 BROADWAY DRIVE, BRIDGEVILLE, PENNSYLVANIA 19001
Tel: 610-238-4801 Fax: 610-238-3484
FEBRUARY 20, 2003

STANDARD TRENCH DETAIL
FERGUSON TOWNSHIP STANDARDS DRAWINGS



WATER LATERAL TRENCH DETAIL
NOT TO SCALE

PennTerra ENGINEERING INC.
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
www.PENNTERRA.com

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PROFESSIONAL ENGINEER
JOHN C. SEPP
ENGINEER 040033-E
Seal

Designer(s)	BDD
Environmental	MSF
Proj. Manager	MAT
Surveyor	MRK
Perimeter Ck.	
Book	599 Pg. 60
File	23088-PRE-11-DETAILS
Layout	UTILITY DETAILS

Date	Description
	REVISIONS

BRICKWORK SELF-STORAGE
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

UTILITY DETAILS

PROJECT NO.	23088
DATE	MARCH 5, 2024
SCALE	N.T.S.
SHEET NO.	15

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STORMWATER MANAGEMENT NOTES:

- All site work shall be done in accordance with the plans prepared by PennTerra Engineering, Inc., the current requirements of the governing municipality, the applicable sections of the PennDOT standard specifications for roadway construction, and all other pertinent federal and state laws.
- The Contractor shall comply at all times with applicable federal, state and local laws, provisions, and policies governing safety and health, including the federal construction safety act, as amended.
- The Contractor shall be responsible for examining the areas and conditions under which the project is to be constructed prior to the submission of a bid. Submission of a bid to be constructed to mean the Contractor has reviewed the site and is familiar with conditions and constraints of the site.
- Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify po one call 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
- An as-built drawing of new utility services shall be prepared by the Contractor and submitted to the Owner upon completion of the project.
- All storm pipes shall be as noted. All joints shall be watertight.
- Contractor shall refer to other plans within this construction set for other pertinent information.
- Co-permittee requirements: Contractor to complete Pennsylvania Department of Environmental Protection (D.E.P.) forms and make application to become co-permittee of the individual NPDES permit prior to commencing any land disturbance. Contractor shall assume full responsibility for any fines or other measures assessed by regulatory agencies due to improper or deficient installation and / or maintenance of the temporary erosion and sedimentation control measures and post-construction stormwater measures installed. Contractor shall remain a co-permittee of the National Pollutant Discharge Elimination System (NPDES) permit until the notice of termination of the NPDES permit has been issued by the PA D.E.P.
- Notice of termination services: Contractor shall be responsible for the services for the notice of termination of the NPDES permit. This includes but is not limited to the following:
 - Have a licensed professional or designee on-site to observe the critical stages of construction noted in the post-construction stormwater management plan. The licensed professional or designee will be responsible for signing the required certification forms and certifying that the facilities have been built according to the approved plans, processing and recording any required forms and the as-built survey through the PA D.E.P. until the notice of termination is received.
 - Prepare an as-built topographic survey sealed by a licensed surveyor from the commonwealth of Pennsylvania of the stormwater management facilities (infiltration basin, rain garden and outlet structures, outlet pipes, tops of berms and spillways).
 - Provide double-ring infiltrometer tests as outlined in the December 2006 PA D.E.P. Stormwater BMP manual of the produced basin bottom soil mix prior to installation to certify that the soil mix meets the infiltration requirements noted on the plans.
- Contractor shall have a licensed professional submit as-built drawings/documentation (including verification of infiltration testing) of the stormwater management facilities prepared in accordance with chapter 26 of the governing municipality's code of ordinances and submitted to the governing municipality at the completion of construction as a prerequisite of issuance of occupancy permit or release of the surety bond. A narrative and photographic documentation for critical stages of construction and for the infiltration surface prior to placement of filter fabric/amended soils must also be submitted to the governing municipality. As-built infiltration testing in infiltration basins shall be performed at the top of the finished native soil layer prior to topsoil placement. This testing is in addition to the testing identified in Note 9.c. The number of infiltration tests performed shall be in accordance with the governing municipality's code of ordinances.

CRITICAL STAGES OF CONSTRUCTION NOTES:

The following stages of construction require that a licensed professional or designee registered within the Commonwealth of Pennsylvania be present onsite. Notice shall be given two weeks prior to commencing construction activities for which the licensed professional will be present. The general site contractor shall be responsible for supplying & coordinating the licensed professional. The licensed professional will be required to certify and seal as-built drawings at the end of construction that the stormwater facilities have been built to the specifications on the post construction stormwater management plans and details. The contractor shall then file this certification with the Centre County Conservation District when the Notice of Termination (NOT) document is completed.

- Proposed Infiltration Basin

SOILS LEGEND

Soil cover on the site consists of:
 HuB - Hublerburg silt loam, 0%–3% Slopes
 Ohb - Opequon-Hagerstown complex, 3%–8% Slopes

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Property Corner Found
- Project Benchmark

EXISTING FEATURES LEGEND

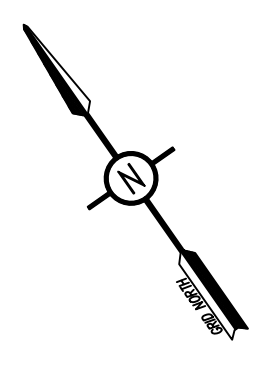
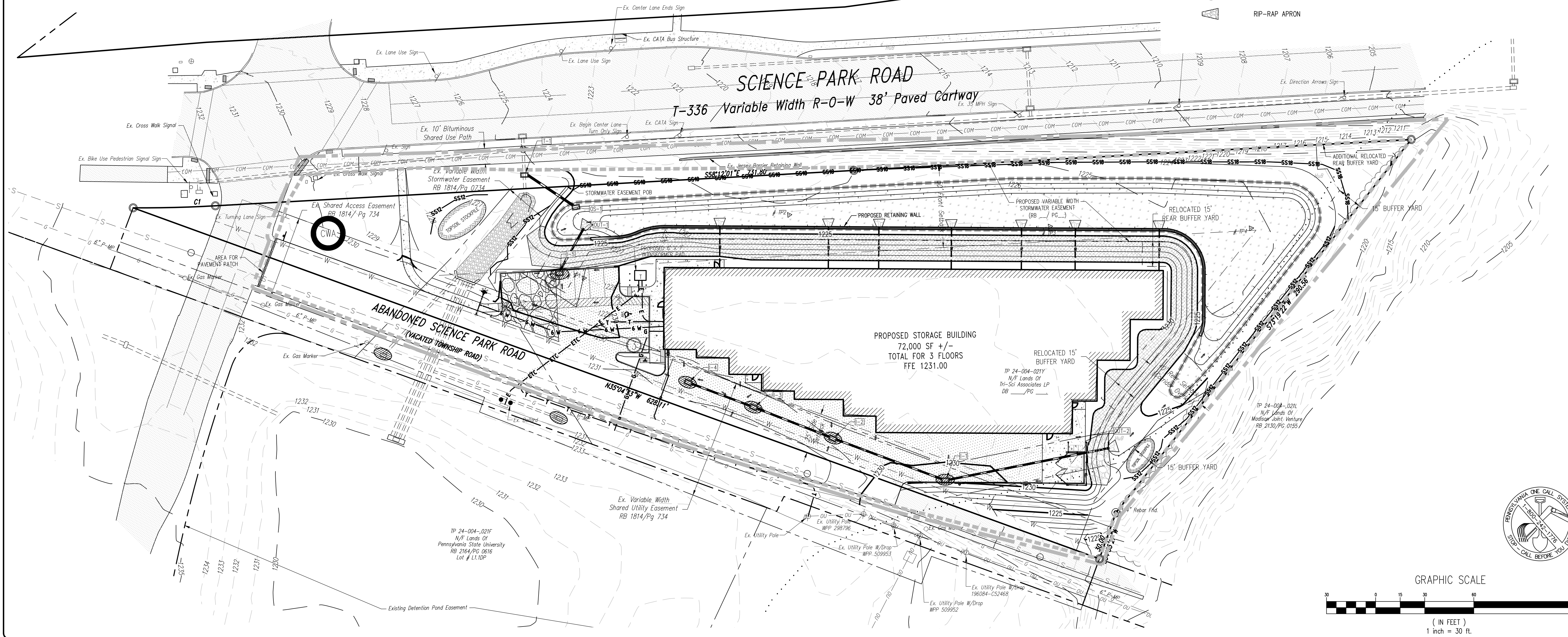
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Bituminous Areas
- Existing Retaining Wall
- Existing Contours w/ Elevation (1's)
- Existing Contours w/ Elevation (5's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Underground Electric
- Existing Underground Communication
- Existing Overhead Utility Line w/ Pole
- Existing Utility Pole
- Existing Guy Wire
- Existing Storm Sewer Inlet Type-C
- Existing Sign
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Row
- Existing Rip-Rap Apron

PROPOSED FEATURES LEGEND

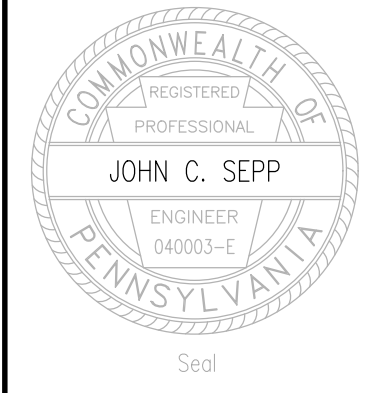
- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE AREAS
- PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL
- PROPOSED PARKING STALL COUNT
- PROPOSED DEPRESSED CURB W/ CURB TRANSITION
- PROPOSED ADA RAMP W/ DETECTABLE WARNING SURFACE
- PROPOSED RETAINING WALL
- PROPOSED STORMWATER BASIN/ BEST MANAGEMENT PRACTICE (BMP) FACILITIES
- PROPOSED PAD FOR BICYCLE PARKING (2 BIKES)
- PROPOSED 6" STEEL BOLLARD FILLED W/ CONCRETE
- PROPOSED FIRE HYDRANT
- PROPOSED STORMWATER STRUCTURE LABEL

EROSION & SEDIMENTATION CONTROL LEGEND

- NPDES BOUNDARY LINE
- LIMIT OF DISTURBANCE
- CONSTRUCTION ENTRANCE
- INLET PROTECTION
- EROSION CONTROL LINING (CUREX I OR APPROVED EQUAL)
- TOPSOIL STOCKPILE
- 12" SILT SOCK
- 18" SILT SOCK
- CONCRETE WASHOUT AREA
- RIP-RAP APRON



PennTerra ENGINEERING INC.
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Designer(s)	BDD
Environmental	MSF
Proj. Manager	MAT
Surveyor	MKK
Perimeter Ck.	
Book	599 Pg. 60
File	3308B-PRE-EAS-DI-PLAN
Layout	E&S-PLAN

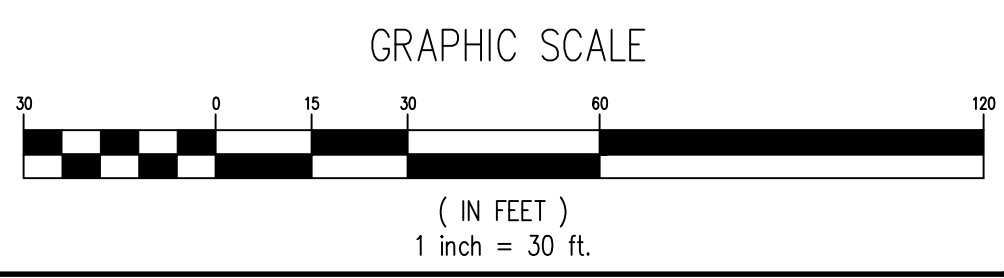
Date	Description
	REVISIONS

BRICKWORK SELF-STORAGE
 FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

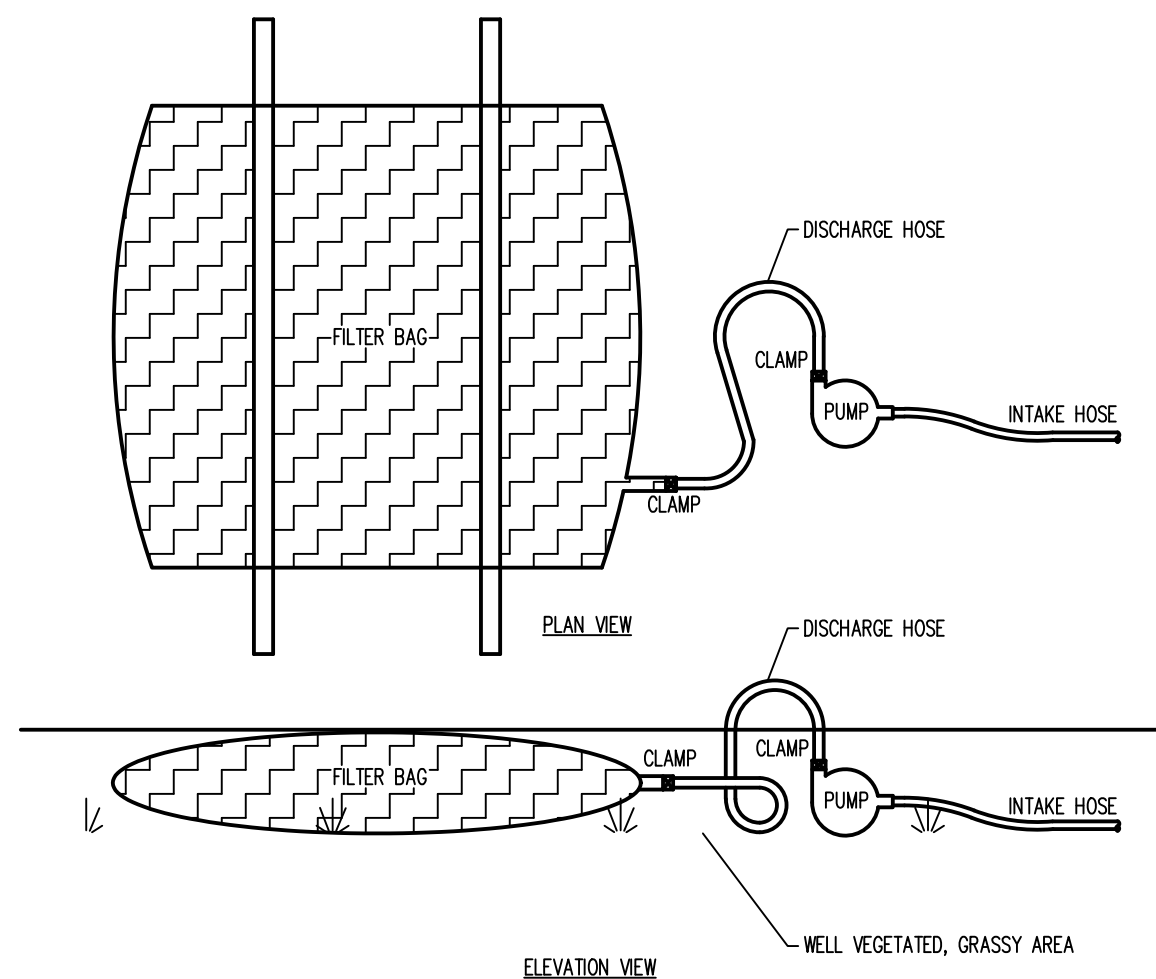
PRELIMINARY LAND DEVELOPMENT PLAN

EROSION & SEDIMENTATION CONTROL PLAN

PROJECT NO.	23088
DATE	MARCH 5, 2024
SCALE	1" = 30'
SHEET NO.	ES1



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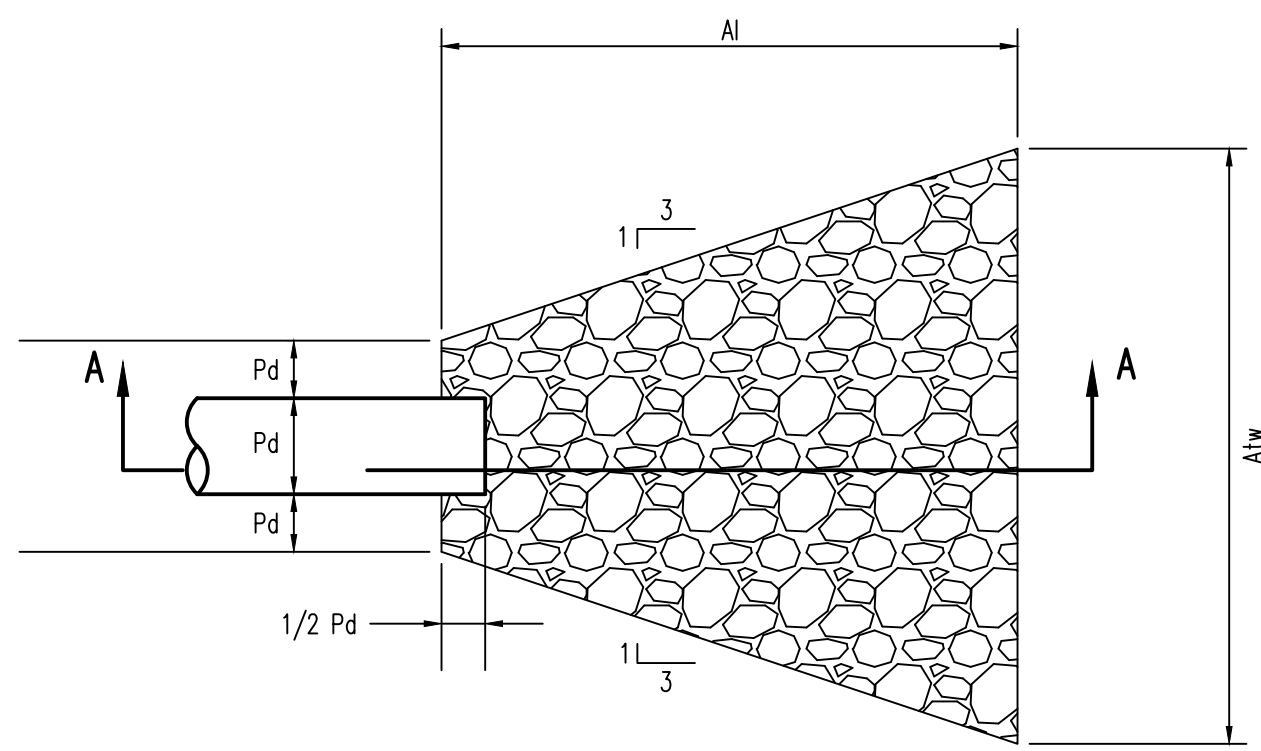
ELEVATION VIEW
 Low volume filter bags shall be made from non-woven geotextile material sewn with high strength, double stitched "J" type seams. They shall be capable of trapping particles larger than 150 microns. High volume filter bags shall be made from woven geotextiles that meet the following standards:

Property	Test Method	Minimum Standard
Avg. Wide Width Strength	ASTM D-4884	60 lb/in
Grab Tensile	ASTM D-4632	205 lb
Puncture	ASTM D-4833	110 lb
Mullen Burst	ASTM D-3786	350 psi
UV Resistance	ASTM D-4355	70%
AOS % Retained	ASTM D-4751	80 Sieve

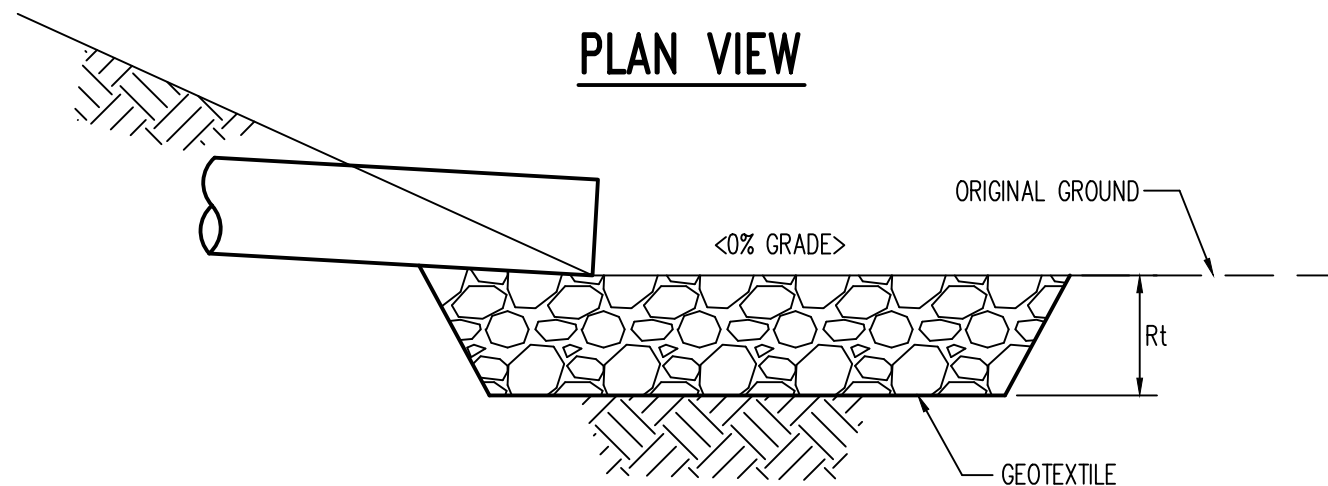
Notes:

- A suitable means of accessing the bag with machinery required for disposal purposes shall be provided. Filter bags shall be replaced when they become 1/2 full of sediment. Spare bags shall be kept available for replacement of those that have failed or are filled. Bags shall be placed on straps to facilitate removal unless bags come with lifting straps already attached.
- Bags shall be located in well-vegetated (grassy) area, and discharge onto stable, erosion resistant areas. Where this is not possible, a geotextile underlayment and flow path shall be provided. Bags may be placed on filter stone to increase discharge capacity. Bags shall not be placed on slopes greater than 5%. For slopes exceeding 5%, clean rock or other non-erodible and non-polluting material may be placed under the bag to reduce slope steepness.
- No downslope sediment barrier is required for most installations. Compost berm or compost filter sock shall be installed below bags located in HQ or EV watersheds, within 50 feet of any receiving surface water or where grassy area is not available.

PUMPED WATER FILTER BAG DETAIL
 NOTE: THIS DETAIL SHALL BE USED FOR PUMPING OF WATER FROM THE SITE
 NOT TO SCALE



PLAN VIEW



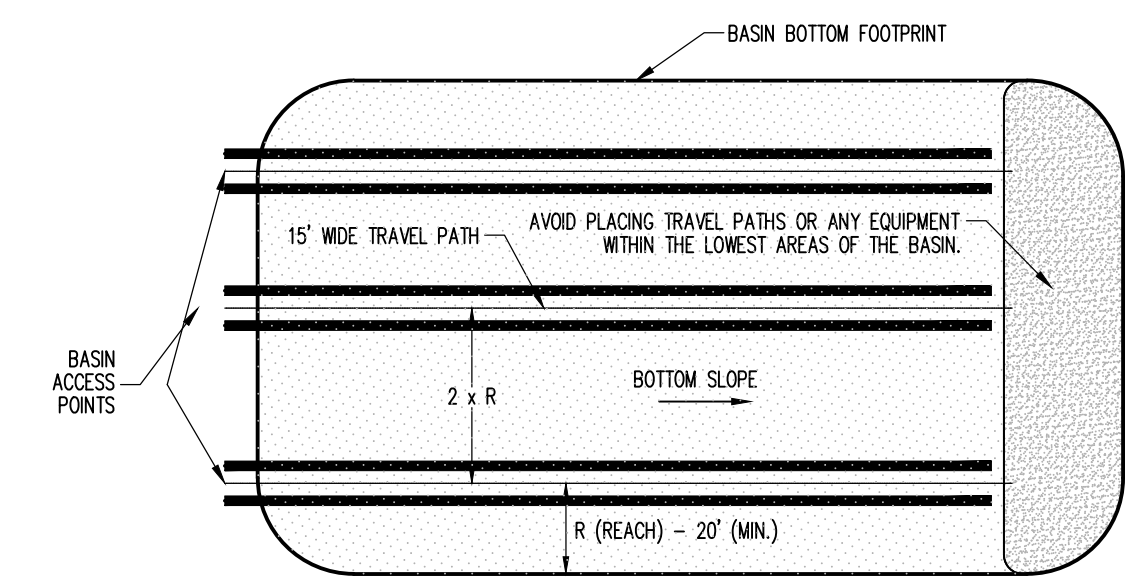
SECTION A-A

OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON		
		SIZE (R-)	THICK. Rt (IN)	LENGTH Ai (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)
Out-1 and Out-2	12"	R-3	0.75'	6.0'	3.0'	9.0'
Roof Drain 1,2,3,4	8"	R-3	0.75'	6.0'	2.0'	8.0'

NOTES:

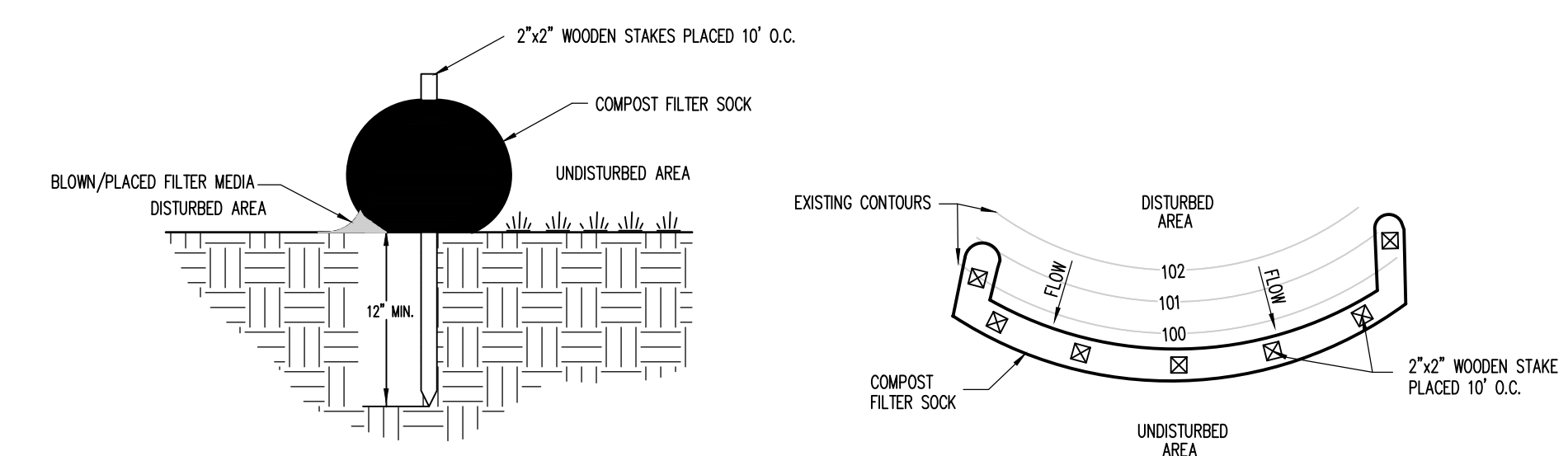
- All aprons shall be constructed to the dimensions shown. Terminal widths shall be adjusted as necessary to match receiving channels. Extend aprons further into swales, where shown.
- All aprons shall be inspected at least weekly and after each runoff event. Displaced riprap within the apron shall be replaced immediately.
- Extend riprap on back side of apron to at least 1/2 depth of pipe on both sides to prevent scour around the pipe.

RIPRAP APRON AT PIPE OUTLET
 NOT TO SCALE



TYPICAL INFILTRATION BASIN BOTTOM EXCAVATION
 NOT TO SCALE

- THIS DETAIL REPRESENTS A TYPICAL BASIN BOTTOM EXCAVATION TECHNIQUE. EACH BASIN VARIES WITH GEOMETRY AND OTHER VARIOUS PHYSICAL FEATURES. THE CONTRACTOR MUST DEVELOP A BASIN BOTTOM EXCAVATION PLAN AND CONSULT WITH THE SITE ENGINEER PRIOR TO COMMENCING THE BASIN BOTTOM EXCAVATION.
- NOTES:**
- ALL EQUIPMENT MOBILIZATION AND MANEUVERS MUST BE LIMITED TO THE TRAVEL PATH LOCATIONS. THE CONTRACTOR SHALL LOCATE AND CLEARLY POST ALL TRAVEL PATHS IN THE FIELD.
 - TRAVEL PATH LOCATIONS SHALL BE SELECTED BASED UPON EQUIPMENT REACH CAPABILITY AND BASIN GEOMETRY. TRAVEL PATH LOCATIONS SHOULD BE SELECTED SUCH THAT THEY PARALLEL THE LONGEST SIDE OF THE BASIN.
 - TRAVEL PATH SPACING SHALL VARY WITH EQUIPMENT REACH CAPABILITY. REACH CAPABILITY SHOULD BE A MINIMUM OF 20 FEET.
 - MATERIAL SHALL BE REMOVED FROM THE TRAVEL PATH LOCATIONS WORKING TOWARD THE BASIN ACCESS POINTS. ONCE MATERIAL IS REMOVED FROM EACH TRAVEL PATH LOCATION AND FINAL GRADE IS ACHIEVED, ALL EQUIPMENT SHALL BE PROHIBITED FROM THESE LOCATIONS.



SECTION VIEW

PLAN VIEW

- NOTES:**
- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2.
 - SILT SOCK COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
 - SILT SOCKS DEPICTED ARE FOR USE ON MINIMAL SLOPES. GREATER SLOPES MAY REQUIRE LARGER SILT SOCKS FOR THE ENGINEER.
 - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
 - TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 - SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 - BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTO-DEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

TABLE 4.1
 Compost Sock Fabric Minimum Specifications

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPF)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength	26 psi	26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years

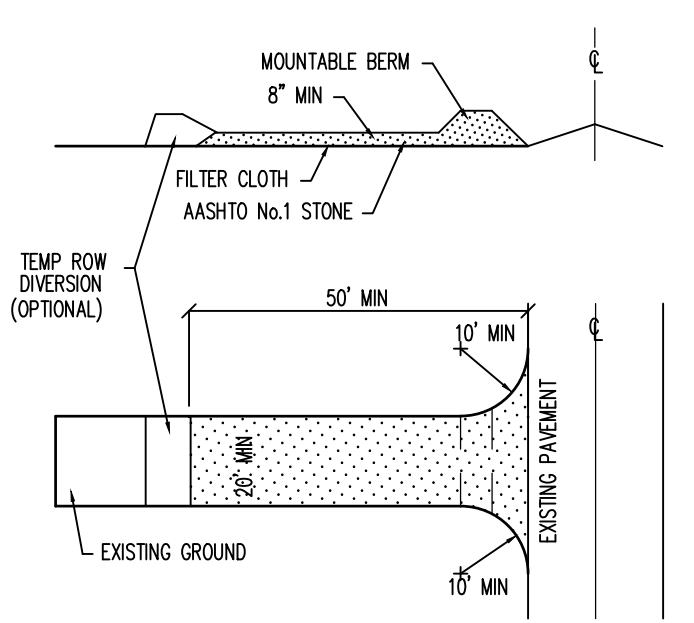
Two-Ply Systems

Inner Containment Netting	HDPE biaxial net
	Continuously wound
Outer Filtration Mesh	Fusion-welded junctures
	3/4"x3/4" Max. aperture size
Outer Filtration Mesh	Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch)
	3/16" Max. aperture size
Sock fabrics composed of burlap may be used on projects lasting 6 months or less.	

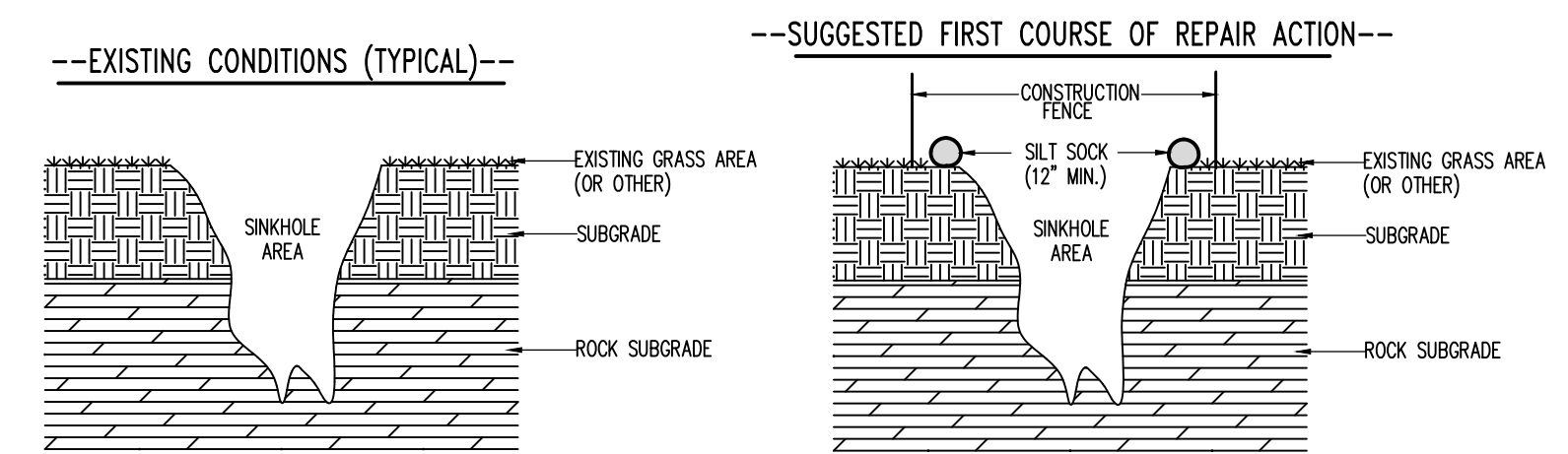
TABLE 4.2
 Compost Standards

Organic Matter Content	25%-100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5-8.5
Moisture Content	30%-60%
Particle Size	30%-50% pass through 3/8" sieve
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum

COMPOST FILTER SOCK DETAIL
 NOT TO SCALE



CONSTRUCTION ENTRANCE
 NOT TO SCALE

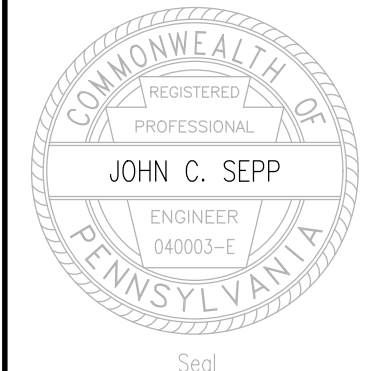


REPAIR STEPS

- UPON DISCOVERY OF A SINKHOLE, THE FOLLOWING STEPS SHALL IMMEDIATELY OCCUR:
- INSTALL SILT SOCK OR SOME OTHER PERIMETER EROSION AND SEDIMENT CONTROL BMP AROUND THE SINKHOLE PERIMETER, AS SHOWN ABOVE UNDER THE SUGGESTED FIRST COURSE OF REPAIR ACTION.
 - INSTALL CONSTRUCTION FENCE AROUND THE SINKHOLE PERIMETER, AS SHOWN ABOVE UNDER THE SUGGESTED FIRST COURSE OF REPAIR ACTION.
 - CONTACT THE PROJECT GEOTECHNICAL AND CIVIL CONSULTING ENGINEERS TO ARRANGE A FIELD VIEWING OF THE SINKHOLE AND DETERMINE THE FINAL COURSE OF ACTION TO REPAIR THE SINKHOLE.
 - IMPLEMENT THE FINAL COURSE OF ACTION TO REPAIR THE SINKHOLE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER. REFER TO THE INVERTED FILTER FOR A TYPICAL REPAIR. THE FINAL REPAIR APPROACH SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER.

SINKHOLE REPAIR-COURSE OF ACTION PLAN
 (NOT INCLUDED IN UTILITY/EARTHWORK BASE BID)
 NOT TO SCALE

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 Perimeter Ck. _____
 Book 599 Pg. 60
 File 23088-PRE-E&S-03-DETAILS
 Layout E&S-DETAILS (1)

Date _____ Description _____
 REVISIONS

BRICKWORK SELF-STORAGE

FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

EROSION & SEDIMENTATION CONTROL DETAILS

PROJECT NO.
23088
 DATE
MARCH 5, 2024
 SCALE SHEET NO.
 N.T.S. **ES3**