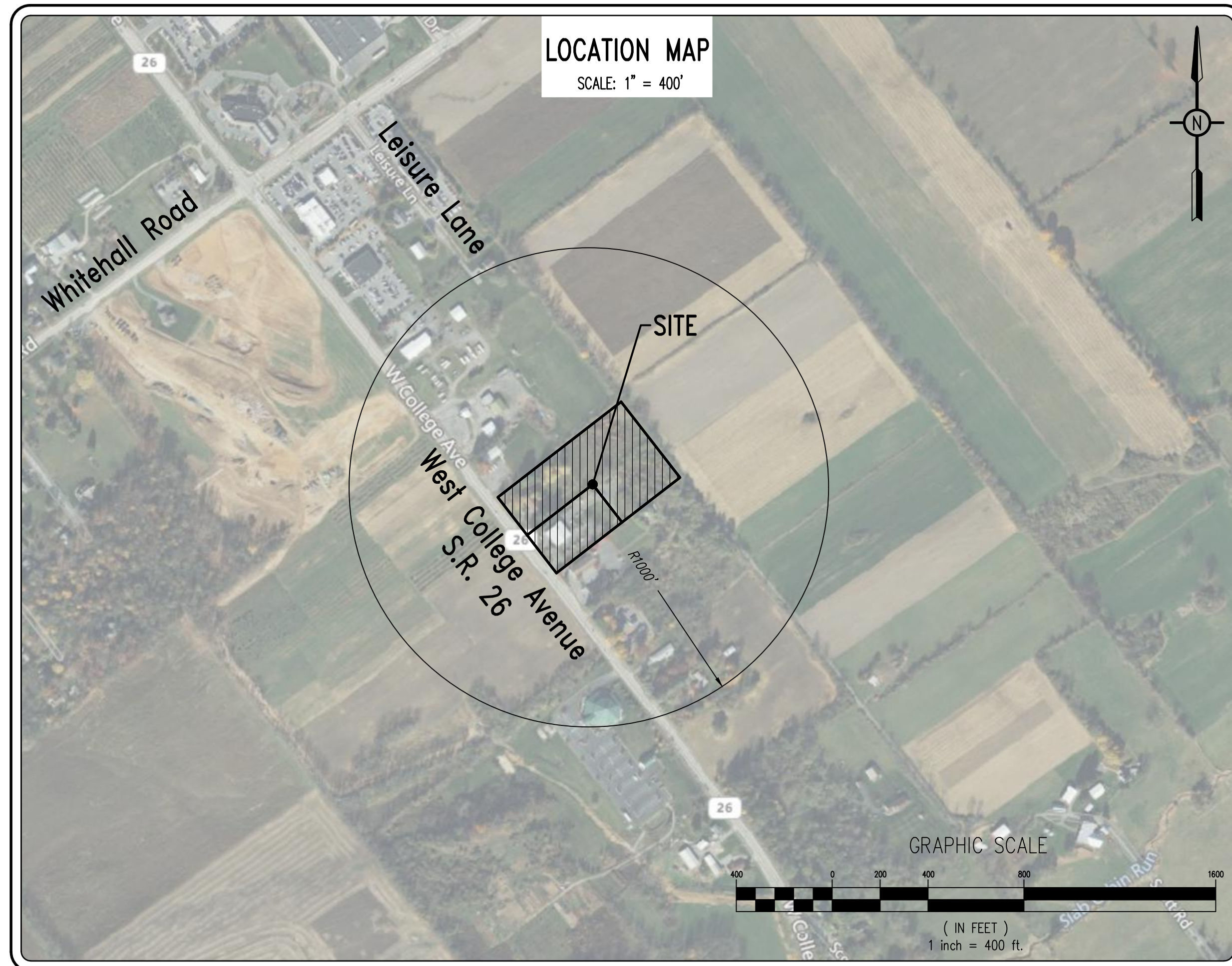


# LECRONE - WEST COLLEGE PROPERTIES

## FINAL LAND DEVELOPMENT PLAN

FERGUSON TOWNSHIP \* CENTRE COUNTY \* PENNSYLVANIA

DECEMBER 1, 2023



**PennTerra**  
ENGINEERING, INC.

CENTRAL PENNSYLVANIA  
REGION OFFICE:  
3075 ENTERPRISE DRIVE  
SUITE 100  
STATE COLLEGE, PA 16801  
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6	GEOMETRY & MATERIALS PLAN
7	GRADING PLAN
8	UTILITY PLAN
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ES3	EROSION & SEDIMENTATION CONTROL DETAILS
ES4	EROSION & SEDIMENTATION CONTROL DETAILS

**ACT 287 UTILITY INFORMATION**  
(SERIAL NUMBER: 20220190695/20220190711)

**SANITARY SEWER**  
UNIVERSITY AREA JOINT AUTHORITY  
1576 SPRING VALLEY ROAD  
STATE COLLEGE, PA 16801  
PHONE: (814) 238-9662

**PUBLIC WATER**  
STATE COLLEGE BOROUGH WATER AUTHORITY  
1201 WEST BRANCH ROAD  
STATE COLLEGE, PA 16801  
PHONE: (814) 238-6766

**NATURAL GAS**  
COLUMBIA GAS OF PENNSYLVANIA  
2550 CAROLEAN INDUSTRIAL DRIVE  
STATE COLLEGE, PA 16801  
PHONE: (814) 238-6775

**ELECTRIC**  
WEST PENN POWER COMPANY  
2800 EAST COLLEGE AVENUE  
STATE COLLEGE, PA 16801  
PHONE: (814) 237-5721

**TELEPHONE**  
VERIZON  
224 SOUTH ALLEN STREET  
STATE COLLEGE, PA 16801  
PHONE: (814) 231-6511

**CABLE TELEVISION**  
COMCAST  
60 DECIBEL ROAD  
STATE COLLEGE, PA 16801  
PHONE: (800) 992-3515

BEFORE YOU DIG ANYWHERE IN  
PENNSYLVANIA ! CALL 1-800-242-1776  
NON-MEMBERS MUST BE CONTACTED DIRECTLY



**GENERAL SITE DEMOLITION NOTES**

- The Contractor is responsible for obtaining all local and state permits required for demolition work unless other arrangements are coordinated with the owner.
- The Contractor shall indemnify and hold harmless the Owner and/or architect and engineer for any and all injuries and/or damages to personnel, equipment and/or existing facilities in the demolition and construction described in the plans and specifications.
- Existing conditions as depicted on these plans are general and illustrative in nature and do not include mechanical, electrical and miscellaneous structures. It is the responsibility of the Contractor to examine the site and be familiar with existing conditions prior to bidding on the demolition work for this project. If conditions encountered during examination are significantly different than those shown, the Contractor shall notify the architect and engineer immediately.
- All existing utilities not to be removed or abandoned are to remain operational at all times. Appropriate existing utilities including sanitary sewer service to T.P. 24-004-079I shall remain in service until replacement/relocated utilities are operational.
- Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify PA one call 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
- All demolition waste and construction debris shall be removed by the Contractor and disposed of in a state approved waste site and in accordance to all local and state codes and permit requirements.
- All utility removal, relocation, cutting, capping and/or abandonment shall be coordinated with the appropriate utility company.
- The burning of cleared material and debris shall not be allowed without approval from owner and appropriate governing agency.
- Erosion and sedimentation control measures around areas of demolition shall be installed prior to initiation of demolition activities. Refer to plan and details for site specific information including tree protection details, if necessary.
- Asbestos or hazardous materials, if found on site, shall be removed by a licensed hazardous materials Contractor. Contractor shall notify Owner immediately if hazardous materials are encountered.
- Contractor shall protect all corner pins, monuments, property corners, and benchmarks during demolition activities. If disturbed, Contractor shall have disturbed items reset by a licensed surveyor at no additional cost to the Owner.

- Contractor shall adhere to all local, state, federal, and OSHA regulations operating demolition equipment around utilities.
- Contractor shall provide and maintain traffic control measures in accordance with the PennDOT standards, and as required by local agencies working in and/or along streets, roads, highways, etc. It shall be the Contractor's responsibility to obtain approval and coordinate with local and/or state agencies regarding the need, extent, and limitations associated with installing and maintaining traffic control measures.
- Contractor shall protect at all times adjacent structures and items from damage due to demolition activities.
- Contractor shall coordinate existing facilities utility disconnects with the Owner prior to anticipated demolition of structures.
- Contractor shall refer to Construction Plans for other pertinent information where applicable.
- Contractor shall replace or repair to Owner's satisfaction all curb, utilities, sidewalks, landscaping, etc. damaged during construction that are not indicated to be removed.
- Contractor shall be responsible for all costs and work required to adjust existing and proposed utilities and appurtenances to finish grades within the limit of work.
- All paving to be removed shall be sawcut to provide a sharp clean edge. All sidewalks to be removed shall be sawcut at the nearest joint. Existing pavement shall be removed as required for new curb, walkway, or utility construction.
- Contractor shall verify the location of manholes, inlets valves, etc. Contractor shall test pit existing utilities as deemed necessary within the limits of construction to determine the exact location and depth as required. Report any discrepancies from that indicated on the plan to the architect and engineer. All existing utilities shall be retained unless marked otherwise, and appurtenances shall be adjusted to final grade. Damage to existing conditions and utilities to remain shall be repaired as required to the Owner's satisfaction at the expense of the Contractor.
- Contractor shall coordinate with utilities companies on installation, relocation or replacement of electrical, phone, gas and cable services.
- The Contractor shall contact PA one call system @ 1-800-242-1776 at least three (3) days before construction activities.

**DEMOLITION LEGEND**

- To Be Removed Curbing & Edge of Pavement
- To Be Removed Concrete Areas
- To Be Removed Bituminous Areas
- To Be Removed Gravel Areas
- To Be Removed Fence / Type
- To Be Removed Clean-Out
- To Be Removed Ballard
- To Be Removed Easement Line

**SURVEY FEATURES LEGEND**

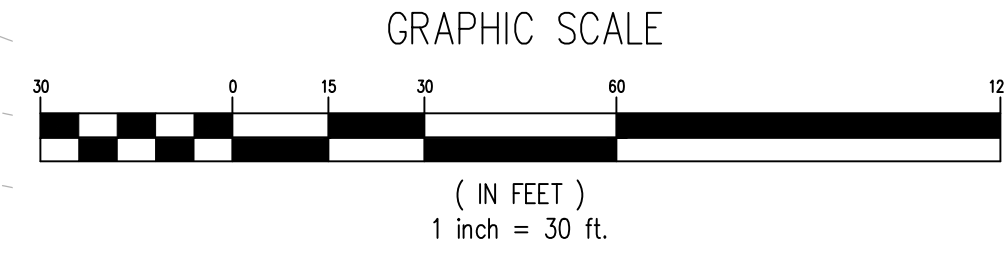
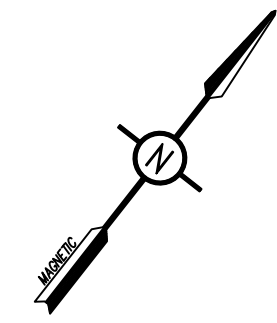
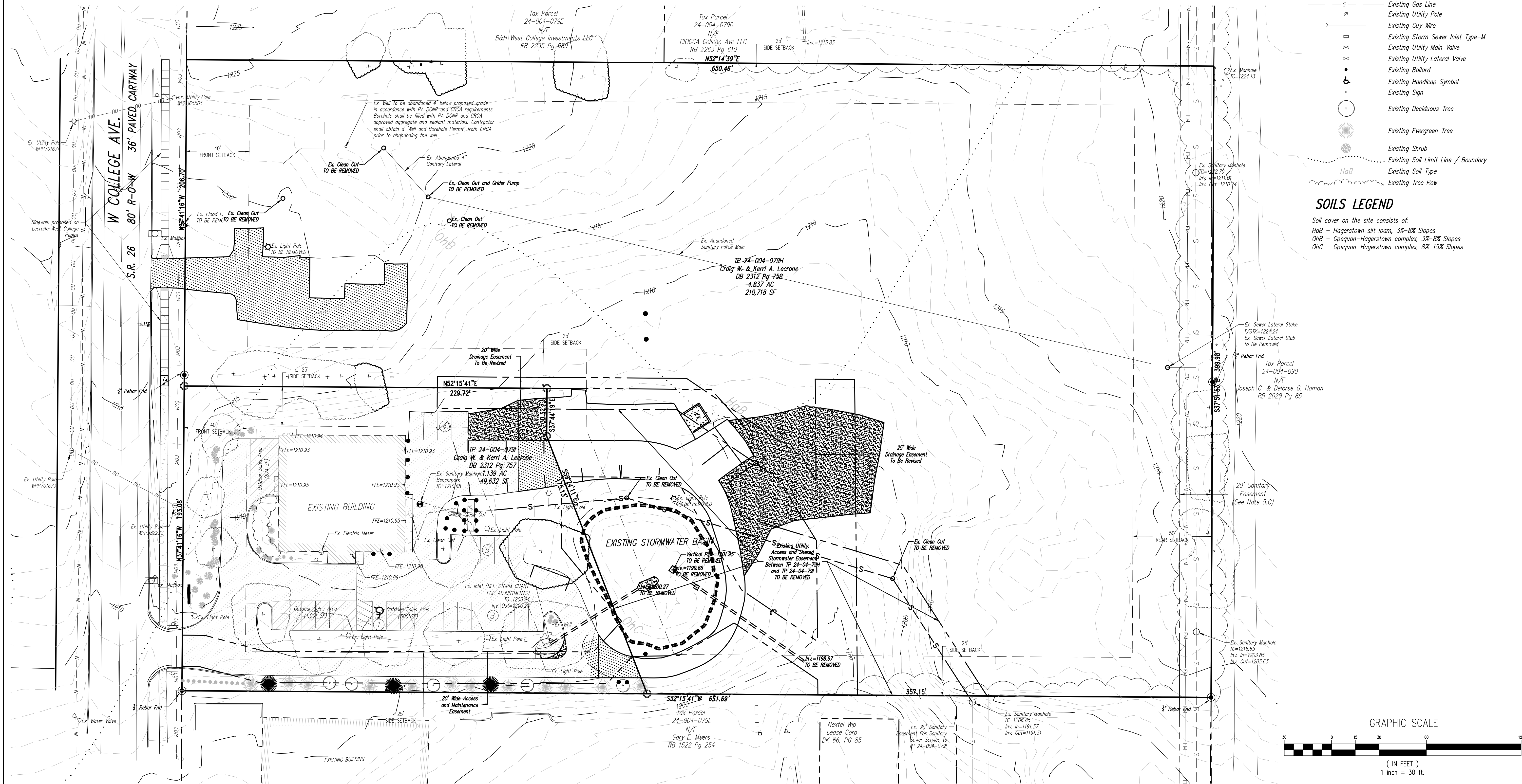
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- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- Municipal Boundary
- Zoning Boundary
- Property Corner Found
- Property Corner To Be Set
- PennTerra Control Point
- Project Benchmark

**EXISTING FEATURES LEGEND**

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Bituminous Areas
- Existing Gravel Areas
- Existing Retaining Wall
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Fiber Optic Line
- Existing Gas Line
- Existing Utility Pole
- Existing Guy Wire
- Existing Storm Sewer Inlet Type-M
- Existing Utility Main Valve
- Existing Utility Lateral Valve
- Existing Ballard
- Existing Handicap Symbol
- Existing Sign
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Row

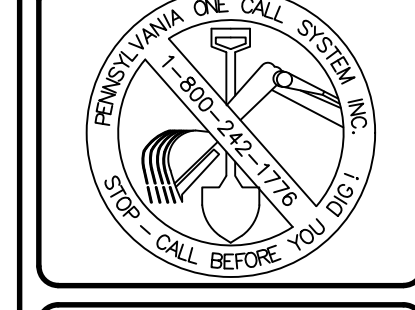
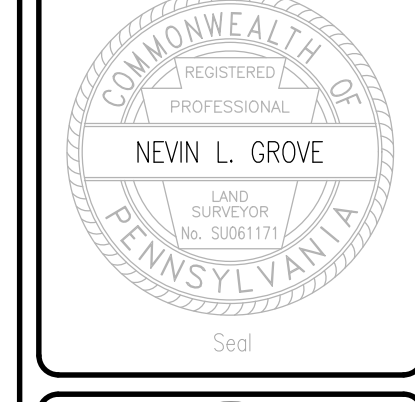
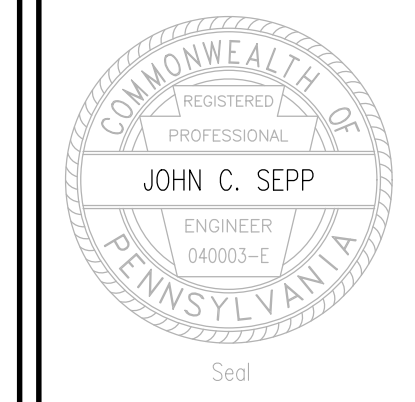
**SOILS LEGEND**

- Soil cover on the site consists of:
- HaB - Hagerstown silt loam, 3%-8% Slopes
  - OhB - Opequon-Hagerstown complex, 3%-8% Slopes
  - OhC - Opequon-Hagerstown complex, 8%-15% Slopes



**PennTerra ENGINEERING INC.**  
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Designer(s)	CJW
Environmental	JFS
Proj. Manager	MAT
Surveyor	
Perimeter Ck.	
Book	Pg.
File	21137-FINAL-02-EX-CON & DEMO
Layout	EX-CON & DEMO

Date	Description	REVISIONS

**LECRONE - WEST COLLEGE PROPERTIES**  
 FERGUSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

**FINAL LAND DEVELOPMENT PLAN**

**EXISTING CONDITIONS & DEMOLITION PLAN**

PROJECT NO.	21137
DATE	DECEMBER 1, 2023
SCALE	1" = 30'
SHEET NO.	2

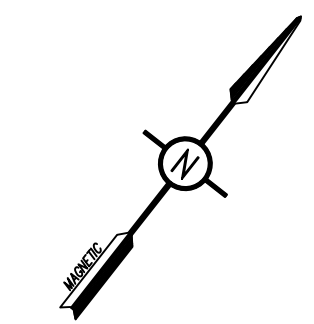
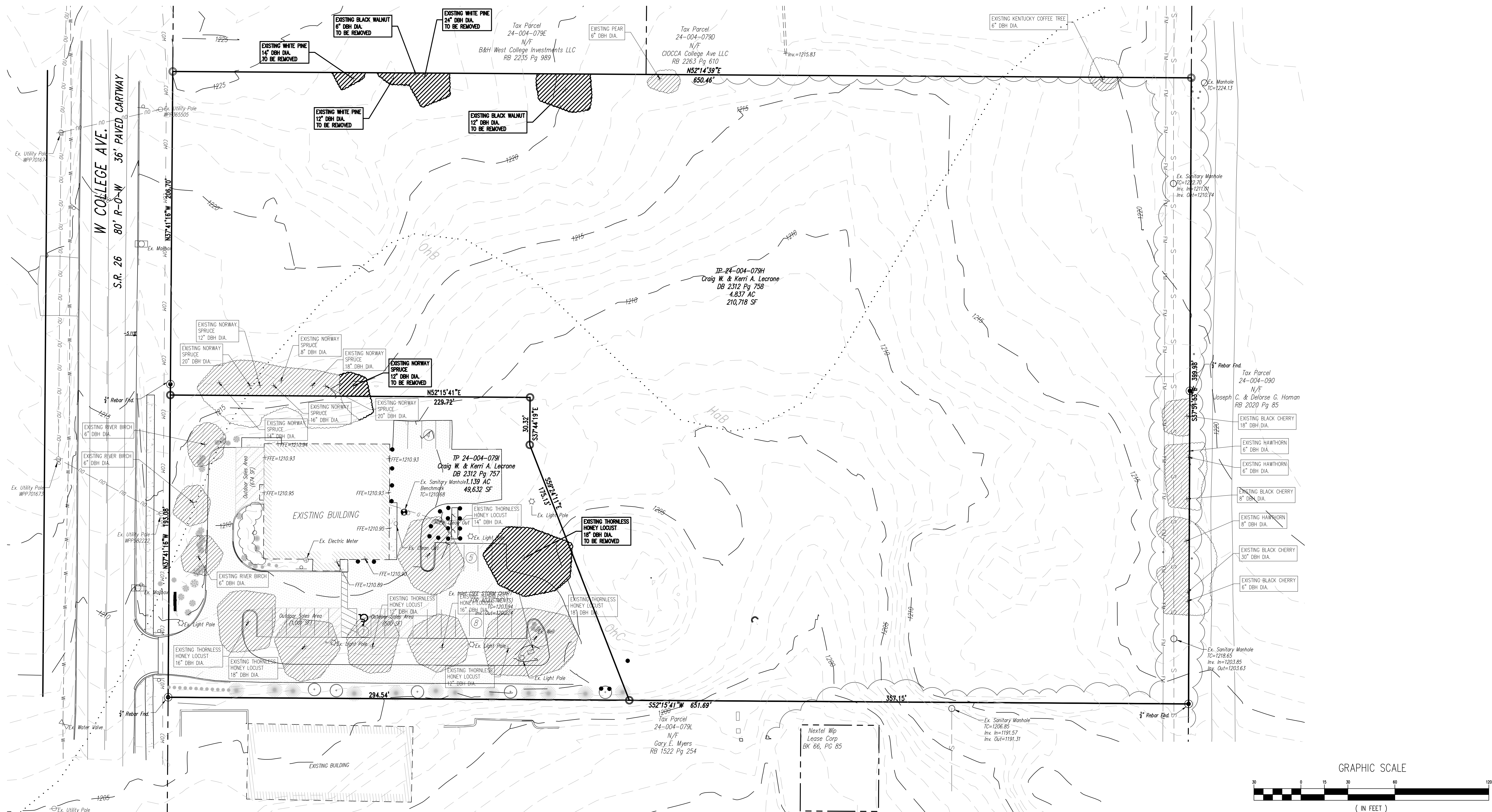


TAX PARCEL 24-004-079H EXISTING TREE SURVEY

- EXISTING TREES:
  - 4 - BLACK CHERRY
  - 2 - BLACK WALNUT
  - 3 - HAWTHORN
  - 1 - KENTUCKY COFFEE
  - 8 - NORWAY SPRUCE
  - 1 - PEAR
  - 3 - WHITE PINE
- TOTAL EXISTING TREE CANOPY AREA - 5,703 S.F.
- TOTAL REMAINING EXISTING TREE CANOPY AREA - 3,977 S.F. (69.74%)

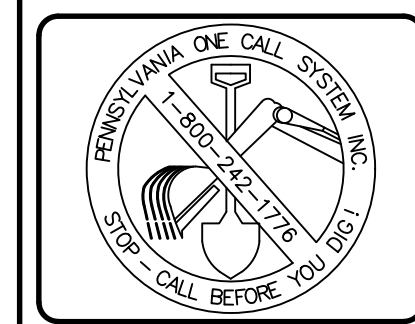
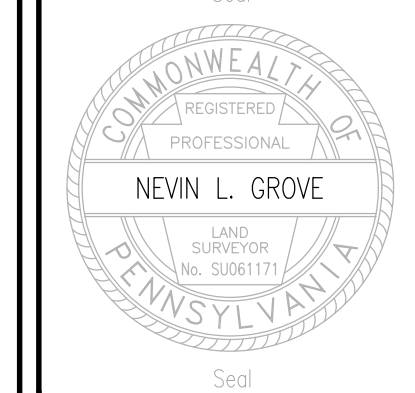
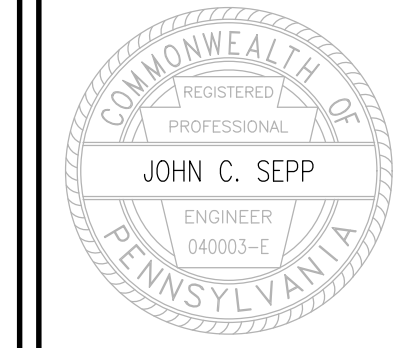
TAX PARCEL 24-004-079I EXISTING TREE SURVEY

- EXISTING TREES:
  - 3 - RIVER BIRCH
  - 8 - THORNLESS HONEY LOCUST
- TOTAL EXISTING TREE CANOPY AREA - 11,543 S.F.
- TOTAL REMAINING EXISTING TREE CANOPY AREA - 9,650 S.F. (83.60%)



**PennTerra ENGINEERING INC.**  
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Designer(s)	CJW
Environmental	JFS
Proj. Manager	MAT
Surveyor	
Perimeter Ck.	
Book	Pg.
File	21137-FINAL-TREE SURVEY PLAN
Layout	EXISTING TREE SURVEY PLAN

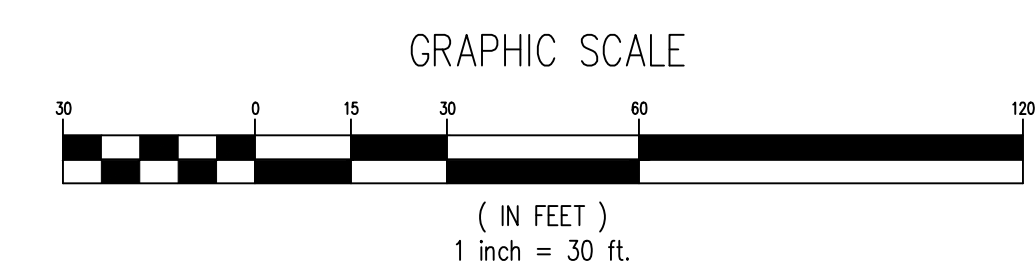
Date	Description	REVISIONS

**LECRONE - WEST COLLEGE PROPERTIES**  
 FERGUSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

**FINAL LAND DEVELOPMENT PLAN**

**EXISTING TREE SURVEY PLAN**

PROJECT NO.	21137
DATE	DECEMBER 1, 2023
SCALE	1" = 30'
SHEET NO.	3

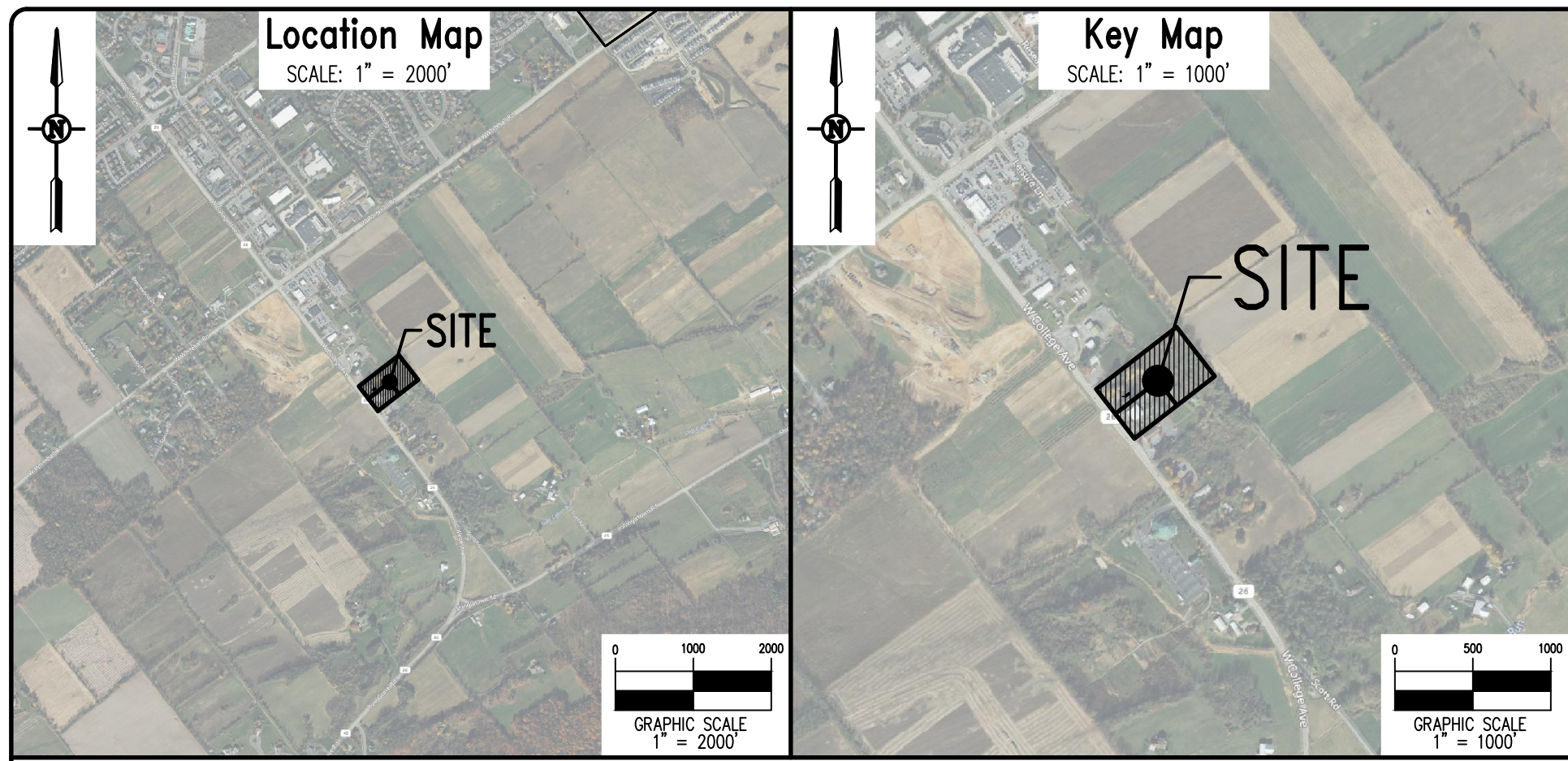


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**PROPOSED FEATURES LEGEND**

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED BITUMINOUS PAVEMENT OVERLAY AREAS
- PROPOSED GUIDE RAIL
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- PROPOSED PARKING STALL COUNT
- PROPOSED SIGN W/ LABEL
- PROPOSED STORMWATER BASIN/ BEST MANAGEMENT PRACTICE (BMP) FACILITIES

**SURVEY FEATURES LEGEND**

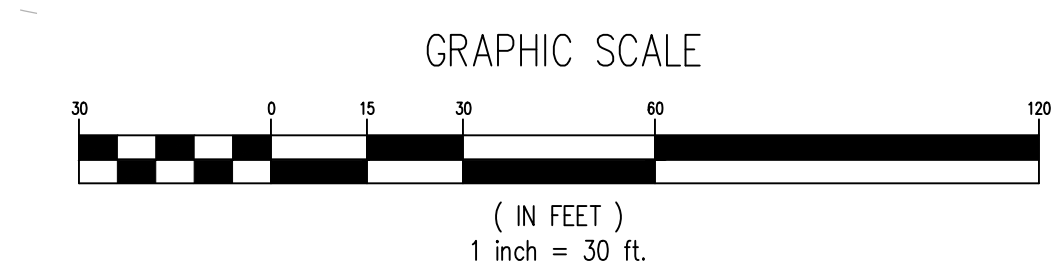
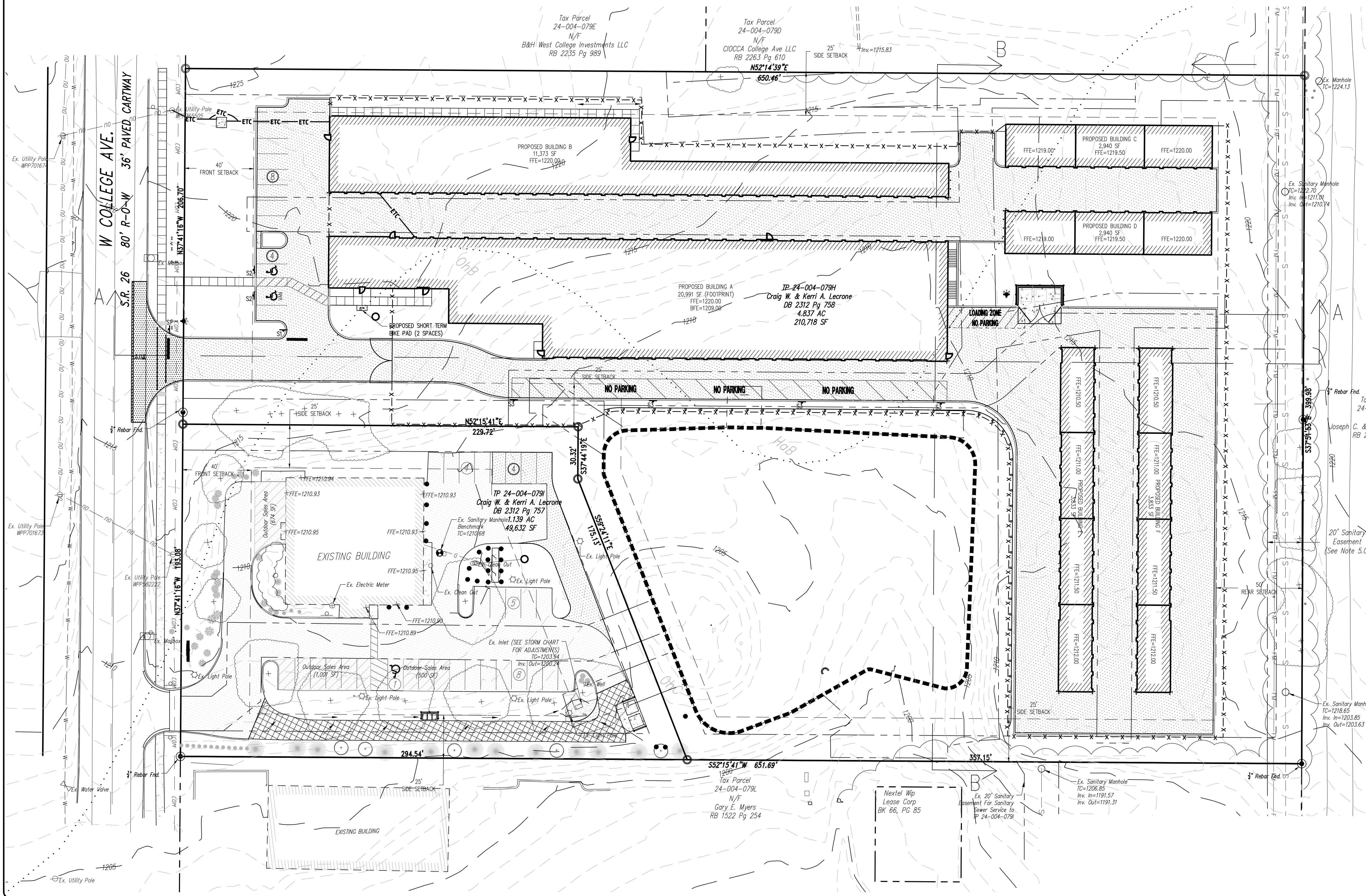
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- Municipal Boundary
- Zoning Boundary
- Property Corner Found
- Property Corner To Be Set
- PennTerra Control Point
- Project Benchmark

**EXISTING FEATURES LEGEND**

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
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- Existing Contours w/ Elevation (1's & 2's)
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- Existing Fiber Optic Line
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- Existing Sign
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Row

**SOILS LEGEND**

- Soil cover on the site consists of:
- HaB - Hagerstown silt loam, 3%-8% Slopes
  - OhB - Opequan-Hagerstown complex, 3%-8% Slopes
  - OhC - Opequan-Hagerstown complex, 8%-15% Slopes



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 www.PENNTERRA.com

**COMMONWEALTH OF PENNSYLVANIA**  
 REGISTERED PROFESSIONAL ENGINEER  
 JOHN C. SEPP  
 ENGINEER  
 040033-E

**COMMONWEALTH OF PENNSYLVANIA**  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 NEVIN L. GROVE  
 LAND SURVEYOR  
 No. 504911B

**PENNSYLVANIA ONE CALL SYSTEM**  
 811-CALL BEFORE YOU DIG

Designer(s) CJM  
 Environmental JFS  
 Proj. Manager MAT  
 Surveyor \_\_\_\_\_  
 Perimeter Ck. \_\_\_\_\_  
 Book \_\_\_\_\_ Pg. \_\_\_\_\_  
 File 21137-FINAL-04-RECORD  
 Layout RECORD

**LECRONE - WEST COLLEGE PROPERTIES**  
 FERGUSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

**FINAL LAND DEVELOPMENT PLAN**

**RECORD PLAN**

PROJECT NO. 21137  
 DATE DECEMBER 1, 2023  
 SCALE 1" = 30'  
 SHEET NO. 5

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**CONSTRUCTION NOTES**

- Field survey data prepared by PennTerra Engineering, Inc. Contractor shall field verify all information and contact the site Owner or Owner's representative and engineer in the event of a discrepancy.
- The Contractor shall be responsible for examining the areas and conditions under which the project is to be constructed prior to the submission of a bid. Submission of a bid shall be construed to mean the Contractor has reviewed the site and is familiar with conditions and constraints of the site.
- The Contractor shall repair or replace all curb, pavement, utilities, sidewalks, landscaping, etc., within the site damaged during construction that are not indicated to be removed. All repairs or replacements are at the Contractor's expense.
- All paving to be removed shall be sawcut to provide a sharp clean edge. Existing bituminous pavement shall be removed as required for new curb, walkway, or utility construction. Refer to detail sheets for specific curb type of installation. Contractor shall then mill and/or patch bituminous paving and install scratch course as required to meet existing or proposed grades. All new bituminous paving joints shall be sealed with P054-22.
- The Contractor shall verify elevations of existing paving at new paving connection locations before the paving subbase installation and report any discrepancies that will affect the drainage of the areas to the Owner's representative and engineer.
- The Contractor shall maintain one set of contract documents on site to be utilized for record documents. Field records of the depth and locations of all underground service utilities (water, sanitary sewer, storm drains, primary and secondary electric, gas, and cable television) shall be added to the record set by the Contractor as well as all field revisions and adjustments. The Contractor shall provide and maintain traffic control measures in accordance with the PennDOT standards, and as required by local agencies when working in and/or along streets, roads, highways, etc. It shall be the Contractor's responsibility to obtain approval of the traffic control plan.
- The Contractor shall refer to the architectural plans for the exact location of utility entrances, building dimensions, roof leaders exit doors, exit ramps, and porches. All site work shall be done in accordance with the plans prepared by PennTerra Engineering, the current regulations of the governing municipality, and all other pertinent federal, state & local laws. Any conflicts between the architectural plans and site plans shall be reported immediately to the Owner's representative.
- The Contractor shall comply at all times with applicable federal, state and local laws, provisions, and policies governing safety and health, including the Federal Construction Safety Act (Public Law 91-54), Federal Register, Chapter XVII, Part 1926 of Title 29 regulations, occupational safety and health regulations for construction, and subsequent publications updating these regulations.

- All site work shall be done in accordance with the plans prepared by PennTerra Engineering Inc., the current requirements of the Ferguson Township, Centre County, the applicable sections of the PennDOT Standard Specifications for Roadway Construction, and all other pertinent federal and state laws.
- The storage or removal of excess topsoil shall be coordinated with the owner or owner's representative.
- Adjust fence post location when crossing proposed utilities. Fence post location should not be directly over said utilities. See Utility Plan (Sheet 8) for utility locations.

**PROPOSED FEATURES LEGEND**

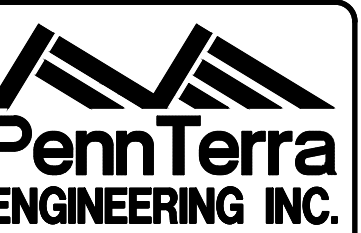
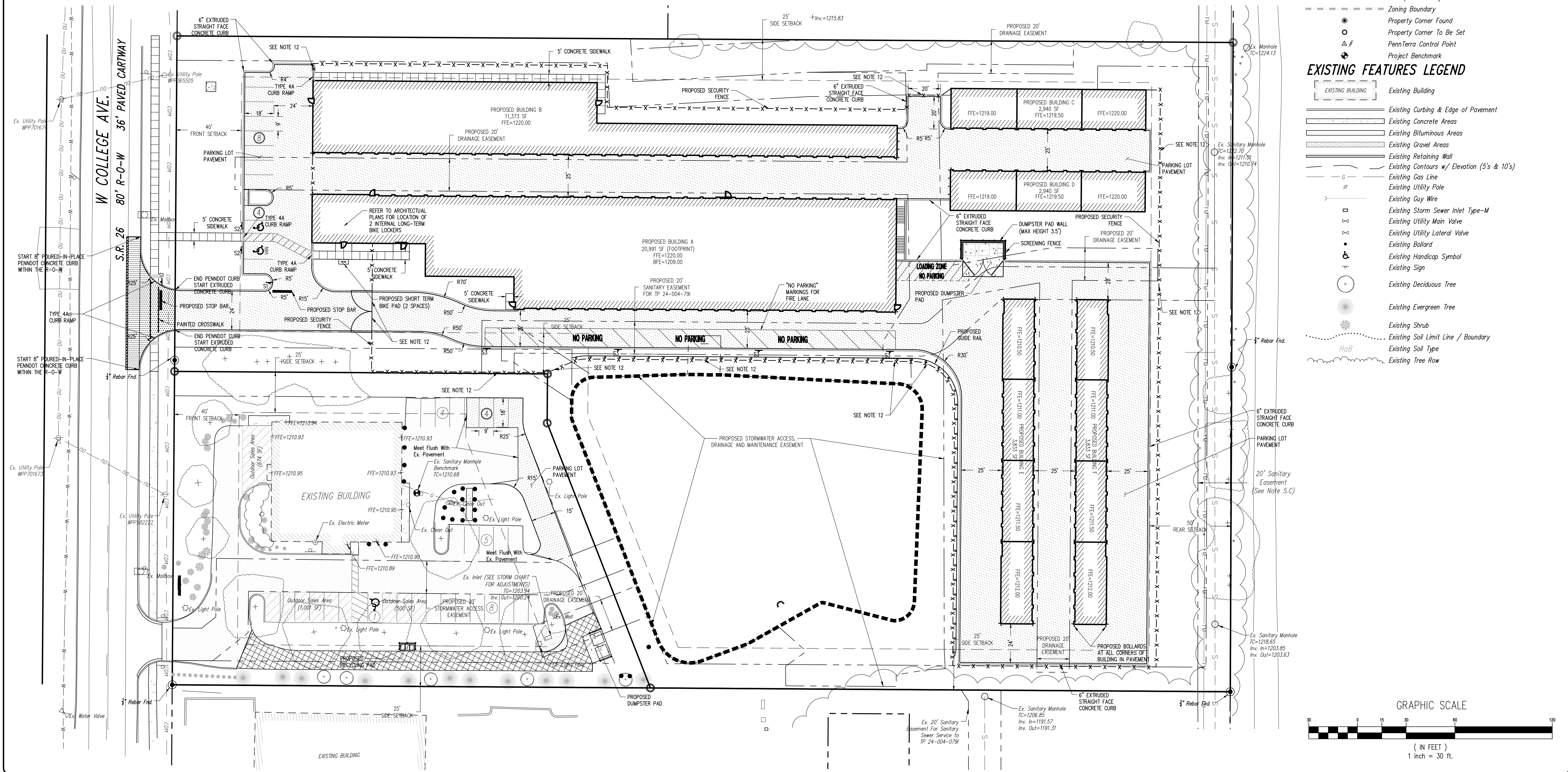
- PROPOSED BUILDING
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- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED RETAINING WALL
- PROPOSED GUIDE RAIL
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- PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- PROPOSED PARKING STALL COUNT
- PROPOSED SIGN W/ LABEL
- 

**SURVEY FEATURES LEGEND**

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
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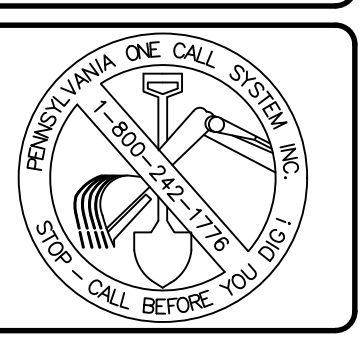
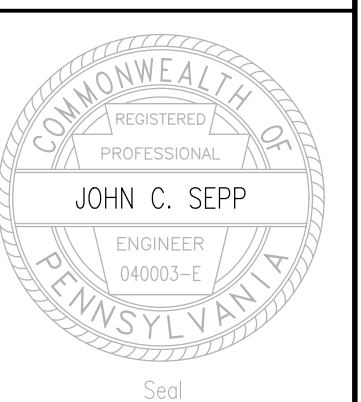
**EXISTING FEATURES LEGEND**

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
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- Existing Utility Pole
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- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Row



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Designer(s) CJM  
Environmental JFS  
Proj. Manager MAT  
Surveyor \_\_\_\_\_  
Perimeter Ck. \_\_\_\_\_  
Book \_\_\_\_\_ Pg. \_\_\_\_\_  
File 21137-FINAL-05-GEOMETRY  
Layout GEOMETRY

Date	Description	REVISIONS

**LECRONE - WEST COLLEGE PROPERTIES**

FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

**FINAL LAND DEVELOPMENT PLAN**

**GEOMETRY & MATERIALS PLAN**

PROJECT NO.  
**21137**  
DATE  
**DECEMBER 1, 2023**

SCALE SHEET NO.  
1" = 30'  
**6**



**GRADING NOTES**

- The project benchmark is the top of casting on a sanitary manhole, located behind the existing building. Elev. = 1210.66.
- All existing trees, vegetation, pavements, concrete foundations, structures and organic topsoil shall be stripped and removed from new construction areas unless noted otherwise.
- All areas not paved shall be sodded, topsoiled, seeded, mulched or landscaped unless otherwise noted in the construction drawings, site specifications or instructed by the Owner.
- Contractor shall refer to the geotechnical report prior to initiation of any earthwork activity.
- The maximum slope within all the handicapped parking spaces shall be 2.00% in any direction.
- The maximum slope for all on-site sidewalks shall be 4.90% with a maximum cross slope of 2.00% and curb ramps shall have a maximum slope of 8.30%.
- Proposed spot elevation are to bottom of curb unless noted otherwise.
- The Contractor shall notify assigned inspection agency before any retaining wall construction. Retaining walls shall be constructed per the project specification approved building permit and certified by the assigned inspection agency.
- All fill material brought on to the job by the Contractor must comply with all applicable D.E.P. regulations regarding clean fill.
- All areas disturbed during construction, not designated to receive paving or mulch, shall be fine graded, topsoiled, & seeded unless otherwise noted in the construction drawings, site specifications or instructed by the Owner.
- The Contractor shall notify Owner's testing agency before any placement and compaction of fills on the site. Fill areas shall be prepared and compacted per the project specifications and certified by the Owner's testing agency. Contractor shall be responsible for removal, retesting, and replacement of fills not meeting the specifications. The Contractor is also responsible for all expenses associated with replacement of fills not meeting the specifications.
- Contractor shall refer to the Stormwater Management Site Plan Set basin details for specific elevation of the proposed final basin design elevations.

**STORMWATER MANAGEMENT NOTES**

- All site work shall be done in accordance with the plans prepared by PennTerra Engineering, Inc., the current requirements of the governing municipality, the applicable sections of the PennDOT standard specifications for roadway construction, and all other pertinent federal and state laws.
- The Contractor shall be responsible for examining the areas and conditions under which the project is to be constructed prior to the submission of a bid. Submission of a bid to be constructed to mean the Contractor has reviewed the site and is familiar with conditions and constraints of the site.
- All storm pipe shall be as noted. All joints shall be watertight.
- Co-permittee requirements: Contractor to complete Pennsylvania Department of Environmental Protection (D.E.P.) forms and make application to become co-permittee of the individual NPDES permit prior to commencing any land disturbance. Contractor shall assume full responsibility for any fines or other measures assessed by regulatory agencies due to improper or deficient installation and / or maintenance of the temporary erosion and sedimentation control measures and post-construction stormwater measures installed. Contractor shall remain a co-permittee of the National Pollutant Discharge Elimination System (NPDES) permit until the notice of termination of the NPDES permit has been issued by the PA D.E.P.
- Notice of termination services: Contractor shall be responsible for the services for the notice of termination of the NPDES permit. This includes but is not limited to the following:
  - Have a licensed professional or designer on-site to observe the critical slopes of construction noted in the post-construction stormwater management plan. The licensed professional or designer will be responsible for signing the required certification forms and certifying that the facilities have been built according to the approved plans, processing and recording any required forms and the as-built survey through the PA D.E.P. until the notice of termination is received.
  - Prepare an as-built topographic survey sealed by a licensed surveyor from the commonwealth of Pennsylvania of the stormwater management facilities (infiltration basin, rain garden and outlet structures, outlet pipes, tops of berms and spillways).
  - Provide double-ring infiltrometer tests as outlined in the December 2006 PA D.E.P. Stormwater BMP manual of the produced basin bottom soil mix prior to installation to certify that the soil mix meets the infiltration requirements noted on the plans.

- Contractor shall have a licensed professional submit as-built drawings/documentation (including verification of infiltration testing) of the stormwater management facilities prepared in accordance with chapter 26 of the governing municipality's code of ordinances and submitted to the governing municipality at the completion of construction as a prerequisite of issuance of occupancy permit or release of the surety bond. A narrative and photographic documentation for critical slopes of construction and for the infiltration surface prior to placement of filter fabric/amended soils must also be submitted to the governing municipality.
- As-built infiltration testing in infiltration basins shall be performed at the top of the finished native soil layer prior to topsoil placement. This testing is in addition to the testing identified in Note 9.c. The number of infiltration tests performed shall be in accordance with the governing municipality's code of ordinances.

**SURVEY FEATURES LEGEND**

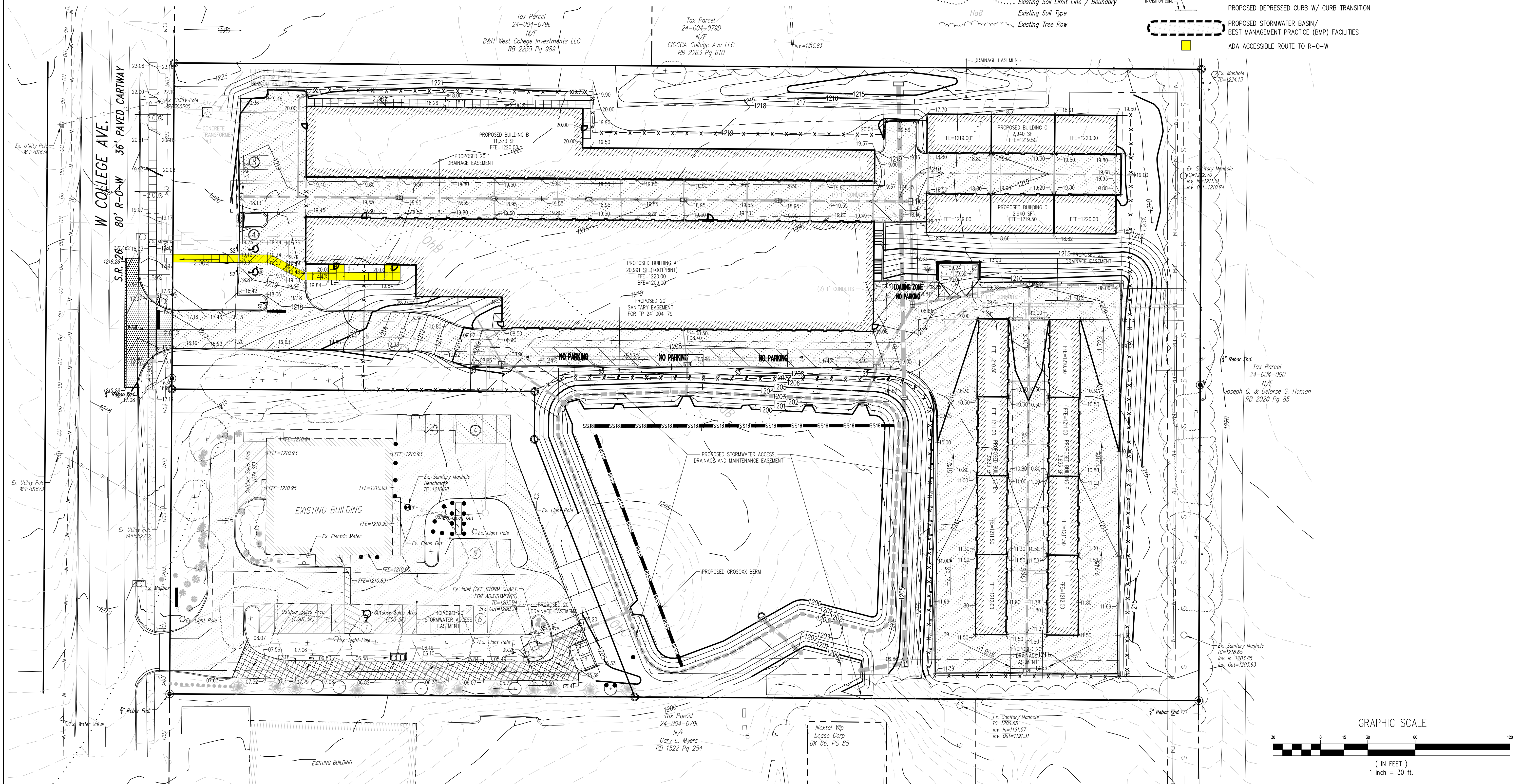
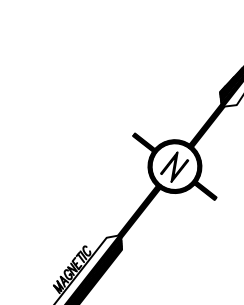
- Property Line, Lot Line or Right of Way Line
- - - Adjoining Property Line
- - - Building Setback Line
- - - Easement Line
- - - Roadway Center Line
- - - Municipal Boundary
- - - Zoning Boundary
- Property Corner Found
- Property Corner To Be Set
- △# PennTerra Control Point
- ◆ Project Benchmark

**EXISTING FEATURES LEGEND**

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Bituminous Areas
- Existing Gravel Areas
- Existing Retaining Wall
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Gas Line
- Existing Utility Pole
- Existing Guy Wire
- Existing Storm Sewer Inlet Type-M
- Existing Utility Main Valve
- Existing Utility Lateral Valve
- Existing Handicap Symbol
- Existing Sign
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Row

**PROPOSED FEATURES LEGEND**

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED BITUMINOUS PAVEMENT OVERLAY AREAS
- PROPOSED GUIDE RAIL
- PROPOSED RETAINING WALL
- PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- PROPOSED SPOT ELEVATION
- PROPOSED GRADE SLOPE
- PROPOSED 6" PVC SANITARY SEWER LATERAL W/ CLEAN OUT
- PROPOSED SINGLE UNIT DOMESTIC WATER SERVICE LATERAL W/ CURB BOX
- PROPOSED 8" WATER LINE W/ VALVE
- PROPOSED STORM SEWER W/ TYPE C INLET
- PROPOSED STORM SEWER ROOF DRAIN
- PROPOSED STORM SEWER INLET - TYPE M
- PROPOSED STORM SEWER INLET - TYPE C
- PROPOSED CLEAN-OUT
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- PROPOSED PARKING STALL COUNT
- PROPOSED SIGN W/ LABEL
- PROPOSED 6" STEEL BOLLARD FILLED W/ CONCRETE
- PROPOSED DEPRESSED CURB W/ CURB TRANSITION
- PROPOSED STORMWATER BASIN/ BEST MANAGEMENT PRACTICE (BMP) FACILITIES
- ADA ACCESSIBLE ROUTE TO R-O-W



**PennTerra ENGINEERING INC.**  
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 PROFESSIONAL ENGINEER  
 JOHN C. SEPP  
 ENGINEER  
 040033-E  
 Seal

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Designer(s) C.J.W.  
 Environmental J.F.S.  
 Proj. Manager MAT  
 Surveyor  
 Perimeter Ck.  
 Book Pg.  
 File 21137-FINAL-06-SPRINC  
 Layout GRADING

Date	Description	REVISIONS

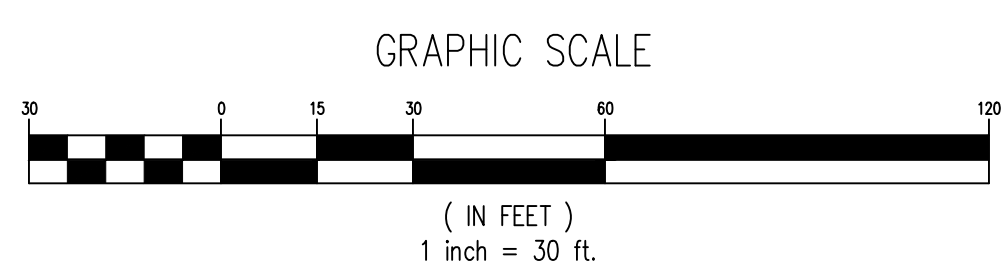
**LECRONE - WEST COLLEGE PROPERTIES**

FERGUSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

**FINAL LAND DEVELOPMENT PLAN**

**GRADING PLAN**

PROJECT NO.  
 21137  
 DATE  
 DECEMBER 1, 2023  
 SCALE SHEET NO.  
 1" = 30' 7





**UTILITY NOTES**

- Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify PA One call at 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
- It is the responsibility of the Contractor to bid and perform all utility work in compliance to all applicable local and state codes and regulations. The Contractor shall be responsible for all fees associated with the installation, testing and final acceptance of all proposed utilities construction unless other arrangements have been made with the owner.
- Contractor shall be responsible for all fees associated with the installation, inspection, testing and final acceptance of all proposed utility construction.
- Contractor shall coordinate with the appropriate utility company on the addition, removal and/or relocation of utilities and utility poles and the extension of all proposed utilities to the proposed facilities.
- All utilities shall be installed in accordance with the specifications of the respective utility company. It is the responsibility of the Contractor to ensure all utilities are installed correctly to meet project requirements whether performed by the Contractor or not.
- Contractor shall verify all utility service connections at the proposed building with the architectural/mechanical/plumbing/electrical plans.
- An as-built drawing of new utility services shall be prepared by the Contractor and submitted to the Owner upon completion of the project.
- All sanitary sewer & water lines shall have 48" minimum coverage.
- All public water main construction and all private water main & lateral service construction shall be in accordance with the water authority's standards and specifications.
- All sanitary sewer service laterals shall be in accordance with the sanitary sewer authority's standards and specifications. PVC pipe material shall be as shown on plan.
- An as-built drawing of new utility services must be prepared by the Contractor and submitted to the Owner upon completion of the project.
- The Contractor shall be responsible for all costs and work required to adjust existing and proposed utilities and appurtenances to finished grades within the limits of work.
- The Contractor shall be responsible for coordination with utility companies on location/removal and/or replacement of electrical, phone, gas, sanitary, water, and cable services.
- Prior to the installation of the new sanitary sewer lateral for Tax Parcel 24-004-0791, contractor shall test pit, verify location and elevations of the existing lateral from what is shown on the plan and notify the engineer of any discrepancies.
- All existing utilities not to be removed or abandoned are to remain operational at all times. Appropriate existing utilities including sanitary sewer service to T.P. 24-004-0791 shall remain in service until replacement/relocated utilities are operational.

**STATE COLLEGE BOROUGH WATER AUTHORITY**

All private water main & lateral service construction shall be in accordance with State College Borough Water Authority's (SCBWA) "material & installation specifications for "private" distribution lines, service lines & fire hydrants", latest edition

All water line pipes shall meet the State College Borough Water Authority's "public water main, service connections & fire hydrant specifications for Contractor installation" as well as "material & installation specifications for "private" distribution lines, service lines & fire hydrants", latest edition.

**UNIVERSITY AREA JOINT AUTHORITY**

Sanitary sewer laterals & clean-outs beyond UAJA's utility easement shall be PVC schedule 40 in accordance with UAJA specifications. Sanitary sewer laterals within the utility easement shall be PVC SDR-35.

Contractor shall coordinate depths of non-gravity utility lines gravity line inverts & other non-gravity lines to obtain adequate depths, clearances, & coverage.

The Contractor shall refer to the architectural plans for the exact location of utility entrances, building dimensions, roof leaders exit doors, exit ramps, and porches. All site work shall be done in accordance with the plans prepared by PennTerra Engineering, the current regulations of the governing municipality, and all other pertinent federal, state & local laws. Any conflicts between the architectural plans and site plans shall be reported immediately to the Owner's representative

**PROPOSED FEATURES LEGEND**

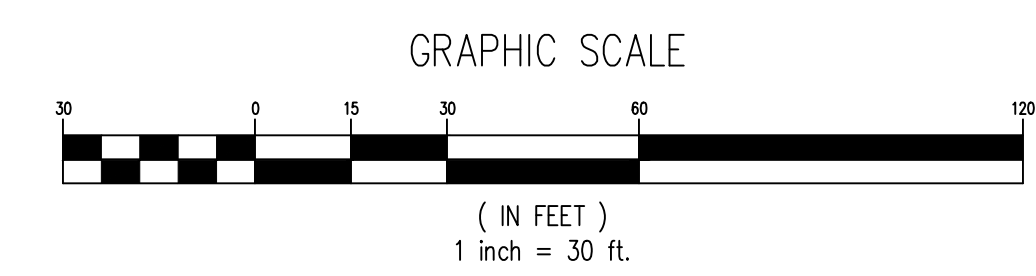
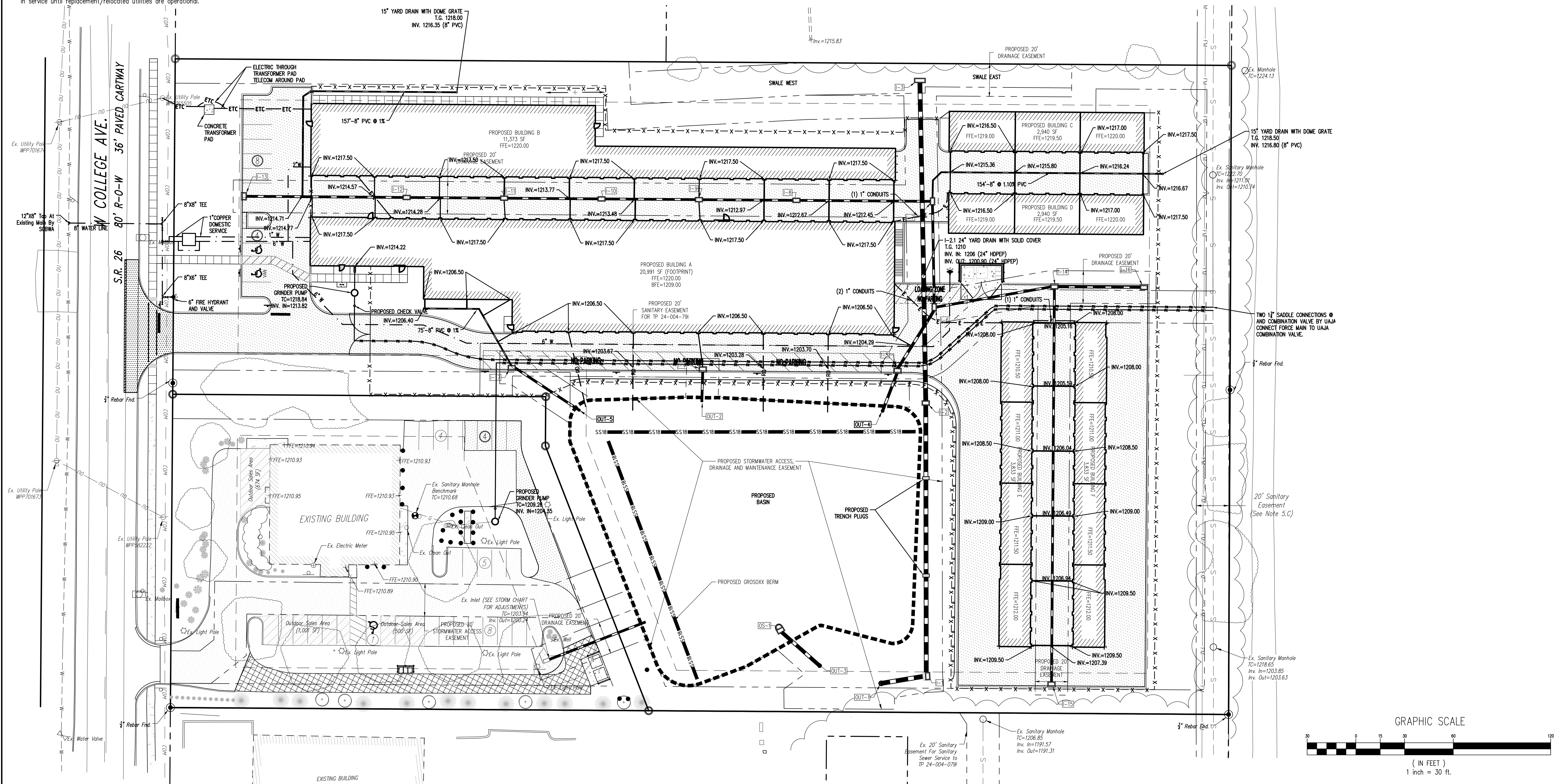
- PROPOSED BUILDING
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- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED BITUMINOUS PAVEMENT OVERLAY AREAS
- PROPOSED RETAINING WALL
- PROPOSED UNDERGROUND ELECTRIC (SIZE & QUANTITY AS NOTED)
- PROPOSED COMBINED UTILITY CONDUIT (SEE TRENCH DETAIL)
- PROPOSED 6" PVC SANITARY SEWER LATERAL W/ CLEAN OUT
- PROPOSED 8" WATER LINE W/ VALVE
- PROPOSED STORM SEWER W/ TYPE C INLET
- PROPOSED STORM SEWER ROOF DRAIN
- PROPOSED STORM SEWER INLET - TYPE M
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- PROPOSED PARKING STALL COUNT
- PROPOSED SIGN W/ LABEL
- PROPOSED 6" STEEL BOLLARD FILLED W/ CONCRETE
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- PROPOSED STORMWATER BASIN / BEST MANAGEMENT PRACTICE (BMP) FACILITIES

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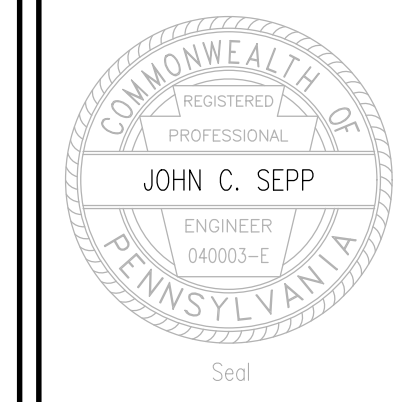
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DESIGNER: C.J.W.  
ENVIRONMENTAL: J.F.S.  
PROJ. MANAGER: MAT  
SURVEYOR:  
PERIMETER CL.:  
BOOK: Pg.  
FILE: 21137-FINAL-07-UTILITIES  
LAYOUT: UTILITIES

Date	Description	REVISIONS

**LECRONE - WEST COLLEGE PROPERTIES**  
FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

**FINAL LAND DEVELOPMENT PLAN**

**UTILITY PLAN**

PROJECT NO. 21137  
DATE: DECEMBER 1, 2023  
SCALE: 1" = 30'  
SHEET NO. 8



LANDSCAPE NOTES

- Trees are to be mulched individually in a 4" diameter circle.
- The mulch is to be double shredded hardwood bark mulch, well-aged and dark in color. Apply the mulch 3-4" thick.
- Plant material substitutions may only be permitted at the approval of the owner and approving municipality prior to planting.
- Any plantings which do not survive for a period of one year from the date of planting are to be replaced by the landscape contractor at no additional cost to the Owner.
- All new plant material is to be kept watered by the landscape contractor when working on site until acceptance of the completion of the landscape or end of the season (then resume next season until project is completed). The owner will be responsible for watering thereafter.
- All disturbed areas not being planted in trees or shrubs are to be fine graded with 6" of topsoil and seeded with a hardy perennial grass seed mixture and mulched with straw.
- Grass must be 2 inches high over 90% of the seeded areas prior to acceptance by the owner.
- All caliper measurements for landscaping shall be measured at 6" above the root ball.
- Quantities of plant material noted on the planting schedule are to be verified with quantities shown on the plan which will have priority.

PLANTING SCHEDULE

SYMBOL	KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE
<b>CANOPY TREES</b>					
	T-1	3	Shagbark Hickory	Carya ovata	2" Cal.
	T-2	9	Blackgum	Nyssa sylvatica	2" Cal.
	T-3	15	Sourwood	Oxydendrum arboreum	2" Cal.
	T-4	14	Quaking Aspen	Populus tremuloides	2" Cal.
	T-5	20	Pin Oak	Quercus palustris	2" Cal.
	T-6	10	Thornless Common Honeylocust	Gleditsia triacanthos	2" Cal.

SYMBOL	KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE
<b>UNDERSTORY / EVERGREEN TREES</b>					
	U-1	20	Serviceberry	Amelanchier canadensis	6' Ht.
	U-2	13	Eastern Redbud	Cercis canadensis	6' Ht.
	U-3	24	Kousa Dogwood	Cornus kousa	6' Ht.
	U-4	12	Witch-hazel	Hamamelis x (various hybrids)	6' Ht.
	E-1	16	Eastern Redcedar	Juniperus virginiana	6' Ht.

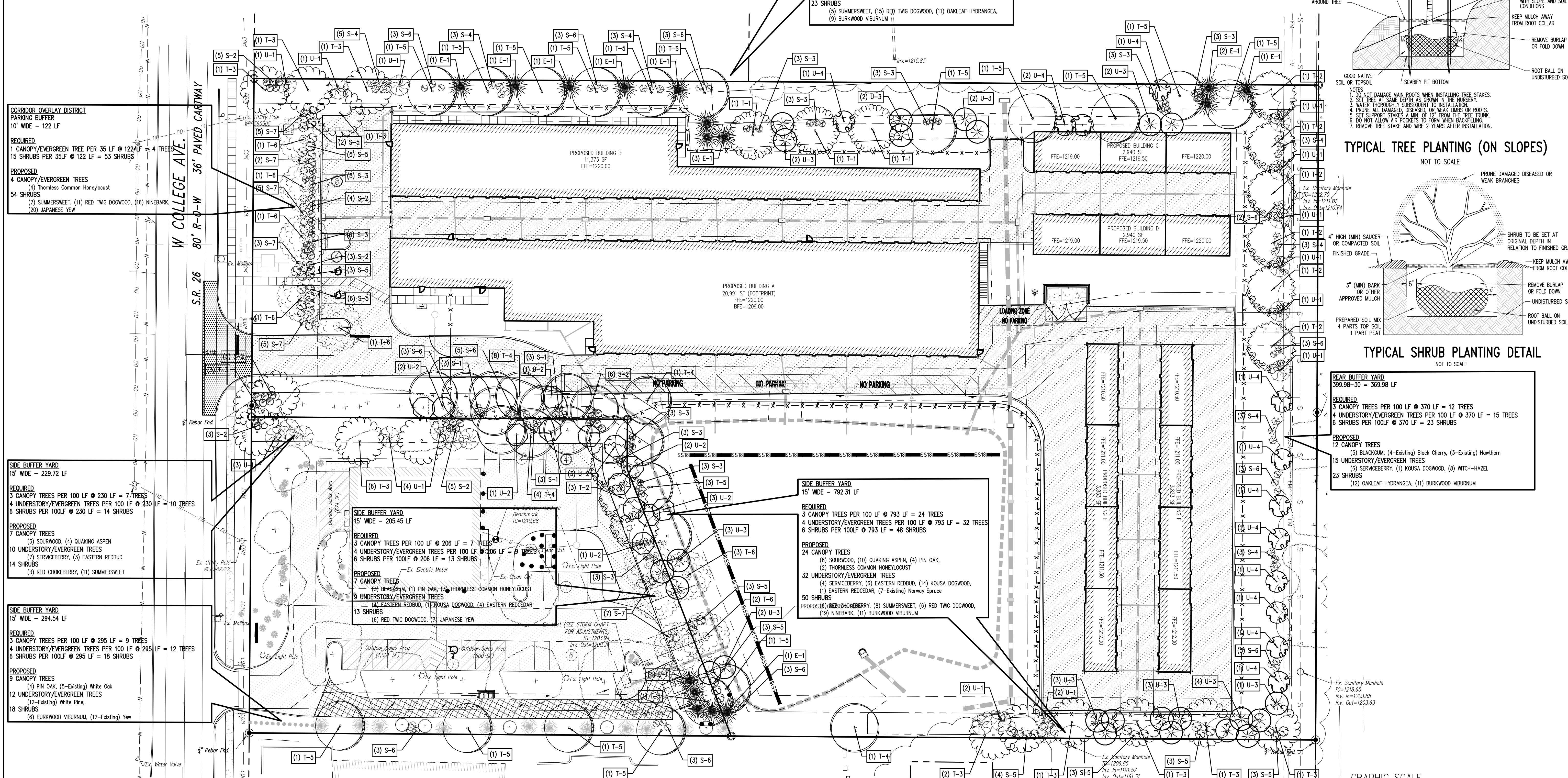
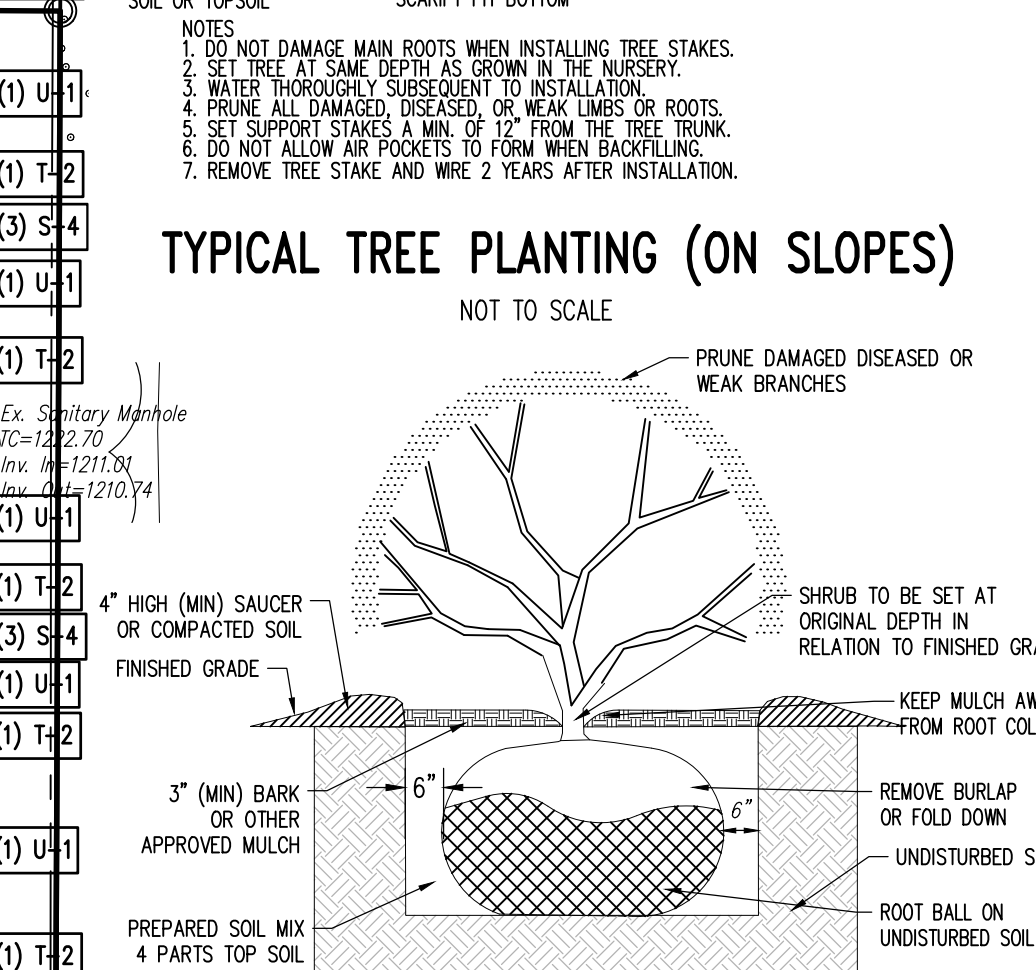
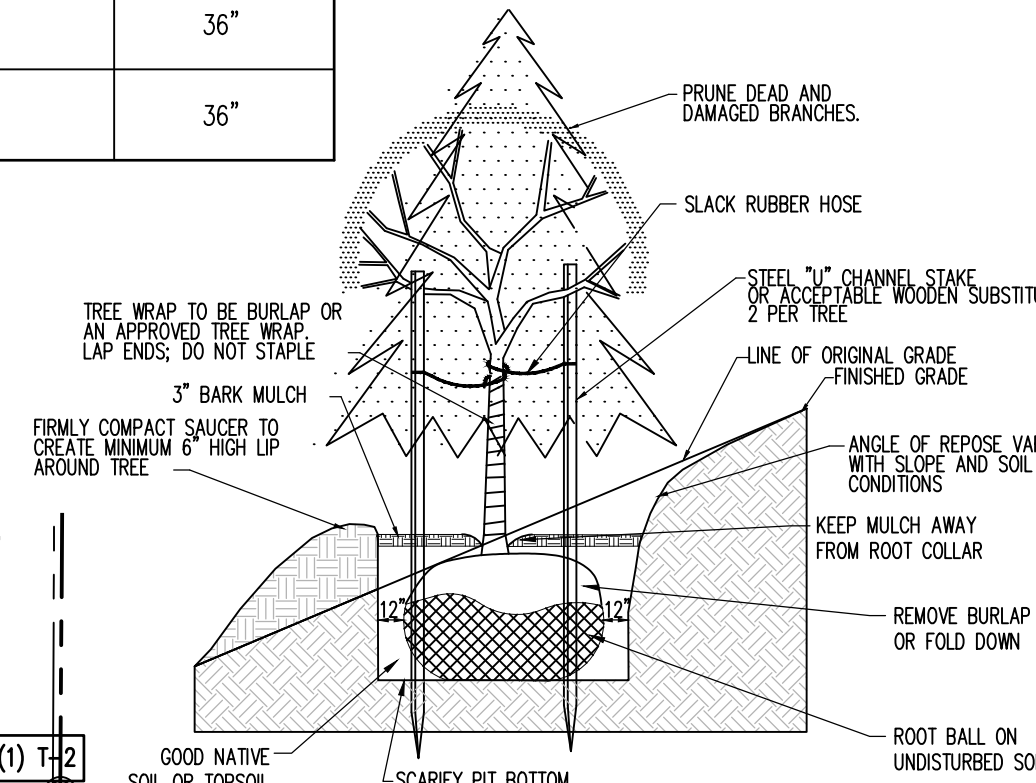
SYMBOL	KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE
<b>SHRUBS</b>					
	S-1	9	Red Chokeberry	Aronia arbutifolia	36"
	S-2	31	Summersweet	Clethra alnifolia	36"
	S-3	38	Red Twig Dogwood	Cornus stolonifera	36"
	S-4	23	Oakleaf Hydrangea	Hydrangea quercifolia	36"
	S-5	35	Ninebark	Physocarpus opulifolius	36"
	S-6	37	Burkwood Viburnum	Viburnum X burkwoodii	36"
	S-7	27	Japanese Yew	Taxus cuspidata	36"

NOTE: ALL TREES AND SHRUBS SHALL BE PLANTED IN ACCORDANCE WITH THE "GUIDE TO PLANTING IN FERGUSON TOWNSHIP".

**REAR BUFFER YARD**  
650.46 LF

**REQUIRED**  
3 CANOPY TREES PER 100 LF @ 651 LF = 20 TREES  
4 UNDERSTORY/EVERGREEN TREES PER 100 LF @ 651 LF = 26 TREES  
6 SHRUBS PER 100LF @ 651 LF = 40 SHRUBS

**PROPOSED**  
20 CANOPY TREES  
(3) SHAGBARK HICKORY, (1) BLACKGUM, (3) SOURWOOD, (11) PIN OAK,  
(1-Existing) Pear, (1-Existing) Kentucky Coffee Tree  
26 UNDERSTORY/EVERGREEN TREES  
(3) SERVICEBERRY, (8) KOUSA DOGWOOD, (4) WITCH-HAZEL,  
(11) EASTERN REDCEDAR  
23 SHRUBS  
(5) SUMMERSWEET, (15) RED TWIG DOGWOOD, (11) OAKLEAF HYDRANGEA,  
(9) BURKWOOD VIBURNUM



**REAR BUFFER YARD**  
399.98-30 = 369.98 LF

**REQUIRED**  
3 CANOPY TREES PER 100 LF @ 370 LF = 12 TREES  
4 UNDERSTORY/EVERGREEN TREES PER 100 LF @ 370 LF = 15 TREES  
6 SHRUBS PER 100LF @ 370 LF = 23 SHRUBS

**PROPOSED**  
12 CANOPY TREES  
(5) BLACKGUM, (4-Existing) Black Cherry, (3-Existing) Hawthorn  
15 UNDERSTORY/EVERGREEN TREES  
(6) SERVICEBERRY, (1) KOUSA DOGWOOD, (8) WITCH-HAZEL  
23 SHRUBS  
(12) OAKLEAF HYDRANGEA, (11) BURKWOOD VIBURNUM

**REAR BUFFER YARD**  
15' WIDE - 792.31 LF

**REQUIRED**  
3 CANOPY TREES PER 100 LF @ 793 LF = 24 TREES  
4 UNDERSTORY/EVERGREEN TREES PER 100 LF @ 793 LF = 32 TREES  
6 SHRUBS PER 100LF @ 793 LF = 48 SHRUBS

**PROPOSED**  
24 CANOPY TREES  
(8) SOURWOOD, (10) QUAKING ASPEN, (4) PIN OAK,  
(2) THORNLESS COMMON HONEYLOCUST  
32 UNDERSTORY/EVERGREEN TREES  
(4) SERVICEBERRY, (6) EASTERN REDBUD, (14) KOUSA DOGWOOD,  
(1) EASTERN REDCEDAR, (7-Existing) Norway Spruce  
50 SHRUBS  
PROPOSED: (8) RED CHOKEBERRY, (8) SUMMERSWEET, (6) RED TWIG DOGWOOD,  
(19) NINEBARK, (11) BURKWOOD VIBURNUM

**REAR BUFFER YARD**  
15' WIDE - 229.72 LF

**REQUIRED**  
3 CANOPY TREES PER 100 LF @ 230 LF = 7 TREES  
4 UNDERSTORY/EVERGREEN TREES PER 100 LF @ 230 LF = 10 TREES  
6 SHRUBS PER 100LF @ 230 LF = 14 SHRUBS

**PROPOSED**  
7 CANOPY TREES  
(3) SOURWOOD, (4) QUAKING ASPEN  
14 UNDERSTORY/EVERGREEN TREES  
(7) SERVICEBERRY, (3) EASTERN REDBUD  
10 SHRUBS  
(3) RED CHOKEBERRY, (11) SUMMERSWEET

**REAR BUFFER YARD**  
15' WIDE - 205.45 LF

**REQUIRED**  
3 CANOPY TREES PER 100 LF @ 206 LF = 7 TREES  
4 UNDERSTORY/EVERGREEN TREES PER 100 LF @ 206 LF = 9 TREES  
6 SHRUBS PER 100LF @ 206 LF = 13 SHRUBS

**PROPOSED**  
7 CANOPY TREES  
(3) SOURWOOD, (1) PIN OAK, (3) THORNLESS COMMON HONEYLOCUST  
9 UNDERSTORY/EVERGREEN TREES  
(4) EASTERN REDBUD, (1) KOUSA DOGWOOD, (4) EASTERN REDCEDAR  
13 SHRUBS  
(6) RED TWIG DOGWOOD, (7) JAPANESE YEW

**REAR BUFFER YARD**  
15' WIDE - 294.54 LF

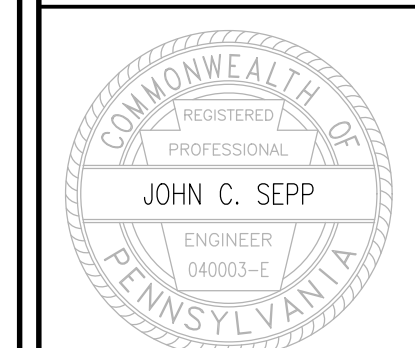
**REQUIRED**  
3 CANOPY TREES PER 100 LF @ 295 LF = 9 TREES  
4 UNDERSTORY/EVERGREEN TREES PER 100 LF @ 295 LF = 12 TREES  
6 SHRUBS PER 100LF @ 295 LF = 18 SHRUBS

**PROPOSED**  
9 CANOPY TREES  
(4) PIN OAK, (5-Existing) White Oak  
12 UNDERSTORY/EVERGREEN TREES  
(12-Existing) White Pine,  
18 SHRUBS  
(6) BURKWOOD VIBURNUM, (12-Existing) Yew



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Environmental JFS  
Proj. Manager MAT  
Surveyor \_\_\_\_\_  
Perimeter Ck. \_\_\_\_\_  
Book \_\_\_\_\_ Pg. \_\_\_\_\_  
File 2013-FINAL-09-LANDSCAPE  
Layout LANDSCAPE

Date \_\_\_\_\_ Description \_\_\_\_\_  
REVISIONS

**LECRONE - WEST COLLEGE PROPERTIES**

FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

**FINAL LAND DEVELOPMENT PLAN**

PROJECT NO. 21137  
DATE DECEMBER 1, 2023  
SCALE 1" = 30' SHEET NO. 9



**ELECTRICAL NOTES**

1. Site and electrical contractors shall verify and coordinate all existing and new underground facilities with all contractors, utility companies, etc. before beginning any underground construction.
2. All wiring trenches shall be run as close as possible to all curbs - no wiring shall run through the center of any island, planter, terrace, courtyard, etc. Site and electrical contractors shall verify conduit location in the field before excavating.
3. Electrical contractor to supply conduits, control panels, timing clocks and exterior circuitry as shown on the electrical engineers plan.
4. Site contractor shall provide trenching and backfill for site lighting conduits and installation of light pole base. Electrical contractor shall install site lighting conduits, exterior light fixture and all electrical connections. Refer to electrical plans.

**LUMINAIRE SCHEDULE**

SYMBOL	LABEL	QTY.	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	FILENAME	LUMENS PER LAMP	LUMEN MULTIPLIER	LLF	WATTAGE
	<b>A</b>	4	LSI INDUSTRIES, INC.	SLM-LED-18L-SL-FT-40-70CRI-IL	SLICE MEDIUM LED, 18,000 LMS, FORWARD THROW DISTRIBUTION, 4,000 CCT 70 CRI, INTEGRAL LOUVER HSS, 20' MOUNTING HEIGHT	SLM-LED-18L-SL-FT-40-70CRI-ILIES	12046	1	1	148.50
	<b>B</b>	1	LSI INDUSTRIES, INC.	SLM-LED-18L-SL-2-40-70CRI-IL	SLICE MEDIUM LED, 18,000 LMS, TYPE B DISTRIBUTION, 4,000 CCT 70 CRI, INTEGRAL LOUVER HSS, 20' MOUNTING HEIGHT	SLM-LED-18L-SL-2-40-70CRI-ILIES	11732	1	1	148.50
	<b>C</b>	48	LSI INDUSTRIES, INC.	XPWS3-FT-LED-28-450-NW-UE	LED PATRIOT WALL SCONCE, FORWARD THROW DISTRIBUTION, 4,000 CCT, 10' MOUNTING HEIGHT	XPWS3-FT-LED-28-450-NW-UEIES	3528	1	1	44.00
	<b>D</b>	4	LSI INDUSTRIES, INC.	XPWS3-WT-LED-28-450-NW-UE	LED PATRIOT WALL SCONCE, WIDE THROW DISTRIBUTION, 4,000 CCT, 10' MOUNTING HEIGHT	XPWS3-WT-LED-28-450-NW-UEIES	3464	1	1	44.00

**STATISTICS**

DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX/MIN	AVG/MIN
PAVED AREA	X	3.0 FC	9.9 FC	0.4 FC	24.8 : 1	7.5 : 1
TRESPASS	+	0.2 FC	9.9 FC	0.0 FC	N/A	N/A

**PROPOSED FEATURES LEGEND**

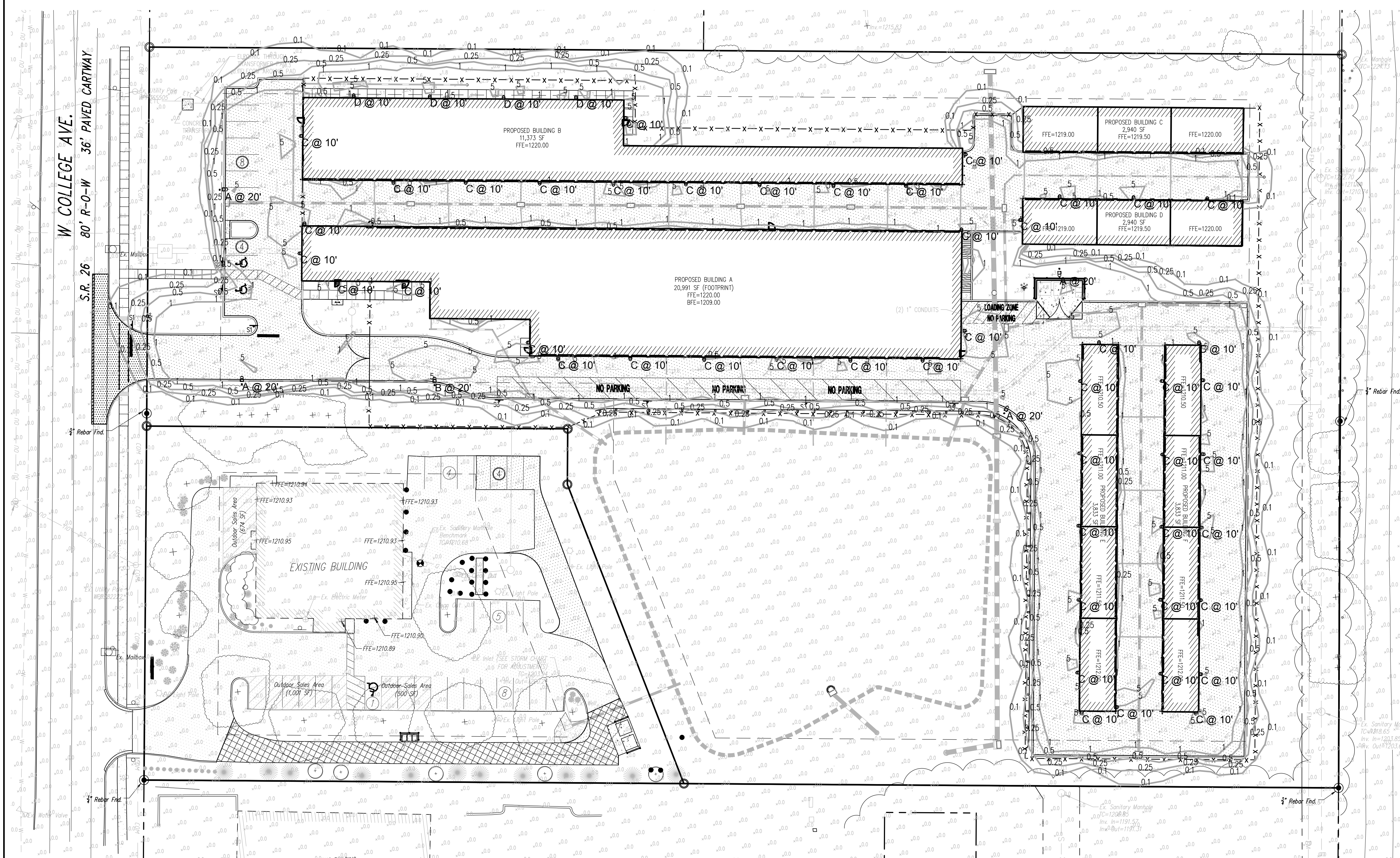
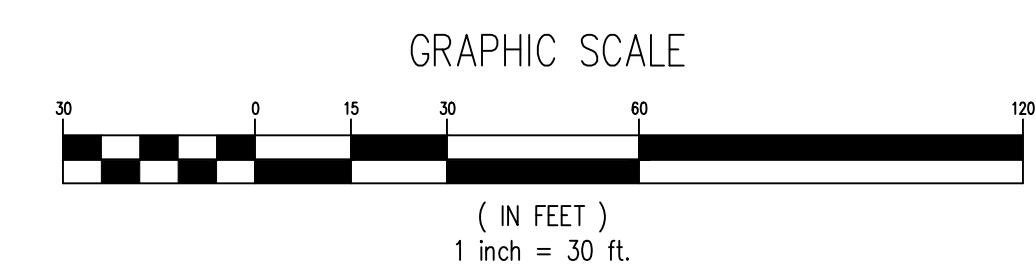
- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED BITUMINOUS PAVEMENT OVERLAY AREAS
- PROPOSED RETAINING WALL
- PROPOSED UNDERGROUND ELECTRIC (SIZE & QUANTITY AS NOTED)
- PROPOSED COMBINED UTILITY CONDUIT (SEE TRENCH DETAIL)
- PROPOSED 6" PVC SANITARY SEWER LATERAL W/ CLEAN OUT
- PROPOSED SINGLE UNIT DOMESTIC WATER SERVICE LATERAL W/ CURB BOX
- PROPOSED 8" WATER LINE W/ VALVE
- PROPOSED STORM SEWER W/ TYPE C INLET
- PROPOSED STORM SEWER ROOF DRAIN
- PROPOSED STORM SEWER INLET - TYPE M
- PROPOSED STORM SEWER INLET - TYPE C
- PROPOSED CLEAN-OUT
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- PROPOSED PARKING STALL COUNT
- PROPOSED SIGN W/ LABEL
- PROPOSED 6" STEEL BOLLARD FILLED W/ CONCRETE
- PROPOSED DEPRESSED CURB W/ CURB TRANSITION
- PROPOSED STORMWATER BASIN/ BEST MANAGEMENT PRACTICE (BMP) FACILITIES

**SURVEY FEATURES LEGEND**

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- Municipal Boundary
- Zoning Boundary
- Property Corner Found
- Property Corner To Be Set
- PennTerra Control Point
- Project Benchmark

**EXISTING FEATURES LEGEND**

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Bituminous Areas
- Existing Gravel Areas
- Existing Retaining Wall
- Existing Fence / Type
- Existing Gas Line
- Existing Utility Pole
- Existing Guy Wire
- Existing Storm Sewer Inlet Type-M
- Existing Utility Main Valve
- Existing Utility Lateral Valve
- Existing Bollard
- Existing Handicap Symbol
- Existing Sign
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub



**PennTerra ENGINEERING INC.**  
 3075 ENTERPRISE DRIVE  
 SUITE 100  
 STATE COLLEGE, PA 16801  
 PH: 814-231-8285  
**www.PENNTERRA.com**

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COMMONWEALTH OF PENNSYLVANIA  
 REGISTERED PROFESSIONAL ENGINEER  
 JOHN C. SEPP  
 ENGINEER 040033-E  
 Seal

Seal  
 PENNSYLVANIA ONE CALL SYSTEM INC.  
 1-800-482-1276  
 STOP - CALL BEFORE YOU DIG

Designer(s) CJM  
 Environmental JFS  
 Proj. Manager MAT  
 Surveyor \_\_\_\_\_  
 Perimeter Ck. \_\_\_\_\_  
 Book \_\_\_\_\_ Pg. \_\_\_\_\_  
 File 21137-FINAL-10-LIGHTING  
 Layout LIGHTING

Date \_\_\_\_\_ Description \_\_\_\_\_  
 REVISIONS

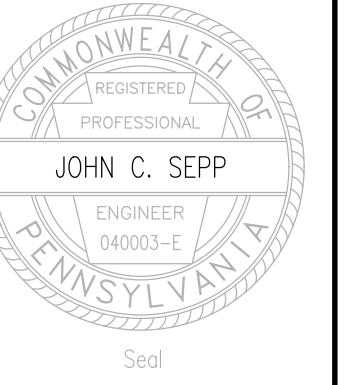
**LECRONE - WEST COLLEGE PROPERTIES**  
 FERGUSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

**FINAL LAND DEVELOPMENT PLAN**

**LIGHTING PLAN**

PROJECT NO. 21137  
 DATE  
 DECEMBER 1, 2023  
 SCALE SHEET NO. 10  
 1" = 30'





Designer(s) \_\_\_\_\_ C.J.W.  
Environmental \_\_\_\_\_ J.R.S.  
Proj. Manager \_\_\_\_\_ MAT  
Surveyor \_\_\_\_\_  
Perimeter Ck. \_\_\_\_\_  
Book \_\_\_\_\_ Pg. \_\_\_\_\_  
File \_\_\_\_\_ 21137-FINAL-08-PROFILES  
Layout \_\_\_\_\_ PROFILES

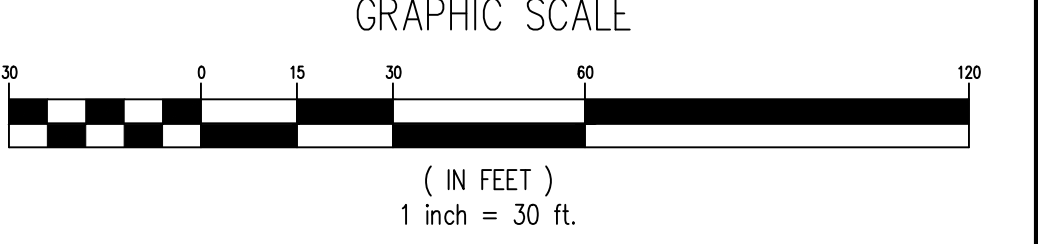
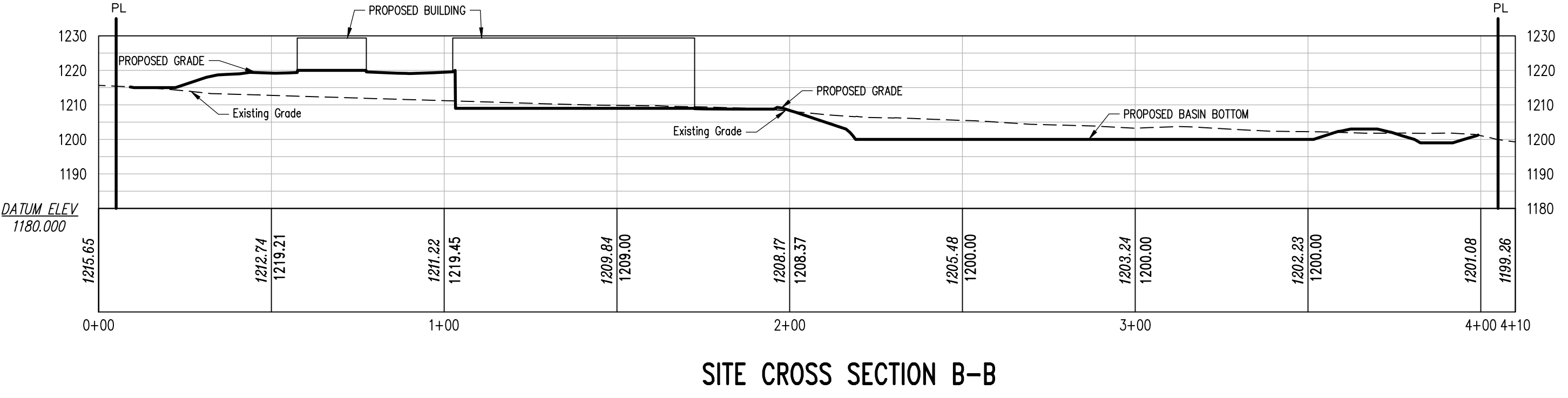
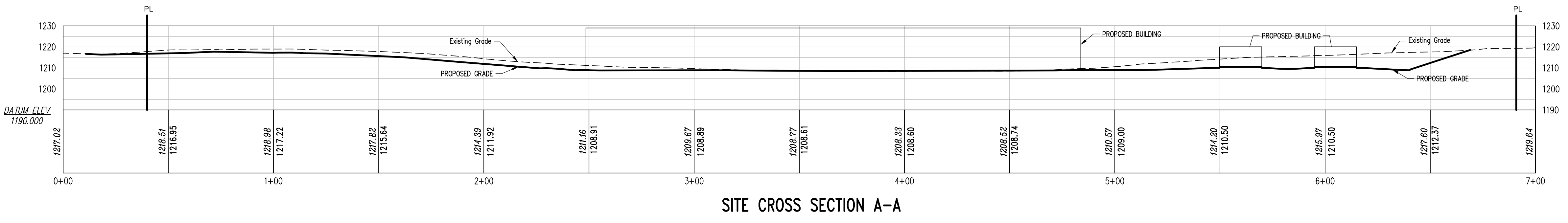
Date	Description
	REVISIONS

**LECRONE - WEST COLLEGE PROPERTIES**  
FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

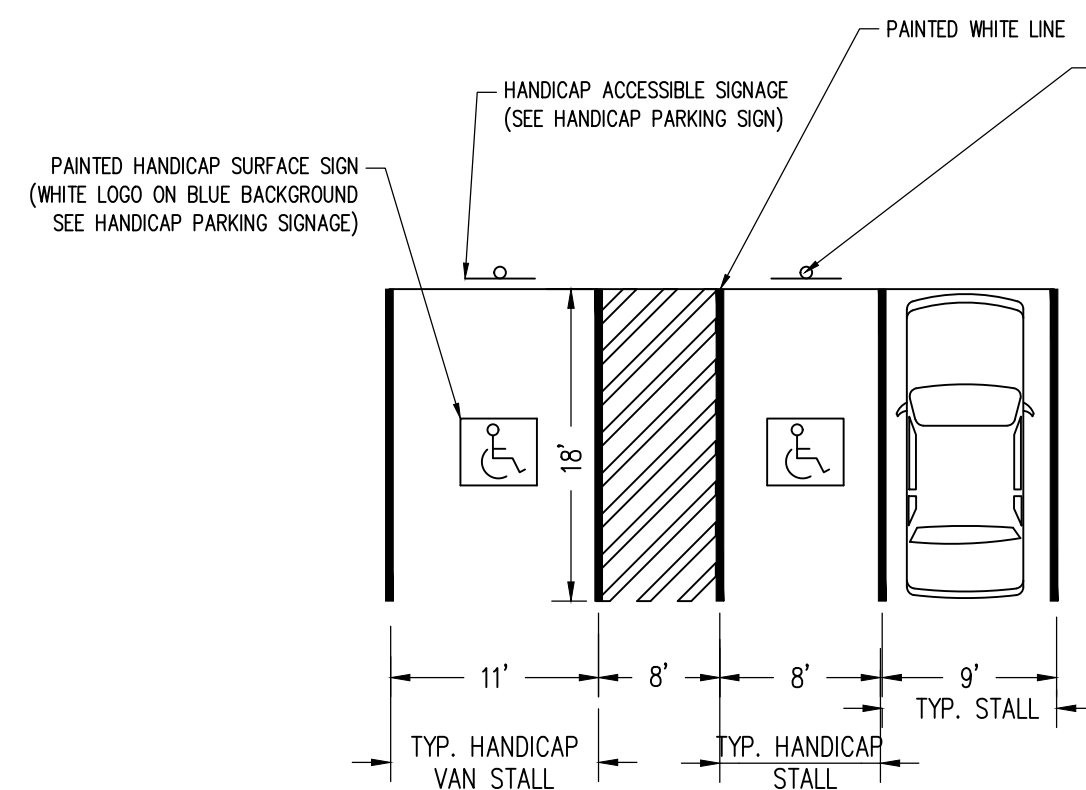
**FINAL LAND DEVELOPMENT PLAN**

**SITE CROSS SECTIONS**

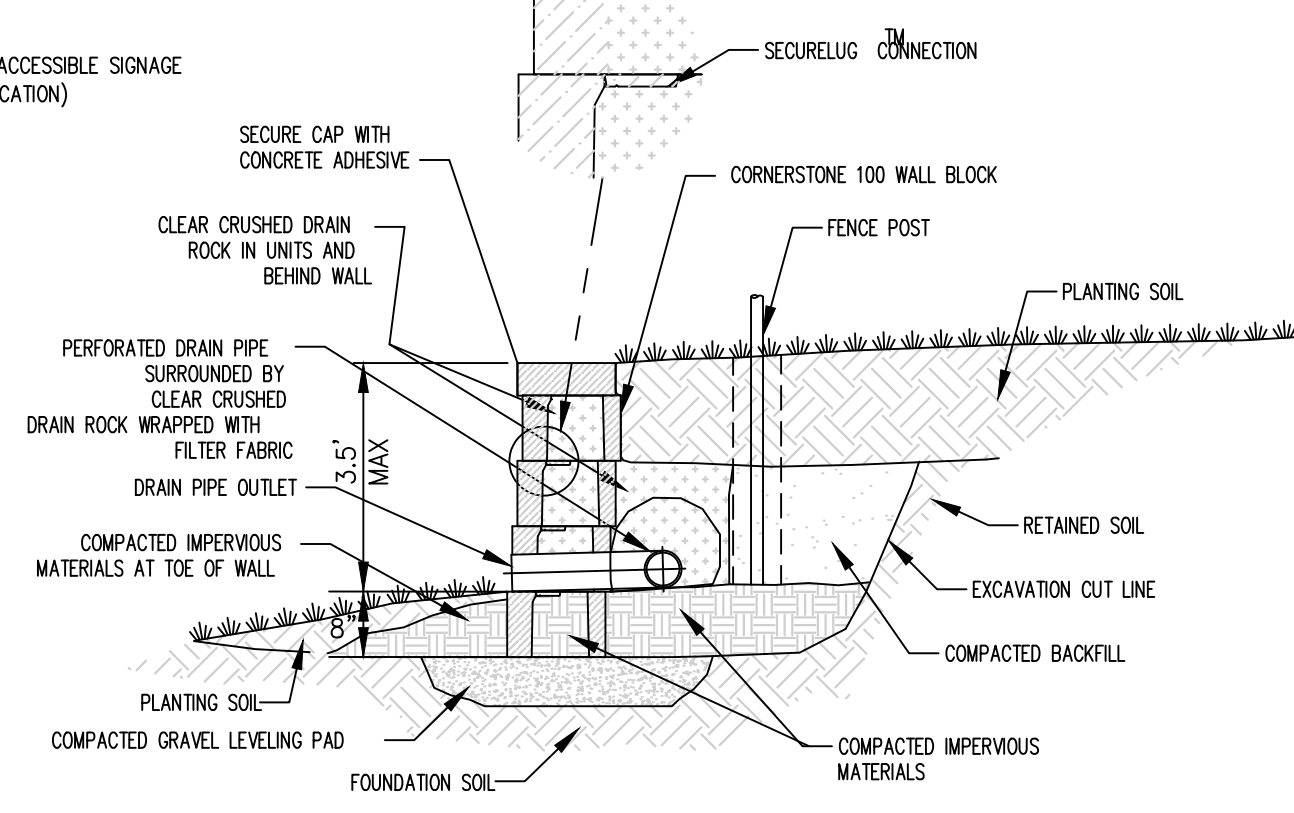
PROJECT NO. 21137  
DATE: DECEMBER 1, 2023  
SCALE: 1" = 30'  
SHEET NO. 11



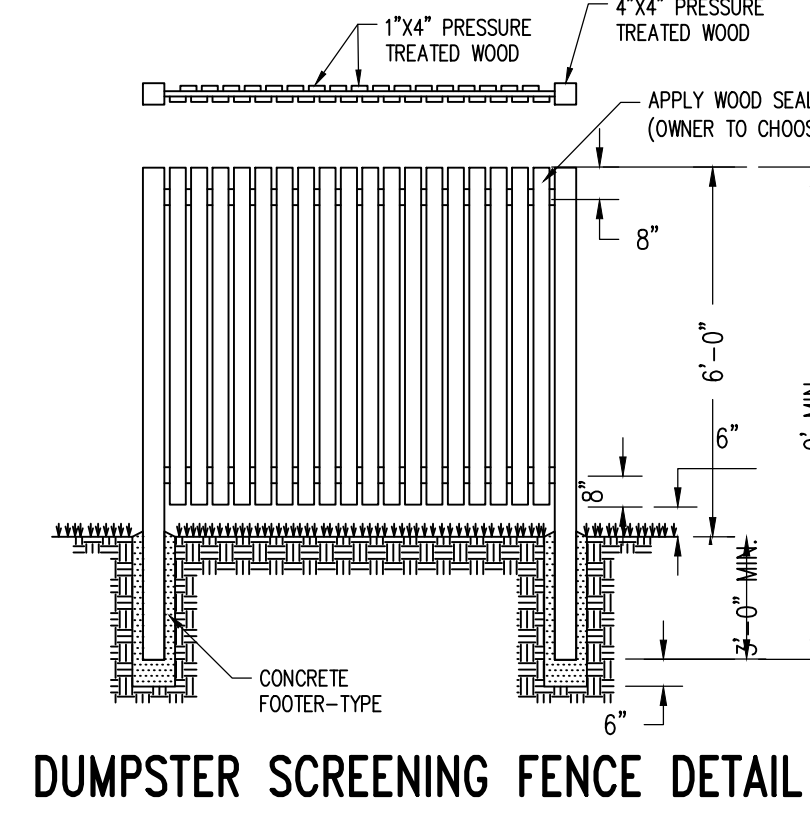




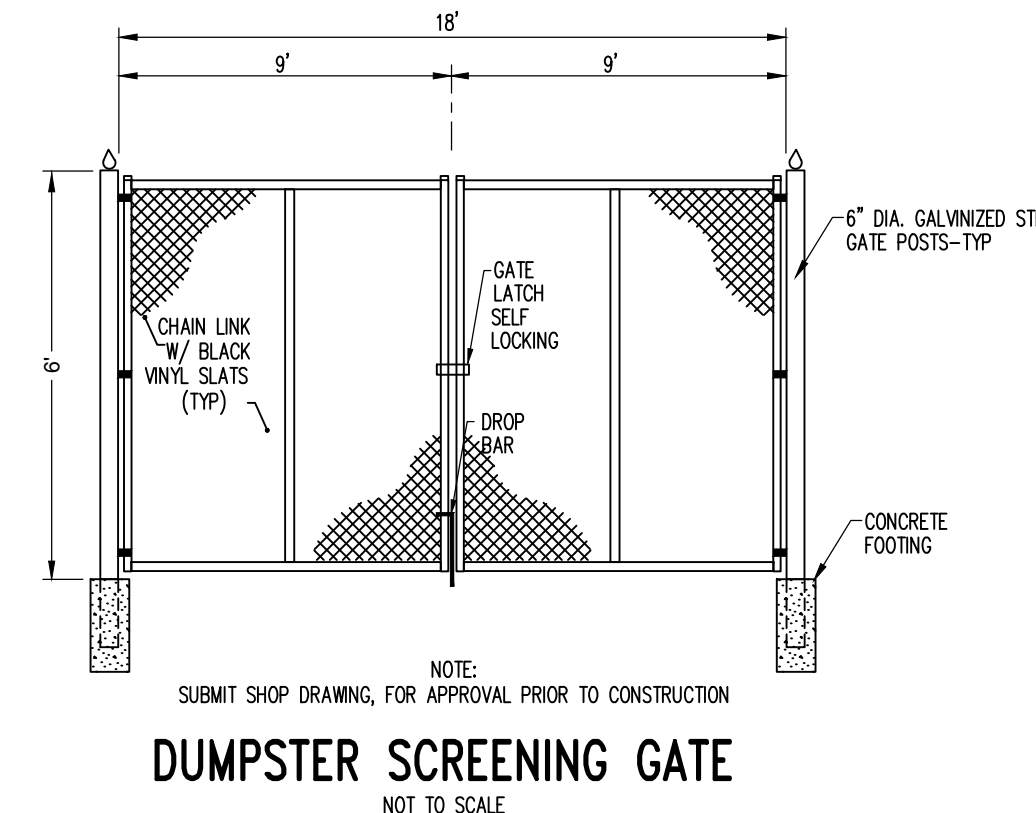
**TYPICAL HANDICAP PARKING**  
NOT TO SCALE



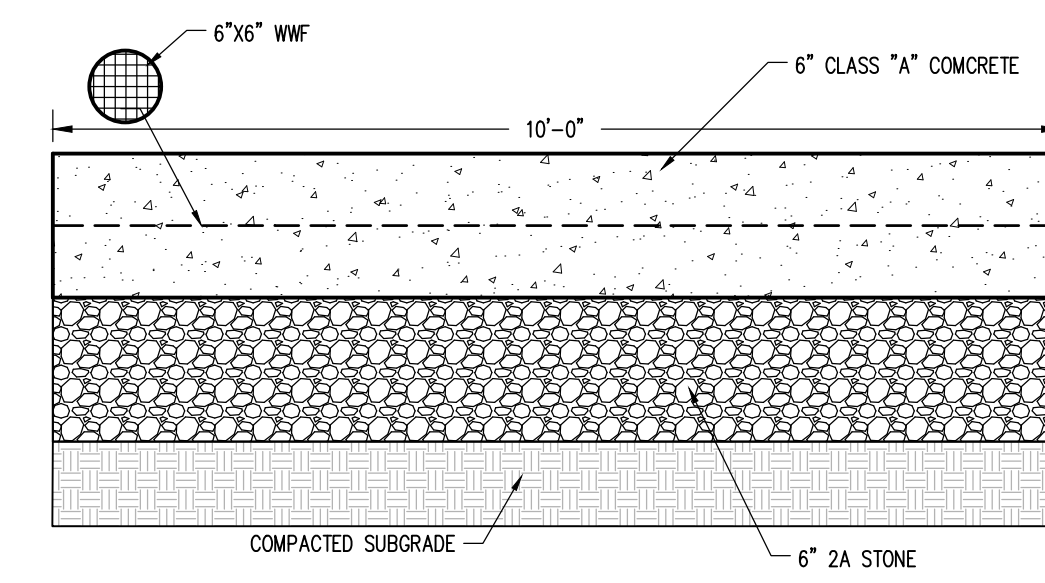
**RETAINING WALL**  
NOT TO SCALE



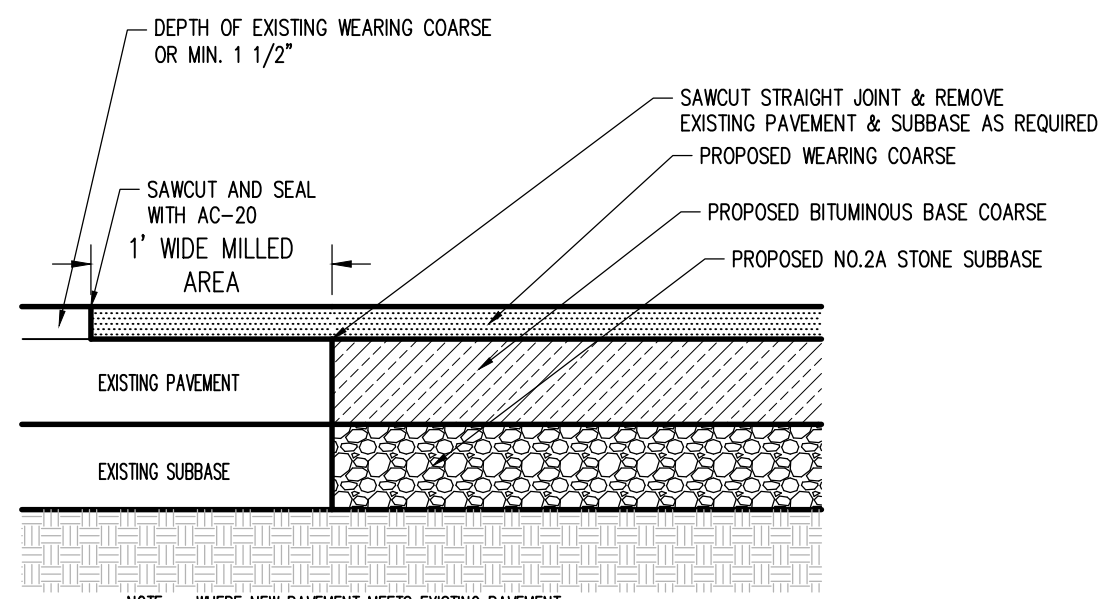
**DUMPSTER SCREENING FENCE DETAIL**  
NOT TO SCALE



**DUMPSTER SCREENING GATE**  
NOT TO SCALE

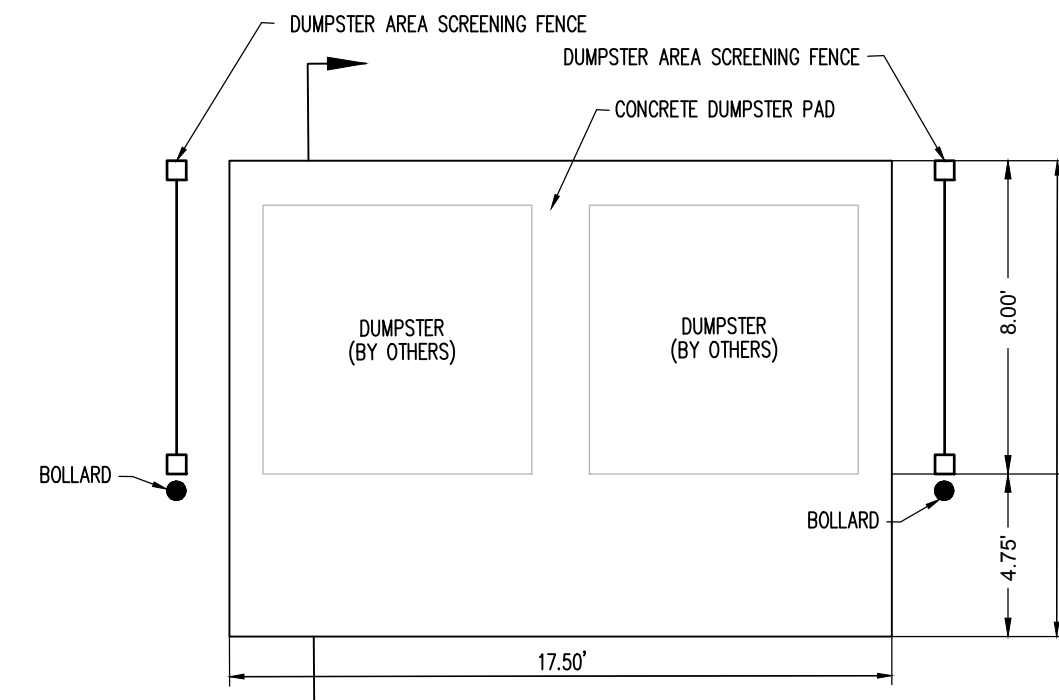


**DUMPSTER PAD DETAIL**  
NOT TO SCALE

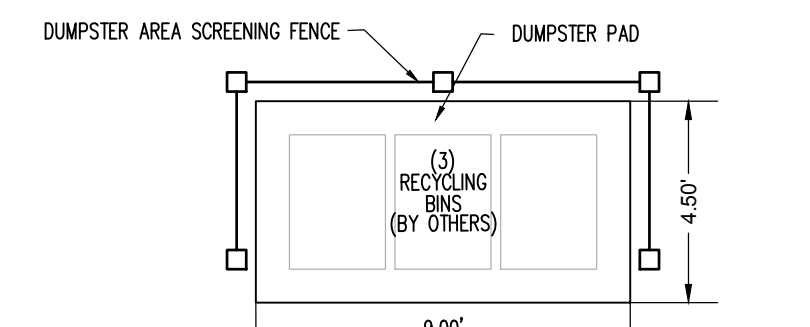


NOTE: WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT SAWOUT A MIN. 1" WIDE MINIMUM DEPTH OF EXISTING WEARING COARSE

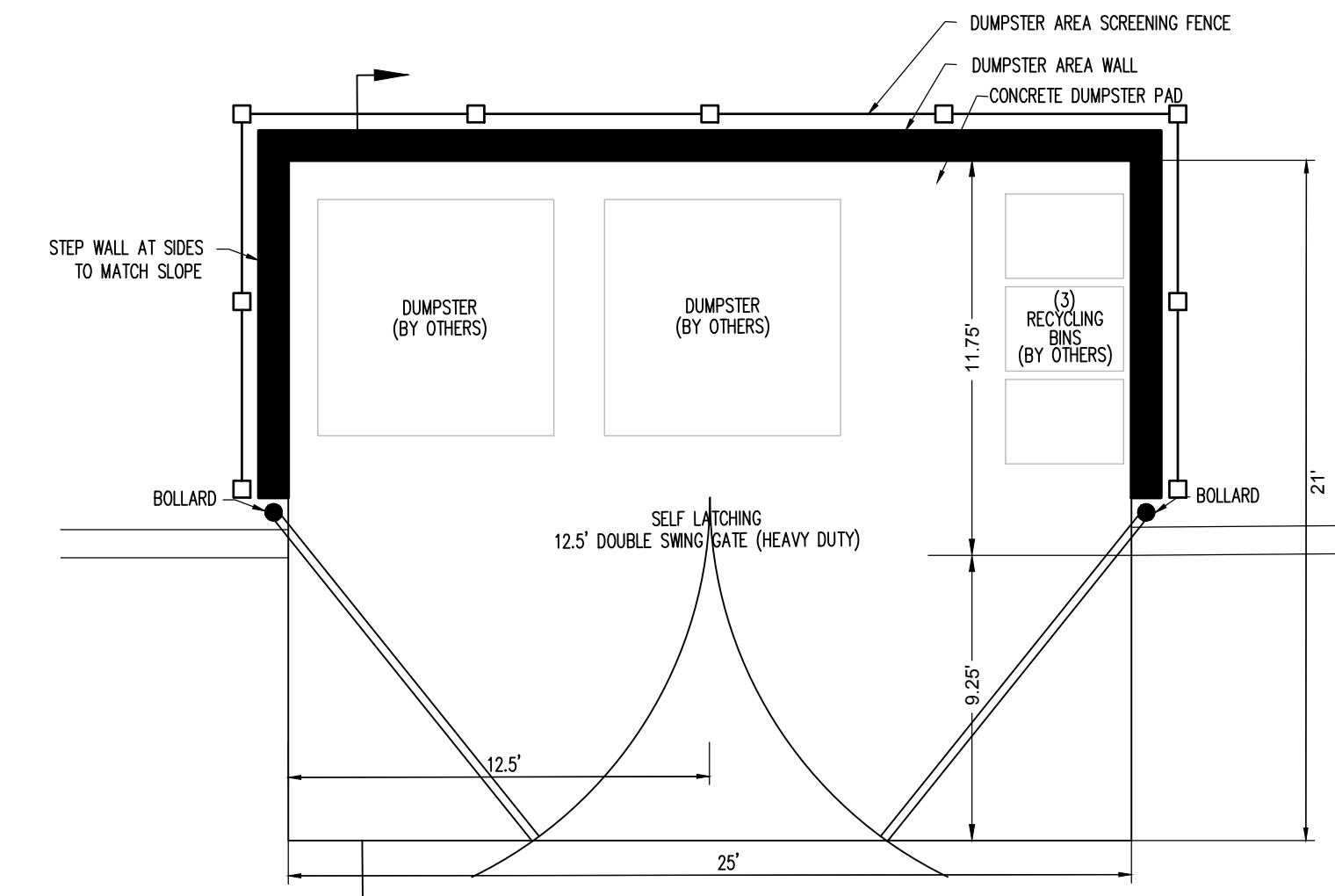
**PAVEMENT NOTCH DETAIL**  
NOT TO SCALE



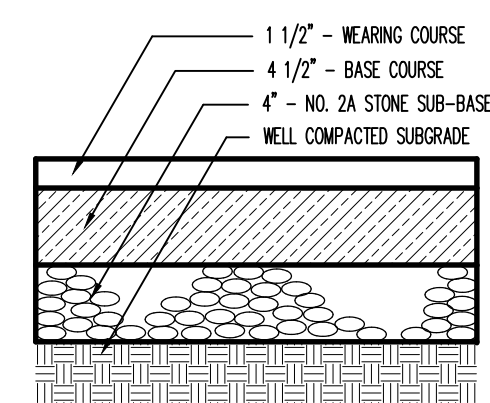
**DUMPSTER PAD W/SCREENING FENCE (TP 24-04-79I)**  
NOT TO SCALE



**RECYCLING PAD W/SCREENING FENCE (TP 24-04-79I)**  
NOT TO SCALE

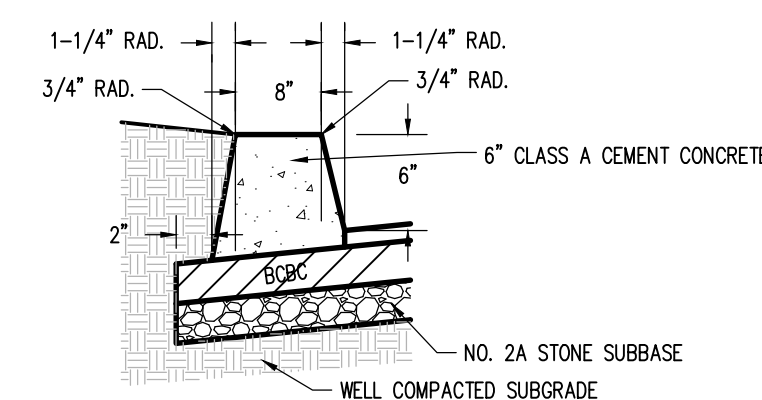


**DUMPSTER PAD W/SCREENING FENCE (TP 24-04-79H)**  
NOT TO SCALE

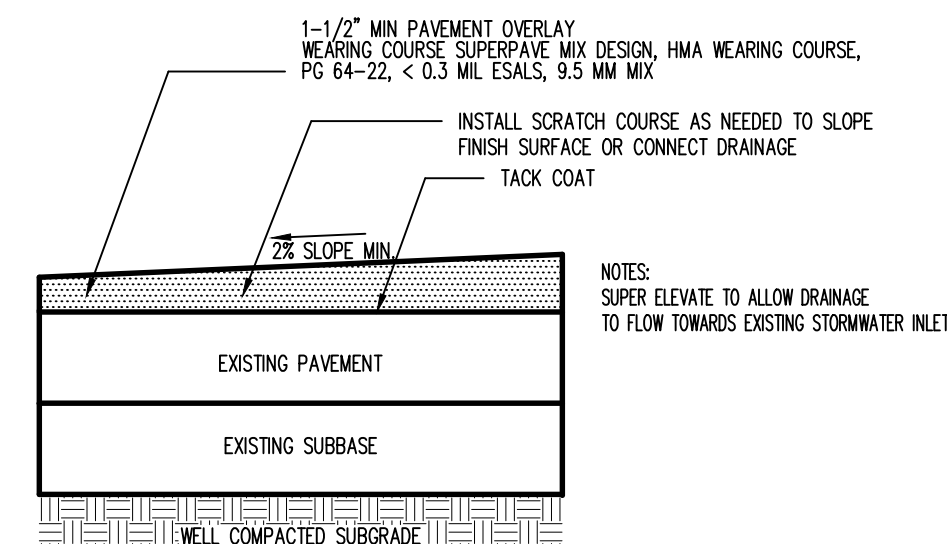


- NOTES:
- WEARING COURSE SHALL BE: SUPERPAVE 9.5MM WEARING COURSE, PG 64-22, SR-1, < 0.3 MILLION ESALS, 50 GRITATION.
  - BASE COURSE SHALL BE: SUPERPAVE 25MM BASE COURSE, PG 64-22, < 0.3 MILLION ESALS, 50 GRITATION.
  - REFER TO PENNDOT HOP PLANS FOR PAVEMENT DESIGN IN R-0-III.

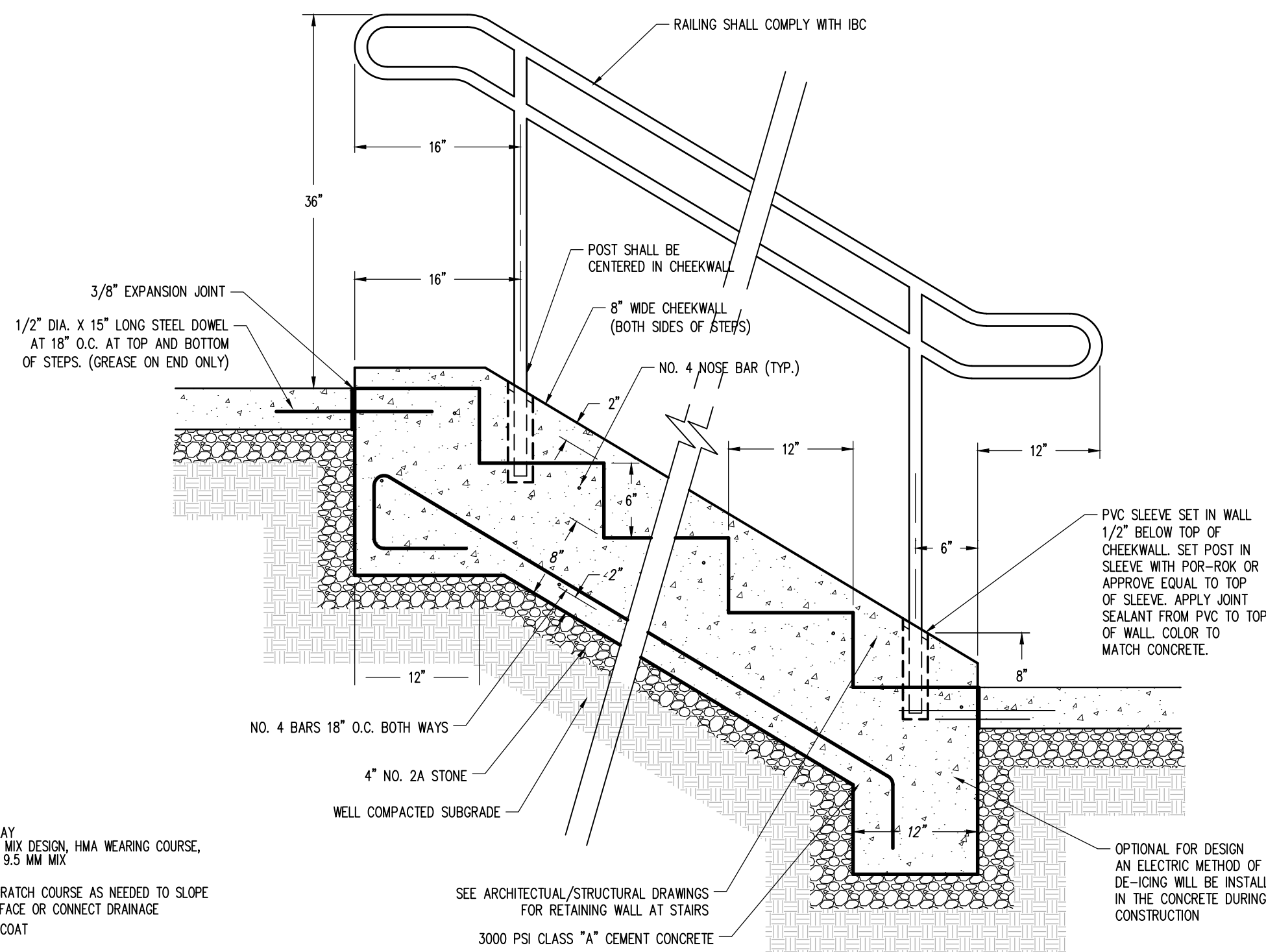
**PARKING LOT PAVEMENT SECTION**  
NOT TO SCALE



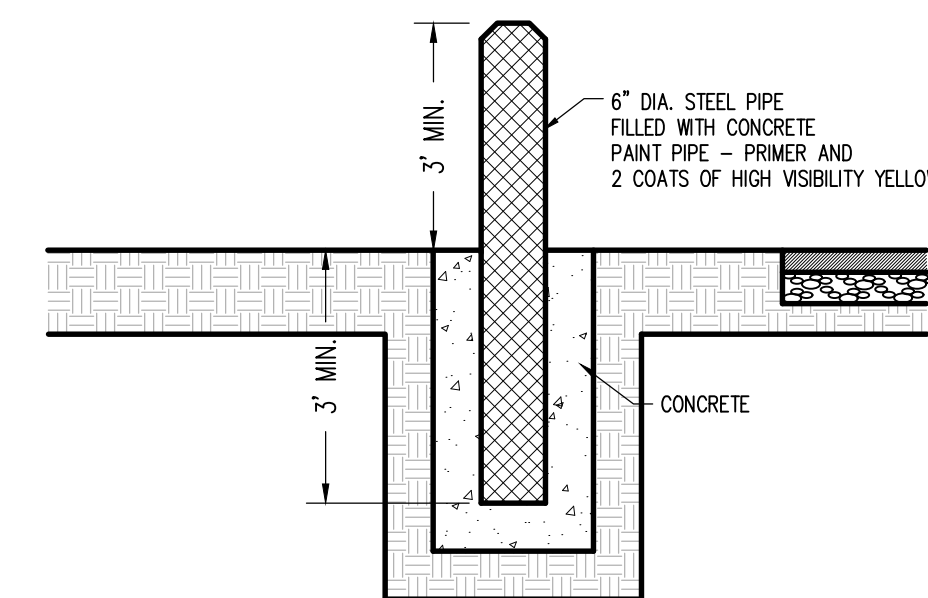
**6" EXTRUDED CONCRETE CURB**  
NOT TO SCALE



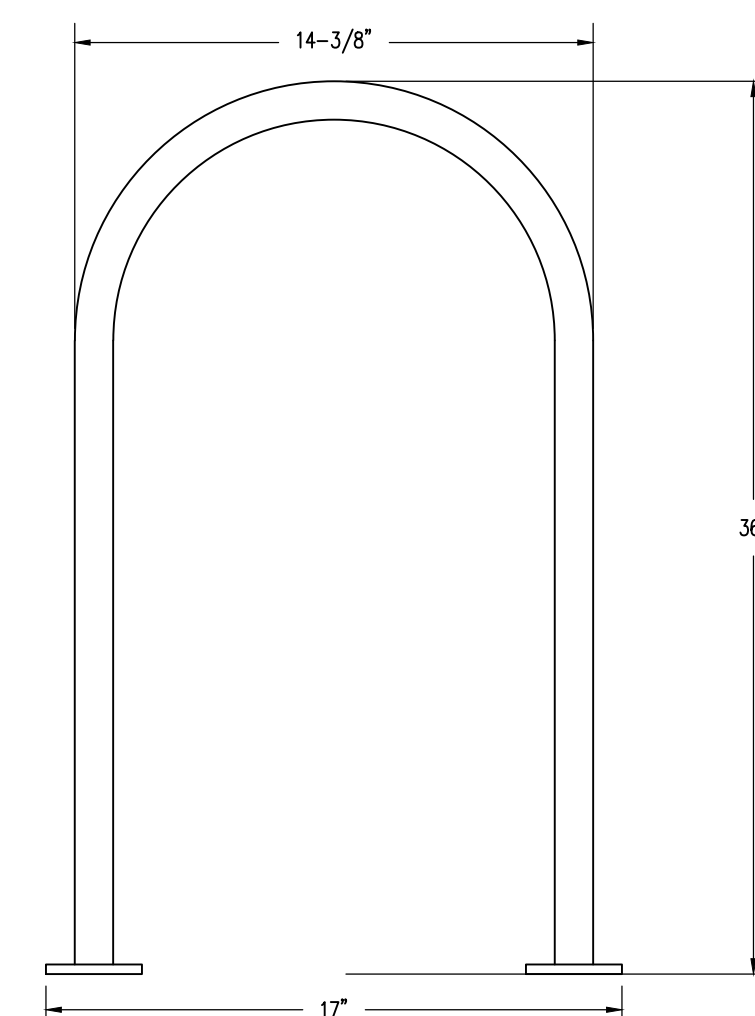
**SUPER ELEVATED PAVEMENT OVERLAY SECTION (TP 24-04-79I)**  
NOT TO SCALE



**CONCRETE STAIRWAY DETAIL**  
NOT TO SCALE

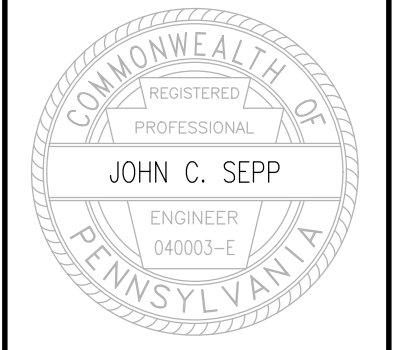


**STEEL BOLLARD DETAIL**  
NOT TO SCALE



**BELSON OUTDOORS STANDARD INVERTED 'U' BIKE RACK**  
NOT TO SCALE

- NOTES:
- USE MODEL 58015M FROM BELSON OUTDOORS OR APPROVED EQUAL.
  - COLOR TO BE SELECTED BY ARCHITECT
  - BIKE RACKS SHALL HAVE 36" CLEARANCE FROM ANY OTHER BIKE RACKS, WALLS, DOORS, POST, COLUMNS OR EXTERIOR LANDSCAPING.



Designer	CJW
Draftsman	CJW
Proj Manager	MAT
Surveyor	
Perimeter Ok	
Book	Pg
File	21137-FINAL-11-DETAILS
Layout	GENERAL SITE DETAILS

Date	Description	REVISIONS

**LECRONE - WEST COLLEGE PROPERTIES**

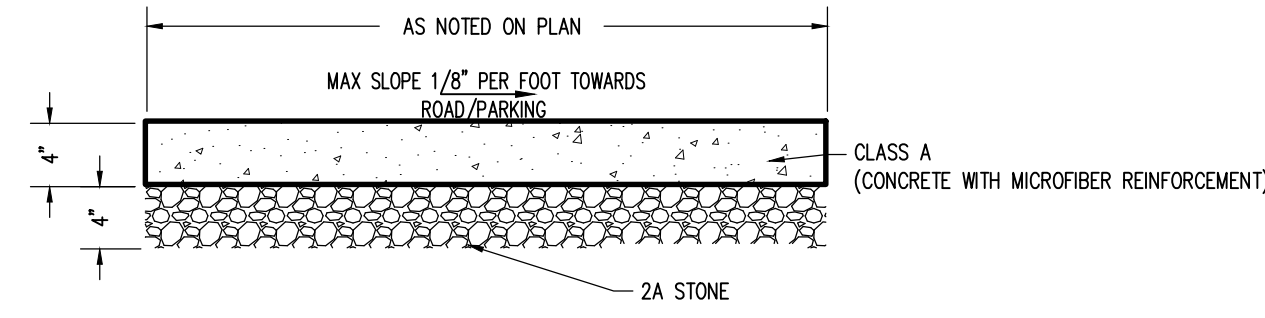
FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

**FINAL LAND DEVELOPMENT PLAN**

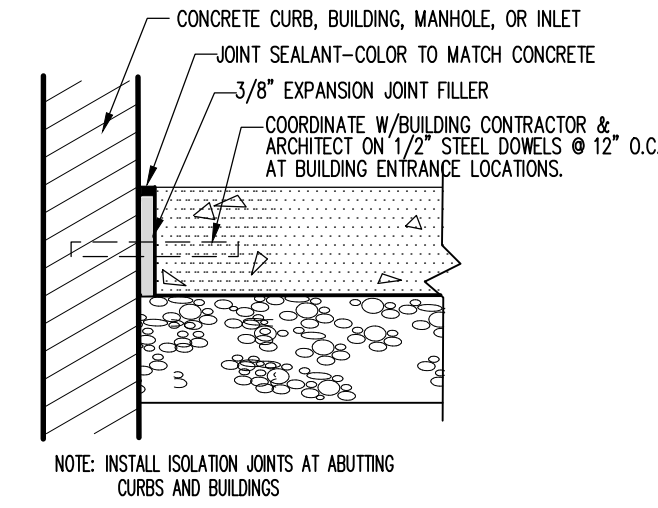
**GENERAL SITE DETAILS**

PROJECT NO.	21137
DATE	DECEMBER 1, 2023
SCALE	N.T.S
SHEET NO.	12

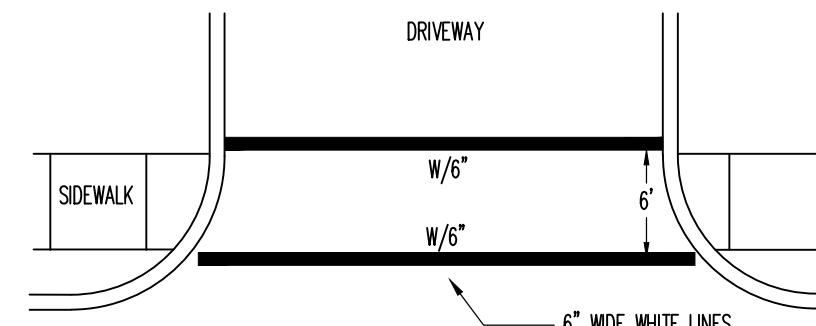




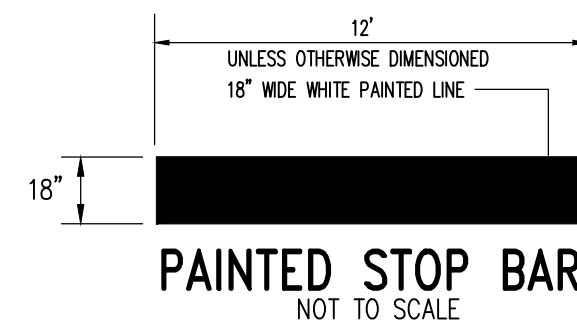
**5' CEMENT CONCRETE SIDEWALK**  
NOT TO SCALE



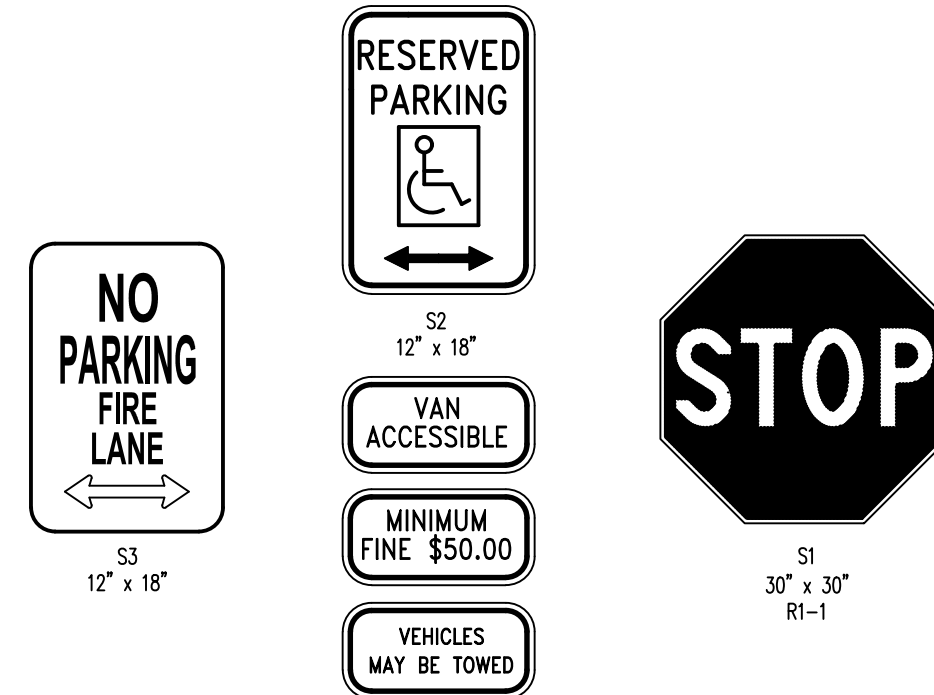
**CONCRETE ISOLATION JOINT**  
NOT TO SCALE



**CROSSWALK DETAIL**  
NOT TO SCALE

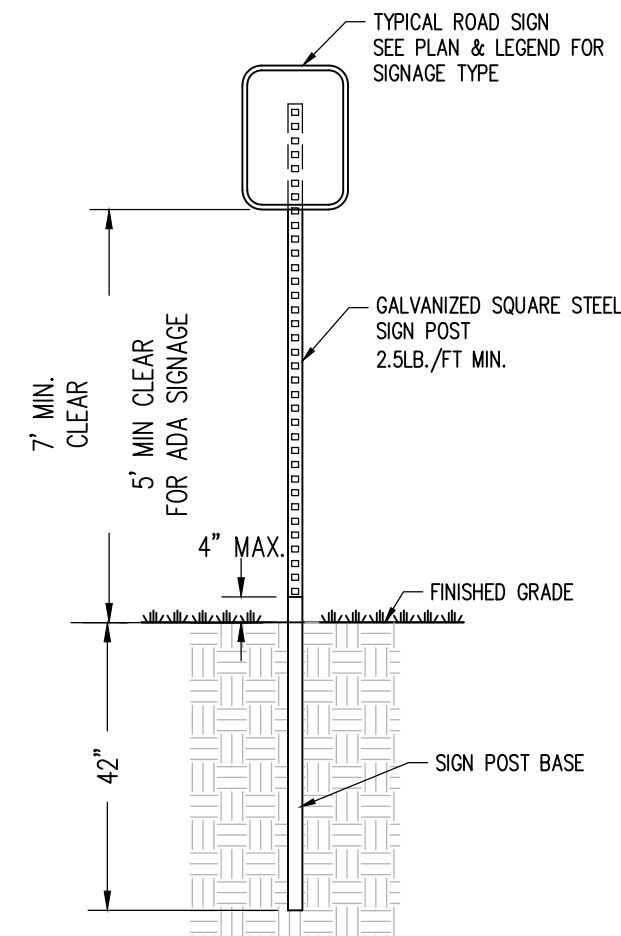


**PAINTED STOP BAR**  
NOT TO SCALE

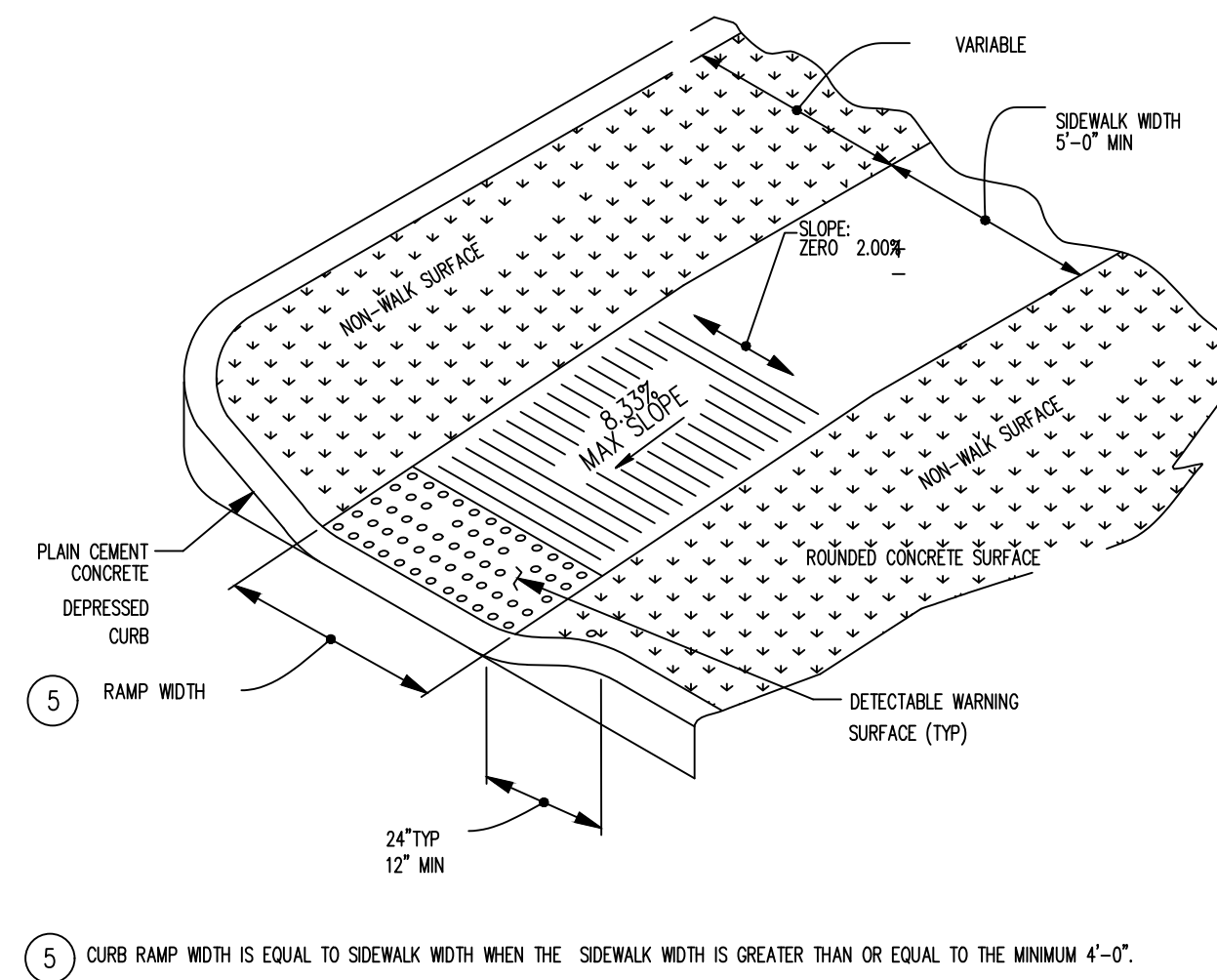


NOTE:  
1. SIGNS TO BE PENNDOT TYPE III HIGH INTENSITY SHEETING OR BETTER.

**SIGN DETAILS**  
NOT TO SCALE

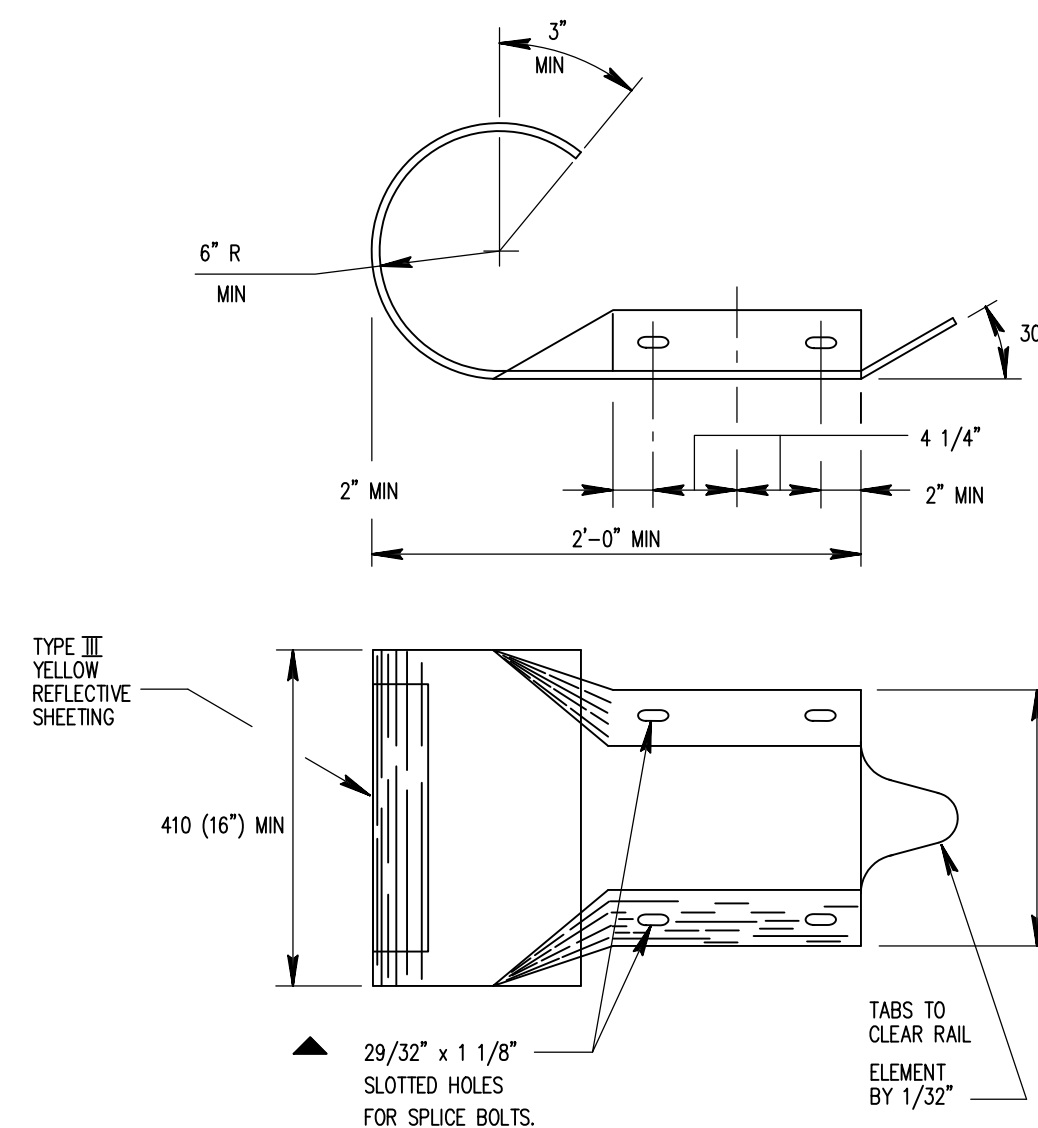


**SIGN POST**  
NOT TO SCALE

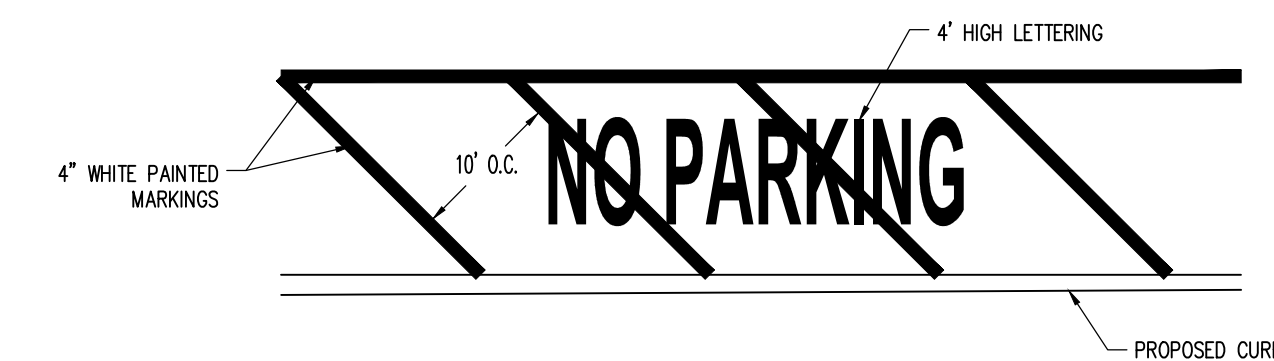


5 CURB RAMP WIDTH IS EQUAL TO SIDEWALK WIDTH WHEN THE SIDEWALK WIDTH IS GREATER THAN OR EQUAL TO THE MINIMUM 4'-0\"/>

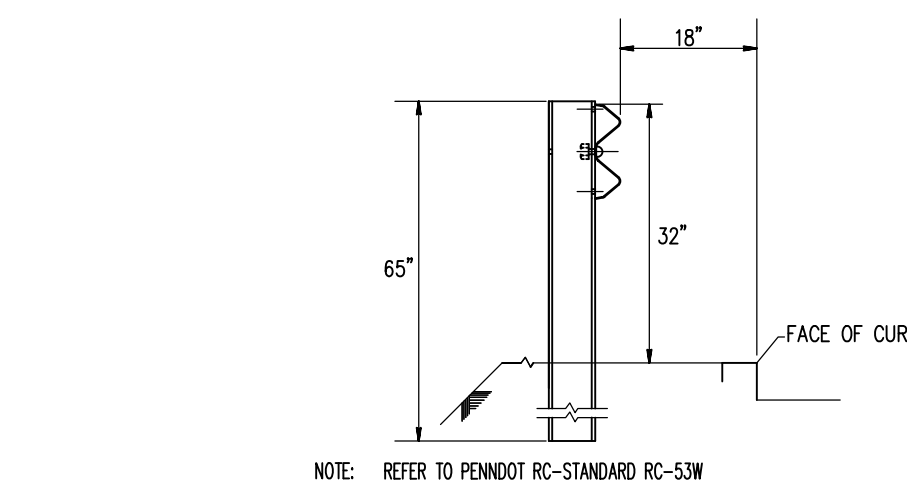
**CURB RAMP - TYPE 4A - PARALLEL**  
NOT TO SCALE



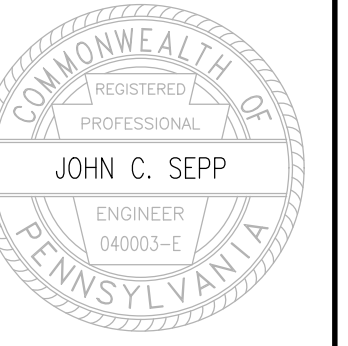
**TERMINAL TO BE PLACED ON FACE OF RAIL ELEMENT**  
NOT TO SCALE



**FIRE LANE "NO PARKING" PAVEMENT MARKING**  
NOT TO SCALE



NOTE: REFER TO PENNDOT RC-STANDARD RC-SSW  
**PENNDOT TYPE 2-WC WEAK POST W-BEAM GUIDE RAIL WITH CLOSE POST SPACING (6'-3")**  
NOT TO SCALE



Designer	CJW
Draftsman	CJW
Proj Manager	MAT
Surveyor	
Perimeter Ok	
Book	Pg
File	21137-FINAL-11-DETAILS
Layout	SIDEWALK & SIGN DETAILS

Date	Description

**LECRONE - WEST COLLEGE PROPERTIES**  
  
FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

**FINAL LAND DEVELOPMENT PLAN**

**SIDEWALK & SIGN DETAILS**

PROJECT NO.	21137
DATE	DECEMBER 1, 2023
SCALE	N.T.S
SHEET NO.	13







**CRITICAL STAGES OF CONSTRUCTION NOTES**

The project contains critical stages of construction that require oversight by a licensed professional. The general site contractor shall be responsible for supplying & coordinating the licensed professional. Refer to the Post Construction Stormwater Management Plans for detailed information pertaining to the Critical Stages of Construction.

**EROSION & SEDIMENTATION CONTROL LEGEND**

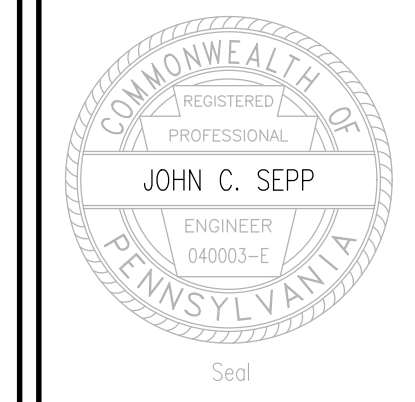
- NPDES BOUNDARY/LIMIT OF DISTURBANCE
- SS18 SS18 18" SILT SOCK
- CONSTRUCTION ENTRANCE
- INLET PROTECTION (TYPE M)
- INLET PROTECTION (TYPE C)
- YARD DRAIN PROTECTION
- RIP-RAP APRON
- SEDIMENT TRAP SILT SOCK
- EROSION CONTROL LINING (CURLEX II OR APPROVED EQUAL)
- EROSION CONTROL LINING (PYRAMAT 75 OR APPROVED EQUAL)
- TOPSOIL STOCKPILE
- CONCRETE WASHOUT AREA

**SOILS LEGEND**

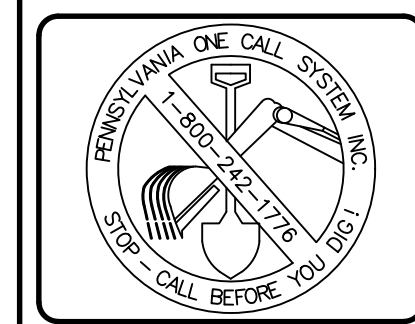
Soil cover on the site consists of:  
 HaB - Hagerstown silt loam, 3%-8% Slopes  
 OhB - Opeaon-Hagerstown complex, 3%-8% Slopes  
 OhC - Opeaon-Hagerstown complex, 8%-15% Slopes

**PennTerra ENGINEERING INC.**  
 3075 ENTERPRISE DRIVE  
 SUITE 100  
 STATE COLLEGE, PA 16801  
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Designer(s) CJW  
 Environmental JFS  
 Proj. Manager MAT  
 Surveyor \_\_\_\_\_  
 Perimeter Ck. \_\_\_\_\_  
 Book \_\_\_\_\_ Pg. \_\_\_\_\_  
 File 21137-FINAL-E&S-01-PLAN  
 Layout E&S-PLAN



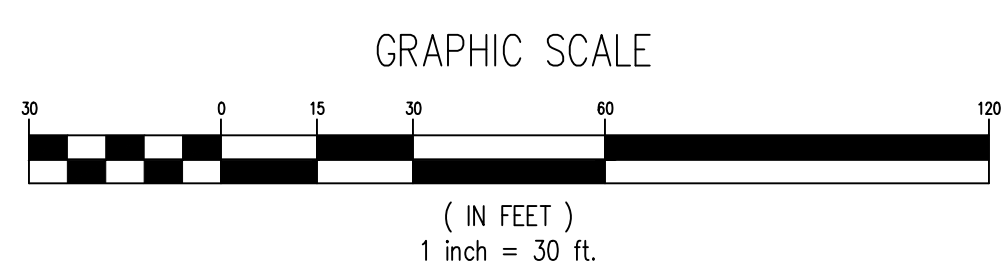
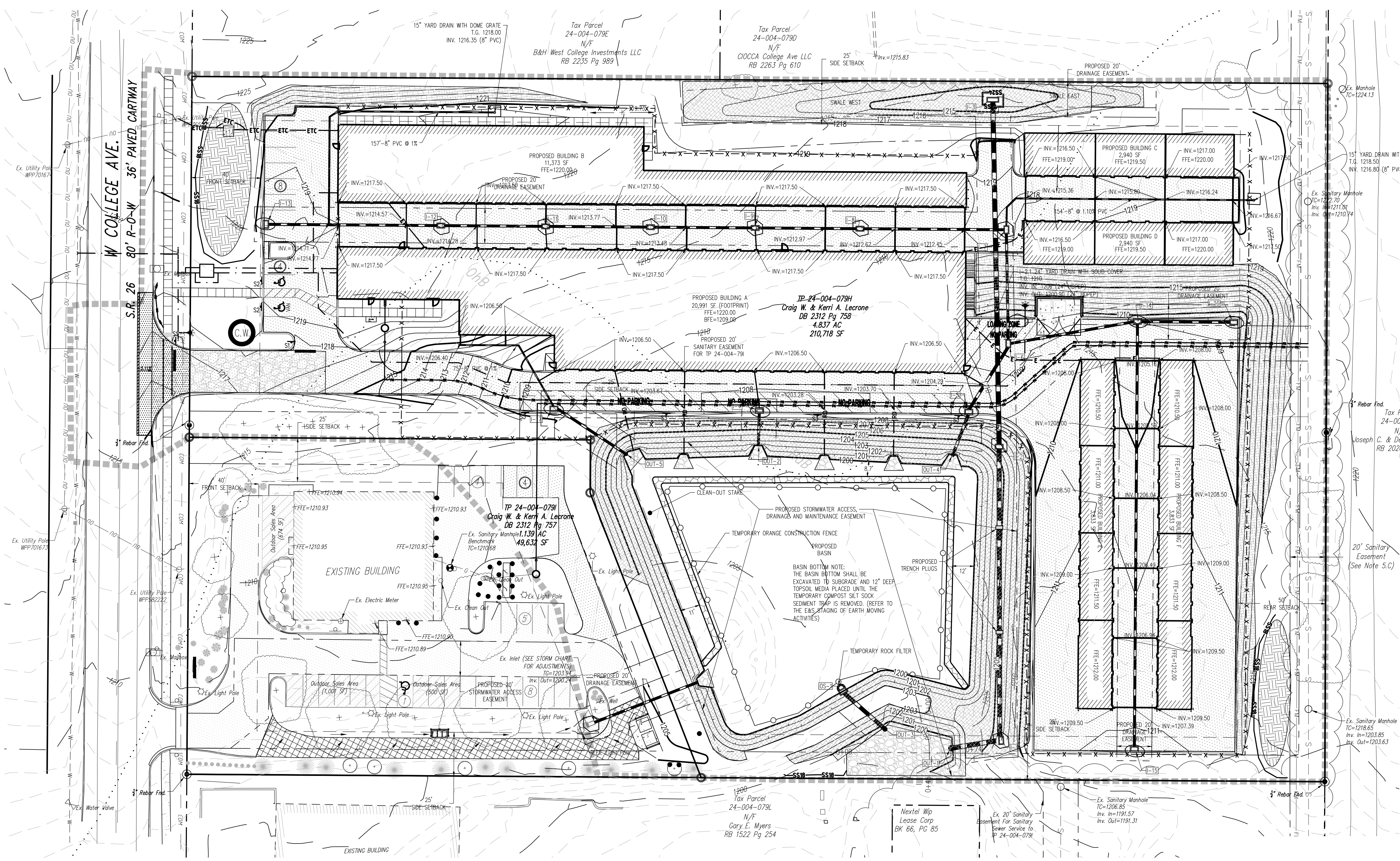
Date \_\_\_\_\_ Description \_\_\_\_\_  
 REVISIONS

**LECRONE - WEST COLLEGE PROPERTIES**  
 FERUGSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

**FINAL LAND DEVELOPMENT PLAN**

**EROSION & SEDIMENTATION CONTROL PLAN**

PROJECT NO. 21137  
 DATE DECEMBER 1, 2023  
 SCALE 1"=30'  
 SHEET NO. **ES1**

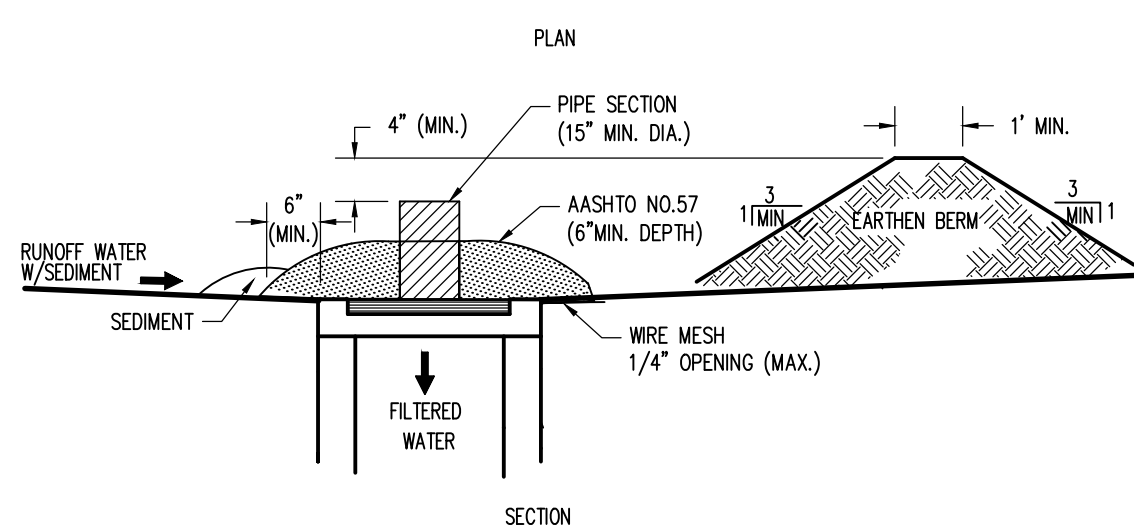
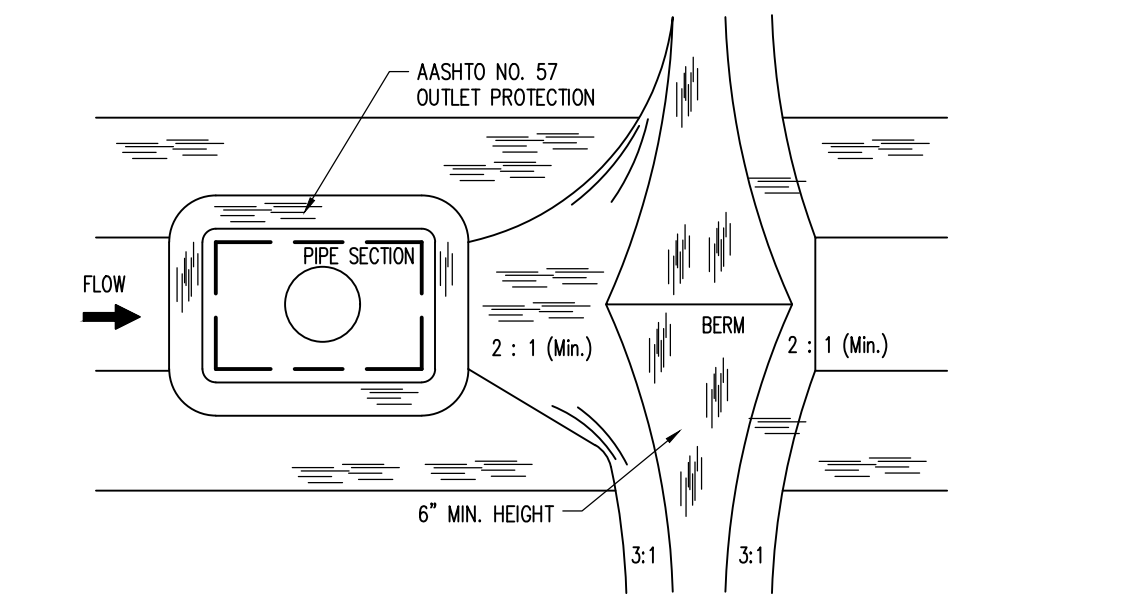


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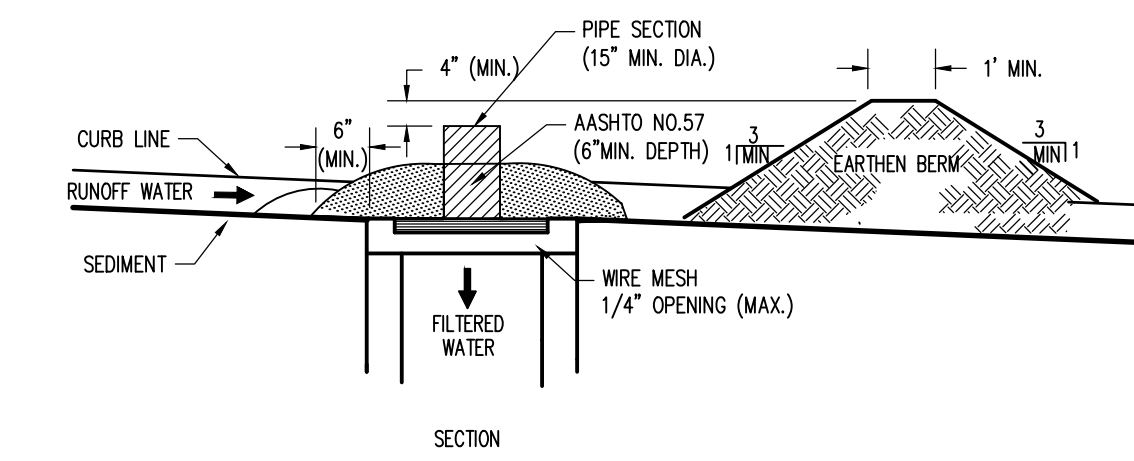
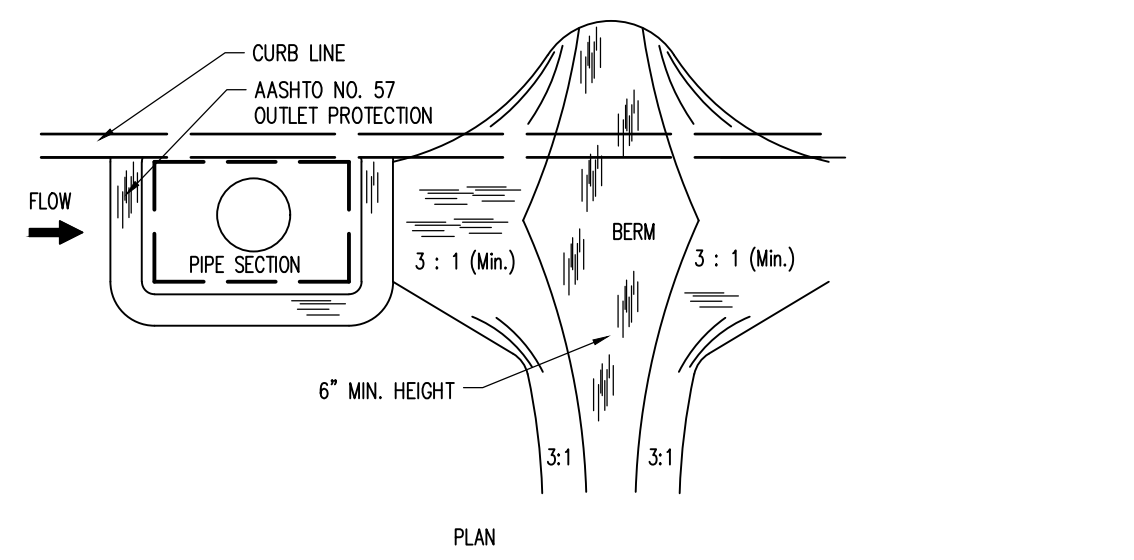




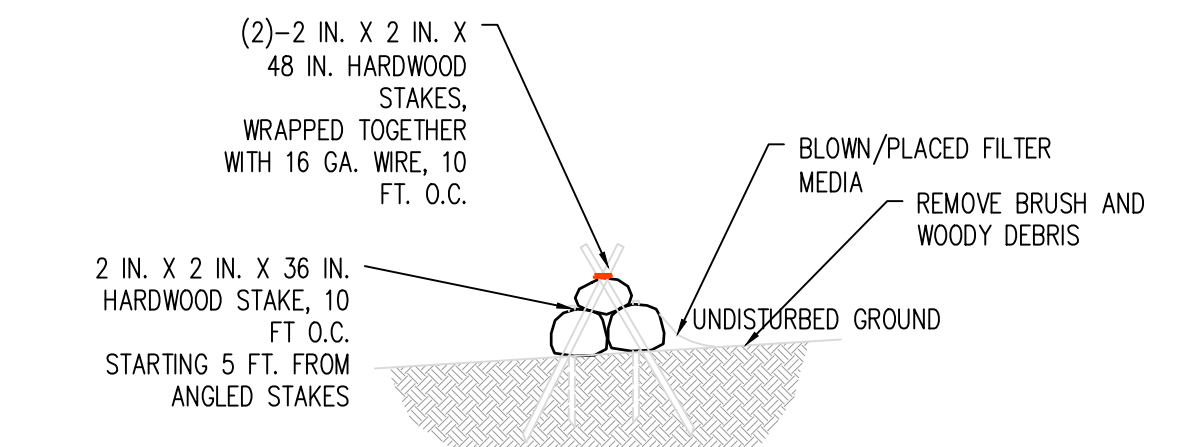
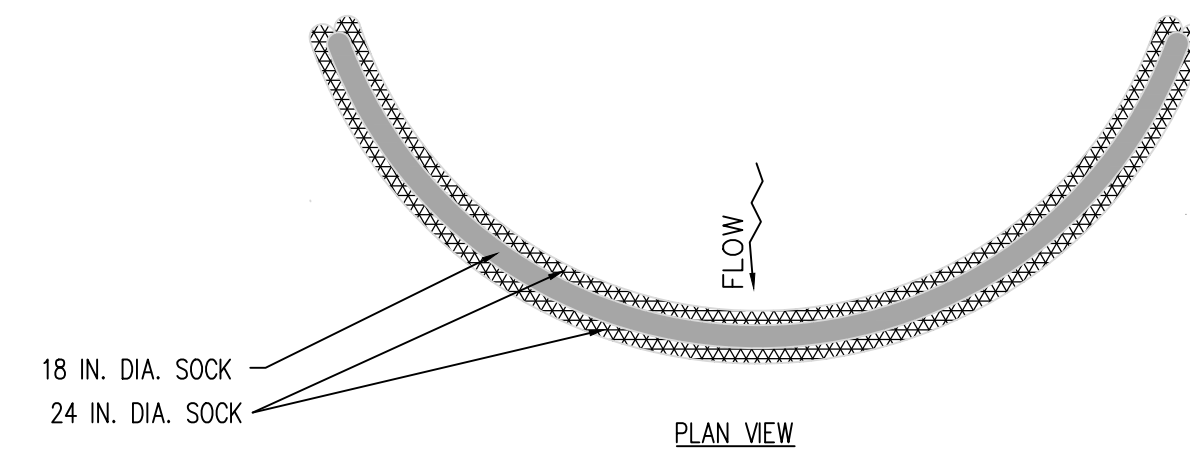




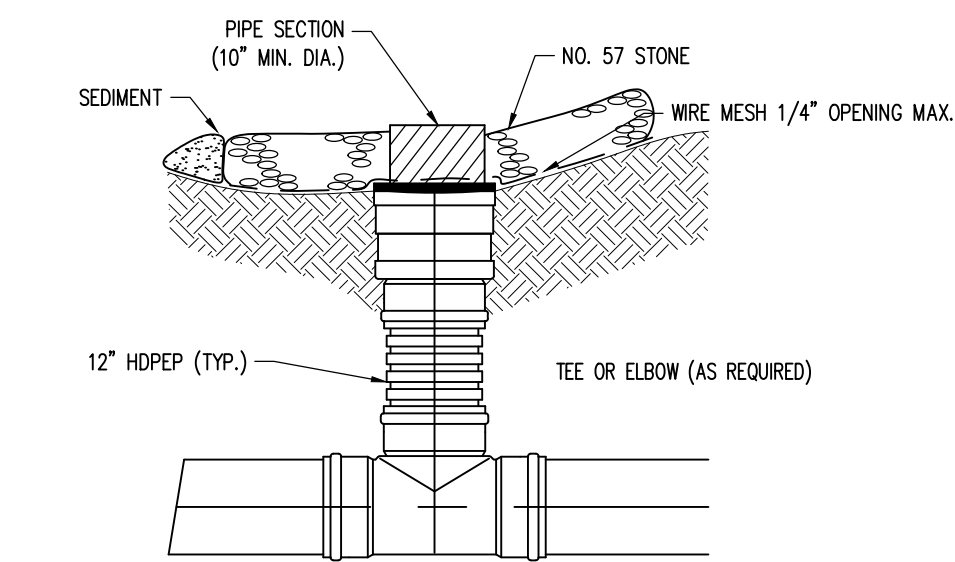
**DROP INLET FILTER W/ EARTHEN BERM (TYPE M)**  
NOT TO SCALE



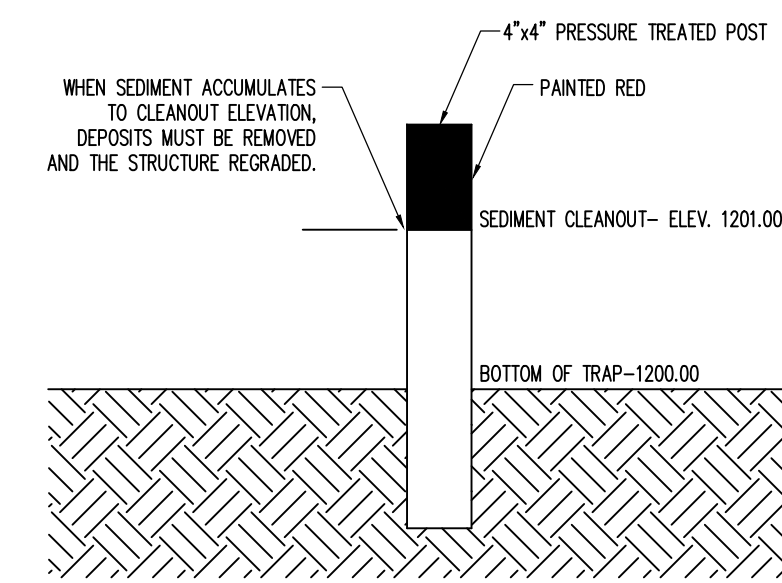
**DROP INLET FILTER W/ EARTHEN BERM (TYPE C)**  
NOT TO SCALE



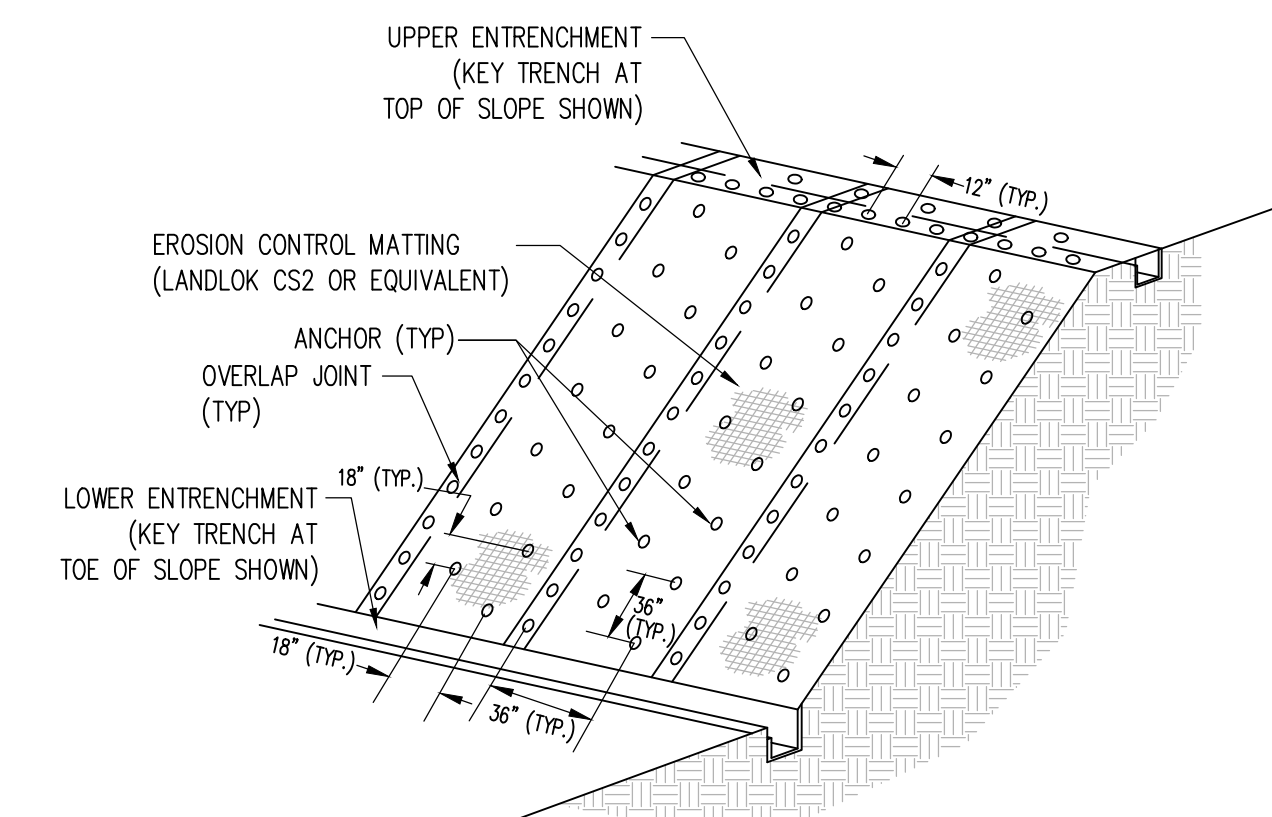
**SILT (COMPOST) SOCK SEDIMENT TRAP**  
NOT TO SCALE



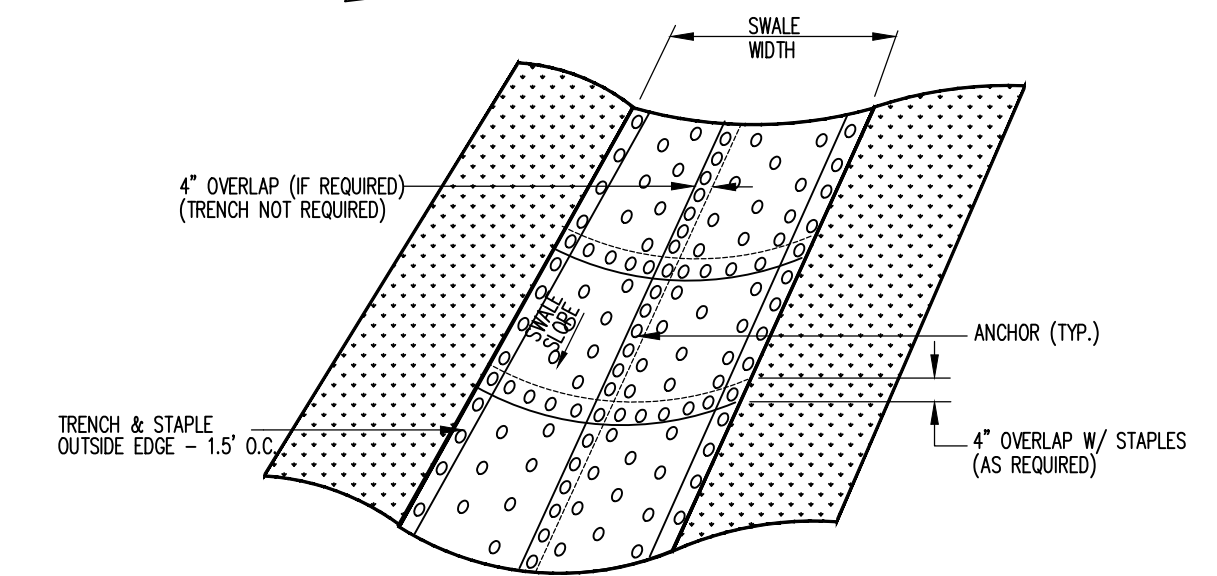
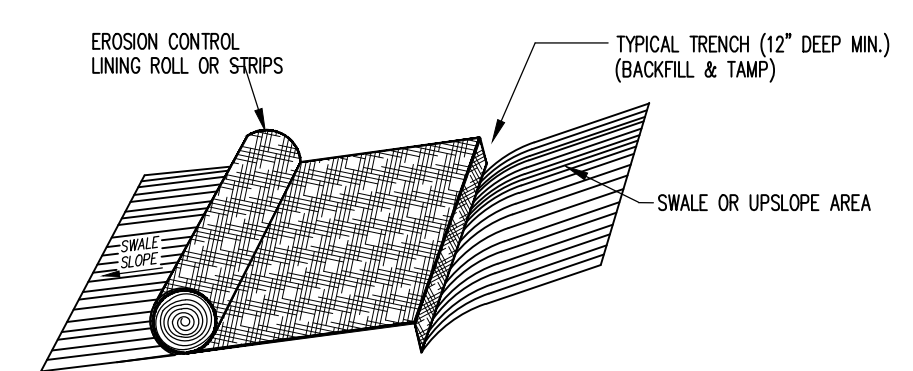
**12" INLINE DRAIN INLET PROTECTION**  
NOT TO SCALE



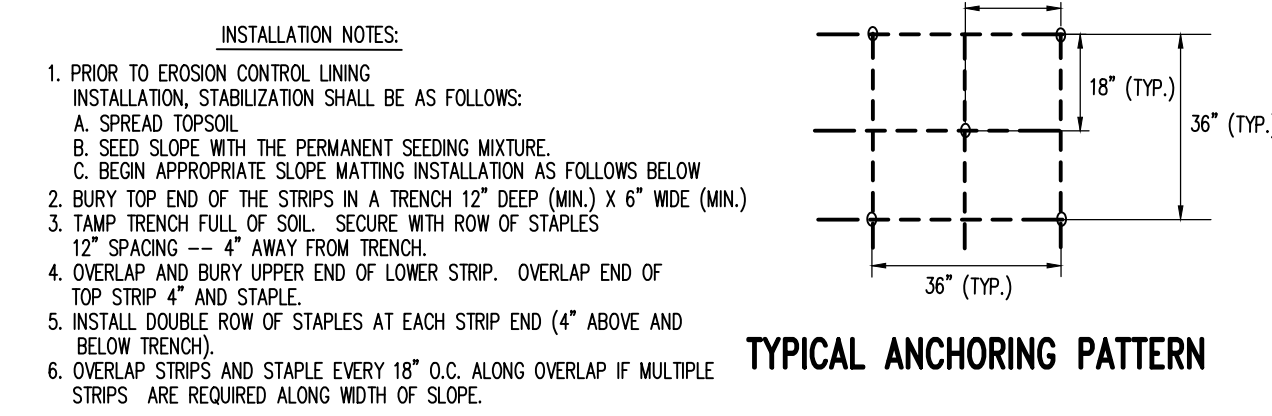
**SEDIMENT TRAP CLEANOUT MARKER DETAIL**  
NOT TO SCALE



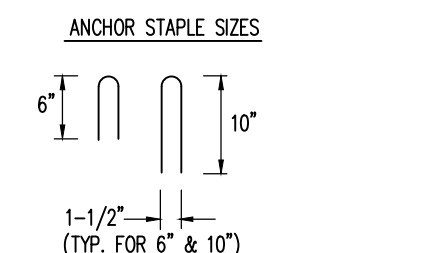
**ON SLOPES**



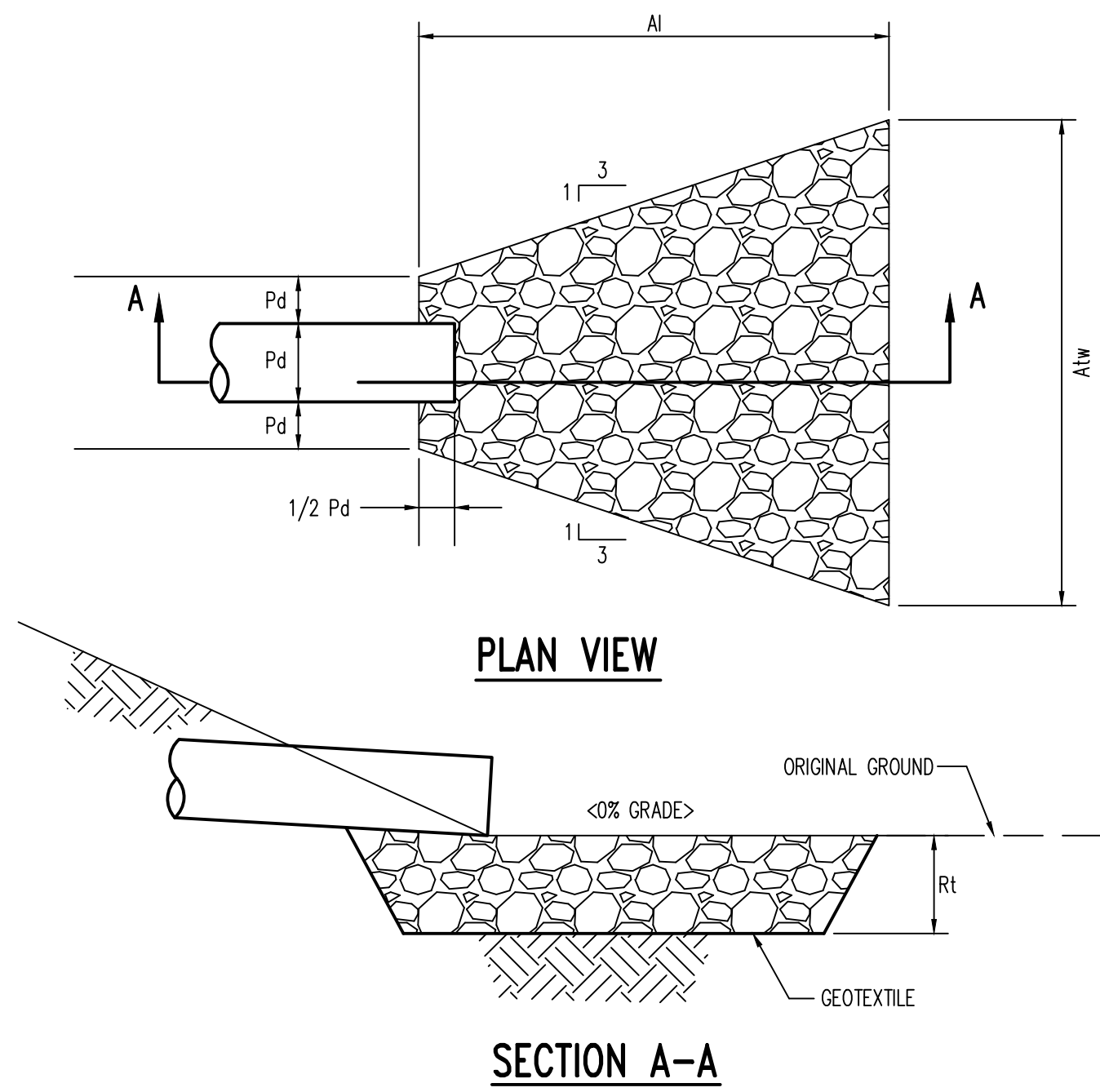
**IN SWALES**



**EROSION CONTROL LINING INSTALLATION**  
NOT TO SCALE







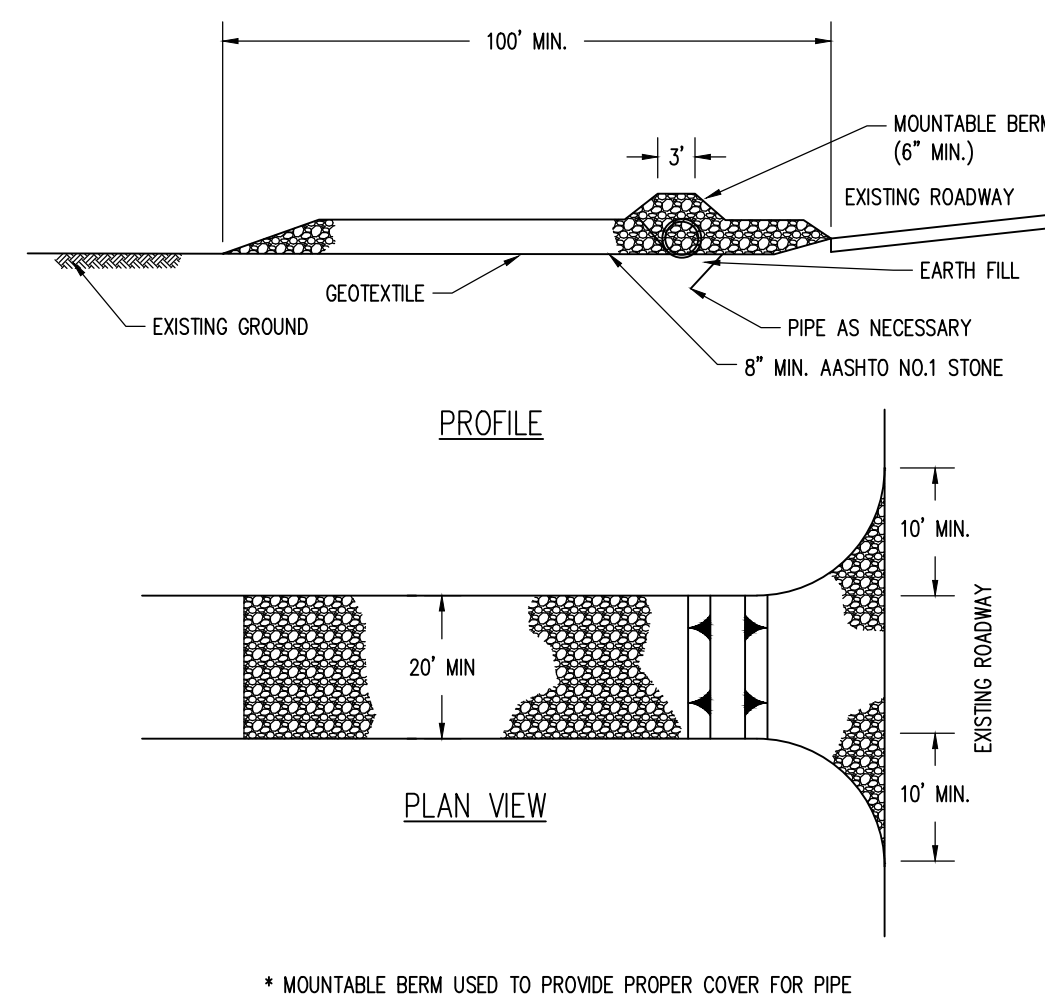
OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON		
		SIZE (R-_)	THICK. Rt (IN)	LENGTH Ai (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)
*OUT-1	30"	R-5	2.25'	24'	7.5'	31.5'
OUT-2, 5 & 6 & ROOF DRAINS	15"	R-4	1.5'	8'	3.75'	11.75'
*OUT-3	18"	R-4	1.5'	8'	4.50'	12.50'
OUT-4	18"	R-4	1.5'	8'	4.50'	12.50'

\*BLEND APRON WITH INFILTRATION SPILLWAY AND OTHER AREA OF RIP-RAP DEPICTED AT THE OUTFALL ON THE PLAN

- NOTES:
- All aprons shall be constructed to the dimensions shown. Terminal widths shall be adjusted as necessary to match receiving channels. Extend aprons further into swales, where shown.
  - All aprons shall be inspected at least weekly and after each runoff event. Displaced riprap within the apron shall be replaced immediately.
  - Extend riprap on back side of apron to at least 1/2 depth of pipe on both sides to prevent scour around the pipe.

### RIPRAP APRON AT PIPE OUTLET

NOT TO SCALE



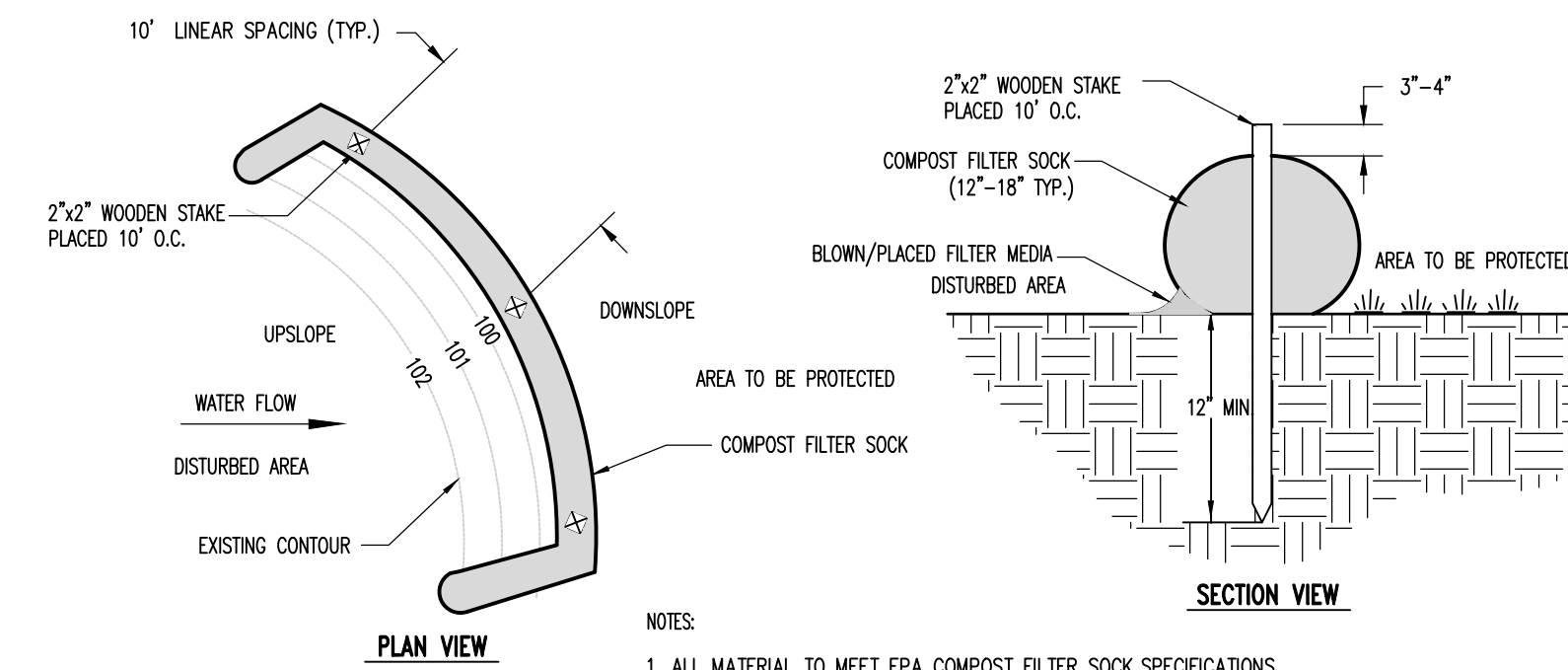
- NOTES:
- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
  - RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
  - MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
  - MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

### CONSTRUCTION ENTRANCE

NOT TO SCALE

### Riprap Gradation

Percent Passing (Square Openings)		
Class, Size NO.	R-5	R-4
Rock Size (Inches)		
42		
30		
24		
18	100	
15		
12		100
9	15-50	
6		15-50
4	0-15	
3		0-15
2		
Nominal Placement Thickness (inches)	27	18
Filter Stone <sup>1</sup>	AASHTO #3	AASHTO #3
V <sub>max</sub> (ft/sec)	11.5	9.0



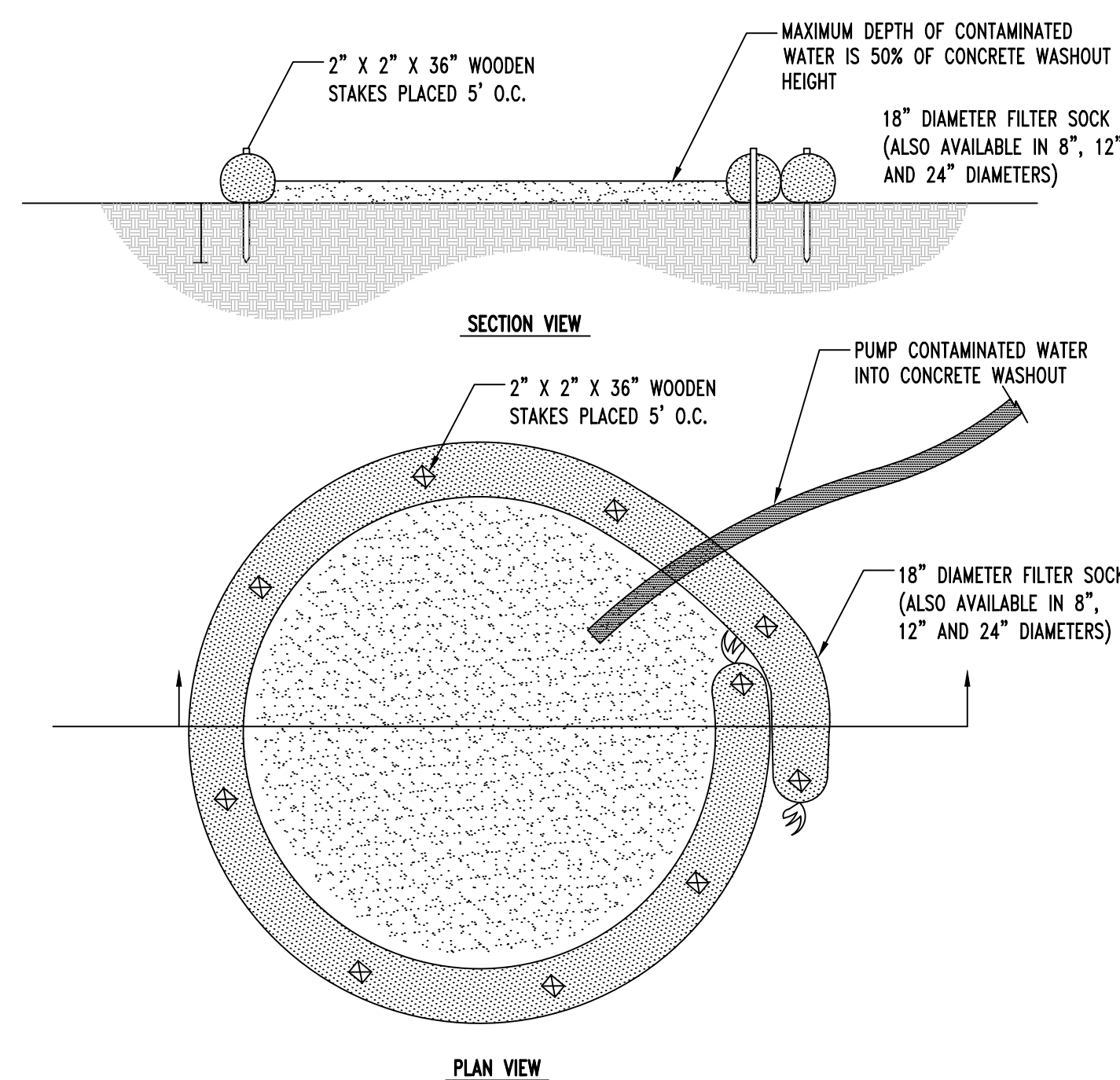
- NOTES:
- ALL MATERIAL TO MEET EPA COMPOST FILTER SOCK SPECIFICATIONS.
  - SILT SOCK COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
  - SILT SOCKS DEPICTED ARE FOR USE ON MINIMAL SLOPES. GREATER SLOPES MAY REQUIRE LARGER SILT SOCKS PER THE ENGINEER.
  - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

TABLE 4.1  
Compost Sock Fabric Minimum Specifications

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFFF)	Heavy Duty Multi-Filament Polypropylene (HDMFFF)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years
Two-Ply Systems					
Inner Containment Netting	HDPE biaxial net				
	Continuously wound				
	Fusion-welded junctures				
Outer Filtration Mesh	3/4"x3/4" Max. aperture size				
	Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch)				
3/16" Max. aperture size					
Sock fabrics composed of burlap may be used on projects lasting 6 months or less.					
TABLE 4.2 Compost Standards					
Organic Matter Content	25%-100% (dry weight basis)				
Organic Portion	Fibrous and elongated				
pH	5.5-8.5				
Moisture Content	30%-60%				
Particle Size	30% - 50% pass through 3/8" sieve				
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum				

### COMPOST FILTER SOCK DETAIL

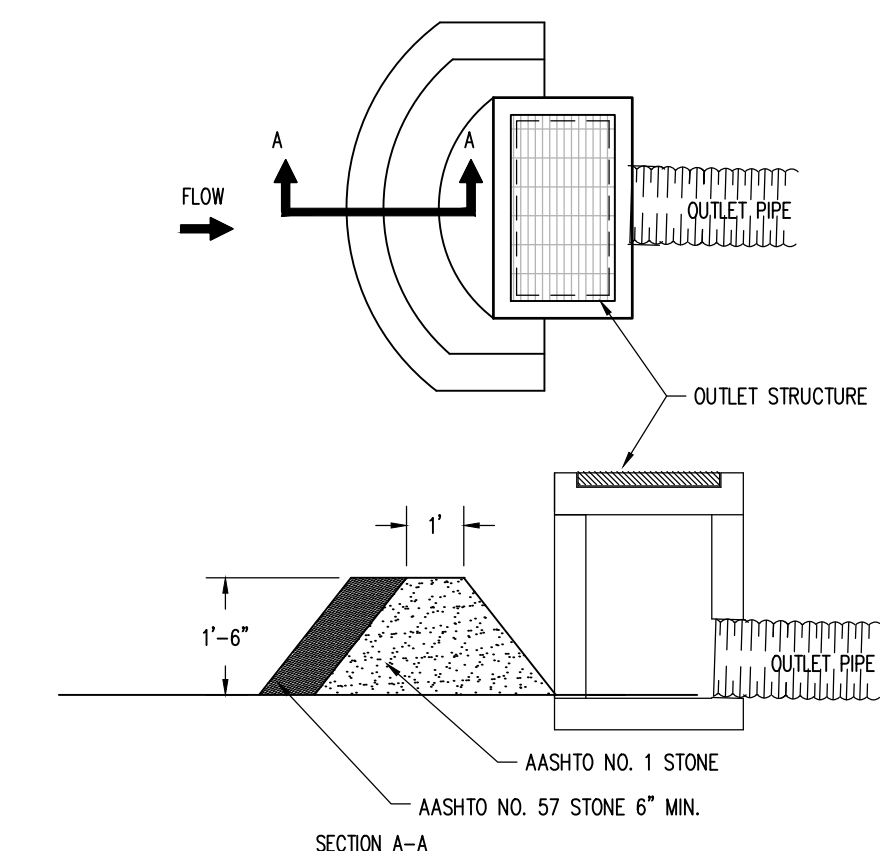
NOT TO SCALE



- NOTES:
- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
  - CONCRETE WASHOUT MAY BE STACKED IN A PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT AND STABILITY.
  - CONCRETE WASHOUT MAY BE DIRECT SEED AT THE TIME OF INSTALLATION.
  - A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE FILTER SOCKS.

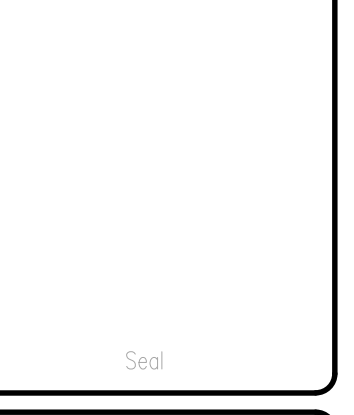
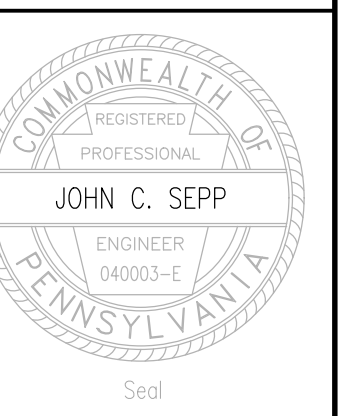
### CONCRETE WASHOUT AREA

NOT TO SCALE



### BASIN OUTLET STRUCTURE ROCK FILTER

NOT TO SCALE



Designer(s) CJW  
Environmental JFS  
Proj. Manager MAT  
Surveyor \_\_\_\_\_  
Perimeter Ck. \_\_\_\_\_  
Book \_\_\_\_\_ Pg. \_\_\_\_\_  
File 21137-FINAL-E&S-03-DETAILS  
Layout E&S-DETAILS (2)

Date \_\_\_\_\_ Description \_\_\_\_\_  
REVISIONS

**LECRONE - WEST COLLEGE PROPERTIES**  
FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

**FINAL LAND DEVELOPMENT PLAN**

**EROSION & SEDIMENTATION CONTROL DETAILS**

PROJECT NO.  
**21137**  
DATE  
**DECEMBER 1, 2023**  
SCALE **NONE** SHEET NO. **ES4**