

**FERGUSON TOWNSHIP PLANNING COMMISSION**  
**Regular Meeting Agenda**  
**Monday, July 11, 2022, 6:00 PM**

**Hybrid Meeting**

**REMOTE PARTICIPANTS:**

***Join Zoom Meeting:***

<https://us02web.zoom.us/j/83268113138>

**Meeting ID: 832 6811 3138**

[Zoom Access Instructions](#)

**IN-PERSON PARTICIPANTS:**

**Ferguson Township Municipal  
Building**

**Main Meeting Room  
3147 Research Drive  
State College, PA**

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**I. CALL TO ORDER**

**II. CITIZENS INPUT**

**III. APPROVAL OF MINUTES**

1. June 13, 2022, Regular Meeting Minutes

**IV. NEW BUSINESS**

**1. Drobka/Dimakopoulos Minor Land Development Plan – Sidewalk Construction**

On June 3, 2022, Albert Drobka submitted a Minor Land Development Plan on behalf of his client, the Dimakopoulos'. The parcel is located at 296 West Pine Grove Road (TP: 24-007-016-0000) and is zoned Rural Residential (RR).

The parcel is 19.96-acres and the applicant is proposing to construct a second residential home on the lot. Chapter 22, Section 512.1.D. requires the Board of Supervisors to determine if sidewalks are required to be installed on properties within the RR zoning district.

Included in the agenda packet is the proposed Minor Land Development Plan, a sidewalk map of Pine Grove Mills, an aerial image of the property and neighboring properties and a Google Street View image of the property. Planning Commission is being asked to review the provided materials and make a recommendation to the Board of Supervisors on sidewalk installation along the property.

**Staff's Recommendation:** That the Planning Commission recommend to the Board of Supervisors not to require the construction of sidewalks along the property. Chapter 21, Section 201, Streets and Sidewalks, includes provisions for the Board of Supervisors to require construction of sidewalks on any public highway of the Township, or adjacent to any public highway of the Township.



**Recommended Motion:** Move that the Planning Commission recommend to the Board of Supervisors not to require the construction of sidewalks along the property.

## 2. Centre Animal Hospital Final Land Development Plan

On June 15, 2022, ELA Group, Inc., submitted a Final Land Development Plan on behalf of their client, Tussey Tracks, LLC. This proposal is located at 1518 West College Ave (TP: 24-019-,074-,0000-) and is zoned Terraced Streetscape (TS).

This land development plan proposes a 620 SF addition to the existing 5,551 SF building. The owner recently acquired the parcel to the east and consolidated the two lots to create a 0.937-acre lot allowing for parking to be expanded and reconfigured for better flow. At the April 5, 2022 Board of Supervisors meeting, the Board granted a modification/waiver request from §22-5A09—Streetscape Design Standards. The preliminary land development plan was approved by the Board of Supervisors at the April 19, 2022 meeting pending outstanding staff comments.

Staff has reviewed the final land development plan and is recommending approval subject to the outstanding staff comments as described in the Community Planner's memorandum dated July 6, 2022.

**Recommended Motion:** Move that the Planning Commission recommend *approval* of the Centre Animal Veterinarian Hospital Final Land Development Plan to the Board of Supervisors subject to the conditions described in the Community Planner's memorandum dated July 6, 2022.

**Staff's Recommendation:** That the Planning Commission recommend conditional *approval*.

## 3. Nittany Dental Minor Land Development Plan

On May 18, 2022, Penn Terra Engineering, Inc., submitted a Minor Land Development Plan, on behalf of their client B&H West College Investments. This proposal is located at 2591 Park Center Boulevard (TP: 24-465-,001-,0000-) and is zoned Light Industry, Research & Development (IRD).

This minor land development plan proposes the enclosure of the three existing drive-thru lanes (1,243 SF) and enlarging that space by an additional 360 SF. The final SF for the addition would increase the building coverage from 5,124 SF to 6,727 SF. The applicant would need to provide 6 additional parking spaces for the addition and change in use equaling 27 total parking spaces required by ordinance. There are currently 44 parking spaces existing on site.

A Modification/Waiver was granted by the Board of Supervisors at the April 19, 2022 meeting, to allow this plan to be processed as a minor land development plan.

Staff has reviewed the minor land development plan and is recommending approval subject to the outstanding staff comments as described in the Community Planner's memorandum dated July 7, 2022.

**Recommended Motion:** Move that the Planning Commission recommend **approval** of the Nittany Dental Minor Land Development Plan to the Board of Supervisors subject to the conditions described in the Community Planner's memorandum dated July 7, 2022.

**Staff's Recommendation:** That the Planning Commission recommend conditional **approval**.

## V. COMMUNICATIONS TO THE COMMISSION

## VI. OFFICIAL REPORTS AND CORRESPONDENCE

1. Board of Supervisors Report
2. CRPC Report
3. Land Development Plans
  - a. Farmstead View Subdivision – PC review
  - b. CVIM – 2026 Sandy Drive – Conditional Approval, awaiting signatures
  - c. Peace Center and Cemetery – Awaiting Response to first review
  - d. Centre Animal Hospital – PC Review of Final Plan
  - e. Fusion Japanese Steakhouse – Awaiting Response to first review
  - f. IMBT Subdivision - Awaiting Response to first review
  - g. West College Avenue Vertical Mixed-Use Development – Awaiting Response to first review.
  - h. Nittany Dental – PC review
  - i. MP Machinery – First Review Comments sent on 6/6/2022
  - j. Salvation Baptist Church – Awaiting Response to first review
  - k. 296 W. Pine Grove Road Minor LDP– Awaiting Response to first review
4. Staff Updates
  - a. Multi-Factor Authentication (MFA)  
Planning Commissioners should have received an email regarding MFA Implementation. Please follow the steps to implement the Multi-Factor Authentication for your Township Office 365. Should you need assistance, please let staff know or email support@hintonassociates.com.

## VII. ADJOURNMENT

**FERGUSON TOWNSHIP PLANNING COMMISSION  
REGULAR MEETING MINUTES  
MONDAY, JUNE 13, 2022  
6:00 PM**

**ATTENDANCE**

The Planning Commission held its first meeting of the month on Monday, June 13, 2022, as a hybrid meeting. In attendance:

**Commission:**

Jeremie Thompson - Chair  
Jerry Binney – Vice Chair  
Rob Crassweller - Secretary  
Bill Keough  
Shannon Holliday  
Lewis Steinberg – Alternate  
Dr. Ellen Taricani  
Ralph Wheland  
Qian Zhang - Alternate

**Staff:**

Jenna Wargo - Planning & Zoning Director  
Jeff Ressler - Zoning Administrator

Others in attendance: Rhonda R. Demchak, Recording Secretary; Jim Maund, Ferguson Township Resident; Mark Toretti, Penn Terra Engineering, Inc.

**I. CALL TO ORDER**

Mr. Thompson called the Ferguson Township Planning Commission's regular meeting to order on Monday, June 13, at 6:00 p.m. and it has been advertised in accordance with the PA Sunshine Act as a hybrid meeting. Any Planning Commission members making motions to please state your name so it can be accurately recorded on the minutes. Persons attending and wanted to participate were asked to enter their name, municipality, and topic by utilizing the Q&A bubble at the bottom of the screen.

Ms. Wargo took roll call, and the Planning Commission had a quorum.

**II. CITIZEN INPUT**

Mr. Jim Maund, Ferguson Township Resident, reported that the minutes from May 23, 2022, noted that Jack Orlandi was in attendance, but it was actually him who was in attendance. The minutes will be adjusted to reflect the change.

**III. APPROVAL OF MINUTES**

Mr. Crassweller moved that the Planning Commission **approve** the May 23, 2022, Regular Meeting Minutes. Mr. Wheland seconded the motion. The motion passed unanimously.

**IV. OLD BUSINESS**

None.

**V. NEW BUSINESS**

**1. Farmstead View Subdivision**

Ms. Wargo reported that on July 29, 2021, Penn Terra Engineering, Inc., submitted a Preliminary Subdivision Plan on behalf of their client, Farmstead Developer, LLC<sub>4</sub>



The parcel is located at 139 Farmstead Lane (TP: 24-022-,306-,0000-) and is zoned Single-Family Residential (R1).

The parcel is currently 3.03-acre lot, and the applicant is proposing to subdivide this lot into 7-lots. There will be one (1) stormwater retention lot and six (6) single-family residential lots. On April 19, 2022, the Board of Supervisors conducted a Conditional Use Hearing for Lot 1 (103 Farmstead Drive) to permit the creation of the flag lot. The Board denied the Modification Application request to the preservation of 20% of the existing, eligible tree canopy on site (§22-515.D.2.) at that same meeting.

As a result of the denial of the modification request, Lot 2 was amended to accommodate and protect a 27" DBH Red Pine Tree with a retaining wall. These alterations require a modification to the slope requirements of Chapter 21, Appendix A—Streets and Sidewalks. The maximum driveway grade at any point on the driveway is fifteen percent (15%). The slope of the proposed driveway for Lot 2 will not exceed eighteen percent (18%).

The administration and enforcement of Chapter 21—Streets and Sidewalks is delegated to the Director of Public Works. Upon review of the request, the Director is in favor of the modification request subject to inclusion of release from liability language on the recorded plan.

Staff has reviewed the plan and is recommending approval pending outstanding staff comments.

Mr. Keough expressed issues relating to the tree and the land development plan specifications. Mr. Keough noted that since the tree is in the land development plan the protection of the tree becomes forever. Mr. Keough stated that if the tree would happen to die, the landowner at the time is obligated to replace the tree. Mr. Keough suggested adding alternative language in the ordinance to address future owners. Mr. Ressler suggested a Sunset Clause. Ms. Wargo stated that there is a disconnect between the land development plan and the subdivision plan in relation to the ordinance. Ms. Holliday suggested revising the ordinance to address Mr. Keough's concerns. Ms. Wargo stated that it is in the Planning Commissions purview to recommend a review.

Discussion ensued regarding new trees that are added after an original plan has been submitted do not count towards the tree canopy percentage. Mr. Binney suggested reviewing a snapshot of sites to ensure compliance. Ms. Wargo stated that it is difficult to go around looking for trees that have been cut down and noted that it is complaint driven.

Mr. Keough suggested making a second motion for staff to explore alternatives to §22-515—Tree Preservation and Protection.

Mr. Keough moved that the Planning Commission recommend **approval** to the Board of Supervisors for the Farmstead View Subdivision Plan, pending outstanding staff comments as included in the Community Planner's memorandum dated June 7, 2022. Mr. Binney seconded the motion. The motion passed unanimously.

Mr. Keough moved that the Planning Commission recommend that the Board **authorize** staff to review §22-515—Tree Preservation and Protection. Mr. Wheland seconded the motion. The motion passed unanimously.

## **VI. COMMUNICATIONS TO THE COMMISSION**

Ms. Wargo received a communication from Audrey Shu that was included in the agenda packet along with Ms. Wargo's response.

## **VII. OFFICIAL REPORTS AND CORRESPONDENCES**

### **A. Board of Supervisors**

Ms. Wargo reported that they met on June 7<sup>th</sup>, and they discussed the Zoning Ordinance Text Amendment Application – TSD Zoning and Source Water Protection Overlay District Requirements. Ms. Wargo reported that the request was denied but the Board did authorize staff to look further into home burials for a future discussion. Ms. Wargo will be working on Chapter 16 Amendment – Parks and Recreation Ordinance with regards to food trucks with the Assistant Manager, Jaymes Progar.

Mr. Binney reported that the Board had a presentation on the Pine Grove Mills Mobility Study and that the Board will be looking into it more in late summer. Mr. Keough discussed how the little store and gas station in Pine Grove Mills will be a loss to the local community when the intersection is realigned. Mr. Binney stated that there was a lot of concerns expressed through the survey and by the committee.

### **B. CRPC Meeting**

Dr. Taricani reported that they discussed placing lights on the field behind the high school, Penn State [construction](#) on campus, and received training on Regional Planning and Comprehensive Plans. There will be no July meeting.

### **C. Land Development Plans**

Ms. Wargo reviewed the following:

- a. Farmstead View Subdivision – PC review
- b. CVIM – 2026 Sandy Dr – Conditional Approval, awaiting resubmission for signatures
- c. Peace Center and Cemetery – Awaiting Response to first review
- d. Centre Animal Hospital – Collecting Signatures for Approved Preliminary Plan
- e. Fusion Japanese Steakhouse – Awaiting Response to first review
- f. IMBT Subdivision - Awaiting Response to first review
- g. West College Avenue Vertical Mixed-Use Development – Awaiting Response to first review.
- h. Nittany Dental – First Review Comments sent on 6/6/2022
- i. MP Machinery – First Review Comments sent on 6/6/2022

Ms. Wargo reported it was a parking study that was reviewed for an 8,000 square foot addition.

- j. Salvation Baptist Church – Under Staff first review

Ms. Wargo reported the church was formerly the Russian Baptist Church.

- k. 296 W. Pine Grove Road Minor LDP– Under Staff first review

Ms. Wargo reported that it is for an additional house on the lot.

#### **D. Staff Updates**

Ms. Wargo reported that the Ordinance Enforcement Officer gave his notice, and the job will be posted.

Mr. Keough reported that the Fire Safety Event was held on June 11<sup>th</sup> at the Baileyville Hall. Alpha Fire Department gave rides in their bucket truck, Fire Police conducted demonstrations, and Swartz Fire & Safety recharged a number of fire extinguisher. Mr. Keough noted that it was a successful event.

Mr. Thompson noted that the ABC Appreciation Picnic was on June 2<sup>nd</sup> in the Publics Works Building.

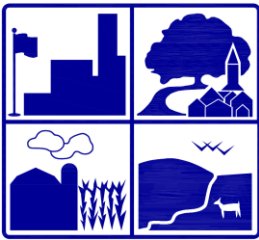
#### **VIII. Adjournment**

Mr. Crassweller made a motion to **adjourn** the June 13, 2022, Planning Commission meeting at 6:50 p.m. Mr. Binney seconded the motion. The motion passed unanimously.

Respectfully Submitted,

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Rob Crassweller, Secretary  
For the Planning Commission



# TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801  
Telephone: 814-238-4651 • Fax: 814-238-3454  
[www.twp.ferguson.pa.us](http://www.twp.ferguson.pa.us)

TO: Planning Commission

FROM: Kristina Bassett, Community Planner

DATE: July 7, 2022

SUBJECT: Dimakopoulos –Minor LDP Sidewalk Review

On June 3, 2022, Albert Drobka submitted a Minor Land Development Plan on behalf of his client, the Dimakopoulos'. The parcel is located at 296 West Pine Grove Road (TP: 24-007-016-0000) and is zoned Rural Residential (RR).

The parcel is 19.96-acres and the applicant is proposing to construct a second residential home on the lot. §22.512.1.D states that if a property is located in the Rural Residential zoning district, the Board of Supervisors will determine whether sidewalks are required or not.

Included in the agenda packet is the proposed Minor Land Development Plan, a sidewalk map of Pine Grove Mills, an aerial image of the property and neighboring properties and a Google Street View image of the property. The Planning Commission is being asked to review the provided materials and make a recommendation to the Board of Supervisors on sidewalk installation along the property frontage.

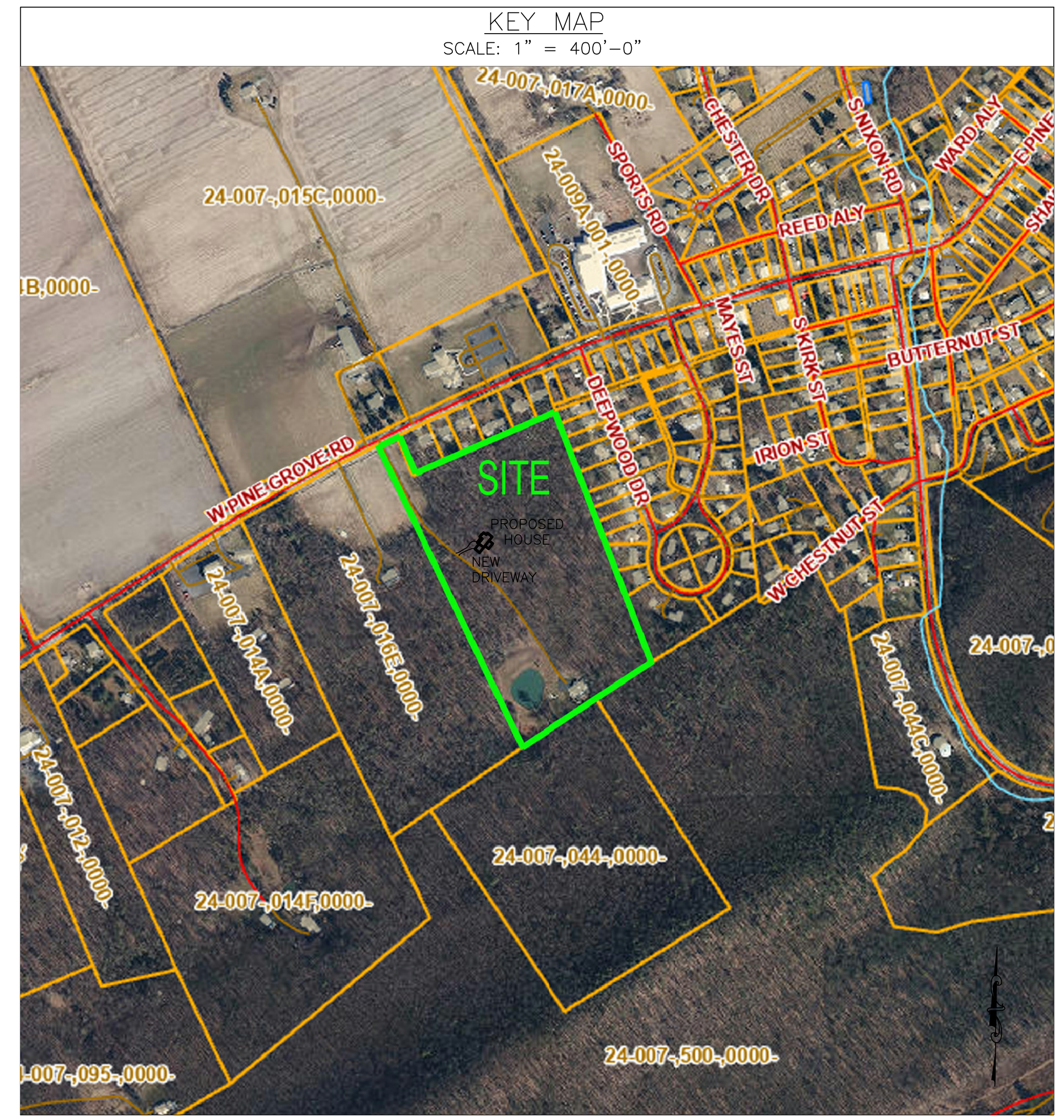
**Staff's Recommendation:** That the Planning Commission recommend to the Board of Supervisors not to require the construction of sidewalks along the property. Chapter 21, Section 201, Streets and Sidewalks, includes provisions for the Board of Supervisors to require construction of sidewalks on any public highway of the Township, or adjacent to any public highway of the Township.

**Recommended Motion:** Move that the Planning Commission recommend to the Board of Supervisors not to require the construction of sidewalks along the property.





# LAND DEVELOPMENT PLAN FOR: 294 W. PINE GROVE RD. PENNSYLVANIA FURNACE, PA 16865



ARCHITECT:  
ALBERT A. DROBKA, ARCHITECT  
P.O. BOX 256 1352 S. ATHERTON ST.  
STATE COLLEGE, PA 16801  
PHONE: (814) 238-0710  
FAX: (814) 238-5750

DRAWING INDEX	
SHEET	SHEET TITLE
	COVER SHEET
ST1	EXISTING SITE PLAN
ST2	EXISTING CONTOUR PLAN
ST3	PROPOSED SITE PLAN
ST4	PROPOSED CONTOUR PLAN
ST5	PROPOSED LIGHTING PLAN
ST6	PROPOSED UTILITY PLAN
ST7	PROPOSED LATERAL DETAILS & SITE SECTIONS

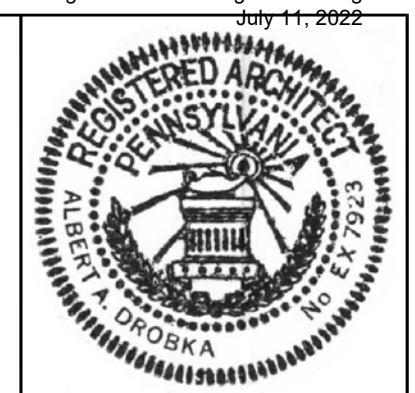
GENERAL UTILITY AND ACT 278 INFORMATION

ALL UTILITY LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION, UTILITY INFORMATION AND LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL NOTIFY PA ONE CALL PRIOR TO ANY EXCAVATION.

- A. SEWAGE (SANITARY & STORM) BOROUGH OF STATE COLLEGE  
243 SOUTH ALLEN STREET, STATE COLLEGE, PA 16801  
PHONE: 1-814-234-7100
- B. WATER: STATE COLLEGE BOROUGH WATER AUTHORITY  
1201 WEST BRANCH ROAD, STATE COLLEGE, PA 16801  
PHONE: 1-814-238-6766
- C. ELECTRIC: WEST PENN POWER  
2800 EAST COLLEGE AVENUE, STATE COLLEGE, PA 16801  
PHONE: 1-800-231-5355
- D. TELEPHONE: VERIZON – FACILITY MANAGEMENT CENTER  
224 SOUTH ALLEN STREET, STATE COLLEGE, PA 16801  
PHONE: 1-814-231-6511
- E. GAS: COLUMBIA GAS OF PENNSYLVANIA  
2550 CAROLEAN INDUSTRIAL DRIVE, STATE COLLEGE, PA 16801  
PHONE: 1-888-460-4332
- F. CABLE TV: COMCAST  
60 DECIBEL ROAD, STATE COLLEGE, PA 16801  
PHONE: 1-814-238-5050

05/31/22





ALBERT A. DROBKA ARCHITECT  
P.O. BOX 256  
1352 S. ATHERTON ST.  
STATE COLLEGE, PA.  
(814) 238-0710

PROJECT  
NEW RESIDENCE  
294 W. PINE GROVE RD.  
PENNSYLVANIA FURNACE, PA 16865

REVISION DATE

SHEET TITLE  
EXISTING  
SITE PLAN

DATE  
05/31/22

SCALE  
AS NOTED

DRAWN BY:  
LDC

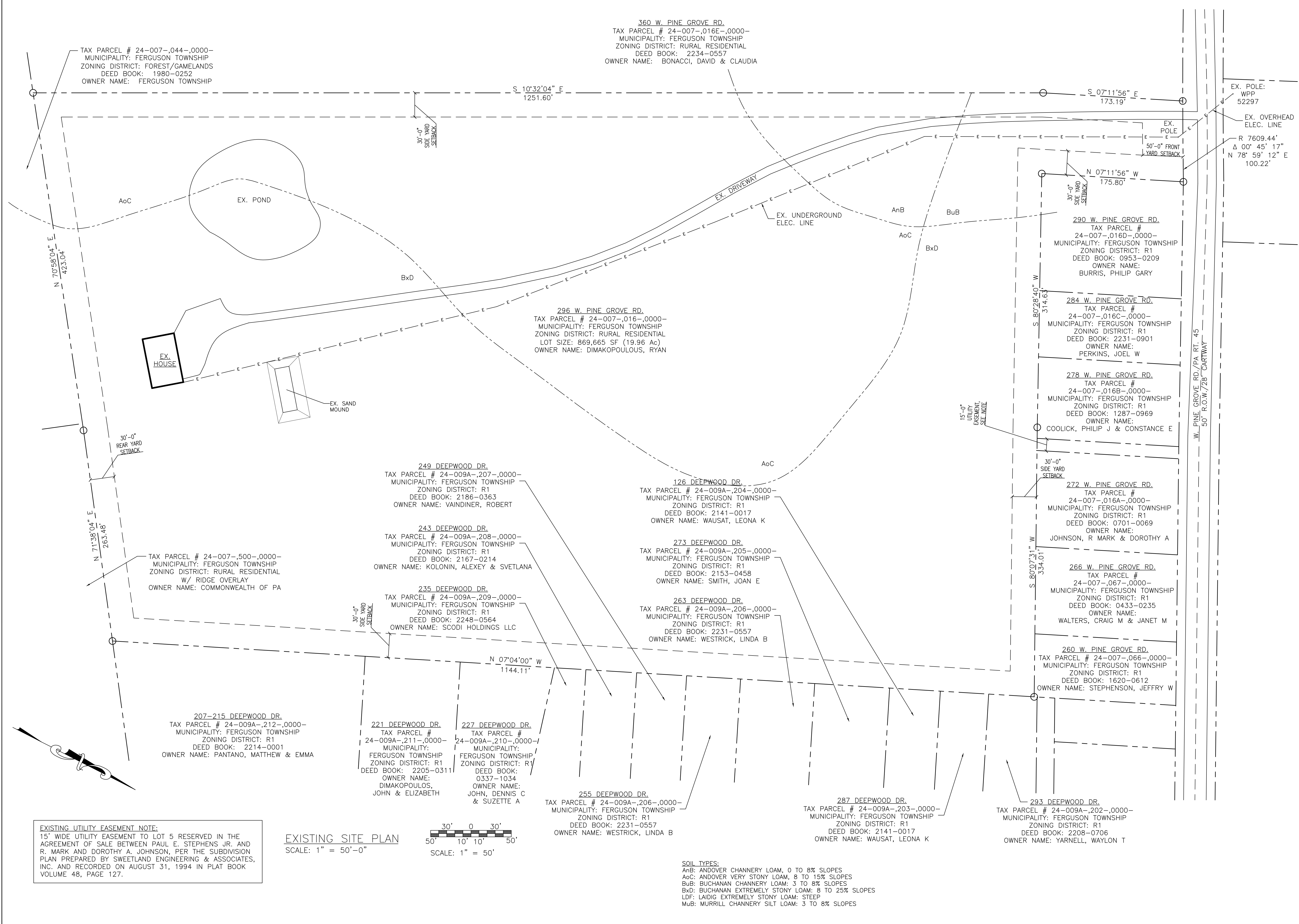
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AAD

SHEET NO.

ST1

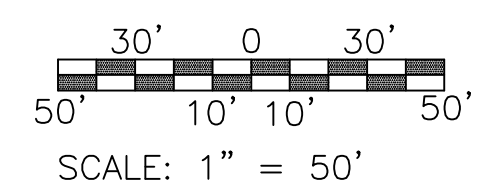
PROJECT #

020-35

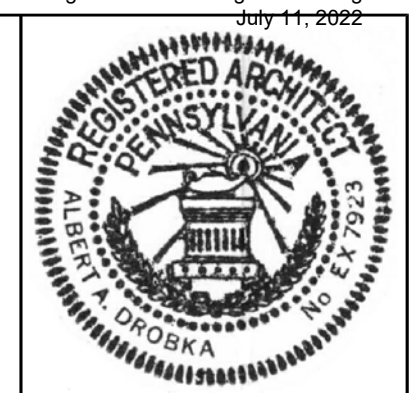


EXISTING UTILITY EASEMENT NOTE:  
15' WIDE UTILITY EASEMENT TO LOT 5 RESERVED IN THE AGREEMENT OF SALE BETWEEN PAUL E. STEPHENS JR. AND R. MARK AND DOROTHY A. JOHNSON, PER THE SUBDIVISION PLAN PREPARED BY SWEETLAND ENGINEERING & ASSOCIATES, INC. AND RECORDED ON AUGUST 31, 1994 IN PLAT BOOK VOLUME 48, PAGE 127.

EXISTING SITE PLAN  
SCALE: 1" = 50'-0"



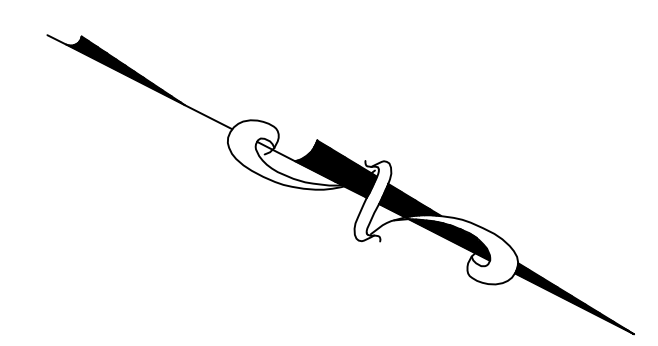
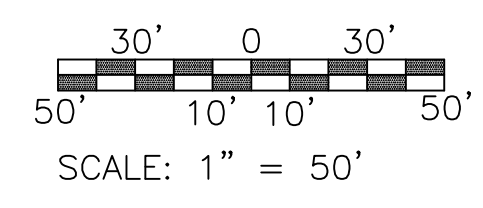
SOIL TYPES:  
AnB: ANDOVER CHANNERY LOAM, 0 TO 8% SLOPES  
AoC: ANDOVER VERY STONY LOAM, 8 TO 15% SLOPES  
BuB: BUCHANAN CHANNERY LOAM, 3 TO 8% SLOPES  
BxD: BUCHANAN EXTREMELY STONY LOAM, 8 TO 25% SLOPES  
LdB: LAIDIG EXTREMELY STONY LOAM, STEEP  
MuB: MURRILL CHANNERY SILT LOAM, 3 TO 8% SLOPES



296 W. PINE GROVE RD.  
 TAX PARCEL # 24-007-016-0000  
 MUNICIPALITY: FERGUSON TOWNSHIP  
 ZONING DISTRICT: RURAL RESIDENTIAL  
 LOT SIZE: 869,665 SF (19.96 Ac)  
 OWNER NAME: DIMAKOPOULOUS, RYAN

R 7609.44'  
 Δ 00° 45' 17"  
 N 78° 59' 12" E  
 100.22'

EXISTING CONTOUR PLAN  
 SCALE: 1" = 50'-0"



ALBERT A. DROBKA ARCHITECT  
 P.O. BOX 256  
 1352 S. ATHERTON ST.  
 STATE COLLEGE, PA.  
 (814) 238-0710

PROJECT  
 NEW RESIDENCE  
 294 W. PINE GROVE RD.  
 PENNSYLVANIA FURNACE, PA 16865

REVISION DATE

SHEET TITLE  
 EXISTING  
 CONTOUR PLAN

DATE  
 05/31/22

SCALE  
 AS NOTED

DRAWN BY:  
 LDC

CHECKED BY  
 AAD

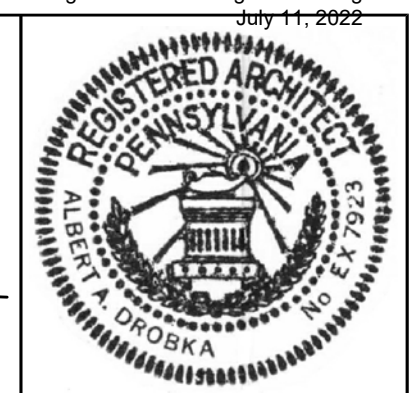
SHEET NO.

ST2

PROJECT #

020-35





ALBERT A. DROBKA ARCHITECT  
P.O. BOX 256  
1352 S. ATHERTON ST.  
STATE COLLEGE, PA.  
(814) 238-0710

PROJECT  
NEW RESIDENCE  
294 W. PINE GROVE RD.  
PENNSYLVANIA FURNACE, PA 16865

REVISION DATE

SHEET TITLE  
PROPOSED  
SITE PLAN

DATE  
05/31/22

SCALE  
AS NOTED

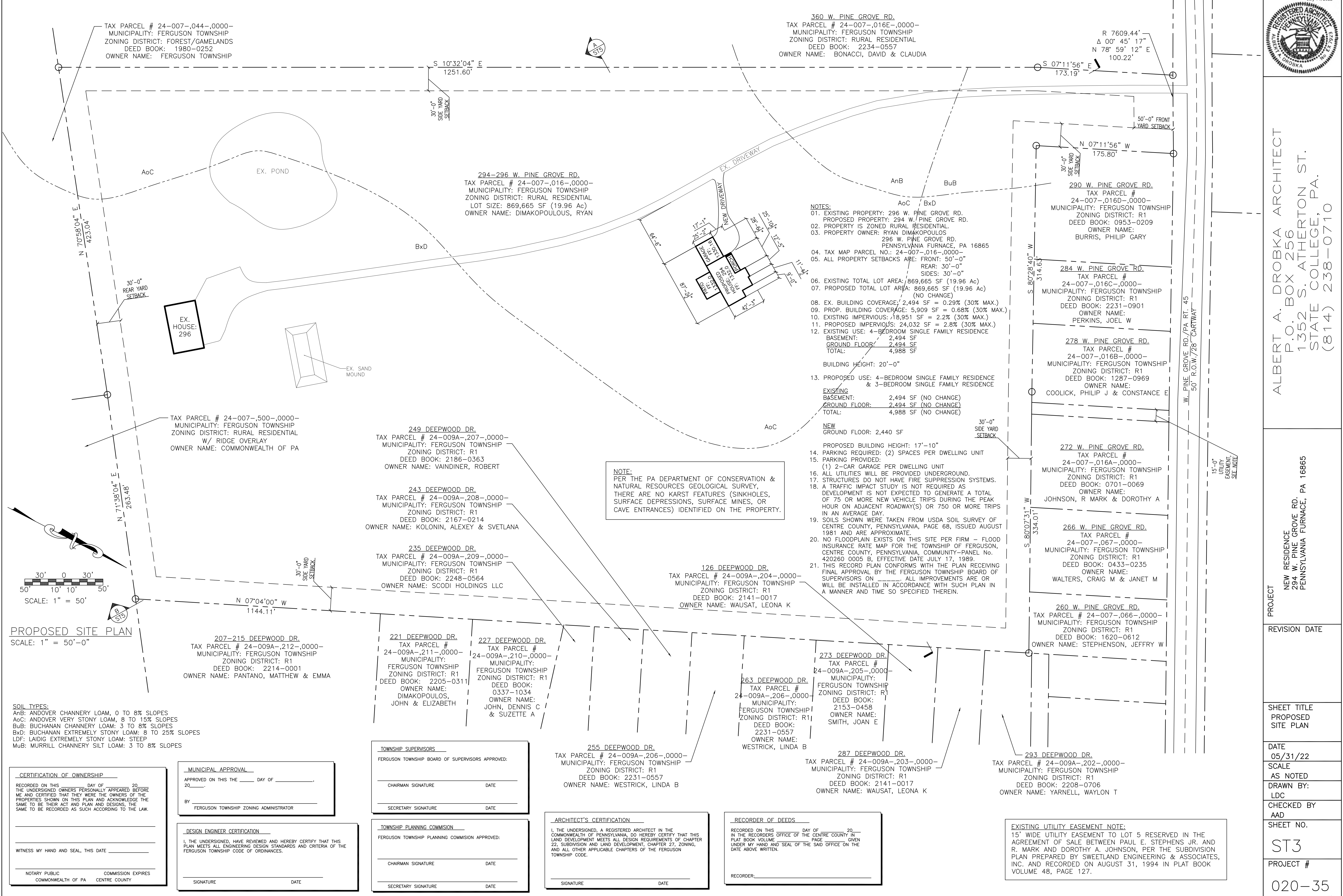
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SHEET NO.  
ST3

PROJECT #

020-35



TAX PARCEL # 24-007-.044-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: FOREST/GAMELANDS  
DEED BOOK: 1980-0252  
OWNER NAME: FERGUSON TOWNSHIP

360 W. PINE GROVE RD.  
TAX PARCEL # 24-007-.016E-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: RURAL RESIDENTIAL  
DEED BOOK: 2234-0557  
OWNER NAME: BONACCI, DAVID & CLAUDIA

294-296 W. PINE GROVE RD.  
TAX PARCEL # 24-007-.016-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: RURAL RESIDENTIAL  
LOT SIZE: 869,665 SF (19.96 Ac)  
OWNER NAME: DIMAKOPOULOUS, RYAN

290 W. PINE GROVE RD.  
TAX PARCEL # 24-007-.016D-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R  
DEED BOOK: 0953-0209  
OWNER NAME:  
BURRIS, PHILIP GARY

284 W. PINE GROVE RD.  
TAX PARCEL # 24-007-.016C-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2231-0901  
OWNER NAME:  
PERKINS, JOEL W

278 W. PINE GROVE RD.  
TAX PARCEL # 24-007-.016B-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 1287-0969  
OWNER NAME:  
COOLICK, PHILIP J & CONSTANCE E

272 W. PINE GROVE RD.  
TAX PARCEL # 24-007-.016A-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 0701-0069  
OWNER NAME:  
JOHNSON, R MARK & DOROTHY A

266 W. PINE GROVE RD.  
TAX PARCEL # 24-007-.067-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 0433-0235  
OWNER NAME:  
WALTERS, CRAIG M & JANET M

260 W. PINE GROVE RD.  
TAX PARCEL # 24-007-.066-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 1620-0612  
OWNER NAME: STEPHENSON, JEFFRY W

TAX PARCEL # 24-007-.500-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: RURAL RESIDENTIAL  
W/ RIDGE OVERLAY  
OWNER NAME: COMMONWEALTH OF PA

249 DEEPWOOD DR.  
TAX PARCEL # 24-009A-.207-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2186-0363  
OWNER NAME: VAINDINER, ROBERT

243 DEEPWOOD DR.  
TAX PARCEL # 24-009A-.208-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2167-0214  
OWNER NAME: KOLONIN, ALEXEY & SVETLANA

235 DEEPWOOD DR.  
TAX PARCEL # 24-009A-.209-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2248-0564  
OWNER NAME: SCODI HOLDINGS LLC

207-215 DEEPWOOD DR.  
TAX PARCEL # 24-009A-.212-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2214-0001  
OWNER NAME: PANTANO, MATTHEW & EMMA

221 DEEPWOOD DR.  
TAX PARCEL # 24-009A-.211-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2205-0311  
OWNER NAME:  
DIMAKOPOULOS,  
JOHN & ELIZABETH

227 DEEPWOOD DR.  
TAX PARCEL # 24-009A-.210-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK:  
0337-1034  
OWNER NAME:  
JOHN, DENNIS C  
& SUZETTE A

255 DEEPWOOD DR.  
TAX PARCEL # 24-009A-.206-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2231-0557  
OWNER NAME: WESTRICK, LINDA B

263 DEEPWOOD DR.  
TAX PARCEL # 24-009A-.206-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK:  
2231-0557  
OWNER NAME:  
WESTRICK, LINDA B

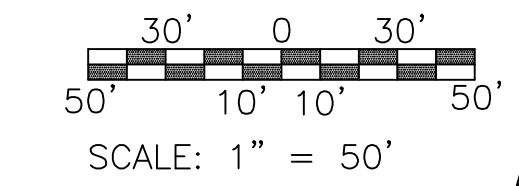
273 DEEPWOOD DR.  
TAX PARCEL # 24-009A-.205-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK:  
2153-0458  
OWNER NAME:  
SMITH, JOAN E

287 DEEPWOOD DR.  
TAX PARCEL # 24-009A-.203-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2141-0017  
OWNER NAME: WAUSAT, LEONA K

293 DEEPWOOD DR.  
TAX PARCEL # 24-009A-.202-.0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2208-0706  
OWNER NAME: YARNELL, WAYLON T

- NOTES:
- EXISTING PROPERTY: 296 W. PINE GROVE RD. PROPOSED PROPERTY: 294 W. PINE GROVE RD.
  - PROPERTY IS ZONED RURAL RESIDENTIAL.
  - PROPERTY OWNER: RYAN DIMAKOPOULOS
  - TAX MAP PARCEL NO.: 24-007-.016-.0000
  - ALL PROPERTY SETBACKS ARE: FRONT: 50'-0" REAR: 30'-0" SIDES: 30'-0"
  - EXISTING TOTAL LOT AREA: 869,665 SF (19.96 Ac)
  - PROPOSED TOTAL LOT AREA: 869,665 SF (19.96 Ac) (NO CHANGE)
  - EX. BUILDING COVERAGE: 2,494 SF = 0.29% (30% MAX.)
  - PROP. BUILDING COVERAGE: 5,909 SF = 0.68% (30% MAX.)
  - EXISTING IMPERVIOUS: 18,951 SF = 2.2% (30% MAX.)
  - PROPOSED IMPERVIOUS: 24,032 SF = 2.8% (30% MAX.)
  - EXISTING USE: 4-BEDROOM SINGLE FAMILY RESIDENCE
  - BASEMENT: 2,494 SF GROUND FLOOR: 2,494 SF TOTAL: 4,988 SF
  - PROPOSED USE: 4-BEDROOM SINGLE FAMILY RESIDENCE & 3-BEDROOM SINGLE FAMILY RESIDENCE
  - EXISTING BASEMENT: 2,494 SF (NO CHANGE) GROUND FLOOR: 2,494 SF (NO CHANGE) TOTAL: 4,988 SF (NO CHANGE)
  - NEW GROUND FLOOR: 2,440 SF
  - PROPOSED BUILDING HEIGHT: 17'-10"
  - PARKING REQUIRED: (2) SPACES PER DWELLING UNIT
  - PARKING PROVIDED: (1) 2-CAR GARAGE PER DWELLING UNIT
  - ALL UTILITIES WILL BE PROVIDED UNDERGROUND.
  - STRUCTURES DO NOT HAVE FIRE SUPPRESSION SYSTEMS.
  - A TRAFFIC IMPACT STUDY IS NOT REQUIRED AS DEVELOPMENT IS NOT EXPECTED TO GENERATE A TOTAL OF 75 OR MORE NEW VEHICLE TRIPS DURING THE PEAK HOUR ON ADJACENT ROADWAY(S) OR 750 OR MORE TRIPS IN AN AVERAGE DAY.
  - SOILS SHOWN WERE TAKEN FROM USDA SOIL SURVEY OF CENTRE COUNTY, PENNSYLVANIA, PAGE 68, ISSUED AUGUST 1981 AND ARE APPROXIMATE.
  - NO FLOODPLAIN EXISTS ON THIS SITE PER FIRM - FLOOD INSURANCE RATE MAP FOR THE TOWNSHIP OF FERGUSON, CENTRE COUNTY, PENNSYLVANIA, COMMUNITY-PANEL No. 420260 0005 B, EFFECTIVE DATE JULY 17, 1989.
  - THIS RECORD PLAN CONFORMS WITH THE PLAN RECEIVING FINAL APPROVAL BY THE FERGUSON TOWNSHIP BOARD OF SUPERVISORS ON \_\_\_\_ ALL IMPROVEMENTS ARE OR WILL BE INSTALLED IN ACCORDANCE WITH SUCH PLAN IN A MANNER AND TIME SO SPECIFIED THEREIN.

NOTE:  
PER THE PA DEPARTMENT OF CONSERVATION & NATURAL RESOURCES GEOLOGICAL SURVEY, THERE ARE NO KARST FEATURES (SINKHOLES, SURFACE DEPRESSIONS, SURFACE MINES, OR CAVE ENTRANCES) IDENTIFIED ON THE PROPERTY.



PROPOSED SITE PLAN  
SCALE: 1" = 50'-0"

SOIL TYPES:  
AnB: ANDOVER CHANNERY LOAM, 0 TO 8% SLOPES  
AoC: ANDOVER VERY STONY LOAM, 8 TO 15% SLOPES  
BuB: BUCHANAN CHANNERY LOAM, 3 TO 8% SLOPES  
BvD: BUCHANAN EXTREMELY STONY LOAM, 8 TO 25% SLOPES  
LdF: LAIDIG EXTREMELY STONY LOAM: STEEP  
MuB: MURRILL CHANNERY SILT LOAM: 3 TO 8% SLOPES

CERTIFICATION OF OWNERSHIP  
RECORDED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_  
THE UNDERSIGNED OWNERS PERSONALLY APPEARED BEFORE ME AND CERTIFIED THAT THEY WERE THE OWNERS OF THE PROPERTIES SHOWN ON THIS PLAN AND ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN AND DESIGNS, THE SAME TO BE RECORDED AS SUCH ACCORDING TO THE LAW.

MUNICIPAL APPROVAL  
APPROVED ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_  
BY \_\_\_\_\_  
FERGUSON TOWNSHIP ZONING ADMINISTRATOR

DESIGN ENGINEER CERTIFICATION  
I, THE UNDERSIGNED, HAVE REVIEWED AND HEREBY CERTIFY THAT THIS PLAN MEETS ALL ENGINEERING DESIGN STANDARDS AND CRITERIA OF THE FERGUSON TOWNSHIP CODE OF ORDINANCES.

TOWNSHIP SUPERVISORS  
FERGUSON TOWNSHIP BOARD OF SUPERVISORS APPROVED:  
CHAIRMAN SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
SECRETARY SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

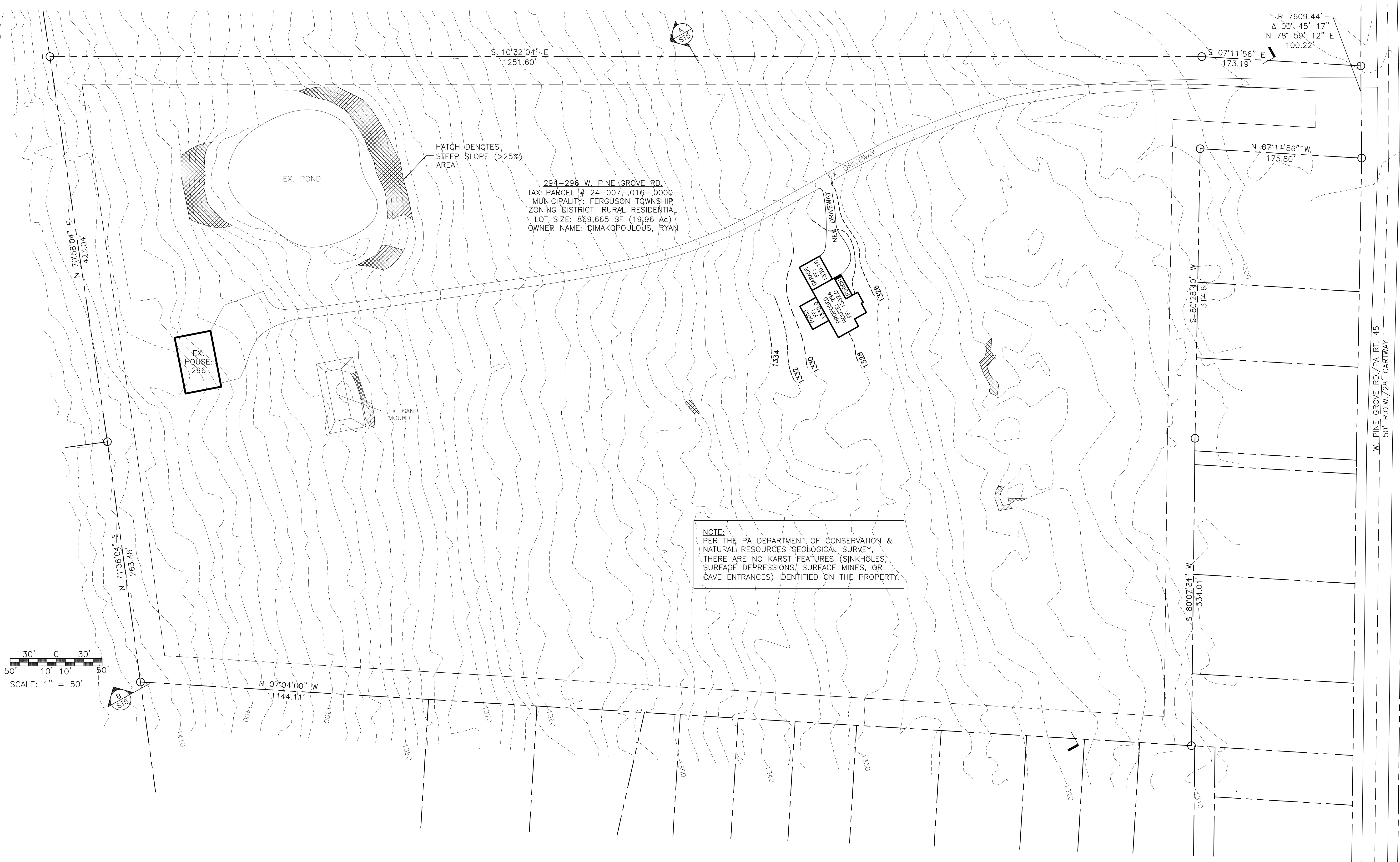
TOWNSHIP PLANNING COMMISSION  
FERGUSON TOWNSHIP PLANNING COMMISSION APPROVED:  
CHAIRMAN SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
SECRETARY SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

ARCHITECT'S CERTIFICATION  
I, THE UNDERSIGNED, A REGISTERED ARCHITECT IN THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS LAND DEVELOPMENT MEETS ALL DESIGN REQUIREMENTS OF CHAPTER 22, SUBDIVISION AND LAND DEVELOPMENT, CHAPTER 27, ZONING, AND ALL OTHER APPLICABLE CHAPTERS OF THE FERGUSON TOWNSHIP CODE.

RECORDER OF DEEDS  
RECORDED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_  
IN THE RECORDERS OFFICE OF THE CENTRE COUNTY IN \_\_\_\_\_ PAGE \_\_\_\_\_  
UNDER MY HAND AND SEAL OF THE SAID OFFICE ON THE DATE ABOVE WRITTEN.

EXISTING UTILITY EASEMENT NOTE:  
15' WIDE UTILITY EASEMENT TO LOT 5 RESERVED IN THE AGREEMENT OF SALE BETWEEN PAUL E. STEPHENS JR. AND R. MARK AND DOROTHY A. JOHNSON, PER THE SUBDIVISION PLAN PREPARED BY SWEETLAND ENGINEERING & ASSOCIATES, INC. AND RECORDED ON AUGUST 31, 1994 IN PLAT BOOK VOLUME 48, PAGE 127.





PROPOSED CONTOUR PLAN  
 SCALE: 1" = 50'-0"

ALBERT A. DROBKA ARCHITECT  
 P.O. BOX 256  
 1352 S. ATHERTON ST.  
 STATE COLLEGE, PA.  
 (814) 238-0710

PROJECT  
 NEW RESIDENCE  
 294 W. PINE GROVE RD.  
 PENNSYLVANIA FURNACE, PA 16865

REVISION DATE

SHEET TITLE  
 PROPOSED  
 CONTOUR PLAN

DATE  
 05/31/22

SCALE  
 AS NOTED

DRAWN BY:  
 LDC

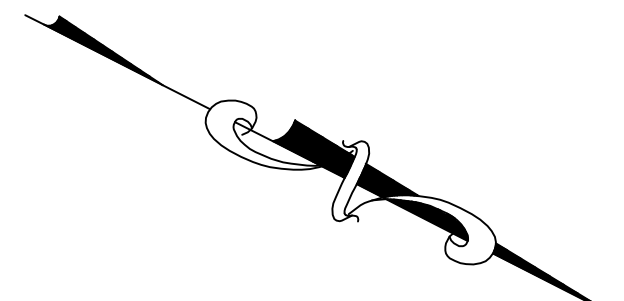
CHECKED BY  
 AAD

SHEET NO.

ST4

PROJECT #

020-35





ALBERT A. DROBKA ARCHITECT  
 P.O. BOX 256  
 1352 S. ATHERTON ST.  
 STATE COLLEGE, PA.  
 (814) 238-0710

PROJECT  
 NEW RESIDENCE  
 294 W. PINE GROVE RD.  
 PENNSYLVANIA FURNACE, PA 16865

REVISION DATE

SHEET TITLE  
 PROPOSED  
 LIGHTING PLAN

DATE  
 05/31/22

SCALE  
 AS NOTED

DRAWN BY:  
 LDC

CHECKED BY  
 AAD

SHEET NO.

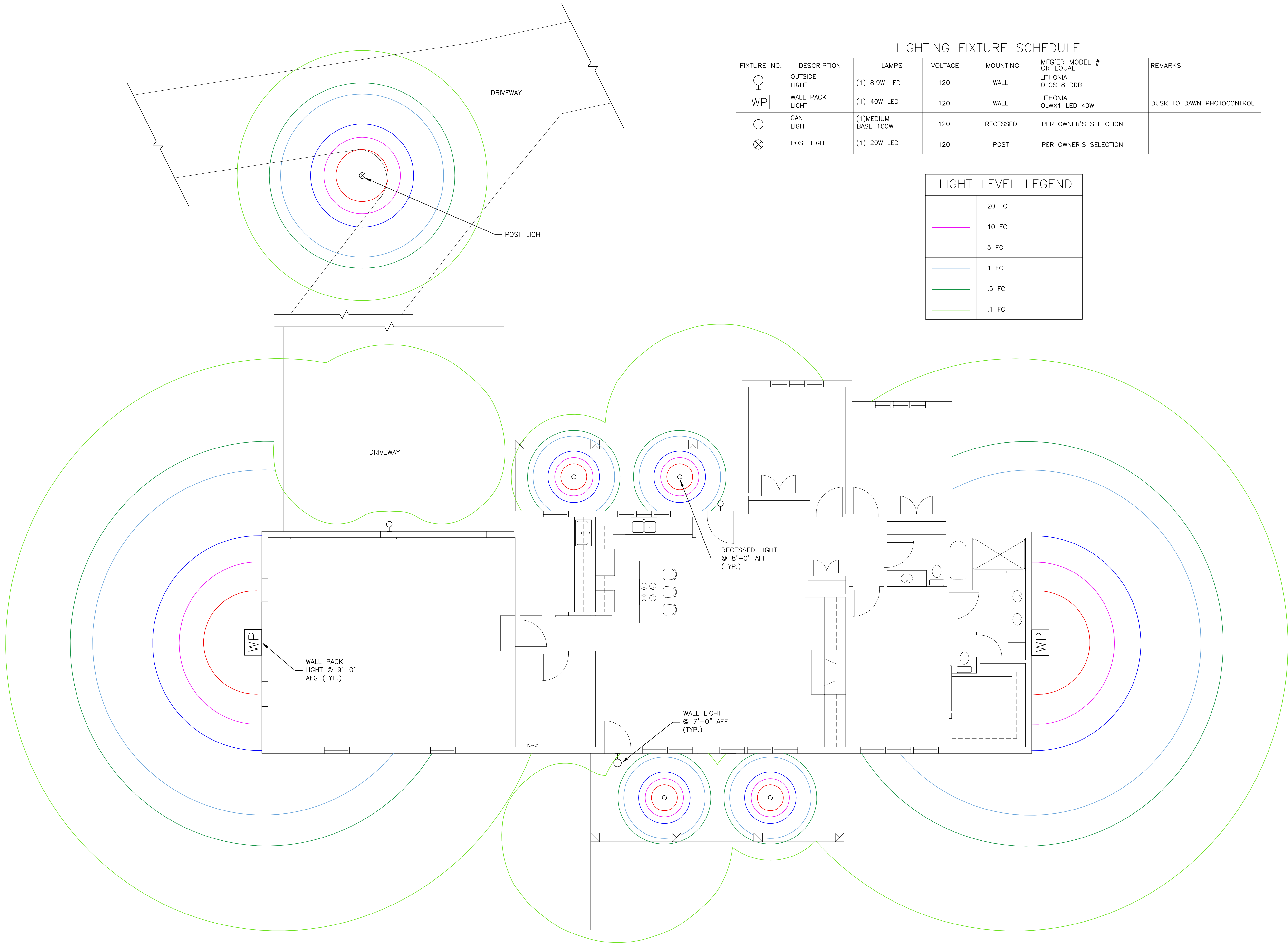
ST5

PROJECT #

020-35

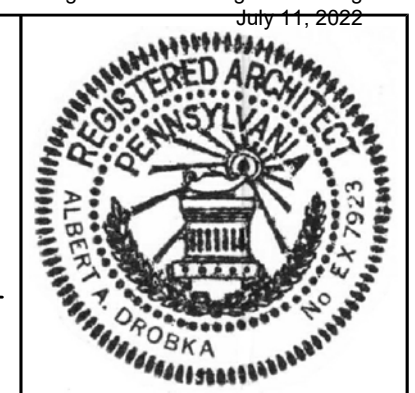
LIGHTING FIXTURE SCHEDULE						
FIXTURE NO.	DESCRIPTION	LAMPS	VOLTAGE	MOUNTING	MFG'ER MODEL # OR EQUAL	REMARKS
○	OUTSIDE LIGHT	(1) 8.9W LED	120	WALL	LITHONIA OLCS 8 DDB	
WP	WALL PACK LIGHT	(1) 40W LED	120	WALL	LITHONIA OLWX1 LED 40W	DUSK TO DAWN PHOTOCONTROL
○	CAN LIGHT	(1) MEDIUM BASE 100W	120	RECESSED	PER OWNER'S SELECTION	
⊗	POST LIGHT	(1) 20W LED	120	POST	PER OWNER'S SELECTION	

LIGHT LEVEL LEGEND	
	20 FC
	10 FC
	5 FC
	1 FC
	.5 FC
	.1 FC



PROPOSED LIGHTING PLAN  
 SCALE: 3/16" = 1'-0"





ALBERT A. DROBKA ARCHITECT  
P.O. BOX 256  
1352 S. ATHERTON ST.  
STATE COLLEGE, PA.  
(814) 238-0710

PROJECT  
NEW RESIDENCE  
294 W. PINE GROVE RD.  
PENNSYLVANIA FURNACE, PA 16865

REVISION DATE

SHEET TITLE  
PROPOSED  
UTILITY PLAN

DATE  
05/31/22

SCALE  
AS NOTED

DRAWN BY:  
LDC

CHECKED BY  
AAD

SHEET NO.  
ST6

PROJECT #

020-35

360 W. PINE GROVE RD.  
TAX PARCEL # 24-007-016E-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: RURAL RESIDENTIAL  
DEED BOOK: 2234-0557  
OWNER NAME: BONACCI, DAVID & CLAUDIA

R 7609.44'  
Δ 00° 45' 17"  
N 78° 59' 12" E  
100.22'

EX. POLE:  
WPP  
52297  
EX. OVERHEAD  
ELEC.  
LINE

TAX PARCEL # 24-007-044-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: FOREST/GAMELANDS  
DEED BOOK: 1980-0252  
OWNER NAME: FERGUSON TOWNSHIP

S 10°32'04" E  
1251.60'

S 07°11'56" E  
173.19'

294-296 W. PINE GROVE RD.  
TAX PARCEL # 24-007-016-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: RURAL RESIDENTIAL  
LOT SIZE: 869,665 SF (19.96 Ac)  
OWNER NAME: DIMAKOPOULOS, RYAN

290 W. PINE GROVE RD.  
TAX PARCEL #  
24-007-016D-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 0953-0209  
OWNER NAME:  
BURRIS, PHILIP GARY

284 W. PINE GROVE RD.  
TAX PARCEL #  
24-007-016C-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2231-0901  
OWNER NAME:  
PERKINS, JOEL W

278 W. PINE GROVE RD.  
TAX PARCEL #  
24-007-016B-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 1287-0969  
OWNER NAME:  
COOLICK, PHILIP J & CONSTANCE E

272 W. PINE GROVE RD.  
TAX PARCEL #  
24-007-016A-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 0701-0069  
OWNER NAME:  
JOHNSON, R MARK & DOROTHY A

266 W. PINE GROVE RD.  
TAX PARCEL #  
24-007-067-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 0433-0235  
OWNER NAME:  
WALTERS, CRAIG M & JANET M

260 W. PINE GROVE RD.  
TAX PARCEL # 24-007-066-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 1620-0612  
OWNER NAME: STEPHENSON, JEFFRY W

EX. HOUSE:  
296

NOTE:  
IF THE EXISTING ON-LOT SEPTIC SYSTEM  
SERVING THE EXISTING HOUSE (296) FAILS, THE  
EXISTING HOUSE (296) WILL BE CONNECTED TO  
THE PUBLIC SEWER SYSTEM AS SHOWN.

NOTE:  
PER THE PA DEPARTMENT OF CONSERVATION &  
NATURAL RESOURCES GEOLOGICAL SURVEY,  
THERE ARE NO KARST FEATURES (SINKHOLES,  
SURFACE DEPRESSIONS, SURFACE MINES, OR  
CAVE ENTRANCES) IDENTIFIED ON THE PROPERTY.

TAX PARCEL # 24-007-500-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: RURAL RESIDENTIAL  
W/ RIDGE OVERLAY  
OWNER NAME: COMMONWEALTH OF PA

249 DEEPWOOD DR.  
TAX PARCEL # 24-009A-207-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2186-0363  
OWNER NAME: VAINDINER, ROBERT

243 DEEPWOOD DR.  
TAX PARCEL # 24-009A-208-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2167-0214  
OWNER NAME: KOLONIN, ALEXEY & SVETLANA

235 DEEPWOOD DR.  
TAX PARCEL # 24-009A-209-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2248-0564  
OWNER NAME: SCODI HOLDINGS LLC

126 DEEPWOOD DR.  
TAX PARCEL # 24-009A-204-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2141-0017  
OWNER NAME: WAUSAT, LEONA K

207-215 DEEPWOOD DR.  
TAX PARCEL # 24-009A-212-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2214-0001  
OWNER NAME: PANTANO, MATTHEW & EMMA

221 DEEPWOOD DR.  
TAX PARCEL #  
24-009A-211-0000-  
MUNICIPALITY:  
FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2205-0311  
OWNER NAME:  
DIMAKOPOULOS,  
JOHN & ELIZABETH

227 DEEPWOOD DR.  
TAX PARCEL #  
24-009A-210-0000-  
MUNICIPALITY:  
FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK:  
0337-1034  
OWNER NAME:  
JOHN, DENNIS C  
& SUZETTE A

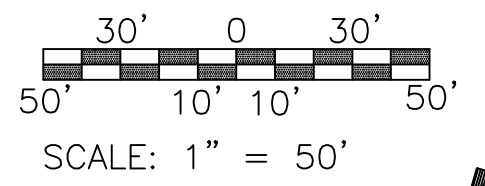
255 DEEPWOOD DR.  
TAX PARCEL # 24-009A-206-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2231-0557  
OWNER NAME: WESTRICK, LINDA B

263 DEEPWOOD DR.  
TAX PARCEL #  
24-009A-206-0000-  
MUNICIPALITY:  
FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK:  
2231-0557  
OWNER NAME:  
WESTRICK, LINDA B

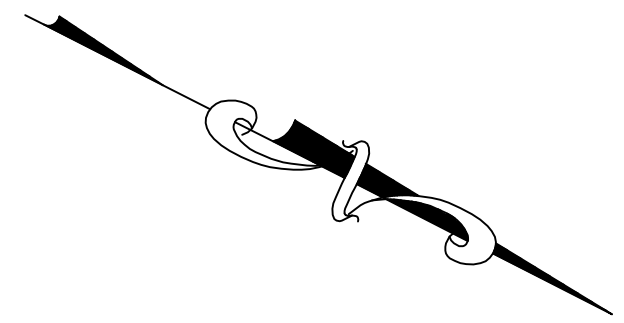
273 DEEPWOOD DR.  
TAX PARCEL #  
24-009A-205-0000-  
MUNICIPALITY:  
FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK:  
2153-0458  
OWNER NAME:  
SMITH, JOAN E

287 DEEPWOOD DR.  
TAX PARCEL # 24-009A-203-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2141-0017  
OWNER NAME: WAUSAT, LEONA K

293 DEEPWOOD DR.  
TAX PARCEL # 24-009A-202-0000-  
MUNICIPALITY: FERGUSON TOWNSHIP  
ZONING DISTRICT: R1  
DEED BOOK: 2208-0706  
OWNER NAME: YARNELL, WAYLON T



PROPOSED UTILITY PLAN  
SCALE: 1" = 50'-0"







# PINE GROVE MILLS SIDEWALK MAP

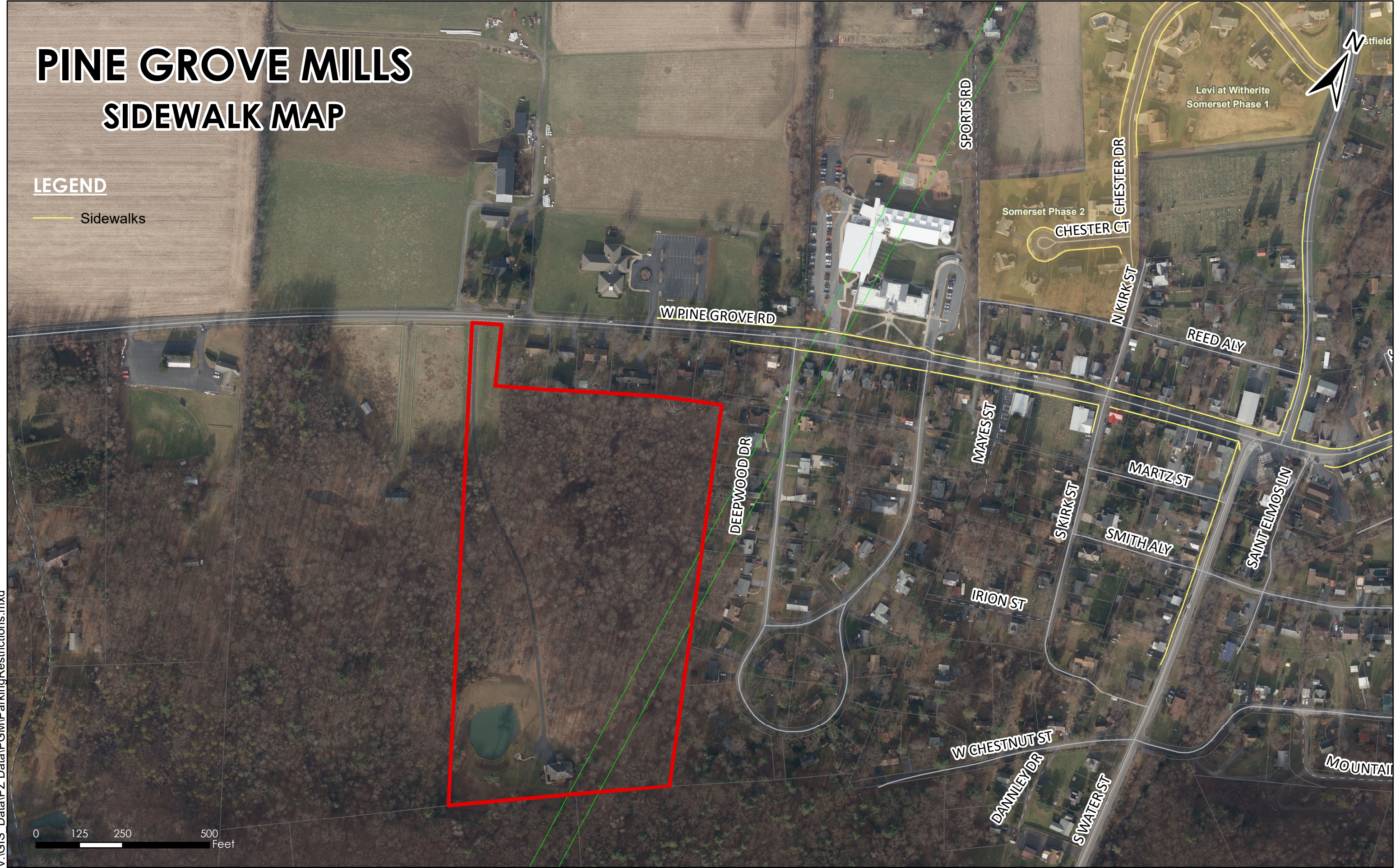
## LEGEND

— Sidewalks



0 125 250 500  
Feet

V:\GIS\_Data\IPZ\_Data\PGM\IParkingRestrictions.mxd





W PINE GROVE RD

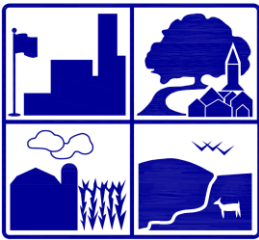
DEEPWOOD DR

V:\GIS\_Data\PGM\ParkingRestrictions.mxd

0 80 160 320  
Feet







# TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801  
Telephone: 814-238-4651 • Fax: 814-238-3454  
[www.twp.ferguson.pa.us](http://www.twp.ferguson.pa.us)

TO: Planning Commission

FROM: Kristina Bassett, Community Planner

DATE: July 7, 2022

SUBJECT: Centre Animal Hospital Final Land Development Plan

Included in the agenda is the The Centre Animal Hospital Final Land Development Plan, submitted on June 15, 2022, by ELA Inc. on behalf of their client, Tussey Tracks, LLC. The proposed Land Development Plan (Tax Parcel 24-19-74-0000) is located at 1518 West College Avenue and is zoned Terraced Streetscape (TS).

The plan proposes a 620 square foot expansion and improvements to the existing 5,551 square foot building and expansion to the parking area to address the needs of the customers. The owner recently acquired the parcel to the east and consolidated the two lots to create a 0.937-acre lot allowing for parking to be expanded and reconfigured for better flow.

A modification/waiver from §22.5A09 – Streetscape Design standards was approved by the Board of Supervisors on April 5, 2022.

The Preliminary Land Development Plan was approved by the Board of Supervisors at the regular April 19<sup>th</sup>, 2022 meeting pending outstanding comments.

Staff has reviewed the plan and is recommending approval pending outstanding review comments attached to this memorandum.

**Recommended Motion:** Move that the Planning Commission recommend **approval** to the Board of Supervisors for the Centre Animal Hospital Final Land Development Plan, pending outstanding staff comments as included in the Community Planner's memorandum dated July 6, 2022.



# FINAL LAND DEVELOPMENT PLAN FOR CENTRE ANIMAL HOSPITAL

FERGUSON TOWNSHIP - CENTRE COUNTY - PENNSYLVANIA

**NOTES:**

A. GENERAL NOTES

1. ALL APPROPRIATE PERMITS SHALL BE OBTAINED FROM THE TOWNSHIP, COUNTY, STATE, ETC., AS REQUIRED AND AS RELATES TO THE CONSTRUCTION ACTIVITY BEING UNDERTAKEN PRIOR TO COMMENCING CONSTRUCTION ON THE PROJECT SITE OR OFF-SITE AREAS.
2. ANY REVISIONS TO THIS PLAN AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION SHALL NOT BE THE RESPONSIBILITY OF ELA GROUP, INC. SUBSTITUTIONS FOR ANY MATERIAL NOTED ON THESE PLANS AND ANY DEVIATION FROM THE PLANS REQUIRES PRIOR WRITTEN APPROVAL OF ELA GROUP, INC., FERGUSON TOWNSHIP AND CENTRE COUNTY, AS APPLICABLE.
3. IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 102 OF THE ADMINISTRATIVE CODE, TITLE 25 (PA DEP RULES AND REGULATIONS), A COPY OF THE EROSION AND SEDIMENTATION CONTROL PLAN AND ITS ACCOMPANYING NARRATIVE MUST BE AVAILABLE ON-SITE DURING CONSTRUCTION UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED. THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE EROSION AND SEDIMENTATION CONTROL PLAN.
4. FERGUSON TOWNSHIP IS NOT RESPONSIBLE FOR CONSTRUCTION OR MAINTENANCE OF ANY AREA NOT DEDICATED FOR PUBLIC USE.
5. REFER TO 'LOT CONSOLIDATION PLAN FOR CENTRE ANIMAL HOSPITAL' DATED 4/17/21 LAST REVISED 11/17/21 AND RECORDED IN PLAT BOOK 47 / PAGE 48 CENTRE COUNTY, PENNSYLVANIA.
6. REFER TO THE 'STORMWATER MANAGEMENT SITE PLAN', PREPARED BY ELA GROUP, INC., DATED SEPTEMBER 17, 2021, LAST REVISED MAY 16, 2022 ATTACHED AS AN EXHIBIT TO STORMWATER AGREEMENT RECORDED AT THE OFFICE OF THE RECORDER OF DEEDS CENTRE COUNTY JUNE 6, 2022 IN RB 02243 / PG 0734.
7. REFER TO THE 'EROSION AND SEDIMENT CONTROL PLAN', PREPARED BY ELA GROUP, INC., DATED JANUARY 11, 2022, NO REVISIONS.
8. REFER TO THE 'PRELIMINARY LAND DEVELOPMENT PLAN FOR CENTRE ANIMAL HOSPITAL', PREPARED BY ELA GROUP, INC., DATED 4/17/21, LAST REVISED 6/17/22, APPROVED BY FERGUSON TOWNSHIP BOARD OF SUPERVISORS 4/14/22.
9. ALL EASEMENTS SHOWN ON THIS PLAN SHALL BE PRESERVED AND USED FOR THE INTENDED USE AS PRESCRIBED BY THE EASEMENT. NOTHING SHALL BE PLACED, PLANTED, OR SET WITHIN ANY EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.
10. IF ANY SINKHOLES OR SUBSURFACE CONDITIONS ARISE DURING CONSTRUCTION, A GEOTECHNICAL ENGINEER SHALL BE CONSULTED FOR RECOMMENDATIONS FOR REMEDIATION.
11. THE BOARD OF SUPERVISORS GRANTED THE USE OF THE PROPERTY AS A VETERINARIAN USE BY CONDITIONAL USE ON MAY 17, 2021.
12. REFER TO ZONING VARIANCES GRANTED BY THE ZONING HEARING BOARD FOR THE FOLLOWING:
  - 1) MINIMUM LOT SIZE
  - 2) MAXIMUM AREA OF EXPANSION FOR A NONCONFORMING USE
  - 3) MINIMUM BUILDING HEIGHT
  - 4) REQUIREMENT THAT A BUILDING BE ON THE SIDEWALK LINE
  - 5) ON-SITE MAXIMUM PARKING REQUIREMENTS
13. A TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROJECT.
14. THIS PROJECT IS LOCATED WITHIN A SOURCE WATER PROTECTION AREA FOR THE PENNSYLVANIA STATE UNIVERSITY AND COLLEGE TOWNSHIP WATER AUTHORITY. BLASTING SHOULD BE USED AS A LAST RESORT METHOD OF ROOT EXCAVATION. IF BLASTING TECHNIQUES ARE TO BE EMPLOYED, THE CONTRACTOR SHALL PROVIDE THE TOWNSHIP AND THE WATER PROVIDER WITH INFORMATION SUPPORTING THE USE OF BLASTING TECHNIQUES ALONG WITH COPIES OF BLASTING PERMITS.
15. ALL RETAINING WALLS MUST BE DESIGNED, ENGINEERED AND PERMITTED WITH THE CENTRE COUNTY REGION CODE AGENCY. RETAINING WALL ENGINEERED DRAWINGS WILL BE PROVIDED TO THE TOWNSHIP AT THE TIME OF PERMIT ISSUANCE AT CENTRE COUNTY REGION CODE ADMINISTRATION.
16. AN OCCUPANCY PERMIT WITH APPROPRIATE FEE AND RESTORATION DEPOSIT FOR ALL IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY MUST BE OBTAINED FROM THE TOWNSHIP PRIOR TO STARTING WORK.
17. A PENNDOT HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW", BEFORE ACCESS TO A STATE HIGHWAY IS PERMITTED.
18. A DRIVEWAY PERMIT IS REQUIRED FOR THE TOWNSHIP PRIOR TO THE ISSUANCE OF A ZONING PERMIT.
19. A STORMWATER PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO ANY EARTH DISTURBANCE.

B. UTILITY NOTES

1. THE PROJECT SHALL BE SERVED BY PUBLIC WATER AND PUBLIC SANITARY SEWER. WATER SERVICE SHALL BE SUPPLIED BY THE STATE COLLEGE BOROUGH WATER AUTHORITY (SCWA). SANITARY SEWER SERVICE WILL BE PROVIDED BY THE UNIVERSITY AREA JOINT AUTHORITY (UAJA).
2. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITIES AT LEAST 12 HOURS PRIOR TO THE START OF ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES AND ALL EFFORTS SHALL BE UNDERTAKEN TO PROTECT EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. RESTORATION OF ALL EXISTING SURFACE IMPROVEMENTS DAMAGED OR ALTERED DURING CONSTRUCTION, INCLUDING LANDSCAPING, SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. ALL STORM SEWER AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FERGUSON TOWNSHIP STORM WATER MANAGEMENT ORDINANCE OR AS OTHERWISE APPROVED BY THE TOWNSHIP ENGINEER.
4. NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN AN AREA OF AN EASEMENT OR RIGHT-OF-WAY THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH ANY EASEMENT AGREEMENT.
5. AUTHORIZED REPRESENTATIVES FROM FERGUSON TOWNSHIP SHALL HAVE THE RIGHT TO ACCESS THE PROPERTY FOR UNIMPEDED INSPECTION AND/OR MAINTENANCE OF THE STORM WATER MANAGEMENT FACILITIES AS SHOWN ON THE PLAN.

C. SURVEY, BASE MAPPING AND SITE LAYOUT NOTES

1. OVERALL PROPERTY BOUNDARY SURVEY AND TOPOGRAPHIC SURVEY PREPARED BY LAND GRANT SURVEYORS, LLC DATED AUGUST 28, 2020.
2. THERE IS NO EVIDENCE OF WETLANDS ON SITE.
3. THERE IS NO FLOOD PLAIN IDENTIFIED ON THE PROPERTY PER FEMA FLOOD MAPPING #42021C0694F.
4. NO ONE SHALL SCALE FROM THESE PLANS. WRITTEN DIMENSIONS SHALL SUPERSEDE ALL SCALED DIMENSIONS.
5. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TAKEN FROM FACE OF BUILDING OR FACE OF CURB AS APPLICABLE. ALL SIDEWALK WIDTHS TAKEN FROM BACK OF CURB, AND ALL SPOT GRADE ELEVATIONS ARE BOTTOM OF CURB UNLESS OTHERWISE NOTED.
6. HORIZONTAL DATUM IS BASED UPON THE NORTH ZONE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, NAD83.

**OWNER**

TUSSEY TRACKS, LLC  
c/o DEBRA J. SMART, MEMBER & RENEE A. CALVERT, MEMBER  
1518 WEST COLLEGE AVENUE  
STATE COLLEGE, PA 16801  
814-238-5100

**SITE DATA**

ADDRESS: 1518 WEST COLLEGE AVENUE  
PARCEL NO.: 24-19-074  
RECORD BOOK/PAGE: 2288 / 0081  
ZONING DISTRICT: TS - TERRACED STREETS/CAPE  
DATE OF APPLICATION OF ZONING PERMIT: SEPTEMBER 17, 2021  
EXISTING USE: VETERINARIAN HOSPITAL & COMMERCIAL OFFICE  
PROPOSED USE: VETERINARIAN HOSPITAL  
ACREAGE: 0.431 ACRES.  
BUILDING SETBACKS:  
FRONT: 15'  
SIDE: 10'  
REAR: 5'  
BUFFER AT TS BOUNDARY ADJACENT TO RESIDENTIAL USE: 12'

**DEVELOPMENT DATA**

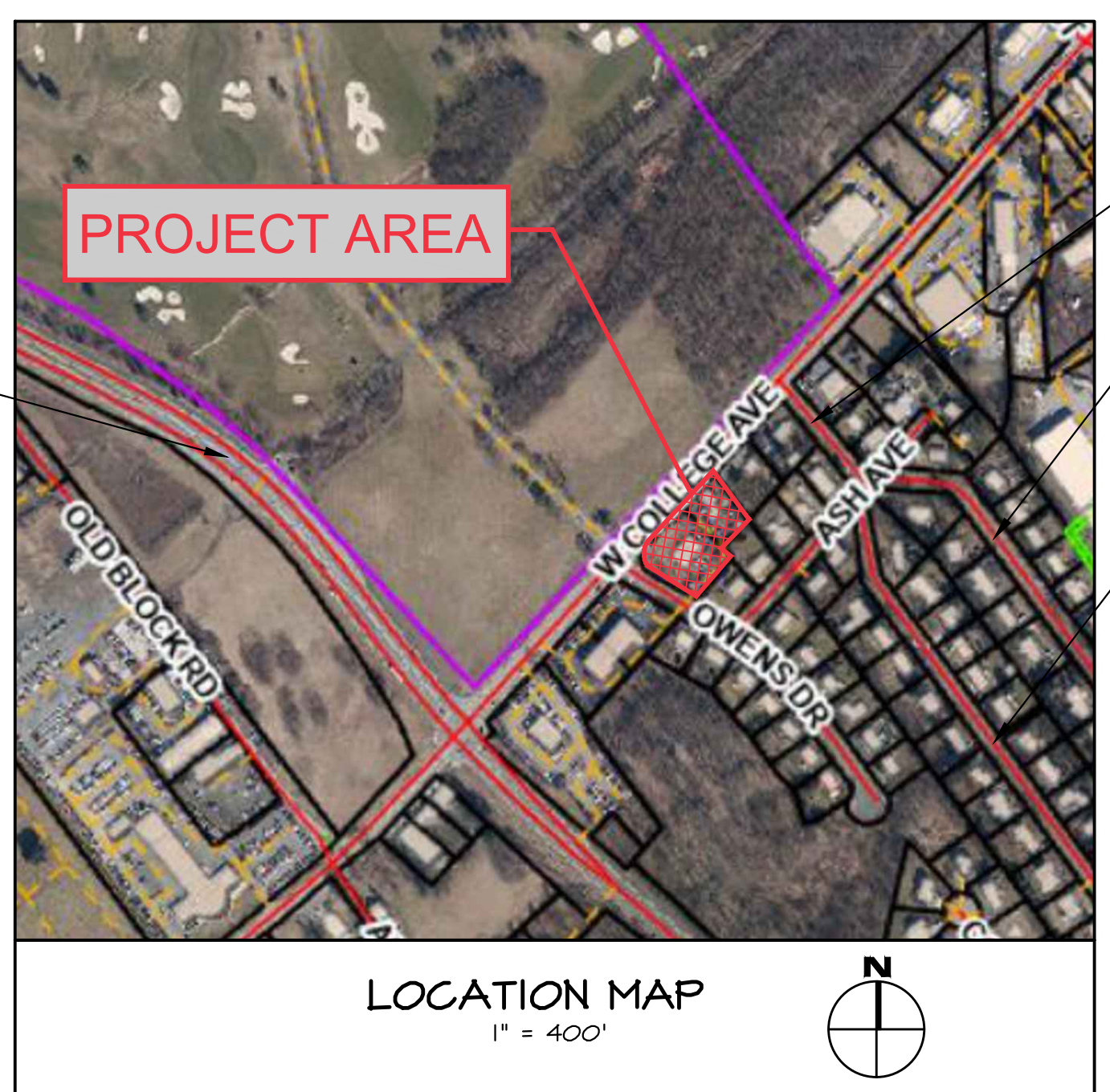
EXISTING BUILDING COVERAGE: 5,551 SF  
TOTAL EXISTING BLD. COVERAGE: 5,551 S.F. (13.60%)  
EXISTING HARDSCAPE COVERAGE: 17,593 S.F.  
TOTAL EXISTING LOT COVERAGE: 23,104 S.F. (56.60%)  
PROPOSED BUILDING COVERAGE: 6,171 S.F. (15.12%)  
PROPOSED HARDSCAPE COVERAGE: 16,384 S.F.  
TOTAL PROPOSED LOT COVERAGE: 22,560 S.F. (55.27%)  
PARKING REQUIRED: 1 SPACE PER 500 S.F. FL. AREA  
4,147.14 S.F. / 500 = 18.34 SPACES  
PARKING PROVIDED:  
32 STD. SPACES  
1 ADA VAN ACCESSIBLE SPACE  
1 ADA STANDARD SPACE  
TOTAL PARKING PROVIDED: 34 SPACES

**WAIVER GRANTED**

ORDINANCE SECTION	DATE SUBMITTED	BOARD ACTION	DATE OF ACTION
CHAPTER 22, PART 5, SECTION 22-5A04 STREETS/CAPE DESIGN STANDARDS	2/11/22	APPROVED	4/5/22

**SOURCE WATER PROTECTION OVERLAY NOTES:**

- A. MANURE MANAGEMENT PLAN AND STORAGE**  
NO MANURE IS PRESENT AT THE FACILITY.  
ANIMAL (CAT, DOG AND ROCKET PEE) FECES ARE DISPOSED OF IN THE GARBAGE. DIAGNOSTIC FECAL SAMPLES ARE PLACED IN A PLASTIC CONTAINER PROVIDED BY AN INDEPENDENT LABORATORY AND SUBMITTED IN A SEALED SHIPPING BOX OR PROCESSED IN OUR CLINIC LAB WITH THE RESIDUE BEING PLACED IN THE GARBAGE.  
OUTSIDE OF THE CLINIC, FECES WASTE COLLECTION CONTAINERS CALLED DOGI POT PROVIDE CLIENTS WITH BAGS AND A WASTE BIN FOR CANINE FECES. THESE ARE EMPTIED DAILY AND DISPOSED OF IN OUR REGULAR GARBAGE DUMPSTER.  
HOSPITALIZED ANIMALS PRODUCING WASTE IN CARRIERS, CAGES OR RUNS HAVE THOSE AREAS CLEANED AND DISINFECTED. WASTE FROM ALL SPECIES IS PLACED IN THE GARBAGE. PER OSHA REGULATIONS, OUR STAFF USE GLOVES WHEN HANDLING ALL FECES, URINE OR OTHER EXCREMENT. HOSPITALIZED DOGS BEING WALKED OUTSIDE HAVE ANY FECES IMMEDIATELY PICKED UP AND DISPOSED OF BY THE STAFF IN THE GARBAGE. A VETERINARY ASSISTANT CHECKS OUTSIDE THE CLINIC REGULARLY FOR FECES ON OUR LAWN AND REMOVES ANY FECES PRESENT.
- B. STORAGE/HANDLING OF REGULATED SUBSTANCES/CONTAINMENT STRUCTURES FOR HAZARDOUS MATERIAL STORAGE.**  
REGULATED BIOLOGICS, SUCH AS VACCINATIONS AND IMMUNOTHERAPIES; REFRIGERATED MEDICATIONS AND ANESTHETICS; AND REFRIGERATED LABORATORY TESTING SUPPLIES ARE ALL KEPT IN REFRIGERATORS DESIGNATED FOR MEDICAL STORAGE. CHEMOTHERAPY MEDICATIONS ARE STORED IN A SEPARATE ROOM AND IN A SEPARATE REFRIGERATOR. REGULATED OR CONTROLLED DRUGS ARE KEPT IN ONE OF TWO LOCKED AND BIOMETRICALLY CONTROLLED REPLEN-TRAC SYSTEM STORAGE DEVICES.  
A DETAILED DESCRIPTION OF DISPOSAL PROCEDURES FOR REGULATED SUBSTANCES AND WASTES AND NAME, ADDRESS AND TELEPHONE NUMBER OF ANY WASTE HAULERS USED.
- C. HAZARDOUS WASTE**  
AFTER USE, ALL SYRINGES, NEEDLES, SCALPEL BLADES, SUTURE NEEDLES, AND OTHER HAZARDOUS MATERIALS ARE DISPOSED OF IN HAZARDOUS WASTE SHARPS CONTAINERS. THESE CONTAINERS ARE CLEARLY MARKED AS BIOHAZARD AND ARE RED IN COLOR. THERE ARE CONTAINERS OUTSIDE OF EACH EXAM ROOM, IN THE LAB, PHARMACY, KENNEL ROOM, TREATMENT AREAS AND SURGERY AREAS. THESE CONTAINERS ARE PROVIDED BY AND DISPOSED OF BY PET MEMORIAL (CONTACT INFORMATION BELOW)  
ALL CHEMOTHERAPY WASTE IS DISPOSED OF IN A SPECIAL CHEMOTHERAPY WASTE BIN. IT IS A LOCKING BIN AND IS MARKED WITH CHEMOTHERAPY WASTE ON ALL SIDES OF THE BIN. THEY ARE PROVIDED BY AND DISPOSED OF BY PET MEMORIAL. (CONTACT INFORMATION BELOW)  
DECEASED PETS FOR CREMATION ARE STORED IN A FREEZER THAT IS CURRENTLY IN A LOCKED SHED BEHIND THE HOSPITAL. THE FUTURE PLAN FOR THIS FREEZER IS TO BE OUTSIDE OUR COMFORT ROOM LOCATED INSIDE THE HOSPITAL AS MARKED ON THE CONSTRUCTION PLANS.  
PET MEMORIAL WILL PICK UP ALL HAZARDOUS WASTE, CHEMOTHERAPY WASTE AND/OR DECEASED PETS ON MONDAY AND THURSDAY OF EACH WEEK UNLESS FALLING ON A HOLIDAY AND THEY WILL ADJUST ACCORDINGLY TO ACCOMMODATE TWO PICKUPS PER WEEK.  
PET MEMORIAL  
126 TURNER LANE  
WEST CHESTER PA 19380  
1-800-739-6365  
GARBAGE SERVICE IS HANDLED THROUGH WASTE MANAGEMENT AND WEEKLY PICKUP IS SCHEDULED FOR MONDAY EARLY MORNING.  
WASTE MANAGEMENT  
PO BOX 43470  
PHOENIX, AZ 85080  
866-212-8861  
RECYCLING OF CARDBOARD IS MANAGED BY CENTRE COUNTY RECYCLING AND REFUSE WITH A WEEKLY PICK UP SCHEDULED FOR TUESDAY EARLY MORNING.  
CENTRE COUNTY RECYCLING AND REFUSE  
239 TRANSFER ROAD  
BELLEFONTE PA 16823  
814-238-7005



**SITE/CIVIL ENGINEERING AND  
LANDSCAPE ARCHITECTURAL CONSULTANT**



**ELA**  
**group, inc.**  
ENGINEERS + LANDSCAPE ARCHITECTS  
2013 SANDY DRIVE, SUITE 103  
PITTSBURGH, PA 15212  
(814) 861-6328  
elagroup.com

**UTILITY LIST:**

- COMCAST CABLE COMMUNICATIONS  
250 REESE RD  
STATE COLLEGE, PA 16801  
(814) 684-6036
- VERIZON PENNSYLVANIA INC  
15 E MONTGOMERY AVE  
STATE COLLEGE, PA 15212  
(724) 773-5055
- FERGUSON TOWNSHIP  
3147 RESEARCH DR  
STATE COLLEGE, PA 16801  
(814) 238-4561
- COLUMBIA GAS OF PA  
251 W HAIDEN ST  
WASHINGTON, PA 15301  
(814) 278-5842
- WEST PENN POWER  
16 S MAIN ST  
AKRON, OH 44308  
(800) 255-3443
- PENN STATE UNIVERSITY  
WASTEWATER TREATMENT PLANT  
UNIVERSITY PARK, PA 16802  
(814) 865-1101
- STATE COLLEGE BOROUGH WATER AUTHORITY  
1201 WEST BRANCH ROAD  
STATE COLLEGE, PA 16801  
(814) 238-6166
- UNIVERSITY AREA JOINT AUTHORITY  
1576 SPRING VALLEY ROAD  
STATE COLLEGE, PA 16801  
(814) 238-5361
- PENN STATE UN. COMMUNICATIONS  
112 UNIVERSITY SUPPORT BLDG 2  
UNIVERSITY PARK, PA 16802  
(814) 863-4548

**LIST OF DRAWINGS:**

COVER SHEET .....	1 OF 11
EXISTING CONDITIONS PLAN .....	2 OF 11
SITE IMPROVEMENT PLAN .....	3 OF 11
GRADING & DRAINAGE PLAN .....	4 OF 11
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LANDSCAPING PLAN .....	6 OF 11
SITE DETAILS .....	7 OF 11
SITE DETAILS .....	8 OF 11
SITE DETAILS .....	9 OF 11
UTILITY DETAILS .....	10 OF 11
LIGHTING PLAN .....	11 OF 11

**SUPPLEMENTAL PLANS:**

- BUILDING FLOOR PLANS

**PENNSYLVANIA ACT 287 OF 1975 AS AMENDED**

PENNSYLVANIA ACT 287 AS AMENDED REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.  
DATE: JUNE 10, 2021 BY: ELA GROUP, INC.  
WR# 358420210610

**CERTIFICATES/APPROVALS**

**OWNER'S CERTIFICATION & ACKNOWLEDGMENT**

STATE OF PENNSYLVANIA  
COUNTY OF CENTRE  
ON THIS THE 10 DAY OF JUNE, 2021  
BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED DEBRA J. SMART, MEMBER, TUSSEY TRACKS, LLC WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THE PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN, AND DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.  
DEBRA J. SMART, MEMBER, TUSSEY TRACKS, LLC  
NOTARY PUBLIC  
MY COMMISSION EXPIRES 20

STATE OF PENNSYLVANIA  
COUNTY OF CENTRE  
ON THIS THE 10 DAY OF JUNE, 2021  
BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED RENEE A. CALVERT, MEMBER, TUSSEY TRACKS, LLC WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THE PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN, AND DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.  
RENEE A. CALVERT, MEMBER, TUSSEY TRACKS, LLC  
NOTARY PUBLIC  
MY COMMISSION EXPIRES 20

**CERTIFICATE OF ACCURACY (PLAN)**

I, GEORGE LOWE, HEREBY CERTIFY THAT THIS LAND DEVELOPMENT MEETS ALL LAND DEVELOPMENT ORDINANCE, ZONING ORDINANCE AND ALL OTHER APPLICABLE CHAPTERS OF THE FERGUSON TOWNSHIP CODE.  
20

**FERGUSON TOWNSHIP PLANNING COMMISSION**

RECOMMENDED FOR APPROVAL/DISAPPROVAL BY THE PLANNING COMMISSION  
CHAIR \_\_\_\_\_ DATE \_\_\_\_\_  
SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

**FERGUSON TOWNSHIP ENGINEER CERTIFICATION**

I, \_\_\_\_\_, HAVE REVIEWED AND HEREBY CERTIFY THAT THE PLAN MEETS ALL ENGINEERING DESIGN STANDARDS AND CRITERIA OF THE FERGUSON TOWNSHIP CODE OF ORDINANCES.  
20

**FIRE DIRECTOR CERTIFICATION**

I HAVE REVIEWED AND HEREBY CERTIFY THAT THIS PLAN MEETS THE REQUIREMENTS OF THE ALPHA FIRE COMPANY OF STATE COLLEGE.  
FIRE DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

**STORM WATER MANAGEMENT CERTIFICATION**

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE FERGUSON TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.  
20

**STORM WATER FACILITIES ACKNOWLEDGMENT**

I/WE, LANDOWNER(S), MY/OUR HEIRS AND ASSIGNS, ACKNOWLEDGE THE STORMWATER MANAGEMENT SYSTEM TO BE A PERMANENT FACILITY WHICH CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE FERGUSON TOWNSHIP BOARD OF SUPERVISORS.  
20

**FERGUSON TOWNSHIP SUPERVISORS**

APPROVED BY THE BOARD OF SUPERVISORS  
CHAIR \_\_\_\_\_ DATE \_\_\_\_\_  
SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

**RECORD PLAN**

THIS RECORD PLAN CONFORMS WITH THE PLAN RECEIVING FINAL APPROVAL BY THE FERGUSON TOWNSHIP BOARD OF SUPERVISORS ON \_\_\_\_\_ ALL IMPROVEMENTS ARE OR WILL BE INSTALLED IN ACCORDANCE WITH SUCH PLAN IN A MANNER AND TIME SO SPECIFIED THEREIN.

**CENTRE COUNTY RECORDER OF DEEDS**

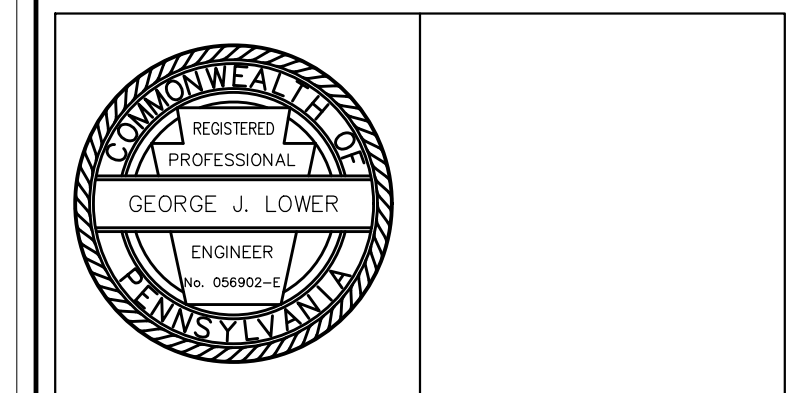
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CENTRE COUNTY, PENNSYLVANIA, IN PLAT BOOK \_\_\_\_\_, PAGE \_\_\_\_\_, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BY: \_\_\_\_\_  
RECORDER

REVISIONS PER:	DATE:	BY:
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5. -	-	-



**ELA**  
**group, inc.**  
ENGINEERS + LANDSCAPE ARCHITECTS  
2013 SANDY DRIVE, SUITE 103  
PITTSBURGH, PA 15212  
(814) 861-6328  
elagroup.com



**FINAL LAND DEVELOPMENT**

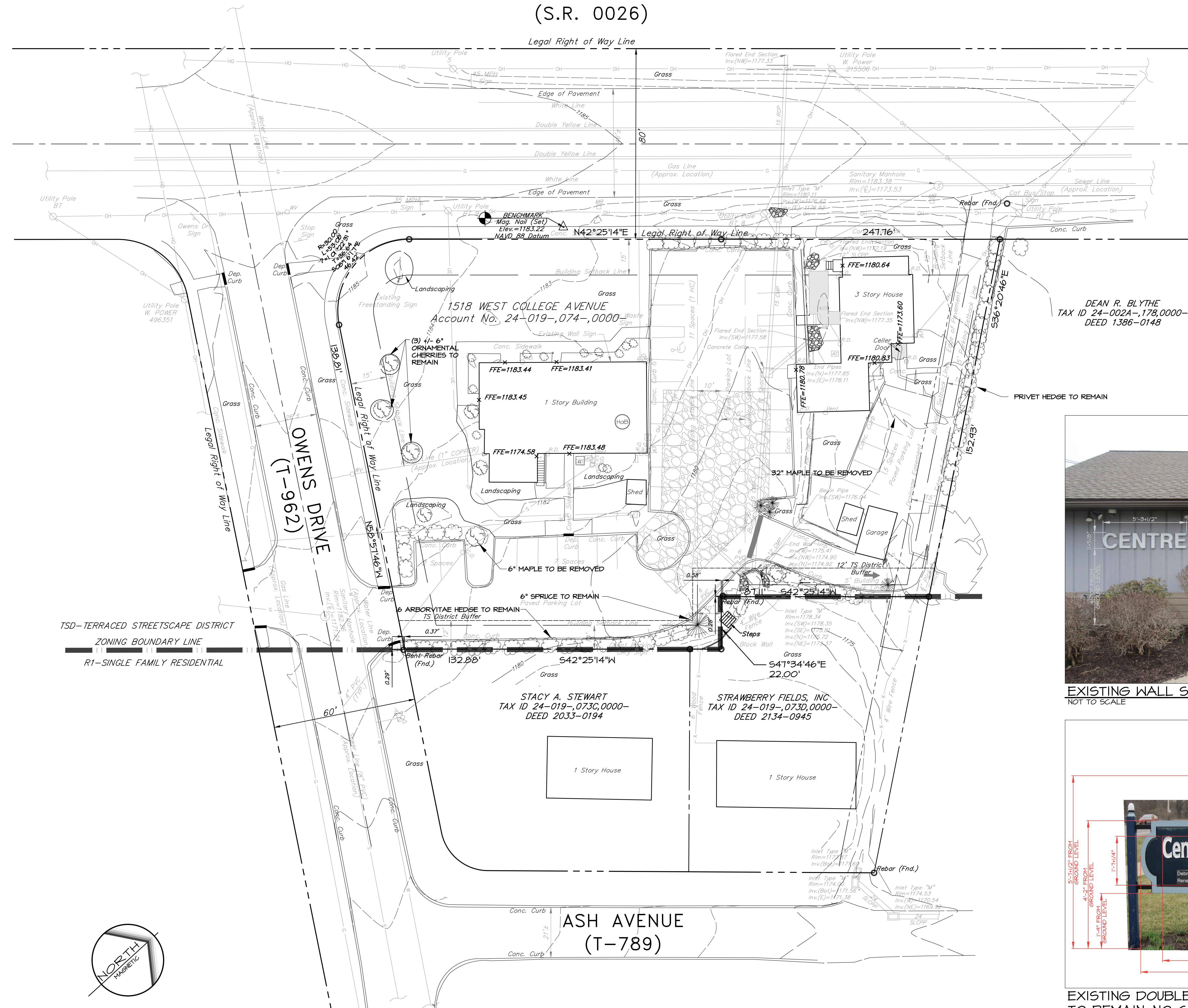
SUBJECT:  
**COVER SHEET**  
FOR  
CENTRE ANIMAL HOSPITAL  
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA  
CLIENT:  
**TUSSEY TRACKS, LLC**  
1518 WEST COLLEGE AVENUE  
STATE COLLEGE, PA 16801  
(814) 238-5100

MANAGER:	THIS	JUNE, 14, 2022
DESIGNER:	THS	PROJECT NO. SC 455-001
DRAWN BY:	TJH	SCALE: NO SCALE

DRAWING NO.  
**1 of 11**



# WEST COLLEGE AVENUE (S.R. 0026)



### LEGEND

	4\"/>		Adjoinder Property Line
	Property Line		Right-of-Way Line
	Centerline		Index Contour
	Intermediate Contour		Spot Elevation
	Curb Line		Edge of Pavement (E.O.P.)
	Min. Bldg Setback Line		Overhead Electric
	Underground Electric		Gas Line
	Sanitary Sewer Line		Sanitary Force Main
	Water Line		Storm Drainage Piping
	Fence		Zoning Line
	Tree Line		Deciduous Trees
	Coniferous Tree		Soil Type

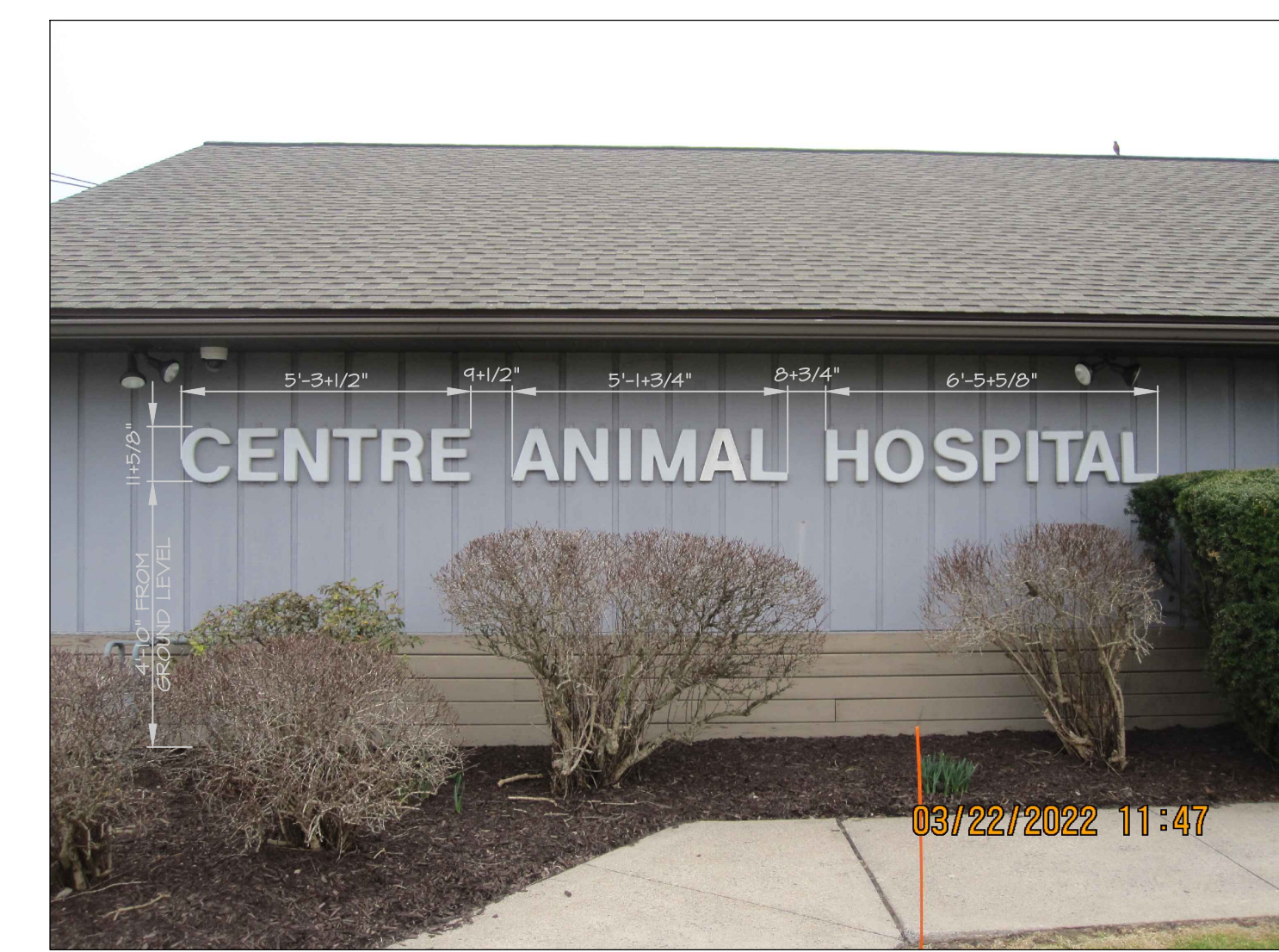
### SOILS LEGEND

HaB HAGERSTON SILT LOAM, 3-8% SLOPES

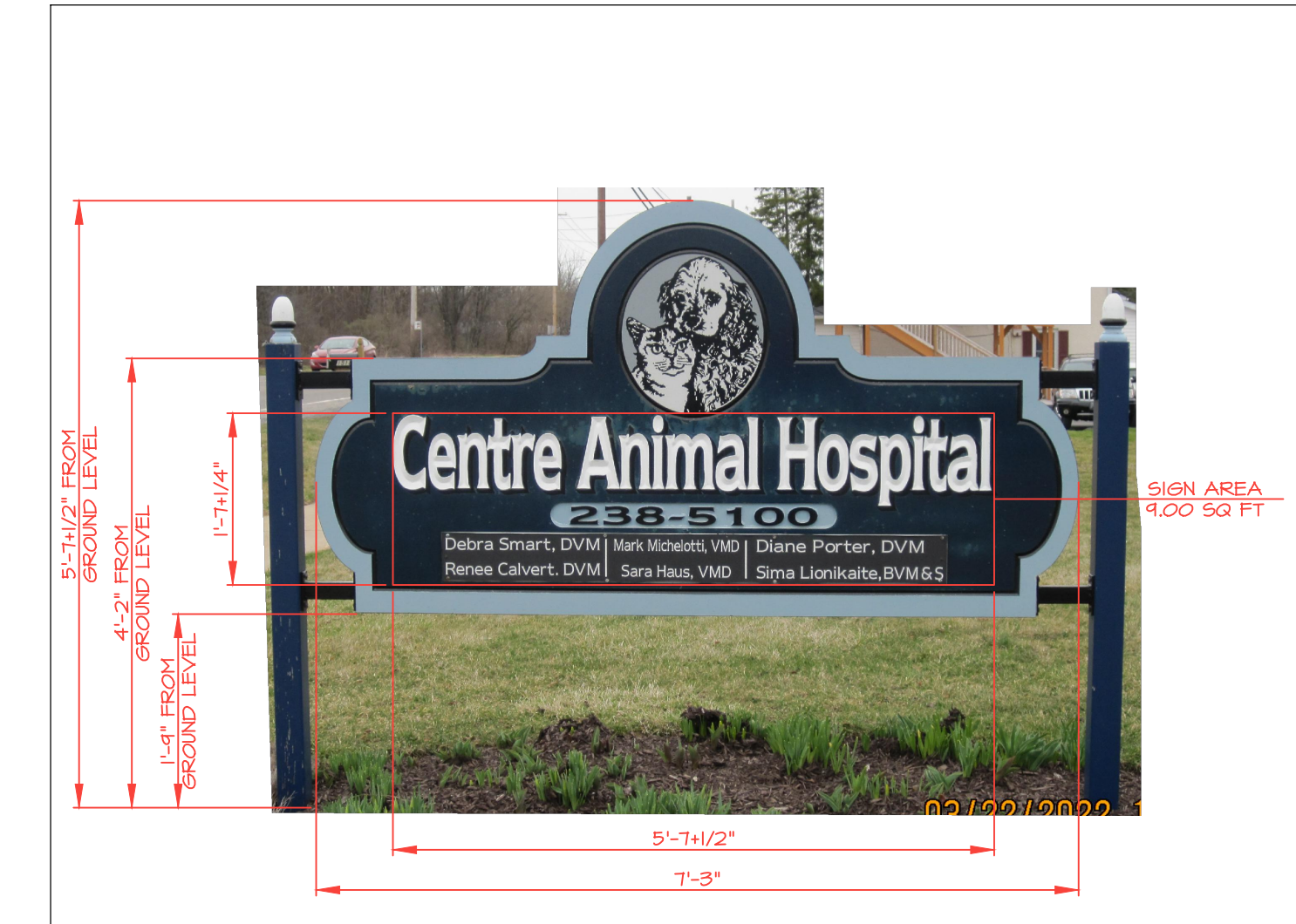
### TREE PROTECTION NOTES

TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION UTILIZING ORANGE CONSTRUCTION FENCING SO AS TO PROTECT THE TREE TRUNK, BRANCHES, AND ELIMINATE SOIL COMPACTION OVER THE ROOT ZONE TO THE BEST ABILITY POSSIBLE WHILE MAINTAINING THE ABILITY TO COMPLETE THE CONSTRUCTION OF THE PROJECT.

DEAN R. BLYTHE  
TAX ID 24-002A-,178,0000-  
DEED 1386-0148



EXISTING WALL SIGN - TO BE REMOVED  
NOT TO SCALE



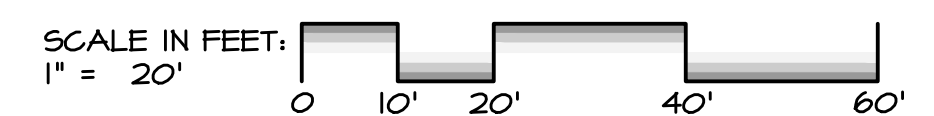
EXISTING DOUBLE-SIDED FREESTANDING SIGN  
TO REMAIN, NO CHANGES  
NOT TO SCALE

REVISIONS PER:	DATE:	BY:
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4.	-	-
5.	-	-

FINAL LAND DEVELOPMENT  
SUBJECT:  
EXISTING CONDITIONS PLAN  
FOR  
CENTRE ANIMAL HOSPITAL  
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA  
CLIENT:  
TUSSEY TRACKS, LLC  
1518 WEST COLLEGE AVENUE  
STATE COLLEGE, PA 16801  
(814) 238-5100

MANAGER: THS JUNE, 14, 2022  
DESIGNER: THS PROJECT NO. SC 455-001  
DRAWN BY: TJH SCALE: 1" = 20'

DRAWING NO.  
**2 OF 11**



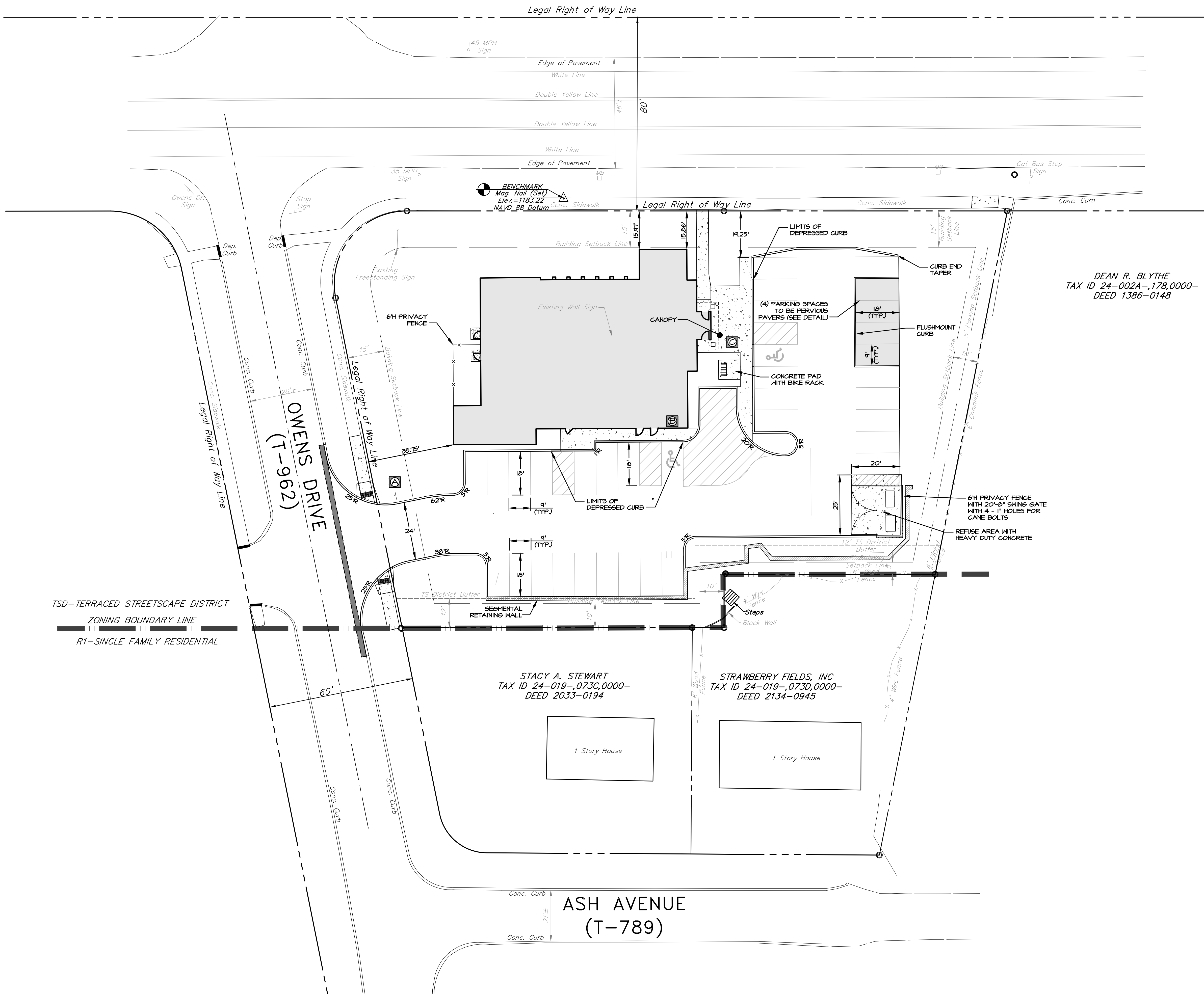


# WEST COLLEGE AVENUE (S.R. 0026)

## LINE AND SYMBOL LEGEND

EXISTING		
---	PROPERTY LINE	---
---	LEGAL RIGHT-OF-WAY LINE	---
---	EASEMENT LINE	---
---	EDGE OF PAVEMENT	---
---	ROAD CURB	---
---	BUILDING SETBACK	---
---	ZONING BOUNDARY	---
□	CONCRETE SIDEWALK	□
○	PROPERTY PIN SET	○
○	PROPERTY PIN FOUND	○
○	END OF LINE SEGMENT	○
○	SIGN	○
□	STRUCTURE	□
PROPOSED		
---	EDGE OF ROAD	---
---	ROAD CURB	---
---	FENCE	---
♿	ACCESSIBLE PARKING	♿
□	CONCRETE PAVING	□

TRAFFIC SIGNAGE LEGEND					
SYMBOL	DESCRIPTION	SIZE	PA DOT DESIGNATION	NOTES	QUANTITY
⊠	STOP	24" X 24"	RI-1	W/ BREAK-AWAY POST	1
⊠	HANDICAP PARKING MINIMUM FINE TON AWAY ZONE	12" X 18" 6" X 12" 6" X 12"	RT-8 RT-8P RT-201AP	SEE DETAIL	1
⊠	HANDICAP PARKING VAN ACCESSIBLE MINIMUM FINE TON AWAY ZONE	12" X 18" 6" X 12" 6" X 12"	RT-8 RT-8P RT-8P RT-201AP	SEE DETAIL	1



DEAN R. BLYTHE  
TAX ID 24-002A-178,000-  
DEED 1386-0148

STACY A. STEWART  
TAX ID 24-019-073C,000-  
DEED 2033-0194

STRAWBERRY FIELDS, INC  
TAX ID 24-019-073D,000-  
DEED 2134-0945

TSD-TERRACED STREETSCAPE DISTRICT  
ZONING BOUNDARY LINE  
R1-SINGLE FAMILY RESIDENTIAL

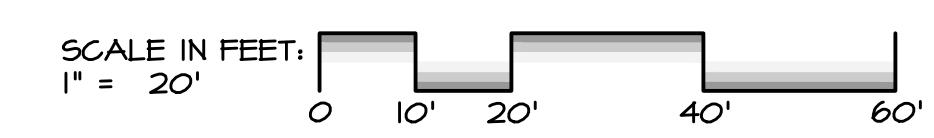
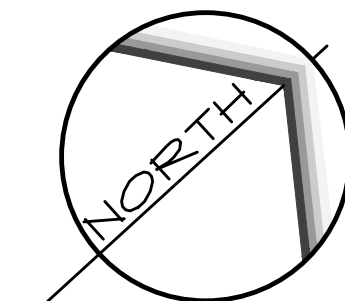
REVISIONS PER:	DATE:	BY:
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4.	-	-
5.	-	-



FINAL LAND DEVELOPMENT  
SUBJECT:  
SITE LAYOUT PLAN  
FOR  
CENTRE ANIMAL HOSPITAL  
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA  
CLIENT:  
TUSSEY TRACKS, LLC  
1518 WEST COLLEGE AVENUE  
STATE COLLEGE, PA 16801  
(814) 238-5100

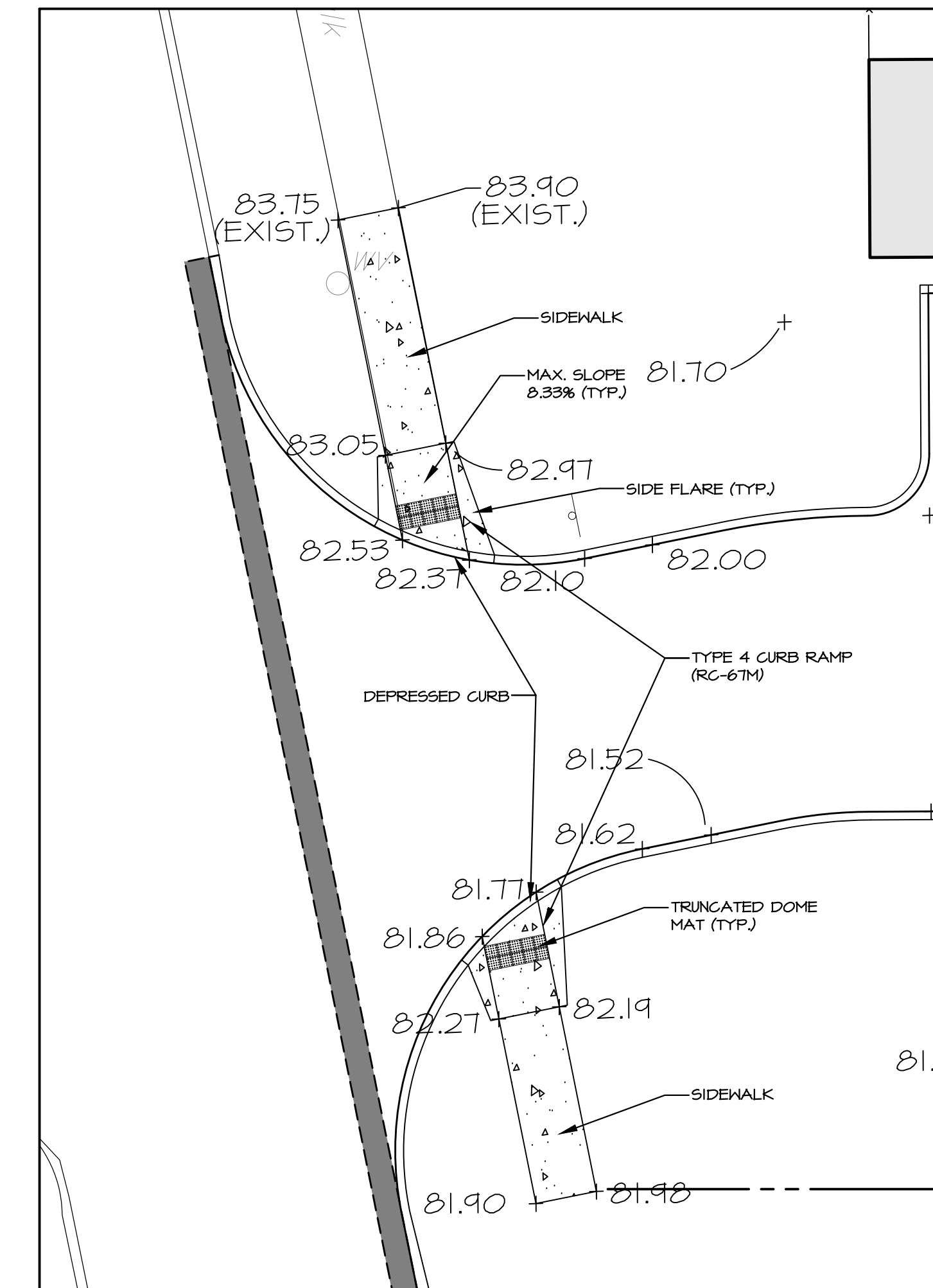
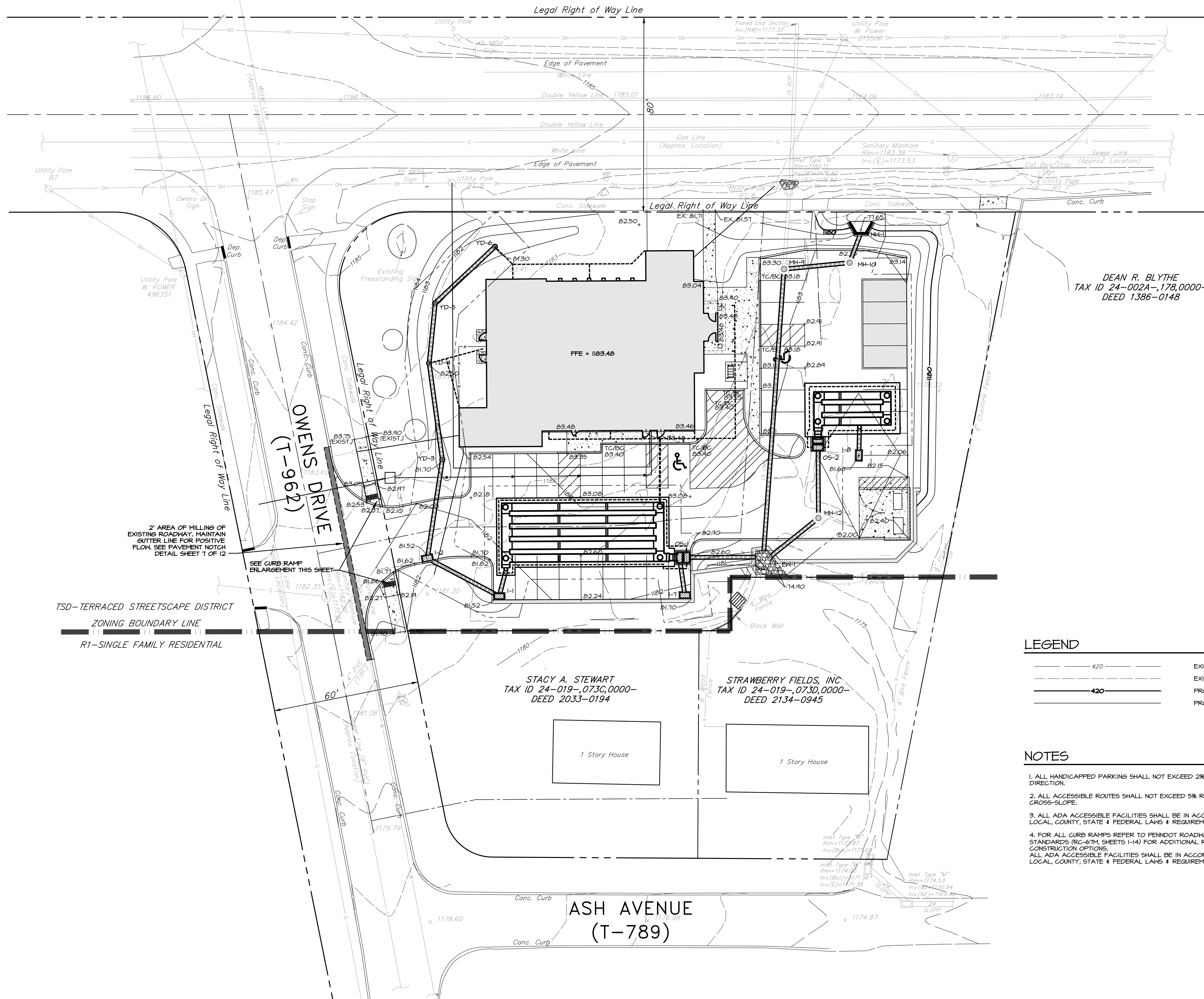
MANAGER:	THS	JUNE, 14, 2022
DESIGNER:	THS	PROJECT NO. SC 455-001
DRAWN BY:	TJH	SCALE: 1" = 20'

DRAWING NO.  
**3 OF 11**





# WEST COLLEGE AVENUE (S.R. 0026)



**CURB RAMP ENLARGEMENT**  
SCALE: 1" = 10'

DEAN R. BLYTHE  
TAX ID 24-002A-178,000-  
DEED 1386-0148

STACY A. STEWART  
TAX ID 24-019-073C,000-  
DEED 2033-0194

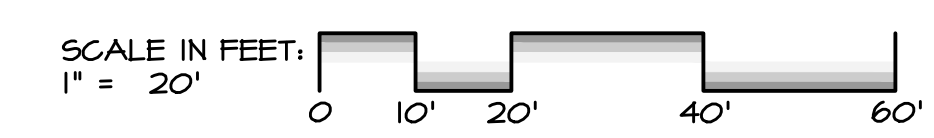
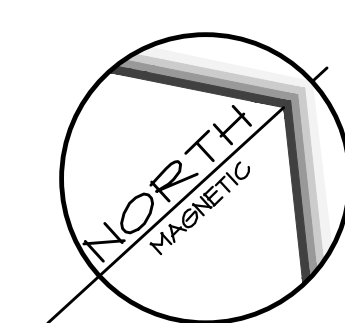
STRAWBERRY FIELDS, INC.  
TAX ID 24-019-073D,000-  
DEED 2134-0945

TSD-TERRACED STREETSCAPE DISTRICT  
ZONING BOUNDARY LINE  
R1-SINGLE FAMILY RESIDENTIAL

**LEGEND**

	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR

- NOTES**
1. ALL HANDICAPPED PARKING SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
  2. ALL ACCESSIBLE ROUTES SHALL NOT EXCEED 5% RUNNING SLOPE AND 2% CROSS-SLOPE.
  3. ALL ADA ACCESSIBLE FACILITIES SHALL BE IN ACCORDANCE WITH ALL LOCAL, COUNTY, STATE & FEDERAL LAWS & REQUIREMENTS AS APPLICABLE.
  4. FOR ALL CURB RAMP REFER TO PENNDOT ROADWAY CONSTRUCTION STANDARDS (RC-6TM, SHEETS I-14) FOR ADDITIONAL RAMP DETAILS AND CONSTRUCTION OPTIONS. ALL ADA ACCESSIBLE FACILITIES SHALL BE IN ACCORDANCE WITH ALL LOCAL, COUNTY, STATE & FEDERAL LAWS & REQUIREMENTS AS APPLICABLE.



REVISIONS PER: DATE: BY:

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3.	-	-
4.	-	-
5.	-	-

**FINAL LAND DEVELOPMENT**

SUBJECT:  
**GRADING AND DRAINAGE PLAN**  
FOR  
CENTRE ANIMAL HOSPITAL  
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

CLIENT:  
**TUSSEY TRACKS, LLC**  
1518 WEST COLLEGE AVENUE  
STATE COLLEGE, PA 16801  
(814) 238-5100

MANAGER:	THS	JUNE, 14, 2022
DESIGNER:	THS	PROJECT NO. SC 455-001
DRAWN BY:	TJH	SCALE: 1" = 20'

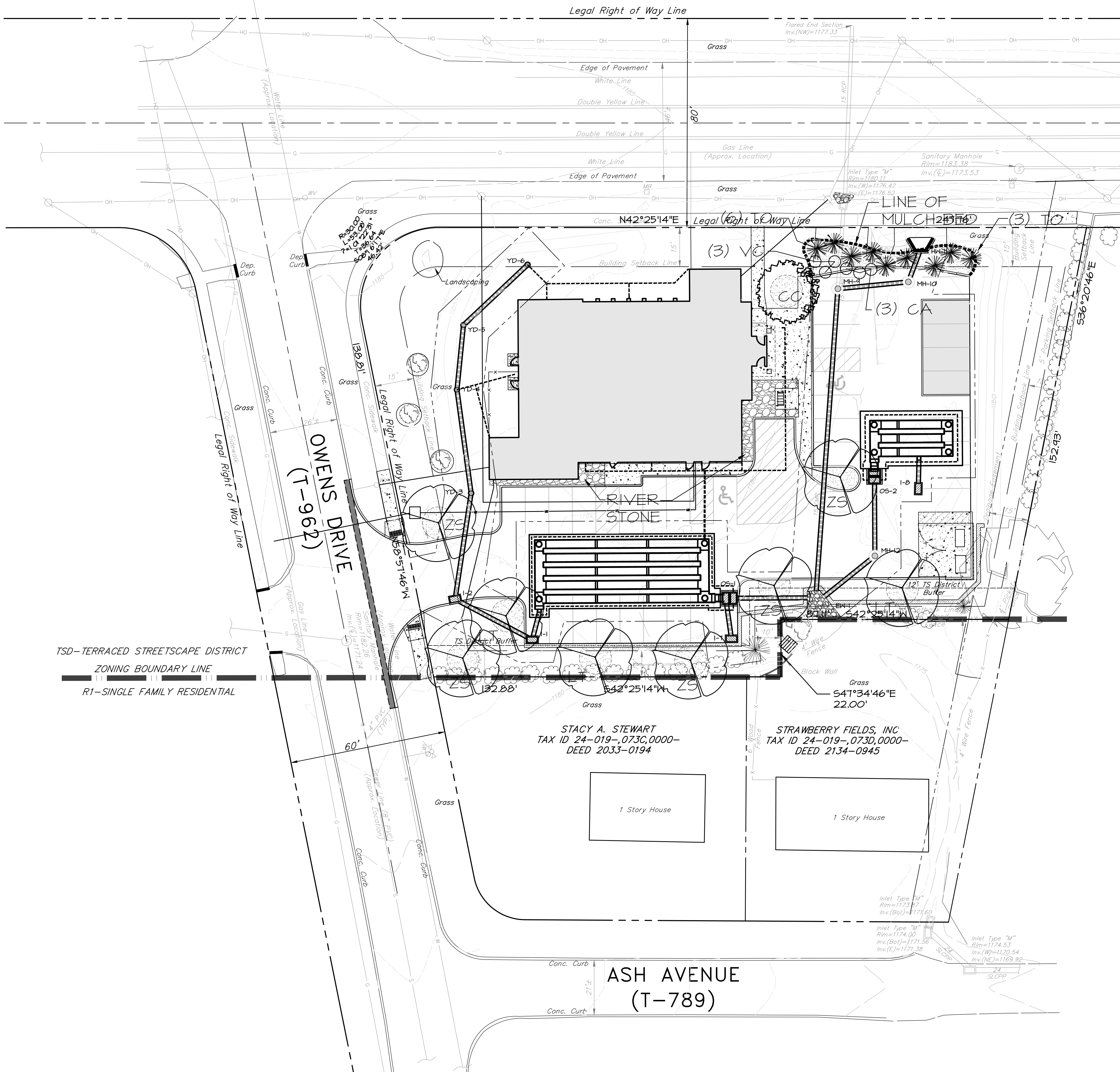
DRAWING NO.  
**4 OF 11**







# WEST COLLEGE AVENUE (S.R. 0026)



## PLANT SCHEDULE

TREES						
KEY	SCIENTIFIC NAME	COMMON NAME	SIZE	CONTAINER	COMMENTS	HEIGHT (FT) AT MATURITY
LT	Liriodendron tulipifera	Tulip Tree	2-1/2' - 3'	B#B		80
ZS	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2-1/2' - 3'	B#B		70
QP	Quercus palustris	Pin Oak	2-1/2' - 3'	B#B		70
CC	Cercis canadensis	Redbud	8 - 10'	B#B	Single Stem	35

## SHRUBS

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE	CONTAINER	COMMENTS
VC	Viburnum carlesii	Korean Spice Viburnum	30 - 36"	B#B	
CA	Clethra alnifolia	Summersweet	18 - 24"	B#B	
TO	Thuja occidentalis	Northern White Cedar	48-54"	B#B	

## TURF & SPECIALTY GRASS MIXES

KEY	USE/AREA	SEED/MIX NAME	SEEDING RATE
-	Temporary Soil Stabilization	Annual Ryegrass	2 Pounds per 1,000 Square Feet
-	General Lawn and Restoration	20% Perennial Ryegrass 50% Kentucky Bluegrass (3 varieties) 30% Hard Fescue	4 - 5 Pounds per 1,000 Square Feet

## LEGEND

KEY	SCIENTIFIC NAME	QUANTITY
LT	Liriodendron tulipifera	3
ZS	Zelkova serrata 'Green Vase'	5
CC	Cercis canadensis	1
VC	Viburnum carlesii	3
CA	Clethra alnifolia	3
TO	Thuja occidentalis	4
[Hatched Box]	AREA OF HARDWOOD MULCH	

## NOTES:

- ALL TREES AND SHRUBS SHALL BE PLANTED IN ACCORDANCE WITH THE "GUIDE TO PLANTING IN FERUGSON TOWNSHIP".
- TREES REGULATED BY THE TREE PRESERVATION AND PROTECTION ORDINANCE SHALL BE REPLACED IF DEATH OCCURS. REPLACEMENT SHALL BE IN ACCORDANCE WITH THE ORDINANCE AND SHALL OCCUR DURING THE FALL PLANTING SEASON PER THE AMERICAN ARBORISTS SOCIETY.

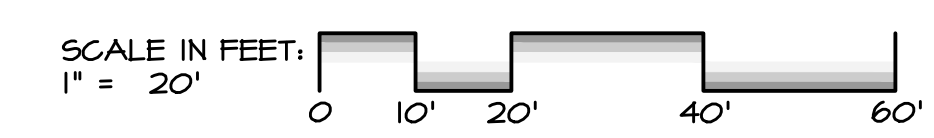
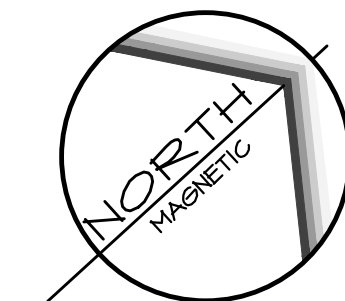
TSD—TERRACED STREETSCAPE DISTRICT  
ZONING BOUNDARY LINE  
R1—SINGLE FAMILY RESIDENTIAL

STACY A. STEWART  
TAX ID 24-019-073C,0000-  
DEED 2033-0194

STRAWBERRY FIELDS, INC  
TAX ID 24-019-073D,0000-  
DEED 2134-0945

1 Story House

1 Story House



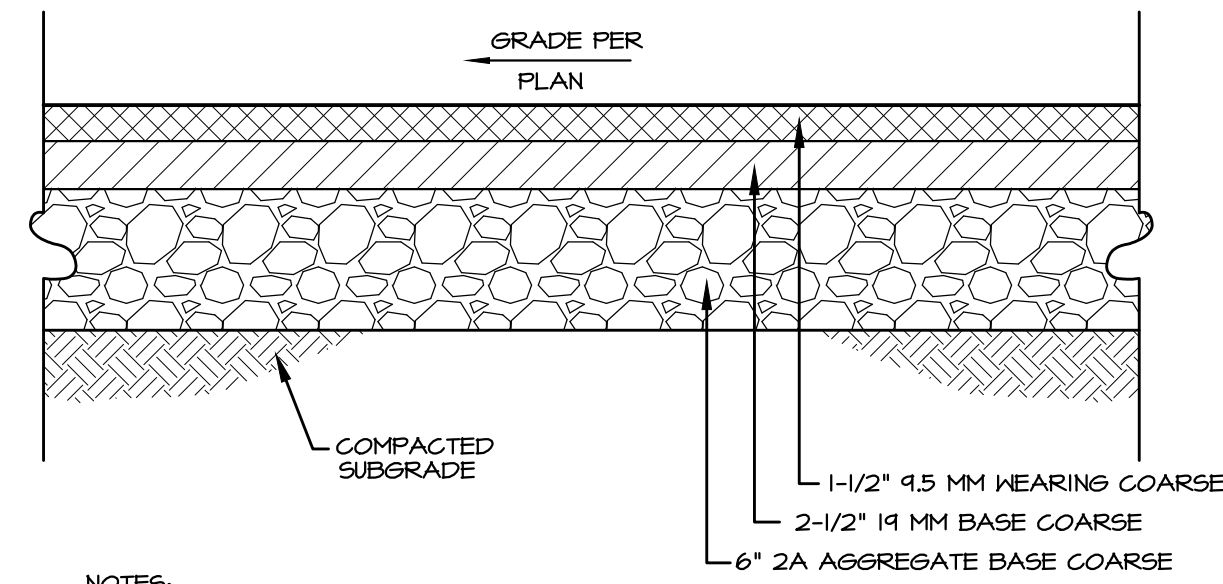
REVISIONS PER:	DATE:	BY:
1.	-	-
2.	-	-
3.	-	-
4.	-	-
5.	-	-

FINAL LAND DEVELOPMENT  
SUBJECT:  
**LANDSCAPING PLAN**  
FOR  
CENTRE ANIMAL HOSPITAL  
FERUGSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA  
CLIENT:  
**TUSSEY TRACKS, LLC**  
1518 WEST COLLEGE AVENUE  
STATE COLLEGE, PA 16801  
(814) 238-5100

MANAGER:	THS	JUNE, 14, 2022
DESIGNER:	THS	PROJECT NO. SC 455-001
DRAWN BY:	TJH	SCALE: 1" = 20'

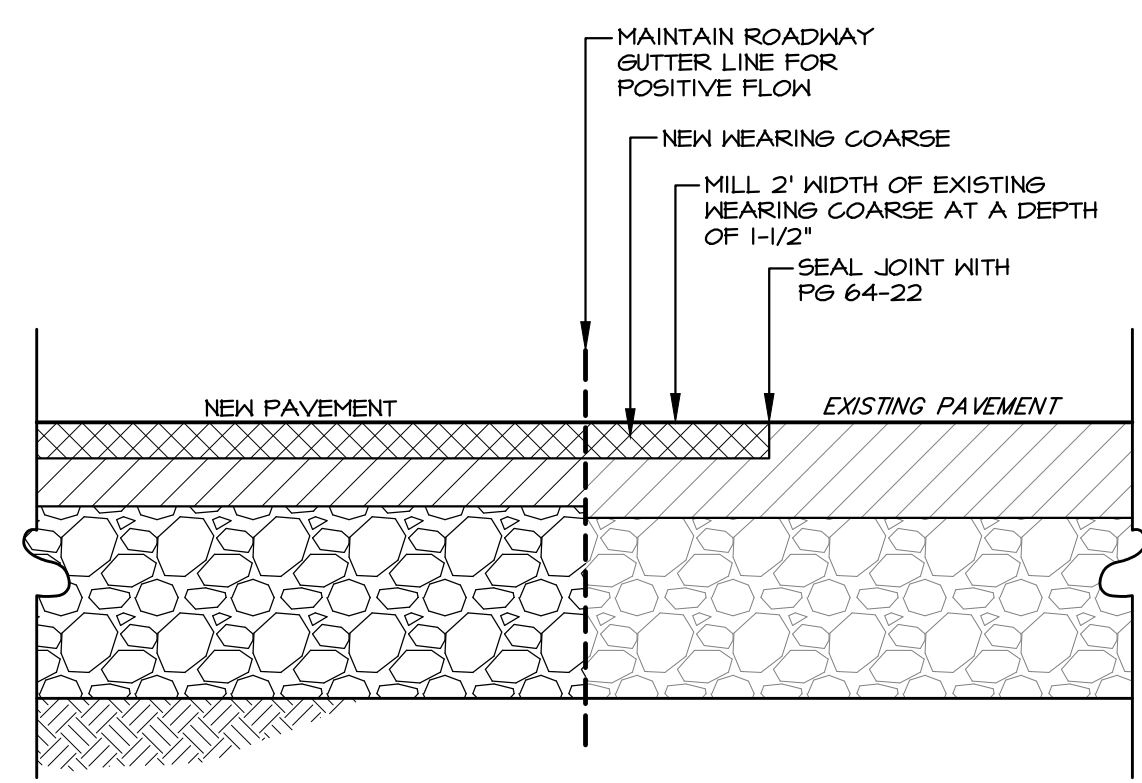
DRAWING NO.  
**6 OF 11**



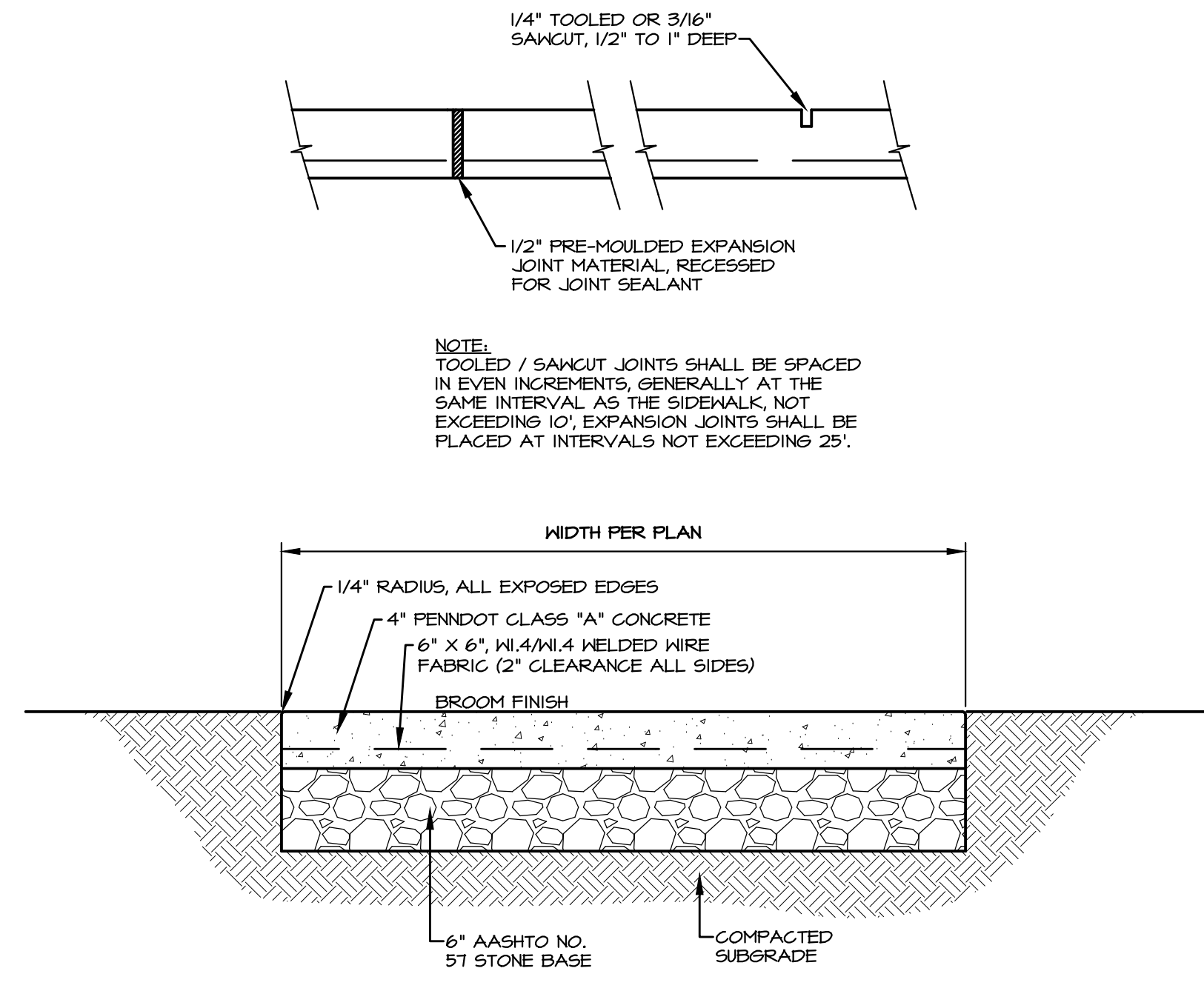


- NOTES:
- "SUPERPAVE" ASPHALT DESIGN, LESS THAN 0.3 MILLION ESALS, 50 GYRATIONS. ASPHALT TO BE PG 64-22.
  - ALL BITUMINOUS PAVING SUBGRADE AND AGGREGATE BASE COURSE COMPACTED TO 98% STANDARD PROCTOR (ASTM D698).

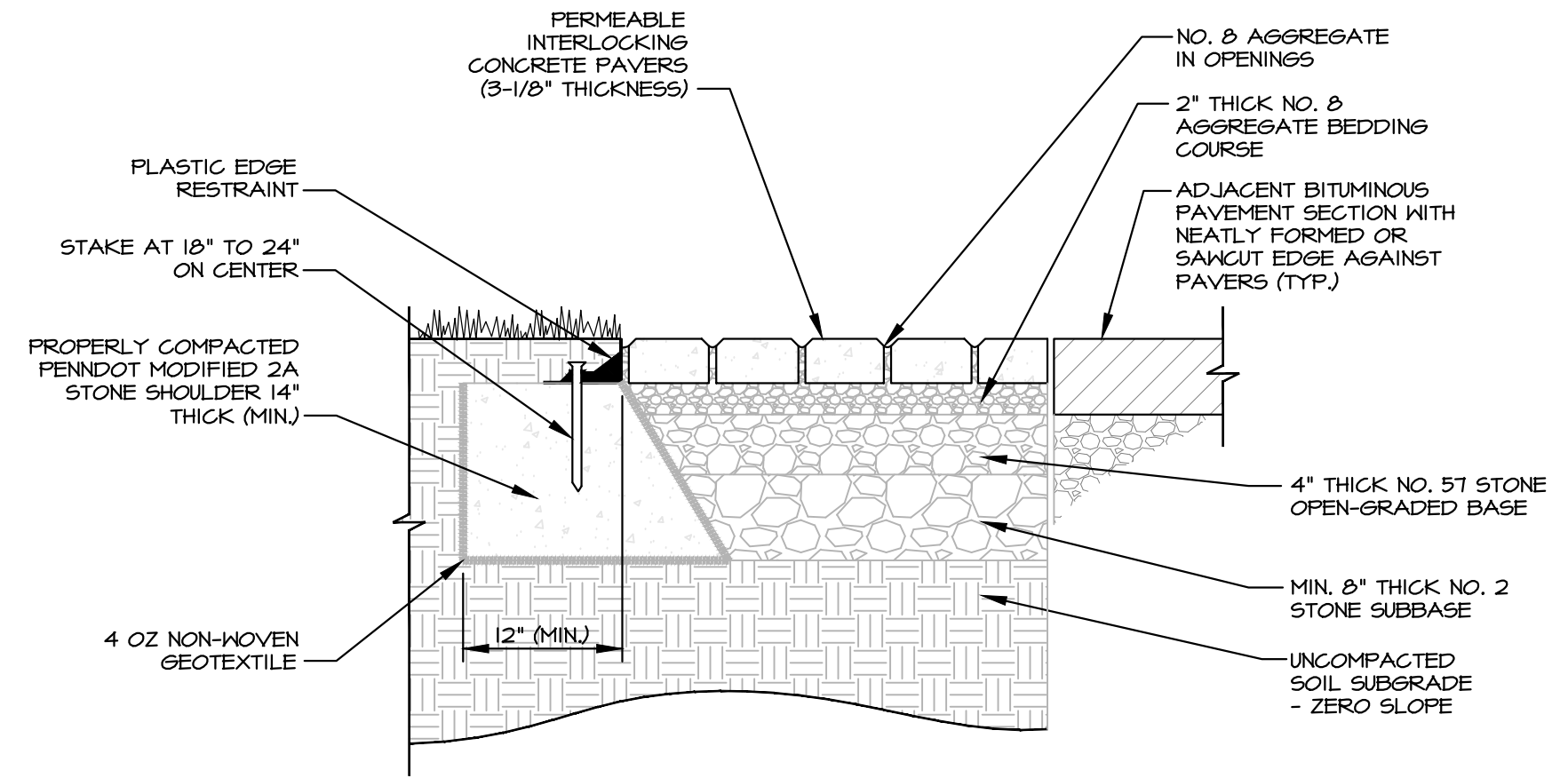
**BITUMINOUS PAVING SECTION (STANDARD DUTY)**  
NO SCALE



**PAVEMENT NOTCH DETAIL**  
NO SCALE

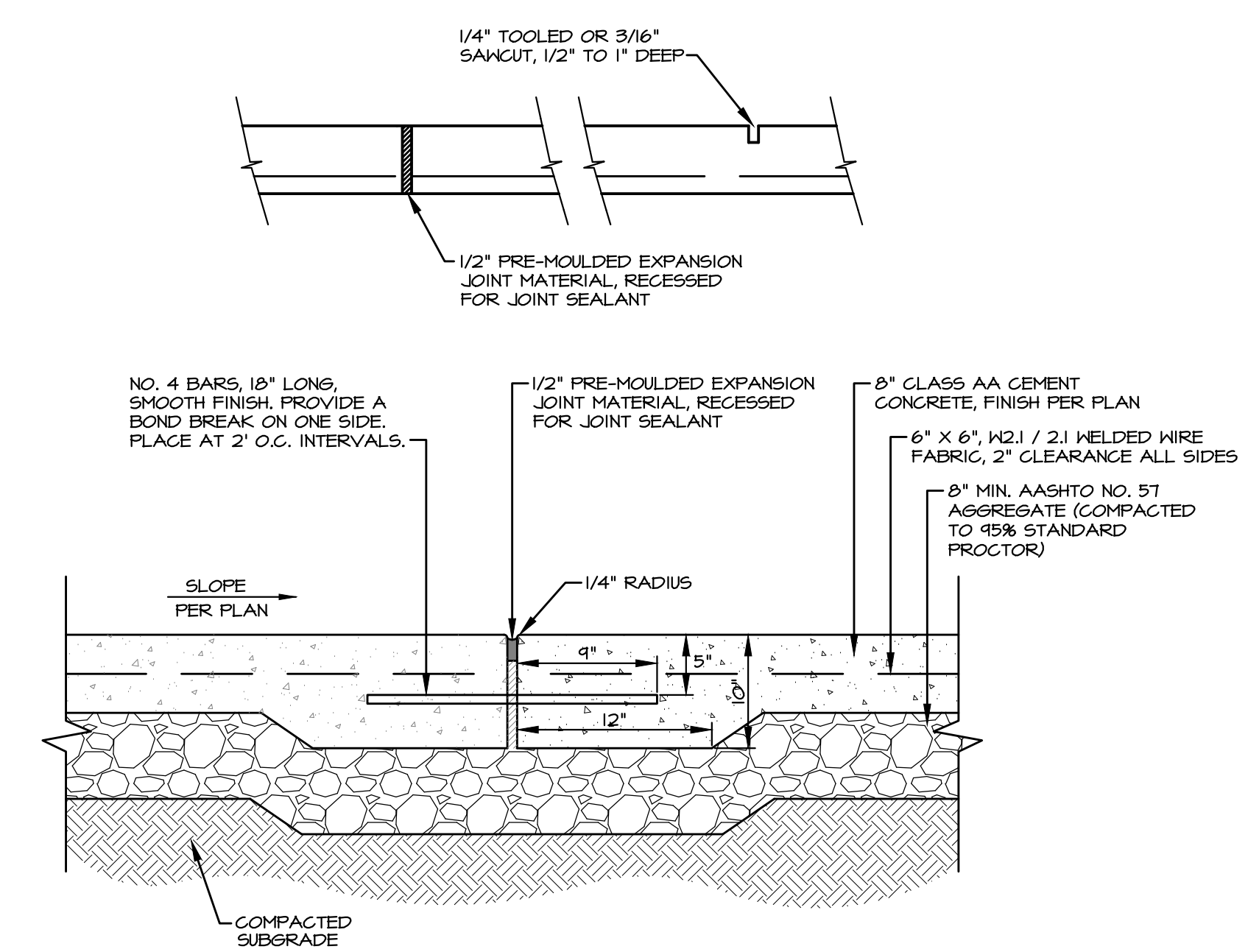


**CONCRETE PAVING (SIDEWALKS)**  
NO SCALE

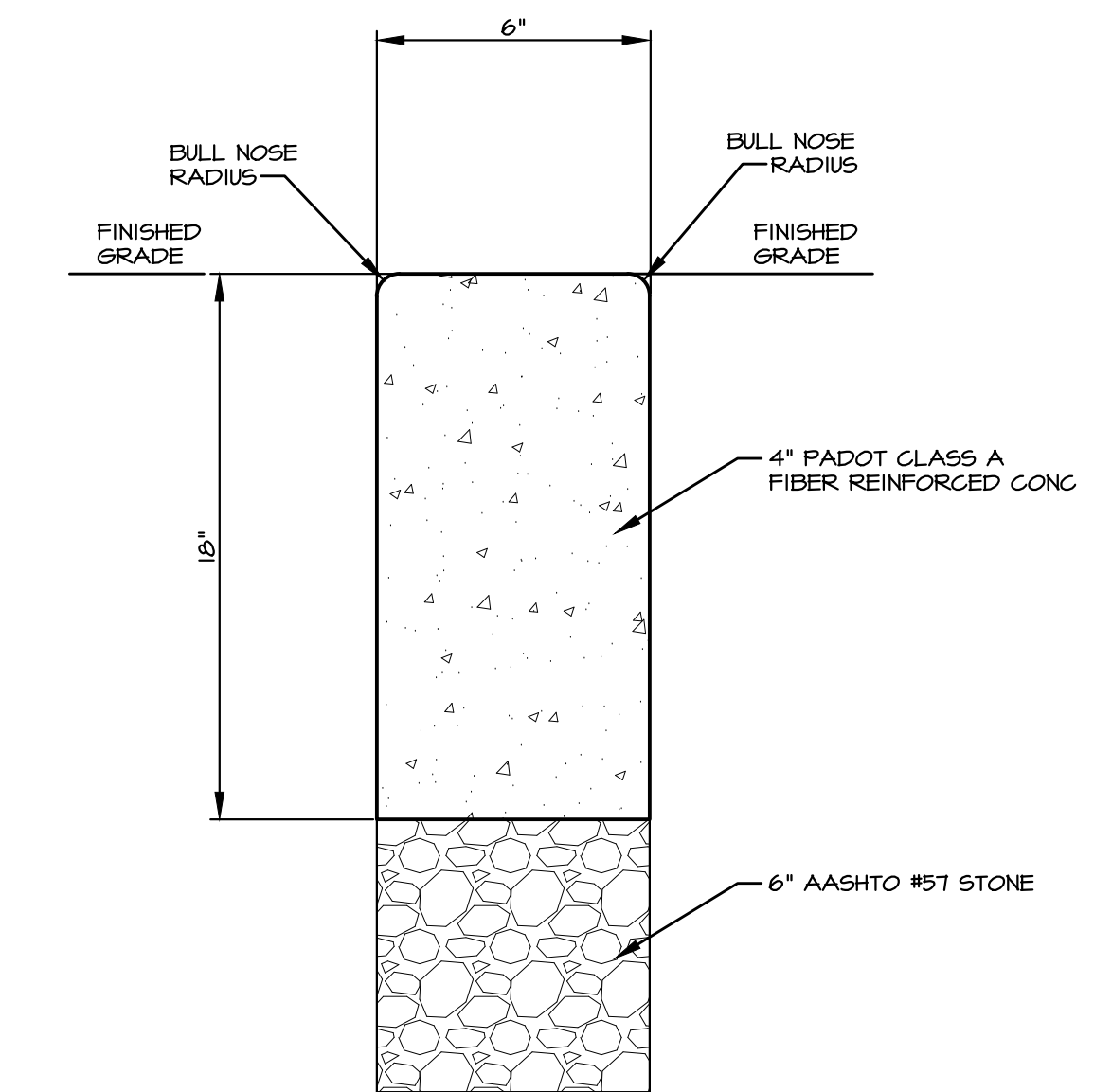


- NOTES:
- CONCRETE PAVER SHALL BE "ECO COBBLE" AS MANUFACTURED BY EP HENRY. THICKNESS OF PAVER SHALL BE AS NOTED ON DETAIL (3-1/8"). COLOR AND PATTERN OF PAVER AREA SHALL BE CHOICE OF OWNER. ANY ALTERNATIVE PAVER MUST BE APPROVED BY THE FERGUSON TOWNSHIP ENGINEER.
  - PAVER INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND AS SHOWN AND DESCRIBED IN THIS DETAIL.
  - FOR AREAS OF PAVERS THAT ARE TO BE INSTALLED AT LOCATIONS THAT DO NOT HAVE NATURAL SUBSOILS (I.E. AT LOCATIONS OF EXISTING BUILDING WALLS/FOUNDATIONS), PREVIOUSLY EXCAVATED ON-SITE SOILS SHALL BE PLACED UP TO THE PROPOSED SUBGRADE ELEVATION AND THE TOP 12" OF THE SUBGRADE SHALL THEN BE REFRACTURED TO BREAK UP COMPACTED SOIL AND PROMOTE INFILTRATION. INFILTRATION TESTING SHALL THEN BE COMPLETED AT THE SUBGRADE ELEVATION. TESTING SHALL BE COMPLETED AS SPECIFIED IN THE "POST-CONSTRUCTION TESTING" NOTES ON PLAN SHEET 8 OF THIS PLAN SET. INFILTRATION TEST RESULTS SHALL BE PROVIDED TO ELA GROUP, INC. FOR APPROVAL PRIOR TO PLACEMENT OF STONE SUBBASE.

**PERMEABLE PAVERS**  
NO SCALE



**HEAVY DUTY CONCRETE PAVING SECTION AND JOINT (SERVICE AREA)**  
NO SCALE



**FLUSHMOUNT CURB**  
NOT TO SCALE

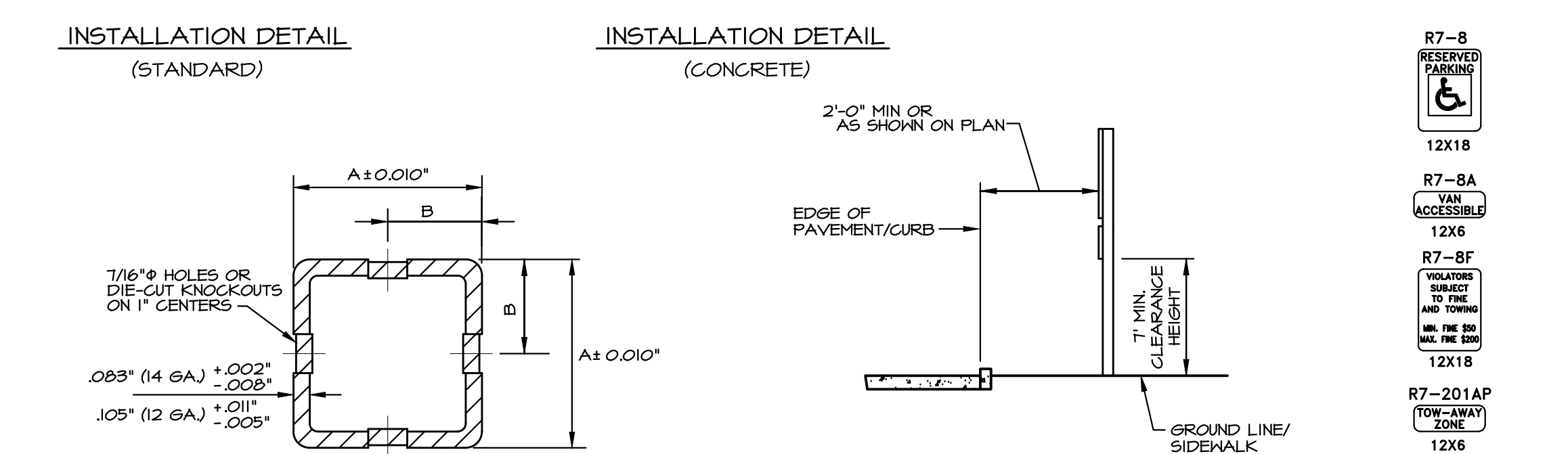
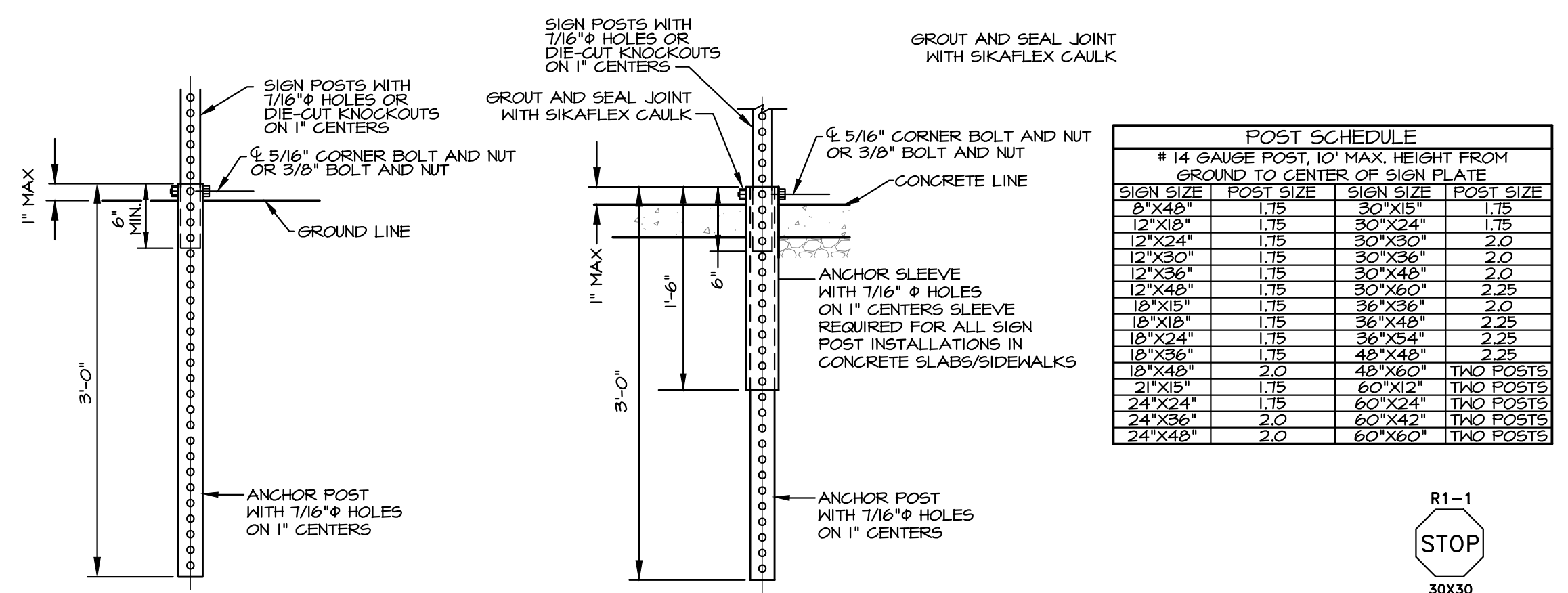
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**FINAL LAND DEVELOPMENT**  
SUBJECT:  
**SITE DETAILS**  
FOR  
CENTRE ANIMAL HOSPITAL  
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA  
CLIENT:  
**TUSSEY TRACKS, LLC**  
1518 WEST COLLEGE AVENUE  
STATE COLLEGE, PA 16801  
(814) 238-5100

MANAGER:	THS	JUNE, 14, 2022
DESIGNER:	THS	PROJECT NO. SC 455-001
DRAWN BY:	TJH	SCALE: AS NOTED

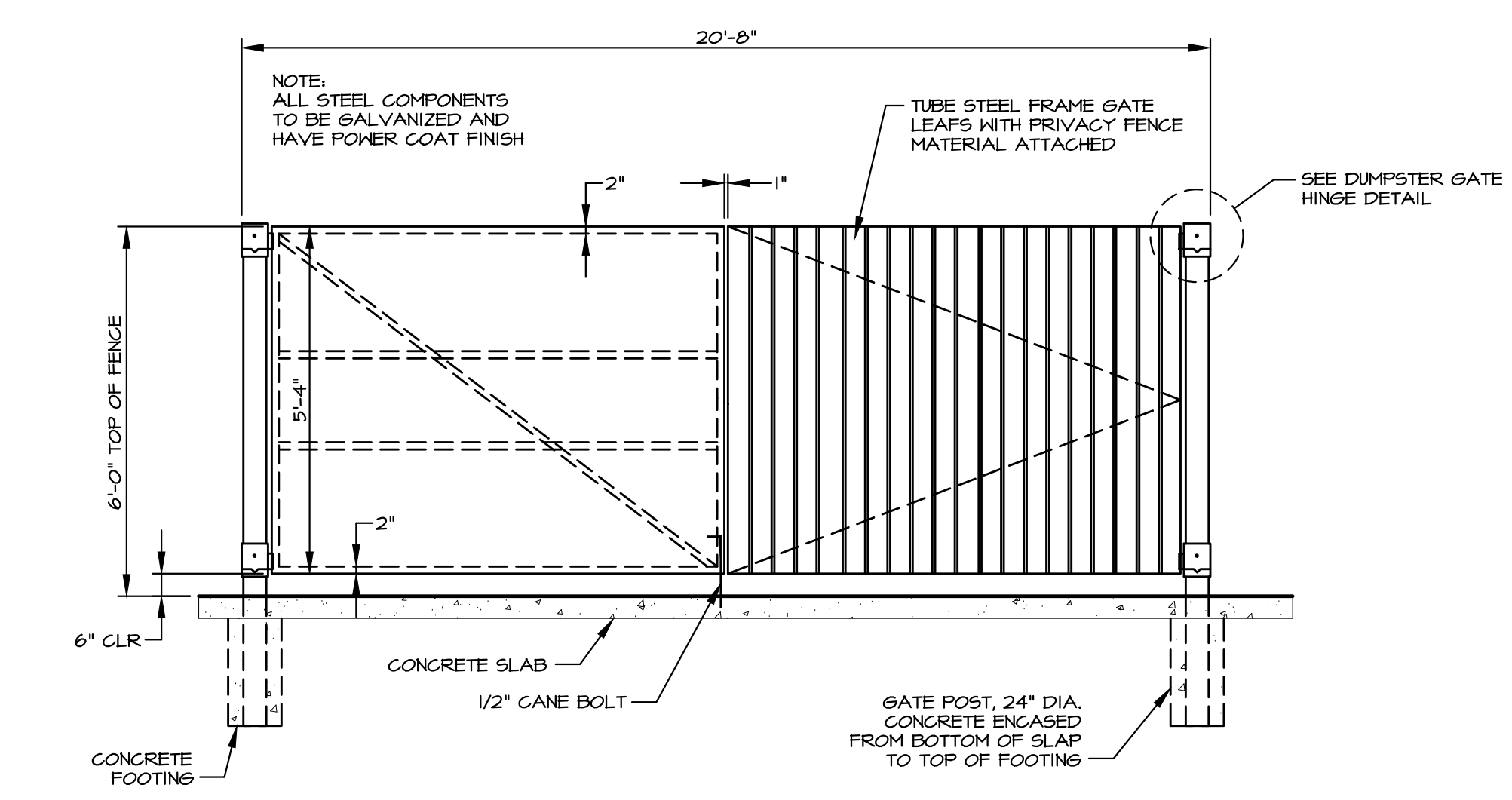
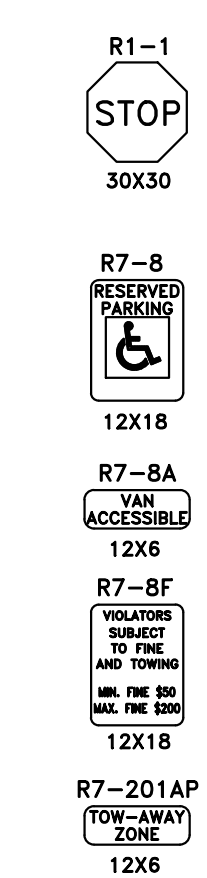
DRAWING NO.  
**7 OF 11**



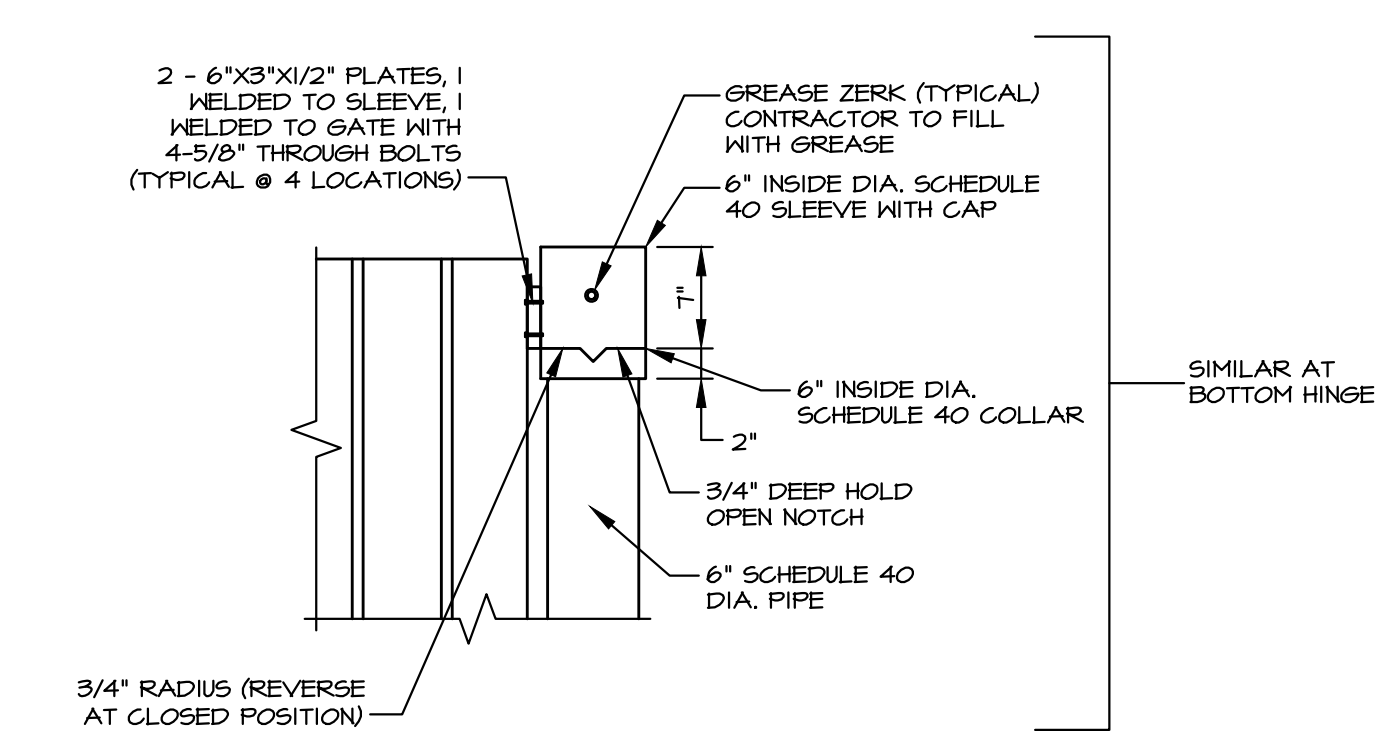
**INSTALLATION NOTES**

1. ALL SIGN MATERIALS SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408/2016, SECTIONS 1029.04 AND 1029.08 AND INSTALLED PER PENNDOT STANDARD DRAWING TC-8102B.
2. SIGN POSTS AND SPLICE SLEEVES SHALL HAVE 7/16" DIAMETER HOLES OR DIE-CUT KNOCKOUTS ON 1" CENTERS ON ALL FOUR SIDES. ANCHOR POSTS AND ANCHOR SLEEVES SHALL HAVE 7/16" DIAMETER HOLES ON 1" CENTERS ON ALL FOUR SIDES.
3. BOLTS AND NUTS SHALL BE ASTM-307, GRADE 2.
4. DRIVE RIVETS MAY BE USED TO FASTEN SIGN BLANKS TO THE SIGN POST.

**SQUARE STEEL POSTS**  
12 AND 14 GAGE - 60 KSI

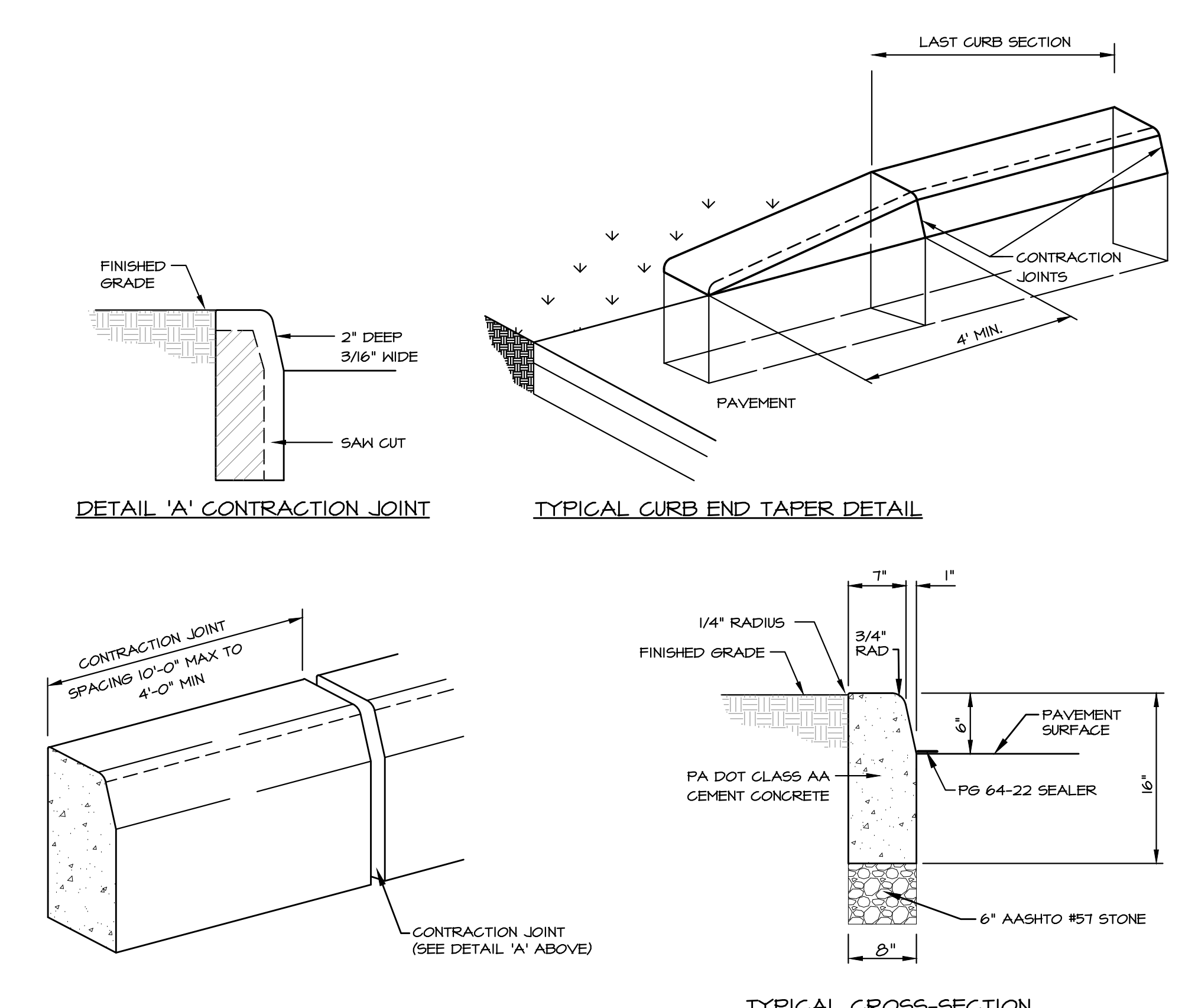


**DUMPSTER GATE ELEVATION**  
NOT TO SCALE

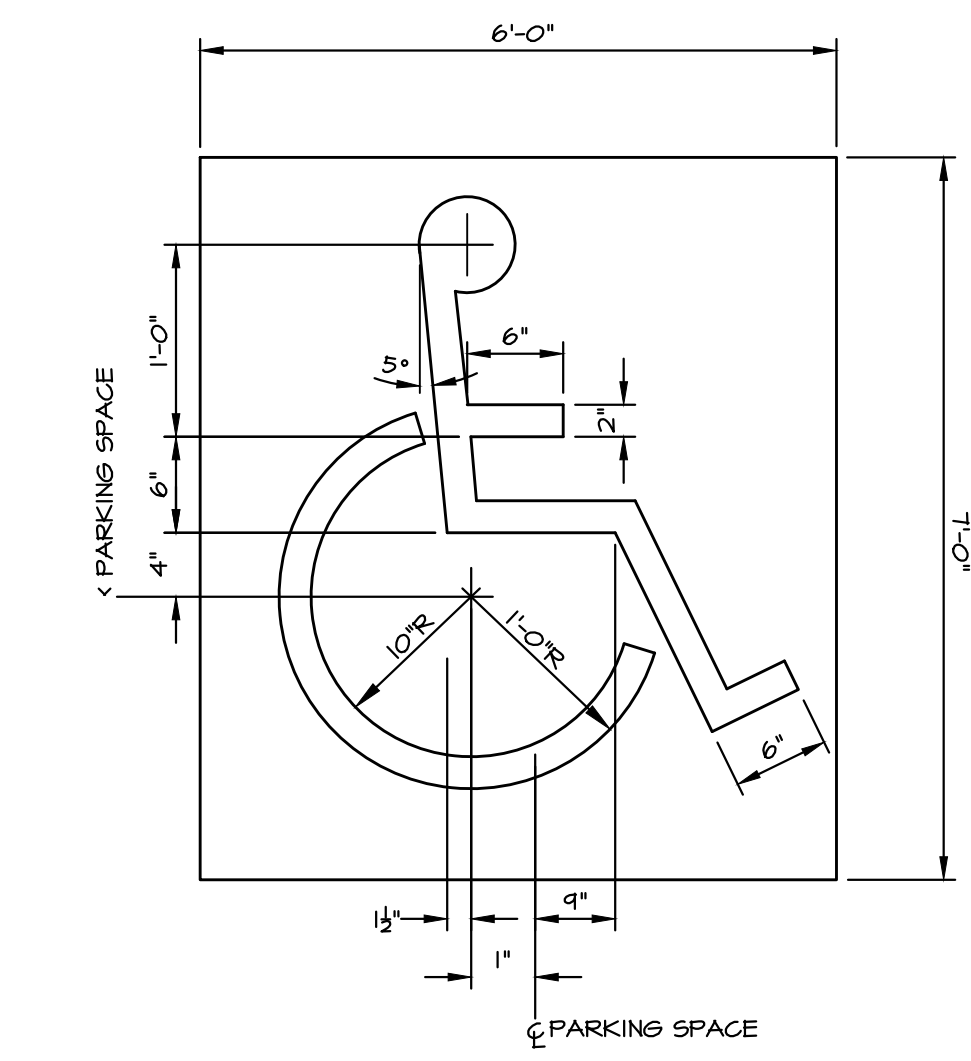


**DUMPSTER GATE HINGE DETAIL**  
NOT TO SCALE

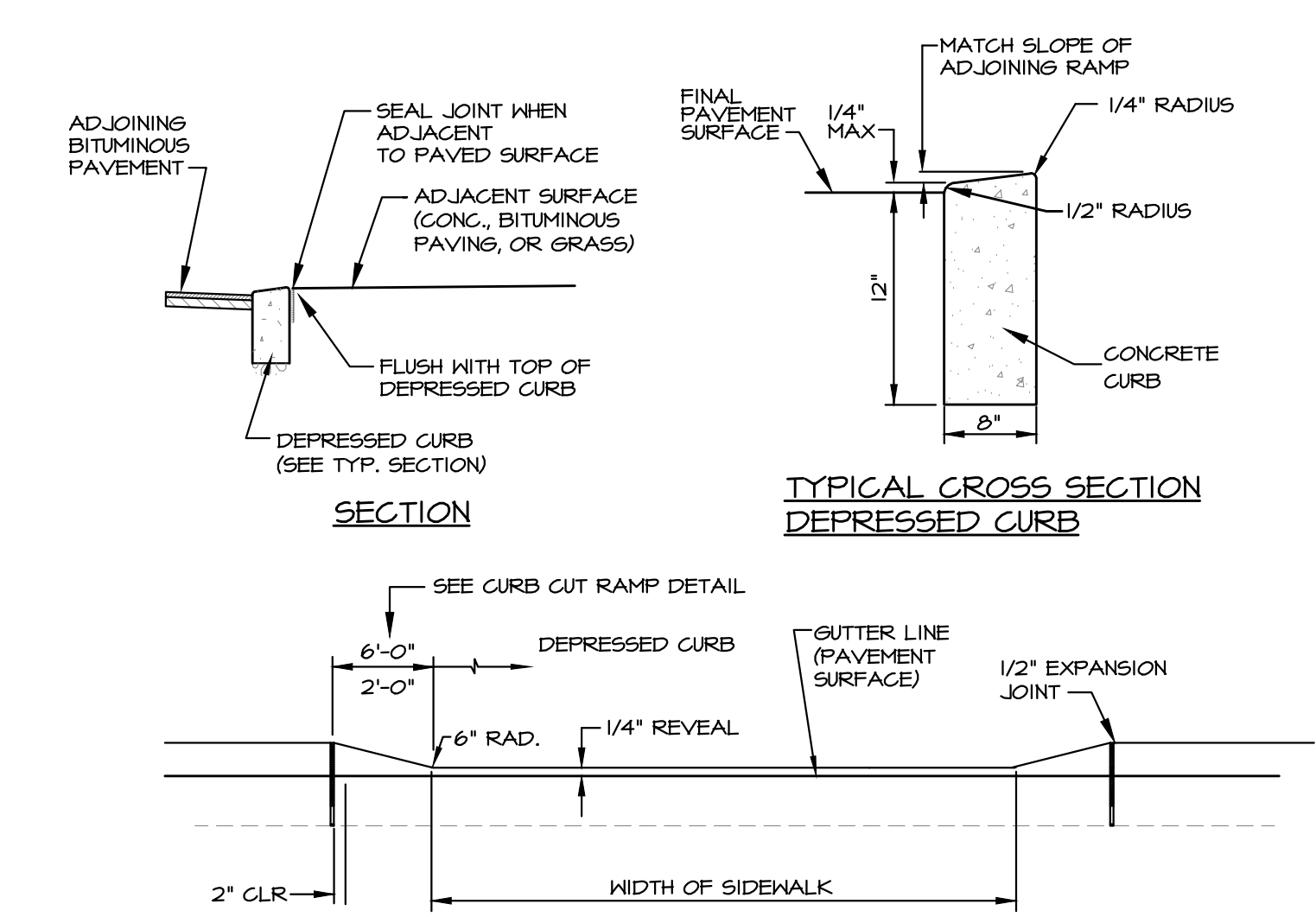
**PADOT TRAFFIC CONTROL SIGN POSTS/INSTALLATION ON SITE**  
NO SCALE



**TYPICAL VERTICAL CURB DETAILS**  
NO SCALE



**HANDICAP SYMBOL**  
NO SCALE



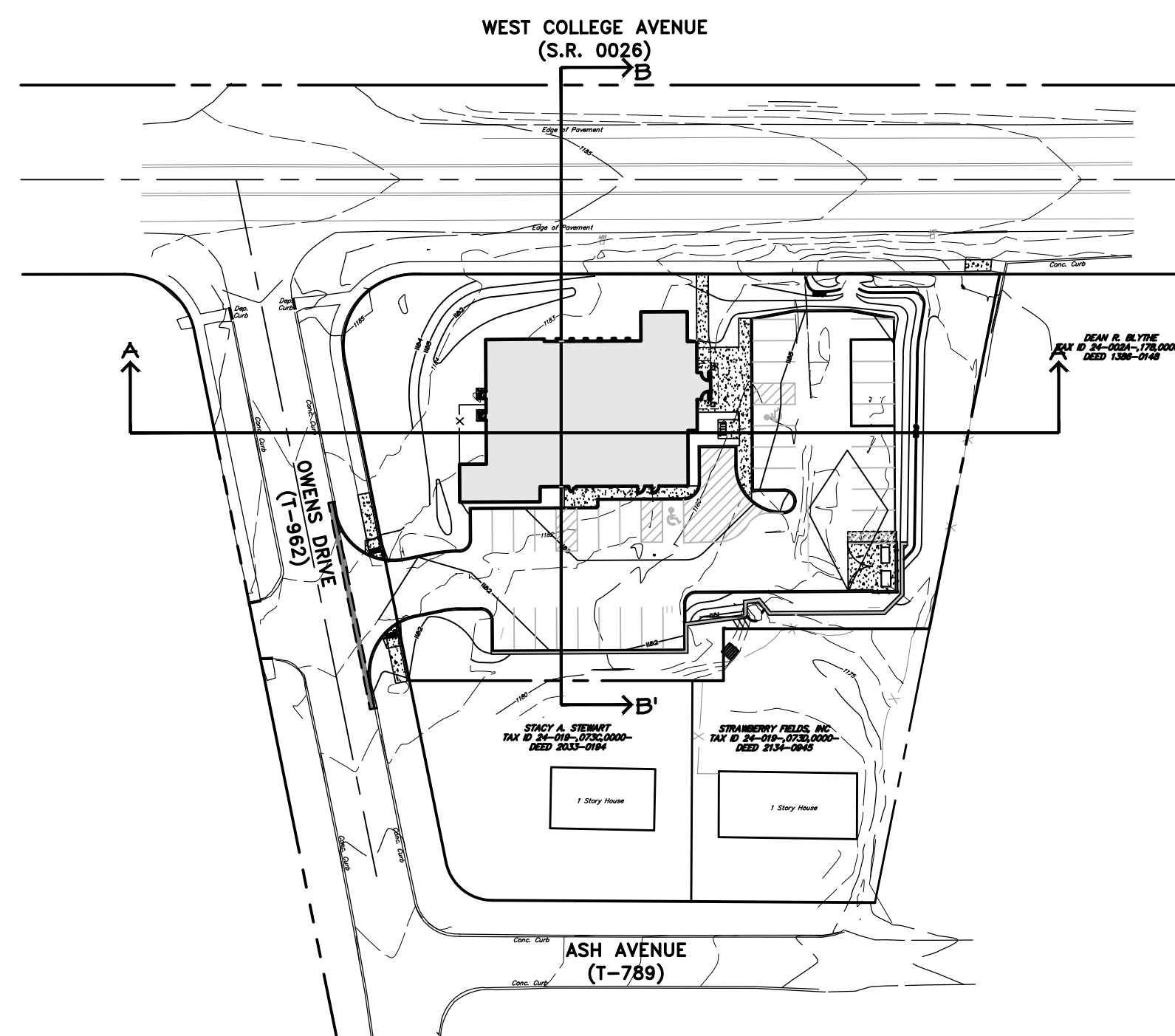
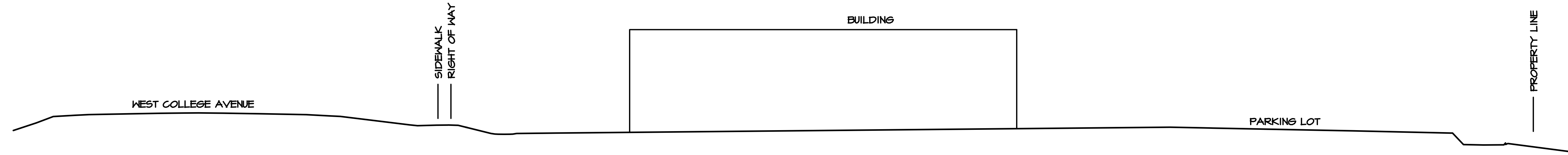
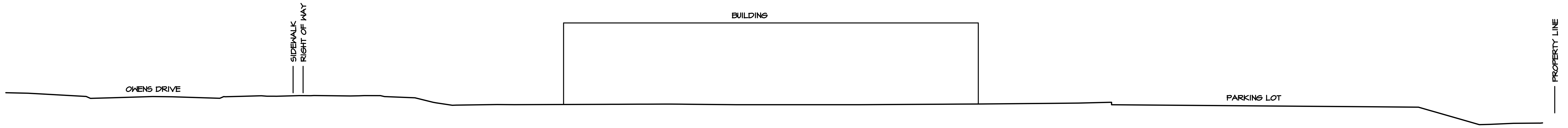
**DEPRESSED CURB**  
NO SCALE

REVISIONS PER:	DATE:	BY:
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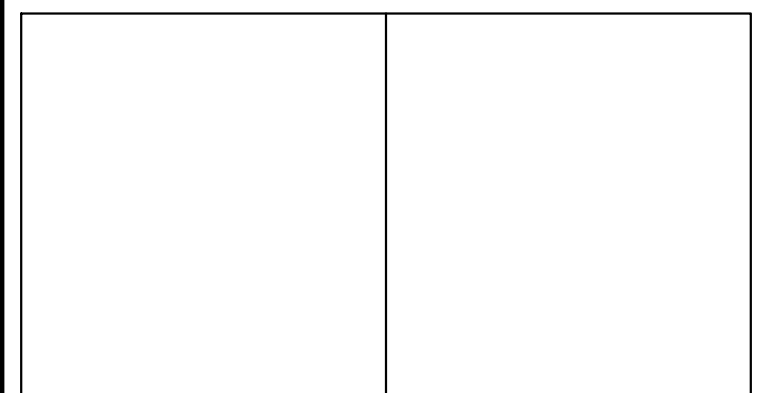
FINAL LAND DEVELOPMENT
SUBJECT:
SITE DETAILS
FOR
CENTRE ANIMAL HOSPITAL
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA
CLIENT:
TUSSEY TRACKS, LLC
1518 WEST COLLEGE AVENUE
STATE COLLEGE, PA 16801
(814) 238-5100

MANAGER:	THS	JUNE, 14, 2022
DESIGNER:	THS	PROJECT NO. SC 455-001
DRAWN BY:	TJH	SCALE: AS NOTED





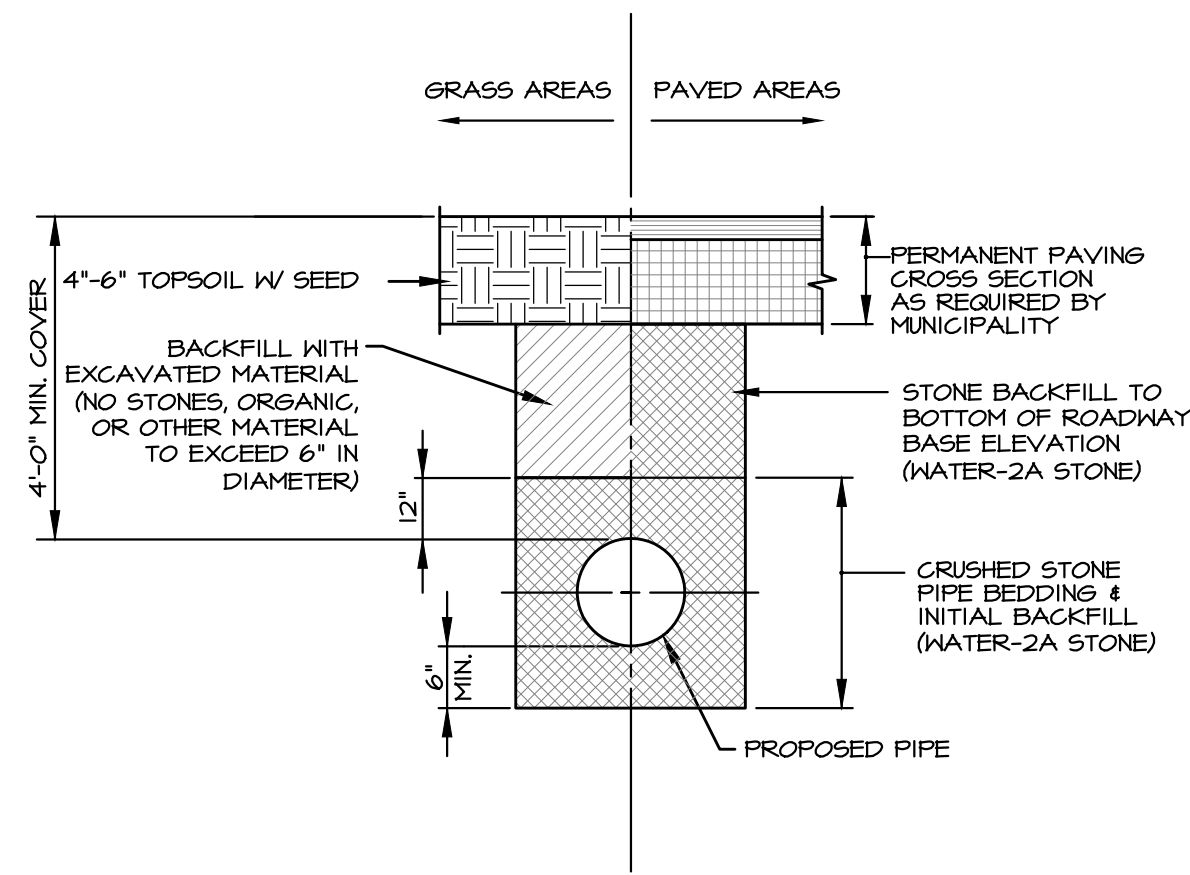
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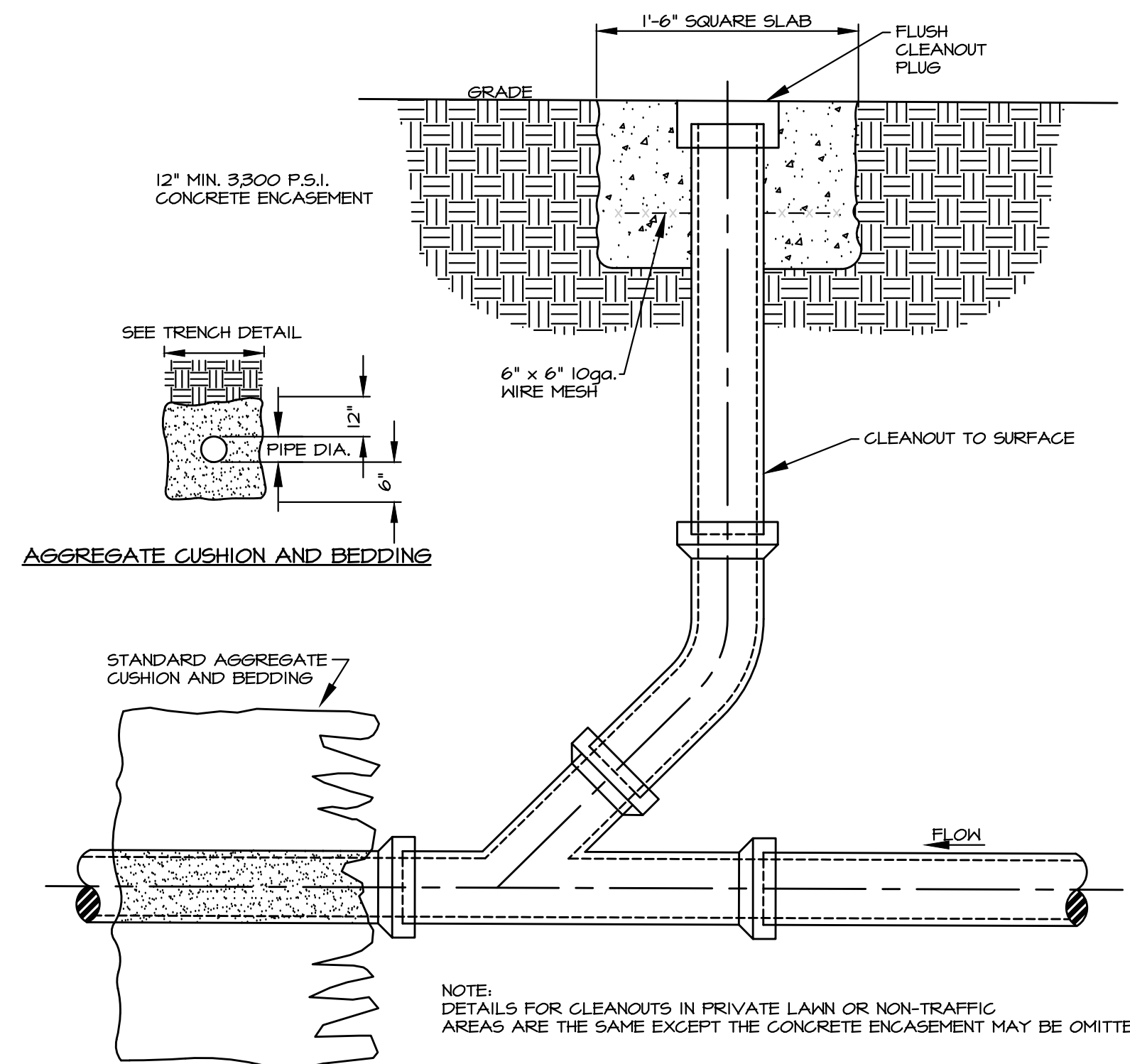
FINAL LAND DEVELOPMENT  
SUBJECT:  
SITE DETAILS  
FOR  
CENTRE ANIMAL HOSPITAL  
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA  
CLIENT:  
TUSSEY TRACKS, LLC  
1518 WEST COLLEGE AVENUE  
STATE COLLEGE, PA 16801  
(814) 238-5100

MANAGER:	THS	JUNE, 14, 2022
DESIGNER:	THS	PROJECT NO. SC 455-001
DRAWN BY:	TJH	SCALE: AS NOTED

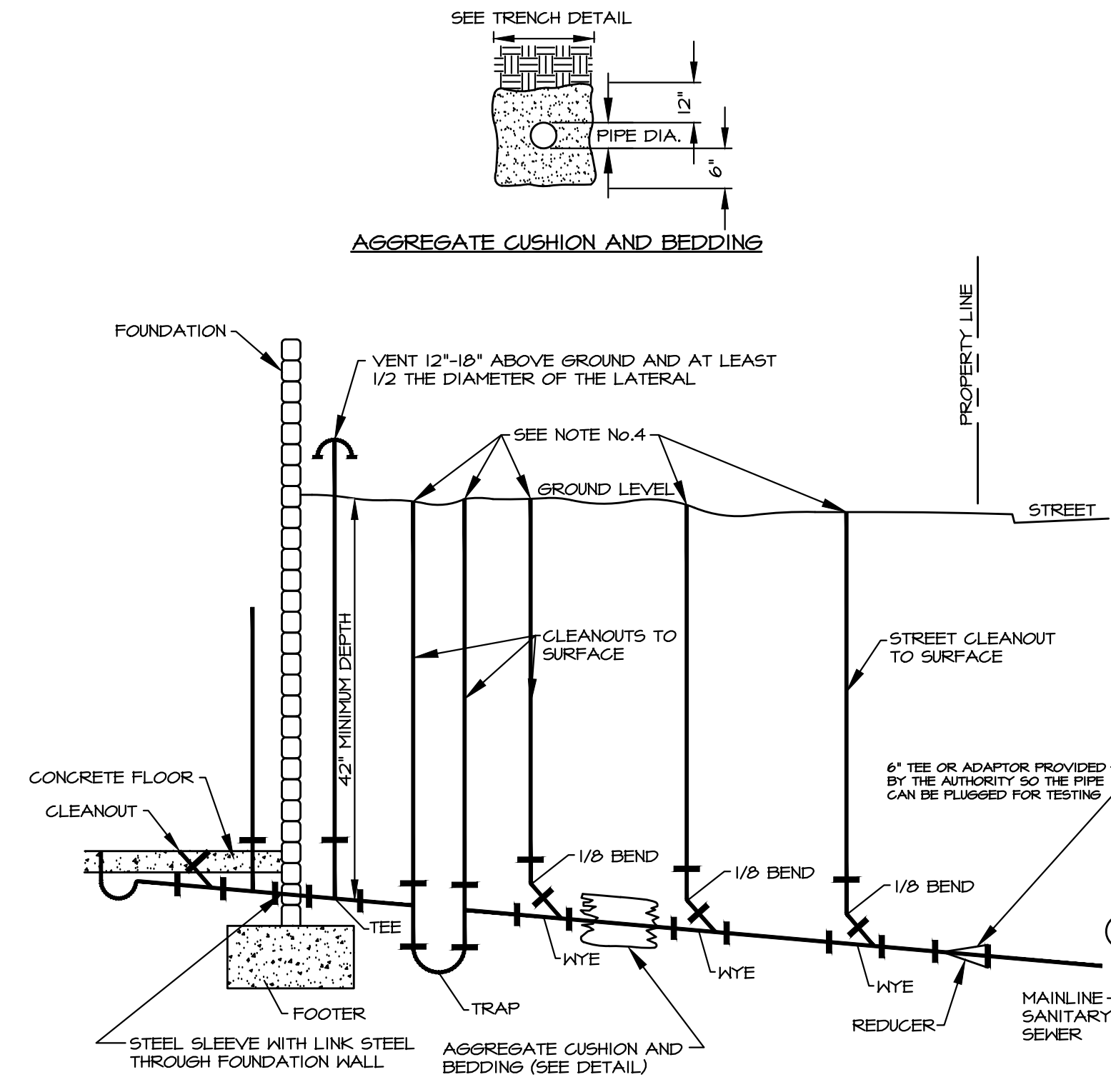
DRAWING NO.  
**9 OF 11**



**TRENCH RESTORATION FOR WATER**  
NO SCALE

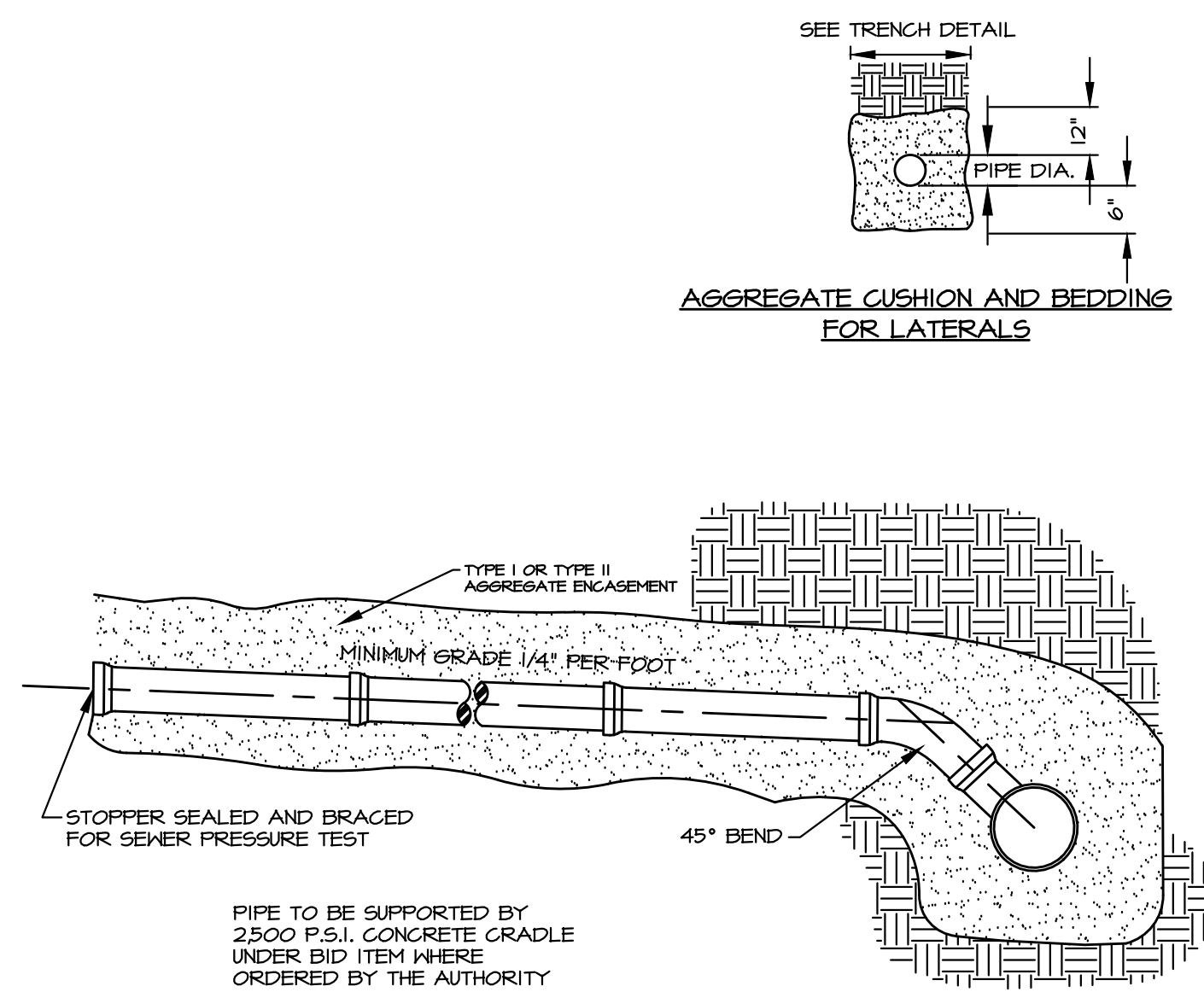


**CLEANOUT CONSTRUCTION DETAIL FOR PRIVATE COLLECTION SYSTEM IN COMMERCIAL AREAS**  
NO SCALE

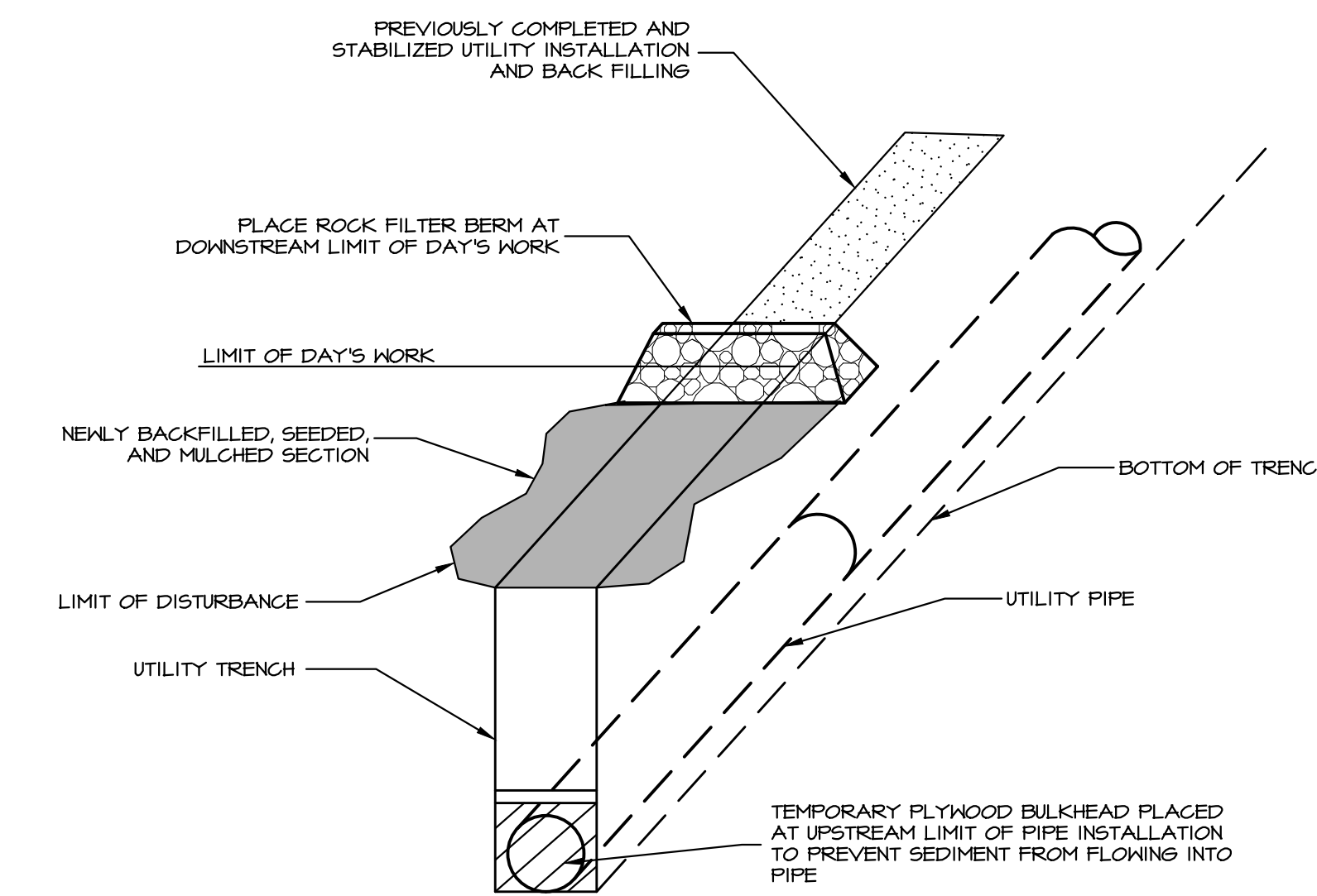


- LATERAL SPECIFICATIONS**
1. SLOPE SHALL BE 1/4" PER FOOT UNLESS APPROVED OTHERWISE BY THE AUTHORITY.
  2. CLEANOUTS MUST BE INSTALLED EVERY 50' ON 4" PIPE AND EVERY 100' ON 6" PIPE.
  3. LATERALS SHALL BE LAID IN AGGREGATE CUSHION AND BEDDING.
  4. CLEANOUT TERMINAL(S) SHALL HAVE TREATMENT AS RESPECTIVE LOCATION. REFER TO CLEANOUT DETAIL(S).
  5. ALL PIPING MATERIALS INCLUDING TRAPS SHALL BE SCHEDULE 40 PVC.
  6. WORK MUST BE INSPECTED AND TESTED BEFORE BACKFILLING.

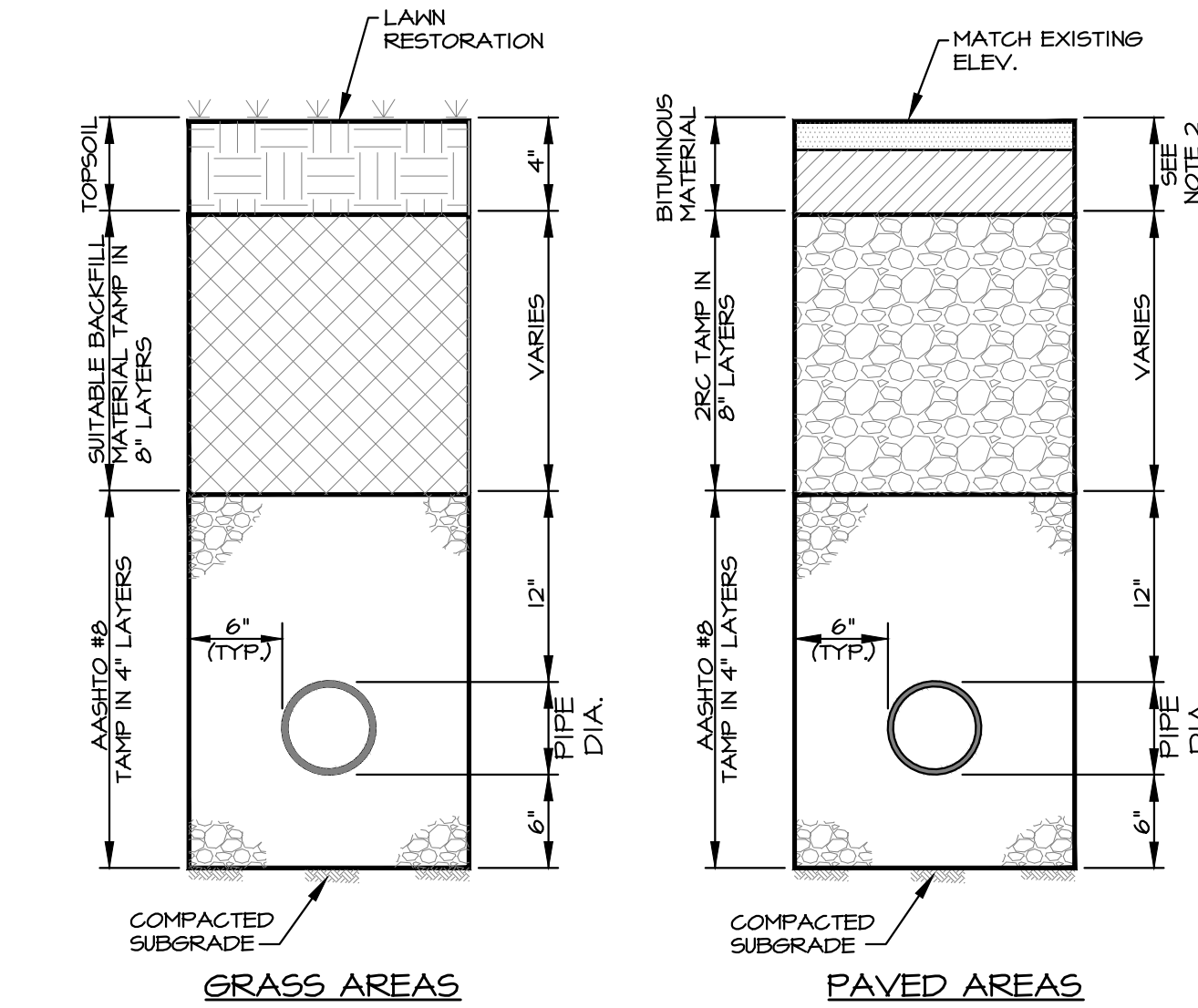
**TYPICAL SANITARY SEWER LATERAL**  
NO SCALE



**LATERAL DETAIL**  
NO SCALE



**UTILITY TRENCH EXCAVATION/RESTORATION**  
NO SCALE



- NOTES:**
1. MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO PENNDOT, PUBLICATION 408, LATEST EDITION UNLESS OTHERWISE STATED IN TOWNSHIP SPECIFICATIONS.
  2. SEE BITUMINOUS PAVING CROSS SECTIONS FOR PAVEMENT STRUCTURE.

**SANITARY SEWER TRENCH DETAIL**  
NO SCALE

REVISIONS PER:	DATE:	BY:
1. -	-	-
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**FINAL LAND DEVELOPMENT**  
SUBJECT:  
**UTILITY DETAILS**  
FOR  
CENTRE ANIMAL HOSPITAL  
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA  
CLIENT:  
**TUSSEY TRACKS, LLC**  
1518 WEST COLLEGE AVENUE  
STATE COLLEGE, PA 16801  
(814) 238-5100

MANAGER:	THS	DATE:	JUNE, 14, 2022
DESIGNER:	THS	PROJECT NO.:	SC 455-001
DRAWN BY:	TJH	SCALE:	AS NOTED

DRAWING NO.  
**10 OF 11**





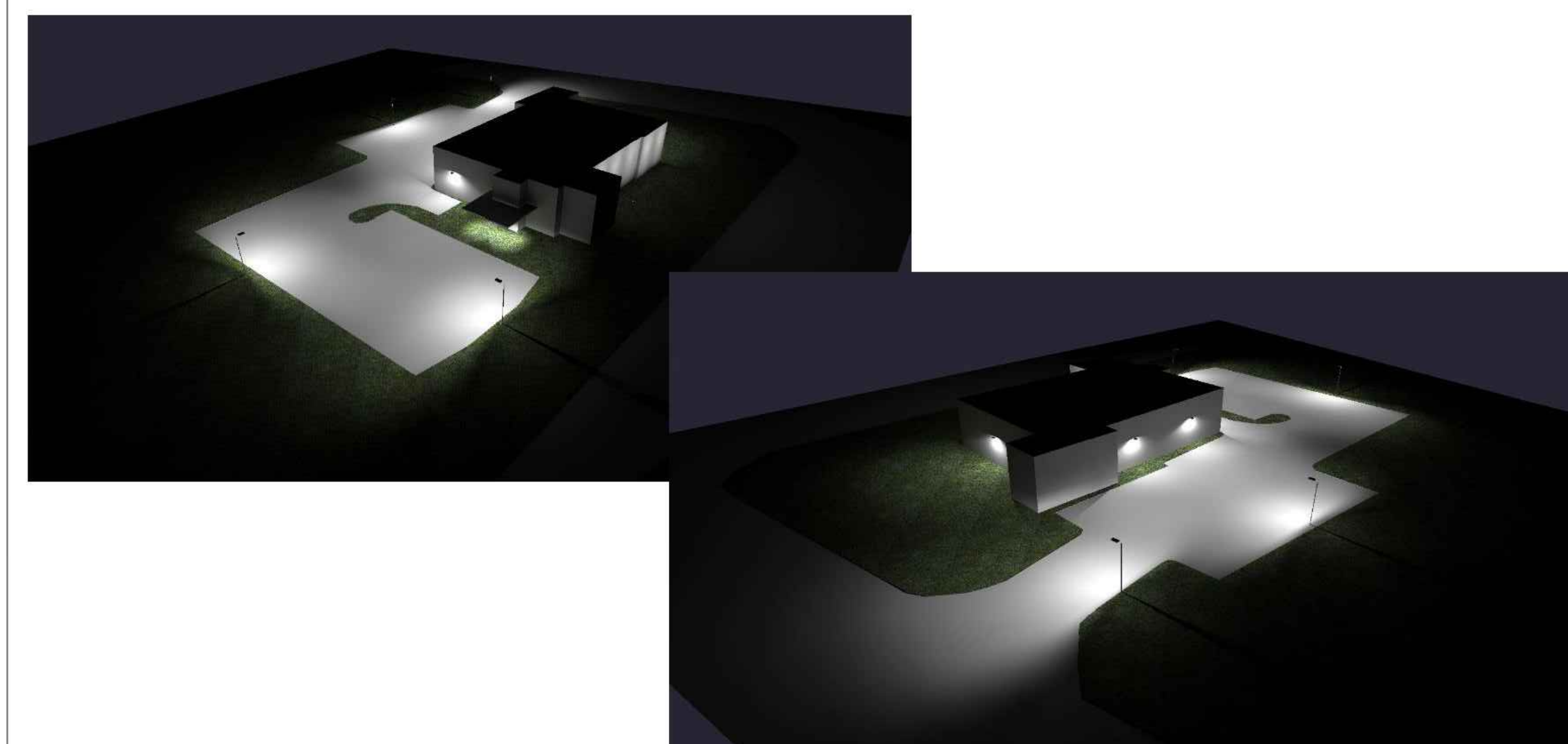
**Penn Lighting**  
ASSOCIATES

Drawn By: TE	Checked By:	Date: 3/14/2022	Scale:
Centre Animal Hospital			
#	Date	Comments	
Revisions			

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Lum. Lumens	BUG Rating
	4	S4	SINGLE	0.900	Gardco P15-P-A04-740-T4S-AR1-UNV-X-X-HIS-FINISH	60.1	7158	B1-U0-G2
	4	WS	SINGLE	0.900	Gardco PWS-64L-600-AM-G2-4	94.4	4381	B1-U0-G1
	2	DL	SINGLE	0.900	Lightolier C6RN+C6L20835WZ10U+C6RDCLC	17	1833	B2-U0-G0
	5	LL	SINGLE	0.900	Hadco b9_10w_nw_med	9.7	1097	B1-U1-G0

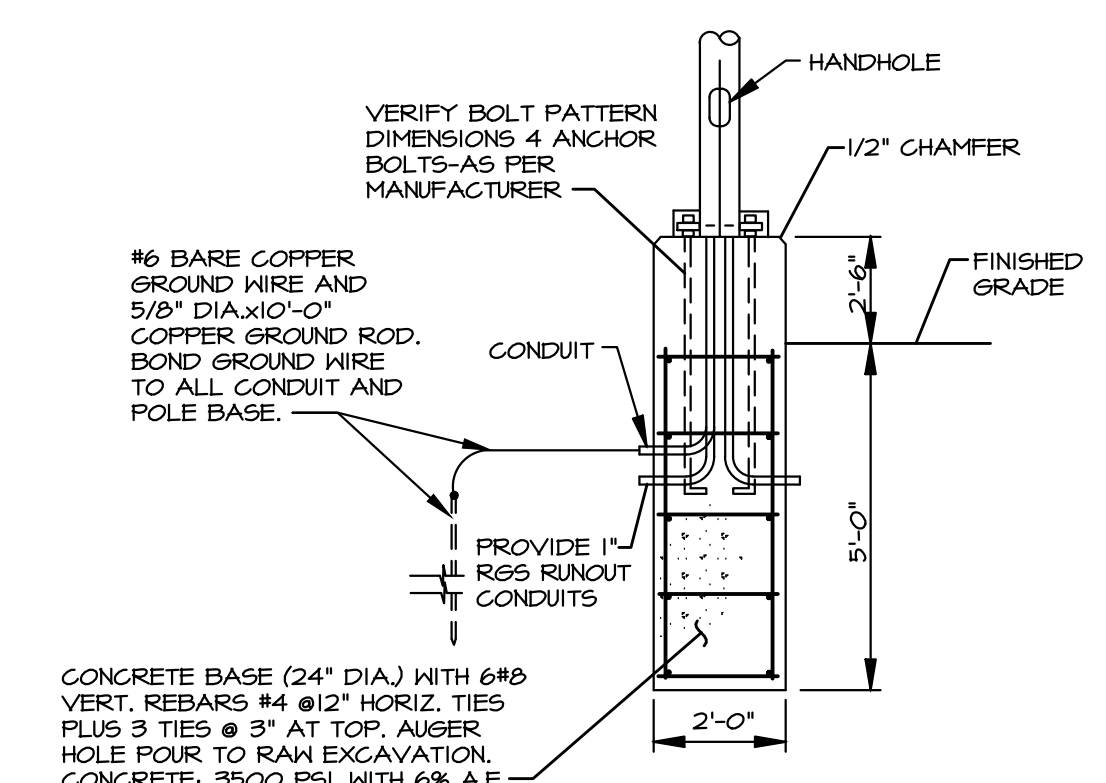
  

Label	CalcType	Units	Avg	Max	Min	Max/Min	Avg/Min	Grid Z	PtSpclr	PtSpctb
Calc Grid	Illuminance	Fc	0.35	14.0	0.0	N.A.	N.A.	0.25	10	10
Property Line	Illuminance	Fc	0.04	0.1	0.0	N.A.	N.A.	N.A.	10	N.A.



**Penn Lighting**  
ASSOCIATES

Drawn By: TE	Checked By:	Date: 3/14/2022	Scale:
Centre Animal Hospital			
#	Date	Comments	
Revisions			



- LIGHTING NOTES:**
- COORDINATE ALL FIXTURE TYPES AND APPURTENANCES WITH OWNER PRIOR TO ORDERING.
  - COORDINATE ALL FIXTURE COLORS AND FINISHES WITH OWNER PRIOR TO ORDERING.
  - ALL APPURTENANCES (POLE AND MOUNTS) TO BE COORDINATED WITH MANUFACTURER'S RECOMMENDED POLE MOUNTING PATTERN PRIOR TO INSTALLING CONCRETE BASE. ADVISE ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATION OF ANY COMPONENTS.
  - COORDINATE POLE ANCHOR BOLT PATTERN AND BASE DIAMETER WITH MANUFACTURER'S RECOMMENDED POLE MOUNTING PATTERN PRIOR TO INSTALLING CONCRETE BASE. ADVISE ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATION OF ANY COMPONENTS.
  - LIGHT FIXTURE MOUNTING HEIGHT IS 10 FEET.

**SITE LIGHTING POLE BASE DETAIL**  
NO SCALE

REVISIONS PER:	DATE:	BY:
1.	-	-
2.	-	-
3.	-	-
4.	-	-
5.	-	-

**EVA**  
**group, inc.**  
ENGINEERS • LANDSCAPE ARCHITECTS  
2013 SANDY DRIVE, SUITE 103  
STATE COLLEGE, PA 16803  
(814) 861-6328  
elagroup.com

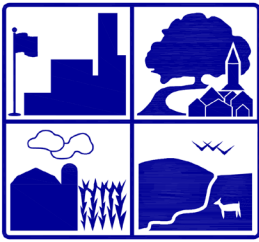
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**FINAL LAND DEVELOPMENT**  
SUBJECT:  
**LIGHTING PLAN**  
FOR  
CENTRE ANIMAL HOSPITAL  
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA  
CLIENT:  
**TUSSEY TRACKS, LLC**  
1518 WEST COLLEGE AVENUE  
STATE COLLEGE, PA 16801  
(814) 238-5100

MANAGER:	THIS	JUNE, 14, 2022
DESIGNER:	THIS	PROJECT NO. SC 455-001
DRAWN BY:	TJH	SCALE: AS NOTED

DRAWING NO.  
**11 OF 11**





# TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801  
 Telephone: 814-238-4651 • Fax: 814-238-3454  
[www.twp.ferguson.pa.us](http://www.twp.ferguson.pa.us)

**June 30, 2022**

Todd Smith  
 ELA Group, Inc.  
 2013 Sandy Drive, Suite 103  
 State College, PA 16803

**RE: Centre Animal Hospital Final Land Development Plan—1<sup>st</sup> Review**

Dear Mr. Smith,

Thank you for submitting the Centre Animal Hospital Final Land Development Plan, dated, June 14, 2022, for our review. The submission has been reviewed by staff and agencies as required by the Township's Code of Ordinances.

The following reviewers had no additional comments to add:

- Centre Area Transit Authority (CATA)
- Centre Region Planning Agency (CRPA)
- Alpha Fire Company
- Ferguson Township Zoning Officer
- Ferguson Township Arborist

A revised land development plan needs to be provided addressing the attached comments. Since most of the outstanding comments are administrative, this plan will be on the next Planning Commission (July 11, 2022) agenda for review, followed by the Board of Supervisors on July 19, 2022.

Please review and respond to the following comments and resubmit the plan as necessary. Should you have any additional questions, please contact me at [jwargo@twp.ferguson.pa.us](mailto:jwargo@twp.ferguson.pa.us) or 570-452-5102.

Sincerely,

A handwritten signature in black ink that reads "Jenna Wargo". The signature is written in a cursive, flowing style.

Jenna Wargo, AICP  
Director of Planning & Zoning

**LF:** 1946-1B-2Ha



## Interoffice Memorandum

**TO:** Todd Smith

**FROM:** Kristina Bassett, Community Planner

**DATE:** June 28, 2022

**SUBJECT: Centre Animal Hospital Final Land Development Plan**

As requested, staff has reviewed the Centre Animal Hospital Final Land Development Plan prepared by ELA Group, Inc., dated June 14, 2022, for compliance with the Township's Ordinances. I have no additional comments other than administrative comments:

1. A digital copy (GIS-Compatible) of the plan in accordance with Township requirements must be provided to the Township prior to final plan signature. (§22-307.7.)
2. Surety must be posted for all public improvements. (§22-304)

If you have any questions on this review or require additional information, please let me know.

Township Arborist: No Comment

CATA: No comment

CRPA: No comment

Alpha: No comment

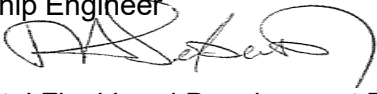


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## TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801  
Telephone: 814-238-4651 • Fax: 814-238-3454  
[www.twp.ferguson.pa.us](http://www.twp.ferguson.pa.us)

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TO: Kristina Bassett, Community Planner  
FROM: Ron Seybert, Township Engineer  
DATE: June 17, 2022   
SUBJECT: Centre Animal Hospital Final Land Development Plan  
Initial Review (ES – 1117)

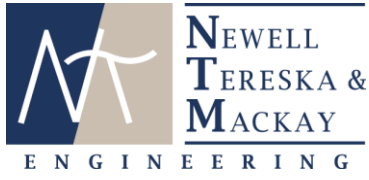
I have completed my initial review of the *'Final Land Development Plan for Centre Animal Hospital'* consisting of 11 sheets, prepared by ELA Group, Inc., dated June 14, 2022. The following are comments from my review.

1. On Sheet 1:

- a. Remove the stormwater facilities acknowledgement block and stormwater certification block. These certifications are on the stormwater management site plan set and should not be on this sheet.

A revised land development plan needs to be provided addressing the above comment. If you or the applicant have any questions on these comments, please contact me.

Copy: Scott Brown/Aaron Jolin, NTM  
Jenna Wargo, Planning Director



---

**NTM Engineering, Inc.**  
341 Science Park Road, Suite 203  
State College, PA 16803  
814-862-9191

---

June 16, 2022

*Via Email*

Township of Ferguson  
3147 Research Drive  
State College, Pennsylvania 16801

Attn: Ms. Jenna Wargo, Director of Planning and Zoning  
Mr. Ronald Seybert, PE, Township Engineer

**RE: Centre Animal Hospital Final Land Development Plan  
Stormwater Management and Lighting Review**

Dear Kristina and Ronald,

We have completed a review of the Centre Animal Hospital Final Land Development Plan. The applicant's Design Professional, ELA Group, Inc., submitted the following information that serves as the basis of our review:

1. Final Land Development Plan for Centre Animal Hospital, dated June 14, 2022.

**Stormwater Management Review**

NTM has reviewed these plans for consistency with the previously Approved Stormwater Management Site Plan, last revised 11/29/2021 and report, last revised September 29, 2021. No inconsistencies were found. The Final LD Plans reflect the final approved Stormwater Management Site Plan.

**Lighting Review**

NTM also reviewed these plans for consistency with the previously lighting elements shown on the approved Preliminary Land Development Plan, dated September 17, 2021, with revisions through March 23, 2022. Our comments follow.

1. The lighting plan on the Final Land Development Plans are consistent with the Preliminary Land Development Plans regarding lighting fixture types, locations, and mounting heights. The proposed lighting meets the requirements outlined in §4-126 of the Township Code relative to the use of cutoff luminaires.
2. The lighting does not exceed the allowable maximum maintained luminance levels at the property lines as outlined in §4-127.C. of the Township ordinance requirements.



Ms. Jenna Wargo  
Mr. Ronald Seybert

Page 2

June 16, 2022

If you have any questions or require additional information, please feel free to contact me at 814-862-9191.

Sincerely,  
**NTM Engineering, Inc.**

A handwritten signature in blue ink, appearing to read 'SAB', with a long horizontal line extending to the right.

Scott A. Brown, PE  
Senior Project Manager Engineer

cc: Mr. Jeffrey Ressler, Zoning Administrator  
Ms. Kristina Bassett, Community Planner

2022 06 16 Centre Animal Hospital SWM & Lighting Conformance r1

# CRPA Centre Regional Planning Agency

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2643 Gateway Drive, Suite #4 • State College, PA 16801 • Phone (814)  
231-3050 • [www.crcog.net](http://www.crcog.net)

## MEMORANDUM

**DATE:** June 30, 2022

**TO:** Kristina Bassett  
Community Planner  
Ferguson Township

**FROM:** Corey L. Rilk  
Senior Planner

**RE: CENTRE ANIMAL HOSPITAL FINAL LAND DEVELOPMENT PLAN-  
ACKNOWLEDGEMENT OF RECEIPT**

The Centre Regional Planning Agency (CRPA) received this final land development plan on June 15, 2022. The review is intended to fulfill the requirements of the Centre Region's Agreement of Relationship (dated March 16, 1982) with the Centre County Planning Commission, relative to the provisions of the Pennsylvania Municipalities Planning Code regarding submittal of subdivisions and land development plan reviews.

The CRPA staff finds the proposed plan to be consistent with the goals, objectives, and policies of the Centre Region Comprehensive Plan.

If you have any questions, please contact me at (814) 231-3050.

cc: ...



**Centre Region Council of Governments**  
**OFFICE OF ADMINISTRATION**  
***REGIONAL REFUSE AND RECYCLING PROGRAM***

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---

2643 Gateway Drive, Suite 3 • State College, PA 16801  
Phone: (814) 234-7198 • Fax: (814) 231-3083 • Email: smato@crcog.net

June 27, 2022

Jenna Wargo  
Director of Planning and Zoning  
Township of Ferguson  
3147 Research Drive  
State College, PA 16801

**RE: CENTRE ANIMAL HOSPITAL LAND DEVELOPMENT PLAN ES #1117**

Dear Ms. Bassett,

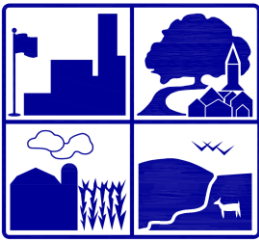
I have reviewed the Centre Animal Hospital Final Land Development Plan. This plan includes a fenced refuse corral area on a concrete pad with adequate space for all refuse and recycling receptacles. Moreover, the placement of the corral will allow for collection of the materials by the refuse and recycling trucks.

I appreciate the opportunity to review the plans to ensure proper refuse and recycling containers, locations, access and sizes. The Centre Region COG Office of Administration is the designated agent for the Townships of Benner, College, Ferguson, Harris and Patton for the Centre Region Refuse and Recycling Program. If you have any questions, please let me know.

Sincerely,

Shelly G. Mato  
Refuse and Recycling Administrator, Centre Region Council of Governments





# TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801  
Telephone: 814-238-4651 • Fax: 814-238-3454  
[www.twp.ferguson.pa.us](http://www.twp.ferguson.pa.us)

TO: Planning Commission

FROM: Kristina Bassett, Community Planner

DATE: July 7, 2022

SUBJECT: Nittany Dental Minor Land Development Plan

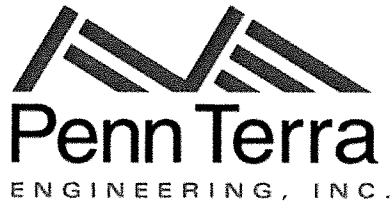
Included in the agenda is the The Nittany Dental Minor Land Development Plan, dated May 13, 2022, revised July 7, 2022. This proposed plan is located at 2591 Park Center Boulevard (TP: 24-465-,001-,0000-) and within the Light Industry, Research and Development (IRD) Zoning District.

This minor land development plan proposes the enclosure of the three existing drive-thru lanes (1,243 SF) and enlarging that space by an additional 360 SF. The final SF for the addition would increase the building coverage from 5,124 SF to 6,727 SF. The applicant would need to provide 6 additional parking spaces for the addition and change in use equaling 27 total parking spaces required by ordinance. There are currently 44 parking spaces existing on site.

A Modification/Waiver was granted by the Board of Supervisors at the April 19, 2022 meeting, to allow this plan to be processed as a minor land development plan.

Staff has reviewed the plan and is recommending approval pending outstanding review comments attached to this memorandum.

**Recommended Motion:** Move that the Planning Commission recommend **approval** to the Board of Supervisors for the Nittany Dental Minor Land Development Plan, pending outstanding staff comments as included in the Community Planner's memorandum dated July 7, 2022.



3075 Enterprise Drive  
State College, PA 16801  
814-231-8285 | PennTerra.com

July 7, 2022

Jenna Wargo, AICP  
Director of Planning and Zoning  
Ferguson Township  
3147 Research Drive  
State College, Pennsylvania 16801

RE: Nittany Dental Minor Land Development Plan

Dear Jenna,

Thank you for assembling the second unified review of the Nittany Dental Minor Land Development Plan, and for your contributions to this review. After studying the unified review and making revisions, we offer the following responses to the comments given.

Director of Planning & Zoning Comments (dated June 28, 2022)

1. A time extension must be submitted with any revised plan. (Chapter 22, Section 303)  
***A completed time extension request has been filled out and included with this response.***
2. A digital (GIS Compatible) copy of the plan in accordance with Township requirements must be provided to the Township prior to final plan signature. (Chapter 22, Section 307.7)  
***Acknowledged.***

Township Zoning Officer Comments (dated June 15, 2022)

5. A time extension must be submitted with any revised plan.  
***A time extension request has been enclosed.***
10. Location of fire lanes in accordance with the Fire Lane Regulations must be included on the plan.  
***PennTerra Engineering contacted Steven W. Bair, Fire Director/Chief of Department for the Centre Region Council of Governments during the design of this project regarding potential fire lanes. On Tuesday, July 5, 2022, Mr. Bair responded to a request for fire lane direction with "I'm good with the site 'as is'."***
12. The intensity of all outdoor light fixtures must be included on the plan.  
***Exterior lights will not be changed or added for this project. The lighting plan for the bank, which was reviewed and approved in 2004, has been included in the plan set as Sheet 6.0. This plan shows lighting intensity.***
13. The light pattern produced by all outdoor light fixtures must be included on the plan.

***Exterior lights will not be changed or added for this project. The lighting plan for the bank, which was reviewed and approved in 2004, has been included in the plan set as Sheet 6.0. This plan shows lighting patterns.***

Refuse and Recycling Administrator Comments (dated June 23, 2022)

1. Gates should be on the long side of the corral. In this case, two 10' gates would allow for collection of the dumpsters and recycling carts.

***This proposal is to continue the use of the existing site, including the dumpster orientation that appears to have functioned for the bank for years. There is an existing concrete pad in front of the dumpster, and there have been no known issues with trucks accessing the pad. Accessing the refuse and recycling storage from any other side would require the pouring of a new pad. Although we acknowledge and appreciate the suggestion, the proposal is to continue the use of the existing dumpster pad and replace the screening and gate.***

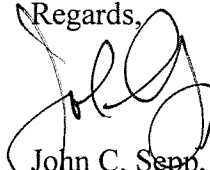
2. The pad in front of where dumpster sits should be built to handle heavy duty trucks – 6-8" thickness reinforced concrete. This is the area where the truck (and all the weight) is. The location should account for an inside turning radius of 24' – 30' for a 35' truck, ideally with no angle required for collection.

***This proposal is to continue the use of the existing site, including the dumpster orientation and concrete pad that appears to have functioned for the bank for years. Although we acknowledge and appreciate the suggestion, it would require the pouring of a new concrete pad. Thus, the proposal is to continue the use of the existing dumpster pad and replace the screening and gate.***

Enclosed please find the following materials:

- Time extension
- Five sets of updated plans

If you have any questions, please don't hesitate to contact me.

Regards,  
  
John C. Sepp, P.E.  
President

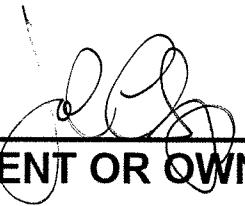
Enclosures

Cc: File No. 22097



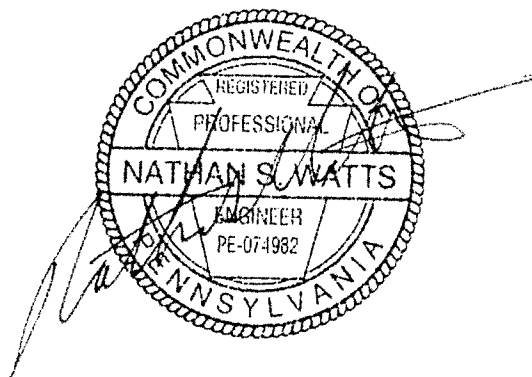
**TIME EXTENSION**

I, John C. Sepp, PE, grant a time extension for  
the Nittany Dental Minor Land Development Plan plan, dated  
May 13, 2022, as last revised  
June 13, 2022, until October 4, 2022.

 / AGENT  
\_\_\_\_\_  
**AGENT OR OWNER**

**Nittany Dental**  
**Stormwater Management Plan**

**June 13, 2022**



22097

### **Nittany Dental Stormwater Narrative**

The proposed land development plan for Nittany Dental is located at the previous Omega Bank Lot 1 of Bristol Park. This plan maintains the existing drainage patterns to an infiltration basin that treats stormwater runoff for rate, volume and quality. There will also be no increase in impervious surfaces as a result of this land development plan.

The existing stormwater basin will need repaired as follows:

Any holes or subsidence that is present in the basin shall be backfilled with topsoil as shown on the detail plan sheet.

The following stormwater maintenance plan previously recorded for this site will still apply and is as follow:

#### **STORMWATER FACILITIES MAINTENANCE PROGRAM**

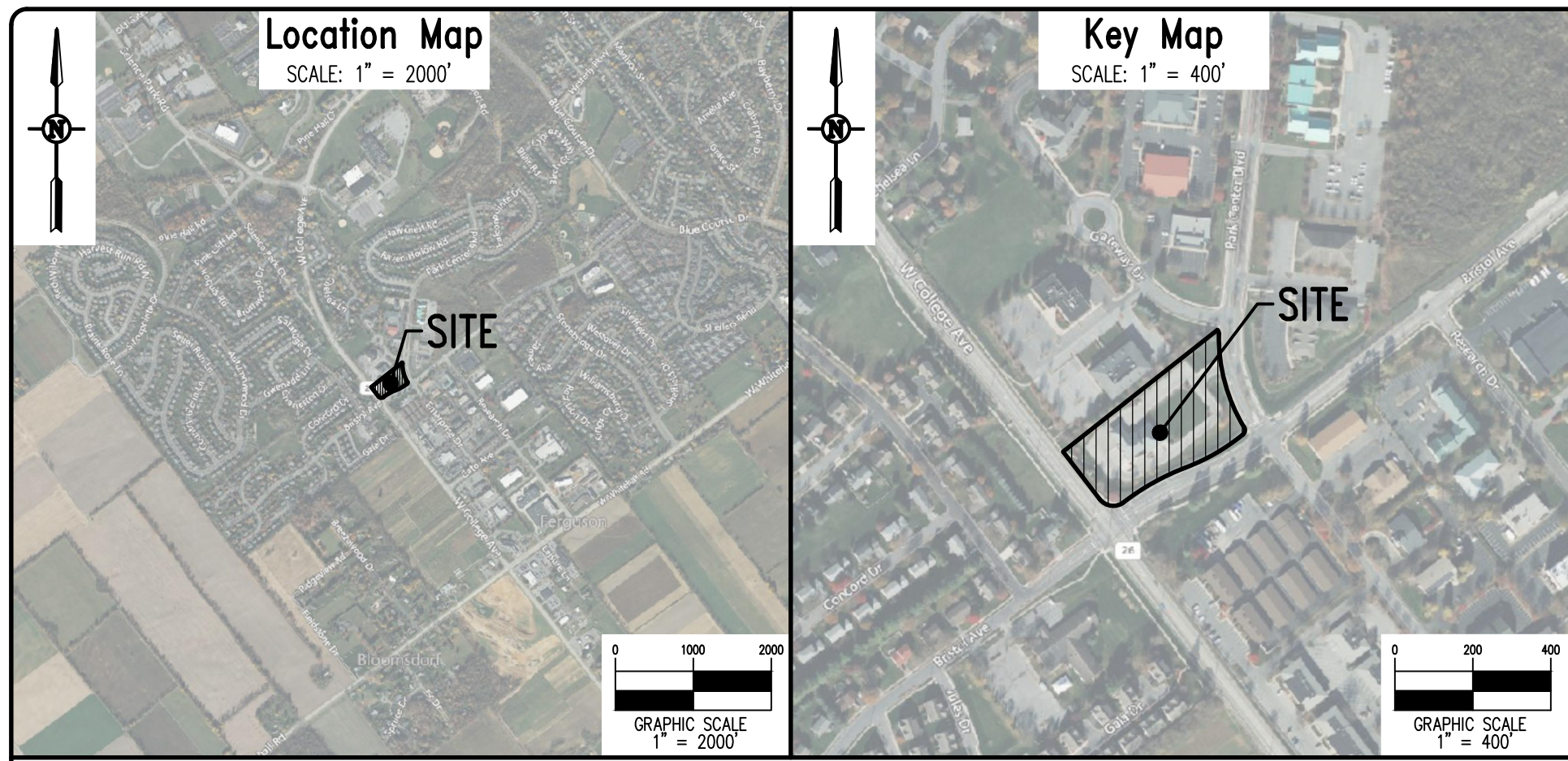
All stormwater management facilities on Bristol Lot #1 not contained in a Ferguson Township Right-of-Way shall be owned and maintained by the lot owner and Ferguson Township shall be held harmless for these facilities. Ferguson Township shall have the uninterrupted right to access the property to inspect the stormwater facilities. The facilities that will require maintenance are the inlet, roof drains, storm sewer pipes, swales and detention basin. All stormwater facilities should be inspected monthly or after any runoff producing rainfall and maintained as follows:

1. The proposed and existing inlet grates and storm sewer pipe inlets and outlets shall be cleaned of all debris, litter, and other deleterious material.
2. The roof drain conveyance pipes shall be cleaned of all debris, litter, and other deleterious material.
3. The rip-rap aprons at the outlets of the pipes need to be inspected to ensure proper erosion protection. If erosion occurs, additional rip-rap should be added.
4. The stormwater conveyance swales shall be cleared of debris; vegetation maintained to a height of six inches, and if any erosion is present the area is to be backfilled with topsoil and seeded with a permanent mixture.
5. The detention basin shall be cleaned of debris, vegetation maintained to a height of six inches, and if any erosion is present the area is to be backfilled with topsoil and seeded with a permanent mixture.









### STORMWATER FACILITIES MAINTENANCE PROGRAM

All stormwater management facilities on Bristol Lot #1 not contained in a Ferguson Township Right-of-Way shall be owned and maintained by the lot owner and Ferguson Township shall be held harmless for these facilities. Ferguson Township shall have the unimpeded right to access the property to inspect the stormwater facilities. The facilities that will require maintenance are the inlet, roof drains, storm sewer pipes, swales and detention basin. All stormwater facilities should be inspected monthly or after any runoff producing rainfall and maintained as follows:

- The proposed and existing inlet grates and storm sewer pipe inlets and outlets shall be cleaned of all debris, litter, and other deleterious material.
- The roof drain conveyance pipes shall be cleaned of all debris, litter, and other deleterious material.
- The rip-rap aprons at the outlets of the pipes need to be inspected to ensure proper erosion protection. If erosion occurs, additional rip-rap should be added.
- The stormwater conveyance swales shall be cleared of debris; vegetation maintained to a height of six inches, and if any erosion is present the area is to be backfilled with topsoil and seeded with a permanent mixture.
- The detention basin shall be cleared of debris, vegetation maintained to a height of six inches, and if any erosion is present the area is to be backfilled with topsoil and seeded with a permanent mixture.

### DEMOLITION FEATURES LEGEND

- To Be Removed Curbing & Edge of Pavement
- To Be Removed Concrete Areas
- To Be Removed Bituminous Areas
- To Be Removed Ballard
- To Be Removed Fence

CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C1	11.45'	15.00'	6.02'	S 20° 46' 48" E	11.17'	43° 43' 09"
C2	250.58'	443.06'	128.74'	S 15° 07' 57" E	247.25'	32° 24' 15"
C3	21.53'	15.00'	13.10'	S 9° 46' 47" W	19.73'	82° 14' 40"
C4	169.44'	530.80'	85.45'	S 60° 02' 17" W	168.72'	18° 17' 22"
C5	182.69'	623.34'	92.01'	S 60° 47' 12" W	182.04'	16° 47' 34"
C6	69.10'	44.00'	43.99'	N 82° 36' 34" W	62.22'	89° 59' 06"

### SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Property Corner Found
- PennTerra Control Point
- Project Benchmark

### EXISTING FEATURES LEGEND

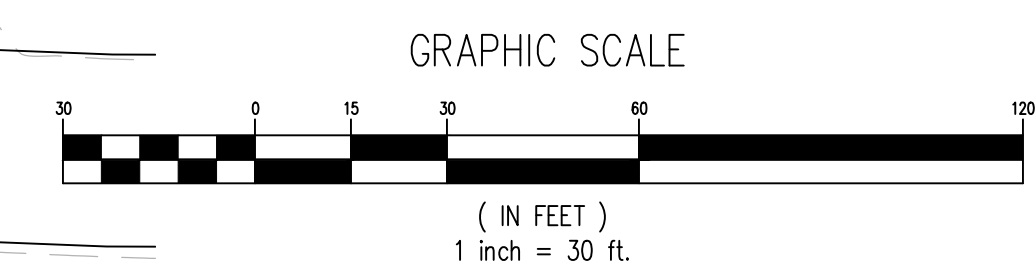
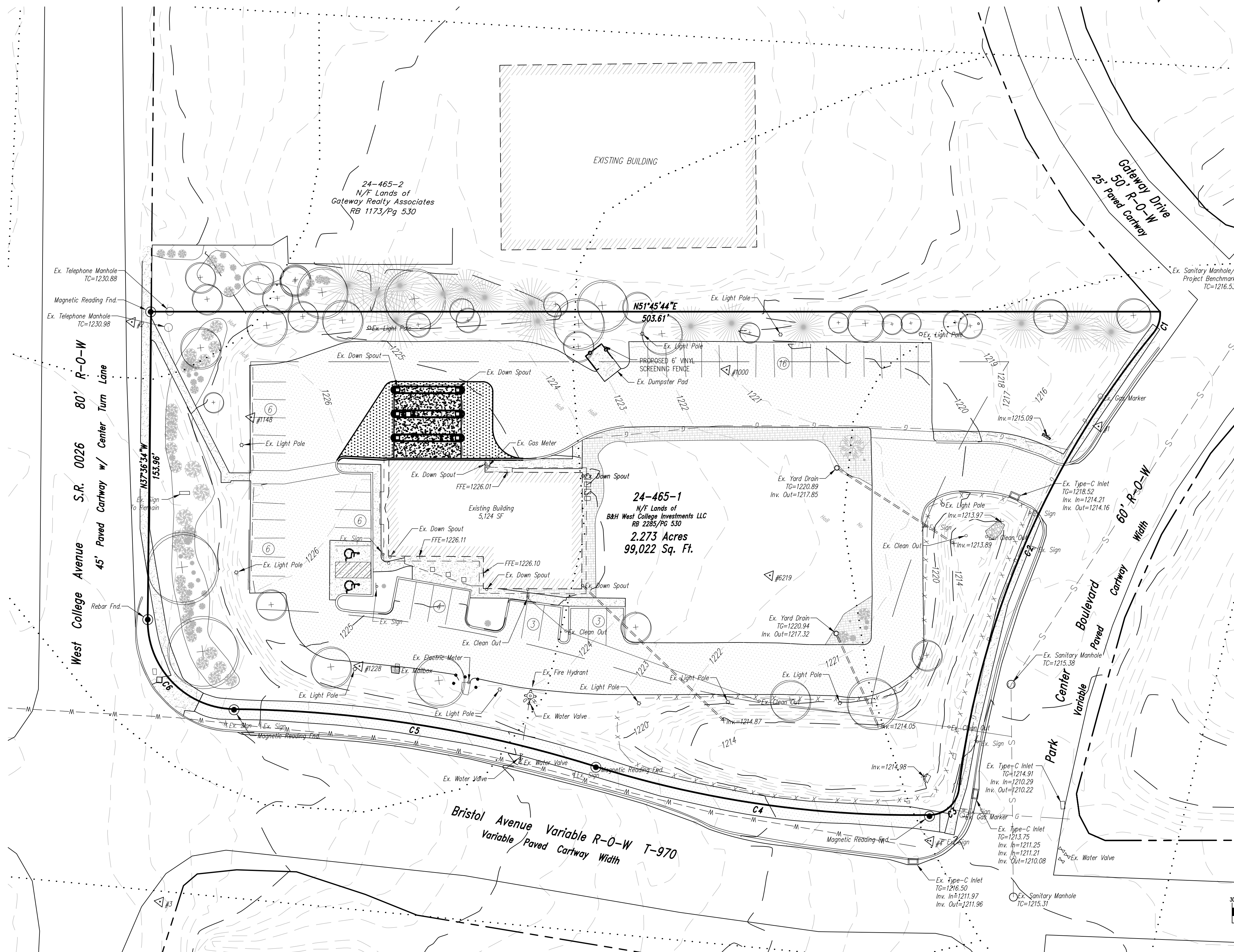
- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Bituminous Areas
- Existing Landscaped Areas
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Sanitary Sewer w/ Manhole
- Existing Sanitary Sewer Lateral w/ Clean Out
- Existing Water Line w/ Valve
- Existing Water Service Lateral
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Fire Hydrant
- Existing Manhole
- Existing Storm Sewer Inlet Type-C
- Existing Storm Sewer Yard Drain
- Existing Utility Lateral Valve
- Existing Utility Meter
- Existing Bollard
- Existing Clean-Out
- Existing Blow-Off Valve
- Existing Light Pole/Standard
- Existing Handicap Symbol
- Existing Sign
- Existing Parking Stall Count
- Existing Mail Box
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

### SOILS LEGEND

Soil cover on the site consists of:  
 HaA - Hagerstown Silt Loam, 0%-3% Slopes  
 HaB - Hagerstown Silt Loam, 3%-8% Slopes  
 HcB - Hagerstown Silty Clay Loam, 3%-8% Slopes  
 No - Nolin Silt Loam, Local Alluvium, 0%-5% Slopes

### GENERAL SITE DEMOLITION NOTES

- The Contractor is responsible for obtaining all local and state permits required for demolition work unless other arrangements are coordinated with the owner.
- The Contractor shall indemnify and hold harmless the Owner and/or architect and engineer for any and all injuries and/or damages to personnel, equipment and/or existing facilities in the demolition and construction described in the plans and specifications.
- Existing conditions as depicted on these plans are general and illustrative in nature and do not include mechanical, electrical and miscellaneous structures. It is the responsibility of the Contractor to examine the site and be familiar with existing conditions prior to bidding on the demolition work for this project. If conditions encountered during examination are significantly different than those shown, the Contractor shall notify the architect and engineer immediately.
- All existing utilities not to be removed or abandoned are to remain operational at all times. Appropriate existing utilities shall remain in service until replacement/relocated utilities are operational.
- Existing above and below ground structures within the limits of new construction noted to be removed shall be razed unless noted otherwise in this construction set, architectural plans and/or project specifications. This includes foundation slabs, walls, and footings.
- Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify pa one call 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
- All demolition waste and construction debris shall be removed by the Contractor and disposed of in a state approved waste site and in accordance to all local and state codes and permit requirements.
- All utility removal, relocation, cutting, capping and/or abandonment shall be coordinated with the appropriate utility company.
- Asbestos or hazardous materials, if found on site, shall be removed by a licensed hazardous materials Contractor. Contractor shall notify Owner immediately if hazardous materials are encountered.
- Contractor shall protect all corner pins, monuments, property corners, and benchmarks during demolition activities. If disturbed, Contractor shall have disturbed items reset by a licensed surveyor at no additional cost to the Owner.
- Contractor shall adhere to all local, state, federal, and OSHA regulations operating demolition equipment around utilities.
- Contractor shall protect at all times adjacent structures and items from damage due to demolition activities.
- Contractor shall coordinate existing facilities utility disconnects with the Owner prior to anticipated demolition of structures.
- Contractor shall refer to Construction Plans for other pertinent information where applicable.
- Contractor shall replace or repair to Owner's satisfaction all curb, utilities, sidewalks, landscaping, etc. damaged during construction that are not indicated to be removed.
- Contractor shall be responsible for all costs and work required to adjust existing and proposed utilities and appurtenances to finish grades within the limit of work.
- All paving to be removed shall be sawcut to provide a sharp clean edge. All sidewalks to be removed shall be sawcut at the nearest joint. Existing pavement shall be removed as required for new curb, walkway, or utility construction.
- Contractor shall verify the location of manholes, inlets valves, etc. Contractor shall test pit existing utilities as deemed necessary within the limits of construction to determine the exact location and depth as required. Report any discrepancies from that indicated on the plan to the architect and engineer. All existing utilities shall be retained unless marked otherwise, and appurtenances shall be adjusted to final grade. Damage to existing conditions and utilities to remain shall be repaired as required to the Owner's satisfaction at the expense of the Contractor.
- Contractor shall coordinate with utilities companies on installation, relocation or replacement of electrical, phone, gas and cable services.
- The Contractor shall contact PA one call system @ 1-800-242-1776 at least three (3) days before construction activities.



**PennTerra ENGINEERING INC.**  
 CENTRAL PENNSYLVANIA REGION OFFICE:  
 3075 ENTERPRISE DRIVE SUITE 100  
 STATE COLLEGE, PA 16801  
 PH: 814-231-8285  
 Fax: 814-237-2308

**LANCASTER REGION OFFICE:**  
 3904 B ABEL DRIVE  
 COLUMBIA, PA 17512  
 PH: 717-522-5031  
 Fax: 717-522-5046

**WWW.PENNTERRA.COM**

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**REGISTERED PROFESSIONAL ENGINEER**  
 JOHN C. SEPP  
 ENGINEER  
 PA0003-E

**REGISTERED PROFESSIONAL ENGINEER**  
 NEVIN L. GROVE  
 LAND SURVEYOR  
 No. 5001171

Designer	CJW
Draftsman	CJW
Proj/Manager	LCS
Surveyor	
Perimeter Ok.	
Book	Pg
File	22097-PRJ-10-00-ELCON & DEMO
Layout	EX. CON. & DEMO
07/07/2022	REVISED PER TWP COMMENTS
06/21/2022	REVISED PER TWP COMMENTS
Date	Description
	REVISIONS

**NITTANY DENTAL**

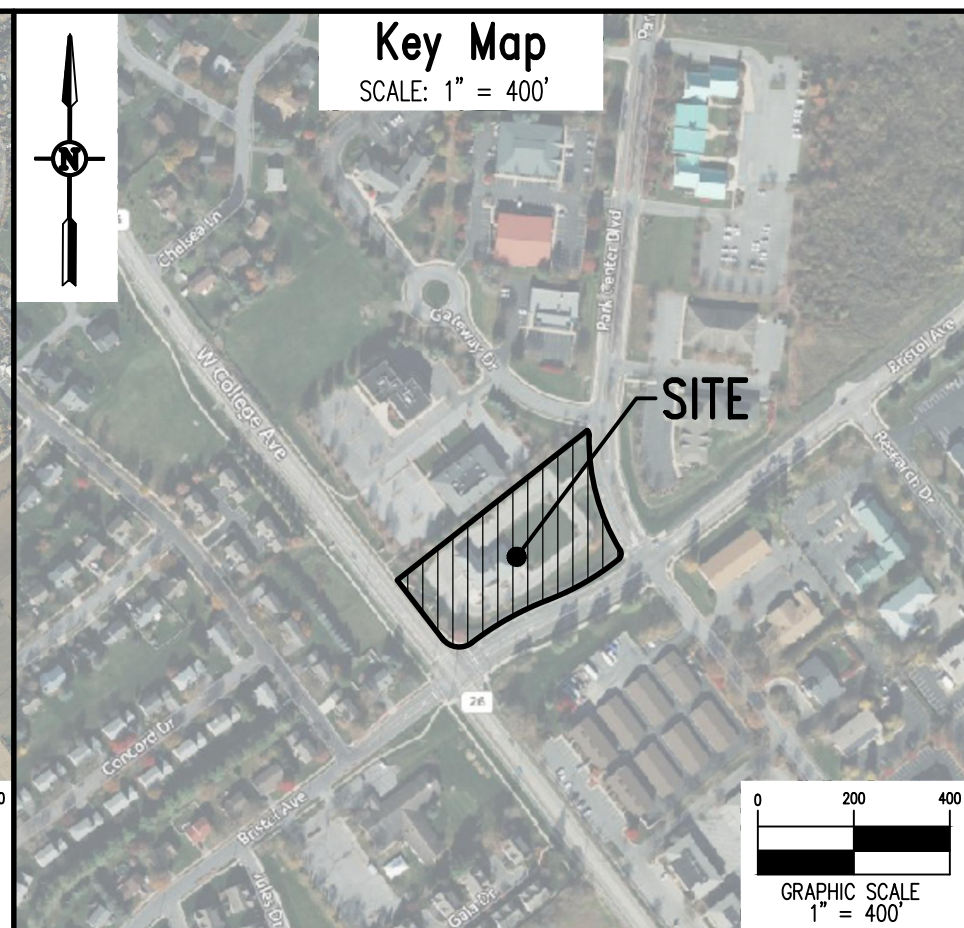
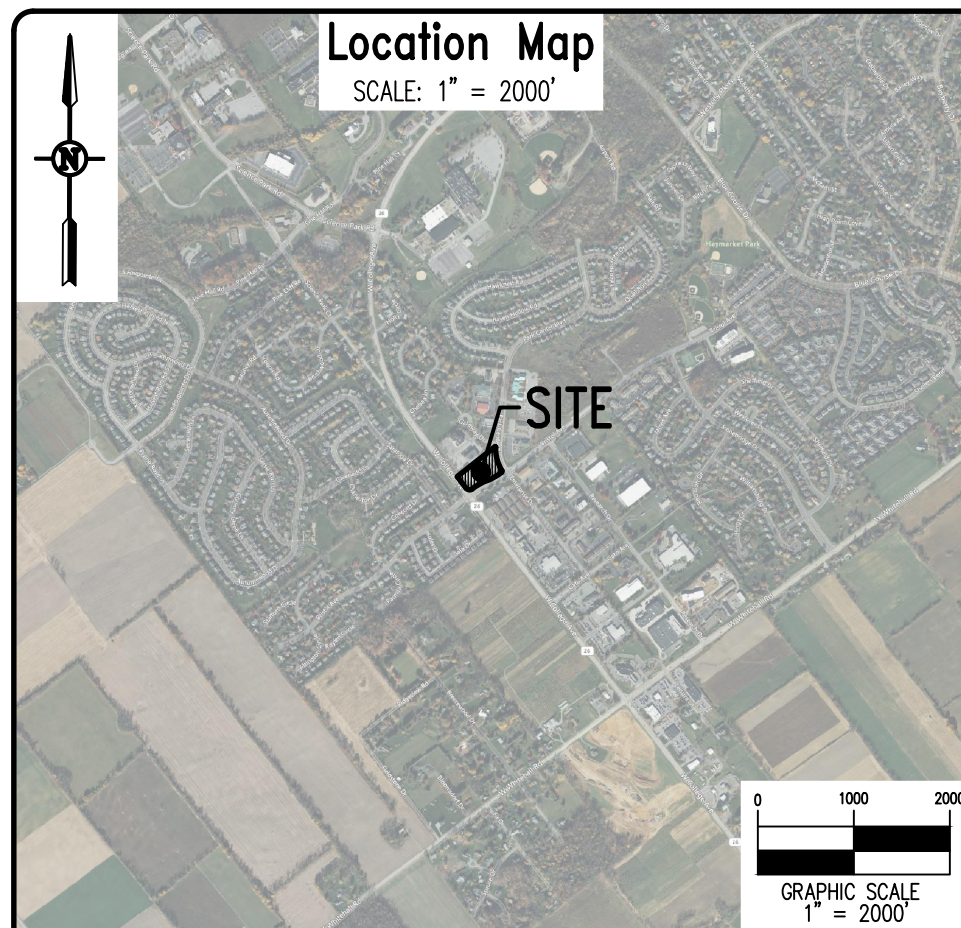
FERGUSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

**MINOR LAND DEVELOPMENT PLAN**

**EXISTING CONDITIONS, DEMOLITION & STORMWATER SITE PLAN**

PROJECT NO.	22097
DATE	MAY 13, 2022
SCALE	1" = 30'
SHEET NO.	2.0





### PLAN PURPOSE/PROJECT NARRATIVE:

The purpose of this plan is to change an existing bank building into a dental office. Site modifications include the following:

- The existing drive through lanes will be enclosed and a small addition added to this, so that the existing 5,124 sqft. building will be expanded into a 6,727 sqft. building.
- Curbing, landscaping, grading, and drainage will be revised so that the existing drive through lanes will function as a building addition.
- The screening on the trash collection area will be replaced with vinyl fencing.
- A loading zone will be added.
- The stormwater management system will be repaired as detailed in the plans.
- The existing freestanding sign will remain, although its face will be changed to reflect the dental practice.

### STORMWATER FACILITIES MAINTENANCE PROGRAM

All stormwater management facilities on Bristol Lot #1 not contained in a Ferguson Township Right-of-Way shall be owned and maintained by the lot owner and Ferguson Township shall be held harmless for these facilities. Ferguson Township shall have the uninterrupted right to access the property to inspect the stormwater facilities. The facilities that will require maintenance are the inlet, roof drains, storm sewer pipes, swales and detention basin. All stormwater facilities should be inspected monthly or after any runoff producing rainfall and maintained as follows:

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- The rip-rap aprons at the outlets of the pipes need to be inspected to ensure proper erosion protection. If erosion occurs, additional rip-rap should be added.
- The stormwater conveyance swales shall be cleared of debris; vegetation maintained to a height of six inches, and if any erosion is present the area is to be backfilled with topsoil and seeded with a permanent mixture.
- The detention basin shall be cleared of debris, vegetation maintained to a height of six inches, and if any erosion is present the area is to be backfilled with topsoil and seeded with a permanent mixture.

### SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Property Corner Found
- PennTerra Control Point
- Project Benchmark

### PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE AREAS

### EXISTING FEATURES LEGEND

- EXISTING BUILDING
- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Bituminous Areas
- Existing Landscaped Areas
- Existing Fence / Type
- Existing Sanitary Sewer w/ Manhole
- Existing Sanitary Sewer Lateral w/ Clean Out
- Existing Water Line w/ Valve
- Existing Water Service Lateral
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Fire Hydrant
- Existing Manhole
- Existing Storm Sewer Inlet Type-C
- Existing Storm Sewer Yard Drain
- Existing Utility Lateral Valve
- Existing Utility Meter
- Existing Ballard
- Existing Clean-Out
- Existing Blow-Off Valve
- Existing Light Pole/Standard
- Existing Handicap Symbol
- Existing Sign
- Existing Parking Stall Count
- Existing Mail Box
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

### EXISTING CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C1	11.45'	15.00'	6.02'	S 20° 46' 48" E	11.17'	43° 43' 09"
C2	250.58'	443.06'	128.74'	S 15° 07' 57" E	247.25'	32° 24' 15"
C3	21.53'	15.00'	13.10'	S 9° 46' 47" W	19.73'	82° 14' 40"
C4	169.44'	530.80'	85.45'	S 60° 02' 17" W	168.72'	18° 17' 22"
C5	182.69'	623.34'	92.01'	S 60° 47' 12" W	182.04'	16° 47' 34"
C6	69.10'	44.00'	43.99'	N 82° 36' 34" W	62.22'	89° 59' 06"

### Owners Certification Tax Parcel 24-465-001

Commonwealth of Pennsylvania  
County of Centre

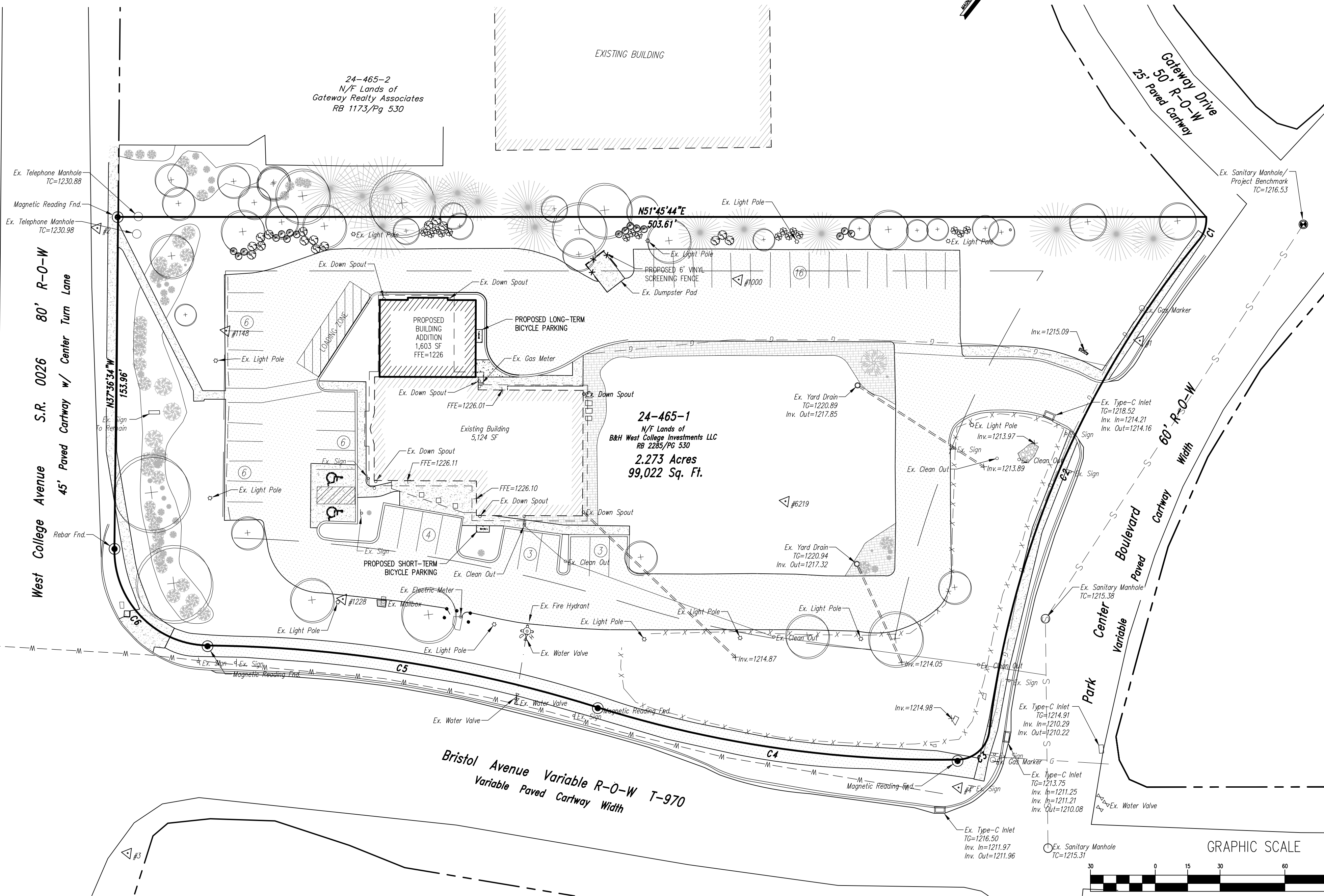
On this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, \_\_\_\_\_, personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

witness my hand and seal, this date \_\_\_\_\_

Notary Public Commission Expires \_\_\_\_\_

### Project Notes:

- General Site Information:
  - Owner Information: B&H West College Investments LLC, 325 Geary Lane, State College, PA 16801
  - Tax Parcel Number: 24-465-001
  - Deed Information: Record Book 2285, Page 530
  - Total Parcel Area: 2,273 AC (99,022 SF)
  - Property Address: 2591 Park Center Blvd, State College, PA 16801
  - Municipality: Ferguson Township
  - Zoning: Light Industry, Research & Development (R0)
  - Proposed Site Use: Square Footage Expansion to Existing Building
  - Maximum Building Coverage: 33% (76,707 SF)
  - Proposed Building Coverage: 7% (6,727 SF)
  - Maximum Building Height: 45'
  - Proposed Building Height: 38'
  - Existing Impervious Area: 5,124 SF (5%) Building, 37,114 SF (38%) Parking/ Driveway/ Walks, 42,238 SF (43% Total)
  - Proposed Impervious: 6,727 SF (7%) Building, 34,845 SF (35%) Parking/ Driveway/ Walks, 41,572 SF (42% Total), (80% Total) (30% Building)
  - Max Allowable:
    - Parking Requirements: Existing Parking Spaces: 44, Proposed Parking Spaces: 44
    - Required (For Existing): Total Required - 1 space per 250 NFA (Professional and Financial Offices)
    - Required (For Proposed): Total Required - 1 spaces per 250 NFA (Clinics and Medical and Dental Offices)
    - Clinics and Medical and Dental Offices: 6,727 S.F. at 1/250 S.F. = 26,908 spaces. TOTAL REQUIRED PARKING SPACES = 27 SPACES. PROVIDED: Reduced to 44 TOTAL SPACES
- Building Setbacks:
  - Zoning (R0): Front: 50', Side: 25', Rear: 50'
  - Existing landscaping will remain in place.
  - Existing exterior lights will remain in place.
  - This project results in a reduction of impervious area and does not raise existing drainage patterns. Existing stormwater conveyance and detention facilities will not be revised or expanded for this project.
- Ad 287 Utility Information: (Serial Number: 50)
  - All utility locations should be verified prior to any construction. Utility information and locations should be considered approximate. Contractor shall notify by one call prior to any excavation.
  - Water: State College Borough Water Authority, 1201 West Branch Road, State College, PA 16801; (814) 238-6786
  - Sanitary Sewer: University Area Sewer Authority, 1576 Spring Valley Road, State College, PA 16801; (814) 238-5361
  - Telephone: Verizon, 224 South Allen Street, State College, PA 16801; (814) 231-6511
  - Electric: West Penn Power Company, 2800 E. College Ave., State College, PA 16801; (814) 237-5721
  - Cable television: Comcast, 60 Decatur Road, State College, PA 16801; (800) 992-3315
  - Gas: Columbia Gas, 2550 Carlson Industrial Drive, State College, PA 16801; (814) 238-6775
  - Storm Sewer: Ferguson Township, 3147 Research Drive, State College, PA 16801; (814) 238-4651
- Natural Site Features & Survey Information:
  - Soil limits and descriptions have been taken from the Natural Resources Conservation Service Web Soil Survey dated May 2022.
  - Horizontal Datum is Pennsylvania North Zone State Plane Coordinates, North American Datum of 1983 (PA NAD83) U.S. Feet.
  - Elevation Datum is the North American Vertical Datum of 1988 (NAVD 88).
  - The Project Benchmark is at the top of casing of the sanitary manhole, located at the intersection of Park Center Boulevard and Gateway Drive. Elevation = 1216.57'.
- For additional information, refer to:
  - "Addendum to Stormwater Management Report", prepared by PennTerra Engineering, Inc., dated May 28, 2024.
  - "Stormwater Management Plan", prepared by PennTerra Engineering, Inc., dated May 27, 2023.
  - "Soil Erosion and Sedimentation Control Plan", prepared by PennTerra Engineering, Inc., dated May 27, 2023.
  - "Omni Bank Bristol Park Lot #1 Preliminary/Final Land Development Plan", prepared by PennTerra Engineering, Inc., dated May 28, 2024. Recorded at the Office of the Recorder of Deeds of Centre County in Plat Book 71, Page 174 dated September 16, 2024.
- Contours shown were generated from a field survey, on May 4th, 2022, by PennTerra Engineering, Inc. based on USGS datum.
- Based on field survey by PennTerra Engineering Inc, there are no visible sinkholes or areas of closed depressions within the area of work.
- This Record Plan conforms with the Plan receiving final approval by the Ferguson Township Board of Supervisors dated \_\_\_\_\_. All improvements are or will be installed in accordance with such Plan in a manner and time so specified therein.
- Ferguson Township personnel shall have the uninterrupted right to access the property to inspect and maintain the stormwater facilities in the event that the owner does not comply with the Ferguson Township requirements.
- A zoning permit application was submitted to Ferguson Township, dated May 2, 2022.
- A pre-construction conference is required prior to construction of any stormwater facilities.
- A waiver to consider this plan as a Minor Land Development Plan was granted by the Ferguson Township Board of Supervisors on April 19, 2022.
- There will be no changes to the lighting on site.



### Storm Water Facilities Acknowledgement

I/We, \_\_\_\_\_ the landowner(s), my/our heirs and assigns, acknowledge the Stormwater Management System to be a permanent facility which can be altered or removed only after approval of a revised plan by the Ferguson Township Board of Supervisors. The stormwater management system is to be maintained in accordance with the approved ownership and maintenance program.

### Township Engineer Certification

I, \_\_\_\_\_, have reviewed and hereby certify that the plan meets all engineering design standards and criteria of the Ferguson Township Code of Ordinances.

### Township Planning Commission

Ferguson Township Planning Commission Approved

Chair	Date
Secretary	Date

### Township Supervisors

Ferguson Township Supervisors Approved

Chair	Date
Secretary	Date

### Fire Chief Certification

I have reviewed and hereby certify that the location of Fire Lanes and Fire Hydrants shown on this plan are adequate.

Fire Chief \_\_\_\_\_ Date \_\_\_\_\_

### Professional Land Surveyor Certification

I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

Signature \_\_\_\_\_ Date \_\_\_\_\_

### Design Engineer Certification

I, \_\_\_\_\_, hereby certify that this land development meets all design requirements of the Subdivision and Land Development Ordinance, Zoning Ordinance and all other applicable Chapters of Ferguson Township Code.

**PennTerra ENGINEERING INC.**  
**CENTRAL PENNSYLVANIA REGION OFFICE:**  
 3075 ENTERPRISE DRIVE SUITE 100  
 STATE COLLEGE, PA 16801  
 PH: 814-231-8285  
 FX: 814-237-2308

**LANCASTER REGION OFFICE:**  
 3904 B ABEL DRIVE  
 COLUMBIA, PA 17512  
 PH: 717-522-5031  
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**PENNTERRA ENGINEERING 2022 ALL RIGHTS RESERVED**

REGISTERED PROFESSIONAL ENGINEER  
 JOHN C. SEPP  
 LICENSE NO. 50001171

REGISTERED PROFESSIONAL ENGINEER  
 NEVIN L. GROVE  
 LICENSE NO. 50011711

Designer: C.J.W.  
 Draftsman: C.J.W.  
 Proj/Manager: LCS  
 Surveyor:  
 Perimeter Ok.  
 Book: Pg.  
 File: 22087-PRE-43-04-RECORD  
 Layout: RECORD

Date	Description	REVISIONS
07/07/2022	REVISED PER TWP COMMENTS	CM
06/23/2022	REVISED PER TWP COMMENTS	CM

**NITTANY DENTAL**

FERGUSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

**MINOR LAND DEVELOPMENT PLAN**

**RECORD PLAN**

PROJECT NO. 22097  
 DATE MAY 13, 2022  
 SCALE 1" = 30'  
 SHEET NO. 3.0



**CONSTRUCTION NOTES**

- Field survey data prepared by PennTerra Engineering, Inc. Contractor shall field verify all information and contact the site Owner or Owner's representative and engineer in the event of a discrepancy.
- The Contractor shall be responsible for examining the areas and conditions under which the project is to be constructed prior to the submission of a bid. Submission of a bid shall be construed to mean the Contractor has reviewed the site and is familiar with conditions and constraints of the site.
- The Contractor shall repair or replace all curb, pavement, utilities, sidewalks, landscaping, etc., within the site damaged during construction that are not indicated to be removed. All repairs or replacements are at the Contractor's expense.
- All paving to be removed shall be sawcut to provide a sharp clean edge. Existing bituminous pavement shall be removed as required for new curb, walkway, or utility construction. Refer to detail sheets for specific curb type of installation. Contractor shall then mill and/or patch bituminous paving and install scratch course as required to meet existing or proposed grades. All new bituminous paving joints shall be sealed with PG64-22.
- The Contractor shall verify elevations of existing paving at new paving connection locations before the paving subbase installation and report any discrepancies that will affect the drainage of the areas to the Owner's representative and engineer.
- The Contractor shall maintain one set of contract documents on site to be utilized for record documents. Field records of the depth and locations of all underground service utilities (water, sanitary sewer, storm drains, primary and secondary electric, gas, and cable television) shall be added to the record set by the Contractor as well as all field revisions and adjustments.
- The Contractor shall refer to the architectural plans for the exact location of utility entrances, building dimensions, roof leaders exit doors, exit ramps, and porches. All site work shall be done in accordance with the plans prepared by PennTerra Engineering, the current regulations of the governing municipality, and all other pertinent federal, state & local laws. Any conflicts between the architectural plans and site plans shall be reported immediately to the Owner's representative.
- The Contractor shall comply at all times with applicable federal, state and local laws, provisions, and policies governing safety and health, including the Federal Construction Safety Act (Public Law 91-54), Federal Register, Chapter XVII, Part 1926 of Title 29 regulations, occupational safety and health regulations for construction, and subsequent publications updating these regulations.
- All site work shall be done in accordance with the plans prepared by PennTerra Engineering Inc., the current requirements of the Ferguson Township, Centre County, the applicable sections of the PennDOT Standard Specifications for Roadway Construction, and all other pertinent federal and state laws.

**PROPOSED FEATURES LEGEND**

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE AREAS
- PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- PROPOSED SPOT ELEVATION

**SURVEY FEATURES LEGEND**

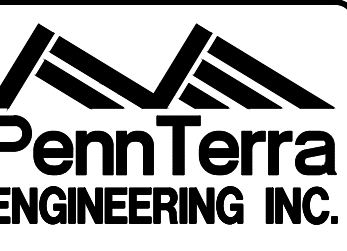
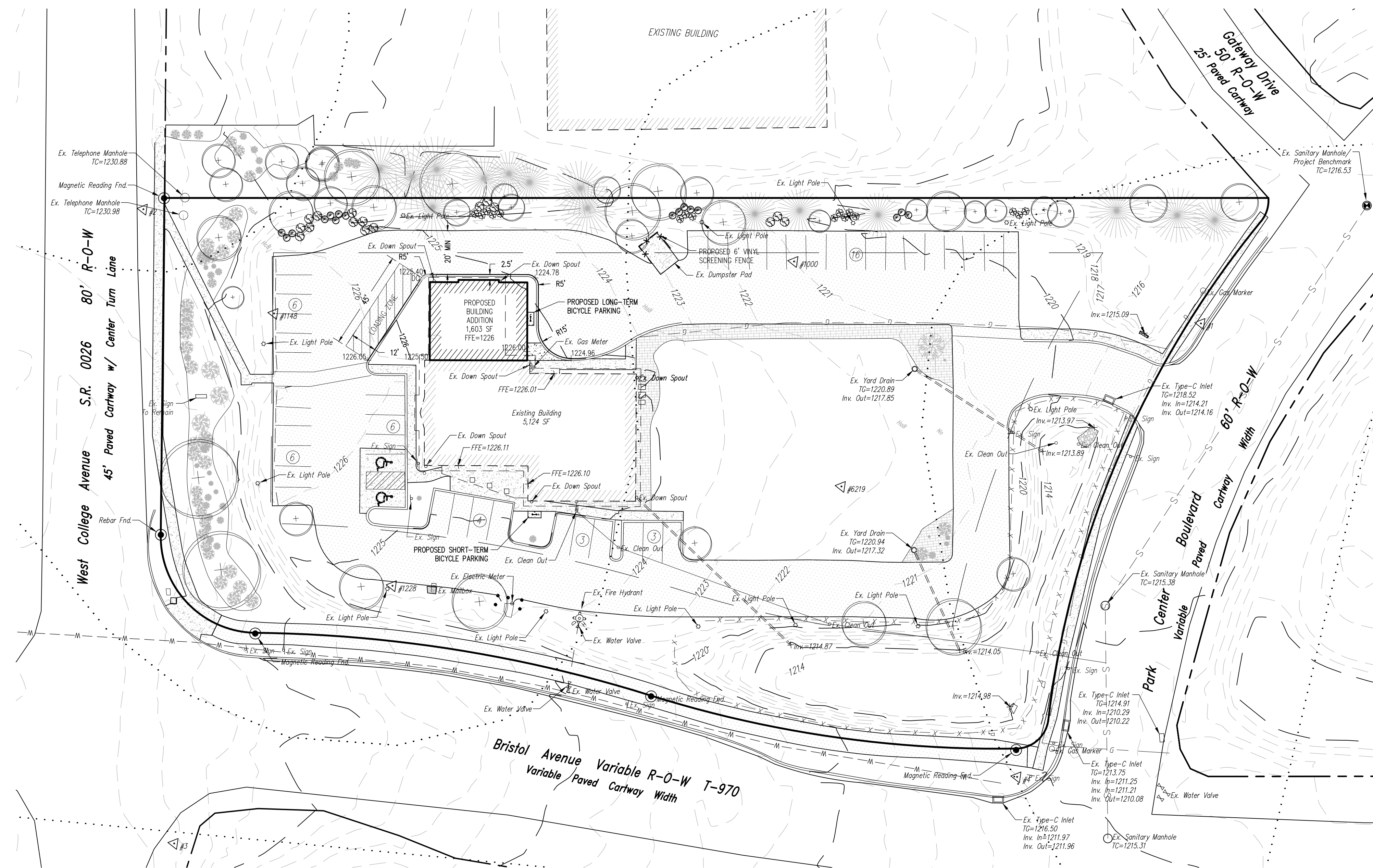
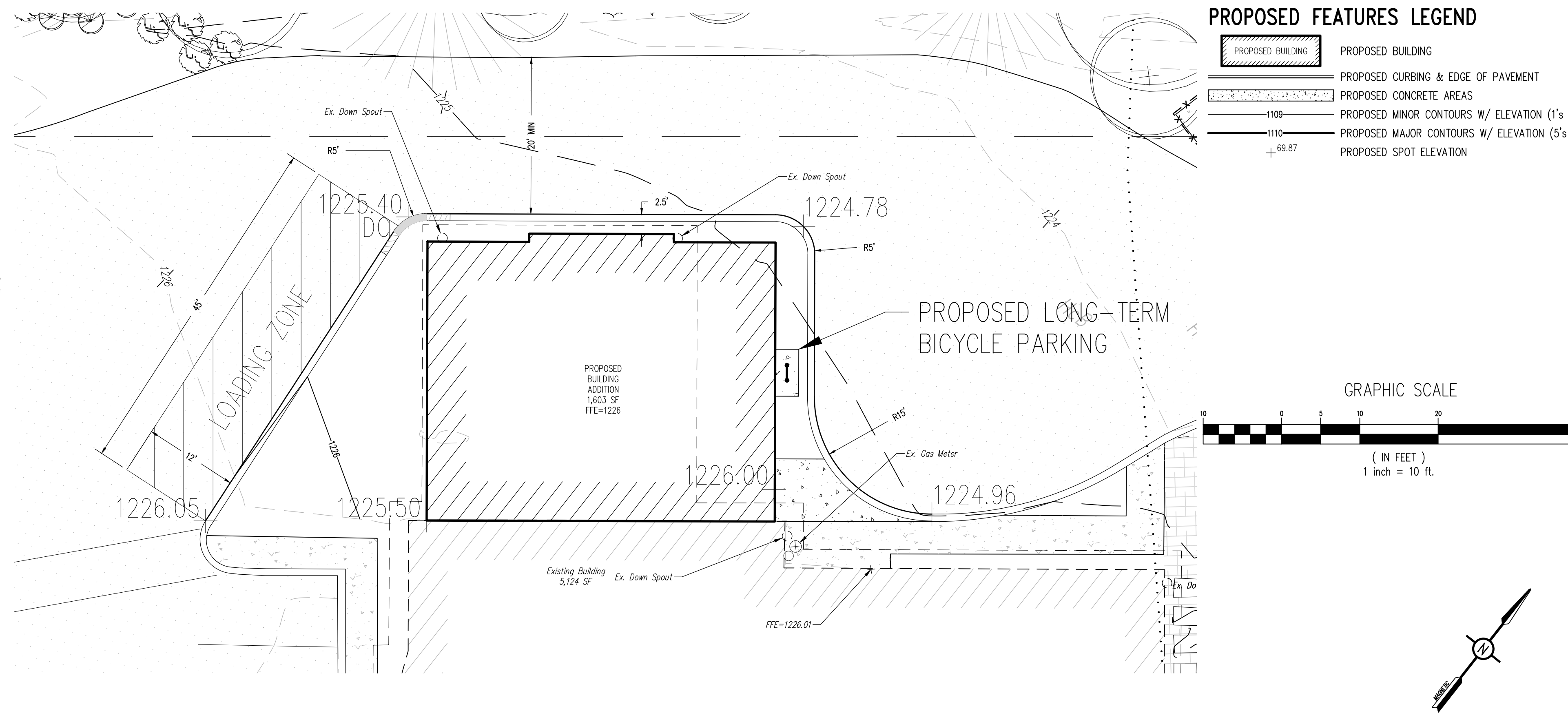
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- Adjoining Property Line
- Building Setback Line
- Property Corner Found
- PennTerra Control Point
- Project Benchmark

**EXISTING FEATURES LEGEND**

- Existing Building
- Existing Curbing & Edge of Pavement
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- Existing Landscaped Areas
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- Existing Mail Box
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

**SOILS LEGEND**

Soil cover on the site consists of:  
 HaA - Hagerstown Silt Loam, 0%-3% Slopes  
 HaB - Hagerstown Silt Loam, 3%-8% Slopes  
 HaC - Hagerstown Silty Clay Loam, 3%-8% Slopes  
 No - Nain Silt Loam, Local Alluvium, 0%-5% Slopes

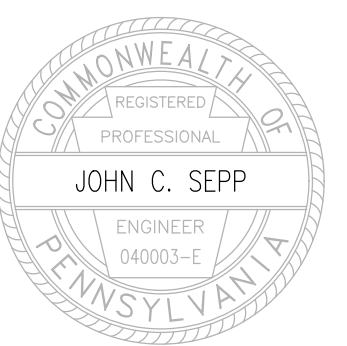


**CENTRAL PENNSYLVANIA REGION OFFICE:**  
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**PENNTERRA ENGINEERING 2022**  
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Designer: C.J.W.  
 Draftsman: C.J.W.  
 Proj/Manager: LCS  
 Surveyor:  
 Perimeter Ok:  
 Book: Pg:  
 File: 22001-PRJ-LD-95-GEOMETRY  
 Layout: GEOMETRY

Date	Description	REVISIONS
07/07/2022	REVISED PER TWP COMMENTS	CM
06/23/2022	REVISED PER TWP COMMENTS	CM

Date	Description	REVISIONS
07/07/2022	REVISED PER TWP COMMENTS	CM
06/23/2022	REVISED PER TWP COMMENTS	CM

**NITTANY DENTAL**  
 FERGUSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

**MINOR LAND DEVELOPMENT PLAN**

**GEOMETRY & GRADING PLAN**

PROJECT NO.	22097
DATE	MAY 13, 2022
SCALE	AS SHOWN
SHEET NO.	4.0

P:\ddp\03\2022\22097\Design\04\Geometry.dwg 7/7/2022 10:15:26 AM, 1:1



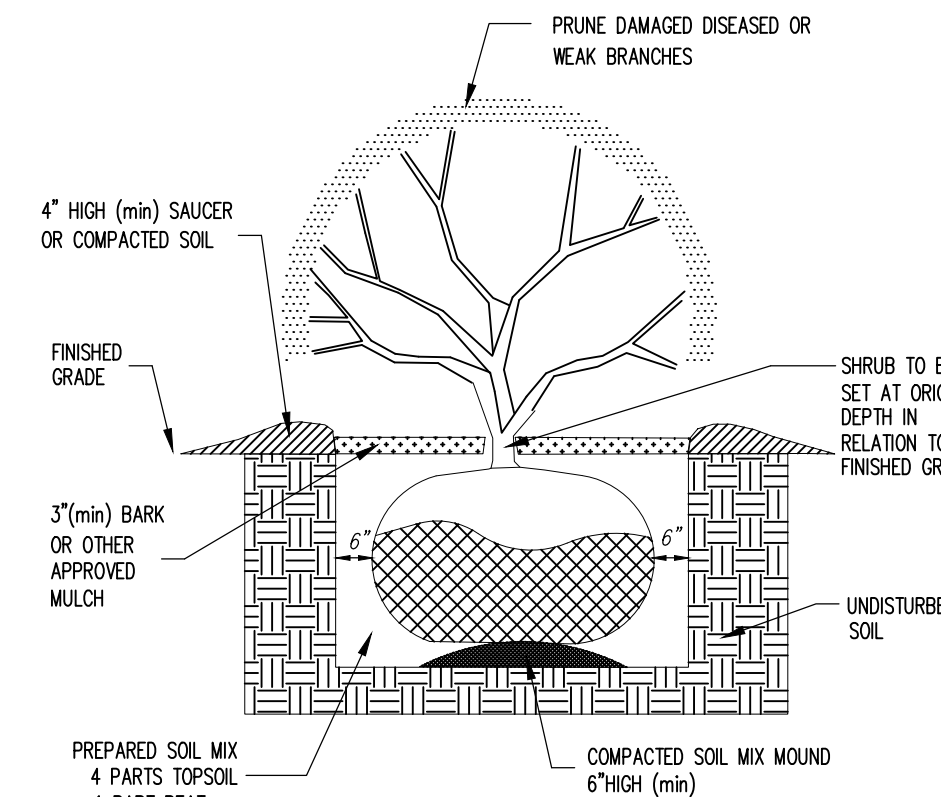
**LANDSCAPE NOTES**

1. Trees are to be mulched individually in a 4" diameter circle.
2. The mulch is to be double shredded hardwood bark mulch, well-aged and dark in color. Apply the mulch 3-4" thick.
3. Plant material substitutions may only be permitted at the approval of the owner and approving municipality prior to planting.
4. Any plantings which do not survive for a period of one year from the date of planting are to be replaced by the landscape contractor at no additional cost to the Owner.
5. All new plant material is to be kept watered by the landscape contractor when working on site until acceptance of the completion of the landscape or end of the season (then resume next season until project is completed). The owner will be responsible for watering thereafter.
6. All disturbed areas not being planted in trees or shrubs are to be fine graded with 6" of topsoil and seeded with a hardy perennial grass seed mixture and mulched with straw.
7. Grass must be 2 inches high over 90% of the seeded areas prior to acceptance by the owner.
8. All caliper measurements for landscaping shall be measured at 6" above the root ball.
9. Quantities of plant material noted on the planting schedule are to be verified with quantities shown on the plan which will have priority.

EXISTING NORTH BUFFER PLANTING SCHEDULE				
SYMBOL	KEY	QTY	COMMON NAME	BOTANICAL NAME
<b>CANOPY TREES</b>				
○	LT	1	Tulip Poplar	Liriodendron Tulipifera
○	AS	6	Sugar Maple 'Green Mountain'	Acer Saccharum 'Green Mountain'
<b>UNDERSTORY/EVERGREEN TREES</b>				
☀	PM	5	Douglas Fir	Pseudotsuga Menziesii
○	AC	9	Serviceberry	Amelanchier Species

PROPOSED NORTH BUFFER PLANTING SCHEDULE					
SYMBOL	KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE
<b>SHRUBS</b>					
⊗	CS	16	Red Twig Dogwood	Cornus Stolonifera	36" H
⊗	HQ	16	Oakleaf Hydrangea	Hydrangea Quercifolia	36" H
⊗	RP	16	PJM Rhododendron	Rhododendron PJM	36" H

NOTE: ALL TREES AND SHRUBS SHALL BE PLANTED IN ACCORDANCE WITH THE GUIDE TO PLANTING IN FERGUSON TOWNSHIP STANDARDS.



TYPICAL SHRUB PLANTING DETAIL  
NOT TO SCALE

**PROPOSED FEATURES LEGEND**

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE AREAS
- PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- PROPOSED SPOT ELEVATION

**SURVEY FEATURES LEGEND**

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Property Corner Found
- PennTerra Control Point
- Project Benchmark

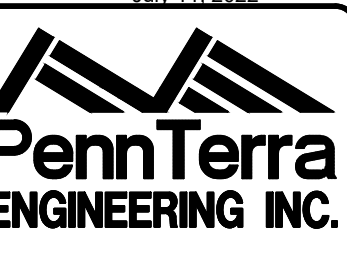
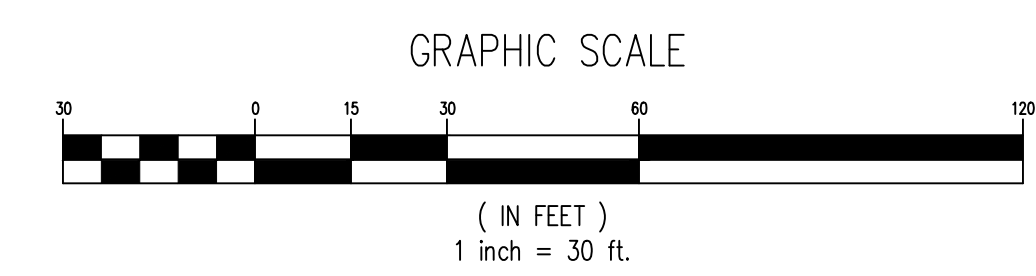
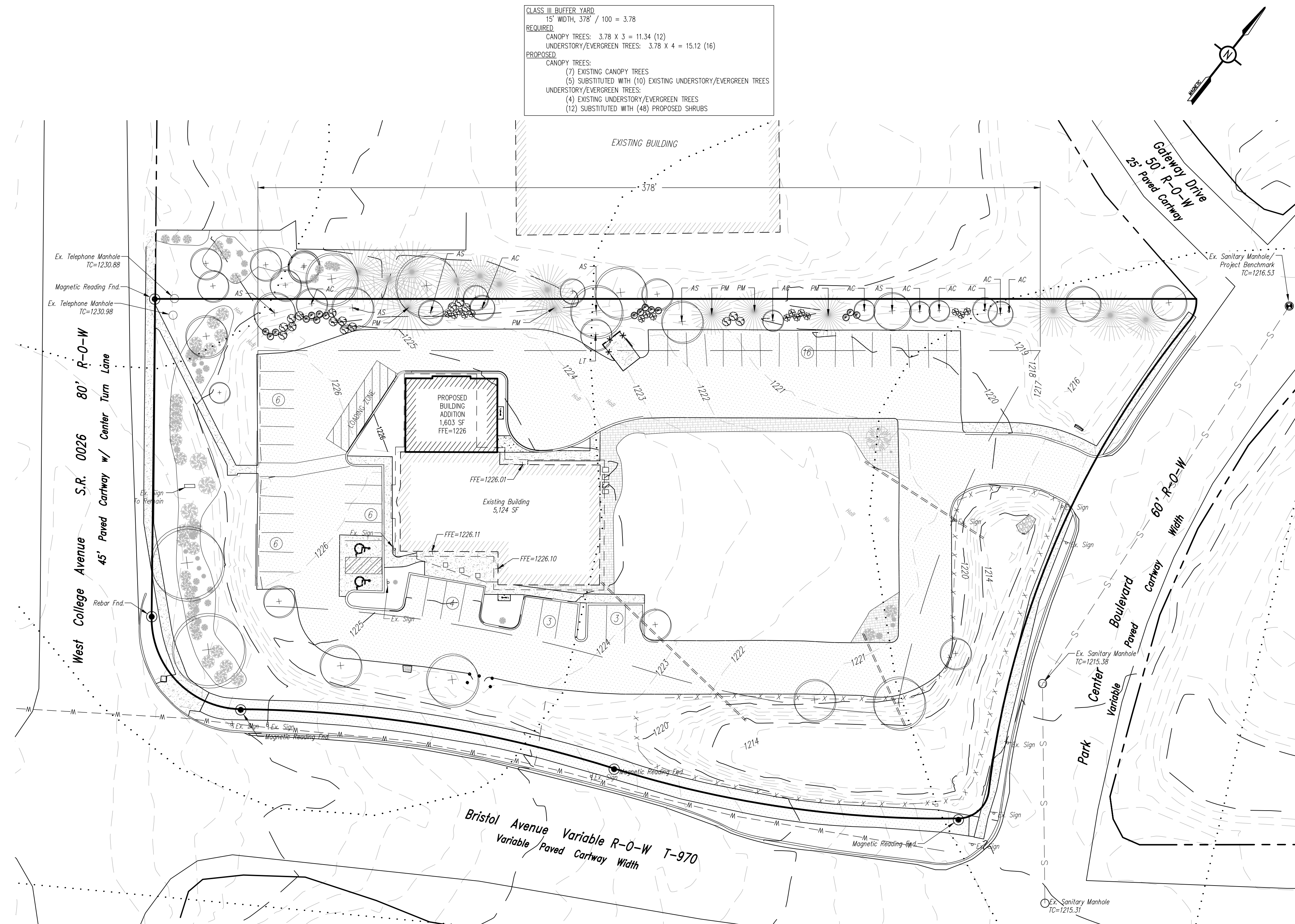
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- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

**SOILS LEGEND**

Soil cover on the site consists of:  
 HaA - Hagerstown Silt Loam, 0%-3% Slopes  
 HaB - Hagerstown Silt Loam, 3%-8% Slopes  
 HaC - Hagerstown Silty Clay Loam, 3%-8% Slopes  
 No - Nain Silt Loam, Local Alluvium, 0%-5% Slopes

**CLASS III BUFFER YARD**  
 15' WIDTH, 378' / 100 = 3.78  
 REQUIRED  
 CANOPY TREES: 3.78 X 3 = 11.34 (12)  
 UNDERSTORY/EVERGREEN TREES: 3.78 X 4 = 15.12 (16)  
 PROPOSED  
 CANOPY TREES:  
 (7) EXISTING CANOPY TREES  
 (5) SUBSTITUTED WITH (10) EXISTING UNDERSTORY/EVERGREEN TREES  
 UNDERSTORY/EVERGREEN TREES:  
 (4) EXISTING UNDERSTORY/EVERGREEN TREES  
 (12) SUBSTITUTED WITH (48) PROPOSED SHRUBS

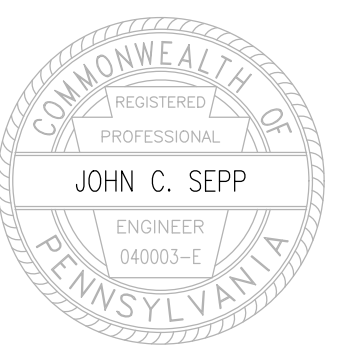


**CENTRAL PENNSYLVANIA REGION OFFICE:**  
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Designer	CJW
Draftsman	CJW
Proj Manager	LCS
Surveyor	
Perimeter Ok	
Book	Pg
File	22097-FEE-18-09-LANDSCAPE
Layout	LANDSCAPE

07/07/2022	REVISED PER TWP COMMENTS
08/23/2022	REVISED PER TWP COMMENTS
Date	Description
	REVISIONS

**NITTANY DENTAL**  
 FERGUSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

MINOR LAND DEVELOPMENT PLAN

LANDSCAPING PLAN

PROJECT NO.	22097
DATE	MAY 13, 2022
SCALE	1" = 30'
SHEET NO.	5.0



LUMINAIRE SCHEDULE								
Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
A	13	AS2 250M SR4SC	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SR4SC REFLECTOR.	1 - 250W MH	L1010100.ies	21000	0.72	250
B	1	AS2 250M SR3	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SR3 REFLECTOR.	1 - 250W MH	L1010099.ies	21000	0.72	250

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
OVERALL SITE	+	0.9 fc	5.7 fc	0.0 fc	N / A	N / A
PARKING LOT ONLY	X	2.2 fc	5.7 fc	0.4 fc	14.3:1	5.6:1

**PROPOSED FEATURES LEGEND**

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE AREAS
- PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- PROPOSED SPOT ELEVATION

**SURVEY FEATURES LEGEND**

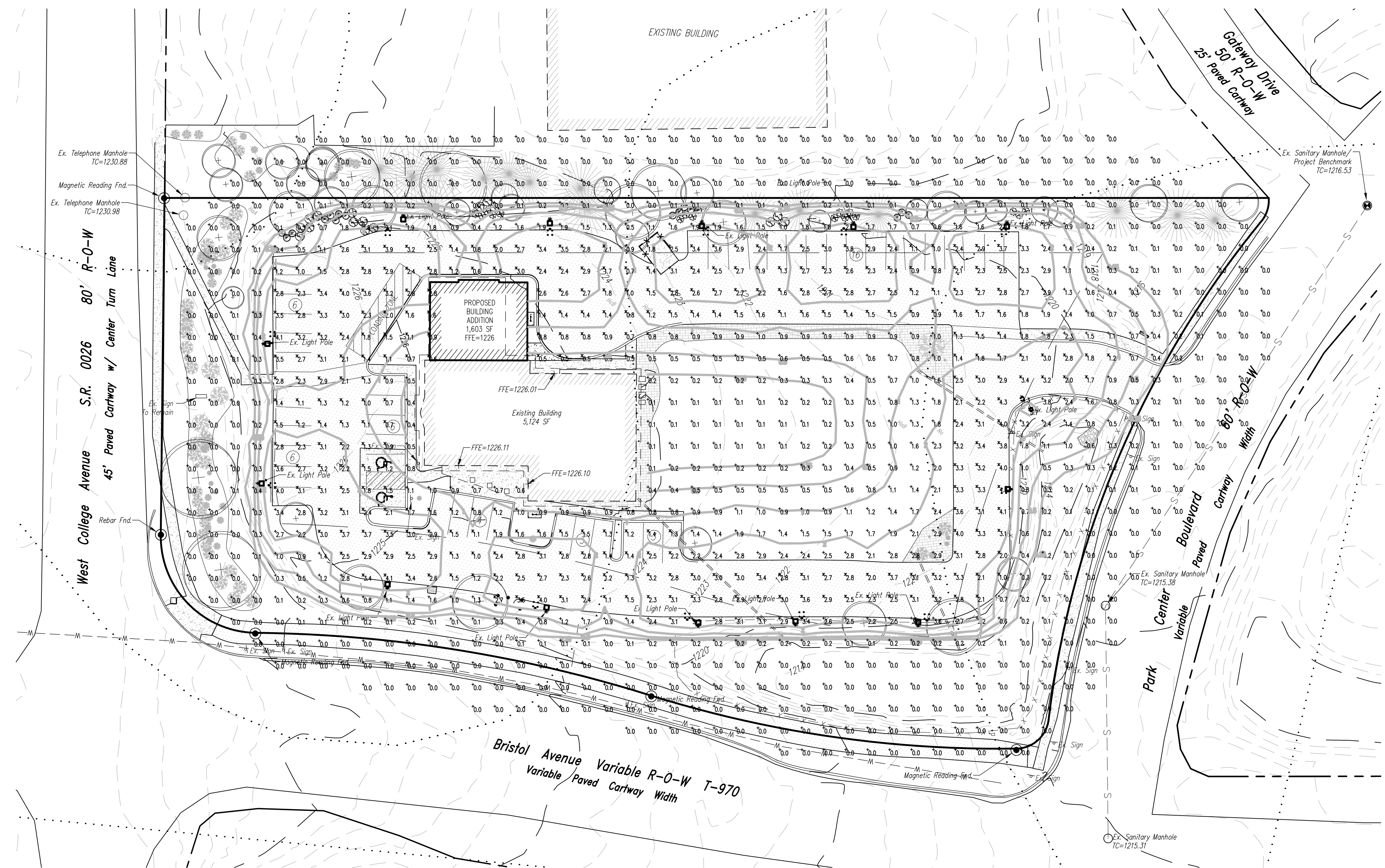
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- Existing Soil Type
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

**SOILS LEGEND**

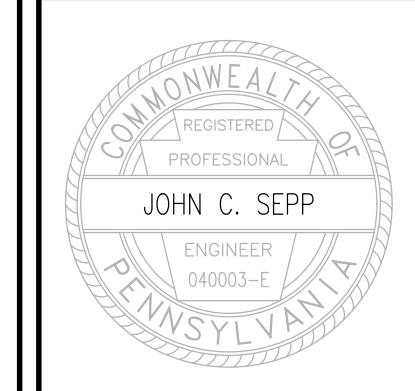
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 HaC - Hagerstown Silty Clay Loam, 3% - 8% Slopes  
 No - Nolin Silt Loam, Local Alluvium, 0% - 5% Slopes



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Designer	2022	CJW
Draftsman		CJW
Proj Manager		LCS
Surveyor		
Perimeter Ok		
Book		Pg
File	22097-PRE-10-10-LIGHTING	
Layout		LIGHTING

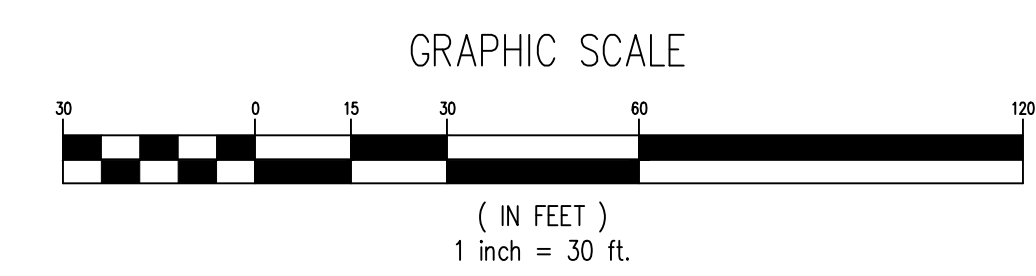
07/07/2022	REVISED PER TWP COMMENTS	CJW
06/21/2022	REVISED PER TWP COMMENTS	CJW
Date	Description	REVISIONS

**NITTANY DENTAL**  
 FERGUSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

**MINOR LAND DEVELOPMENT PLAN**

**LIGHTING PLAN**

PROJECT NO.  
22097  
 DATE  
MAY 13, 2022  
 SCALE  
1" = 30'  
 SHEET NO.  
**6.0**

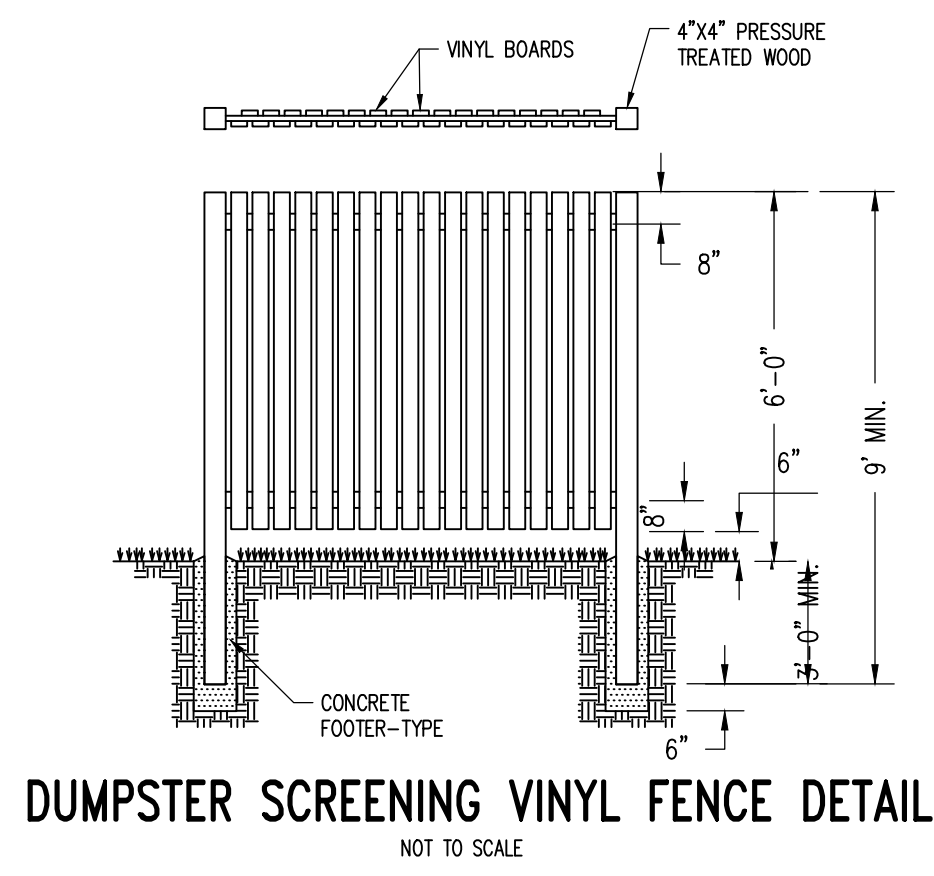
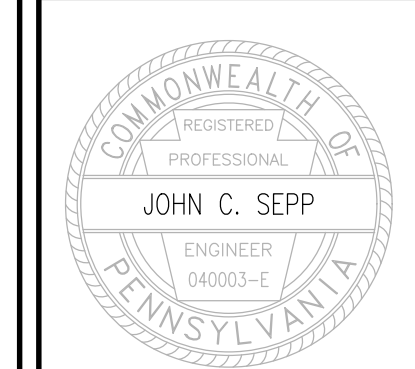




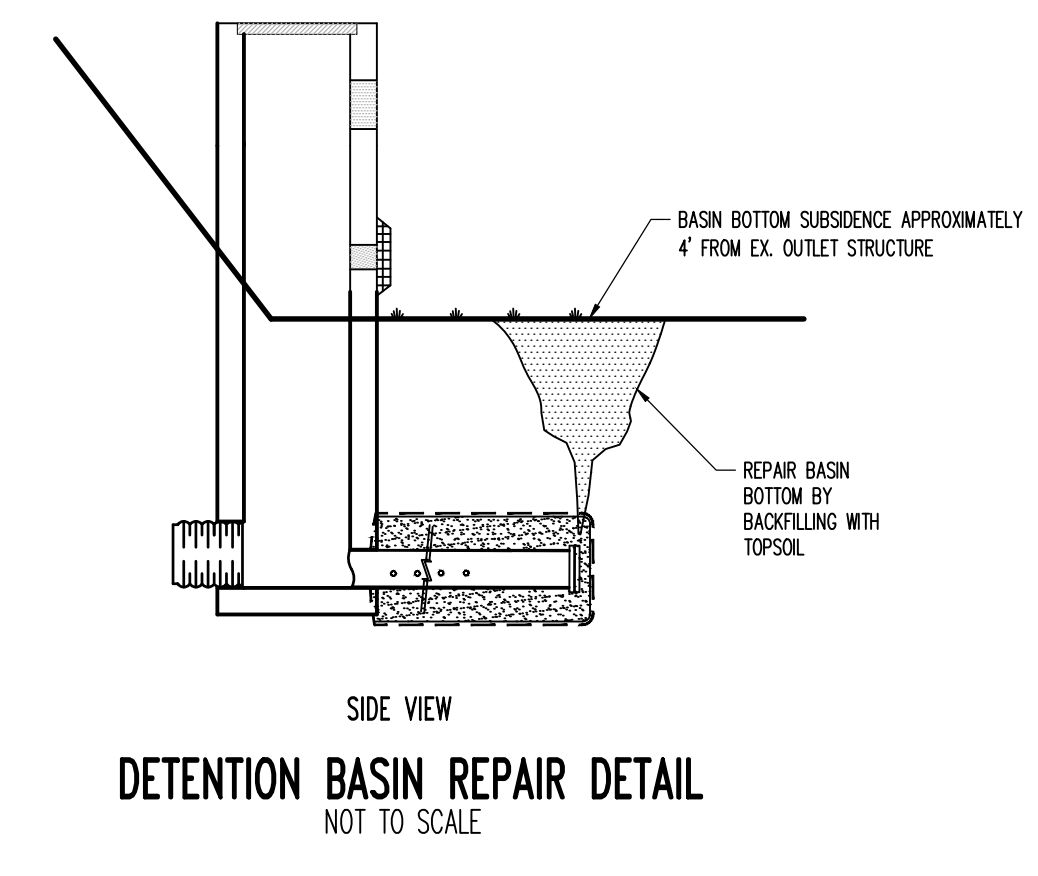
**PennTerra ENGINEERING INC.**  
CENTRAL PENNSYLVANIA REGION OFFICE:  
3075 ENTERPRISE DRIVE  
SUITE 100  
STATE COLLEGE, PA 16801  
PH: 814-231-8285  
Fax: 814-237-2308

LANCASTER REGION OFFICE:  
3904 B ABEL DRIVE  
COLUMBIA, PA 17512  
PH: 717-522-5031  
Fax: 717-522-5046

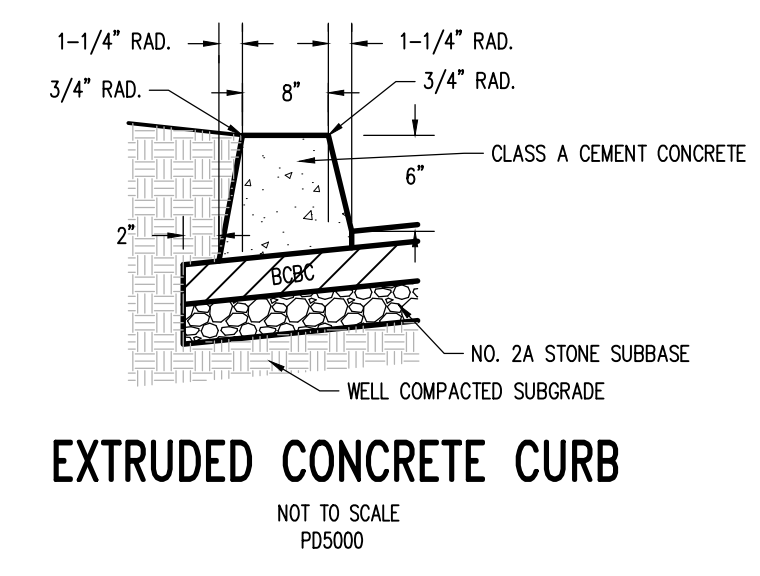
WWW.PENNTERRA.COM  
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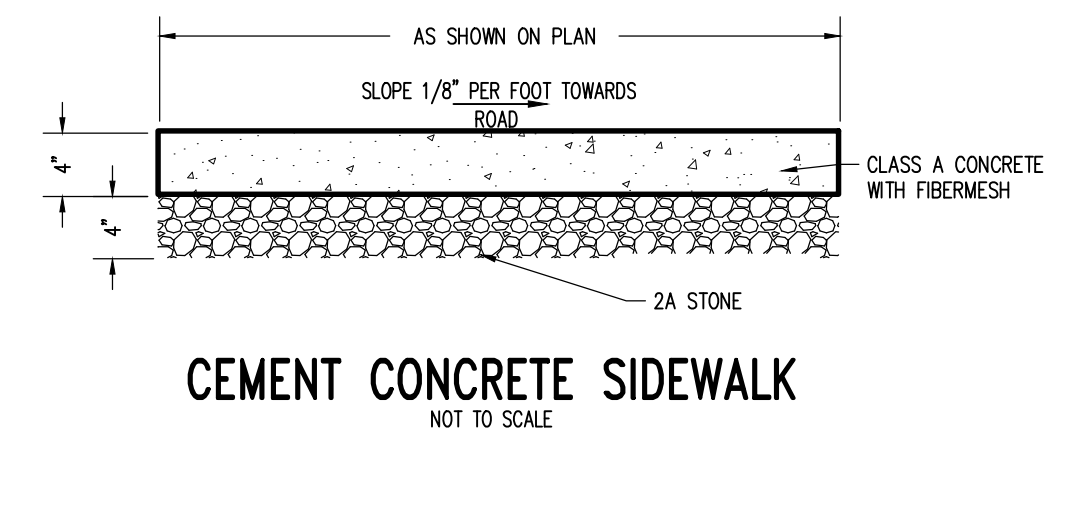
DUMPSTER SCREENING VINYL FENCE DETAIL  
NOT TO SCALE



DETENTION BASIN REPAIR DETAIL  
NOT TO SCALE



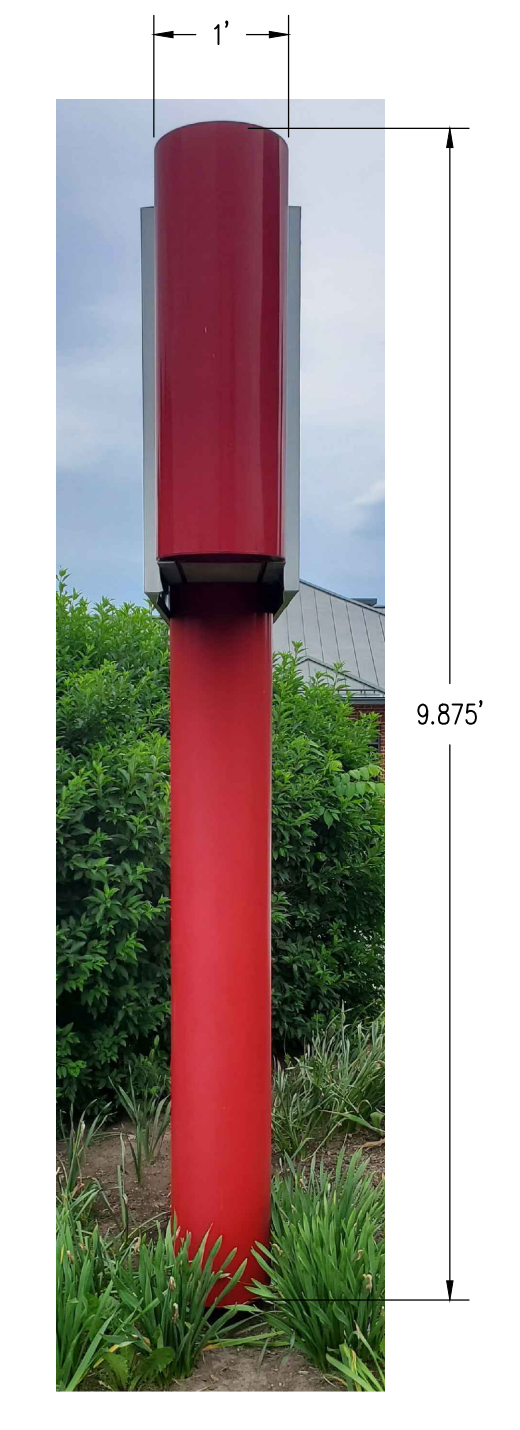
EXTRUDED CONCRETE CURB  
NOT TO SCALE  
PDS000



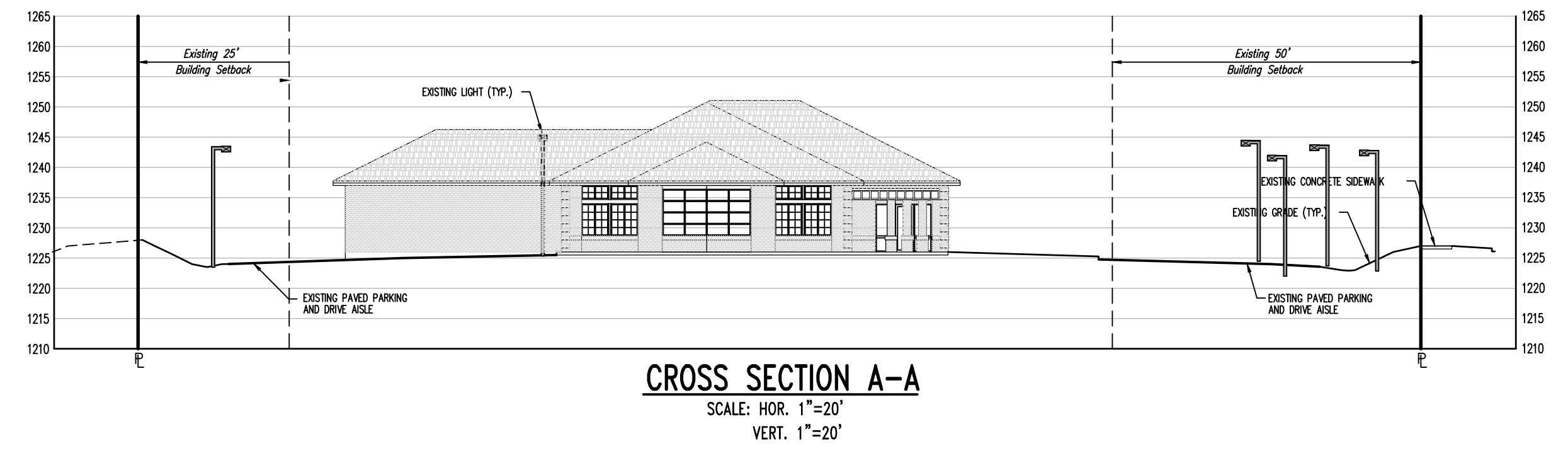
CEMENT CONCRETE SIDEWALK  
NOT TO SCALE



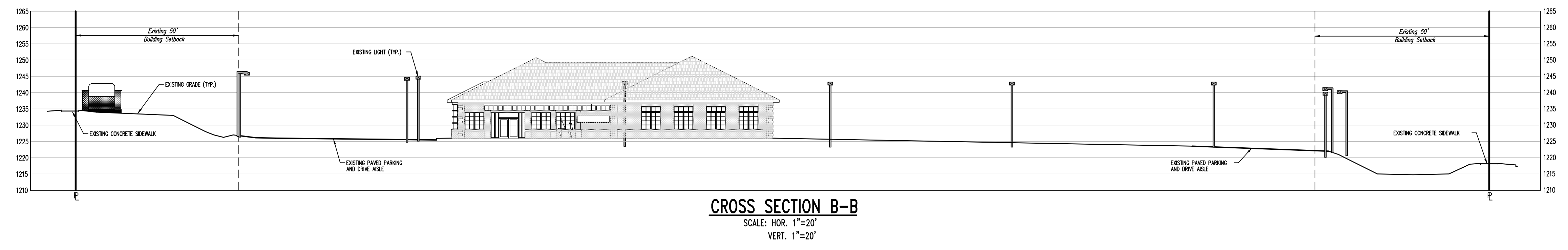
EXISTING SIGN (FRONT VIEW)  
NOT TO SCALE



EXISTING SIGN (SIDE VIEW)  
NOT TO SCALE



CROSS SECTION A-A  
SCALE: HOR. 1"=20'  
VERT. 1"=20'



CROSS SECTION B-B  
SCALE: HOR. 1"=20'  
VERT. 1"=20'

Designer	CJW
Draftsman	CJW
Proj Manager	LCS
Surveyor	
Perimeter Ok	
Book	Pg
File	22087-PRE-LD-11-DETAILS
SITE CROSS SECTIONS & DETAILS	

07/07/2022	REVISED PER TWP COMMENTS
08/12/2022	REVISED PER TWP COMMENTS
Date	Description
	REVISIONS

**NITTANY DENTAL**  
FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

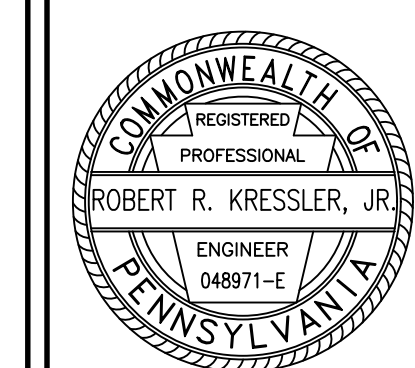
MINOR LAND  
DEVELOPMENT PLAN

SITE CROSS  
SECTIONS &  
DETAILS

PROJECT NO.	22097
DATE	MAY 13, 2022
SCALE	AS SHOWN
SHEET NO.	7.0

P:\ddp\proj\2022\22097\Design\plot files\prelim plans\22097\_PRE-LD-11-DETAILS.dwg, 7/7/2022, 10:16:43 AM, 1:1





Designer: JHN  
Draftsman: MLH  
Proj Manager: RWR  
Surveyor: RLD  
Perimeter Ck.:  
Book: 368 Pg: 54  
Drive: P: 04 View/Snap  
Acad: 04063/design/04063-stm-ab-5-31-05.rvt

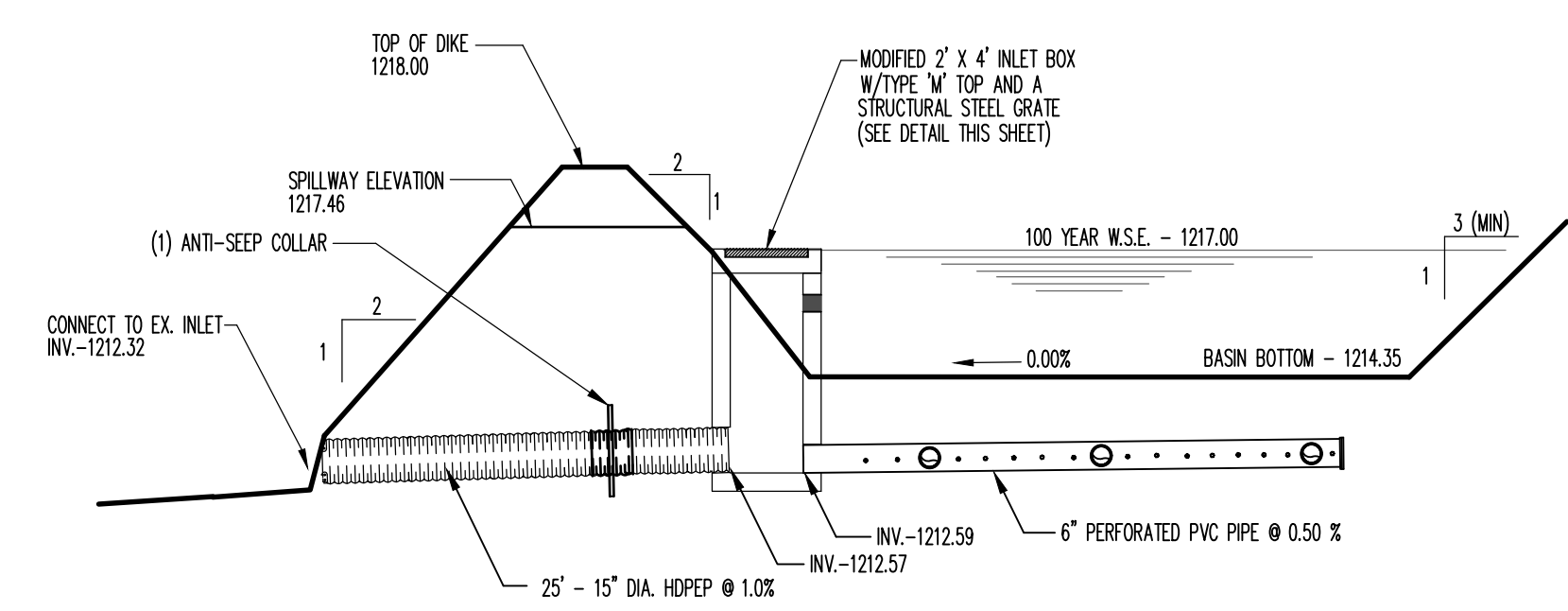
Date	Description
5-31-07	REVISED PER TOWNSHIP COMMENTS TO SPILLWAY ELEVATIONS
	REVISIONS

**OMEGA BANK BRISTOL PARK LOT #1**

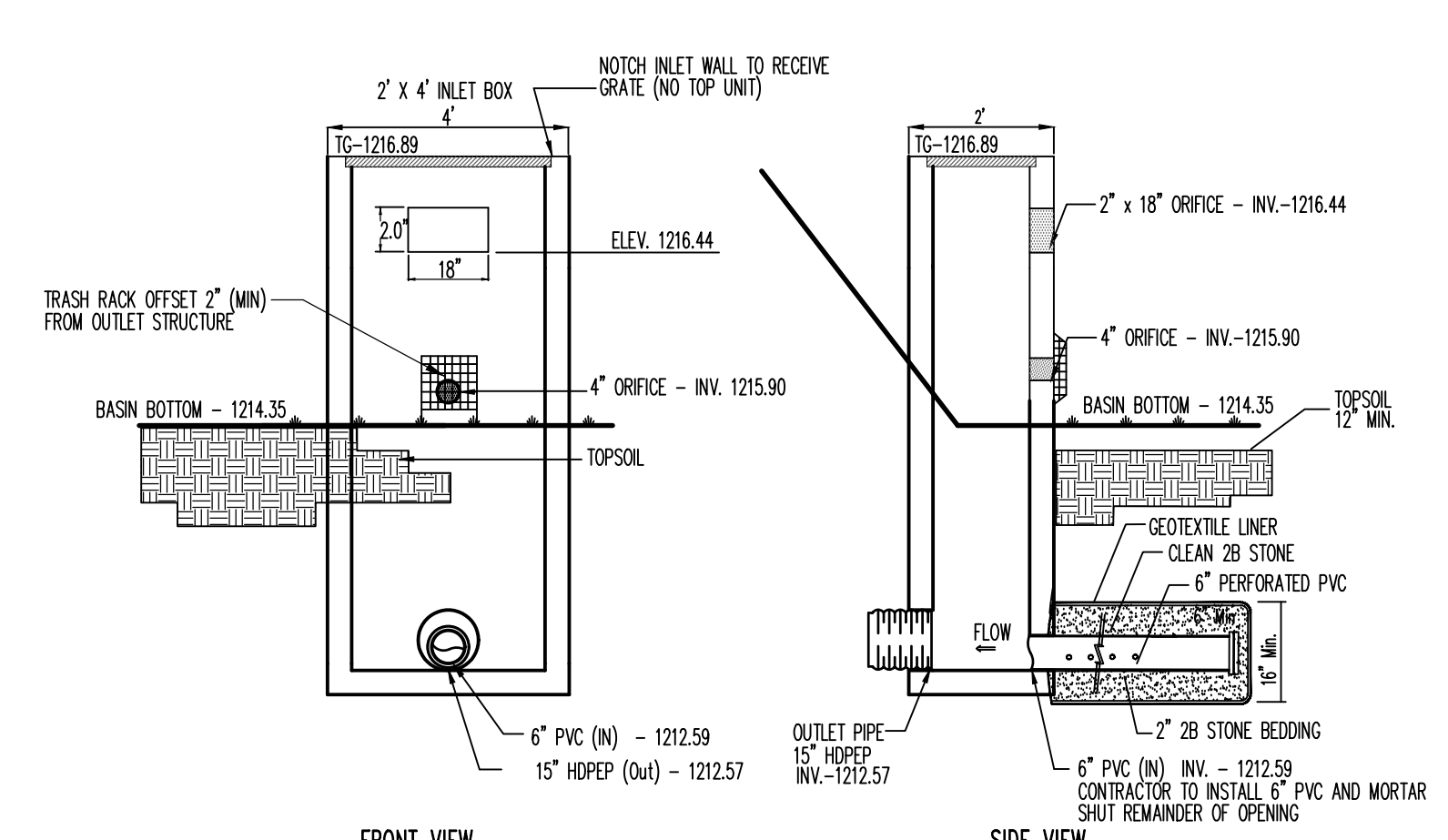
FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

**DETENTION BASIN AS-BUILT**

PROJECT NO.: L04063  
DATE: OCTOBER 3, 2005  
SCALE: 1" = 20'  
SHEET NO.: 1 OF 1



**DETENTION BASIN - CROSS SECTION**  
NOT TO SCALE



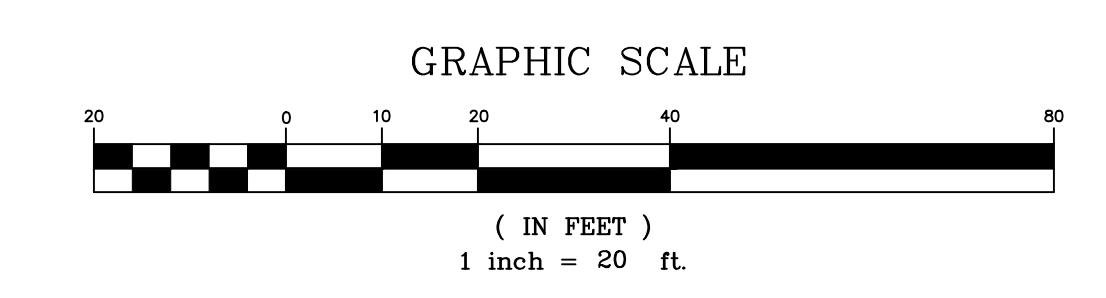
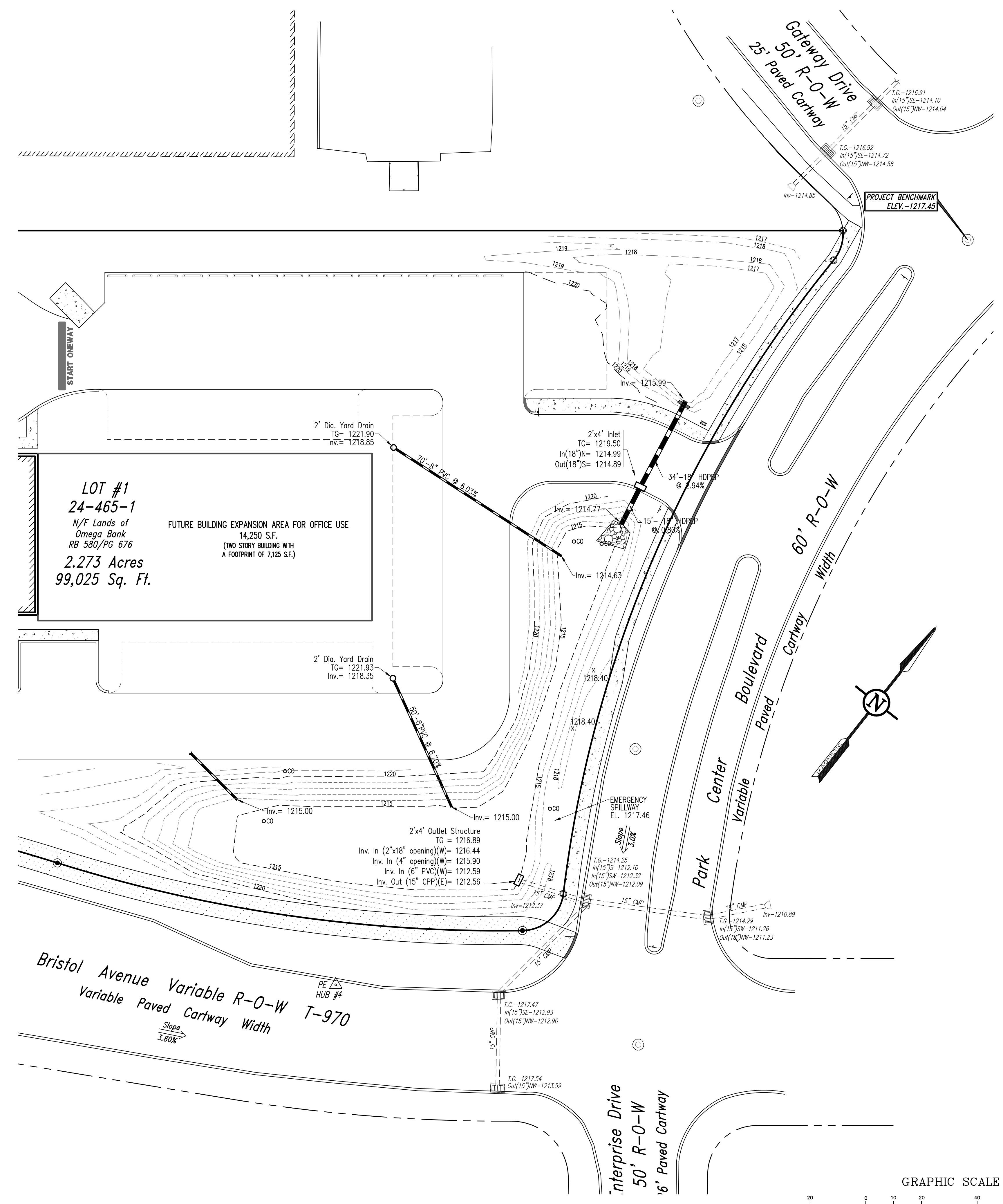
**DETENTION BASIN - OUTLET STRUCTURE**  
NOT TO SCALE

**BASIN STORAGE/ ELEVATION**

ELEVATION (ft)	DESIGN STORAGE (acre-ft)	AS-BUILT ELEVATION (ft)	AS-BUILT STORAGE (acre-ft)
1215.00	0.000	1215.00	0.028
1216.00	0.116	1216.00	0.132
1217.00	0.268	1217.00	0.283
1218.00	0.463	1218.00	0.478

**DISCHARGE RATES**

	PRE	POST
1	0.3	0.3
2	0.5	0.5
10	1.1	0.9
100	2.6	2.6



**STORMWATER FACILITY AS-BUILT CERTIFICATION**

I, \_\_\_\_\_, hereby certify that the performance of these stormwater management facilities shown on this as-built drawing comply with the discharge requirements of the Ferguson Township Stormwater Management Ordinance.

P:\ddp\04063\202207\design\plot files\asbuilt\asbuilt.dwg, 7/17/2022, 10:16:49 AM, 1:1

## 2FA for Office 365 User Setup Procedure

### Information

The following information is intended to assist the end user in setting up 2FA (Two factor or Multi-factor authentication) for their Office 365 email account. Please note that the user will require both their computer and smartphone to accomplish this setup.

### Requirements

- Microsoft Authenticator App – *if you don't already have this installed on your mobile device please do so now. If you're running an iPhone device go to the Apple app store, search for the free 'Microsoft Authenticator' and install it. If you're using an Android device, go to the Google Play store and do the same. If you have any problems or require further details regarding the Microsoft Authenticator browse to <https://www.microsoft.com/en-us/security/mobile-authenticator-app> on your smartphone or computer. Once installed open the application on your phone.*
1. From your computer click this link which will begin the login process and take you through setting up 2FA for your 365 account: <https://aka.ms/MFASetup>
  2. Sign in with your normal username and password (email address and your Windows network password). You'll see this on the next screen:



mark@riverwealthadvisors.com

### More information required

Your organization needs more information to keep your account secure

[Use a different account](#)

[Learn more](#)



3. Click the **Next** button.
4. Now it will ask you for additional security information. Input your mobile number and choose **send me a code by text message**, then click **Next**.



## Additional security verification

Secure your account by adding phone verification to your password. [View video to know how to secure your account](#)

### Step 1: How should we contact you?

Authentication phone

United States (+1) 7177937388 Resend

Method

Send me a code by text message

Call me

Region

Whole screen

Current window only

Capture an area of the screen

Include application status bar

Include mouse cursor

Next

5. Enter the 6 digit code you were texted in the available field and click **Verify**. Then click **Done**. Once you click done it will see a screen that wants to know if you want to stay logged in. You can answer yes or no. It won't affect what's coming next. You'll be presented with a screen that looks like this:



## Additional security verification App Passwords

When you sign in with your password, you are also required to respond from a registered device. This makes it harder for a hacker to sign in with just a stolen password. [View video to know how to secure your account](#)

what's your preferred option?

We'll use this verification option by default.

Text code to my authentication pl

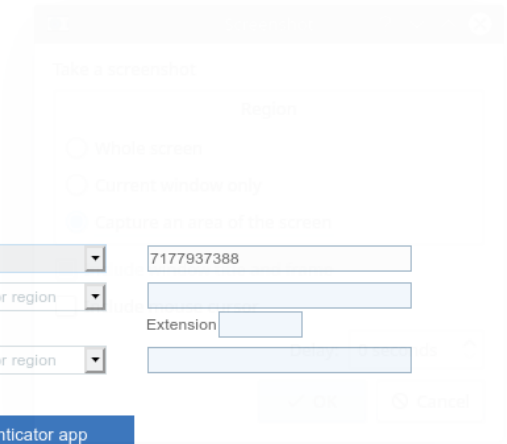
how would you like to respond?

Set up one or more of these options. [Learn more](#)

<input checked="" type="checkbox"/>	Authentication phone	United States (+1)	7177937388
<input type="checkbox"/>	Office phone	Select your country or region	
<input type="checkbox"/>	Alternate authentication phone	Select your country or region	Extension
<input type="checkbox"/>	Authenticator app or Token	<b>Set up Authenticator app</b>	

Save cancel

Your phone numbers will only be used for account security. Standard telephone and SMS charges will apply.



6. On the drop down choose use verification code from app from app or token
7. Verify that the item Authentication phone is selected and that your mobile number appears in the field.
8. Select **Authenticator App or token**.
9. Take out your phone, open the Microsoft Authenticator app, click the plus sign to add an account. You're going to choose 'Work or School account', then choose **Scan QR code**.
10. In your browser screen click the button labeled **Setup Authenticator app**. This will pop up a screen that looks like this:



## Configure mobile app whole screen

Complete the following steps to configure your mobile app. [View only](#)

1. Install the Microsoft authenticator app for [Windows Phone](#), [Android](#) or [iOS](#).
2. In the app, add an account and choose "Work or school account".
3. Scan the image below.



[Configure app without notifications](#)

If you are unable to scan the image, enter the following information in your app.

Code: 228 246 912

Url: <https://mobileappcommunicator.auth.microsoft.com/mac/MobileAppCommunicator.svc/383807651>

If the app displays a six-digit code, choose "Next".

Next

cancel

11. After successfully scanning the QR code you'll see a new entry in your authenticator app containing your email address. Click the **next** button on the screen. You'll see this on the screen then:

## Verifying app

Checking activation status

12. Allow it to finish. It may take a few minutes but in most cases this happens quickly. Once it's completed you'll get a notification on screen that the process was successful. Now, on your computer log out of Microsoft Office 365 in your browser and log into this site again to test that you get prompted for a 6 digit code from the Microsoft Authenticator app [note that the 6 digit code changes every 30 seconds but if it expires before you've fully entered it continue to enter it, it will allow the just-expired code]. You can test this by opening a private browser window in Firefox, or an incognito window in Google Chrome then going to <https://www.office.com/> and logging in. A successful test will result in you either approving a login request in the authenticator app or entering the six digit code into a dialog box on the screen.



## IMPORTANT...

If you're still getting the code to log in texted to you, you may have to change some settings on your account. a




1. In the upper right corner of the browser screen click on the person icon and choose **View My Account**.

2. Click **Update Info** in Secure Info. If your default sign-in method is text it will appear like this:

### Security info

These are the methods you use to sign into your account or reset your password.

Default sign-in method: Phone - text +1 7177937388 [Change](#)

+ Add method			
	Phone	+1 7177937388 <a href="#">Change</a>	<a href="#">Delete</a>
	App password	Initial app password20210517075713	<a href="#">Delete</a>
	Microsoft Authenticator	Mark's iPhone <a href="#">Change</a>	<a href="#">Delete</a> <span>▼</span>

3. Click the link labeled **Change...**
4. From the drop down choose Microsoft Authenticator and click **Confirm**.

From this point on you should be asked for the 6 digit code from the app on your phone. Please test it to make sure it's working. If it isn't then further action is necessary. Please open a ticket by emailing Hinton and Associates at [support@hintonassociates.com](mailto:support@hintonassociates.com) .



**From:** [Kalke,Angela](#)  
**To:** [Ferguson Board of Supervisors](#); [FergPZ](#); [Ferguson Zoning Hearing Board](#); [Parks Committee](#); [FergTreeComm](#); [Pine Grove Mills SAP Advisory Board](#)  
**Subject:** MFA Set Up  
**Date:** Tuesday, June 28, 2022 10:53:25 AM  
**Attachments:** [image004.png](#)  
[2FA for Office 365 User Setup Procedure - 062322.pdf](#)  
**Importance:** High

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The BOS passed a resolution adopting a Multi-Factor Authentication procedure for all ABC members that access an issued Ferguson Township Microsoft 365 account. (Ferguson email.) Attached are instructions to set up your device. If you have any problems setting this up on your own, please email [support@hintonassociates.com](mailto:support@hintonassociates.com) and they will assist you either on the telephone, remotely, or if needed, we will set up an in-person support/training day here at the Township building. Thank you. Angela

*Angela J. Kalke*  
*Human Resources Administrator*  
*Ferguson Township*  
*3147 Research Drive*  
*State College, PA 16801*  
*(814) 272-7030*



Visit the Township's Web Site and sign up for *Notify Me!*  
to receive email notices about Township