

FERGUSON TOWNSHIP BOARD OF SUPERVISORS
Regular Meeting Agenda
Monday, April 5, 2021, 7:00 PM

Join Zoom Meeting:
<https://us02web.zoom.us/j/88575479202>
Meeting ID: 885 7547 9202
[Zoom Access Instructions](#)

I. CALL TO ORDER

II. PLEDGE OF ALLEGIANCE

III. CITIZENS INPUT

IV. APPROVAL OF MINUTES

1. March 15, 2021, Board of Supervisors Regular Meeting Minutes

V. SPECIAL REPORTS

- a. COVID-19 (Coronavirus) Response Report
- b. Centre Area Transportation Authority Report
- c. Private Streets and Alleys Presentation

VI. PROCLAMATIONS

- a. 2021 Arbor Day Proclamation
- b. 2021 Watershed Cleanup Day Proclamation
- c. 2021 Bike Month Proclamation

VII. UNFINISHED BUSINESS

1. Public Hearing – Tree Preservation and Protection Ordinance
2. Public Hearing – Ordinance Accepting Deeds of Dedication of Public Right-of-Way
3. Public Hearing – Stormwater Fee Non-Profit Organization Exemption Resolution
4. Kocher Well Field Improvements – Final Land Development Plan

VIII. NEW BUSINESS

1. Consent Agenda
2. Resolution – DCED Grant Application for Construction of Park Hills Drainageway
3. Request for Modifications/Waivers
 - a. West College Student Housing Preliminary Land Development Plan
 - b. Wright Property – Waiver of Land Development Plan
 - c. Wasson/Ash Avenue Subdivision Plan
4. West College Student Housing Preliminary Land Development Plan
5. Wasson/Ash Avenue Replot Preliminary/Final Subdivision Plan

IX. REPORTS

1. COG Committee Reports
2. Other Regional Reports
3. Staff Reports

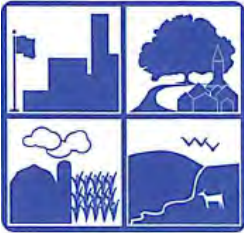
X. COMMUNICATIONS TO THE BOARD

XI. CALENDAR ITEMS – MARCH/APRIL

- a. Coffee and Conversation, Saturday, April 17, 8:00 a.m.
- b. Pine Grove Mills Small Area Plan Advisory Committee, Thursday, April 22, 4:00 p.m.

XII. ADJOURNMENT





TOWNSHIP OF FERGUSON

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**Board of Supervisors
Regular Meeting Agenda
Monday, April 5, 2021
7:00 P.M.**

I. CALL TO ORDER

II. PLEDGE OF ALLEGIANCE

III. CITIZEN'S INPUT

IV. APPROVAL OF MINUTES

1. March 15, 2021, Board of Supervisors Regular Meeting Minutes

V. SPECIAL REPORTS

40 minutes

1. COVID-19 (Coronavirus) Response Report – David Pribulka, Township Manager
2. Centre Area Transportation Authority Report – John Spsychalski
3. Private Streets and Alleys Presentation – David Pribulka, Township Manager & David Modricker, Director of Public Works

VI. PROCLAMATIONS

1. 2021 Arbor Day Proclamation
2. 2021 Watershed Cleanup Week Proclamation
3. 2021 Bike Month Proclamation

Recommended motions: That the Board of Supervisors adopt the _____ proclamation(s).

VII. UNFINISHED BUSINESS

1. **A PUBLIC HEARING ON AN ORDINANCE AMENDING CHAPTER 22, SUBDIVISION AND LAND DEVELOPMENT; PART 5, DESIGN AND IMPROVEMENT STANDARDS BY ESTABLISHING SECTION 515, TREE PRESERVATION AND PROTECTION AND AMENDING PART 202, DEFINITIONS.** 20 minutes

Jenna Wargo, Director of Planning & Zoning

Narrative

The Public Works and Planning & Zoning Department have drafted an amendment to Chapter 22, Subdivision and Land Development to establish a new part, Tree Preservation and Protection. The intent of this chapter is to encourage the protection of trees through sound land use and tree management practices. This chapter will preserve, protect and maintain existing trees in Ferguson Township, as well as, increase the overall tree canopy

and understory with native species. It will aid in improving tree and ecosystem health on both public and private lands. The Board authorized staff and the Ferguson Township Tree Commission to draft a Tree Preservation Ordinance. The draft ordinance has been received and reviewed by all local, regional and county reviewers. The updated amendment, as advertised, is included with tonight's agenda packet.

Recommended motion: That the Board of Supervisors adopt the ordinance amending Chapter 22, Subdivision and Land Development; Part 5, Design and Improvements Standards by establishing Section 515, Tree Preservation and Protection and amending Part 202, Definitions.

Staff Recommendation

That the Board of Supervisors **adopt** the ordinance.

- 2. A PUBLIC HEARING ON AN ORDINANCE OF THE TOWNSHIP OF FERGUSON, CENTRE COUNTY, PENNSYLVANIA, AMENDING THE CODE OF ORDINANCES AS FOLLOWS: (1) ACCEPTING THE DEED OF DEDICATION OF ASPEN WHITEHALL PARTNERS, LLC A PENNSYLVANIA LIMITED LIABILITY COMPANY AND ASPEN ROUTE 26 PARTNERS, LLC A PENNSYLVANIA LIMITED LIABILITY COMPANY, FOR ADDITIONAL RIGHT OF WAY ALONG WHITEHALL ROAD; (2) ACCEPTING THE DEED OF DEDICATION OF ALEC J PRINGLE AND JODI L PRINGLE, HUSBAND AND WIFE, FOR ADDITIONAL RIGHT OF WAY ALONG CIRCLEVILLE ROAD; (3) ACCEPTING THE DEED OF DEDICATION OF STATE COLLEGE APARTMENTS, LLC, A DELAWARE LIMITED LIABILITY COMPANY, FOR A PUBLIC STREET IN THE COTTAGES PLANNED RESIDENTIAL DEVELOPMENT TO BE KNOWN AS BLUE COURSE DRIVE; (4) SETTING A MAXIMUM SPEED LIMIT OF 25 MILES PER HOUR FOR BLUE COURSE DRIVE BETWEEN WHITEHALL ROAD AND THE ROTARY TRAFFIC ISLAND; (5) ESTABLISHING A ROTARY TRAFFIC ISLAND ON BLUE COURSE DRIVE AT MUSSERVIEW WAY (PRIVATE) AND WHITEHALL ROAD REGIONAL PARK DRIVEWAY (PRIVATE); AND (6) ESTABLISHING YIELD INTERSECTIONS ON BLUE COURSE DRIVE AT MUSSERVIEW WAY (PRIVATE) AND WHITEHALL ROAD REGIONAL PARK DRIVEWAY (PRIVATE). 20 minutes**

Dave Modricker, Director of Public Works

Narrative

Provided with the agenda is a copy of the ordinance advertised for public hearing accepting offers of dedication of public right-of-way in several areas of the Township as follows: (1) Additional right-of-way along Whitehall Road has been offered for dedication to the Township as part of the approved subdivision plan for Harner Farms and is ready for acceptance; (2) As part of an approved subdivision plan along Circleville Road, additional land was dedicated to the Township and is ready for acceptance; (3) A section of Blue Course Drive from Whitehall Road to the entrance to the future Whitehall Road Regional Park was constructed by the developer of The Cottages at State College Planned Residential Development and is now in a condition to be accepted by the Township. A final inspection was completed and the deed of dedication and maintenance bond are acceptable. Items (4), (5), (6) establish the necessary motor vehicle regulations.

Recommended motion: That the Board of Supervisors adopt the ordinance accepting deeds of dedication of public right-of-way as described therein and establishing additional motor vehicle regulations for the same.

Staff Recommendation

That the Board of Supervisors **adopt** the ordinance.

3. A PUBLIC HEARING ON A RESOLUTION OF THE TOWNSHIP OF FERGUSON, CENTRE COUNTY, PENNSYLVANIA ESTABLISHING AN EXEMPTION POLICY FROM THE STORMWATER MANAGEMENT UTILITY FEE FOR ELIGIBLE NON-PROFIT ORGANIZATIONS AS DESCRIBED IN EXHIBIT "A". 10 minutes

David Pribulka, Township Manager

Narrative

On March 1, the Board authorized advertisement of a public hearing on a resolution establishing a non-profit exemption policy for the Stormwater Management Utility Fee for this evening. During the discussion, a motion carried removing 501(d) organizations from the list of eligible applicants for the exemption. Provided with the agenda is the amended resolution as advertised for public hearing.

Recommended motion: That the Board of Supervisors adopt the resolution establishing an exemption policy from the Stormwater Management Utility Fee for eligible non-profit organizations as described in Exhibit "A".

4. KOCHER WELL FIELD WATER PUMPING IMPROVEMENTS – FINAL LAND DEVELOPMENT PLAN DATED FEBRUARY 17, 2021 10 minutes

Jenna Wargo, Director of Planning & Zoning

Narrative

This Final Land Development Plan was submitted by Gwin, Dobson & Foreman Engineering, Inc. on behalf of their client, State College Borough Water Authority. The parcel is 47.7 acres and is zoned Rural Agricultural (RA). The Land Development Plan proposes water pumping improvements via two proposed structures to the Kocher well fields on Tax parcel 24-006-055E, located at 3961 W. Whitehall Road. The construction consists of two (2) buildings that measure 9 feet 4 inches by 12 feet 4 inches relative to Existing Well No. 71 and 9 feet 4 inches by 11 feet 4 inches relative to Existing Well No. 78. There is an existing floodplain that traverses the parcel, and no construction is planned in the floodplain. On June 23, 2020, a variance was approved by the Zoning Hearing Board to utilize FEMA Mapping for Floodplain Boundary determination instead of independent Hydrologic and Hydraulic (H&H) study as required by §27-701. This is the final review of the land development plan. The Preliminary Plan was conditionally approved on October 5, 2020.

Recommended motion: That the Board of Supervisors approve the Kocher Well Field Water Pumping Improvements Final Land Development Plan, dated February 17, 2021, subject to the outstanding conditions described in the Community Planner memorandum dated March 26, 2021.

Staff Recommendation

That the Board of Supervisors **approve** the final land development plan.

VIII. NEW BUSINESS

1. CONSENT AGENDA

5 minutes

- a. Contract 2018-PWGG-HVAC, Pay App #5: \$339,380.36
- b. Contract 2018-PWGG-Plumbing, Pay App #7: \$121,918.25
- c. Contract 2020-C4-Suburban Park, Pay App #9: \$700.80
- d. Contract 2021-C6- Curb & Ramp Upgrades, Pay App #1 Final: \$38,248.05
- e. Board Member Request – Report on Mental Health Taskforce
- f. Board Member Request – Terraced Streetscape District Amendment
- g. Treasurer’s Report – January 2021 for Acceptance
- h. Voucher Report – January 2021
- i. Voucher Report – February 2021

2. A PUBLIC HEARING ON A RESOLUTION OF THE TOWNSHIP OF FERGUSON, CENTRE COUNTY, PENNSYLVANIA AUTHORIZING THE TOWNSHIP MANAGER TO SUBMIT A GRANT APPLICATION TO THE DEPARTMENT OF COMMUNITY AND ECONOMIC DEVELOPMENT GREENWAYS, TRAILS, AND RECREATION PROGRAM FOR THE CONSTRUCTION OF THE PARK HILLS DRAINAGEWAY. 5 minutes

Centrice Martin, Assistant Township Manager

Narrative

The Board budgeted \$100,000 to obtain permits and complete the design for a natural-type restoration of a severely eroded and incised drainageway through the Park Hills neighborhood in its 2021 Operating Budget. Funding for the utility relocation, easement acquisition, and construction of the Park Hills Drainageway project is included in the Capital Improvement Program budget in the amount of \$1,500,000. The Township intends to pursue a grant from the Pennsylvania Department of Community and Economic Development for a \$250,000 grant which requires a 15 percent local cash match of the total project cost. If approved, grant funding would not exceed the amount of \$250,000. The Park Hills Drainageway Improvement project goals are to maintain stormwater on Township property or within easements, eliminate erosion and sediment deposits in the drainageway and preserve as many existing trees as possible within the project limit. Provided below is a link to the presentation that was provided to the Board at a Second Public Meeting held on March 3, 2021. The resolution required by PA for submission of the grant application is provided with the agenda.

- Park Hills Drainageway Improvements Project Presentation 3-3-2021

Recommended motion: That the Board of Supervisors adopt the resolution authorizing the Township Manager to submit a DCED Greenways, Trails, and Recreation Program Grant application for the construction of the Park Hills Drainageway.

<p>Staff Recommendation That the Board of Supervisors adopt the resolution.</p>

3. REQUESTS FOR MODIFICATIONS – SUBDIVISION AND LAND DEVELOPMENT

Jenna Wargo, Director of Planning & Zoning

40 minutes

a. West College Student Housing, §22-504.2.A.2.—Lot Frontage and Access

Narrative

Penn Terra Engineering has submitted an Application for Consideration of a Modification/Waiver on behalf of their client, Aspen Heights Partners LLC/York Acquisitions. The specific section of the Subdivision and Land Development Ordinance request is Section 22.504.2.A.2 – Lot Frontage 1 and Access. This section of the ordinance requires a Private Street Agreement to be signed by all property owners who access the private street. Calder Way is an alley that was created as part of the original subdivision plan and exists for the use and enjoyment of those lots created during the subdivision. The alley is in common ownership by all of the lots that created the alley and requiring all properties adjacent to Calder Way (Buckhout Street to Corl Street) to sign a Private Street Agreement presents an unreasonable hardship on the applicant since the applicant will be maintaining the alley in its entirety (from Buckhout Street to Butz Street). The applicant has included as Note 18 on the attached plan sheet their maintenance responsibilities for that section of Calder Way. Staff and Planning Commission have reviewed the application and recommend approval with the condition that the applicant submit a Private Street Agreement, with the Township as a party, that will include pre-construction, post-construction, maintenance and indemnity for the length of Calder Way between Buckhout Street and Butz Street.

Recommended motion: That the Board of Supervisors grant the modification to §22-504.2.A.2—Standards for Traffic Capacity and Access with the condition that the applicant submit a Private Street Agreement, with the Township as a party, that will include pre-construction, post-construction, maintenance and indemnity for the length of Calder Way between Buckhout Street and Butz Street.

Staff Recommendation

That the Board of Supervisors **grant** the modification.

b. Wright Property. §22-104.1.B.(1)—Establishment of Controls; Applicability

Narrative

Property owners, Daniel and Kelly Wright, have submitted an Application for Consideration of a Modification/Waiver from §22-104.1.B.(1)—Establishment of Controls; Applicability for their 44-acre property at 1000 North Nixon Road (24-003C.054-,0000-, Rural Residential; RR). There is currently one dwelling on the parcel and the applicants are proposing to construct a new dwelling on the property. During construction of the new dwelling, the owners will live in the existing dwelling and demolish the existing structure within 6 months of receiving a Certificate of Occupancy for the new dwelling. In accordance with the PA Municipalities Planning Code (MPC) and the Township's Subdivision and Land Development Ordinance (SALDO), the addition of the second dwelling requires the applicant to submit a land development plan and go through the land development plan process. The applicants have requested a waiver from having to complete a land development plan with the condition that the existing dwelling will be demolished within 6 months of receiving a Certificate of Occupancy for the new dwelling and that the applicant will comply with all other State

Regulations. Staff and Planning Commission have reviewed the request and have no additional conditions to include with the application.

Recommended motion: That the Board of Supervisors grant the modification to §22-104.1.B.(1)—Establishment of Controls; Applicability with the condition that the existing dwelling be demolished within 6 months of receiving Certificate of Occupancy for the new dwelling and that the applicant will comply with all other State Regulations.

Staff Recommendation

That the Board of Supervisors **grant** the modification.

c. Wasson/Ash Avenue Subdivision, §22-306.1.—Minor Subdivision and Minor Alteration Plan

Narrative

PennTerra Engineering, Inc., on behalf of their client, has requested a modification/waiver from Section 22-306.1.—Minor Subdivision and Minor Alteration for the Wasson – Ash Avenue Replot/Subdivision Plan. This section has a process outlined for a Minor Subdivision and the definition of a minor subdivision was omitted during the Township’s Comprehensive Update to Chapter 22—Subdivision and Land Development Ordinance (SALDO). The plan submitted is replotting lot lines and no new lots are being created. Staff and Planning Commission have reviewed the application and are recommending approval.

Recommended motion: That the Board of Supervisors grant the modification to §22-306.1.—Minor Subdivision and Minor Alteration Plan.

Staff Recommendation

That the Board of Supervisors **grant** the modification.

d. Wasson/Ash Avenue, §22-512—Sidewalks

Narrative

PennTerra Engineering, Inc., on behalf of their client, has requested a modification/waiver from Section 22-512—Sidewalks for the Wasson –Ashe Avenue Replot/Subdivision Plan. The plan is proposing to replot three (3) existing lots in an established, built-out neighborhood. There are no existing sidewalks on either side of the street. The potential for connection to future sidewalks is extremely unlikely and no new land development is proposed. Staff and Planning Commission have reviewed the application and are recommending approval.

Recommended motion: That the Board of Supervisors grant the modification to §22-512—Sidewalks.

Staff Recommendation

That the Board of Supervisors **grant** the modification.

**4. WEST COLLEGE STUDENT HOUSING – PRELIMINARY LAND DEVELOPMENT PLAN
DATED MARCH 19, 2021** 20 minutes

Jenna Wargo, Director of Planning & Zoning

Narrative

Penn Terra Engineering, Inc., submitted a Land Development Plan and Lot Consolidation Plan on behalf of their client, Aspen Heights Partners LLC/York Acquisitions. The parcels are located at the intersection of West College Ave and Buckhout Street. Tax Parcels 24-002A,015, 24-002A,016, 24- 002A,017, 24-002A,018, and 36-010-006 are to be consolidated to form a 1.136 acre parcel. Four parcels are located in the Terraced Streetscape District (TSD) in Ferguson Township and Parcel 36-010-006 is located partially in the Borough of State College’s Planned Commercial District (CP-2).

The land development plan proposes a 6-story multi-family residential apartment building with commercial/retail space on the first floor. The applicant is utilizing height incentives found in §27-304.3.B.(2) and has provided additional parking in the parking structure to share for use by others. The applicant is eligible for an additional 20 feet to be added to the permitted maximum height (55 feet).

The building will consist of one subsurface floor of underground parking, one floor containing additional parking wrapped by commercial space and 5 floors of multi-family residential apartments. There are 96 residential units (268 beds) and a total of 8,696 square feet (7,488SQFT in Ferguson Township) of non-residential spaces. The plan calls for 159 parking spaces, 151 of which will be located in the parking structure. A variance was granted by the Ferguson Township Zoning Hearing Board on February 25, 2020, to allow parking on first floor of the building. There are 14 short-term bicycle parking spaces proposed on site.

Planning Commission reviewed this Preliminary Land Development Plan at their February 8 Regular Meeting and recommended approval to the Board of Supervisors. Provided below in the agenda is a Dropbox link to access the land development plan. Provided with the agenda packet is a memorandum from Kristina Aneckstein, Community Planner, dated April 1, 2021, summarizing Planning Commission’s comments on the plan. Staff has also included all outstanding staff review comments, as well as comments provided by the Borough of State College’s advisory review bodies. Staff reached out to Walt Schneider, Centre Region Code Administration Director, about §22-5C01.1.C.(1)(a) for compliance with PA Uniform Construction Code. The Code is silent on drive aisle widths for parking structures and only includes standards for accessibility and height.

- [West College Student Housing – Preliminary Land Development Plan](#)

Recommended motion: That the Board of Supervisors approve the West College Student Housing Preliminary Land Development Plan pending outstanding staff comments as noted in the Community Planner’s memorandum dated April 1, 2021.

Staff Recommendation

That the Board of Supervisors **approve** the West College Student Housing Preliminary Land Development Plan.

5. WASSON/ASH AVENUE REPLOT - PRELIMINARY/FINAL SUBDIVISION PLAN DATED NOVEMBER 24, 2020 10 minutes
Jenna Wargo, Director of Planning & Zoning

Narrative

PennTerra Engineering, Inc., submitted the Wasson – Ash Avenue Replot Plan on behalf of their client. The Wasson – Ash Avenue Replot Plan is located at 1451 Ash Avenue, T.P. # 24- 002A,132-,0000. The purpose of this plan is to replot Tax Parcel 24-002A,132-,0000-, 24- 002A,134-,0000- and 24-002A,135-,0000-.

- Tax Parcel 24-002A,0132-,0000- is currently 0.547 acres and proposed to be replotted to 0.74 acres.
- Tax Parcel 24-002A,0134-,00 is currently 0.414 acres and proposed to be replotted to 0.23 acres.
- Tax Parcel 24-002A,0135-,0000- is currently 0.268 acres and proposed to be replotted to 0.26 acres.

The parcel is located within the Single Family Residential (R1) zoning district. A request for a modification/waiver from Section 22-306.1. – Minor Subdivision and Minor Alteration Plan and Section 22-512 – Sidewalks was submitted on behalf of their client. Pending approval from §22-306.1., this will be a Preliminary/Final Subdivision Plan. Provided with the agenda packet is a memorandum from Kristina Aneckstein, Community Planner, dated March 26, 2021, that includes outstanding staff comments.

Recommended motion: That the Board of Supervisors approve the Preliminary/Final Subdivision Plan for Wasson/Ash Avenue pending outstanding staff comments outlined in the Community Planner's memorandum dated March 26, 2021.

Staff Recommendation

That the Board of Supervisors **approve** the Plan.

IX. STAFF AND COMMITTEE REPORTS

- 1. **COG COMMITTEE REPORTS** 15 minutes
 - a. Executive Committee
 - b. Solar PPA Working Group
 - c. Joint PSE, TLU Committees and CRPC
- 2. **OTHER COMMITTEE REPORTS** 5 minutes
 - a. Spring Creek Watershed Commission
- 3. **STAFF REPORTS** 15 minutes
 - a. Manager's Report
 - b. Public Works Director
 - c. Planning and Zoning Director

X. COMMUNICATIONS TO THE BOARD

XI. CALENDAR ITEMS – MARCH/APRIL

- a. Coffee and Conversation, [Saturday, April 17, 8:00 a.m.](#)
- b. Pine Grove Mills Small Area Plan Advisory Committee, Thursday, April 22, 4:00 p.m.

XII. ADJOURNMENT

FERGUSON TOWNSHIP BOARD OF SUPERVISORS

Regular Meeting
Monday, March 15, 2021
7:00 PM

ATTENDANCE

The Board of Supervisors held its second regular meeting of the month on Monday, March 15, 2021, via Zoom in a webinar format. In attendance were:

Board:	Laura Dininni, Chair	Staff:	Dave Pribulka, Township Manager
	Lisa Strickland, Vice Chair		Dave Modricker, Director of Public Works
	Steve Miller		Jenna Wargo, Director, Planning and Zoning
	Prasenjit Mitra		Ron Seybert, Township Engineer
	Patty Stephens		Chris Albright, Chief of Police

Others in attendance included: Rhonda Demchak, Recording Secretary; Ms. Pam Steckler, Ferguson Township Resident; Ms. Dorothy Blair, Harris Township Resident, and President of the Nittany Valley Environmental Coalition; Mr. Dave Stone, Nittany Valley Environmental Coalition; Mr. Randy Hudson, Nittany Valley Environmental Coalition; Mr. Kevin Mullen, Ferguson and Patton Township owner; Mr. Rob Zeigler, Millheim Borough Council President; Mr. Mark Kunkle, UAJA Representative; Mr. Wes Glebe, Ferguson Township Resident;

I. CALL TO ORDER

Ms. Dininni called the Monday, March 15, 2021, regular meeting to order at 7:00 p.m.

Mr. Pribulka noted that the Board of Supervisors meeting had been advertised in accordance to the PA Sunshine Act as a virtual meeting via Zoom in a webinar format. There was also an audio conference bridge that was accessible by dialing the Ferguson Township's main line at 814-238-4651 and then dialing extension 3799. Persons attending the webinar as members of the public and wanted to participate were asked to enter their name, municipality, and topic by utilizing the Q&A bubble at the bottom of the screen. Mr. Pribulka noted that attendees will not be permitted to speak unless addressed by the Chair. Mr. Pribulka will share more information on how attendees can interact with the Board at the appropriate time of the meeting. C-NET is recording as well. Mr. Pribulka took Roll Call and there was a quorum.

II. THE PLEDGE OF ALLEGIANCE

III. CITIZENS INPUT

Mr. Kevin Mullen, Ferguson and Patton Township owner, expressed frustration with UAJA for a billing dispute.

Mr. Rob Zeigler, Millheim Borough Council President, introduced himself in hopes of building a partnership. Ms. Dininni commented that she met Mr. Zeigler through a virtual Visitors Bureau meeting.

Ms. Rhonda Stern, Ferguson Township Resident, expressed concerns with the West College Student Housing Land Development Plan regarding traffic and noted the curve from West College Avenue to Beaver Avenue is very dangerous. Ms. Stern suggested having a light installed at the intersection. Ms. Stern stated that she was pleased that the Ferguson Township Board agreed to stay away from old the old O.W. Houts lot to afford the neighborhood the ability to live there through the many staging areas for construction. Ms. Dininni noted that the Board received a response from the State College Borough with regards to the laydown yard. The Borough agreed to stop using the property as a lay down yard after the most recent contract has expired.

IV. APPROVAL OF MINUTES

Ms. Stephens moved that the Board of Supervisors **approve** the Regular meeting Minutes of March 1, 2021. Mr. Mitra seconded the motion. The motion passed unanimously.

V. SPECIAL REPORTS

a) COVID-19 (Coronavirus) Response Report

Mr. Pribulka noted that local or regional updates can be found on the Centre Region Ready [Facebook page](#) or the [COG website page](#). Also, information can be found on the [Township website](#) and [State College Borough website](#).

The Township Administrative offices are open with regular business hours as of today, March 15, 2021. The lobby will be open 8:00 a.m. – 5:00 p.m. Monday – Thursday and 8:00 a.m. – 4:00 p.m. on Friday's. Official Township meetings will remain virtual until further notice.

[The American Rescue Plan Act](#) was signed into law by President Biden last week. The bill includes \$350 billion to all state and local municipalities. Ferguson Township will receive approximately \$1.9 million. There are several communications from Sen. Robert Casey's office that are on the Township's website to review the benefits from the American Rescue Plan Act.

There have been 12,262 confirmed cases county-wide and 63,933 negative cases in the State College. There have been 213 deaths due to the virus in Centre County. There have been 827,756 reported cases in Pennsylvania and an additional 138,454 probable cases. There have been 24,530 deaths. Gov. Wolf announced lifting some [restrictions](#) on March 15, 2021.

Mr. Pribulka thanked the residences and business owners in Ferguson Township for their patience and understanding as the Township recovers.

Ms. Strickland asked if the Township's ordinance will be affected. Mr. Pribulka will review the ordinance against Gov. Wolf's announcement to determine if it will need to be updated.

b) University Area Joint Authority Report

Mr. Mark Kunkle presented the report. The Greenbriar Sewer project has been completed with the exception of restorations that will take place in the spring. The Scott Road Pump Station will be replaced and will be completed in December 2021. The extension of the Whitehall Road Pressure Sewer System will be completed in summer 2021. The pump station at Shiloh Road is being replaced and will be completed in summer of 2021. Other projects include plant operations with odor management that is complete and in full operation. The Solar and Battery Phase II project consist of an additional 9 acres of solar panels and storage battery. The storage battery will act as a back-up power supply for UAJA. Performance testing will begin in May 2021. The aeration piping that goes into the facility underground are leaking and will be replaced with overhead aeration lines. The project is expected to be completed in December 2021. The Anaerobic Digester and Sledge Dryer will replace the current composting system. The project is estimated to save \$14 million over the next 25 years. The UAJA is investigating legal issues with financing rooftop solar panels on homes, non-profits, and potential businesses in the UAJA. Pilot phase is targeted for 300 homes.

c) Municipal Stormwater System (MS4 Program Annual Report)

Mr. Ron Seybert presented the annual report via PowerPoint slides that he created from the 18-page report that was included in the agenda packet. The Stormwater Management Program's six minimum control measures are as follows:

1. Public Education and Outreach
2. Public Involvement and Participation
3. Illicit Discharge Detection and Elimination
4. Construction Site Runoff Management
5. Post-Construction Stormwater Management
6. Pollution Prevention and Good Housekeeping

Ms. Dininni asked if the program is just for surface water. Mr. Seybert noted that the program only captures the surface water.

Mr. Miller asked if there are any specific enforcements for violators. Mr. Seybert stated that it will be part of the Stormwater Ordinance.

Mr. Pribulka asked if there is an approved list of cleaning agents. Mr. Seybert noted that there is not, and they must stick to the language that is required by the MS4 Permit.

VI. UNFINISHED BUSINESS

1. RESOLUTION – 2021 FERGUSON TOWNSHIP ANNUAL OPERATING BUDGET AMENDMENT

Mr. Pribulka noted that in accordance with Section 7.08 of the Home Rule Charter, Amendment After Adoption, the Board of Supervisors authorized a resolution amending the 2021 Ferguson Township Annual Operating Budget for public hearing this evening. Provided with the agenda is a copy of the resolution advertised for public hearing. As noted on March 1, 2021 the budget amendment provides for \$175,000 and \$73,000 additional funding in the Transportation Improvement Fund (TIF) for microsurfacing West Gatesburg Road and cured-in-place pipe lining, respectively. The revised budget amount in the TIF is \$1,781,900 and still leaves the fund with a significant fund balance.

Public Hearing – No comments were made.

Ms. Strickland moved that the Board of Supervisor **adopt** the resolution amending the 2021 Ferguson Township Annual Operating Budget. Ms. Stephens seconded the motion.

ROLL CALL: Ms. Stephens – Yes: Ms. Strickland – Yes: Ms. Dininni – Yes: Mr. Miller – Yes: Mr. Mitra – Yes

2. RECREATIONAL FIRE AND OPEN BURN ORDINANCE

Chief Albright noted that at the November 2, 2020 Regular Meeting, the Board of Supervisors provided comments regarding the proposed ordinance amendments relating to fire code and safety regulations in Ferguson Township. Provided with the agenda is a draft ordinance amendment for advertisement for public hearing.

Ms. Dininni asked to include language around wind gust and dry conditions. Chief Albright noted that it is not in the ordinance but will look into the National Red Flag Warning definition to be included.

Ms. Strickland asked if there is a definition for open burns under the definition section of the ordinance. Chief Albright will include language.

Mr. Mitra moved that the Board of Supervisors **authorize** advertisement of a public hearing on a Recreational Fire and Open Burn Ordinance for Monday, April 19, 2021. Mr. Mitra seconded the motion. The motion passed unanimously.

VII. NEW BUSINESS

1. CONSENT AGENDA

- a. Contract 2018-PWGG-Electrical, Pay App #11: \$122,394.02
- b. Contract 2020-C3, CIPP Lining, Pay App #3: \$53,200.76
- c. Contract 2020-C22, Fairbrook Park, Pay App #1: \$12,000.00

Ms. Stephens moved that the Board of Supervisors **approve** the Consent Agenda. Mr. Mitra seconded the motion. The motion passed unanimously.

2. REQUESTS FOR VARIANCES – 1518 WEST COLLEGE AVENUE

Ms. Wargo introduced the variances and noted that Tussey Tracks LLC—1518 W College Avenue (24-019-074-0000 and 24-019-072-0000), zoned Terraced Streetscape (TS), is requesting a variance from §27-304.2.E.—Conditional Uses; §27-803.1.B.1.—Nonconforming Uses and Structures; §27-304.3.A(2)(a)—Maximum Height; §27-304.3.D.(1)(a)—Yard Regulations; and §27-304.3.G.5.—Parking Requirements to expand the one story veterinarian clinic and the parking areas on both lots. The applicant has recently purchased the neighboring property to expand the business to provide space for newer technologies and services that are becoming standard in the veterinary healthcare industry. The office building on the neighboring property will be demolished and the lots will be consolidated to create a 0.94-acre lot. The veterinarian clinic building is a nonconforming structure, and the clinic is a nonconforming use however, if variances are granted, the use can be permitted through the conditional use process. Since the structure is nonconforming, the building can only be expanded up to 50% of the existing ground floor area of the space occupied by the use and the applicant would like to expand the building by 55.38%. Although the applicant is bringing the building into more conformity with the TS District regulations, multiple variances are still needed to construct the addition.

Mr. Mitra moved that the Board of Supervisors **support** the requests for variances for 1518 West College Avenue. Ms. Stephens seconded the motion. The motion passed unanimously.

Mr. Pribulka stated that typically when the Board takes a position on a variance, a staff member will attend the Zoning Hearing Board to make a statement on behalf of the Board.

3. RESOLUTION – CIRCLEVILLE ROAD DRAINAGE EASEMENTS

Mr. Modricker presented the resolution. There is an existing cross lot stormwater pipe carrying stormwater from Circleville Road (an eyebrow shown on the subdivision plan as “Circleville Place”) that is clogged and in need of repair to prevent road and private property water ponding and flooding. The pipe was installed at some time in the past and no easement exists. A new pipe is proposed with an adjusted alignment of the new pipe to minimize impacts to a tree. The property owners are agreeable to the work and have signed the necessary stormwater easement in favor of the Township. Provided with the agenda is a copy of the resolution advertised for public hearing accepting the easements and authorizing the Chair and Secretary to execute the easement agreements with both property owners.

Mr. Mitra moved that the Board of Supervisors **adopt** the resolution to accept the easements. Ms. Stephens seconded the motion.

ROLL CALL: Ms. Strickland – Yes: Ms. Dininni – Yes: Mr. Miller – Yes: Mr. Mitra – Yes: Ms. Stephens – Yes

Mr. Wes Glebe, Ferguson Township Resident, requested clarification on the easement. Mr. Modricker noted that they are conveying public stormwater across private property and moralizing it through a document because the pipe needs replaced.

4. DISCUSSION – CHESAPEAKE BAY POLLUTANT REDUCTION PLAN 2021 PROJECTS

Mr. Modricker noted that the Township has obligations with the MS4 Permit that include pollutant reduction plan projects. The plan was prepared regionally on behalf of a number of municipalities and Penn State. Mr. Seybert reviewed Table D.4-3. Ferguson Township Proposed Primary BMP TSS Load Reduction Summary that was included in the agenda packet. Mr. Seybert reviewed the Piney Ridge Subdivision Stream Restoration, Slab Cabin Run Stream Restoration in Pine Grove Milles, Duck Pond Inflow Channel Stream Restoration by reviewing pictures from the [PRP](#) that is on the Township's website. Mr. Seybert noted that the projects must be completed by 2025 to meet the 10% goal.

Ms. Dininni asked what the Board's rule with the projects would be. Mr. Modricker noted that the Board needs to give approval or disapproval to pursue the projects. Mr. Modricker stated that the duck pond has been designed, permitted, and built. DEP may not approve the project as part of the PRP. Mr. Seybert reviewed the Municipal Cost Summary.

Mr. Miller stated that it appears that the Beaver Branch projects need urgent attention and looks like it will need a lot of easements with property owners. Mr. Miller asked if any property owners have been contacted. Mr. Modricker noted that he believed that Fish & Wildlife and another conservation agency took the lead in obtaining some easements. Mr. Modricker stated that some property owners showed interest, and some did not. Ms. Dininni asked if all the projects need to be completed on the table that Mr. Seybert reviewed. Mr. Seybert noted that a project on each of the watersheds needs to be completed, but not everything that was listed.

Mr. Mitra stated that he would choose a project that is most cost efficient unless there is more value in perusing one in Ferguson Township. Mr. Modricker noted that all the projects are good with respect to eliminating pollutant loads into the Chesapeake Bay.

Ms. Strickland prefers to complete a restoration project in the Township and would want to pursue the Pine Grove Mills project first.

Mr. Miller asked about the duck pond and if there is an obligation to complete. Mr. Seybert stated that there has been no obligation or agreement made. Mr. Pribulka stated that the Township should anticipate future permit cycles with additional pollutant reduction requirements whether it be for the Chesapeake Bay or other watersheds.

Ms. Dininni asked if DEP will approve the Pine Grove Mills Slab Cabin Restoration. Mr. Seybert noted that they don't anticipate a problem with DEP approving the project.

Mr. Mitra prefers to do all of the projects within the cycle otherwise more money will be spent if we hold off because prices will inflate.

Ms. Pam Steckler, Ferguson Township Resident stated that she was happy that Ferguson Township was participating in pollutant reduction but also reminded the Board about plastic pollution. There was an article in the March 4, 2021 Centre Daily Times about plastics. Ms. Dininni stated that she would be supportive of the Board writing a letter in support of the lawsuit.

5. AWARD OF CONTRACT 2021-C2, DEVONSHIRE INLET BOX REPLACEMENT

Mr. Modricker presented the award of contract and noted that on March 9, 2021, bids were opened publicly and read out loud. The bid was advertised in the Centre Daily Times on February 23, 2021 and sent out to potential bidders. This contract involves the reconstruction of one very deep deteriorating concrete inlet box on Devonshire Drive. Provided with the agenda is a memorandum from Ryan Scanlon with the bid tabulation.

Two (2) bids were received as follows:

1. Ameron Construction Co., Inc. \$37,097.50
2. Wolyniec Construction, Inc. \$46,120.00

The Engineers estimate for this contract is \$40,371. The budget included \$42,000 to complete this work. Mr. Modricker recommended that the Board of Supervisors award the contract to Ameron Construction Company for a total of \$37,097.50 per their bid.

Mr. Mitra moved that the Board of Supervisors **award** Contract 2021-C2, Devonshire Inlet Box Replacement to Ameron Construction Company, Inc., in accordance with their bid in the amount of \$37,097.50. Ms. Stephens seconded the motion. The motion passed unanimously.

6. AWARD OF CONTRACT 2021-C8, PAVEMENT MARKINGS

Mr. Modricker presented the award and noted that on March 2, 2021, bids were opened publicly and read out loud. The bid was advertised in the Centre Daily Times on February 16, 2021 and sent out to potential bidders. Mr. Modricker noted that the bid went out to 21 contractors, but only received one bid. The total bid amount includes work for neighboring municipalities that have chosen to piggyback on this contract. Ferguson Township's share of the contract is \$124,061.92 (which includes eradication required for microsurfacing). The Township has budgeted \$109,000 for pavement markings using funds from microsurfacing \$19,000 for pavement eradication prior to contract 2021-C9. Alpha Space Control has performed this contract in past years and has worked well with the Township.

One (1) bid was received as follows:

1. Alpha Space Control Co., Inc. \$292,670.06

Mr. Modricker recommended that the Board of Supervisors award the contract to Alpha Space Control Co., Inc. for a total of \$292,670.06 per their bid.

Ms. Strickland moved that the Board of Supervisors **award** Contract 2021-C8, Pavement Markings contract to Alpha Space Control Company, Inc., in accordance with their total bid in the amount of \$292,670.06 which includes other municipalities' share amounts. Mr. Mitra seconded the motion.

Ms. Dininni asked if the crosswalk will be painted at Musser Gap on Rt. 45. Mr. Pribulka stated that it is a state road and would like to obtain clarification on any potential liability before it is painted. Ms. Dininni stated that at the Parks Capital meeting they discussed the crosswalk because Charima Young, Director of Local Government and Community Relations, gave a presentation about a potential project at Musser Gap.

The motion passed unanimously.

7. AUTHORIZATION FOR PUBLIC HEARING – TERRACED STREETScape DISTRICT ORDINANCE AMENDMENT

Ms. Wargo presented the ordinance and noted that staff received a request from a Supervisor to amend §27-304.B.(2). Building Height Incentives and remove it in its entirety. Provided with the agenda is a draft amendment to remove this provision of the ordinance. If, following this evening's discussion, the Board decides to approve the amendment; a 45-day wait period will need to be established following the Centre Regional Planning Commission's receipt of submission as well as being submitted to Centre County Office of Planning & Community Development. Staff is concerned about the implications of deleting the incentive and is instead recommending that the Board discuss the appropriate number of shared parking spaces that may be required in order for an applicant for development in the Terraced Streetscape District to utilize the incentive.

Ms. Dininni stated that she was the supervisor that made the request and proposed to repeal in its entirety. The incentive was written in a manner that if a developer were to provide one shared parking space, they could have an entire 20-feet of height in the district. Residents are concerned about the additional height with creating a mini Beaver Canyon. Ms. Dininni suggested to close the loophole before any other developers would take advantage and to allow the Planning Commission to make recommendations.

Mr. Miller stated that he prefers a modification instead of repealing in its entirety and has concerns with amending the zoning ordinance. Mr. Miller would prefer to hire a consultant or do a minimum change to set a limit shared parking spaces.

Mr. Pribulka described the staff's position in more detail and noted that parking is a problem they consistently face.

Ms. Strickland is in favor of removing entirely and noted that the workplan for the Planning Commission includes reviewing the TSD.

Mr. Mitra moved that the Board of Supervisors **authorize** advertisement of a public hearing for Monday, May 3, 2021, on an ordinance amending the Terraced Streetscape District by removing §27-304.B.(2) in its entirety. Ms. Strickland seconded the motion. The motion passed 4-1 with Mr. Miller opposing.

8. STAFF PRESENTATION – MINOR ALTERATION PLANS

Ms. Wargo presented the plans via a PowerPoint presentation and reviewed the following:

1. What are they
2. Authority
3. Where
4. What's in our Ordinance
5. Facts
6. Examples
7. 1004 W. College Avenue

Ms. Wargo reviewed what a minor alteration plan. It is an amendment to a previously issued zoning permit for a land development plan. There are no minor alterations allowed for residential structures. The Authority is Article 5 of the PA Municipalities Planning Code enables municipalities to include additional processes and allows the governing body to delegate approval authority to their planning agencies. Ms. Wargo defined planning agency as a planning commission, planning department, or a planning committee of the governing body. Ms. Wargo stated that the minor alteration plan is in the Subdivision and Land Development Ordinances (SALDO) and is complying with the MPC which states that the SALDO must expressly state the specific entity(ies) responsible for approving or denying all, or certain types of plans. Ms. Wargo noted that staff has tracked the Minor Alteration section of our ordinance back to the 1982 Zoning Ordinance. Currently, the Minor Alteration section can be found in the Township's Subdivision and Land Development Ordinance (§22-306.2.). Ms. Wargo reviewed the following standards:

1. The building coverage will be increased or decreased by no more than 10%.
2. The impervious coverage will be increased by not more than 10%.
3. The change in use will not increase the parking requirements.
4. The stormwater management controls will not be changed.
5. Any motor vehicle access to the property will not be added, deleted or relocated by more than 50% of its width.
6. The location for the construction of proposed structures from an approved plan will not be changed by more than 10% of the ground floor area.
7. The landscaping plan will not be changed in more than 10% of the total pervious coverage area.
8. The changes to the proposed/existing sign(s), include changes in size, shape, height, location, orientation, lighting, or number of signs. A change in sign copy does not require minor alteration approval.

Ms. Wargo stated that the biggest alternation plans the Township sees is number 3 and number 8 from above. The process begins with the official submission, one copy of the plan will be sent to the Centre Region Planning Agency (CRPA) for review of regulations, and township staff will complete a review too. Ms. Wargo noted that the CRPA has 45 days to send back to the township and then official action can be taken. The plan will then be recorded with the county.

Ms. Wargo reviewed a few examples of minor alterations including 1004 West College Avenue that is being proposed.

Ms. Dininni asked for clarification with #8 regarding signs. Mr. Pribulka noted that there will be no changes or addition of signage that would trigger the land development plan process. Ms. Dininni discussed the TSD with the parking issues and asked if the issue is with the TSD or if it is within the minor alterations being applied to the TSD. Mr. Miller stated that the purpose with the TSD was to have a lot of structured parking. Ms. Dininni asked that if at a later time could the Board make changes to the requirements that have to be met in order to qualify for a minor alteration. Ms. Strickland stated that she would be interested in further discussion. Mr. Pribulka stated that if the Board would be in favor of seeing more plans as opposed to allowing things going through the minor alteration process, there could be conversations regarding what would be brought to the Board. Ms. Dininni stated that through the discussions tonight, the problem is with the TSD zoning district and how parking is treated. Also, Ms. Dininni noted that the application for liquor license shouldn't be a minor alteration. Ms. Strickland commented that she is not trying retroactively to stop the business from coming in, but rather is noticing instances that need further attention/clarification in the future.

9. BOARD MEMBER REQUEST – WHITEHALL ROAD REGIONAL PARK PHASE 1 DEVELOPMENT

Ms. Dininni made the request and noted that the Park Authority Chair asked Ferguson Township to recommend a strategy by which the restroom facility could be incorporated into Phase 1 construction and remain within the allocated budget of \$4.8 million dollars. Ms. Dininni noted that the long-standing charge with which the Phase I Reduced Option Ad Hoc Committee was tasked has slipped off the radar. Ferguson Townships position is well within reason of the accepted charge, but the current proposed design is not what the original Phase I Reduced Option Ad Hoc Committee made. The new proposal emphasizes rectangular fields and providing the foundation for a tournament facility. Ms. Dininni noted that several strategies could broaden the range of users and amenities even in the context of the existing priority use agreements. The inclusion of restrooms would complement the funded amenity such as the fields, the all abilities playgrounds, and the securing of access easement to cross the private PSU land to Musser Gap. The ad hoc committee came up with options to reduce the costs.

Ms. Dininni noted that at the General Forum meeting on March 22, 2021 there will only be 5-minutes to deliberate and make the decision.

Mr. Miller, Finance Committee Representative presented what was discussed during the finance meeting regarding the regional park. Mr. Miller reviewed the loans and the Summary of Financing Options. Mr. Miller noted that options 5,6, and 7 are not in consideration anymore. Mr. Miller noted that the Township will vote on March 22, 2021 to refinance or not to refinance. Mr. Miller noted that the recommendation by COG will be Option #4, funding of the entire Phase I Park. Mr. Miller favors option #4, but it has to be unanimously to pass.

Mr. Mitra inquired about options #1 & #3. Mr. Miller noted that there is not enough money to cover the bids with option #1 and it is not clear who has the authority to make the decisions. Mr. Miller stated that option #3 gets \$500,000 for the parks, but it is unclear how it is to be spent.

Ms. Dininni discussed her concerns with the different options and how the agreements should have been worked through before being asked for additional financing. Mr. Mitra stated that we would be in favor of choosing the additional funding if it were tied to what it would be designated to.

Ms. Dininni noted that she has been exploring the voting process and stated that even though Halfmoon Township doesn't participate with the parks, they did vote at one time during the Finance Committee to move the parks forward. Ms. Dininni received communication from the COG solicitor that COG doesn't run parks but rather the Parks Authority is in charge.

Ms. Strickland stated that it is difficult to choose what she would like to see in the parks due to where the phasing currently is. Ms. Strickland noted that she is leaning towards option #3 if only the restrooms would be included.

Ms. Stephens stated that she favors option #2 to refinance the loan but is not interested in giving more money.

Mr. Mitra stated the he wasn't sure which option he would choose but was leaning towards #1 or #2.

Ms. Strickland summed up her choice for option #3 and noted that there is a benefit for refinancing.

Ms. Dininni reviewed the options that each Board member chose. Ms. Dininni – option #1; Mr. Mitra – leaning towards option #1, but maybe option #2; Ms. Stephens – option #2; Ms. Strickland – option #3; Mr. Miller – option #4.

Public Comment

Ms. Dorothy Blair, Harris Township Resident, and President of the Nittany Valley Environmental Coalition expressed concerns with the restrooms not being prioritized and the blasting that will occur when the fields are created. Ms. Blair stated that the park is not up to 2001 environmental standards.

Mr. Dave Stone, Nittany Valley Environmental Coalition, stated that Ferguson Township needs leverage and there were a lot of good discussion around more agreements. Mr. Stone would like the restrooms to be included.

Mr. Randy Hudson, Nittany Valley Environmental Coalition, noted that it is an incredible opportunity to improve the park and stated the Coalition would like the development to be affordable. Mr. Hudson stated the park should always have fields, landscaping, restrooms, and

parking, but the plan has 3 to 5 times more parking than the required code. Mr. Hudson expressed concerns with lighting, water pollution, landscaping, and parking. Mr. Hudson recommended not borrowing more money.

Ms. Strickland concurred with Ms. Dininni that additional conversations would have been very helpful regionally as a group to come up with a solution.

Mr. Mitra recommended refinancing the \$500k so that there would be time to figure what would be the best use of the funds.

Ms. Dininni will discuss Ferguson Township's position at the Executive Committee on March 16, 2021.

10. APPOINTMENTS TO CENTER REGION BUILDING AND HOUSING CODE BOARD OF APPEALS

Mr. Pribulka reviewed the nominations and noted that at the COG General Forum meeting on February 22, 2021, a motion was unanimously adopted forwarding several nominations to the Centre Region municipalities for appointment to the Centre Region Building and Housing Board of Appeals for various terms commencing April 1, 2021. Provided with the agenda is a copy of the follow-up memorandum from Eric Norenberg, COG Executive Director, summarizing the action of the General Forum.

The following nominations have been referred for appointment:

- Douglas Henry, R.A (Three-year term, April 1, 2021 – March 30, 2024)
- Chad Maholtz (Three-year term, April 1, 2021 – March 30, 2024)
- Brian Walker, P.E. (Three-year term, April 1, 2021 – March 30, 2024)
- J. Michael Leakey, R.A. (Two-year term, April 1, 2021 – March 30, 2023)
- Scott Good, P.E. (Two-year term, April 1, 2021 – March 30, 2023)
- Ryan Solnosky, Ph.D., P.E. (One-year term, April 1, 2021 – March 30, 2022)
- Alan Popovich, R.A. (One-year term, April 1, 2021 – March 30, 2022)

Ms. Strickland moved that the Board of Supervisor **appoint** the applicants to the Centre Region Building and Housing Board of Appeals for the terms specified and as recommended by the COG General Forum. Ms. Stephens seconded the motion. The motion passed unanimously.

VIII. STAFF AND COMMITTEE REPORTS

1. COG COMMITTEE REPORTS

- a. Human Resources Committee – Ms. Stephens reported that the committee talked about a reclassification of a part-time parks positions; and a work from home policy that will come before the General Forum. Ms. Stephens noted that the facility coordinator will be going part-time for a while.
- b. Joint PSE and TLU Committees – Ms. Strickland reported that they won't be meeting as two committees anymore.
- c. Climate Action & Sustainability Committee – Mr. Mitra reported that the committee focused on how to get the community involved.
- d. Finance Committee – Mr. Miller reported the committee received a report for the library on their finances.

- e. Joint Parks and CRPRA – Ms. Dininni reported that the meeting was fantastic with lots of good feedback. Charima Young, Director of Local Govt. and Community Relations at PSU presented the Musser Gap project. Ms. Dininni noted they discussed the crosswalk and the lack of public easement to cross the private Penn State property. Also, they discussed the Parks and Recreation Regional Comprehensive Study Update; Millbrook Marsh Nature Centre; and Whitehall Road Regional Park Update.

IX. STAFF REPORTS

- a. Manager’s Report – Mr. Pribulka noted that the report is included in the agenda packet.
- b. Public Works Director – There was no report.
- c. Planning and Zoning Director – Ms. Wargo’s report was included in the agenda packet.
- d. Chief of Police – Chief Albright’s report was included in the agenda packet.

X. COMMUNICATIONS TO THE BOARD

Ms. Dininni received communications for support with the lawsuit regarding plastics; private plowing of private streets in Corl Acres; trash pickup on private streets; invasive plant management in the Township and in the parks; unconnected sidewalks on Autumnwood Drive; problems with pedestrian flow in Pine Grove Mills on private alleys; letter of request for a MOU to Penn State connecting the Musser Trail; gas contamination and pedestrian safety at the West College Student Housing Development; and posting of liquor license application notification at the West College Brewery.

XI. CALENDAR ITEMS – MARCH/APRIL

- a. Coffee and Conversation, Saturday, April 17, 2021

XII. ADJOURNMENT

With no further business to come before the Board of Supervisors, Ms. Stephens motioned to adjourn the meeting. The meeting adjourned at 11:38 p.m.

Respectfully submitted,

David Pribulka, Township Manager
For the Board of Supervisors



Township of

FERGUSON

Pennsylvania

Proclamation

2021 ARBOR DAY PROCLAMATION

Whereas, in 1872, J. Sterling Morton proposed to the Nebraska Board of Agriculture that a special day be set aside for planting of trees; and

Whereas, President Theodore Roosevelt, in 1907, issued an Arbor Day Proclamation to School Children avowing that, "when you help to preserve our forests or to plant new ones you are acting the part of good citizens;" and

Whereas, this holiday, called Arbor Day, has since grown into a global event celebrating tree planting and care; and

Whereas, the citizens of Ferguson Township are the custodians of many thousands of trees of a variety of species, which increase property values, enhance the economic vitality of business areas, and beautify the community; and

Whereas, Ferguson Township recognizes that trees are a source of joy and spiritual renewal.

Now, therefore, the Ferguson Township Board of Supervisors does hereby proclaim Friday, April 30, 2021, to be Ferguson Township Arbor Day and urges all citizens to celebrate and support efforts to protect trees and woodlands in our community.

Proclaimed this 5th day of April 2021.

Ferguson Township Board of Supervisors,

Laura Dininni, Chair



Township of

FERGUSON

Pennsylvania

Proclamation

2021 WATERSHED CLEANUP DAY

Whereas, Ferguson Township affirms its commitment to environmental stewardship and preserving the quality of life in its Mission Statement and Strategic Plan; and

Whereas, over the past 25 years, more than five hundred volunteers, with the assistance of exemplary community-minded businesses, have helped to remove and properly dispose of more than 3,000 tons of waste and trash from over 50 sites throughout Centre County; and

Whereas, Watershed Cleanup Week provides an opportunity for natural resource stewardship, community involvement and environmental education, which are components of the Chesapeake Bay Strategy; and

Whereas, Ferguson Township and Clearwater Conservancy encourage individuals and groups to be a part of Watershed Cleanup Week by joining friends and neighbors to help keep Centre County clean and beautiful; and

Now, therefore, the Ferguson Township Board of Supervisors does hereby designate Saturday, April 24, 2021, as Watershed Cleanup Day in Ferguson Township.

Proclaimed this 5th day of April 2021.

Ferguson Township Board of Supervisors,

Laura Dininni, Chair



Township of

FERGUSON

Pennsylvania

Proclamation

THE TOWNSHIP OF FERGUSON, CENTRE COUNTY, PENNSYLVANIA TO SUPPORT AND PROMOTE BIKE MONTH 2021 EVENTS AND ACTIVITIES

Whereas, Ferguson Township supports the efforts of CentreBike and the Centre Regional Planning Agency to promote bicycle riding of all types throughout the Centre Region; and

Whereas, Ferguson Township recognizes the bicycle is a healthy, convenient, financially and environmentally sound form of transportation and an excellent tool for recreation, physical fitness enjoyment of Centre County's scenic beauty; natural attractions and friendly neighborhoods; and

Whereas, Ferguson Township supports the 2021 Bike Month Events and encourages residents and visitors to experience the joys of bicycling through the Bike Scavenger Hunt, Bike Lingo Word Search, Bike Bingo, Bike and Munch, Spring Bike Anywhere Friday, Virtual Biking 101, municipal Bike Chats and simply getting out and going for a ride; and

Whereas, the Centre Region is proudly recognized as a Silver level "Bicycle Friendly Community" (BFC) by the League of American Bicyclists (LAB); and

Whereas, Ferguson Township will host a Ferguson Township Bike Chat during the month of May to inform citizens about bike facilities and provide an opportunity to ask bicycle related questions; and

Now, therefore, the Ferguson Township Board of Supervisors does hereby designate May 2021 as "Bike Month", May 17 through May 23, 2021 as "Bike-To-Work Week", and May 21, 2021 as both "Bike-To-Work Day" and "Centre Region Bike Anywhere Friday."

Proclaimed this 5th day of April 2021.

Ferguson Township Board of Supervisors,

Laura Dininni, Chair

ORDINANCE NO. _____

AUTHORIZATION FOR ADVERTISEMENT OF A PUBLIC HEARING ON AN ORDINANCE AMENDING CHAPTER 22, SUBDIVISION AND LAND DEVELOPMENT; PART 5, DESIGN AND IMPROVEMENT STANDARDS BY ESTABLISHING SECTION 515, TREE PRESERVATION AND PROTECTION AND AMENDING PART 202, DEFINITIONS.

The Board of Supervisors of the Township of Ferguson hereby ordains:

Section 1—Chapter 22, Subdivision and Land Development, is hereby amended by establishing a new Section 515, Tree Preservation and Protection as attached hereto as Exhibit “A”.

Section 2—Chapter 22, Subdivision and Land Development, Part 202, Definitions is hereby amended as attached hereto as Exhibit “B”.

Section 3—The forgoing Section 1 and Section 2 shall be effective immediately upon the date of the enactment of this ordinance.

ORDAINED and ENACTED this 5th day of April 2021.

TOWNSHIP OF FERGUSON

By: _____
Laura Dininni, Chair
Board of Supervisors

[S E A L]

ATTEST:

By: _____
David G. Pribulka, Secretary

FERGUSON TOWNSHIP
CHAPTER 22 SUBDIVISION AND LAND DEVELOPMENT,
PART 5—DESIGN AND IMPROVEMENT STANDARDS,
SECTION 515—TREE PRESERVATION AND PROTECTION

1. Intent.

- a. Trees improve air and water quality. Trees reduce soil erosion, noise, and glare, while providing habitat for desirable wildlife. Trees moderate the climate and enhance community image, property values, and protects the public health, safety, and general welfare. The purpose of these regulations is to encourage the protection of trees through sound land use and tree management practices by:
 - i. Preserving, protecting and maintaining existing native trees in Ferguson Township and increasing the overall tree canopy and understory with native species and improving tree and ecosystem health on both public and private lands.
 - ii. Preserving and evaluating healthy trees on site whenever possible, in partnership with the applicant, by ensuring that all applications for grading permits, land development plans, and subdivision plans respect existing trees as a natural resource.
 - iii. Preserving and protecting all individual and groups of heritage trees as defined herein.

2. Applicability.

- a. Any applicant who submits an application for a grading permit, land development plan, or subdivision plan of four parcels or more shall comply with the terms of this chapter.
- b. Any applicant submits a Minor Alteration Plan (as defined in §22-306.2) may choose to take advantage of incentives within this chapter by compliance with the terms herein.
- c. This chapter is not intended to apply to:
 - i. Farm-based business.
 - ii. Subdivisions of three parcels or fewer.
 - iii. A land development plan for a residential structure unless located within the Ridge Overlay Zoning District.
 - iv. The removal of trees from a lot containing or proposing a single-family residence, unless such removal is a part of grading activities that impact one acre or more of area. However, no owner or occupant shall be permitted to remove trees if such trees have been planted or preserved to meet the requirements of Township ordinances or an application approved by the Township.
 - v. The removal of trees identified as dead or diseased by the Township Arborist.
 - vi. The removal of trees for sale in the ordinary course of business from horticultural properties, such as farms, nurseries or orchards.
 - vii. The removal of any tree, including preserved, Heritage and Significant, which is deemed a probable or imminent hazard by the Arborist as established by ISA Tree Risk Assessment.
 - viii. The removal of trees required for approved utility construction and maintenance within established easement areas.

- ix. Timbering and forestry practices as defined by the Pennsylvania Municipalities Planning Code.

3. Tree preservation, protection and replacement.

a. Tree Survey Plan.

- i. All applicable, as defined above, applications for a grading permit, land development plan or subdivision plan shall include an existing tree survey plan and a proposed tree plan except any action that does not include ground coverage disturbance.
- ii. Minor Alteration Plans that choose to take advantage of the incentives within this Chapter shall submit an existing tree survey plan, a proposed tree plan and comply with the terms of this chapter.
- iii. All Tree Survey Plans shall be prepared by an engineer, land surveyor, geologist, or landscape architect to ensure accuracy of plats and compliance with §22-400. Plan Requirements.
- iv. The Existing Tree Survey Plan and Proposed Tree Plan shall be reviewed by the Township Arborist and included as part of staff review comments for Preliminary and Final Plan approval.
- v. The number of trees shall be calculated using the guidelines listed in this chapter.
- vi. Heritage, Significant and boundary trees shall be individually noted on the existing and proposed tree plans.

b. Existing Tree Survey Plan.

- i. The Existing Tree Survey Plan shall be prepared at the time of §22-401 Preliminary Plan Contents and Review and §22-402 Final Plan Contents and Review as its own sheet.
- ii. The existing tree survey plan shall contain existing topographic contour lines at vertical intervals of two feet for land with average undisturbed slope of 4% or less, and at intervals of five feet for land with average natural slopes exceeding 4%, including source of topographic data and shall show all existing buildings and structures, driveways, parking areas, drainage structures, water detention/retention areas, utilities and all limits of grading.
- iii. The existing tree survey plan shall denote each tree currently on the lot over 6 inches in caliper and the existing canopy coverage. It will denote each tree that will be saved, the location of the tree protection fences for each tree to be saved and trees to be removed.
 - 1. Existing tree survey methodologies must be approved by the Township Arborist.

c. Proposed Tree Plan.

- i. The Proposed Tree Plan shall be prepared at the time of §22-401 Preliminary Plan Contents and Review and §22-402 Final Plan Contents and Review as its own sheet.
- ii. The Proposed Tree Plan shall contain proposed topographic information at two-foot contour intervals and shall show all proposed buildings, structures, driveways, parking areas, drainage structures, water detention/retention areas, utilities and all limits of grading.

- iii. The proposed tree plan shall denote the proposed tree replacement schedule, including the pre-existing trees that will be saved, and the proposed tree canopy of the replacement trees at maturity. The species of proposed replacement and additional trees shall be species listed on the Official Township Planting List.
 - iv. The proposed tree plan shall also include the landscaped buffer and all interior landscaping as required in §27-707, Landscaping.
- d. Tree preservation and protection.
- i. Tree preservation. Every application for a grading permit, land development plan or subdivision plan application shall preserve 20% of the existing tree canopy on the lot, except where it can be demonstrated that it is not practical to do so and approved by the Township Arborist. The conditions for determining the practicality of tree preservation on a given lot shall be as follows:
 - 1. Condition: Trees that are dead or determined to be in poor condition by the Township Arborist are not eligible for preservation.
 - 2. Species: Any invasive species as defined by this ordinance is not eligible for preservation.
 - 3. Zoning Ordinance Regulations.
 - ii. The applicant may preserve more than the required 20% of the existing tree canopy on the lot to offset parking requirements for that site (as required by §22-501.C, Off-Street Parking and Loading in the Subdivision and Land Development Ordinance), not to exceed 20% of parking credited.
 - iii. The applicant may plant additional trees on the lot to increase the overall tree canopy to offset parking requirements for that site (as required by §22-501.C, Off-Street Parking and Loading in the Subdivision and Land Development Ordinance), not to exceed 20% of parking credited.
 - iv. The credit (round up) for approved preserved trees and additional canopy tree plantings to offset parking requirements shall be calculated as follows:

Percentage of Existing Tree Canopy	Parking Credit
20%	Required
30%	10%
40%	15%
50%	20%

- 1. Approved preserved trees around the perimeter of the property may offset the buffer requirements for the land development or subdivision (as required by §27-707, Landscaping, of the Zoning Ordinance). The number of trees required to be planted in buffer yards may be reduced by canopy tree credit for approved preserved trees as follows:
 - a. The credit for approved preserved trees to offset buffer yard landscaping requirements shall be calculated as follows:

Diameter of Trunk of Preserved Tree (DBH in inches)	Number of Trees Credited
---	--------------------------

EXHIBIT "A"

30 or greater	8
18 to 29	6
12 to 17	4
6 to 11	2

2. Any tree preserved within 20 feet of any proposed building or within five feet of a proposed road or sidewalk (measured from edge of curb or edge of right of way) shall not be considered an approved preserved tree by this Ordinance.
 3. The Township Arborist will perform a tree assessment for each proposed preserved tree on the lot to assess the health and structure prior to credit calculations.
- v. The applicant is encouraged to maintain contiguous tree masses.
 - vi. Additional tree planting requirement.
 1. If the applicant chooses to increase the tree canopy by planting additional trees, every additional tree must measure at a minimum 2 inches in caliper at time of planting and be listed on the Official Township Plant List.
 2. The species of additional planted canopy trees shall be subject to the recommendation of the Tree Commission. Species are to be hardy to the area and noninvasive and 60% shall be native, consistent with the provisions of this section. The applicant can refer to Ferguson Township's Official Plant List for selections.
 - vii. Subject to the approval of the Tree Commission:
 1. A Maximum of 30% of the additional planted canopy trees may be replaced with evergreen trees (at a minimum of 6 feet in height at the time of planting) at a ratio of two evergreen trees per required two-inch-caliper canopy tree.
 2. A maximum of 20% of the additional planted canopy trees may be replaced with ornamental/flowering trees at a ratio of two understory trees per required two-inch-caliper canopy tree.
 3. A maximum of 10% of the additional canopy trees may be replaced as shrubs with a minimum size of 2 gallons at time of planting and will reach 24" in height at maturity at a ratio of six shrubs per required two-inch-caliper canopy tree.
 4. A maximum of 10% of the additional canopy trees may be replaced as groundcover at a ratio of 40 plants to one two-inch-caliper canopy tree. The minimum size of the groundcover will be a one-gallon container.
 - viii. Calculation and estimation of existing trees and canopy to be indicated on the existing tree survey plan shall be performed before any clearing commences and shall be performed in the presence of the Township Arborist.
 - ix. Protective fencing.
 1. Every application subject to this Ordinance shall be prepared in such a manner to preserve the healthy trees and shrubs on the site.

2. Prior to the preconstruction conference with the Township Arborist, protective fencing shall be placed around trees to minimize damage to root systems. Fencing shall be a minimum of 8 feet in height and constructed of chain link or other material approved by the Township Arborist.
 3. The protective fencing shall be placed around the dripline of the tree. Nothing shall be stored, stockpiled, temporarily placed, excavated or allowed in the protective fencing
 4. This fence will be installed prior to any and all earth disturbance.
 5. No fuel storage, refueling or maintenance of equipment or wash down of cement handling equipment shall be permitted within any protective fencing.
 6. Any damage to the fencing or encroachment on the protected areas shall be remedied immediately. Any observed damage to the trees or roots shall be immediately reported to the Township Arborist and remedied as soon as is practicable.
- e. Tree Replacement.
- i. At the discretion of the Township Arborist, approved preserved trees that have not been adequately protected or damaged may be required to be removed and replaced within a 10' diameter of the removed tree and not within the buffer yard. This is to be at the expense of the applicant in addition to paying a fine as follows:
 1. First offense—\$500.00 per tree;
 2. Second offense—\$750.00 per tree; and
 3. Third and subsequent offenses—\$1000.00 per tree.
 - ii. If the approved preserved tree was identified as a Heritage Tree, the applicant will be required to remove and replace the Heritage Tree in addition to paying a fine of \$1,000.00 and the appraised value of the Heritage tree as determined by the Township Arborist in accordance with established ISA tree appraisal standards.
 - iii. All replacement and additional tree plantings shall be guaranteed and maintained in a healthy and/or sound condition or shall be replaced with a new tree of the same species with a minimum caliper of 2 inches to maintain conformance with the approved subdivision or land development plan.
- f. Construction Conferences.
- i. Preconstruction conference.
 1. Upon approval of any permit subject to this Ordinance, and prior to any construction, or earth disturbance on the site, a preconstruction conference shall be held on the site between the Township Arborist and the applicant.
 2. The Preconstruction Conference shall coincide with §22-401 Preliminary Plan Contents and Review.
 3. The Arborist shall inspect the tree protection fences and other protective devices which have been installed to protect trees.
 - ii. Notification.

EXHIBIT "A"

1. After the preconstruction conference, the Township Arborist shall notify the Planning and Zoning Director of his/her findings in writing.
 2. Upon approval of the tree protection measures by the Township, grading and construction may proceed, provided that all pertinent permits have been secured with Preliminary and Final Review.
- iii. Invasive vines. Invasive vines which threaten the health of any approved preserved tree shall be cut at the base using a hand saw, snips or loppers, and treated with a basal herbicide to minimize regrowth. The vine shall not be pulled out of the tree but shall be allowed to die in place.
- iv. Post-construction Conference.
1. Calculation of approved trees remaining after construction shall be performed by the applicant and reviewed and approved by the Township Arborist based on a procedure similar to that used in completing the Tree Survey Plans. In the event the completed project is not in compliance with the approved schedule of preserved trees on the final plan, the applicant shall receive written instructions from the Township addressing reparation for all removed trees. The applicant shall complete the reparation, weather permitting, within 45 days of receiving such notification.

**FERGUSON TOWNSHIP
CHAPTER 22 SUBDIVISION AND LAND DEVELOPMENT,
PART 2—TERMINOLOGY, SECTION 202—DEFINITIONS**

Definitions.

Unless a contrary intention clearly appears, the following words and phrases shall have the meanings given in this section. All words and terms not defined herein shall be used with a meaning of standard usage as defined in Merriam Webster's Collegiate Dictionary, Eleventh Edition.

ARBORIST—The Arborist of Ferguson Township. The Arborist is a professional in the practice of arboriculture. This term shall include the Township Arborist as well as any consultants engaged to perform similar services in the promulgation and enforcement of the Ferguson Township Ordinances.

APPROVED PRESERVED TREE—Any tree that is inside the limit of disturbance and is to be properly protected and not destroyed or injured during construction as required by this chapter and as suggested by the owner and approved by the Township Arborist.

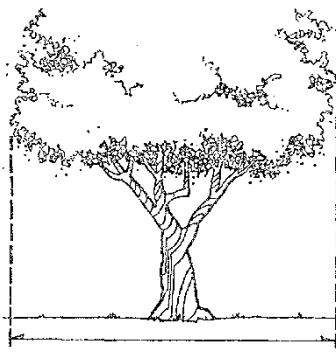
BOUNDARY TREE—A tree on an adjacent property whose root drip line intrudes across the property line of the property under consideration.

CALIPER—A measure of nursery stock measured in diameter. For four-inch diameter stock or smaller, the measure is taken at six inches above the root ball. For stock above four inches, the measurement is taken at 12 inches above the root ball.

CANOPY TREE—A tree, either single-stemmed or multi-stemmed (clump form), which has a caliper of at least 2 inches at planting and is of a species which, at maturity, shall reach a height of at least 30 feet with a spread of at least 30 feet. See the Township's official plant list for a listing of permitted canopy trees.

DIAMETER AT BREAST HEIGHT (DBH)—A measure of a tree trunk diameter in inches, taken at 4 ½ feet above the natural ground line. The measured section of the tree should be free of branches and representative of the typical age of the tree species. DBH measurement is applied to existing trees (compared to caliper used for nursery stock).

DRIPLINE—The boundary created by the outermost branches of a tree.



DRIPLINE

Rendering for illustrative purposes only.

EVERGREEN TREE—A tree, either single-stemmed or multi-stemmed (clump form), which is a minimum of six (6) feet tall at planting and is a species which at maturity can be expected to reach a height of at least 20 feet. See the Township's official plant list for a listing of permitted evergreen trees.

FARM-BASED BUSINESS—A scale of operation essential to farm activities and based on production of products. This use shall be considered of similar nature and function as a home-based business.

FLOWERING/ORNAMENTAL TREE—A tree, either single-stemmed or multi-stemmed (clump form), which has a caliper of at least 1 1/2 inches at planting and is of a species which, at maturity, can be expected to reach a height of at least 10 feet. See the Township's official plant list for a listing of permitted trees.

GROUND COVER—A low-growing perennial plant.

HEDGEROW—A narrow linear vegetated area with a mix of woody trees and shrubs enclosing or separating farm fields and pastures.

HERITAGE TREE—Any tree or stand of trees located on public or private property, of landmark importance due to age, size, species horticultural quality or historic importance that has a DBH greater than 36 inches or an age greater than 75 years, and has been approved as a heritage tree by the Board of Supervisors and which has been accepted by the tree owner or responsible party.

INVASIVE SPECIES—Any plant that appears in the most recent invasive plants list published by the Pennsylvania Department of Conservation and Natural Resources (DCNR).

LIMIT OF DISTURBANCE—Boundary line to be shown on a plan delineating the area outside of which no activity of any sort relating to transplanting, demolition, grading, construction, drainage, storage or any other project activities is permitted.

NATIVE PLANTS—A plant species indigenous to the Northeastern United States that occurs naturally in a particular region, state, ecosystem, and habitat without direct or indirect human actions.

REMOVED TREE—Any tree that is destroyed, injured or otherwise not protected according to the provisions of this chapter.

REPLACEMENT TREE—A tree required to be planted per this chapter to compensate for the removal or damage of existing trees on a site.

SIGNIFICANT TREE—Any tree or stand of trees located on public or private property that is of landmark importance due to age, size, species, horticultural quality or historic importance that has been approved as a significant tree by Ferguson Township's Tree Commission and which status has been accepted by the tree owner or responsible party.

TREE—Any hard-wooded perennial plants, whether evergreen or deciduous, or a species which normally reaches a height of eight feet or more at maturity.

TREE CANOPY—The layer of leaves, branches, and stems of a tree or trees that cover the ground when viewed from above.

TREE COMMISSION—Ferguson Township's Tree Commission.

EXHIBIT "B"

TREE CONDITION—An assessment of tree health and structure by the Arborist or a qualified arborist as approved by Ferguson Township's Arborist.

TREE PROTECTION ZONE—An area approved by the Arborist that is radial in all directions to the trunk of a tree to be protected. The tree protection zone shall be 15 feet from the trunk of the tree to be retained, or the distance from the trunk to the dripline (the line marking the outer edge of the branches of the tree), whichever is greater. Where a group of trees or woodlands is to be protected, the tree protection area shall be the aggregate of the protection areas for the individual trees.

TREE RISK RATING—A method that ranks both the relative degree of risk and consequence of tree failure by considering tree condition and defects, the size of the tree part prone to failure and the vulnerability and value of any target that may be struck. Tree risk ratings include:

IMPROBABLE—Tree is not likely to fail even in severe weather.

POSSIBLE—Failure could occur but is unlikely during normal weather conditions.

PROBABLE—Tree failure is expected under normal weather conditions.

IMMINENT—Tree failure has started or will occur in near future.

TREE SURVEY PLAN—Plan identifying the size, location, species and canopy of all existing trees having a diameter at breast height (DBH) of six inches or greater.



**PLANNING AND COMMUNITY
DEVELOPMENT OFFICE**

Willowbank Office Building
420 Holmes Street
Bellefonte, Pennsylvania 16823-1488
Telephone (814) 355-6791
FAX (814) 355-8661
www.centrecountypa.gov

BOARD OF COMMISSIONERS

MICHAEL PIPE, *Chair*
MARK HIGGINS
STEVEN G. DERSHEM

DIRECTOR

RAYMOND J. STOLINAS, JR., AICP

February 19, 2021

Ferguson Township Planning & Zoning Department
Attn: Jenna Wargo, AICP, Director of Planning & Zoning
3147 Research Drive
State College, PA 16801

Re: **Proposed Subdivision & Land Development Ordinance Amendment – Tree Preservation and Protection**
County Planning & Community Development Office Review

Dear Jenna:

The Centre County Planning and Community Development Office appreciates the opportunity to review the proposed Subdivision & Land Development Ordinance Amendment for Ferguson Township regarding the revisions to **Chapter 22, Part 5, Design and Improvement Standards; Section 515, Tree Preservation and Protection**.

On January 29, 2021, this office received an email from Kristina Aneckstein requesting our review of the proposed draft SALDO Amendment. Subsequent to the initial request, you followed up with notice on February 16, 2021 that a few modifications were made by the Ferguson Township Planning Commission on February 8th and you provided three within the newest draft. You also indicated that the proposed amendment will be reviewed at Board of Supervisors Public Hearing on March 1, 2021. Pursuant to **§ 505 (a), Enactment of Subdivision and Land Development Ordinance Amendment**, of the *Pennsylvania Municipalities Planning Code*:

“...If a county planning agency shall have been created for the county in which the municipality proposing the amendment is located, then, at least 30 days prior to the hearing on the amendment, the municipality shall submit the proposed amendment to said county planning agency for recommendations.”

Moreover, as your municipality considers amending the existing ordinance, **§ 505 - Enactment of Subdivision and Land Development Ordinance Amendments** should be followed as a guide towards properly amending the document. Current case law suggests that any deviation from properly amending a Subdivision & Land Development ordinance may cause the ordinance to be referred to as “void ab initio” or, in other words, not effective.

Our staff reviewed the proposal and offers the following comments:

1. REVIEW REQUESTED BY:

Jenna Wargo, AICP, Ferguson Township Director of Planning & Zoning & Kristina Aneckstein, Community Planner

2. LOCATION:

N/A

3. CURRENT/PROPOSED SALDO STANDARDS:

Ferguson Township Subdivision and Land Development Ordinance, **Part 5, Design and Improvement Standards** provides regulatory guidance related to design and physical improvements to a property being subdivided, especially under **§22-501 Land Requirements, 2.C.**, *“Whenever possible, applicants shall preserve trees, groves, waterways, scenic points, identified spots of heritage and other community assets and landmarks”*.

Other than **§22-509**, requirements for Street Trees, the current Ferguson Township Subdivision and Land Development Ordinance does not contain Tree Preservation and Protection standards and intends to add this amendment as **§22-515**.

4. BACKGROUND:

Chapter 22, Part 5, Design and Improvement Standards; Section 515, Tree Preservation and Protection intends to preserve, protect and maintain existing native trees throughout Ferguson Township, while increasing tree canopy and understory, preserve and evaluate healthy trees on site through grading, land development and subdivision plans and preserve and protect individual and groups of heritage trees.

The chapter provides new Definitions, Applicability, Tree Survey Plan standards, Tree Preservation and Protection guidelines with incentives, Tree Replacement with Damages and Construction Conferences.

5. ADJACENT USES:

N/A

6. COMMENTS AND RECOMMENDATIONS:

The Ferguson Township Board of Supervisors **may** accept the following recommendations related to the proposed Subdivision and Land Development ordinance amendment:

- A) Under **Applicability 1.**, the section indicates that *“Any applicant who submits an application for a grading permit, land development plan, or subdivision plan of five parcels or more shall comply*

with the terms of this chapter". And, under **3.b.** of the same section, "*Subdivisions of four parcels or fewer*" do not apply under this chapter. Proceed to the next section under **Tree Preservation, Protection and Replacement, 1.a.** stipulates that "*Every application for grading permit, land development plan or subdivision plan shall include an existing tree survey and a proposed tree plan...*". It appears the term "every application" conflicts with the previous section that essentially exempts subdivisions of four parcels or fewer.

- B) Under **Tree Preservation, Protection and Replacement, Sections 1.b and c.** require submission of an Existing Tree Survey Plan and Proposed Tree Plan. No profession is specified as the licensed or certified individual qualified to submit these plans, especially for grading, subdivision and land developments? Under Section 503 of the PA MPC, provisions of submitting, including the accuracy of plats and provisions for preliminary and final approval include engineer, land surveyor, geologist, and landscape architects in preparation of plats.
- C) Under **Tree Preservation, Protection and Replacement, Section 1.b,** please correct "*...land with average natural slopes...*" with "*slopes*".
- D) Under **Tree Preservation, Protection and Replacement, Sections 1.b and c.** require submission of an Existing Tree Survey Plan and Proposed Tree Plan. Where does the submission of the Existing Tree Survey Plan and Proposed Tree Plan coincide with **§ 22-401 Preliminary Plan Contents and Review** and **§ 22-402 Final Plan Contents and Review**?
- E) Under **Tree Preservation, Protection and Replacement, Section 1.d.,** the arborist reviews the existing tree survey plan and proposed tree plan. Regarding subdivision and land development plans, should the arborist's review be considered in concert with the Planning Commission's recommendation to the Board of Supervisors for approval or disapproval of the subdivision or land development plans?
- F) Under **Tree Preservation, Protection and Replacement, Section 2.e.,** applicants are encouraged to maintain contiguous tree masses. Best means of encouragement would be through incentives.
- G) Under **Tree Preservation, Protection and Replacement, Section 2.g.v.,** any observed damage to fencing or encroachment on the protected areas shall be immediately reported and remedied as soon as practical. It is unclear if this is a responsibility of the Zoning Administrator, Arborist or Ordinance Officer. For approved subdivision and land developments, this responsibility may fall under the initiation of enforcement proceedings duties of the Zoning Administrator as he conducts inspections of property that have been issued zoning permits.
- H) Under **Tree Preservation, Protection and Replacement, Section 4.a.,** for subdivisions and land development applications, can the Pre-Construction Conference coincide with the Preapplication Conference under **§ 22-302**?
- I) **Under Part 2, Terminology, Section 202 Definitions,** the defined term "Caliper" slightly differs from the Zoning Ordinance definition of the term "Caliper".

As a reminder, the Pennsylvania Municipalities Planning Code, **§ 505 (b)** specifies that within thirty (30) days after enactment, a copy of the amendment to the subdivision and land development ordinance

shall be forwarded to the county planning agency, if approved by the Ferguson Township Board of Supervisors.

Thank you for allowing our office to review this proposed SALDO amendment in a timely manner. If you require any additional information or have any questions regarding these comments, please contact our office at your earliest convenience.

Sincerely,

A handwritten signature in blue ink, appearing to read "Raymond J. Stolinas Jr.", written in a cursive style.

Raymond J. Stolinas Jr., AICP
Centre County Planning Director

RJS

cc: Margaret Gray, Centre County Administrator (email)
Chris Schnure, Subdivision & Land Development Planner, CCPCDO (email)
Kristina Aneckstein, Ferguson Township Community Planner (email)
Dave Pribulka, Ferguson Township Manager (email)
file

CRPA Centre Regional Planning Agency

2643 Gateway Drive, Suite #4 • State College, PA 16801 • Phone (814) 231-3050 • www.crcog.net

March 8, 2021

Mr. Dave Pribulka
Manager
Ferguson Township
3147 Research Drive
State College, PA 16801

**RE: FERGUSON TOWNSHIP – PROPOSED TREE PRESERVATION
ORDINANCE**

Dear Dave:

The Joint Articles of Agreement of the Centre Regional Planning Commission (CRPC) require that the CRPC review any proposed action of a governing body of a participating municipality relating to:

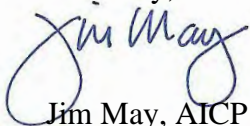
- 1. The location, opening, vacation, extension, narrowing or enlargement of any street, public ground, or watercourse;*
- 2. The location, erection, demolition or sale of any public structures located within a municipality;*
- 3. The adoption, amendment or repeal of any official map, subdivision and land development ordinance, zoning ordinance or planned residential ordinance.*

This process facilitates regional cooperation and coordination by allowing members of the CRPC to provide advisory comments to the governing body for its consideration.

At its regularly scheduled meeting on March 4, 2021, the CRPC considered the proposed Tree Preservation Ordinance. The CRPC had a several comments that were addressed by Ms. Aneckstein during the meeting. There were no other comments for the Township Board of Supervisors to consider.

Please call or e-mail if you have questions, or if you require additional information.

Sincerely,



Jim May, AICP
Director

cc: Jenna Wargo, Director, Ferguson Township Planning and Zoning
Centre Regional Planning Commission

ORDINANCE NO. _____

AN ORDINANCE OF THE TOWNSHIP OF FERGUSON, CENTRE COUNTY, PENNSYLVANIA, AMENDING THE CODE OF ORDINANCES AS FOLLOWS: (1) ACCEPTING THE DEED OF DEDICATION OF ASPEN WHITEHALL PARTNERS, LLC A PENNSYLVANIA LIMITED LIABILITY COMPANY AND ASPEN ROUTE 26 PARTNERS, LLC A PENNSYLVANIA LIMITED LIABILITY COMPANY, FOR ADDITIONAL RIGHT OF WAY ALONG WHITEHALL ROAD; (2) ACCEPTING THE DEED OF DEDICATION OF ALEC J PRINGLE AND JODI L PRINGLE, HUSBAND AND WIFE, FOR ADDITIONAL RIGHT OF WAY ALONG CIRCLEVILLE ROAD; (3) ACCEPTING THE DEED OF DEDICATION OF STATE COLLEGE APARTMENTS, LLC, A DELAWARE LIMITED LIABILITY COMPANY, FOR A PUBLIC STREET IN THE COTTAGES PLANNED RESIDENTIAL DEVELOPMENT TO BE KNOWN AS BLUE COURSE DRIVE; (4) SETTING A MAXIMUM SPEED LIMIT OF 25 MILES PER HOUR FOR BLUE COURSE DRIVE BETWEEN WHITEHALL ROAD AND THE ROTARY TRAFFIC ISLAND; (5) ESTABLISHING A ROTARY TRAFFIC ISLAND ON BLUE COURSE DRIVE AT MUSSERVIEW WAY (PRIVATE) AND WHITEHALL ROAD REGIONAL PARK DRIVEWAY (PRIVATE); AND (6) ESTABLISHING YIELD INTERSECTIONS ON BLUE COURSE DRIVE AT MUSSERVIEW WAY (PRIVATE) AND WHITEHALL ROAD REGIONAL PARK DRIVEWAY (PRIVATE).

The Board of Supervisors of the Township of Ferguson hereby ordains:

Section 1.—Appendix H, Streets and Sidewalks is hereby amended as the Township accepts a Deed of Dedication to the Township of Ferguson from Aspen Whitehall Partners, LLC a Pennsylvania limited liability company and Aspen Route 26 Partners, LLC a Pennsylvania limited liability company, for additional right-of-way for Whitehall Road.

The description set forth in the Deed of Dedication is more fully described in Exhibit “A” which is attached hereto and incorporated herein as though set forth in full.

Section 2.—Appendix H, Streets and Sidewalks is hereby amended as the Township accepts a Deed of Dedication to the Township of Ferguson from Alec J Pringle and Jodi L Pringle, husband and wife, for a right-of-way for Circleville Road.

The description set forth in the Deed of Dedication is more fully described in Exhibit “B” which is attached hereto and incorporated herein as though set forth in full.

Section 3.—Appendix H, Streets and Sidewalks is hereby amended as the Township accepts a Deed of Dedication to the Township of Ferguson from State College Apartments, LLC, a Delaware limited liability company, for a right-of-way for Blue Course Drive.

The description set forth in the Deed of Dedication is more fully described in Exhibit “C” which is attached hereto and incorporated herein as though set forth in full.

Section 4.—Chapter 15, Motor Vehicles, Part 2, Traffic Regulations, Section 201, Maximum Speed Limits, is hereby amended to establish the following speed limits on the following streets:

Chapter 15, Part 201 – Maximum Speed Limits

<u>Add/Delete</u>	<u>Street</u>	<u>Between</u>	<u>Speed Limit</u>
Add	Blue Course Drive	Whitehall Road and rotary traffic island	25 mph

Section 5.—Chapter 15, Motor Vehicles, Part 2, Traffic Regulations, is hereby amended to establish rotary traffic island as follows:

Chapter 15, Part 208 – Rotary Traffic Island

<u>Add/Delete</u>	<u>Island or Barrier on</u>	<u>Location</u>
Add	Blue Course Drive	Musserview Way (private)/Whitehall Road Regional Park driveway (private)

Section 6.—Chapter 15, Part 2, Traffic Regulations, is hereby amended to establish yield intersections as follows:

Chapter 15, Part 215 – Yield Intersections Established

<u>Add/Delete</u>	<u>Yield Street</u>	<u>Through Street</u>	<u>Direction of Travel</u>	<u>Signage</u>
Add	Blue Course Dr.	Circulatory roadway	South	Yield
Add	Musserview Way (private)	Circulatory roadway	East	Yield
Add	Whitehall Road Regional Park driveway (private)	Circulatory roadway	South	Yield

ORDAINED and ENACTED this _____ day of _____, 2021.

TOWNSHIP OF FERGUSON

By: _____
 Laura Dininni, Chair
 Board of Supervisors

[S E A L]

ATTEST:

 David G. Pribulka, Secretary

EXHIBIT "A"

WHITEHALL ROAD LEGAL DESCRIPTION OF ADDITIONAL RIGHT OF WAY

All those certain tracts of land situated in Ferguson Township, Centre County, PA, being Lot Area Dedicated to ROW, as shown on a plan entitled, "Harner Farm, Final Subdivision Plan, Subdivision of Tax Parcel 24-4-67 and Replot of Tax Parcel 24-4-67C", dated April 19, 2019 by PennTerra Engineering, Inc., State College, PA, being bounded and described as follows:

NORTHERLY TRACT

Beginning at an iron pin, lying in a northerly R/W line of Whitehall Road (Variable Width R/W), being a westerly corner of lands owned now or formerly by Danny R. and Pamela M. Harner (Tax Parcel 24-004-067B, D.B. 0404, Pg. 0406) and being a southerly corner of lands owned now or formerly by Aspen Whitehall Partners LLC (Tax Parcel 24-004-067, R.B. 2225, Pg. 91); thence along the common line between said Aspen lands and said Harner lands N36°55'03"W, 22.50 feet to an iron pin, lying in an easterly line of said Harner lands and lying in a westerly line of said Aspen lands; thence traversing through said Aspen lands N53°04'57"E, 190.44 feet to an iron pin, lying in a northerly line of said Aspen lands and lying in a southerly line of lands owned now or formerly by West Penn Power Co. (Tax Parcel 24-004-067A, D.B. 0297, Pg. 0193); thence along the common line between said Aspen lands and said West Penn Power lands S36°49'19"E, 26.50 feet to an iron pin, being an easterly corner of said Aspen lands, being a southerly corner of said West Penn Power lands and lying in a northerly R/W line of said Whitehall Road; thence along said R/W the following three bearings and distances: S53°04'57"W, 4.36 feet to a point; thence N36°55'03"W, 4.00 feet to a point; thence S53°04'57"W, 186.03 feet to an iron pin, being the place of beginning, containing 0.099 acres.

WESTERLY TRACT

Beginning at an iron pin, being a westerly corner of lands owned now or formerly by Danny R. and Pamela M. Harner (Tax Parcel 24-004-067B, D.B. 0404, Pg. 0406), lying in a northerly R/W line of Whitehall Road (Variable Width R/W) and being an easterly corner of lands owned now or formerly by Aspen Whitehall Partners LLC (Tax Parcel 24-004-067, R.B. 2225, Pg. 91); thence along the common line between said R/W and said Aspen lands the following two bearings and distances: S53°04'57"W, 106.80 feet to an iron pin; thence S53°25'28"W, 57.00 feet to an iron pin, lying in a northerly R/W line of said R/W and being an easterly corner of lands owned now or formerly by Christopher S. Harner (Tax

Parcel 24-004-067D, R.B. 2177, Pg. 136) and being a southerly corner of said Aspen lands; thence along the common line between said Aspen lands and said Christopher S. Harner lands N36°49'02"W, 22.50 feet to an iron pin, lying in an easterly line of said Christopher S. Harner lands and lying in a westerly line of said Aspen lands; thence traversing through said Aspen lands the following two bearings and distances: N53°25'28"E, 57.03 feet to an iron pin; thence N53°04'57"E, 106.73 feet to an iron pin, lying in an easterly line of said Aspen lands and lying in a westerly line of said Harner (Tax Parcel 24-004-067B) lands; thence along the common line between said lands S36°55'03"E, 22.50 feet to an iron pin, being the place of beginning, containing 0.085 acres.

SOUTHERLY TRACT

Beginning at an iron pin, being a northerly corner of lands owned now or formerly by Dennis A. and Wendy L. Myers (Tax Parcel 24-017-019, D. B. 418, Pg. 739), lying in a southerly R/W line of Whitehall Road (Variable Width R/W) and being a westerly corner of lands owned now or formerly by Aspen Whitehall Partners LLC (Tax Parcel 24-004-067, R.B. 2225, Pg. 91); thence along the common line between said R/W and said Aspen lands the following eight bearings and distances: N53°25'28"E, 244.04 feet to a point; thence N53°04'57"E, 172.96 feet to a point; thence S36°55'03"E, 5.00 feet to a point; thence N53°04'57"E, 100.00 feet to a point; thence S36°55'03"E, 5.00 feet to a point; thence N53°04'57"E, 386.47 feet to a point; thence N73°38'19"E, 28.48 feet to a point; thence S71°54'34"E, 3.05 feet to a point, lying in a southerly R/W line of said R/W and being a northerly corner of said Aspen lands; thence traversing through said Aspen lands the following two bearings and distances: S53°04'57"W, 687.92 feet to an iron pin; thence S53°25'28"W, 243.57 feet to an iron pin, lying in a westerly line of said Aspen lands and lying in an easterly line of said Dennis A. and Wendy L. Myers lands; thence along the common line between said Aspen lands and said Myers lands N37°55'45"W, 22.51 feet to an iron pin, being the place of beginning, containing 0.371 acres.

EXHIBIT "B"

CIRCLEVILLE ROAD LEGAL DESCRIPTION OF ADDITIONAL RIGHT OF WAY

All that certain three (3) tracts of land situated in Ferguson Township, Centre County, Pennsylvania as shown on a plan entitled, "Parkview Subdivision, Replot of Tax Parcels 24-118-128 and 24-118-128A and 24-118-128B," by PennTerra Engineering, Inc., State College, Pennsylvania, dated July 24, 2020, and recorded at the Centre County Recorder of Deeds Office in Plat Book 96, Pg. 3 being bounded and described as follows:

TRACT 1:

Beginning at an iron pin, lying in a northerly R/W line of Circleville Road (33' R/W), being an easterly corner of lands owned now or formerly by Melissa W. Wright (Tax Parcel 24-118-126, R.B. 2248, Pg. 817) and being a southerly corner of Lot 2R; thence along the common line between said Lot 2R and said Wright lands N22°56'14"W, 19.43 feet to an iron pin, lying in an easterly line of said Wright lands and lying in a westerly line of said Lot 2R; thence traversing through said Lot 2R N84°52'44"E, 85.95 feet to an iron pin, lying in an easterly line of said Lot 2R and lying in a westerly line of Lot 4; thence along the common line between said Lot 2R and said Lot 4 S05°07'16"E, 18.50 feet to an iron pin, being an easterly corner of said Lot 2R, a southerly corner of said Lot 4 and lying in a northerly R/W line of said R/W; thence along the common line between said R/W and Lot 2R S84°52'44"W, 80.00 feet to an iron pin, being the place of beginning, containing 0.035 acres.

TRACT 2:

Beginning at an iron pin, being a southerly corner of lands owned now or formerly by Roger A. and Molly M. Garthwaite (Tax Parcel 24-01-19, R.B. 1023, Pg. 922), being a southerly corner of Lot 3R and lying in a northerly R/W line of Circleville Road (33' R/W); thence along the common line between said R/W and Lot 3R S84°52'44"W, 80.00 feet to a point, being a southerly corner of said Lot 3R, lying in a northerly line R/W line of said R/W and being an easterly corner of Lot 4; thence along the common line between said R/W and Lot 4 N11°06'12"W, 18.60 feet to a point, lying in an easterly line of Lot 4 and lying in a westerly line of Lot 3R; thence traversing through said Lot 3R N84°52'44"E, 80.00 feet to an iron pin, lying in an easterly line of said Lot 3R and lying in a westerly line of said Garthwaite lands; thence along the common line between said Lot 3R and said Garthwaite lands S11°06'12"E, 18.60 to an iron pin, being the place of beginning, containing 0.034 acres.

TRACT 3:

Beginning at an iron pin, lying in a northerly R/W line of Circleville Road (33' R/W), being a southerly corner of Lot 2R and being a southerly corner of Lot 4; thence along the common line between said Lot 2R and said Lot 4 N05°07'16"W, 18.50 feet to an iron pin, lying in an easterly line of said lot 2R and lying in a westerly line of said Lot 4; thence traversing through Lot 4 N84°52'44"E, 106.40 feet to a point, lying in an easterly line of said Lot 4 and lying in a westerly line of Lot 3R; thence along the common line between said lots S11°06'12"E, 18.60 feet to an iron pin, being a southerly corner of said Lot 3R, lying in a northerly R/W line of said R/W and being an easterly corner of said Lot 4; thence along the common line between said Lot 4 and said R/W S84°52'44"W, 108.35 feet to an iron pin, being the place of beginning, containing 0.046 acres.

DRAFT

EXHIBIT "C"

BLUE COURSE DRIVE LEGAL DESCRIPTION OF RIGHT OF WAY

ALL THAT CERTAIN tract of land situated in Ferguson Township, Centre County, PA, being Proposed Public RIGHT OF WAY, as shown on a plan entitled, "Tax Parcels 24-004-094, 24-004-76 and 24-004-76A, Subdivision of Tax Parcel 24-004-094, Lot Consolidation of Tax Parcel 24-004-76 and ROW Dedication from Tax Parcels 24-004-076 and 24-004-76A" dated January 7, 2015, by PennTerra Engineering, Inc., State College, PA, and recorded at the Centre County Recorder of Deeds Office in Plat Book 90, Pg. 127, being bounded and described as follows:

BEGINNING at an iron pin, being a northerly corner of lands owned now or formerly by The Pennsylvania State University (Tax Parcel 24-4-76A, Lot 4R) and lying in a southerly R/W line of West Whitehall Road (S.R. 3018, Variable Width R/W); thence along said R/W N54°01'20"E, 90.00 feet to a point, lying in a southerly R/W line of said R/W and being a westerly corner of lands owned now or formerly by The Pennsylvania State University (Tax Parcel 24-4-76, Lot 3R); thence along said Tax Parcel 24-4-76 the following three bearings and distances: S35°58'30"E, 821.26 feet to a point; thence along a curve to the right, having a chord bearing of S35°58'30"E, a chord distance of 132.29 feet, a radius of 80.00 feet and an arc length of 155.74 feet to a point; thence S35°58'30"E, 79.93 feet to a point, lying in a southerly line of said lands and being a northerly corner of lands owned now or formerly by The Pennsylvania State University (Tax Parcel 24-4-94, Lot 2RRRRR); thence along said Tax Parcel 24-4-94 S54°01'30"W, 90.00 feet to a point, being a westerly corner of said Tax Parcel 24-4-94 and lying in an easterly line of lands owned now or formerly by Ferguson Township and Centre Region Council of Government (Tax Parcel 20-4-94G, R.B. 2143, Pg. 30); thence along said Ferguson Township and Centre Region Council of Government lands N35°58'30"W, 50.00 feet to a point, being a northerly corner of said Ferguson Township and Centre Region Council of Government lands and being an easterly corner of said Tax Parcel 24-4-76A; thence along said Tax Parcel 24-4-76A the following three bearings and distances: N35°58'30"W, 29.94 feet to a point; thence along a curve to the right, having a chord bearing of N35°58'30"W, a chord distance of 132.29 feet, a radius of 80.00 feet and an arc length of 155.74 feet to a point; thence N35°58'30"W, 821.26 feet to a point, being the place of beginning, containing 2.285 acres.

RESOLUTION NO. _____

A RESOLUTION OF THE TOWNSHIP OF FERGUSON, CENTRE COUNTY, PENNSYLVANIA ESTABLISHING AN EXEMPTION POLICY FROM THE STORMWATER MANAGEMENT UTILITY FEE FOR ELIGIBLE NON-PROFIT ORGANIZATIONS AS DESCRIBED IN EXHIBIT "A".

WHEREAS, the Ferguson Township Board of Supervisors adopted Ordinance #1066 on February 16, 2021 establishing a Stormwater Management Utility Fee for all property owners in Ferguson Township; and

WHEREAS, the intention of the ordinance and fee is to offset the direct and indirect costs of stormwater management in Ferguson Township; and

WHEREAS, the Board of Supervisors is desirous of establishing a full exemption process for non-profit organizations who demonstrate eligibility under the requirements described in the attached policy; and

NOW THEREFORE, the Ferguson Township Board of Supervisors hereby establishes a full exemption from the Stormwater Management Utility Fee for non-profit organization who demonstrate compliance with the eligibility guidelines described in the policy attached hereto and made part of this Resolution as Exhibit "A".

RESOLVED this ____ day of _____, 2021.

TOWNSHIP OF FERGUSON

By: _____
Laura Dininni, Chair
Board of Supervisors

[S E A L]

ATTEST:

David G. Pribulka, Secretary

Exhibit "A"

**Ferguson Township
Stormwater Management Utility Fee
Non-Profit Hardship Exemption Policy**

Adopted: _____

Amended: _____

Purpose

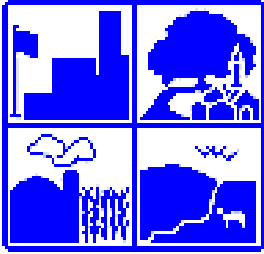
The Ferguson Township Board of Supervisors enacted Ordinance #1066 on February 16, 2021, establishing a Stormwater Management Utility Fee for the purposes of funding the Township's obligation to maintain its stormwater management infrastructure; complying with state and federal permit requirements; and to assess all property owners more equitably in accordance with each property's total impervious area. This policy is intended to provide a process by which certain qualified non-profit organizations may request an exemption from the stormwater utility fee.

Policy

- 1) It shall be the policy of the Township to provide a full (100%) exemption from the Stormwater Management Utility Fee to an organization exempt from taxation, or would qualify from exemption from taxation under §501(c)(3); §501(c)(13); or §501(c)(19) of the Internal Revenue Code and assessed an annual stormwater utility fee payment that equals or exceeds one percent (1%) of the organization's total (taxable or non-taxable) annual revenue prior to deductions for applicable credits or exemptions. To determine eligibility under this policy, the Township requires the organization meet the following conditions:
 - a. Applicant can provide verification that the organization is exempt or qualifies for exemption from taxation under §501(c)(3); §501(c)(13); or §501(c)(19);
 - b. Applicant organization is an equitable owner of a property subject to the assessment of the stormwater management utility fee;
 - c. Applicant organization's total annual revenue does not exceed one million dollars (\$1 million); and
 - d. The annual assessment on the property for which the exemption would apply equals or exceeds one percent (1%) of the organization's total annual revenue.
 - i. For example, a qualified non-profit organization whose annual stormwater management utility fee is \$1,785, and whose total annual revenue is \$150,000 would qualify for the exemption: $\$1,785 \text{ stormwater fee} / \$150,000 \text{ annual revenue} \times 100 = 1.19\%$
- 2) Qualified organizations with intent to request this exemption must file the Non-Profit Hardship Exemption Application with the Township no later than September 30th of each year prior to the fiscal year for which the exemption is being requested. It is the responsibility of the applicant to complete and submit the application and supporting documentation such as the most recent Form 990 or organizational audit filed for the most recent fiscal year of the organization. Other supporting documentation may be requested for review and acceptance by the Director of Finance.
- 3) Applications for exemptions shall be filed annually. No applications shall be accepted after September 30th of each year without written authorization from the Township Manager. Applicants who fail to reapply for the exemption, or who do not demonstrate compliance

with the provisions of this Policy, shall be deemed ineligible for the exemption and will be subject to the applicable stormwater management utility fee for their respective property in the following fiscal year.

- 4) By October 31st of each year, the Director of Finance shall review each application for an exemption under this policy and provide a written response to the applicant communicating the outcome of the review. Applications which are deemed rejected or non-compliant may be appealed to the Township Manager no later than November 30th of each year. On appeal, the Township Manager shall make a determination as to whether the guidelines prescribed above have been met and whether the organization is eligible for the exemption. The outcome of the appeal to the Township Manager shall be communicated to the applicant no later than December 31st of each year. The decision of the Township Manager shall be binding and not subject to further appeal under this policy.
- 5) The revenue source for the implementation of this non-profit hardship exemption policy shall be separate and distinct from the stormwater management utility fee and shall be deposited by the Township from the General Fund into the Stormwater Fund. Nothing shall prevent the Board of Supervisors from modifying or eliminating the policy. Any such modification or elimination may apply to beneficiaries of the existing policy at the discretion of the Board of Supervisors.
- 6) Only organizations which are exempt or that qualify for exemption from taxation under §501(c)(3); §501(c)(13); or §501(c)(19) of the Internal Revenue Code may apply for an exemption under this Policy. Applicant organization must be an equitable owner of a property subject to the assessment of the stormwater management utility fee.



TOWNSHIP OF FERGUSON

3147 Research Drive, State College, Pennsylvania 16801

Telephone: 814-238-4651 Fax: 814-238-3454

TO: The Ferguson Township Board of Supervisors

FROM: Kristina Aneckstein, Community Planner

DATE: March 26, 2021

SUBJECT: Kocher Well Field Water Pumping Improvements

The Kocher Well Field Water Pumping Improvements Final Land Development Plan was submitted by Gwin, Dobson & Foreman Engineering, Inc. on behalf of their client, The State College Borough Water Authority. The parcel is 47.7 acres and is zoned Rural Agricultural (RA). The Land Development Plan includes two proposed structures to house upgraded pump controls on Tax parcel 24-006-055E, located at 3961 W. Whitehall Road. The construction consists of two (2) buildings that measure 9 feet 4 inches by 12 feet 4 inches relative to Existing Well No. 71 and 9 feet 4 inches by 11 feet 4 inches relative to Existing Well No. 78. There is an existing floodplain that traverses the parcel and no construction is planned in the floodplain.

On June 23, 2020, a variance was approved to utilize FEMA Mapping for Floodplain Boundary determination instead of independent Hydrologic and Hydraulic (H&H) study as required by §27-701—Floodplain Conservation. This is the final review of the land development plan. The Preliminary Plan was conditionally approved by the Board of Supervisors on October 5, 2020.

Recommendation: The Board of Supervisors to approve the Kocher Well Field Water Pumping Improvements Final Land Development Plan.

Outstanding Comments:

Arborist:

- Recommend replacing Red Maple shown on the plan with London Plane Tree due to potential pest and disease issues of Red Maple

Planning and Zoning:

- A GIS-Compatible digital copy of the plan in accordance with Township requirements must be provided to the Township prior to final plan signature.
- The plan must be signed, all fees paid to the Township, and the plan recorded within the plan deadline.
- The following statement must be included on the Record Plan: This Record Plan conforms with the Plan receiving final approval by the Ferguson Township Board of Supervisors on _____. All improvements are or will be installed in accordance with such Plan in a manner and time so specified therein. (Chapter 22, Section 403.Q)

STATE COLLEGE BOROUGH WATER AUTHORITY FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

FINAL LAND DEVELOPMENT PLAN

FOR

KOCHER WELL FIELD WATER PUMPING IMPROVEMENTS

FEBRUARY 17, 2021

COMMONWEALTH OF PENNSYLVANIA ACT NO. 287

THE CONTRACTOR SHALL COMPLY WITH ALL THE APPLICABLE REQUIREMENTS OF ACT NO. 287 OF THE GENERAL ASSEMBLY OF THE COMMONWEALTH OF PENNSYLVANIA, AS AMENDED BY ACT NO. 187 OF 1996, AS AMENDED BY ACT NO. 181 OF 2006, EFFECTIVE MARCH 29, 2007, AND AS AMENDED BY ACT 121 OF 2008, EFFECTIVE OCTOBER 9, 2008.

THE FOLLOWING IS A LIST OF MEMBERS LOCATED WITHIN THE PROJECT AREA:

<p>UNIVERSITY AREA JOINT AUTHORITY 1576 SPRING VALLEY ROAD STATE COLLEGE, PA 16801 CONTACT: MARK HARTER EMAIL: mharter@uajg.com (814) 238-8370</p>	<p>ELECTRIC: WEST PENN POWER 800 CABIN HILL DRIVE ROOM 8100N GREENSBURG, PA 15601 CONTACT: ROBERT PAINTER EMAIL: rpainter@westpennpower.com</p>
<p>PENN STATE UNIVERSITY WASTEWATER TREATMENT PLANT 601 UNIVERSITY DRIVE STATE COLLEGE, PA 16801 CONTACT: JEFF McDONALD EMAIL: jim86@psu.edu</p>	<p>ROADS/ STORM: FERGUSON TOWNSHIP CENTRE COUNTY 3147 RESEARCH DRIVE STATE COLLEGE, PA 16801 CONTACT: CHRIS LEIDY EMAIL: cleidy@fwp.ferguson.pa.us</p>
<p>STATE COLLEGE BOROUGH WATER AUTHORITY 1201 WEST BRANCH ROAD STATE COLLEGE, PA 16801 CONTACT: STEVEN ALBRIGHT EMAIL: steven@scbwa.org (814) 238-0885</p>	



PA ONE-CALL (800) 242-1776
PA ONE-CALL SERIAL NUMBER:
20210482244

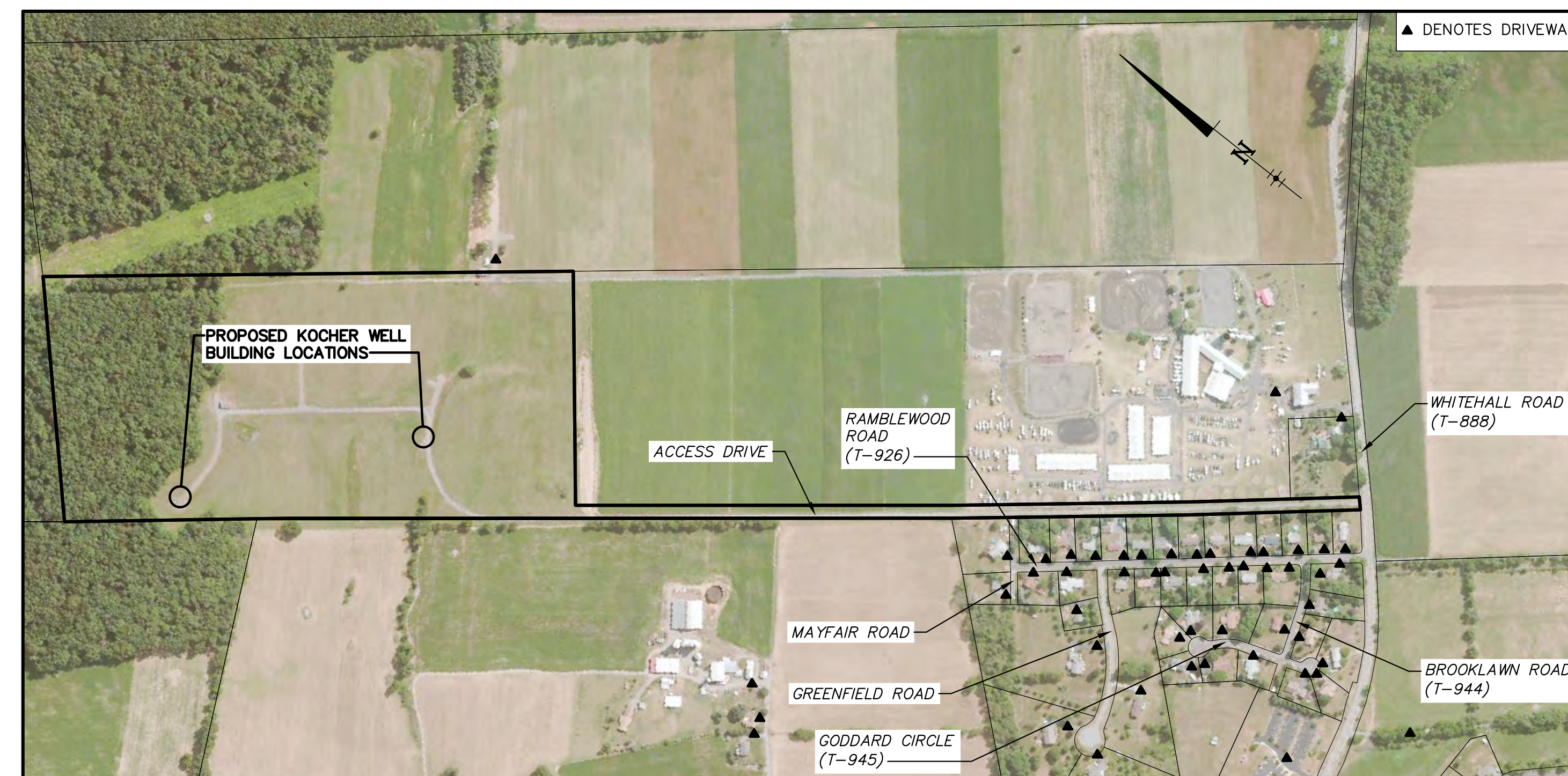
GD&F
GWIN
DOBSON &
FOREMAN
ENGINEERS
3121 Fairway Drive
Altoona, PA 16602
814.943.5214
gdfengineers.com

INDEX OF DRAWINGS

CS-1	COVER SHEET
1	EXISTING SITE PLAN
2	FINAL LAND DEVELOPMENT PLAN
3	KOCHER WELL BUILDING PLANS AND SECTIONS
4	EROSION AND SEDIMENT CONTROL (ESC) PLAN
5	LANDSCAPING PLAN
6	FINAL LAND DEVELOPMENT SECTIONS
D-1	EROSION AND SEDIMENT CONTROL (ESC) NOTES AND DETAILS
D-2	EROSION AND SEDIMENT CONTROL (ESC) NOTES

RECORD PLAN NOTE

THIS RECORD PLAN CONFORMS WITH THE PLAN RECEIVING FINAL APPROVAL BY THE FERGUSON TOWNSHIP BOARD OF SUPERVISORS ON ALL IMPROVEMENTS ARE OR WILL BE INSTALLED IN ACCORDANCE WITH SUCH PLAN IN A MANNER AND TIME SO SPECIFIED THEREIN.



KEY MAP
SCALE: 1" = 400'

PROJECT NOTES

- GENERAL SITE/LOT INFORMATION:
 - OWNER/DEVELOPER: STATE COLLEGE BOROUGH WATER AUTHORITY
 - TAX PARCEL NUMBER/LOT ACREAGE: 24-006-.055E-.0000-/47.70 ACRES
 - PROPERTY ADDRESS: 3961 W. WHITEHALL ROAD
 - RECORD BOOK/PAGE NUMBER: 793 / 314
 - LAND IS ZONED: RURAL AGRICULTURAL (RA)
 - BUILDING SETBACK LINE: FRONT YARD = 50'
SIDE YARD = 50'
REAR YARD = 50'
 - LOT REQUIREMENTS: EXISTING LOT AREA = 2,077,627 SQ. FT. OR 47.70 ACRES [BY DEED]
MAXIMUM BUILDING HEIGHT = 50'
PROPOSED BUILDING HEIGHT = 12.4'
 - EXISTING LAND USE: POTABLE WATER PUMP STATION FACILITY
 - PROPOSED LAND USE: POTABLE WATER PUMP STATION FACILITY
 - INFORMATION CONCERNING EXISTING FEATURES, RIGHT OF WAYS, PROPERTY LINES, ZONING BOUNDARIES, ETC. SHOWN ON THESE DRAWINGS WAS OBTAINED FROM DEEDS, RECORD DRAWINGS, FIELD OBSERVATIONS AND DATA OBTAINED FROM THE CENTRE COUNTY GIS SYSTEM AND MAY NOT REPRESENT CONDITIONS EXACTLY AS THEY EXIST AT THE PRESENT, NOR DO THEY CONSTITUTE ACTUAL FIELD INSTRUMENT SURVEYS FOR ALL INFORMATION SHOWN ON THESE PLANS.
 - HORIZONTAL CONTROLS ARE REFERENCED TO THE PENNSYLVANIA STATE PLANE (NAD 83) SOUTH ZONE.
 - VERTICAL CONTROLS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). TOPOGRAPHIC AND LOCATION INFORMATION INDICATED ON THESE PLANS WAS OBTAINED FROM THE PENNSYLVANIA SPATIAL DATA ACCESS (PSDA) CLEARINGHOUSE.
 - SOILS INFORMATION FROM UNITED STATE DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, ON-SITE SOILS CONSIST PRIMARILY OF SILT LOAMS UNDERLAIN BY CARBONATE ROCK.
 - EXISTING FLOODPLAIN INFORMATION FROM FLOOD INSURANCE RATE MAP (FIRM) PANEL NOS. 42027C0830F AND 42027C0835F FOR FERGUSON TOWNSHIP, EFFECTIVE DATE MAY 4, 2009, IS INDICATED ON THESE PLANS AND SUPPLEMENTED WITH FLOODPLAIN DATA FROM A DETAILED STUDY PERFORMED BY GWIN, DOBSON & FOREMAN, INC. AND DATED APRIL, 2020.
 - THERE ARE NO IDENTIFIABLE WETLANDS WITHIN THE ENVIRONS OF THE PROJECT LIMITS.
 - THERE ARE NO STEEP SLOPES (>25%) WITHIN THE ENVIRONS OF THE PROJECT LIMITS.
 - THE PROPOSED WELL PUMP VFD BUILDINGS ARE LOCATED IN THE WELLHEAD ZONE 1 PROTECTION AREA AS DEFINED BY §27-405 (SOURCE WATER PROTECTION OVERLAY DISTRICT) OF THE FERGUSON TOWNSHIP CODE. THE BUILDINGS ARE TO BE USED TO INSTALL ELECTRICAL IMPROVEMENTS IN SUPPORT OF AN EXISTING POTABLE WATER PUMP STATION FACILITY. NO HAZARDOUS MATERIALS ARE TO BE STORED, HANDLED OR USED IN THE WELL PUMP VFD BUILDINGS. AS SUCH, THE CONSTRUCTION AND OPERATION OF THESE BUILDINGS BY THE STATE COLLEGE BOROUGH WATER AUTHORITY IS A PERMITTED USE IN ACCORDANCE WITH §27-405.7.B.40 (TABLE 405, LAND USE NO. 40).
- LOT COVERAGE:
 - MAXIMUM IMPERVIOUS COVERAGE = 10.00%
 - PROPOSED IMPERVIOUS COVERAGE = 3.16% (65,638 SQ. FT.)
 - PARKING ANALYSIS:
 - REQUIRED PARKING - §22-SC01.1.B.(2)
= 1 SPACE / WORK VEHICLE X 3 WORK VEHICLES = 3 PARKING SPACES
 - PARKING PROVIDED = 3 SPACES (SEE PLANS)
 - DATE OF ZONING PERMIT APPLICATION: JULY 19, 2019
 - LIST OF APPROVED VARIANCES: (JUNE 23, 2020)
 - §27-701 - VARIANCE TO UTILIZE FEMA MAPPING FOR FLOODPLAIN BOUNDARY DETERMINATION INSTEAD OF INDEPENDENT HYDROLOGIC AND HYDRAULIC (H&H) STUDY.

CENTRE COUNTY RECORDER OF DEEDS

COMMONWEALTH OF PENNSYLVANIA COUNTY OF CENTRE
CERTIFICATION OF OWNERSHIP
ON THIS, ____ DAY OF _____, 20____, THE UNDERSIGNED OWNER(S), PERSONALLY APPEARED BEFORE ME AND CERTIFIED THAT THEY WERE THE OWNER(S) OF THE PROPERTIES SHOWN ON THIS PLAN AND ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN AND DESIGNS, THE SAME TO BE RECORDED AS SUCH, ACCORDING TO THE LAW.

OWNER SIGNATURE _____ OWNER PRINT NAME _____ OWNER TITLE _____
WITNESS MY HAND AND SEAL, THIS DATE _____
NOTARY PUBLIC _____ COMMISSION EXPIRES _____

DESIGN PROFESSIONAL CERTIFICATION

I, KENNETH W. BELDIN, JR., PE, HEREBY CERTIFY THAT THIS LAND DEVELOPMENT MEETS ALL DESIGN REQUIREMENTS OF CHAPTER 22, SUBDIVISION AND LAND DEVELOPMENT; CHAPTER 27, ZONING; AND ALL OTHER APPLICABLE CHAPTERS OF THE FERGUSON TOWNSHIP CODE.

FERGUSON TOWNSHIP ENGINEER CERTIFICATION

I, _____, HAVE REVIEWED AND HEREBY CERTIFY THAT THE PLAN MEETS ALL ENGINEERING DESIGN STANDARDS AND CRITERIA OF THE FERGUSON TOWNSHIP CODE OF ORDINANCES.

FERGUSON TOWNSHIP PLANNING COMMISSION

FERGUSON TOWNSHIP PLANNING COMMISSION APPROVED
SECRETARY _____ DATE _____
CHAIRMAN _____ DATE _____

FERGUSON TOWNSHIP BOARD OF SUPERVISORS

FERGUSON TOWNSHIP BOARD OF SUPERVISORS APPROVED
SECRETARY _____ DATE _____
CHAIRMAN _____ DATE _____

FERGUSON TOWNSHIP ZONING OFFICER

FERGUSON TOWNSHIP ZONING OFFICER APPROVED
ZONING OFFICER _____ DATE _____

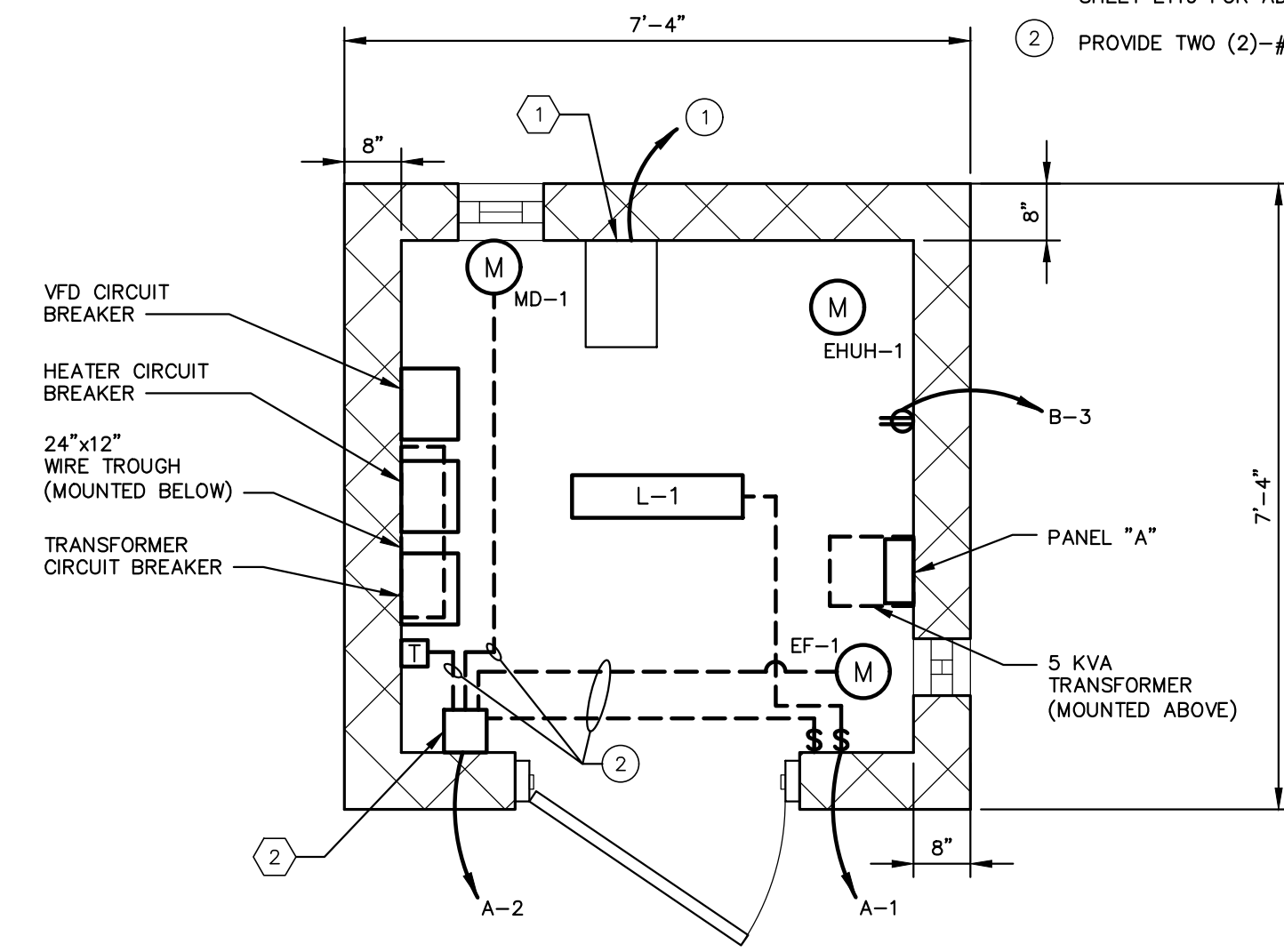
FIRE CHIEF CERTIFICATION

I HAVE REVIEWED AND HEREBY CERTIFY THAT THE LOCATION OF FIRE LANES AND FIRE HYDRANTS SHOWN ON THIS PLAN ARE ADEQUATE.
FIRE CHIEF _____ DATE _____

	COVER SHEET		
	STATE COLLEGE BOROUGH WATER AUTHORITY		
KOCHER WELL FIELD WATER PUMPING IMPROVEMENTS		SHEET NO. CS-1	
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA		DATE: 2/17/2021 JOB: 16049 SCALE: AS SHOWN	
FILE: _____ DRAWN BY: DLK CHECKED BY: KWB		G:\16049\LAND DEVELOPMENT\Kocher Well Field LDP\16049_Kocher_LD_CST	

PLAN NOTE:

- ① PROVIDE EIGHT (8)-#16 SHIELDED CONDUCTORS AND TWO (2)-#16 TSP IN ONE (1)-3/4" CONDUIT FROM VFD TO TELEMETRY PANEL LOCATED IN EXISTING CONTROL BUILDING. SEE SITE PLAN ON SHEET E119 FOR ADDITIONAL DETAILS.
- ② PROVIDE TWO (2)-#12 CONDUCTORS, ONE (1)-#12 GROUND IN ONE (1)-3/4" CONDUIT.



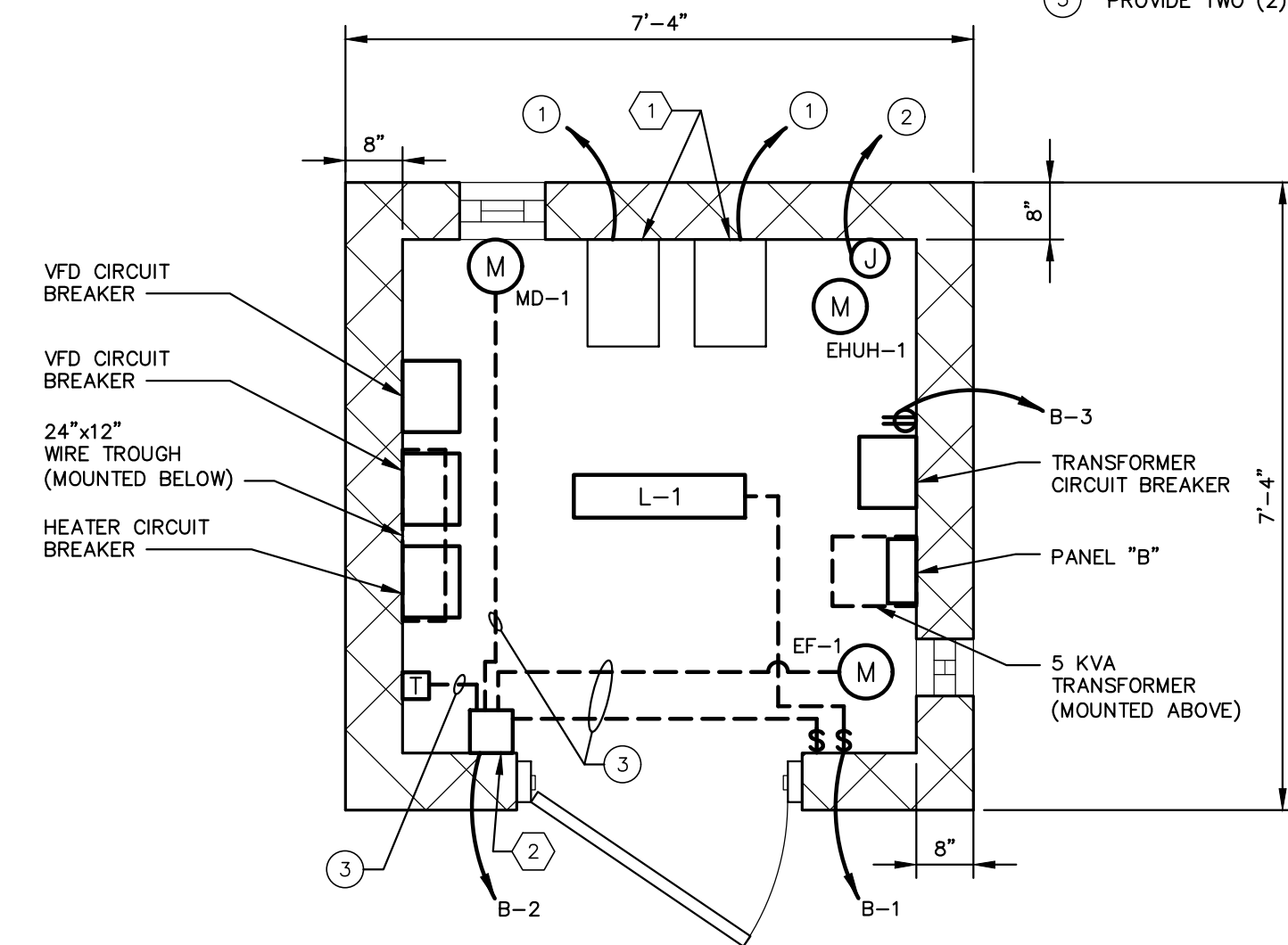
WELL PUMP No. 78 VFD BUILDING FLOOR PLAN
SCALE: 1/2" = 1'-0"

EQUIPMENT NOTES:

- ① 100 HP, THREE PHASE, 480 VOLT, VFD, NEMA 12 ENCLOSURE. PROVIDE LINE REACTOR MOUNTED ABOVE VFD AND LOAD REACTOR MOUNTED BELOW VFD. SEE SPECIFICATIONS SECTION 262419.
- ② 6"x6"x6" NEMA 12 ENCLOSURE, 4PDT RELAY. SEE WIRING DETAIL THIS SHEET.

PLAN NOTE:

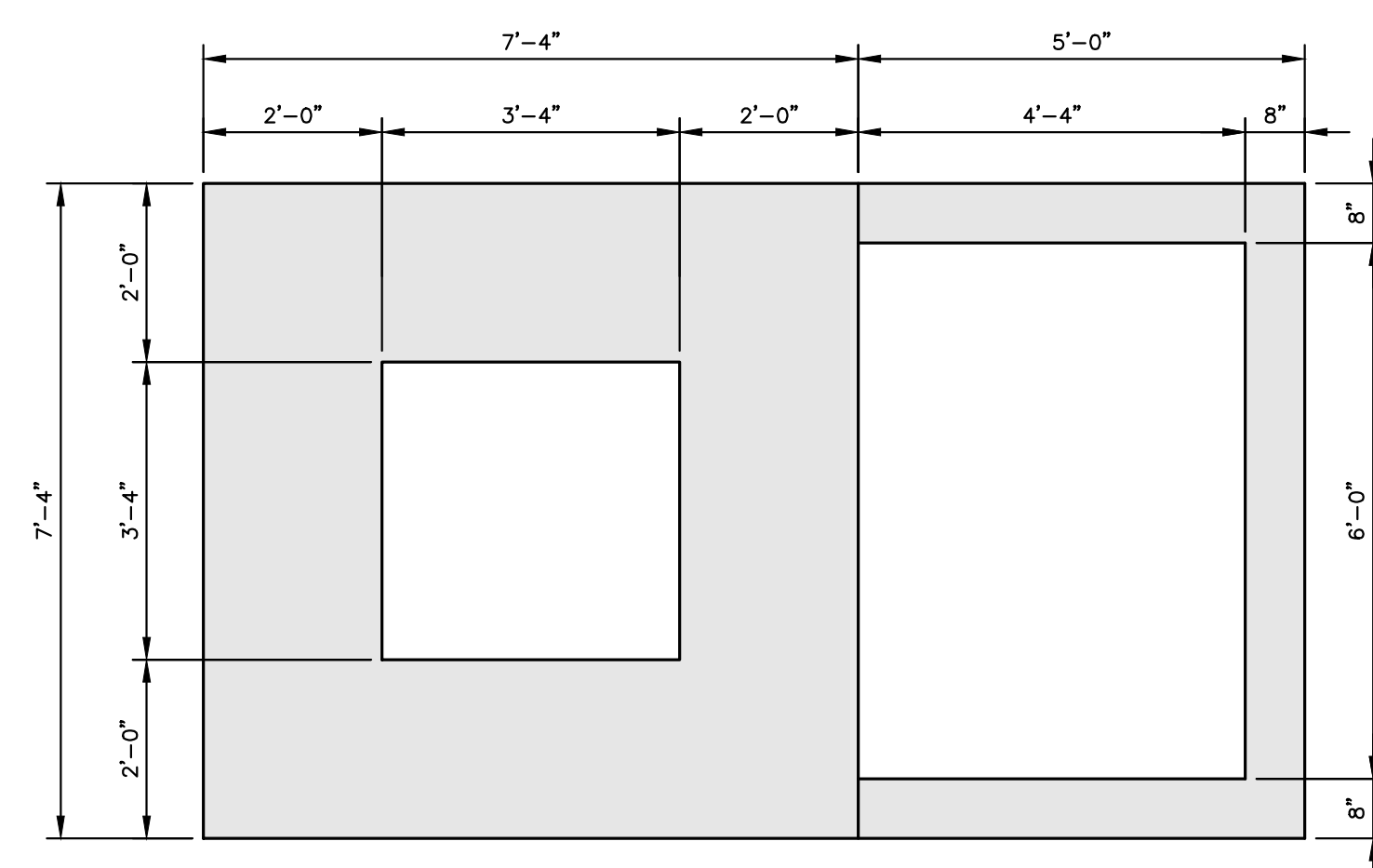
- ① PROVIDE EIGHT (8)-#16 SHIELDED CONDUCTORS AND TWO (2)-#16 TSP IN ONE (1)-1" CONDUIT FROM VFD TO JUNCTION BOX.
- ② PROVIDE SIXTEEN (16)-#16 SHIELDED CONDUCTORS AND FOUR (4)-#16 TSP IN ONE (1)-2" CONDUIT FROM JUNCTION BOX TO EXISTING CONTROL BUILDING UTILIZING PROPOSED PULL BOX AND EXISTING 4" CONDUIT FROM PULL BOX TO THE EXISTING CONTROL BUILDING. SEE SITE PLAN ON SHEET E119 FOR ADDITIONAL DETAILS.
- ③ PROVIDE TWO (2)-#12 CONDUCTORS, ONE (1)-#12 GROUND IN ONE (1)-3/4" CONDUIT.



WELL PUMP No. 71/73 VFD BUILDING FLOOR PLAN
SCALE: 1/2" = 1'-0"

EQUIPMENT NOTES:

- ① 100 HP, THREE PHASE, 480 VOLT, VFD, NEMA 12 ENCLOSURE. PROVIDE LINE REACTOR MOUNTED ABOVE VFD AND LOAD REACTOR MOUNTED BELOW VFD. SEE SPECIFICATIONS SECTION 262419.
- ② 6"x6"x6" NEMA 12 ENCLOSURE, 4PDT RELAY. SEE WIRING DETAIL THIS SHEET.



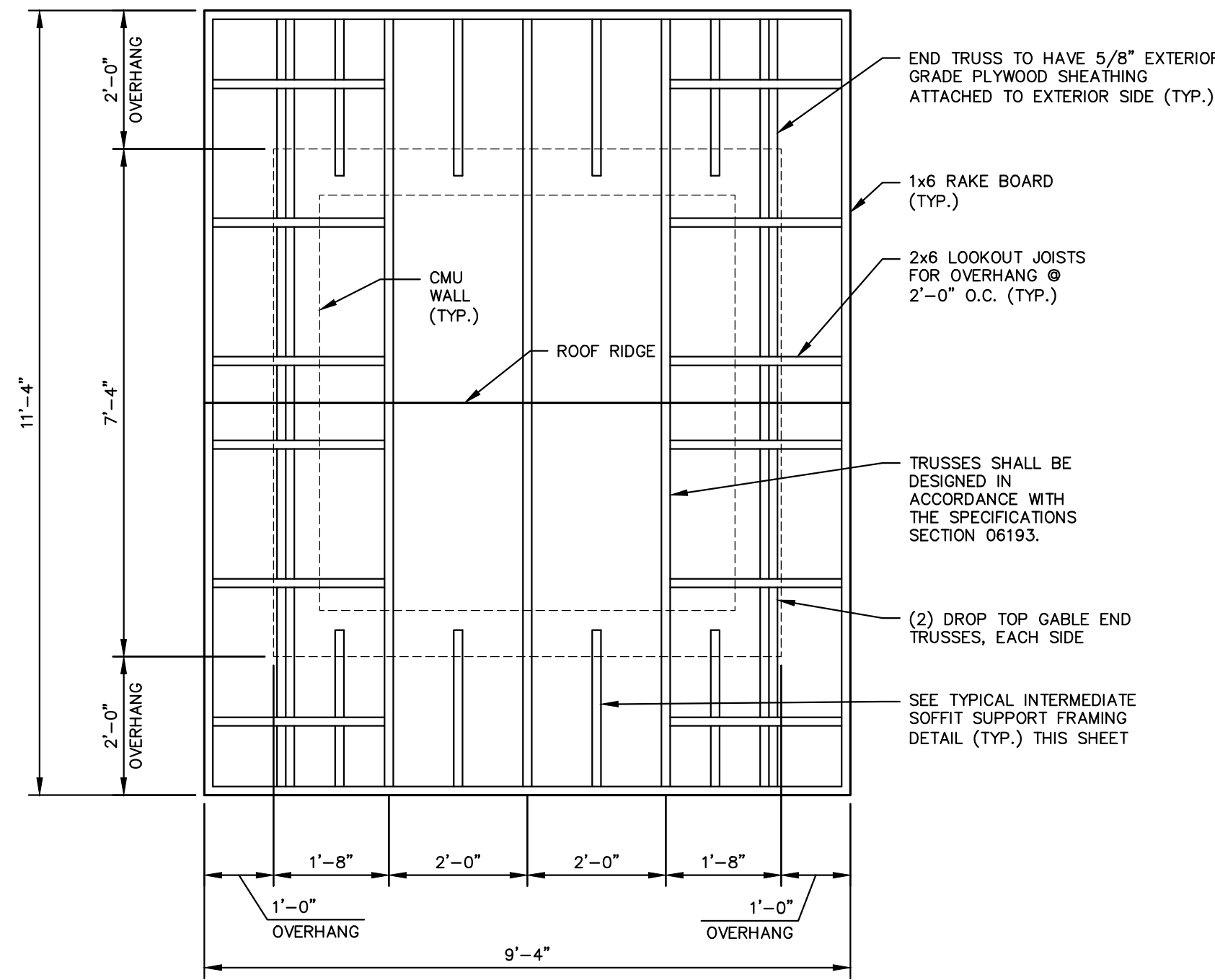
FOUNDATION PLAN
SCALE: 1/2" = 1'-0"

LEGEND

GRADE BEAM

FOUNDATION NOTE:

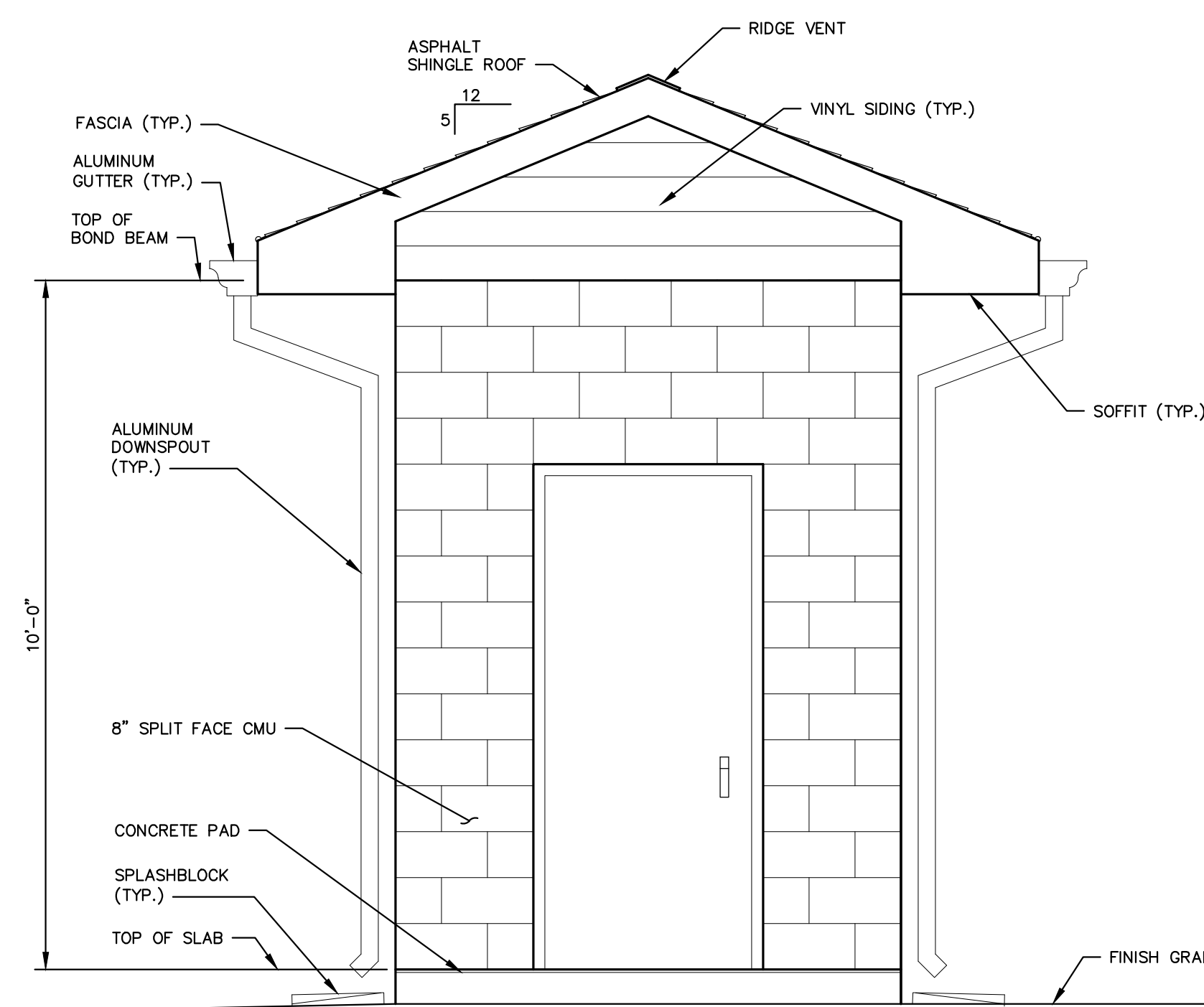
REQUIRED SOIL BEARING CAPACITY: 2,000 PSF



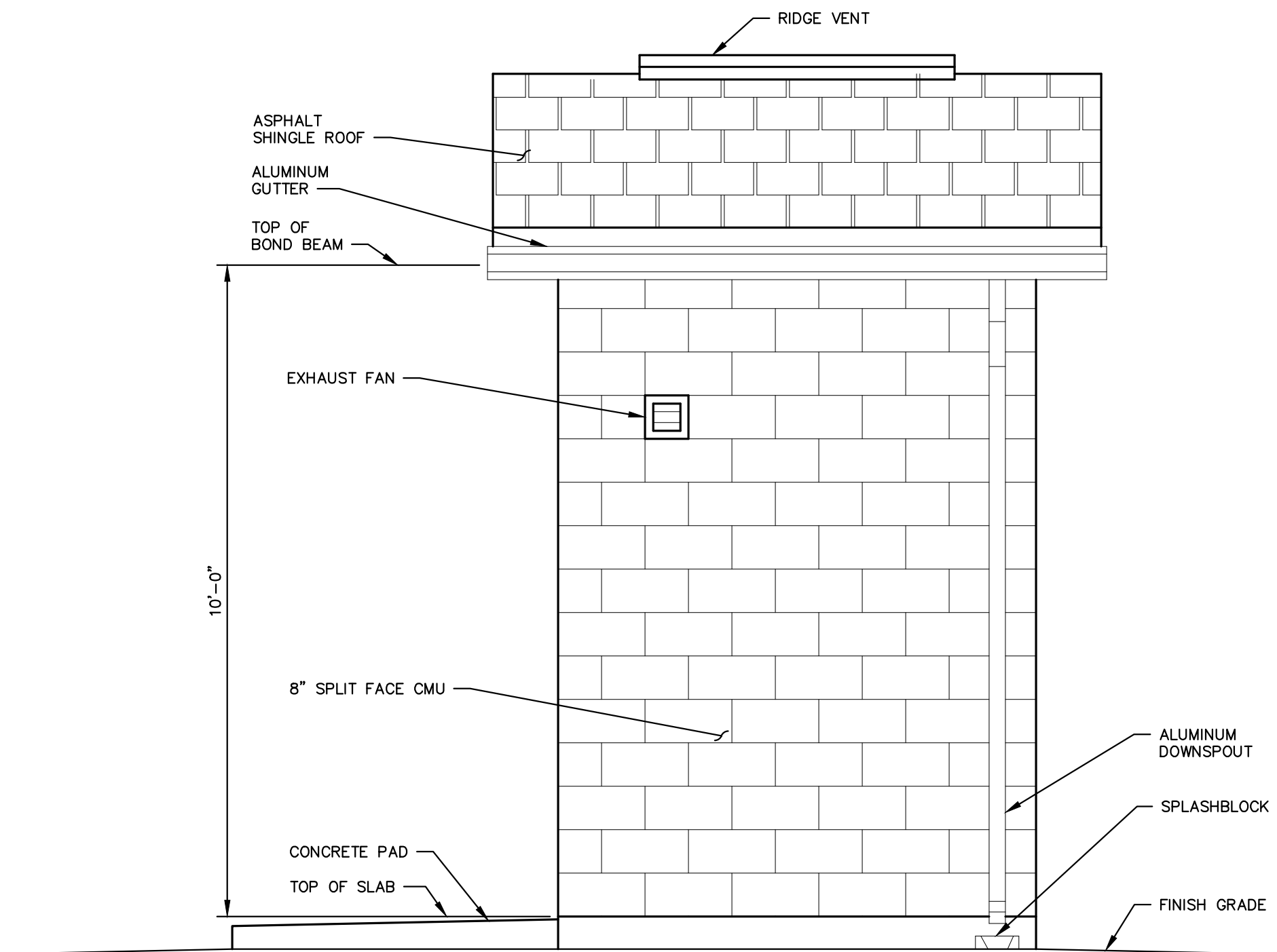
ROOF PLAN
SCALE: 1/2" = 1'-0"

ROOF FRAMING NOTES:

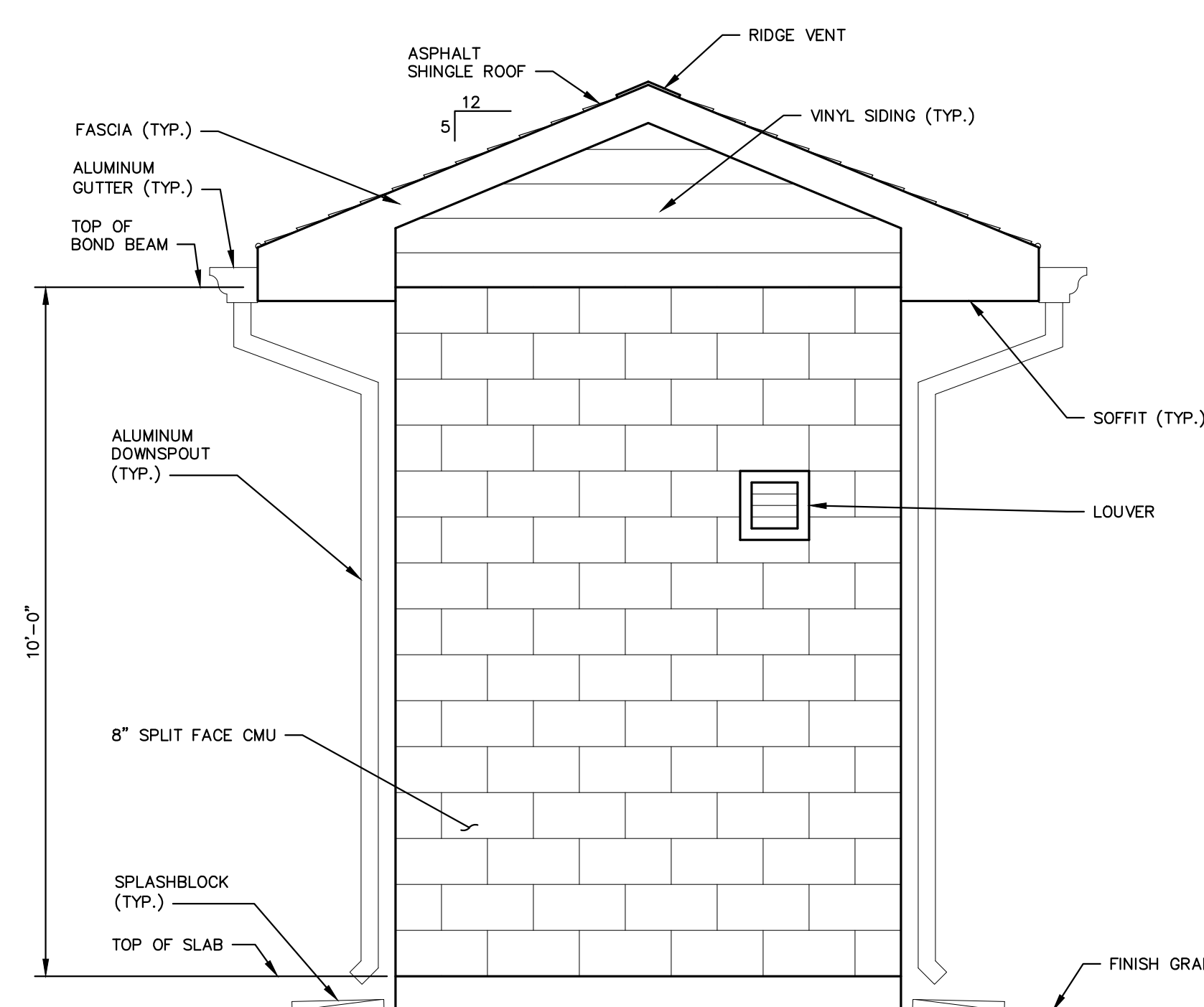
1. ROOF TRUSSES AND ROOF FRAMING SHALL BE ENGINEERED AND PREFABRICATED.
2. WIND LOAD:
RISK CATEGORY III
BASIC WIND SPEED V = 120 MPH
WIND DIRECTIONALITY FACTOR K_d = 0.85
EXPOSURE CATEGORY = C
TOPOGRAPHIC FACTOR K_t = 1.0
GUST EFFECT FACTOR = 0.85
ENCLOSURE CLASSIFICATION = ENCLOSED
INTERNAL PRESSURE COEFFICIENT GC_{pi} = ±0.18
VELOCITY PRESSURE EXPOSURE COEFFICIENT, K_e AND K_z = 0.85
VELOCITY PRESSURE q_s = 26.6 PSF
ROOF SLOPE = 5:12, 22.6°
MEAN ROOF HEIGHT h = 12.4'
WALL DESIGN WIND PRESSURE p = 22.9 PSF
ROOF DESIGN WIND PRESSURE p = -34.2 PSF
SNOW LOAD:
RISK CATEGORY III
GROUND SNOW LOAD = 40 PSF
IMPORTANCE FACTOR I = 1.1
SLOPED ROOF SNOW LOAD = 33.9 PSF
CEILING AND INSULATION = 12 PSF MIN. BOTTOM CHORD
ROOFING MATERIAL LOAD = 10 PSF MIN. TOP CHORD
SEISMIC LOAD:
IMPORTANCE FACTOR I = 1.25
SEISMIC DESIGN CATEGORY = E
SITE CLASSIFICATION = D
BASIC STRUCTURAL SYSTEM AND SEISMIC RESISTING SYSTEM = BEARING WALL SYSTEM
3. PROVIDE TRUSS BRACING AS RECOMMENDED BY TRUSS MANUFACTURER.



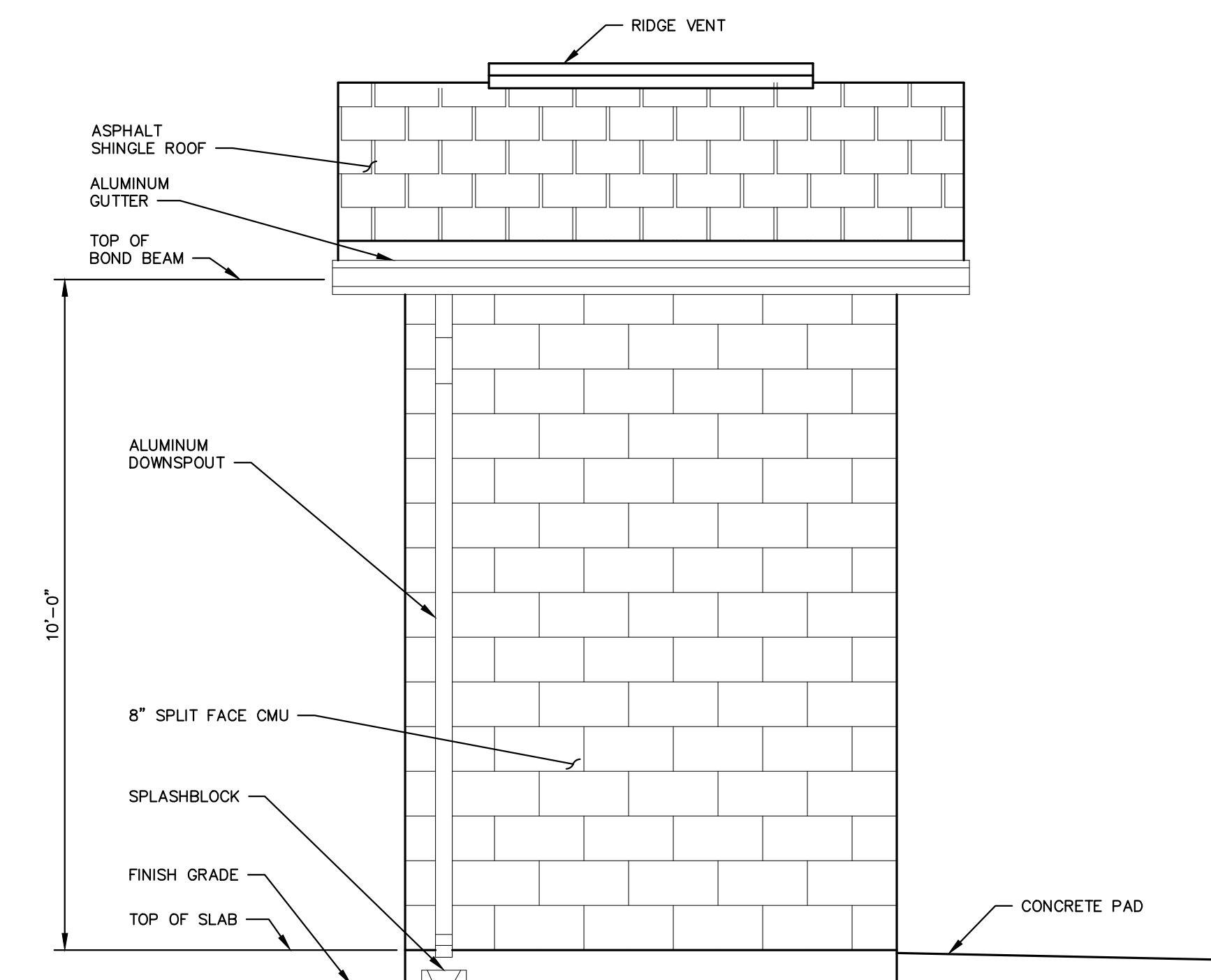
FRONT ELEVATION
SCALE: 1/2" = 1'-0"



RIGHT ELEVATION
SCALE: 1/2" = 1'-0"



REAR ELEVATION
SCALE: 1/2" = 1'-0"



LEFT ELEVATION
SCALE: 1/2" = 1'-0"

NO.	DATE	DESCRIPTION

KOCHER WELL BUILDING PLANS AND SECTIONS

STATE COLLEGE BOROUGH WATER AUTHORITY

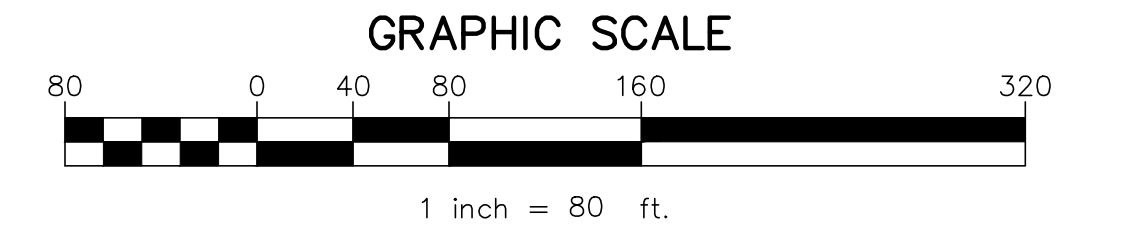
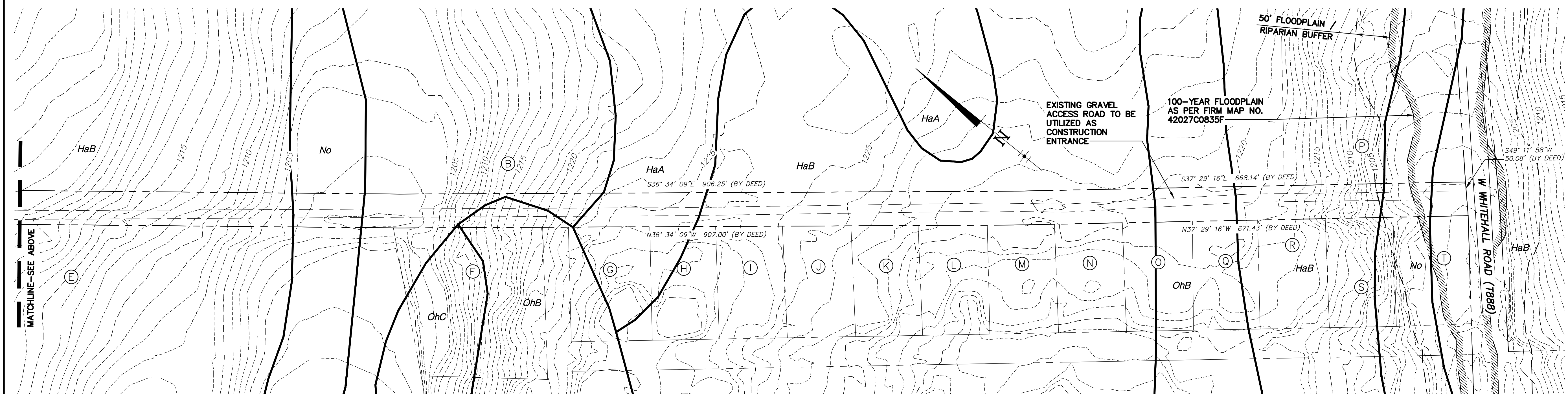
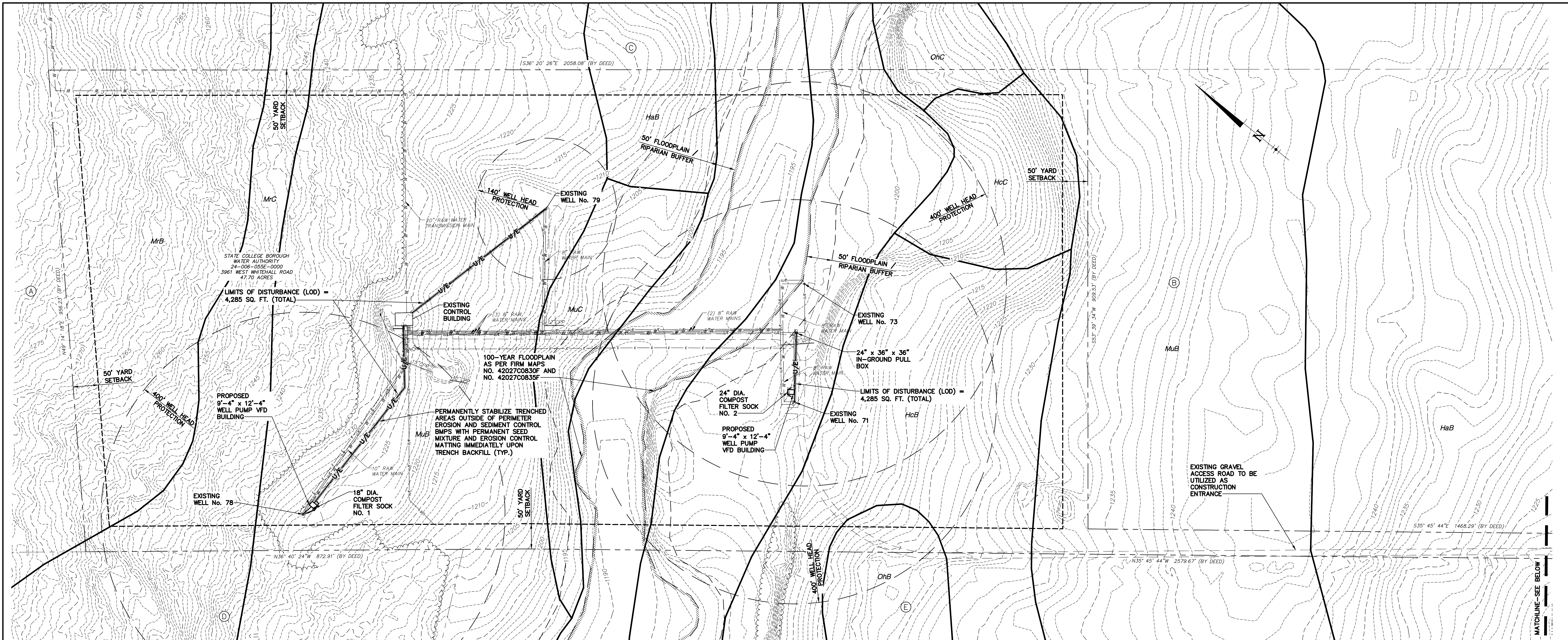
KOCHER WELL FIELD WATER PUMPING IMPROVEMENTS

FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

DATE: 2/17/2021 JOB: 16049 SCALE: AS SHOWN
DRAWN BY: RLN CHECKED BY: KWB

3121 Fairway Drive
Altoona, PA 16602
814.943.6214
gdfengineers.com

SHEET NO: **3**



ADJOINING PARCEL INFORMATION				
PARCEL	TAX ID	OWNERS	MAILING ADDRESS	DEED BOOK / PAGE
A	24-003-000-0000	N/F GRUBB, JEFFREY A. ET AL.	2009 COLETO STREET, AUSTIN, TX 78722	2136 / 671
B	24-006-055A-0000	N/F GAIL K. KOCHER	3951 WEST WHITEHALL ROAD, PENNA FURNACE, PA 16865	1045 / 366
C	24-006-055B-0000	N/F KOCHER, GARY J.	3998 WEST WHITEHALL ROAD, PENNA FURNACE, PA 16865	2136 / 536
D	24-006-055A-0000	N/F RONALD E. CONNELLY & FRANK S. CONNELLY, JR.	2080 TADPOLE ROAD, PENNA FURNACE, PA 16865	2245 / 403
E	24-006-055-0000	N/F LEROY E. & KAREN D. DRIBBLE	1801 TADPOLE ROAD, PENNA FURNACE, PA 16865	483 / 103
F	24-006B-020-0000	N/F BLAIR SCOTT & JENNIFER J. HEFON	345 MAYFAIR ROAD, PENNA FURNACE, PA 16865	1797 / 101
G	24-006B-018-0000	N/F NZAR & AMRA MEDER	125 RAMBLEWOOD ROAD, PENNA FURNACE, PA 16865	2146 / 674
H	24-006B-017-0000	N/F PLUMMER, KIMBERLY C.	123 RAMBLEWOOD ROAD, PENNA FURNACE, PA 16865	2092 / 95
I	24-006B-016-0000	N/F RONALD HOY	121 RAMBLEWOOD RD, PENNA FURNACE, PA 16865	690 / 11
J	24-006B-015-0000	N/F RUSSELL A. ROAN	119 RAMBLEWOOD ROAD, PENNA FURNACE, PA 16865	386 / 389
K	24-006B-014-0000	N/F MILLER, JOSEPH L. & AMBER R.	117 RAMBLEWOOD ROAD, PENNA FURNACE, PA 16865	2148 / 969
L	24-006B-013-0000	N/F FRIBELIN, DANA E. & STACY L.	115 RAMBLEWOOD ROAD, PENNA FURNACE, PA 16865	2137 / 438
M	24-006B-012-0000	N/F WARNER, JONATHAN R.	113 RAMBLEWOOD ROAD, PENNA FURNACE, PA 16865	2117 / 188
N	24-006B-006-0000	N/F VITALY & TATYANA NOVIKOV	111 RAMBLEWOOD ROAD, PENNA FURNACE, PA 16865	1266 / 438
O	24-006B-007-0000	N/F ROBERT E. & THELMA E. HOMAN	109 RAMBLEWOOD ROAD, PENNA FURNACE, PA 16865	328 / 349
P	24-006-005F-0000	N/F BECKERLE, PATRICK T. & ROSEANN M.	3955 WEST WHITEHALL ROAD, PENNA FURNACE, PA 16865	2190 / 100
Q	24-006B-008-0000	N/F JAMES W., JR. & ROSELLA J. WAGNER	107 RAMBLEWOOD ROAD, PENNA FURNACE, PA 16865	1367 / 419
R	24-006B-009-0000	N/F VIKTOR I. & OLGA G. ASEYEV	105 RAMBLEWOOD ROAD, PENNA FURNACE, PA 16865	1112 / 567
S	24-006B-010-0000	N/F GERALDINE B. REVEE	103 RAMBLEWOOD ROAD, PENNA FURNACE, PA 16865	994 / 546
T	24-006B-011-0000	N/F KURTIS S. & LESLIE M. AURANDT	101 RAMBLEWOOD ROAD, PENNA FURNACE, PA 16865	2189 / 644

NO.	DATE	DESCRIPTION

EROSION AND SEDIMENT CONTROL (ESC) PLAN

STATE COLLEGE BOROUGH
WATER AUTHORITY

**KOCHER WELL FIELD
WATER PUMPING IMPROVEMENTS**

FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

DATE: 2/17/2021 JOB: 16049 SCALE: AS SHOWN

FILE: DRAWN BY: AJL CHECKED BY: KWB

SHEET NO: **4**

APPLICATION FOR PAYMENT

TO OWNER: Ferguson Township Public Works Dept
3147 Research Drive
State College, PA 16801

PROJECT : New Public Works Bldg (HVAC)

APPLICATION NO. **5**

PERIOD TO :: 2/28/2021

PROJECT #'s : 12-19-018

CONTRACT DATE:

Invoice: 53978

Distribution to :

OWNER

ARCHITECT

CONTRACTOR

FROM CONTRACTOR: Allied Mechanical & Elec. Inc. ARCHITECT :
2141 Sandy Drive
State College, PA 16803

CONTRACT FOR:

CONTRACTOR'S SUMMARY OF WORK

Application is made for payment as shown below.
Continuation Page attached.

1. ORIGINAL CONTRACT AMOUNT.....	\$1,100,000.00
2. NET CHANGE BY CHANGE ORDERS.....	\$0.00
3. CONTRACT AMOUNT TO DATE (Line 1+/- 2).....	\$1,100,000.00
4. TOTAL COMPLETED AND STORED TO DATE	\$1,040,971.25
(Column G on Continuation Page)	
5. RETAINAGE :	
a. 5 % of Completed Work.....	52,048.61
(Columns D + E on Continuation Page)	
b. 0 % of Stored Material	0.00
(Column F on Continuation Page)	
Total Retainage (Line 5a + 5b or	
Column I on Continuation Page)	\$ 52,048.61
6. TOTAL EARNED LESS RETAINAGE	\$988,922.64
(Line 4 minus Line 5 Total)	
7. LESS PREVIOUS APPLICATIONS FOR PAYMENT	\$649,542.28
(Line 6 from prior Application)	
8. CURRENT PAYMENT DUE	\$339,380.36
9. BALANCE TO FINISH, INCLUDING RETAINAGE	
(Line 3 minus Line 6)	\$111,077.36

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Changes approved in previous months by Owner		
Total approved this Month		
TOTALS		
NET CHANGES by Change Order		

Contractor's signature below is his assurance to Owner, concerning the payment herein applied for, that: (1) the Work has been performed as required in the Contract Documents, (2) all sums previously paid to Contractor under the Contract have been used to pay Contractor's costs for labor, materials and other obligations under the Contract for Work previously paid for, and (3) Contractor is legally entitled to this payment.

CONTRACTOR: Allied Mechanical & Elec. Inc.
By : Deane Horner Date : 3.16.21

State of: Pennsylvania
County of: Centre

Subscribed and sworn to before me this 16th day of March 2021

Notary Public Todd E. Horner
My Commission Expires : 06-28-2023

Commonwealth of Pennsylvania - Notary Seal
Todd E. Horner, Notary Public
Centre County
My commission expires June 28, 2023
Commission number 1354041
Member, Pennsylvania Association of Notaries

ARCHITECT'S CERTIFICATION

Architect's signature below certifies that: (1) Architect has inspected the Work completed to the extent that it conforms with the Contract Documents and that the amount of Work completed and for which payment should not be made.

ok to pay \$339,380.36
\$30,409.750
2018-PWGG
HVAC

AMOUNT CERTIFIED:
(Attach explanation if amount certified different from amount on this Application and on the Continuation Page. All figures on this amount certified.)

ARCHITECT: Dan Modricker
By : dmodricker at 9:26:21 AM, 3/29/2021

Date : _____

Neither this Application nor payment applied for herein is assignable or negotiable. Payment shall be made only to Contractor, and is without prejudice to any rights of Owner or Contractor under the Contract Documents or otherwise.

CONTINUATION PAGE

APPLICATION FOR PAYMENT
 containing Contractor's signed Certification is attached
 Use Column I when variable retainage for line items may apply

Project: 12-19-018 / New Public Works Bldg (HVAC)

APPLICATION NO. :
 PROJECT #'S : 12-19-018
 PERIOD TO : 2/28/2021
 Invoice: 53978

A ITEM #	B WORK DESCRIPTION	C SCHEDULED VALUE	D COMPLETED WORK		F STORED MATERIALS (NOT IN D OR E)	G TOTAL COMPLETED AND STORED (D + E + F)		H BALANCE TO COMPLETION (C - G)	I RETAINAGE (IF VARIABLE RATE)
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD		% (G / C)			
10	Pre-construction Services	3,000.00	3,000.00			3,000.00	100.00		150.00
20	General Conditions	16,000.00	16,000.00			16,000.00	100.00		800.00
30	Mobilization	8,000.00	8,000.00			8,000.00	100.00		400.00
40	LEED Activities	2,000.00						2,000.00	
50	VRF Svstem	75,325.00	56,493.75	18,831.25		75,325.00	100.00		3,766.25
60	VRF Svs Install Labor	17,975.00	13,481.25	4,493.75		17,975.00	100.00		898.76
70	ERU-1	27,255.00	27,255.00			27,255.00	100.00		1,362.75
80	ERU-1 Install Labor	2,760.00	2,484.00	276.00		2,760.00	100.00		138.00
90	ERU-2	70,570.00	70,570.00			70,570.00	100.00		3,528.50
100	ERu-2 Install Labor	3,450.00	3,105.00	345.00		3,450.00	100.00		172.50
110	Boilers & Pumps	31,500.00	31,500.00			31,500.00	100.00		1,575.00
120	Boilers/Vent/Pump Inst Labor	15,870.00	15,870.00			15,870.00	100.00		793.50
130	Cabinet & Unit Heaters	10,120.00		10,120.00		10,120.00	100.00		506.00
140	Cabinet/Heater/Vent Inst Labo	6,210.00		6,210.00		6,210.00	100.00		310.50
150	Vehicle Exhaust Svstem	18,560.00	13,920.00	4,640.00		18,560.00	100.00		928.00
160	Vehicle Exhaust Install Labor	3,450.00	2,587.50	862.50		3,450.00	100.00		172.51
170	Exhaust Fans & Gravitv Vent	9,270.00	4,635.00	4,635.00		9,270.00	100.00		463.50
180	Exhaust Fan/Gravitv Vent Lab	3,600.00	1,800.00	1,800.00		3,600.00	100.00		180.00
190	Propeller Fans	17,250.00	3,450.00	13,800.00		17,250.00	100.00		862.50
200	Biqass Fan Install Labor	3,450.00		3,450.00		3,450.00	100.00		172.50
210	Ductless Split Svstem	7,130.00	3,565.00	3,565.00		7,130.00	100.00		356.50
220	Ductless Slit Svstem Labor	6,900.00	3,450.00	3,450.00		6,900.00	100.00		345.00
230	Refriaerant Pipina	29,400.00	5,880.00	23,520.00		29,400.00	100.00		1,470.00
240	Refriaerant Pipina Inst Labor	52,700.00	10,540.00	42,160.00		52,700.00	100.00		2,635.00
250	Radiant Floor Pipina	10,350.00	10,350.00			10,350.00	100.00		517.50
260	Radiant Flr Heat Tubina Labor	19,200.00	19,200.00			19,200.00	100.00		960.00
270	Hot Water Pipina	9,465.00	8,518.50	946.50		9,465.00	100.00		473.26
280	Boiler Rm HW Pipina Inst Lab	6,900.00	6,210.00	690.00		6,900.00	100.00		345.00
290	Condensate Pipina	8,900.00	890.00	8,010.00		8,900.00	100.00		445.00
300	Condensate Drain Pipina Labc	11,420.00	1,142.00	10,278.00		11,420.00	100.00		571.00
310	Pipe Insulation	1,700.00	170.00	1,530.00		1,700.00	100.00		85.00
320	Pipe Insulation Labor	5,000.00	500.00	4,500.00		5,000.00	100.00		250.00

CONTINUATION PAGE

APPLICATION FOR PAYMENT
 containing Contractor's signed Certification is attached
 Use Column I when variable retainage for line items may apply

Project: 12-19-018 / New Public Works Bldg (HVAC)

APPLICATION NO. :

PROJECT #'S : 12-19-018

PERIOD TO : 2/28/2021

Invoice: 53978

A	B	C	D	E	F	G		H	I
ITEM #	WORK DESCRIPTION	SCHEDULED VALUE	COMPLETED WORK		STORED MATERIALS (NOT IN D OR E)	TOTAL COMPLETED AND STORED (D + E + F)	% (G / C)	BALANCE TO COMPLETION (C - G)	RETAINAGE (IF VARIABLE RATE)
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
325	BAS Svstem:								

CONTINUATION PAGE

APPLICATION FOR PAYMENT
 containing Contractor's signed Certification is attached
 Use Column I when variable retainage for line items may apply

Project: 12-19-018 / New Public Works Bldg (HVAC)

APPLICATION NO. :
 PROJECT #'S : 12-19-018
 PERIOD TO : 2/28/2021
 Invoice: 53978

A ITEM #	B WORK DESCRIPTION	C SCHEDULED VALUE	D COMPLETED WORK		F STORED MATERIALS (NOT IN D OR E)	G TOTAL COMPLETED AND STORED (D + E + F)		H BALANCE TO COMPLETION (C - G)	I RETAINAGE (IF VARIABLE RATE)
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD		% (G/C)			
330	BAS Engineering	25,300.00	25,300.00			25,300.00	100.00		1,265.00
340	BAS Software	13,800.00	10,350.00	2,070.00		12,420.00	90.00	1,380.00	621.00
350	BAS Equip & Material	181,700.00	145,360.00	18,170.00		163,530.00	90.00	18,170.00	8,176.50
360	BAS Instll Labor	126,270.00	50,508.00	63,135.00		113,643.00	90.00	12,627.00	5,682.15
370	Startup & Checkout Labor	26,450.00		13,225.00		13,225.00	50.00	13,225.00	661.25
380	Ductwork	47,250.00	35,437.50	11,812.50		47,250.00	100.00		2,362.51
390	Ductwork Install Labor	90,475.00	67,856.25	22,618.75		90,475.00	100.00		4,523.76
400	Duct Insulation	14,310.00		14,310.00		14,310.00	100.00		715.50
410	Duct Insulation Install Labor	22,230.00		22,230.00		22,230.00	100.00		1,111.50
420	GRDs and Wall Louvers	6,050.00		6,050.00		6,050.00	100.00		302.50
430	GRD/Wall Louvers Install Labor	3,600.00		3,600.00		3,600.00	100.00		180.00
440	Balancing (Mostly Labor)	12,535.00		11,908.25		11,908.25	95.00	626.75	595.41
450	Crane & Rigging	4,350.00	4,350.00			4,350.00	100.00		217.50
460	Commissioning	8,000.00						8,000.00	
470	O&Ms/Closeout	3,000.00						3,000.00	

Totals	\$ 1,100,000.00	\$ 683,728.75	\$ 357,242.50		\$ 1,040,971.25	95	\$ 59,028.75	\$ 52,048.61
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CONTINUATION PAGE

APPLICATION FOR PAYMENT

containing Contractor's signed Certification is attached
 One Column I when variable retainage for line items may apply

Project: 12-19-019 / New Public Works Bldg (PL)

APPLICATION NO. :

PROJECT #'S : 12-19-019

PERIOD TO : 2/28/2021

Invoice: 53994

A ITEM #	B WORK DESCRIPTION	C SCHEDULED VALUE	D COMPLETED WORK		F STORED MATERIALS (NOT IN D OR E)	G TOTAL COMPLETED AND STORED (D + E + F)		H BALANCE TO COMPLETION (C - G)	I RETAINAGE (IF VARIABLE RATE)
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD		% (G / C)			
10	General Conditions	16,000.00	16,000.00			16,000.00	100.00		800.00
20	Mobilization	4,500.00	4,500.00			4,500.00	100.00		225.00
30	LEED Activities	1,500.00	750.00			750.00	50.00	750.00	37.50
40	Underground Plumbing Labor	30,100.00	24,080.00			24,080.00	80.00	6,020.00	1,204.00
50	Underground Plumbing Material	15,000.00	12,000.00			12,000.00	80.00	3,000.00	600.00
60	Above Grade DWV Labor	15,000.00	15,000.00			15,000.00	100.00		750.00
70	Above Grade DWV Material	16,000.00	16,000.00			16,000.00	100.00		800.00
80	Domestic Water System Labor	25,000.00	20,000.00	5,000.00		25,000.00	100.00		1,250.00
90	Domestic Water System Material	22,000.00	17,600.00	4,400.00		22,000.00	100.00		1,100.00
100	Gas Piping Labor	18,000.00	16,200.00	1,800.00		18,000.00	100.00		900.00
110	Gas Piping Material	14,000.00	12,600.00	1,400.00		14,000.00	100.00		700.00
120	Air Piping Labor	16,000.00		16,000.00		16,000.00	100.00		800.00
130	Air Piping Material	5,000.00	2,500.00	2,500.00		5,000.00	100.00		250.00
140	Lubrication Piping Labor	9,000.00		9,000.00		9,000.00	100.00		450.00
150	Lubrication Piping Material	9,000.00	4,500.00	4,500.00		9,000.00	100.00		450.00
160	Fixture Labor	17,000.00	3,400.00	11,900.00		15,300.00	90.00	1,700.00	765.00
170	Fixture Material	40,500.00	10,125.00	26,325.00		36,450.00	90.00	4,050.00	1,822.50
180	Water Heater	1,500.00		1,500.00		1,500.00	100.00		75.00
190	Air Compressors	28,000.00		28,000.00		28,000.00	100.00		1,400.00
200	Water Softener	21,000.00	16,800.00			16,800.00	80.00	4,200.00	840.00
210	Insulation Labor	7,400.00	740.00	6,660.00		7,400.00	100.00		370.00
220	Insulation Material	4,500.00	450.00	4,050.00		4,500.00	100.00		225.00
230	Sprinkler System	106,000.00	95,400.00	5,300.00		100,700.00	95.00	5,300.00	5,035.00
240	Excavation	25,000.00	25,000.00			25,000.00	100.00		1,250.00
250	Welding	5,000.00	5,000.00			5,000.00	100.00		250.00
260	Commissioning	5,000.00						5,000.00	
270	O&M/Closeout	3,000.00						3,000.00	
Totals		\$ 480,000.00	\$ 318,645.00	\$ 128,335.00		\$ 446,980.00	93	\$ 33,020.00	\$ 22,349.00

Invoice

NTM Engineering Inc.
130 West Church Street, Suite 200
Dillsburg, PA 17019-1278

March 19, 2021
Project No: 14003.06
Invoice No: 000000010847

Ryan Scanlan
Ferguson Township
3147 Research Drive
State College, PA 16801

Project 14003.06 Suburban Park Permitting and LOMR

Professional Services from February 7, 2021 to March 6, 2021

Task 01.00 SWM and NPDES Permit - Supp 1

Professional Personnel

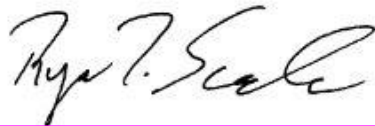
	Hours	Rate	Amount
Nguyen, James	6.00	116.80	700.80
Totals	6.00		700.80
Total Labor			700.80

Total this Task \$700.80

Total this Invoice \$700.80

Pay
RTS

2020-C4 Pay App 9
Suburban Park
Acct# 34.454.020
Pay: \$700.80



Billing Backup

Friday, March 19, 2021

NTM Engineering Inc.

Invoice 000000010847 Dated 3/19/2021

2:19:06 PM

Project	14003.06	Suburban Park Permitting and LOMR
Task	01.00	SWM and NPDES Permit - Supp 1

Professional Personnel

			Hours	Rate	Amount	
041	00 - 11 - Nguyen, James	2/23/2021	3.00	116.80	350.40	
	Details; cost and quantities estimates.					
041	00 - 11 - Nguyen, James	2/24/2021	3.00	116.80	350.40	
	Details; cost and quantities estimates.					
	Totals		6.00		700.80	
	Total Labor					700.80
				Total this Task		\$700.80
				Total this Project		\$700.80
				Total this Report		\$700.80

2021-C6 Pay App #1 (Final)

Acct#: 35.439.610

Pay: \$38,248.05



Application and Certificate for Payment

TO OWNER: Ferguson Twp. Board of Supervisors 3147 Research Drive State College, PA 16801	PROJECT: Contract 2021-C6 Ferguson Township	APPLICATION NO: 001	Distribution to:
FROM CONTRACTOR: Wolyniec Construction, Inc. 294 Freedom Road Williamsport, Pa 17701	VIA ARCHITECT: None None None	PERIOD TO: 04/01/2021	OWNER <input checked="" type="checkbox"/>
		CONTRACT FOR:	ARCHITECT <input type="checkbox"/>
		CONTRACT DATE: 03/18/2021	CONTRACTOR <input type="checkbox"/>
		PROJECT NOS: / /	FIELD <input type="checkbox"/>
			OTHER <input type="checkbox"/>

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract. AIA Document G703®, Continuation Sheet, is attached.

1. ORIGINAL CONTRACT SUM	\$	39,953.50
2. NET CHANGE BY CHANGE ORDERS	\$	-1,705.45
3. CONTRACT SUM TO DATE (Line 1 ± 2)	\$	38,248.05
4. TOTAL COMPLETED & STORED TO DATE (Column G on G703)	\$	38,248.05
5. RETAINAGE:		
a. 0 % of Completed Work (Columns D + E on G703)	\$	0
b. 0 % of Stored Material (Column F on G703)	\$	0
Total Retainage (Lines 5a + 5b, or Total in Column I of G703)	\$	0
6. TOTAL EARNED LESS RETAINAGE	\$	0
<i>(Line 4 minus Line 5 Total)</i>		
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT	\$	0
<i>(Line 6 from prior Certificate)</i>		
8. CURRENT PAYMENT DUE	\$	38,248.05
9. BALANCE TO FINISH, INCLUDING RETAINAGE	\$	0.00
<i>(Line 3 minus Line 6)</i>		

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

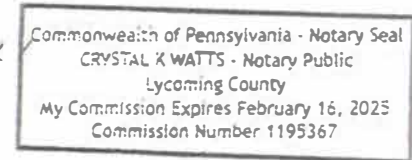
CONTRACTOR:
By:  Date: 04/01/2021

State of: Pennsylvania

County of: Lycoming

Subscribed and sworn to before me this 15th day of April 2021

Notary Public: 
My commission expires:



ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$ 38,248.05 Pay RTS
(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)

ARCHITECT: 
By:  Date: 4/1/21

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	\$ 0	\$ 0
Total approved this month	\$ 0	\$ 1705.45
TOTAL	\$ 0	\$ 1705.45
NET CHANGES by Change Order	\$ 1705.45	



AIA Document G703[®] – 1992

Continuation Sheet

AIA Document G702[®], Application and Certification for Payment, or G732[™], Application and Certificate for Payment, Construction Manager as Adviser Edition, containing Contractor's signed certification is attached.
Use Column I on Contracts where variable retainage for line items may apply.

APPLICATION NO: 001
APPLICATION DATE: 04/01/2021
PERIOD TO: 04/01/2021
ARCHITECT'S PROJECT NO:

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	D WORK COMPLETED		F MATERIALS PRESENTLY STORED <i>(Not in D or E)</i>	G		H BALANCE TO FINISH <i>(C - G)</i>	I RETAINAGE <i>(If variable rate)</i>
			FROM PREVIOUS APPLICATION <i>(D + E)</i>	THIS PERIOD		TOTAL COMPLETED AND STORED TO DATE <i>(D + E + F)</i>	% <i>(G ÷ C)</i>		
	0350-0121 Subbase (No.2A)	\$1,824.00	\$0	\$210.40	\$0	\$210.40	100	\$0	\$0
	4503-0001 Protective Coating for Cor	\$567.00	\$0	\$502.80	\$0	\$502.80	100	\$0	\$0
	0608-0001 Mobilization	\$2,250.00	\$0	\$2,250.00	\$0	\$2,250.00	100	\$0	\$0
	4630-0001 Plain Cement Concrete C	\$1,140.00	\$0	\$601.35	\$0	\$601.35	100	\$0	\$0
	4633-0200 Plain Concrete Mountable	\$5,280.00	\$0	\$5,900.00	\$0	\$5,900.00	100	\$0	\$0
	4676-0001 Cement Concrete Sidewal	\$17,737.50	\$0	\$18,017.00	\$0	\$18,017.00	100	\$0	\$0
	4695-0003 Detectable Warning Surfa	\$9,905.00	\$0	\$9,516.50	\$0	\$9,516.50	100	\$0	\$0
	0901-0001 M&P of Traffic During C C.O.#1	\$1,250.00 -\$1,705.45	\$0 \$0	\$1,250.00	\$0	\$1,250.00	100	\$0	\$0
	GRAND TOTAL	\$38,248.05	\$0	\$38,248.05	\$0	\$38,248.05	100	\$0	\$0



TOWNSHIP OF FERGUSON

3147 Research Drive, State College, Pennsylvania 16801
 Telephone: 814-238-4651 Fax: 814-238-3454
 www.twp.ferguson.pa.us
 DEPARTMENT OF PUBLIC WORKS / ENGINEERING

Contract 2021-C6, Curb and Ramp Upgrades
 Change Order Number 1
 March 31, 2021

You are hereby directed to make the following changes in the contract documents to work items relating to the above referenced project.

The scope of this change order is to remove the requirement for each individual performing finishing activities to have the "NRMCA Concrete Exterior Flatwork Finisher Certification" since no classes have been scheduled to date and to adjust quantities for actual work completed versus the initial contract amount.

Adjusted Contract Items:

Item No. Unit	Description	Orig. Qty	Act. Qty	Qty. Change	Unit Price	Contract Adjustment
0350 0121 TON	SUBBASE (NO. 2A)	22.80	2.63	-20.17	\$80.00	-\$1,613.60
4503 0001 SY	PROTECTIVE COATING FOR CEMENT CONCRETE PAVMENT (MODIFIED)	91.50	83.80	-10.70	\$6.00	-\$64.20
0608 0001 LS	MOBILIZATION	1.00	1.00	0.00	\$2,250.00	\$0.00
4630 0001 LF	PLAIN CEMENT CONCRETE CURB (MODIFIED)	12.00	6.33	-5.67	\$95.00	-\$538.65
4633 0200 LF	PLAIN CEMENT MOUNTABLE CURB, TYPE A (MODIFIED)	105.60	118.00	12.40	\$50.00	\$620.00
4676 0001 SY	CEMENT CONCRETE SIDEWALKS (MODIFIED)	82.50	83.80	1.30	\$215.00	\$279.50
4695 0003 SF	DETECTABLE WARNING SURFACE (MODIFIED)	198.10	190.33	-7.77	\$50.00	-\$388.50
0901 0001 LS	MAINTENANCE AND PROTECTION OF TRAFFIC DURING CONSTRUCTION	1.00	1.00	0.00	\$1,250.00	\$0.00
Total Change Order 1						-\$1,705.45
Contract Summary						
Original Contract Total						\$39,953.50
Change Order No. 1 Total (Adjustment Of Quantities)						-\$1,705.45
Revised Contract Amount						\$38,248.05

The contract time for completion of this change order will remain unchanged. Therefore the completion date remains April 17, 2021.

All work to be completed in accordance with Contract 2021-C6. All other requirements of the contract documents remain in full force and effect.

Recommended By:

[Signature]
 Assistant Township Engineer

Approved By:

[Signature]
 Ferguson Township

Approved By:

[Signature]
 Wolyniec Construction, Inc.

From: Strickland, Lisa <lstrickland@twp.ferguson.pa.us>
Sent: Wednesday, March 24, 2021 3:01 PM
To: Pribulka, David <dpribulka@twp.ferguson.pa.us>
Cc: Dininni, Laura <ldininni@twp.ferguson.pa.us>; Albright, Chris <calbright@twp.ferguson.pa.us>
Subject: Consent Agenda Item

Hi Dave,

Please add the following to the consent agenda: A briefing on the Task Force on Mental Health.

Background:

“The Task Force on Mental Health was jointly established by Centre County and the Borough of State College to recommend enhancements to, and identify strengths of, the mental health crisis delivery system in Centre County. Specifically, the Task Force is tasked to examine the continuum of mental health crisis services, including:

Mobile Crisis Services
Delegate Crisis Services
Involuntary Commitment Warrant Procedures
Police Officers’ role in responding to Mental Health calls and 302 Warrant Procedures
Emergency Department Procedures
Post-Emergency Department Services”
<https://engagestatecollege.us.engagementhq.com/Task-Force>

The Task Force has issued a final report and is moving into the implementation stage. Ferguson Township is included in the report in areas related to municipal police departments. This item will offer the Board an opportunity to review the key recommendations of the report, discuss the report and accept comments from the public. Timing and presenters for this item can be determined as to best coordinate with staff availability.

I will follow up with links to relevant documents.

Thanks,

Lisa

Pribulka,David

From: Strickland,Lisa
Sent: Thursday, March 18, 2021 10:34 AM
To: Pribulka,David
Cc: Dininni,Laura
Subject: Consent Agenda Item

Hi Dave,

I'd like to request the following item be added to the next consent agenda: A Board discussion and review of the TSD with the goal of informing the associated work plan item of the Planning Commission. This discussion and work item will lay the foundation for the expected engagement of a consultant in 2022 to revise the ordinance.

The agenda item may include: A brief overview of the ordinance including the intention/vision, design standards, and district boundaries; identifying areas of particular concern in the district and the ordinance (parking, building heights, alleys, district boundaries, and incentives); a directive to the Planning Commission to, in accordance with their work plan, examine the Terraced Streetscape District, deliberate on the vision of the district, obstacles to development and needed changes to the ordinance. Framing of the goals for the revision of the ordinance could then be further developed through a joint work session with the Board. Taking the time to thoughtfully establish preferences and a direction for the district throughout this year will lay the foundation for a successful RFP and rewrite process in 2022.

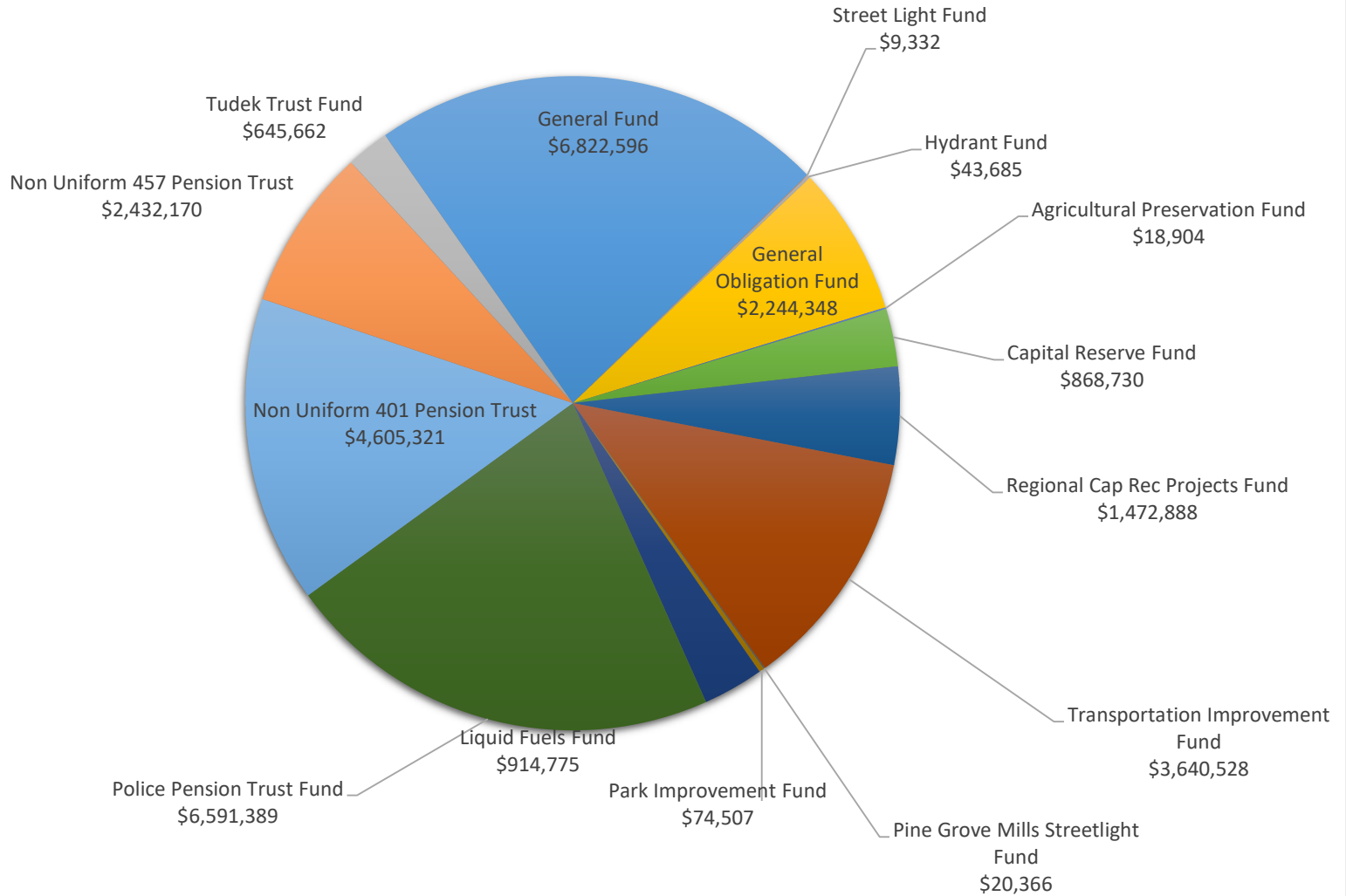
Thanks,
Lisa



MONTHLY TREASURERS REPORT

JANUARY 2021

CASH BALANCES BY FUND - JANUARY 31, 2021



Ferguson Township Treasurer's Report

January 31, 2021

Statement of Cash Balances

General Fund

Checking

Jersey Shore State Bank Operating Checking (3245)	4,746,634.79
Jersey Shore State Bank Investment Checking (was Voya)	318,579.37
JSSB Flex Plan Checking (8757)	26,963.34
Ameriserv Money Market 2602	262,861.08
Ameriserv CD (0210) (matures 12/3/21)(1/3 of total)	268,156.08
PLGIT General Fund Class (3017)	396,533.07
PLGIT General Fund Prime (3017)	802,868.35

TOTAL GENERAL FUND

6,822,596.08

Other Funds

Fund 02 Street Lights

JSSB Checking (4836)	9,332.23
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Fund 03 Fire Hydrant

JSSB Checking (4844)	43,684.50
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Fund 16 General Obligation

JSSB Checking (4852)	341,123.90
JSSB 2019 Bond Checking	1,903,224.58

Fund 19 Agricultural Preservation

JSSB Checking (4879)	18,904.31
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Fund 30 Capital Reserve

Paypal Account	29,944.06
JSSB Checking (Employee Wellness Sinking Fund)(4909)	15,561.59
JSSB Capital Reserve Checking (3555)	(37,708.08)
JSSB Checking (Police Equipment Sinking Fund) (1711)	95.71
JSSB Checking (PW Equipment Sinking Fund)(4895)	577,697.11
JSSB Checking (Bldg Equipment Sinking Fund)(4887)	283,139.87

Fund 31 Regional Capital Recreation Projects

JSSB Checking (3547)	941,871.21
Ameriserv Money Market 2818	262,861.08
Ameriserv CD (0210) (matures 12/3/21)(1/3 of total)	268,156.08

Fund 32 Transportation Improvement

JSSB Checking (3539)	1,787,024.01
PLGIT Checking (Class & Plus)(3261)	315,501.58
PLGIT Checking (Prime)(3261)	1,006,985.25
Ameriserv Money Market 2693	262,861.08
Ameriserv CD (0210) (matures 12/3/21)(1/3 of total)	268,156.08

Fund 33 Pine Grove Mills Street Lights

JSSB Checking (4917)	20,365.70
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Fund 34 Park Improvement

JSSB Checking (4925)	74,507.18
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Ferguson Township Treasurer's Report

January 31, 2021

Statement of Cash Balances

Fund 35 Liquid Fuels

JSSB Checking (4933)	195,655.02
PLGIT Checking (Class) (3020)	317,642.99
PLGIT Checking (Prime) (3020)	401,476.50

Fund 93 Tudek Memorial Trust

JSSB Checking (4976)	7,730.80
FNB Investments (@market)	162,674.17
Centre Foundation Investments	475,256.87

TOTAL OTHER FUNDS	9,953,725.38
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TOTAL NON PENSION FUNDS	16,776,321.46
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Employer Pension Trust Funds

Fund 60 Police Pension Trust

JSSB Checking (4941)	17,696.33
PNC Enterprise Checking (9642)	51,940.99
PNC Investments (@market)(includes accrued interest)	6,521,752.01

Fund 65 Non Uniformed 401a Pension Trust

JSSB Checking (4968)	62.72
ICMA-RHS (801695) Employee Retirement Health Savings Trust (@ market)	102,021.67
ICMA-401 (108860) Employer Pension Investment Trust (@ market)	4,503,236.83

TOTAL PENSION TRUST FUNDS	11,196,710.55
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GRAND TOTAL	27,973,032.01
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Employee Pension Trust Funds

Fund 66 Non Uniformed 457 Pension Trust

ICMA-457 (300747) Employee Pension Investment Trust (@ market)	2,384,372.82
ICMA-ROTH IRA (706007) Employee Pension Investment Trust (@ market)	47,797.08

TOTAL	2,432,169.90
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Bank Reconciliation

Uncleared Checks by Fund

User: eendresen
Printed: 03/29/2021 - 1:59PM
Checks Before: 01/31/2021



Fund/Check No.	Check Date	Clear Date	System	Vendor/Employee No.	Vendor/Employee Name	Amount
01	GENERAL FUND					
0	01/15/2021	Uncleared	AP	10870	PNC INSTITUTIONAL INVESTMENTS	3,538.41
0	01/15/2021	Uncleared	AP	11216	VANTAGEPOINT TRANSFER AGENTS 401	8,615.41
0	01/15/2021	Uncleared	AP	11218	VANTAGEPOINT TRANSFER AGENTS 457	6,831.63
0	01/15/2021	Uncleared	AP	11381	VANTAGEPOINT TRANSFER AGENTS-706007 ROTH	183.09
0	01/30/2021	Uncleared	AP	10870	PNC INSTITUTIONAL INVESTMENTS	3,449.70
0	01/30/2021	Uncleared	AP	11216	VANTAGEPOINT TRANSFER AGENTS 401	8,405.28
0	01/30/2021	Uncleared	AP	11218	VANTAGEPOINT TRANSFER AGENTS 457	6,782.10
0	01/30/2021	Uncleared	AP	11381	VANTAGEPOINT TRANSFER AGENTS-706007 ROTH	181.28
9001	08/22/2019	Uncleared	AP	10263	CORMANS MAIL SERVICE	2,873.11
9183	10/15/2019	Uncleared	AP	11593	HOME DEPOT CREDIT SERVICES	288.05
9272	11/15/2019	Uncleared	AP	10035	ALS TECHNOLOGIES INC	1,145.00
9297	11/15/2019	Uncleared	AP	11253	INFRADAPT LLC	3,221.44
9340	11/29/2019	Uncleared	AP	11855	ANDERSON INDUSTRIAL MACHINERY	769.80
9437	12/31/2019	Uncleared	AP	10035	ALS TECHNOLOGIES INC	1,145.00
9562	01/20/2020	Uncleared	AP	11173	WALKER & WALKER EQUIPMENT II LLC	43.19
9725	02/28/2020	Uncleared	AP	11248	CENTRO PRINT SOLUTIONS	100.17
9806	03/15/2020	Uncleared	AP	11797	LANDPRO EQUIPMENT LLC	759.15
9874	03/31/2020	Uncleared	AP	11877	RUSSIAN CHURCH OF CHRIST	78.11
9937	04/30/2020	Uncleared	AP	11219	COMMONWEALTH OF PENNSYLVANIA	50.00
10091	05/31/2020	Uncleared	AP	11490	RECONYX, INC	970.51
10331	08/14/2020	Uncleared	AP	10244	COMCAST	1,050.00
10444	09/15/2020	Uncleared	AP	10208	CENTRE REGION COUNCIL OF GOVERNMENTS	22.50
10471	09/15/2020	Uncleared	AP	10813	PARK TRAVIS	16.10
10602	10/15/2020	Uncleared	AP	10893	PRINT O STAT INC	1,849.00
10736	11/30/2020	Uncleared	AP	11918	HOOVER DEREK J.	121.42
10774	12/15/2020	Uncleared	AP	10346	ECOLAWN	90.00
10810	12/31/2020	Uncleared	AP	10004	A & H EQUIPMENT COMPANY	241.38
10819	12/31/2020	Uncleared	AP	11885	CDI	282.92
10821	12/31/2020	Uncleared	AP	10203	CENTRE DAILY TIMES	1,546.25
10826	12/31/2020	Uncleared	AP	10142	CNET	7,379.89

Fund/Check No.	Check Date	Clear Date	System	Vendor/Employee No.	Vendor/Employee Name	Amount
10831	12/31/2020	Uncleared	AP	10297	DAVIDHEISERS INC	416.00
10832	12/31/2020	Uncleared	AP	10334	DULTMEIER SALES	89.88
10836	12/31/2020	Uncleared	AP	10380	FERGUSON TOWNSHIP SUPERVISORS	254.97
10842	12/31/2020	Uncleared	AP	10435	GFOA PA	75.00
10845	12/31/2020	Uncleared	AP	11253	INFRADAPT LLC	6,601.00
10846	12/31/2020	Uncleared	AP	10546	J C EHRlich CO INC	1,212.00
10859	12/31/2020	Uncleared	AP	10701	MILLER WELDING SERVICE	34.38
10865	12/31/2020	Uncleared	AP	10881	PORT MATILDA FIRE COMPANY	3,500.00
10867	12/31/2020	Uncleared	AP	10927	REDLINE SPEED SHINE	280.33
10869	12/31/2020	Uncleared	AP	11924	SCHNEIDER PETER J.	165.90
10873	12/31/2020	Uncleared	AP	11725	SPRING CREEK WATERSHED COMMISSION	1,769.00
10880	12/31/2020	Uncleared	AP	11298	SUSQUEHANNA VALLEY PROFESSION	40.00
10881	12/31/2020	Uncleared	AP	11150	VALLEY FAB & EQUIPMENT INC	346.20
10883	12/31/2020	Uncleared	AP	11176	WARRIORS MARK FIRE COMPANY	3,500.00
10888	01/15/2021	Uncleared	AP	11242	AMAZON CAPITAL SERVICES INC	553.90
10889	01/15/2021	Uncleared	AP	10122	BOROUGH OF STATE COLLEGE	62.98
10890	01/15/2021	Uncleared	AP	11885	CDI	282.92
10891	01/15/2021	Uncleared	AP	10201	CENTRE COUNTY UNITED WAY	32.00
10892	01/15/2021	Uncleared	AP	10203	CENTRE DAILY TIMES	717.39
10893	01/15/2021	Uncleared	AP	11246	CLOUSE CALEB	750.00
10894	01/15/2021	Uncleared	AP	10243	COLUMBIA GAS OF PA INC	3,845.35
10895	01/15/2021	Uncleared	AP	10244	COMCAST	1,261.31
10896	01/15/2021	Uncleared	AP	10345	ECKS GARAGE INC	162.68
10897	01/15/2021	Uncleared	AP	11217	FERGUSON TOWNSHIP POLICE ASSOCIATION	420.00
10898	01/15/2021	Uncleared	AP	10380	FERGUSON TOWNSHIP SUPERVISORS	1,035.35
10899	01/15/2021	Uncleared	AP	11518	GENERAL CODE	1,195.00
10900	01/15/2021	Uncleared	AP	11635	GREAT AMERICA FINANCIAL SERVICES	461.28
10901	01/15/2021	Uncleared	AP	10515	HYDRAULIC SOLUTIONS INC	376.05
10902	01/15/2021	Uncleared	AP	11497	ICMA MEMBERSHIP RENEWALS	954.00
10903	01/15/2021	Uncleared	AP	11253	INFRADAPT LLC	655.77
10904	01/15/2021	Uncleared	AP	10669	MAXWELL TRUCK & EQUIPMENT LLC	428.52
10905	01/15/2021	Uncleared	AP	10673	MCCARTNEYS INC	164.71
10906	01/15/2021	Uncleared	AP	11807	MODEL UNIFORMS	109.40
10907	01/15/2021	Uncleared	AP	10845	PENNSYLVANIA MUNICIPAL HEALTH INSURANCE CO OF	75,529.24
10908	01/15/2021	Uncleared	AP	10846	PENNSYLVANIA MUNICIPAL LEAGUE	2,264.32
10909	01/15/2021	Uncleared	AP	10932	RESERVE ACCOUNT	1,000.00
10910	01/15/2021	Uncleared	AP	11055	STONER INC	161.31
10911	01/15/2021	Uncleared	AP	10481	THE HARTMAN GROUP	7,111.00
10912	01/30/2021	Uncleared	AP	10016	AFLAC	118.17
10913	01/30/2021	Uncleared	AP	11242	AMAZON CAPITAL SERVICES INC	29.36
10914	01/30/2021	Uncleared	AP	10047	AMSOIL INC	176.79

Fund/Check No.	Check Date	Clear Date	System	Vendor/Employee No.	Vendor/Employee Name	Amount
10915	01/30/2021	Uncleared	AP	11239	ASAP HYDRAULICS STATE COLLEGE, INC	42.99
10916	01/30/2021	Uncleared	AP	11649	BABST CALLAND CLEMENTS AND ZOMNIR P.C.	462.00
10917	01/30/2021	Uncleared	AP	11910	BARTON ASSOCIATES	962.50
10918	01/30/2021	Uncleared	AP	10100	BEST LINE EQUIPMENT	1,373.40
10919	01/30/2021	Uncleared	AP	10122	BOROUGH OF STATE COLLEGE	8,539.45
10920	01/30/2021	Uncleared	AP	11930	BUDS ELECTRIC	437.01
10921	01/30/2021	Uncleared	AP	11221	CENTRE AREA TRANSPORTATION AUTHORITY	33,877.50
10922	01/30/2021	Uncleared	AP	10184	CENTRE COMMUNICATIONS INC	195.04
10923	01/30/2021	Uncleared	AP	10197	CENTRE COUNTY RECYLING & REFUSE AUTHORITY	90.00
10924	01/30/2021	Uncleared	AP	10201	CENTRE COUNTY UNITED WAY	32.00
10925	01/30/2021	Uncleared	AP	10203	CENTRE DAILY TIMES	1,416.72
10926	01/30/2021	Uncleared	AP	10208	CENTRE REGION COUNCIL OF GOVERNMENTS	176,589.00
10927	01/30/2021	Uncleared	AP	10209	CENTRE REGION PARKS & RECREATION	187,290.25
10928	01/30/2021	Uncleared	AP	10220	CHEMUNG SUPPLY CORP	2,053.02
10929	01/30/2021	Uncleared	AP	10231	CLEARFIELD WHOLESALE PAPER COMPANY INC	249.58
10930	01/30/2021	Uncleared	AP	11928	CLEARGOV INC	7,040.00
10931	01/30/2021	Uncleared	AP	11376	COLONIAL AUTO SUPPLY	420.21
10932	01/30/2021	Uncleared	AP	10241	COLONIAL PRESS	3,510.00
10933	01/30/2021	Uncleared	AP	11760	COMCAST	287.98
10934	01/30/2021	Uncleared	AP	10284	CUSTOM ALTERATIONS	137.60
10935	01/30/2021	Uncleared	AP	10321	DLT SOLUTIONS LLC	7,516.60
10936	01/30/2021	Uncleared	AP	10334	DULTMEIER SALES	132.15
10937	01/30/2021	Uncleared	AP	10345	ECKS GARAGE INC	65.70
10938	01/30/2021	Uncleared	AP	10346	ECOLAWN	135.00
10939	01/30/2021	Uncleared	AP	10364	ESRI, INC	4,900.00
10940	01/30/2021	Uncleared	AP	10366	EXCEL PERFORMANCE PRODUCTS LLC	521.47
10941	01/30/2021	Uncleared	AP	11217	FERGUSON TOWNSHIP POLICE ASSOCIATION	420.00
10942	01/30/2021	Uncleared	AP	10396	FISHER AUTO PARTS	470.62
10943	01/30/2021	Uncleared	AP	10409	FRED CARSON DISPOSAL INC.	479.00
10945	01/30/2021	Uncleared	AP	11727	HUNTER TRUCK SALES	334.74
10946	01/30/2021	Uncleared	AP	11791	JOHNSON CONTROLS INC	4,600.00
10948	01/30/2021	Uncleared	AP	10644	LOWES COMPANIES INC	1,228.09
10949	01/30/2021	Uncleared	AP	11704	MADISON NATIONAL LIFE	2,291.29
10950	01/30/2021	Uncleared	AP	10762	MARCO	2,598.95
10951	01/30/2021	Uncleared	AP	11839	MARCO TECHNOLOGIES LLC	105.64
10952	01/30/2021	Uncleared	AP	10673	MCCARTNEYS INC	14.92
10953	01/30/2021	Uncleared	AP	10674	MCCORMICK TAYLOR INC	160.00
10954	01/30/2021	Uncleared	AP	10692	MIDSTATE TOOL & SUPPLY INC	293.48
10955	01/30/2021	Uncleared	AP	11807	MODEL UNIFORMS	328.20
10956	01/30/2021	Uncleared	AP	10712	MONARCH CLEANERS	202.45
10957	01/30/2021	Uncleared	AP	10373	NITTANY SUPPLY INC.	900.58

Fund/Check No.	Check Date	Clear Date	System	Vendor/Employee No.	Vendor/Employee Name	Amount
10958	01/30/2021	Uncleared	AP	10760	NOERR'S INTERNATIONAL - LEWISTOWN	735.09
10959	01/30/2021	Uncleared	AP	10773	OLD DOMINION BRUSH COMPANY INC.	1,835.61
10960	01/30/2021	Uncleared	AP	11378	P & A GROUP	171.00
10961	01/30/2021	Uncleared	AP	10798	PA ONE CALL SYSTEM	27.30
10962	01/30/2021	Uncleared	AP	11893	PROGAR JAYMES	358.50
10963	01/30/2021	Uncleared	AP	10973	SAMS CLUB / SYNCHRONY BANK	100.00
10964	01/30/2021	Uncleared	AP	10977	SCHAEDLER YESCO DISTRIBUTION	160.00
10965	01/30/2021	Uncleared	AP	10978	SCHLOW CENTRE REGION LIBRARY	124,916.75
10966	01/30/2021	Uncleared	AP	10997	SIGNAL CONTROL PRODUCTS INC	260.00
10967	01/30/2021	Uncleared	AP	11476	SITE ONE LANDSCAPE SUPPLY	110.09
10968	01/30/2021	Uncleared	AP	11017	SOSMETAL PRODUCTS INC	604.23
10969	01/30/2021	Uncleared	AP	11029	STAHL SHEAFFER ENGINEERING LLC	2,070.00
10970	01/30/2021	Uncleared	AP	11696	STROUSE ELECTRIC INC.	196.00
10971	01/30/2021	Uncleared	AP	11763	SUNBELT RENTALS, INC.	412.86
10972	01/30/2021	Uncleared	AP	11298	SUSQUEHANNA VALLEY PROFESSION	40.00
10973	01/30/2021	Uncleared	AP	10481	THE HARTMAN GROUP	17,000.00
10974	01/30/2021	Uncleared	AP	10493	THE HITE COMPANY	75.84
10975	01/30/2021	Uncleared	AP	11133	U COMP	135.10
10976	01/30/2021	Uncleared	AP	11136	U S MUNICIPAL SUPPLY INC	80.20
10977	01/30/2021	Uncleared	AP	11150	VALLEY FAB & EQUIPMENT INC	346.20
10978	01/30/2021	Uncleared	AP	11159	VERIZON WIRELESS	302.30
10979	01/30/2021	Uncleared	AP	11847	VOYA FINANCIAL	3,000.00
10980	01/30/2021	Uncleared	AP	11173	WALKER & WALKER EQUIPMENT II LLC	225.24
10981	01/30/2021	Uncleared	AP	11192	WEST PENN POWER	1,214.85
10982	01/30/2021	Uncleared	AP	11262	X-PERT COMMUNICATIONS	445.00
Fund 01 Total:						787,700.64
02	STREET LIGHT FUND					
142	01/30/2021	Uncleared	AP	11192	WEST PENN POWER	76.87
Fund 02 Total:						76.87
30	CAPITAL RESERVE FUND					
806	12/15/2020	Uncleared	AP	10755	THE HON COMPANY	18,730.00
816	12/31/2020	Uncleared	AP	11192	WEST PENN POWER	670.11
817	01/15/2021	Uncleared	AP	11083	AXON ENTERPRISE, INC	650.00
818	01/15/2021	Uncleared	AP	10755	THE HON COMPANY	18,730.00
819	01/15/2021	Uncleared	AP	11880	WHITMAN, REQUARDT & ASSOCIATES, LLP	17,900.00
820	01/15/2021	Uncleared	AP	11676	WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS	2,201.00
821	01/30/2021	Uncleared	AP	10031	ALLIED MECHANICAL & ELECTRICAL	414,426.77
822	01/30/2021	Uncleared	AP	11083	AXON ENTERPRISE, INC	12,118.75

Fund/Check No.	Check Date	Clear Date	System	Vendor/Employee No.	Vendor/Employee Name	Amount
823	01/30/2021	Uncleared	AP	11927	MIKE'S VIDEO TV & APPLIANCE	5,210.00
824	01/30/2021	Uncleared	AP	11789	SCHICHTEL'S NURSERY INC	3,301.00
825	01/30/2021	Uncleared	AP	11476	SITE ONE LANDSCAPE SUPPLY	1,835.84
826	01/30/2021	Uncleared	AP	11192	WEST PENN POWER	450.26
827	01/30/2021	Uncleared	AP	11888	WESTMORELAND ELECTRIC SERVICES LLC	64,045.16
Fund 30Total:						560,268.89
31	REG CAP REC PROJECTS FUND					
31	01/30/2021	Uncleared	AP	10209	CENTRE REGION PARKS & RECREATION	26,614.75
Fund 31Total:						26,614.75
32	TRANSPORT IMPROVEMENT FUND					
2017092	01/15/2021	Uncleared	AP	11910	BARTON ASSOCIATES	1,200.00
2017093	01/15/2021	Uncleared	AP	11892	JACOBS ENGINEERING GROUP INC	3,720.79
2017094	01/15/2021	Uncleared	AP	11914	NATIONAL WATER MAIN CLEANING CO	309,095.44
2017095	01/30/2021	Uncleared	AP	10997	SIGNAL CONTROL PRODUCTS INC	4,000.00
Fund 32Total:						318,016.23
34	PARK IMPROVEMENT FUND					
55	01/30/2021	Uncleared	AP	10430	GEORGE ELY ASSOCIATES INC	22,109.00
56	01/30/2021	Uncleared	AP	11332	NTM ENGINEERING INC	17,130.44
Fund 34Total:						39,239.44
35	LIQUID FUELS FUND					
389	01/15/2021	Uncleared	AP	11228	AMERICAN ROCK SALT COMPANY LLC	6,254.87
390	01/30/2021	Uncleared	AP	11228	AMERICAN ROCK SALT COMPANY LLC	16,668.69
391	01/30/2021	Uncleared	AP	10436	GLENN O HAWBAKER INC	271.70
Fund 35Total:						23,195.26
65	NON-UNIFORM PENSION TRUST FUND					
1	01/30/2021	Uncleared	AP	11929	TASC	75.00
Fund 65Total:						75.00
93	TUDEK PARK TRUST FUND					
20200908	12/31/2020	Uncleared	AP	11837	COG	170.00
20200909	12/31/2020	Uncleared	AP	11192	WEST PENN POWER	37.38
20200911	01/30/2021	Uncleared	AP	11139	UNIVERSITY AREA JOINT AUTHORITY	104.00
20200912	01/30/2021	Uncleared	AP	11192	WEST PENN POWER	81.73

Fund/Check No.	Check Date	Clear Date	System	Vendor/Employee No.	Vendor/Employee Name	Amount
					Fund 93Total:	393.11
					Grand Total:	1,755,580.19

Accounts Payable

Checks by Date - Detail by Check Number

User: eendresen
 Printed: 3/15/2021 4:45 PM



Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
ACH	10870 012221	PNC INSTITUTIONAL INVESTMENTS POLICE PENSION WITHHELD	01/15/2021		3,538.41
		Total for this ACH Check for Vendor 10870:		0.00	3,538.41
ACH	11216 012221	VANTAGEPOINT TRANSFER AGENTS 401	01/15/2021		8,615.41
		Total for this ACH Check for Vendor 11216:		0.00	8,615.41
ACH	11218 012221	VANTAGEPOINT TRANSFER AGENTS 457	01/15/2021		6,831.63
		Total for this ACH Check for Vendor 11218:		0.00	6,831.63
ACH	11381 012221	VANTAGEPOINT TRANSFER AGENT ROTH IRA	01/15/2021		183.09
		Total for this ACH Check for Vendor 11381:		0.00	183.09
ACH	10870 010821	PNC INSTITUTIONAL INVESTMENTS POLICE PENSION WITHHELD	01/30/2021		3,449.70
		Total for this ACH Check for Vendor 10870:		0.00	3,449.70
ACH	11216 010821	VANTAGEPOINT TRANSFER AGENTS 401	01/30/2021		8,405.28
		Total for this ACH Check for Vendor 11216:		0.00	8,405.28
ACH	11218 010821	VANTAGEPOINT TRANSFER AGENTS 457	01/30/2021		6,782.10
		Total for this ACH Check for Vendor 11218:		0.00	6,782.10
ACH	11381 010821	VANTAGEPOINT TRANSFER AGENT ROTH IRA	01/30/2021		181.28
		Total for this ACH Check for Vendor 11381:		0.00	181.28
1	11929 IN1946216	TASC FUNDED HRA INTEGRATED-ADM FEES RK	01/30/2021		75.00
		Total for Check Number 1:		0.00	75.00
31	10209 618	CENTRE REGION PARKS & RECREATI Regional Parks Capital	01/30/2021		26,614.75
		Total for Check Number 31:		0.00	26,614.75
54	11735 2020-47	FOUNDATION FOR CALIFORNIA UNIV PLANT 75 TREES IN HAYMARKET PARK S1	01/30/2021	VOID	1,550.50

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
			Total for Check Number 54:	1,550.50	0.00
55	10430 E-39309	GEORGE ELY ASSOCIATES INC FAIRBROOK PARK PLAYGROUND SAFETY	01/30/2021		22,109.00
			Total for Check Number 55:	0.00	22,109.00
56	11332 10604	NTM ENGINEERING INC SUBURBAN PARK	01/30/2021		17,130.44
			Total for Check Number 56:	0.00	17,130.44
142	11192 3639-JAN21	WEST PENN POWER HAVASHIRE BLVD LIGHTING	01/30/2021 01.433.036		76.87
			Total for Check Number 142:	0.00	76.87
389	11228 656338	AMERICAN ROCK SALT COMPANY LI BULK ICE CONTROL SALT	01/15/2021		6,254.87
			Total for Check Number 389:	0.00	6,254.87
390	11228 0656563 0656759 0657077 0658073 0658452 0658817	AMERICAN ROCK SALT COMPANY LI BULK ICE CONTROL SALT BULK ICE CONTROL SALT BULK ICE CONTROL SALT BULK ICE CONTROL SALT BULK ICE CONTROL SALT BULK ICE CONTROL SALT	01/30/2021		2,161.11 4,185.62 2,070.83 2,080.25 4,139.30 2,031.58
			Total for Check Number 390:	0.00	16,668.69
391	10436 767679	GLENN O HAWBAKER INC PGA HIGH PERFORMANCE SP-QPR	01/30/2021		271.70
			Total for Check Number 391:	0.00	271.70
817	11083 SI-1704658	AXON ENTERPRISE, INC REPLACEMENT BATTERY KIT, TASER, CAI	01/15/2021		650.00
			Total for Check Number 817:	0.00	650.00
818	10755 1170797	THE HON COMPANY OFFICE FURNITURE	01/15/2021		18,730.00
			Total for Check Number 818:	0.00	18,730.00
819	11880 035120.001-11	WHITMAN, REQUARDT & ASSOCIATE PW BUILDING	01/15/2021		17,900.00
			Total for Check Number 819:	0.00	17,900.00
820	11676 H14200187 H14200216	WOOD ENVIRONMENT & INFRASTRU STORM WATER ENGINEERING STORM WATER ENGINEERING	01/15/2021		631.50 1,569.50
			Total for Check Number 820:	0.00	2,201.00
821	10031 155052 53937 53938	ALLIED MECHANICAL & ELECTRICA PW BLDG PW BLDG	01/30/2021		7,039.00 41,800.00 365,587.77

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
			Total for Check Number 821:	0.00	414,426.77
822	11083 SI-1705455	AXON ENTERPRISE, INC TASER CAM	01/30/2021		12,118.75
			Total for Check Number 822:	0.00	12,118.75
823	11927 47091	MIKE'S VIDEO TV & APPLIANCE APPLIANCES FOR NEW PUBLIC WORKS BI	01/30/2021		5,210.00
			Total for Check Number 823:	0.00	5,210.00
824	11789 23817	SCHICHTEL'S NURSERY INC PURCHASE 35 BARE ROOT TREES TO PLA	01/30/2021		3,301.00
			Total for Check Number 824:	0.00	3,301.00
825	11476 105702663-001 105702720-001	SITE ONE LANDSCAPE SUPPLY TREE STAKES/TREE TIE/TREEGATOR TREE STAKES/TREE TIE/TREEGATOR/TIBE	01/30/2021		917.85 917.99
			Total for Check Number 825:	0.00	1,835.84
826	11192 7343-JAN20	WEST PENN POWER TEMP SERV	01/30/2021		450.26
			Total for Check Number 826:	0.00	450.26
827	11888 9 DEC 20	WESTMORELAND ELECTRIC SERVICE PW BLDG	01/30/2021		64,045.16
			Total for Check Number 827:	0.00	64,045.16
10888	11242 143Q-G4LM-77HC 17KW-3J64-QFFM 17V7-VNHQ-6X69 1MRJ-QF9M-4R7G 1Q9L-J3PR-TD9X 1YNK-RPYM-KRV1 1YV7-WJ4L-466P	AMAZON CAPITAL SERVICES INC LABEL PRINTER BLUE FORCE GEAR VICKERS 2-POINT CON TONER TONER FOR MILLER'S PRINTER LUMBAR SUPPORT PILLOW SCANLAN LABELS FILE POCKET	01/15/2021		68.84 323.94 34.59 29.99 29.25 29.00 38.29
			Total for Check Number 10888:	0.00	553.90
10889	10122 011521	BOROUGH OF STATE COLLEGE DUI CHECKPOINT DEC 2020	01/15/2021		62.98
			Total for Check Number 10889:	0.00	62.98
10890	11885 50362	CDI SOFTWARE CONSULTING FOR LASERFICH	01/15/2021		282.92
			Total for Check Number 10890:	0.00	282.92
10891	10201 012221	CENTRE COUNTY UNITED WAY U WAY	01/15/2021		32.00
			Total for Check Number 10891:	0.00	32.00
10892	10203 4831519 4846262	CENTRE DAILY TIMES BOS MTG JAN 18 BOS MTG JAN 12	01/15/2021		206.85 137.37

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
	4853022	BOS MTG JAN 18TH			212.64
	4853102	BOS MTG JAN 19TH			160.53
			Total for Check Number 10892:	0.00	717.39
10893	11246	CALEB CLOUSE	01/15/2021		
	011521	1ST QTR CLOTHING ALLOWANCE			187.50
	041520	2ND QTR CLOTHING ALLOWANCE			187.50
	073020	3RD QTR CLOTHING ALLOWANCE			187.50
	123120	4TH QTR CLOTHING ALLOWANCE			187.50
			Total for Check Number 10893:	0.00	750.00
10894	10243	COLUMBIA GAS OF PA INC	01/15/2021		
	10006-JAN21	OFFICE GAS			1,671.22
	10007-JAN21	GARAGE GAS			2,174.13
			Total for Check Number 10894:	0.00	3,845.35
10895	10244	COMCAST	01/15/2021		
	114731473	TOTAL ETHERNET DEDICATED INTERNET			1,261.31
			Total for Check Number 10895:	0.00	1,261.31
10896	10345	ECKS GARAGE INC	01/15/2021		
	1022593	STD DAMPER/SEAT COVER/FOAM SEAT			162.68
			Total for Check Number 10896:	0.00	162.68
10897	11217	FERGUSON TOWNSHIP POLICE ASSOC	01/15/2021		
	012221	POLICE UNION DUES			420.00
			Total for Check Number 10897:	0.00	420.00
10898	10380	FERGUSON TOWNSHIP SUPERVISORS	01/15/2021		
	121521	DEC TIF TRANSFER			1,035.35
			Total for Check Number 10898:	0.00	1,035.35
10899	11518	GENERAL CODE	01/15/2021		
	GC00112084	ANNUAL MAINTENANCE			1,195.00
			Total for Check Number 10899:	0.00	1,195.00
10900	11635	GREAT AMERICA FINANCIAL SERVICE	01/15/2021		
	28560435	COPIER LEASE 5052CI			461.28
			Total for Check Number 10900:	0.00	461.28
10901	10515	HYDRAULIC SOLUTIONS INC	01/15/2021		
	57656	REPACK CYLINDER			376.05
			Total for Check Number 10901:	0.00	376.05
10902	11497	ICMA MEMBERSHIP RENEWALS	01/15/2021		
	011521	2021 ICMA DUES PRIBULKA			954.00
			Total for Check Number 10902:	0.00	954.00
10903	11253	INFRADAPT LLC	01/15/2021		
	7907JAN2021	CARRIER SERVICES LOCAL & LONG DIST			655.77

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
			Total for Check Number 10903:	0.00	655.77
10904	10669 S 12592	MAXWELL TRUCK & EQUIPMENT LL HEADLIGHT	01/15/2021		428.52
			Total for Check Number 10904:	0.00	428.52
10905	10673 23623-0 23623-0 23623-0 23623-0 23623-0 23702-0 24090-0	MCCARTNEYS INC DESK CALENDAR DESK CALENDAR DESK CALENDAR DESK CALENDAR DESK CALENDAR PENS PENS/OPENER/FOLDERS	01/15/2021		35.88 8.97 2.99 8.97 20.93 36.18 50.79
			Total for Check Number 10905:	0.00	164.71
10906	11807 1465626	MODEL UNIFORMS PW UNIF CLN	01/15/2021		109.40
			Total for Check Number 10906:	0.00	109.40
10907	10845 48118-0 48118-0 48118-0	PENNSYLVANIA MUNICIPAL HEALTH HEALTHCARE INS EYECARE INS DENTAL INS	01/15/2021		71,579.51 623.77 3,325.96
			Total for Check Number 10907:	0.00	75,529.24
10908	10846 32	PENNSYLVANIA MUNICIPAL LEAGUE 2021 PA MUNICIPAL LEAGUE DUES	01/15/2021		2,264.32
			Total for Check Number 10908:	0.00	2,264.32
10909	10932 011521	RESERVE ACCOUNT RESERVE ACCOUNT	01/15/2021		1,000.00
			Total for Check Number 10909:	0.00	1,000.00
10910	11055 1494466	STONER INC MORE SHINE TIRE FINISH/TRIM SHINE/SH	01/15/2021		161.31
			Total for Check Number 10910:	0.00	161.31
10911	10481 1299 1299	THE HARTMAN GROUP 21-22 TAX COLLECTOR BOND 21-22 TAX COLLECTOR BOND	01/15/2021		359.82 6,751.18
			Total for Check Number 10911:	0.00	7,111.00
10912	10016 139310	AFLAC AFLAC INSURANCE	01/30/2021 01.221.000		118.17
			Total for Check Number 10912:	0.00	118.17
10913	11242 1CHV-YCLJ-HF4Y	AMAZON CAPITAL SERVICES INC NOTEBOOKS 3 EA	01/30/2021		29.36
			Total for Check Number 10913:	0.00	29.36
10914	10047	AMSOIL INC	01/30/2021		

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
	19601287RI	SYN TORQUE DRIVE ATF			176.79
			Total for Check Number 10914:	0.00	176.79
10915	11239 91051	ASAP HYDRAULICS STATE COLLEGE, HOSE ASY	01/30/2021		42.99
			Total for Check Number 10915:	0.00	42.99
10916	11649 1299680	BABST CALLAND CLEMENTS AND ZC WORK FORCE ORD	01/30/2021		462.00
			Total for Check Number 10916:	0.00	462.00
10917	11910 51089	BARTON ASSOCIATES ES-409	01/30/2021		962.50
			Total for Check Number 10917:	0.00	962.50
10918	10100 R14125	BEST LINE EQUIPMENT STUMP GRINDER RENTAL	01/30/2021		1,373.40
			Total for Check Number 10918:	0.00	1,373.40
10919	10122 9521 9548	BOROUGH OF STATE COLLEGE HEALTH SERV 3RD QTR TECH SERV IT INCLUDES CAR	01/30/2021		1,043.20 7,496.25
			Total for Check Number 10919:	0.00	8,539.45
10920	11930 13897	BUDS ELECTRIC BATTERIES	01/30/2021		437.01
			Total for Check Number 10920:	0.00	437.01
10921	11221 010121 010121	CENTRE AREA TRANSPORTATION AU LOCAL OPERATING FUNDING LOCAL CAPITAL FUNDING	01/30/2021		29,472.75 4,404.75
			Total for Check Number 10921:	0.00	33,877.50
10922	10184 128391	CENTRE COMMUNICATIONS INC FIX RADIO ON JD LOADER	01/30/2021		195.04
			Total for Check Number 10922:	0.00	195.04
10923	10197 1276276	CENTRE COUNTY RECYLING & REFU TIRES	01/30/2021		90.00
			Total for Check Number 10923:	0.00	90.00
10924	10201 010821	CENTRE COUNTY UNITED WAY U-WAY	01/30/2021		32.00
			Total for Check Number 10924:	0.00	32.00
10925	10203 4831495 4841774 4853457 4857519 4860370 4860376	CENTRE DAILY TIMES BOS MTG JAN 4TH BOS MTG JAN 4TH 2021-C23 SEALED FOR BIDS BOS MTG STORMWATER ORD BOS MTG JAN 18TH ADOPTED COVID-19 S BOS MTG ADOPTED TREE ORD	01/30/2021		516.60 262.00 228.95 196.91 111.47 100.79

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
			Total for Check Number 10925:	0.00	1,416.72
10926	10208	CENTRE REGION COUNCIL OF GOVEI	01/30/2021		
	616	COG Administration Operating			30,843.00
	616	COG Regional Planning			7,836.00
	616	COG Fire Capital			2,645.25
	616	COG EMS Operating			9,324.75
	616	COG Fire Operating			84,477.50
	616	COG Planning			18,268.50
	616	COG Building Capital			1,432.50
	616	COG CONTINGENCY			409.25
	616	COG Fire Capital			21,352.25
			Total for Check Number 10926:	0.00	176,589.00
10927	10209	CENTRE REGION PARKS & RECREATI	01/30/2021		
	618	MM Nature Center Capital			3,371.25
	618	Parks Administration			35,795.25
	618	Regional Pools Capital			3,034.25
	618	Parks Operating Programs			17,051.00
	618	Parks Capital			11,349.25
	618	Parks Operating Maintenance			62,572.00
	618	Regional Pools Debt			31,129.25
	618	MM Nature Center Operating			7,181.00
	618	Regional Pools Operating			6,742.50
	618	Active Adult Center			9,064.50
			Total for Check Number 10927:	0.00	187,290.25
10928	10220 4797	CHEMUNG SUPPLY CORP PLOW BLADES	01/30/2021		
					2,053.02
			Total for Check Number 10928:	0.00	2,053.02
10929	10231 502862-1 503266 504318	CLEARFIELD WHOLESALE PAPER CO RAGS CLEANER/DEGREASER SPRAY NINE RAGS	01/30/2021		
					78.62
					92.34
					78.62
			Total for Check Number 10929:	0.00	249.58
10930	11928 2020-10162	CLEARGOV INC ACTIVATION; ONBOARDING; DIGITAL BUI	01/30/2021		
					7,040.00
			Total for Check Number 10930:	0.00	7,040.00
10931	11376 123120 123120 123120	COLONIAL AUTO SUPPLY EXHAUST FLUID BATTERY/BULBS AIR FILTER/SENSOR	01/30/2021		
					72.24
					273.15
					74.82
			Total for Check Number 10931:	0.00	420.21
10932	10241 47597	COLONIAL PRESS (44) 24"X 36" COVID-19 BANNERS; (7) 18" X	01/30/2021		
					3,510.00
			Total for Check Number 10932:	0.00	3,510.00
10933	11760 3199	COMCAST FAX LINES	01/30/2021		
					287.98

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
			Total for Check Number 10933:	0.00	287.98
10934	10284 423447	CUSTOM ALTERATIONS CHEVRONS/SEWING	01/30/2021		137.60
			Total for Check Number 10934:	0.00	137.60
10935	10321 SI508614 SI508614	DLT SOLUTIONS LLC 2ND AND 3RD YEAR OF 3-YEAR AGREEME ARCH ENG/CONSTRUCION; 1ST YEAR OF	01/30/2021		5,011.06 2,505.54
			Total for Check Number 10935:	0.00	7,516.60
10936	10334 3765683	DULTMEIER SALES STAINER/GASKET	01/30/2021		132.15
			Total for Check Number 10936:	0.00	132.15
10937	10345 1023205	ECKS GARAGE INC FUEL FILTER	01/30/2021		65.70
			Total for Check Number 10937:	0.00	65.70
10938	10346 40004	ECOLAWN 650 BERKSHIRE DRIVE/CHECK #10633 APP	01/30/2021		135.00
			Total for Check Number 10938:	0.00	135.00
10939	10364 020121	ESRI, INC ESRI RENEWAL	01/30/2021		4,900.00
			Total for Check Number 10939:	0.00	4,900.00
10940	10366 06-3024	EXCEL PERFORMANCE PRODUCTS LI EXCEL ANTI-FRICTION METAL TREATMEN	01/30/2021		521.47
			Total for Check Number 10940:	0.00	521.47
10941	11217 010821	FERGUSON TOWNSHIP POLICE ASSOC POLICE UNION DUES	01/30/2021		420.00
			Total for Check Number 10941:	0.00	420.00
10942	10396 010121 010121 010121	FISHER AUTO PARTS FUEL TANK CAP/APPLICATOR/TOGGLE SV BULB/REDI-SENSOR MULTI-APPLICATION WASHER FLUID	01/30/2021		284.76 127.30 58.56
			Total for Check Number 10942:	0.00	470.62
10943	10409 85297 85848	FRED CARSON DISPOSAL INC. COMMERIAL WASTE SERVICE/RECYCLING COMMERIAL WASTE SERVICE/RECYCLING	01/30/2021		234.00 245.00
			Total for Check Number 10943:	0.00	479.00
10944	10491 3613	HINTON & ASSOCIATES TOTAL CARE MONTHLY NETWORK SUPPC	01/30/2021 VOID	21,679.00	
			Total for Check Number 10944:	21,679.00	0.00
10945	11727	HUNTER TRUCK SALES	01/30/2021		

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
	X204071572.01	SWITCH			334.74
			Total for Check Number 10945:	0.00	334.74
10946	11791 22060322 87436467	JOHNSON CONTROLS INC ANNUAL FIRE ALARM PARTS/LABOR&SPF SERVICE ON WET SPRINKLER SYSTEM	01/30/2021		1,838.00 2,762.00
			Total for Check Number 10946:	0.00	4,600.00
10947	10568 130566 130566	K & S DISTRIBUTION AUTOMATIC TRANSMISSION PROTACTAN SLICONE/BRAKE PARTS	01/30/2021 VOID		
				298.26 76.26	
			Total for Check Number 10947:	374.52	0.00
10948	10644 2081958 2084196 2130829 2257851 2345228 2369247 2393272 2477307 2633287 2717526 2854651 2870482 2941664 2949777 2956627 8040023	LOWES COMPANIES INC PIN/ WASHERS/GALV CARRG/HEX TOTALLY AWESOME KRUD KUTTER/SCOUR GAL PAINT SCOTCH BLUE/PAINT BRUSHES/GORILLA KRUD KUTTER/BRUSHES IMPACT WRENCH//1/2IN SAE DE 12 PC STAIN/BRUSHES FEED SPRAY GUN/AIR ADJUSTING VALVE 40LB SALT CRYSTALS BATTERIES PAINT PAINT 25FT TAPE MEASURE/SNAP HK 3/4 RSE NI 12OZ DOOR AND WINDOW FOAM LIGHTS/HEX NUT/WASHER	01/30/2021		82.09 33.15 32.25 14.70 85.43 88.12 373.34 48.02 29.43 52.96 66.45 45.43 56.00 27.54 8.52 184.66
			Total for Check Number 10948:	0.00	1,228.09
10949	11704 020121 020121 020121 020121	MADISON NATIONAL LIFE LTD STD BASIC LIFE AD&D VOL LIFE INS	01/30/2021		681.08 639.66 575.54 395.01
			Total for Check Number 10949:	0.00	2,291.29
10950	10762 28499352 28499353 28565239 28627059	MARCO COPIER LEASE 3553CI COPIER LEASE 3550IDN COPIER LEASE 3252CI COPIER LEASE 3212I	01/30/2021		681.32 252.68 860.06 804.89
			Total for Check Number 10950:	0.00	2,598.95
10951	11839 INV8333871 INV8364502	MARCO TECHNOLOGIES LLC COPIER LEASE 1102PN2USO COPIER LEASE KM3050	01/30/2021		78.00 27.64
			Total for Check Number 10951:	0.00	105.64
10952	10673 24370-1	MCCARTNEYS INC TAPE	01/30/2021		14.92

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
			Total for Check Number 10952:	0.00	14.92
10953	10674 7	MCCORMICK TAYLOR INC ES-402	01/30/2021		160.00
			Total for Check Number 10953:	0.00	160.00
10954	10692 482454137 482456180 482459973	MIDSTATE TOOL & SUPPLY INC BUMP CAP/LENS/CUP KIT POWER PULL SAFETY HOOKS WHEEL DOLLY LARGE CAPACITY TRUCK	01/30/2021		100.69 62.58 130.21
			Total for Check Number 10954:	0.00	293.48
10955	11807 1467777 1469969 1472157	MODEL UNIFORMS PW UNIF CLN PW UNIF CLN PW UNIF CLN	01/30/2021		109.40 109.40 109.40
			Total for Check Number 10955:	0.00	328.20
10956	10712 020221 020221	MONARCH CLEANERS CHIEF DRY CLN POLICE UNIF CLN	01/30/2021		36.40 166.05
			Total for Check Number 10956:	0.00	202.45
10957	10373 010121	NITTANY SUPPLY INC. PLOW LIGHTS/FILTER/MUD FLAP/PIPE CO	01/30/2021		900.58
			Total for Check Number 10957:	0.00	900.58
10958	10760 010121 010121	NOERR'S INTERNATIONAL - LEWISTO EXHAUST CLEANED FILTERS/SEAT/HEATER/FILTER	01/30/2021		325.00 410.09
			Total for Check Number 10958:	0.00	735.09
10959	10773 7364542 7380993 7381000	OLD DOMINION BRUSH COMPANY IN SEAL & BRG KIT PRESSURE FILTER/FILTERS MARKER LIGHT LED	01/30/2021		733.28 1,040.18 62.15
			Total for Check Number 10959:	0.00	1,835.61
10960	11378 f73000427402 F730068171	P & A GROUP MONTHLY ADM FEE MONTHLY ADM FEE	01/30/2021		85.50 85.50
			Total for Check Number 10960:	0.00	171.00
10961	10798 889345	PA ONE CALL SYSTEM MONTHLY ACTIVITY FEE/EMAIL DELIVER	01/30/2021		27.30
			Total for Check Number 10961:	0.00	27.30
10962	11893 020521	JAYMES PROGAR TUITION REIMBURSEMENT PROGAR	01/30/2021		358.50
			Total for Check Number 10962:	0.00	358.50
10963	10973	SAMS CLUB / SYNCHRONY BANK	01/30/2021		

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
	012021	CLEANING SUPPLIES			100.00
			Total for Check Number 10963:	0.00	100.00
10964	10977 S6008664.001 S6019913.001	SCHAEDLER YESCO DISTRIBUTION GLASS BALLAST 8 EA GLASS BALLAST 8 EA	01/30/2021		80.00 80.00
			Total for Check Number 10964:	0.00	160.00
10965	10978 617 617	SCHLOW CENTRE REGION LIBRARY Schlow Operating Schlow Capital	01/30/2021		118,768.75 6,148.00
			Total for Check Number 10965:	0.00	124,916.75
10966	10997 20210096	SIGNAL CONTROL PRODUCTS INC KNOCKDOWN-POLE W/FLANGE BASE	01/30/2021		260.00
			Total for Check Number 10966:	0.00	260.00
10967	11476 106023185-001	SITE ONE LANDSCAPE SUPPLY LESCO GEARSET ASSY FOR LESCO SPREA	01/30/2021		110.09
			Total for Check Number 10967:	0.00	110.09
10968	11017 1427678 1428644	SOSMETAL PRODUCTS INC DOUBLE CLEVIS/ULTRA MOLY BIT/ELECT HOSE CLAMP/WHL WGT/FASTTUBE	01/30/2021		280.45 323.78
			Total for Check Number 10968:	0.00	604.23
10969	11029 20-310-04	STAHL SHEAFFER ENGINEERING LL ES-409	01/30/2021		2,070.00
			Total for Check Number 10969:	0.00	2,070.00
10970	11696 011221-02	STROUSE ELECTRIC INC. FIX LIGHT SWITCH	01/30/2021		196.00
			Total for Check Number 10970:	0.00	196.00
10971	11763 109392116-0001	SUNBELT RENTALS, INC. EQUIPMENT RENTAL	01/30/2021		412.86
			Total for Check Number 10971:	0.00	412.86
10972	11298 012821	SUSQUEHANNA VALLEY PROFESSION EOB	01/30/2021		40.00
			Total for Check Number 10972:	0.00	40.00
10973	10481 1430 1430	THE HARTMAN GROUP 2021 CONSULTING FEE - WORKERS COMP 2021 CONSULTING FEE	01/30/2021		7,500.00 9,500.00
			Total for Check Number 10973:	0.00	17,000.00
10974	10493 27897088	THE HITE COMPANY 100W HPS MOG BASE 20/CS 4 EA	01/30/2021		75.84
			Total for Check Number 10974:	0.00	75.84

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
10975	11133 013121	U COMP 4TH QTR UCOMP 2020	01/30/2021		135.10
			Total for Check Number 10975:	0.00	135.10
10976	11136 6178361	U S MUNICIPAL SUPPLY INC SIGNS	01/30/2021		80.20
			Total for Check Number 10976:	0.00	80.20
10977	11150 131335	VALLEY FAB & EQUIPMENT INC ARM CYL BRACKET/WING ARM INNER SV	01/30/2021		346.20
			Total for Check Number 10977:	0.00	346.20
10978	11159 9870323972 9870323972 9870323972 9870323972 9870323972 9870323972 9870323972	VERIZON WIRELESS POLICE CELL USE ADM CELL USE PZ & OEO CELL USE AIRTIME CARD USE POLICE CELL PHONE WITHHOLDING HOT BOX USE CELL PHONE WITHHOLDING	01/30/2021		67.47 42.33 112.48 40.01 10.00 40.01 -10.00
			Total for Check Number 10978:	0.00	302.30
10979	11847 123121	VOYA FINANCIAL ERISA PLAN INVESTMENT CONSULTING	01/30/2021		3,000.00
			Total for Check Number 10979:	0.00	3,000.00
10980	11173 IS04370A	WALKER & WALKER EQUIPMENT II I FILTER/CYLIND KIT	01/30/2021		225.24
			Total for Check Number 10980:	0.00	225.24
10981	11192 0840-JAN21 0873-JAN21 1966-JAN21 2510-JAN21 2691-JAN21 2711-JAN21 3377-JAN21 5843-JAN21 6113-JAN21 6150-JAN21 6651-JAN21 6725-JAN21 7595-JAN21 8100-JAN21 8136-JAN21 8506-JAN21 9110-JAN21 9608-JAN21 9975-JAN21	WEST PENN POWER WHITEHALL RD/RESEARCH DR WHITEHALL RD/W COLLEGE 225 SCIENCE PARK RD W CHERRY LN MARTIN ST SCIENCE PARK ROAD SCIENCE PARK ROAD BRISTOL AVE 1301 W COLLEGE AVE GARAGE/MAINT BLDG OLD GATESBURG ROAD BIKE TUNNEL BLDG #3 1282 N ATHERTON ST 2100 W COLLEGE AVE BLUE COURSE DR & HAVENSHIRE DR BLUE COURSE DRIVE W COLLEGE AVE 3147 RESEARCH DR AARON DR MARTIN ST	01/30/2021		5.17 5.93 9.17 15.75 7.64 20.96 0.51 3.77 369.29 5.22 26.45 490.07 4.18 4.74 3.02 79.79 3.71 155.44 4.04
			Total for Check Number 10981:	0.00	1,214.85
10982	11262 9318	X-PERT COMMUNICATIONS REPLACE PD DOOR	01/30/2021		445.00

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
			Total for Check Number 10982:	0.00	445.00
2017092	11910 50953	BARTON ASSOCIATES PINE GROVE MILLS STREET LIGHTING	01/15/2021		1,200.00
			Total for Check Number 2017092:	0.00	1,200.00
2017093	11892 EX52101-03	JACOBS ENGINEERING GROUP INC TRAFFIC SIGNAL SYSTEM CONSULTING S	01/15/2021		3,720.79
			Total for Check Number 2017093:	0.00	3,720.79
2017094	11914 2	NATIONAL WATER MAIN CLEANING C CIPP LINING	01/15/2021		309,095.44
			Total for Check Number 2017094:	0.00	309,095.44
2017095	10997 20210184	SIGNAL CONTROL PRODUCTS INC BROADBAND RADIO SURVEY	01/30/2021		4,000.00
			Total for Check Number 2017095:	0.00	4,000.00
20200910	10844 011521	PENNSYLVANIA EQUINE COUNCIL EQUINE LIABILITY SIGNS	01/30/2021 VOID	76.64	
			Total for Check Number 20200910:	76.64	0.00
20200911	11139 021921	UNIVERSITY AREA JOINT AUTHORITY 425 PARK CREST LANE	01/30/2021		104.00
			Total for Check Number 20200911:	0.00	104.00
20200912	11192 6563-JAN21	WEST PENN POWER 425 PARK CREST LANE	01/30/2021 93.454.249		81.73
			Total for Check Number 20200912:	0.00	81.73
			Report Total (130 checks):	23,680.66	1,693,645.05

Accounts Payable

Checks by Date - Detail by Check Number

User: eendresen
 Printed: 3/15/2021 4:47 PM



Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
ACH	10870 020521	PNC INSTITUTIONAL INVESTMENTS POLICE PENSION WITHHELD	02/15/2021		3,546.37
Total for this ACH Check for Vendor 10870:				0.00	3,546.37
ACH	11216 020521	VANTAGEPOINT TRANSFER AGENTS 401	02/15/2021		8,519.43
Total for this ACH Check for Vendor 11216:				0.00	8,519.43
ACH	11218 020221 020521	VANTAGEPOINT TRANSFER AGENTS LOAN PAYOFF ENDRESEN 457	02/15/2021		378.68 7,301.86
Total for this ACH Check for Vendor 11218:				0.00	7,680.54
ACH	11381 020521	VANTAGEPOINT TRANSFER AGENT ROTH IRA	02/15/2021		233.09
Total for this ACH Check for Vendor 11381:				0.00	233.09
ACH	10870 021921	PNC INSTITUTIONAL INVESTMENTS POLICE PENSION WITHHELD	02/26/2021		3,546.37
Total for this ACH Check for Vendor 10870:				0.00	3,546.37
ACH	11216 021921	VANTAGEPOINT TRANSFER AGENTS 401	02/26/2021		8,675.50
Total for this ACH Check for Vendor 11216:				0.00	8,675.50
ACH	11218 021921	VANTAGEPOINT TRANSFER AGENTS 457	02/26/2021	VOID	7,221.33
Total for this ACH Check for Vendor 11218:				7,221.33	0.00
ACH	11381 021921	VANTAGEPOINT TRANSFER AGENT ROTH IRA	02/26/2021		233.09
Total for this ACH Check for Vendor 11381:				0.00	233.09
ACH	11218 021921	VANTAGEPOINT TRANSFER AGENTS 457 adjusted for overpayments from prior two pe	02/26/2021		6,744.42
Total for this ACH Check for Vendor 11218:				0.00	6,744.42
57	11332 10726	NTM ENGINEERING INC SUBURBAN PARK	02/26/2021		8,471.58
Total for Check Number 57:				0.00	8,471.58
143	11192	WEST PENN POWER	02/15/2021		

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
	1424-FEB21	STREET LIGHTS			2.30
	3057-FEB21	STREET LIGHTS			4.81
	3639-FEB21	HAVERSHIRE BLVD			14.60
			Total for Check Number 143:	0.00	21.71
392	11228	AMERICAN ROCK SALT COMPANY LI	02/15/2021		
	661134	BULK ICE CONTROL			8,359.46
	661638	BULK ICE CONTROL			4,220.16
	663049	BULK ICE CONTROL			2,070.83
			Total for Check Number 392:	0.00	14,650.45
393	10231	CLEARFIELD WHOLESALE PAPER CO	02/15/2021		
	505192	ICE MELTER			1,094.88
			Total for Check Number 393:	0.00	1,094.88
394	11228	AMERICAN ROCK SALT COMPANY LI	02/26/2021		
	0664557	BULK ICE CONTROL SALT			6,241.53
	0665177	BULK ICE CONTROL SALT			6,214.85
	0665906	BULK ICE CONTROL SALT			2,091.24
	0666590	BULK ICE CONTROL SALT			6,219.56
	0667212	BULK ICE CONTROL SALT			2,072.40
	0667984	BULK ICE CONTROL SALT			2,114.01
	0668614	BULK ICE CONTROL SALT			4,135.38
	0669982	BULK ICE CONTROL SALT			4,182.49
	0670706	BULK ICE CONTROL SALT			2,092.81
	0670707	BULK ICE CONTROL SALT			2,056.70
	0671328	BULK ICE CONTROL SALT			2,041.00
			Total for Check Number 394:	0.00	39,461.97
828	10243	COLUMBIA GAS OF PA INC	02/01/2021	VOID	
	20006-JAN21	PW BLDG 6			25.33
			Total for Check Number 828:	25.33	0.00
829	10236	CMT LABORATORIES	02/15/2021		
	2101034	PW BUILDING			70.00
			Total for Check Number 829:	0.00	70.00
830	11675	GREENFIELD ARCHITECTS LTD	02/15/2021		
	35	PW GARAGE			9,685.13
	36	PW GARAGE			10,737.78
			Total for Check Number 830:	0.00	20,422.91
831	11881	LEONARD S. FIORE INC	02/15/2021		
	14171	PW BLDG			301,809.26
			Total for Check Number 831:	0.00	301,809.26
832	11881	LEONARD S. FIORE INC	02/15/2021		
	14205	PW BLDG			439,553.60
			Total for Check Number 832:	0.00	439,553.60
833	11332	NTM ENGINEERING INC	02/15/2021	VOID	
	10606	PARK HILLS DRAINAGEWAY RESTORATIO			8,803.75

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
			Total for Check Number 833:	8,803.75	0.00
834	11888 10	WESTMORELAND ELECTRIC SERVICE PW BLDG	02/15/2021		60,297.66
			Total for Check Number 834:	0.00	60,297.66
835	10236 2012008	CMT LABORATORIES PW BUILDING	02/26/2021		67.50
			Total for Check Number 835:	0.00	67.50
836	11264 ESA016036-1	GROFF TRACTOR & EQUIPMENT 2AEX-68 TRENCH BOX PER ATTACHED QU	02/26/2021		7,601.00
			Total for Check Number 836:	0.00	7,601.00
837	11165 627	VIGILANT SECURITY PW BLDG 6 MONITOR	02/26/2021		656.74
			Total for Check Number 837:	0.00	656.74
838	11888 11 FEB21	WESTMORELAND ELECTRIC SERVICE PW BLDG	02/26/2021		122,394.02
			Total for Check Number 838:	0.00	122,394.02
10983	10491 3613	HINTON & ASSOCIATES TOTAL CARE MONTHLY NETWORK SUPPC	02/01/2021		21,679.00
			Total for Check Number 10983:	0.00	21,679.00
10984	10568 130566 130566	K & S DISTRIBUTION SLICONE/BRAKE PARTS AUTOMATIC TRANSMISSION PROTACTAN	02/01/2021		76.26 222.00
			Total for Check Number 10984:	0.00	298.26
10985	10243 20006-JAN21	COLUMBIA GAS OF PA INC PW BLDG 6	02/02/2021		25.33
			Total for Check Number 10985:	0.00	25.33
10986	10036 10107	ALTOONA MIRROR AD FOR ROAD WORKER	02/15/2021		345.00
			Total for Check Number 10986:	0.00	345.00
10987	11242 11DN-MV4V-4WT4 19PL-4YNV-D97K 1NDH-PLL3-JXMC 1QW6-IDXQ-T7HW	AMAZON CAPITAL SERVICES INC HOLSTER 2 EA WEAPON MOUNT TACTICAL FLASHLIGHT SAMSUNG BAR PLUS 64GB SAMSUNG BAR PLUS 32GB	02/15/2021		255.14 218.00 90.69 24.97
			Total for Check Number 10987:	0.00	588.80
10988	11239 91097 91252	ASAP HYDRAULICS STATE COLLEGE, HYDRAULIC TANK HYDRAULIC FITTINGS	02/15/2021		102.09 279.60
			Total for Check Number 10988:	0.00	381.69

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
10989	10085 147106	BASTIAN TIRE & AUTO CENTERS TIRES	02/15/2021		602.24
			Total for Check Number 10989:	0.00	602.24
10990	10103 614407	BI LO SUPPLY WATERLINE PIPE FOR BLDG #4	02/15/2021		294.19
			Total for Check Number 10990:	0.00	294.19
10991	10122 013121 9557	BOROUGH OF STATE COLLEGE DUI CHECKPOINT JAN WHITEHALL RD/BLUE COURSE DRIVE	02/15/2021		65.09 346.96
			Total for Check Number 10991:	0.00	412.05
10992	10126 200163 200832	BRADCO SUPPLY COMPANY LED BARRICADE LIGHT, AMBER SIGN	02/15/2021		396.00 -49.50
			Total for Check Number 10992:	0.00	346.50
10993	11224 70592	CAMPBELL DURRANT BEATTY PALO REGARDING REQUIRING COVID-19 VACCI	02/15/2021		522.08
			Total for Check Number 10993:	0.00	522.08
10994	10201 020521	CENTRE COUNTY UNITED WAY U-WAY	02/15/2021		32.00
			Total for Check Number 10994:	0.00	32.00
10995	10203 4858178 4862572 4863015	CENTRE DAILY TIMES AD FOR PW BOS MTG 2/01 BOS MTG 2/01	02/15/2021		686.00 258.96 241.59
			Total for Check Number 10995:	0.00	1,186.55
10996	10206 3670	CENTRE LIFELINK EMS FLU SHOTS	02/15/2021		661.25
			Total for Check Number 10996:	0.00	661.25
10997	11248 222541	CENTRO PRINT SOLUTIONS 1099 NEC/1099 S	02/15/2021		65.88
			Total for Check Number 10997:	0.00	65.88
10998	10231 505026	CLEARFIELD WHOLESALE PAPER CO CLEANER/DEGREASER/SPRAY NINE	02/15/2021		71.05
			Total for Check Number 10998:	0.00	71.05
10999	11376 013121 013121 013121	COLONIAL AUTO SUPPLY EXHAUST FLUID FILTERS BATTERIES/RELAY/WIPER BLADES	02/15/2021		72.24 39.28 333.82
			Total for Check Number 10999:	0.00	445.34
11000	11760 3199-JAN21	COMCAST FAX LINES	02/15/2021		298.12

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
			Total for Check Number 11000:	0.00	298.12
11001	10247 021521	COMMONWEALTH OF PA 2021 PESTICIDE LICENSE	02/15/2021		35.00
			Total for Check Number 11001:	0.00	35.00
11002	10346 020521	ECOLAWN 112 E CHESTNUT STREET	02/15/2021		90.00
			Total for Check Number 11002:	0.00	90.00
11003	11217 020521	FERGUSON TOWNSHIP POLICE ASSOC POLICE UNION DUES	02/15/2021		420.00
			Total for Check Number 11003:	0.00	420.00
11004	10396 021521 021521 021521	FISHER AUTO PARTS ANTIFREEZE BATTERIES HEADLIGHT CONNECTOR/LIGHT/BATTER	02/15/2021		29.28 170.98 575.04
			Total for Check Number 11004:	0.00	775.30
11005	11445 021221	GIANT FOOD STORES LLC SIGN PERMIT REFUND	02/15/2021		35.00
			Total for Check Number 11005:	0.00	35.00
11006	11820 012921	GWIN DOBSON & FOREMAN, INC. APPEAL REFUND	02/15/2021		500.00
			Total for Check Number 11006:	0.00	500.00
11007	11286 X204071572:01	HUNTER KEYSTONE PETERBILT, LP SWITCH	02/15/2021		334.74
			Total for Check Number 11007:	0.00	334.74
11008	10568 130560 130571 130571	K & S DISTRIBUTION 50W20 FULL SYN PREM/0W20 FULL SYN PI DIESEL FUEL SUPPLEMENT BRAKE PARTS CLEANER	02/15/2021		10,009.40 199.80 64.20
			Total for Check Number 11008:	0.00	10,273.40
11009	10618 9308188055 9308194666	LAWSON PRODUCTS INC SCREW/HEX NUT/FLAT WASHER/FLANGE SCREW/HEX NUT/FLAT WASHER/FLANGE	02/15/2021		38.35 180.30
			Total for Check Number 11009:	0.00	218.65
11010	10762 28659727 28674978	MARCO COPIER LEASE 3553CI COPIER LEASE M3550IDN	02/15/2021		351.26 137.34
			Total for Check Number 11010:	0.00	488.60
11011	10667 22586632	MATHESON TRI GAS INC DBA OXYGEN	02/15/2021		187.25

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
			Total for Check Number 11011:	0.00	187.25
11012	10669 S 12627 S 12748	MAXWELL TRUCK & EQUIPMENT LL PLOW BLADES HEADLIGHT	02/15/2021		589.62 377.47
			Total for Check Number 11012:	0.00	967.09
11013	10673 22757-0 25006-0 25058-0	MCCARTNEYS INC PENS SHEET PROTECTOR FOLDER, WALLET	02/15/2021		10.58 10.70 64.88
			Total for Check Number 11013:	0.00	86.16
11014	11812 1793799C3908	MEDEXPRESS HEPB/BLOOD DRAW ETTARO	02/15/2021		78.00
			Total for Check Number 11014:	0.00	78.00
11015	10701 020221	MILLER WELDING SERVICE 1/4X4X48"	02/15/2021		26.40
			Total for Check Number 11015:	0.00	26.40
11016	11807 1474368 1476529	MODEL UNIFORMS PW UNIF PW UNIF	02/15/2021		109.40 109.40
			Total for Check Number 11016:	0.00	218.80
11017	10773 7384817	OLD DOMINION BRUSH COMPANY IN SWING FORWARD & REVERSE COUNT/B	02/15/2021		393.61
			Total for Check Number 11017:	0.00	393.61
11018	10784 2021-077	PA CHAPTER OF APA 2021 MEMBERSHIP RENEWAL WARGO	02/15/2021		112.00
			Total for Check Number 11018:	0.00	112.00
11019	10798 892879	PA ONE CALL SYSTEM MONTHLY ACTIVITY FEE/SUPP MESSAGE:	02/15/2021		61.68
			Total for Check Number 11019:	0.00	61.68
11020	11422 61512334	PRAXAIR DISTRIBUTION INC WIRE/GLOVES	02/15/2021		109.79
			Total for Check Number 11020:	0.00	109.79
11021	10927 2870 2870	REDLINE SPEED SHINE FLEET MEMBERSHIP FLEET MEMBERSHIP	02/15/2021		280.33 280.33
			Total for Check Number 11021:	0.00	560.66
11022	10932 021521	RESERVE ACCOUNT POSTAGE BY PHONE FOR TAX PARCELS	02/15/2021		3,000.00
			Total for Check Number 11022:	0.00	3,000.00

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
11023	10939 Z63875-001	RITTER TECHNOLOGY LLC ELEMENT	02/15/2021		87.80
			Total for Check Number 11023:	0.00	87.80
11024	10955 4326	ROTHROCKS LOCKSMITH REPIN LOCK CYLINDER	02/15/2021		97.00
			Total for Check Number 11024:	0.00	97.00
11025	11017 1430569	SOSMETAL PRODUCTS INC LITHIUM BATTERIES/FASTUBE/ACID BRU:	02/15/2021		556.53
			Total for Check Number 11025:	0.00	556.53
11026	11029 18-324-26 20-132-2 20-418-4 20-418-5	STAHL SHEAFFER ENGINEERING LL ES-341 20-132 FERG TWP SIGNAL POLE INSP & AN ES-382 ES-382	02/15/2021		81.88 5,400.00 10,858.70 8,064.64
			Total for Check Number 11026:	0.00	24,405.22
11027	11035 012921	STATE COLLEGE BOROUGH WATER A LPD SIGN RENTAL RETURN	02/15/2021		125.00
			Total for Check Number 11027:	0.00	125.00
11028	11887 582407 582407 582407	STUCK ENTERPRISE CO PW FUEL POLICE FUEL DIESEL FUEL	02/15/2021		2,287.77 5,338.14 7,952.00
			Total for Check Number 11028:	0.00	15,577.91
11029	10493 27961797	THE HITE COMPANY BALLAST	02/15/2021		23.98
			Total for Check Number 11029:	0.00	23.98
11030	11113 013121	TRACTOR SUPPLY CREDIT PLAN PARTS	02/15/2021		611.99
			Total for Check Number 11030:	0.00	611.99
11031	11152 40460	VALLEY TRUCK & TRAILER SALES & SPREADER CONTROL	02/15/2021		314.64
			Total for Check Number 11031:	0.00	314.64
11032	11159 9872435267 9872435267 9872435267 9872435267 9872435267 9872435267 9872435267	VERIZON WIRELESS AIRTIME CARD ADM CELL USE POLICE CELL PHONE WITHHOLDING POLICE CELL USE PZ & OEO CELL USE HOT BOX PZ CELL PHONE WITHHOLDING	02/15/2021		40.01 42.33 10.00 92.61 87.34 40.28 -10.00
			Total for Check Number 11032:	0.00	302.57
11033	11165	VIGILANT SECURITY	02/15/2021		

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
	24183	MONITORING			597.72
			Total for Check Number 11033:	0.00	597.72
11034	11192	WEST PENN POWER	02/15/2021		
	0840-FEB21	WHITEHALL RD/RESEARCH DR			5.17
	3377-FEB21	BRISTOL AVE			0.51
	6113-FEB21	GARAGE/MAINT BLDG			369.29
	6651-FEB21	BIKE TUNNEL	01.433.036		5.95
	6725-FEB21	BLDG #3			490.07
	8100-FEB21	2100 W COLLEGE AVE	01.433.036		4.74
	8506-FEB21	BLUE COURSE DRIVE			79.79
			Total for Check Number 11034:	0.00	955.52
11035	11262	X-PERT COMMUNICATIONS	02/15/2021		
	9360	FIX INTERIOR DOOR NEAR MEETING ROC			150.00
			Total for Check Number 11035:	0.00	150.00
20200902	10016	AFLAC	02/26/2021		
	568970	INSURANCE WITHHELD			118.17
			Total for Check Number 20200902:	0.00	118.17
20200903	11242	AMAZON CAPITAL SERVICES INC	02/26/2021	VOID	
	13KX-PP1T-QR4T	4PK WATERSENTRY PLUS REPLACEMENT			220.50
	1KDY-T7JM-JWQH	LASER LABELS			14.67
	1XD1-PQF4-MPRC	9X12 BROWN ENV			24.98
			Total for Check Number 20200903:	260.15	0.00
20200904	11239	ASAP HYDRAULICS STATE COLLEGE,	02/26/2021		
	91371&91051	HOSE ASSY			198.58
			Total for Check Number 20200904:	0.00	198.58
20200905	11649	BABST CALLAND CLEMENTS AND ZC	02/26/2021		
	82046	PINE HALL LAND USE APPEALS CIRCLEV1			945.00
			Total for Check Number 20200905:	0.00	945.00
20200906	11910	BARTON ASSOCIATES	02/26/2021		
	51244	ES-409			700.00
			Total for Check Number 20200906:	0.00	700.00
20200907	10120	BORING COURT REPORTING	02/26/2021		
	022421	ZONING HEARING BOARD FOR TWP AND			75.00
	022421	ZONING HEARING BOARD FOR TWP AND			75.00
			Total for Check Number 20200907:	0.00	150.00
20200908	10122	BOROUGH OF STATE COLLEGE	02/26/2021		
	012921	DUI CHECKPOINT JAN 21			65.09
			Total for Check Number 20200908:	0.00	65.09
20200909	10124	KASANDRA BOTTI D O	02/26/2021		
	030421	NARCAN MEDICAL DIRECTION			250.00
			Total for Check Number 20200909:	0.00	250.00

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
20200910	10148 030221	CALIBRE PRESS VIDEO RENTAL	02/26/2021		1,656.00
			Total for Check Number 20200910:	0.00	1,656.00
20200911	10176 010421	CENTRAL PA CHIEFS OF POLICE 2021 MEMBERSHIP RENEWAL	02/26/2021		50.00
			Total for Check Number 20200911:	0.00	50.00
20200912	10184 128754	CENTRE COMMUNICATIONS INC RED/WHITE DOME LIGHT INSTALL/REPAI	02/26/2021		170.00
			Total for Check Number 20200912:	0.00	170.00
20200913	10201 021921	CENTRE COUNTY UNITED WAY U WAY	02/26/2021		32.00
			Total for Check Number 20200913:	0.00	32.00
20200913	10844 011521	PENNSYLVANIA EQUINE COUNCIL EQUINE LIABILITY SIGNS	02/01/2021		76.64
			Total for Check Number 20200913:	0.00	76.64
20200914	10203 1866874 4863745 4868332 4870143 4872855 4873726 4876493 4876935 4877219 4877219	CENTRE DAILY TIMES BOS MTG FOR ALL BOS MTGS BOS MTG FEB 23 BOS MTG STORMWATER SEALED BIDS 2021-C6 BOS MTG2/16 SEALED BIDS 2021-C8 SEALED BIDS 2021-C2 BOS MTG ORD#1066 BOS MTG FEB 23 SEALED BIDS FOR 2021-C9	02/26/2021 VOID		
				459.40 373.14 196.91 330.41 253.17 319.73 319.73 100.79 3,303.71 303.71	
			Total for Check Number 20200914:	5,960.70	0.00
20200914	11192 6563-FEB21	WEST PENN POWER 425 PARK CREST LANE	02/15/2021 93,454.249		81.75
			Total for Check Number 20200914:	0.00	81.75
20200915	10231 505026-1 505521	CLEARFIELD WHOLESALE PAPER CO SPRAY NINE ROLL TOWEL/C-FOLD TOWELS	02/26/2021		147.62 227.60
			Total for Check Number 20200915:	0.00	375.22
20200916	10234 INPP4112632	CLEVELAND BROTHERS EQUIP CO IN GAGE A PARTS	02/26/2021		106.28
			Total for Check Number 20200916:	0.00	106.28
20200917	10142 030121	CNET 4TH QTR 2020 COMCAST PEG FEE	02/26/2021		2,215.54
			Total for Check Number 20200917:	0.00	2,215.54
20200918	10241 47718	COLONIAL PRESS CRPS FINAL PLAN BOOK	02/26/2021		30.00

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
	47719	2500 #10 WINDOW ENV			210.00
	47760	7500 #10 ENV/5500 #9 REG ENV			822.00
			Total for Check Number 20200918:	0.00	1,062.00
20200919	10243	COLUMBIA GAS OF PA INC	02/26/2021		
	10007-FEB21	GARAGE GAS			2,327.90
	10007-JAN21	GARAGE GAS			2,174.13
	20006-FEB21	GAS			25.33
			Total for Check Number 20200919:	0.00	4,527.36
20200920	10284	CUSTOM ALTERATIONS	02/26/2021		
	423443	PANT REPAIR/POCKET REPAIR			11.00
			Total for Check Number 20200920:	0.00	11.00
20200921	10297	DAVIDHEISERS INC	02/26/2021		
	24063	SPEED CHECK/STOP WATCH/TRACKER/ES			1,266.00
			Total for Check Number 20200921:	0.00	1,266.00
20200922	11737	ECO-MAXX	02/26/2021		
	156998	USED OIL COLLECTED			201.50
			Total for Check Number 20200922:	0.00	201.50
20200923	10374	FEDERAL EXPRESS	02/26/2021	VOID	
	1089-1299-5	STND OVRNGHT		39.84	
			Total for Check Number 20200923:	39.84	0.00
20200924	11217	FERGUSON TOWNSHIP POLICE ASSOC	02/26/2021		
	021921	POLICE UNION DUES			420.00
			Total for Check Number 20200924:	0.00	420.00
20200925	10383	FERGUSON TWP AREA SENIOR CITIZI	02/26/2021		
	022621	2021 SENIOR CITIZENS DONATION			500.00
			Total for Check Number 20200925:	0.00	500.00
20200926	11483	FORCE AMERICA DISTRIBUTING LLC	02/26/2021		
	001-1518721	POWER CONTACTOR/SENSOR			393.61
			Total for Check Number 20200926:	0.00	393.61
20200927	10409	FRED CARSON DISPOSAL INC.	02/26/2021		
	86401	COMMERCIAL RECYCLING/CARDBOARD			11.00
			Total for Check Number 20200927:	0.00	11.00
20200928	11264	GROFF TRACTOR & EQUIPMENT	02/26/2021	VOID	
	PSO342349-1	MOTOR/RELAY		552.20	
	PSO342992-1	12A-15PSI		27.29	
			Total for Check Number 20200928:	579.49	0.00
20200929	11727	HUNTER TRUCK SALES	02/26/2021		
	R2208001796	FIX ENGINE			575.75
			Total for Check Number 20200929:	0.00	575.75

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
20200930	10515 58004	HYDRAULIC SOLUTIONS INC ORANGE MARKERS	02/26/2021		654.00
			Total for Check Number 20200930:	0.00	654.00
20200931	11253 7907MAR2021	INFRADAPT LLC CARRIER SERV LOCAL & LONG DISTANCE	02/26/2021		655.80
			Total for Check Number 20200931:	0.00	655.80
20200932	10554 33013	JARU ASSOCIATES INC PAPER BOX FOR ENGINEERING	02/26/2021		70.00
			Total for Check Number 20200932:	0.00	70.00
20200933	10506 2092 2093 2094 2095 2096	KEYSTONE CONSTRUCTION AND EAI SNOW REMOVAL 1/1,1/2,1/3,1/26,1/31 SNOW REMOVAL 2/1, 2/2, 2/3, 2/4,2/5 SNOW REMOVAL 2/7, 2/9, 2/10, 2/11 SNOW REMOVAL 2/13, 2/14, 2/15 SNOW REMOVAL 2/16, 2/18, 2/22	02/26/2021		3,515.00 3,800.00 2,185.00 1,805.00 2,375.00
			Total for Check Number 20200933:	0.00	13,680.00
20200934	10618 9308235303 9500232640	LAWSON PRODUCTS INC CAP/WASHER/SCREW BOLT/SCREW	02/26/2021		207.65 -29.68
			Total for Check Number 20200934:	0.00	177.97
20200935	11704 030121 030121 030121 030121	MADISON NATIONAL LIFE LTD BASIC LIFE AD&D STD VOL LIFE INS	02/26/2021		681.08 575.54 639.66 395.01
			Total for Check Number 20200935:	0.00	2,291.29
20200936	10762 28755157	MARCO COPIER 3252CI	02/26/2021		473.03
			Total for Check Number 20200936:	0.00	473.03
20200937	11839 INV8473379	MARCO TECHNOLOGIES LLC COPIER LEASE 1102RN2USO	02/26/2021		293.50
			Total for Check Number 20200937:	0.00	293.50
20200938	10667 23125701	MATHESON TRI GAS INC DBA ACETYLENE/ARG BAL/CO2	02/26/2021		158.87
			Total for Check Number 20200938:	0.00	158.87
20200939	10669 S 12803 S 12831 S 12832 S 12853 S 12875 S 12875 W 16879	MAXWELL TRUCK & EQUIPMENT LL BUMPER KIT CUTTING EDGE BOLTS CUTTING EDGE BOLTS PLOW REPAIRS FLANGE UNIT/TIMING BELT HYDRAULIC FLUID BUMPER KIT	02/26/2021		45.95 25.90 7.95 825.54 62.40 89.48 445.15

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
			Total for Check Number 20200939:	0.00	1,502.37
20200940	10673 25336-0	MCCARTNEYS INC FOLDERS	02/26/2021		36.57
			Total for Check Number 20200940:	0.00	36.57
20200941	10679 03331	DAVID MCMONAGLE CO-PAY FOR EAP REIMBURSEMENTS FOR	02/26/2021		100.00
			Total for Check Number 20200941:	0.00	100.00
20200942	10701 022521 030221	MILLER WELDING SERVICE PLATE 12'X6' 2PC STEEL FOR PLOWS	02/26/2021		75.00 415.00
			Total for Check Number 20200942:	0.00	490.00
20200943	11807 1478750 1480927 1483135	MODEL UNIFORMS PW UNIF CLN PW UNIF CLN PW UNIF CLN	02/26/2021		109.40 109.40 109.40
			Total for Check Number 20200943:	0.00	328.20
20200944	10712 030221	MONARCH CLEANERS POLICE UNIF CLN	02/26/2021		189.65
			Total for Check Number 20200944:	0.00	189.65
20200945	10760 013121	NOERR'S INTERNATIONAL - LEWISTO KIT/FILTER/AIR FILTER/FUEL FILTER	02/26/2021		261.76
			Total for Check Number 20200945:	0.00	261.76
20200946	11332 10728 10728 10728 10728 10728 10728 10728	NTM ENGINEERING INC ES-382 ES-1119 ES-417 ES-341 ES-416 ES-414 ES-398	02/26/2021		82.75 1,489.50 82.75 855.00 82.75 248.25 3,392.75
			Total for Check Number 20200946:	0.00	6,233.75
20200947	11378 F73000428511	P & A GROUP MONTHLY ADM FEE	02/26/2021		85.50
			Total for Check Number 20200947:	0.00	85.50
20200948	10785 0104 010421	PA CHIEFS OF POLICE ASSOCIATION 2021 MEMBERSHIP RENEWAL 2021 ACCREDITATION FEE	02/26/2021		150.00 1,000.00
			Total for Check Number 20200948:	0.00	1,150.00
20200949	10830 10084 10884 10884	PENN PRIME TRUST Police Liability Property Insurance Crime Insurance	02/26/2021		7,739.32 17,534.42 483.71

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
	10884	Vehicle Insurance			7,779.63
	10884	Public Officials			6,771.92
			Total for Check Number 20200949:	0.00	40,309.00
20200950	10831 10851	PENN PRIME WORKERS COMPENSATI WC RENEWAL	02/26/2021		36,195.00
			Total for Check Number 20200950:	0.00	36,195.00
20200951	10846 021221	PENNSYLVANIA MUNICIPAL LEAGUE L3P MEMBERSHIP	02/26/2021		65.00
			Total for Check Number 20200951:	0.00	65.00
20200952	11422 61725588	PRAXAIR DISTRIBUTION INC CLAMP	02/26/2021		24.29
			Total for Check Number 20200952:	0.00	24.29
20200953	11902 24611	PRECISE TRIAL, LLC PINE HALL TTD	02/26/2021		1,213.24
			Total for Check Number 20200953:	0.00	1,213.24
20200954	10955 4352	ROTHROCKS LOCKSMITH PRIVACY LEVERSET/INSTALL HARDWARE	02/26/2021		260.00
			Total for Check Number 20200954:	0.00	260.00
20200955	10973 022721	SAMS CLUB / SYNCHRONY BANK ADM MEMBERSHIP DUES	02/26/2021		100.00
			Total for Check Number 20200955:	0.00	100.00
20200956	11614 ARV/46872250 ARV/46891471 ARV/46921022	SNAP ON INDUSTRIAL MACH SCRW THR TAP/TORX INSERT/SHL BATTERY BRAKE BLEEDER	02/26/2021		114.70 127.78 86.28
			Total for Check Number 20200956:	0.00	328.76
20200957	11017 1432141	SOSMETAL PRODUCTS INC CLAMP/COUPLER SET/HOSE NOZZLE	02/26/2021		266.25
			Total for Check Number 20200957:	0.00	266.25
20200958	11012 3322	SPRINGBROOK NATIONAL USER GRO MEMBERSHIP RENEWAL 2021	02/26/2021		100.00
			Total for Check Number 20200958:	0.00	100.00
20200959	11794 INV-005225	SPRINGBROOK HOLDING COMPANY, A/R & CASH & FIXED ASSEST & PROJ MAN	02/26/2021		18,372.90
			Total for Check Number 20200959:	0.00	18,372.90
20200960	11887 579253 579253	STUCK ENTERPRISE CO PW FUEL POLICE FUEL	02/26/2021		1,112.10 2,594.90
			Total for Check Number 20200960:	0.00	3,707.00

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Void Checks	Check Amount
20200961	11665 17428-00	TERMINAL SUPPLY COMPANY LED COMBINATION SPOT/FLOOD LIG	02/26/2021		139.31
Total for Check Number 20200961:				0.00	139.31
20200962	10493 27836029&278344	THE HITE COMPANY LIGHTS	02/26/2021		116.91
Total for Check Number 20200962:				0.00	116.91
20200963	11137 130248910	ULINE GLASS WIPES/GLASSES	02/26/2021		123.05
Total for Check Number 20200963:				0.00	123.05
20200964	11192 0840-FEB21 2449-FEB20 3377-FEB21 5727-FEB21 6113-FEB21 6725-FEB21 8100-FEB21 9608-FEB21	WEST PENN POWER WHITEHALL RD/RESEARCH DR WESTERLY PKWY BLUE CR BL BRISTOL AVE OFFICE COMPLEX GARAGE/MAINT BLDG BLDG #3 2100 W COLLEGE AVE 3147 RESEARCH DR	02/26/2021		44.90 34.32 37.27 870.06 509.75 590.74 46.91 621.95
Total for Check Number 20200964:				0.00	2,755.90
20200965	11199 1109261-01 1109272-01 1109283-01 1109332-01	WILLIAMS BROTHERS HEX/HEX NUT/FLAT WASHER HEX/HEX NUT HEX/HEX NUT/SKT CAP/HEX NUT/BLADE/HHCS	02/26/2021		122.00 50.00 35.20 36.07
Total for Check Number 20200965:				0.00	243.27
20200966	10771 2084739	WITMER PUBLIC SAFETY GROUP INC BADGES	02/26/2021		276.00
Total for Check Number 20200966:				0.00	276.00
Report Total (145 checks):				22,890.59	1,296,372.06

RESOLUTION NO. _____

A RESOLUTION OF THE TOWNSHIP OF FERGUSON, CENTRE COUNTY, PENNSYLVANIA, AUTHORIZING THE FILING OF THE GRANT APPLICATION TO THE PENNSYLVANIA DEPARTMENT OF COMMUNITY AND ECONOMIC DEVELOPMENT STATE FUNDING ADMINISTERED THROUGH THE GREENWAYS, TRAILS AND RECREATION PROGRAM FOR THE PARK HILLS DRAINAGEWAY PROJECT.

BE IT RESOLVED, that the Board of Supervisors of Ferguson Township hereby request a Greenways, Trails and Recreation Program (GTRP) grant of \$250,000.00 from the Commonwealth Financing Authority to be used for the rehabilitation and improvement construction activities of the Park Hills Drainageway.

BE IT FURTHER RESOLVED, that the Board of Supervisors of Ferguson Township hereby designate Laura Dininni, Chair of Board of Supervisors and David Pribulka, Township Manager, as the officials to execute all documents and agreements between Ferguson Township and the Commonwealth Financing Authority to facilitate and assist in obtaining the requested grant.

RESOLVED, this 5th day of April 2021.

TOWNSHIP OF FERGUSON

By: _____
Laura Dininni, Chair
Board of Supervisors

[S E A L]

ATTEST:

By: _____
David Pribulka, Secretary

CERTIFICATION

I, **David G. Pribulka**, Secretary of the Ferguson Township, do hereby certify that the forging is a true and correct copy of the Resolution adopted at a regular meeting of the Board of Supervisors, held the 5th day of April 5, 2021.

David G. Pribulka, Secretary



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: The Ferguson Township Board of Supervisors

FROM: Kristina Aneckstein, Community Planner

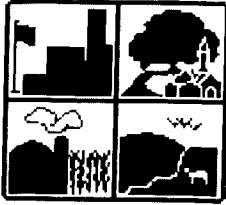
DATE: March 26, 2021

SUBJECT: Application for Consideration of a Modification/Waiver

PennTerra Engineering, Inc, on behalf of their client, has requested a Modification/Waiver from Section 22-22.504.2.A.2 – Lot Frontage and Access. This section of the ordinance requires a Private Street Agreement to be signed by all property owners who access the private street. Calder Way is an alley that was created as part of the original subdivision plan and exists for the use and enjoyment of those lots created during the subdivision. The alley is in common ownership by all of the lots that created the alley and requiring all properties adjacent to Calder Way (Buckhout Street to Corl Street) to sign a Private Street Agreement presents an unreasonable hardship on the applicant since the applicant will be maintaining the alley in its entirety (from Buckhout Street to Butz Street). The applicant has included as Note 18 on the attached plan sheet their maintenance responsibilities for that section of Calder Way.

Staff and Planning Commission have reviewed the application and recommend approval with the condition that the applicant submit a Private Street Agreement, with the Township as a party, that will include pre-construction, post-construction, maintenance and indemnity for the length of Calder Way between Buckhout Street and Butz Street.

Recommendation: *The Planning Commission recommends to the Board of Supervisors approval of the Application for Consideration of a Modification from §22-22.504.2.A.2 – Lot Frontage and Access with noted conditions above.*



APPLICATION FOR CONSIDERATION OF A MODIFICATION
Ferguson Township, Centre County

Submittal Date: **3/18/2021**

A fee of \$50.00 is required at the time of submitting this application.

The undersigned hereby applies for approval of a modification/waiver, submitted herewith and described below:

Applicant Information

Aspen Heights Partners LLC/York Acquisitions

Name

8008 Corporate Center Drive, Suite 100 Charlotte, NC 28226

Street Address

City

Zip

704-274-2221

Phone Number

Property/Plan Information

West College Student Housing

Plan Name

8/14/2020

Plan Number

Plan Date

West College Avenue and Buckhout Street 24-002A-015

Project Location

Parcel Number

Scott L. & Glenda C. Yocum

Name of Property Owner(s)

P.O. Box 57 Boalsburg 16827

Street Address

City

Zip

Application Type:

Subdivision

Terraced Streetscape District (TSD)

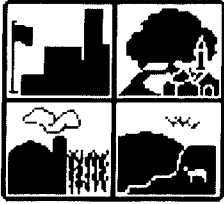
Land Development

Traditional Town Development (TSD) District

Modification/Waiver Request Information

Specific Section(s) of the Subdivision and Land Development Ordinance or Design Standards for which a Modification/Waiver is requested:

§22-504.2.A.(2).



APPLICATION FOR CONSIDERATION OF A MODIFICATION
Ferguson Township, Centre County

State any proposed alternative(s) to the requirement:

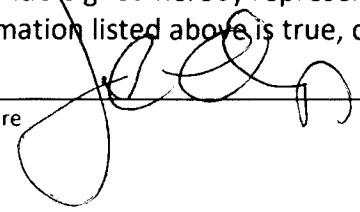
The ordinance of which the modification is requested requires a private road agreement signed by all property owners who access the private road. Calder Way is an alley that is neither a public street nor a private street that serves specific individual lots. In lieu of preparing a private road agreement, notes have been placed on the land development plan stating that the developer and/or owner of the project will upgrade in maintain the alley between Butz Street and South Buckout Street.

Please state in full, the grounds and facts of the unreasonableness or hardship the Ferguson Township Subdivision and Land Development Ordinance has placed on the property.

The ordinance of which the modification is requested requires a private road agreement signed by all property owners who access the private road. Calder Way is an alley that is neither a public street nor a private street that serves specific individual lots, thus requiring all properties that have access to the lots signing the agreement presents an unreasonable hardship on the applicant.

*If necessary, please continue with your hardship specification on another page.

The undersigned hereby represents that, to the best of their knowledge and belief, all information listed above is true, correct, and complete.

Signature 

Date 3/18/21

-For Office Use Only-

Date Received: _____ By: _____

Date Paid: _____ Check No.: _____ Amount: _____

Advertisement Dates: _____ Planning Commission Review Date: _____

Board of Supervisors Meeting Date: _____

Owners Certification Tax Parcel _____

Commonwealth of Pennsylvania
County of Centre

On this _____ day of _____, 20____, _____, personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

witness my hand and seal, this date _____

Notary Public Commission Expires _____

Storm Water Facilities Acknowledgement

I/We, _____ the landowner(s), my/our heirs and assigns, acknowledge the Stormwater Management System to be a permanent facility which can be altered or removed only after approval of a revised plan by the Ferguson Township Board of Supervisors. The stormwater management system is to be maintained in accordance with the approved ownership and maintenance program.

Township Engineer Certification

I, _____, have reviewed and hereby certify that the plan meets all engineering design standards and criteria of the Ferguson Township Code of Ordinances.

Municipal Storm Water Certification

I, _____, 20____, have reviewed the Stormwater Management Plan in accordance with the design standards and criteria of the Ferguson Township Stormwater Management Ordinance.

Township Planning Commission
Ferguson Township Planning Commission Approved

Chairman Date _____

Secretary Date _____

Township Supervisors
Ferguson Township Supervisors Approved

Chairman _____

Secretary _____

Fire Chief Certification

I have reviewed and hereby certify that the location of Fire Lanes and Fire Hydrants shown on this plan are adequate.

Fire Chief _____

Professional Land Surveyor Certification

I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

Signature _____

Storm Water Certification

I, _____, hereby certify that the Stormwater Management Plan meets all design standards and criteria of the Ferguson Township Stormwater Management Ordinance.

Design Engineer Certification

I, _____, hereby certify that this land development meets all design requirements of the Subdivision and Land Development Ordinance, Zoning Ordinance and all other applicable Chapters of Ferguson Township Code.

PROJECT NOTES:

- Property Owner Information:** Scott L. & Glenda C. Yocum, PO Box 57, Boalsburg, PA 16827
Developer Information: Aspen Heights Partners, 8008 Corporate Center Drive, Charlotte, NC 28226
- General Site Information:**
a. Tax Parcel No.: 24-002A-015
b. Site Address: 914 West College Ave, State College, PA 16801
c. Municipality: Borough of State College
d. Zoning: Planned Commercial (CP-2) District
e. Deed Information: Terraced Streetscape (TS) District
f. Existing Site/Lot Size: Record Book _____, Page _____, 49,489 S.F. (1.136 Acres)
- Zoning Information:** (Note: All Zoning Information pertains to the Ferguson Township portion of the project.)
a. Proposed Site Use: Multi-Family Residential Apartment Building with Commercial/Retail Space on the First Floor.
b. Front Yard Setback: 12' From the back edge of the curb on College Avenue
c. Side Yard Setbacks: 0'-Side yard adjacent to lot that Fronts on West College Avenue
d. Rear Yard Setbacks: 17'-Abutting on Alley which coincides with a district boundary
e. Maximum Building Height: 55' (Additional height up to 75' for lots of at least one acre may be obtained through the use of incentives. See §27-703.3 for more information.)
f. Proposed Building Height: 74.8'
g. Proposed Building Coverage: 61.56% (30,465 S.F.)
h. Maximum Impervious Coverage: 75.00% (37,117 S.F.)
i. Existing Impervious Coverage: 50.76% (25,119 S.F.)
j. Proposed Impervious Coverage: 74.64% (36,940 S.F.)
k. A Variance was granted by the Ferguson Township Zoning Hearing Board on February 25, 2020 allowing parking on the first floor of the building.
l. Building Area Information:
Residential (TS District): 145,880 SF
Commercial (TS District): 7,488 SF
Professional Office (CP-2, Borough of State College): 1,208 SF
- Unit and Bed Calculations:**

Unit Type	Number of Units	Number of Beds
2 Bedroom (B1)	9	18
2 Bedroom (B1 Type A)	1	2
2 Bedroom (B2)	10	20
2 Bedroom (B3)	20	60
3 Bedroom (C1)	55	165
3 Bedroom (C1 Type A)	1	3
Totals:	96	268 (All Within Ferguson Township)
- Automobile Parking Calculations:**
Required Parking (Ferguson Township):
Residential (TS District): Residential parking within the TS District shall be provided at the rate of 1.5 spaces for each unit that is two bedrooms or larger.
96 Units * 1.5 Spaces = 144 Spaces Required
Non-Residential (TS District): Parking for non-residential uses within the TS District shall be provided at the rate of 1/500 square feet.
7,488 SF * 1 Space per 500 SF = 15 Spaces Required
Required Parking (Borough of State College):
Professional Office: 1 Space per 300 square feet of gross floor area
1,208 SF * 1 Space per 300 SF = 4 Spaces Required
Total Required Parking:
Ferguson Township Total: 159 Spaces
Borough of State College Total: 4 Spaces
Total Parking Required: 163 Spaces
Total Parking Provided: 165 Spaces (159 In the Parking Structure and 6 Exterior)
- Bicycle Parking Calculations:**
Short-Term: 268 Beds * 0.05 Spaces per Bedroom = 13.4
14 Short-Term Bicycle Parking Spaces Required
Long-Term: There are no Long-Term Bicycle Parking Spaces required for this project since multi-family dwelling units with private garages are proposed. See §22-502C.A.1.
- Natural Site Features & Survey Information:**
a. Soil limits and descriptions have been taken from the Natural Resources Conservation Service Web Soil Survey dated June 2020.
b. There are no portions of this property located within a Zone 'A' 100-year Flood Plain according to the Federal Emergency Management Agency (FEMA) Map Number 42027C0636F for the Borough of State College, effective date May 4, 2009.
c. There are no wetlands on the property according to the National Wetlands Inventory (U.S. Fish & Wildlife Service) for State College, PA, last updated June 2020.
d. Horizontal Datum is Pennsylvania North Zone State Plane Coordinates, North American Vertical Datum of 1983 (PA NAD83) U.S. Feet
e. Elevation Datum is the North American Vertical Datum of 1988 (NAVD 88)
f. The Project Benchmark is the top of casting of the sanitary sewer manhole in the median island at the intersection of West College Avenue and South Buckhout Street, as shown on the plan. Elevation = 1183.66'.
g. Field monumentation of the Municipal Boundary Line could not be located. Plans of Record, field survey data, and PennDOT mapping was used to determine the location as shown on the plan.
- Act 287 Information:**
Serial No. 20200352498 (Borough of State College)
Serial No. 20200352497 (Ferguson Township)
All utility locations should be verified prior to any construction, utility information and locations should be considered approximate. Contractor shall notify PA One Call prior to any excavation.
a. **Electric:** West Penn Power Company, 2800 E. College Ave, State College, PA 16801 - Phone: (800) 686-0021
b. **Telephone:** Verizon, Facility Management Center, 224 S. Allen Street, State College, PA 16801 - Phone: (814) 231-6511
c. **TV Cable:** Comcast, 250 Reese Road, State College, PA 16801 - Phone: (888) 266-2278
d. **Gas:** Columbia Gas of Pennsylvania, 2550 Carolean Drive, State College, PA 16801 - Phone: (814) 238-6775
e. **Sanitary Sewer Treatment:** University Area Joint Authority (UAJA), 1576 Spring Valley Road, State College, PA 16801 - Phone: (814) 238-5361
f. **Sanitary Sewer Collection & Conveyance:** State College Borough Sewer Authority, 243 S. Allen Street, State College, PA 16801 - Phone: (814) 234-7135
University Area Joint Authority (UAJA), 1576 Spring Valley Road, State College, PA 16801 - Phone: (814) 238-5361
g. **Water:** State College Borough Water Authority (SCBWA), 1201 West Branch Road, State College, PA 16801 - Phone: (814) 238-6766
- Project References:**
a. "Final Plan Lot Consolidation of Tax Parcels 24-002A-015 & 24-002A-016 & 24-002A-017 & 24-002A-018 & 36-010-006", prepared by PennTerra Engineering, Inc. and dated August 14, 2020.
b. "Post Construction Stormwater Management Plan Narrative", prepared by PennTerra Engineering, Inc., last revised March 19, 2021.
c. "Erosion & Sedimentation Control Plan Narrative", prepared by PennTerra Engineering, Inc., last revised February 19, 2021.
d. "Traffic Impact Study For The Proposed Aspen Heights Partners Development", prepared by David E. Wooster & Associates, inc., dated August 19, 2020, and last revised March 1, 2021.
e. "West College Student Housing Stormwater Management Site Plan", prepared by PennTerra Engineering, Inc., dated February 19, 2021, and last revised March 19, 2021.
- As-built drawings/documentation of the stormwater management facilities must be prepared in accordance with Chapter 26 §26-402D.4 and submitted to Ferguson Township at the completion of construction as a prerequisite of issuance of Occupancy Permit. As-built drawings/documentation of the stormwater management facilities must also be submitted to the Borough of State College in accordance with §14-224.h of the Stormwater Management Ordinance.
- Face area and height for all signs shall conform to the Ferguson Township Sign Ordinance and will be included with the Final Plan.
- Plan Purposes:**
The purpose of this plan is to construct a one story mixed-use building within the Planned Commercial District (CP-2) in the Borough of State College, and a six story mixed-use building within the Terraced Streetscape District (TS) in Ferguson Township. The building will consist of two subsurface floors of underground parking, one floor containing commercial space, and five floors of multi-family residential apartments located in Ferguson Township. Refer to the Architectural Plans prepared by BSB Design, Inc. for additional building information.
- Additional Planning Information:**
a. The proposed building will be fully sprinklered with automatic wet-pipe & dry-pipe sprinkler systems. Standpipes with fire hose valves will be provided in the stairs. An internal fire pump will support the sprinkler and standpipe systems. All fire protection systems in the building will be designed and installed in accordance with NFPA 13, NFPA 14, NFPA 20, and local building and fire codes. An integral Siamese Fire Department Connection will also be provided as coordinated between the Developer, Architect, and the Centre Regional Council of Governments Regional Fire Protection Program Fire Director.
b. Highway Occupancy Permits are required from the Pennsylvania Department of Transportation for all construction activities located within the state Right-of-Way along West College Avenue.
c. All "Refuse and Recycling" collection bins/dumpsters/compactors will be typically located inside of the building's refuse and recycling area. On refuse/recycling collection days, all collection bins/dumpsters/compactors will be moved outside of the building to the loading space, and then returned to the building after collection.
- This Record Plan conforms with the plan receiving final approval by the Ferguson Township Board of Supervisors on _____. All improvements are or will be installed in accordance with such Plan in a manner and time so specified therein.

- The date of application for a Zoning Permit is August 17, 2020.
- Pre-construction meetings are required prior to starting work to discuss stormwater and public improvements. Please contact the Municipal Engineer to schedule the meeting.
- A Township Pave Cut Permit must be obtained for the sewer connection at Butz Street prior to issuing a Zoning Permit for this development.
- Calder Way between Butz Street and South Buckhout Street shall be maintained, cleared of snow and ice, and remain passable at all times by the developer and/or owner of the project. Failure of the owner and/or developer to maintain the alley in a passable condition at all times shall be sufficient reason for the Township to enter the site in an emergency to maintain, to clear snow and ice, and to make the alley passable, and to bill the responsible parties for the cost of said work. If the parties fail to pay said charges, the Township may collect the charges through a municipal lien plus interest, costs and attorney fees. Forced maintenance by the Township under this section shall not be construed as the Township's acceptance, or potential acceptance of the alley.
- A Fee-in-Lieu of Parkland will be offered for the 96 Residential Units in this project based on the following Ferguson Township Fee Schedule.
96 Units X 2.54 persons per unit X \$1,225.00 per person = \$298,704 Fee-In-Lieu of Parkland
- The project will provide full-time on-site management.
- An as-built drawing of the sinkhole repair shall be submitted to the township as part of the stormwater as-builts drawings.
- A Sidewalk Easement Agreement has been recorded in RB _____, PG _____ for the concrete sidewalk located along West Calder Way and a section of sidewalk located along West College Ave (SR0026).

FIRE FLOW INFORMATION:

Fire Hydrant # 30228
Location: North Butz Street @ Cross Alley
Flow Information
Test Date: 07/17/2019
Pressure: Static: 37 psi
Residual: 15 psi
Flow: 850 gpm

Fire Hydrant # 30212
Location: West College Avenue @ North Buckhout Street
Flow Information
Test Date: 07/17/2019
Pressure: Static: 46 psi
Residual: 38 psi
Flow: 1,325 gpm

Fire Hydrant # 30208
Location: West Beaver Ave @ South Buckhout Street
Flow Information
Test Date: 07/12/2019
Pressure: Static: 50 psi
Residual: 40 psi
Flow: 1,300 gpm

PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

WWW.PENNTERRA.COM

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Designer _____ EAH
Draftsman _____ EAH
Proj Manager _____ JCS
Surveyor _____ BRK
Perimeter Ok _____
Book _____ S42, Pg _____ 42
Acad _____ 19052-FERGUSON-PRELIMINARY-LD-SIG
Layout _____ SIG-NOTES

Date	Description
03/19/21	REVIEW PER FERGUSON TOWNSHIP COMMENTS
02/19/21	REVIEW PER FERGUSON TOWNSHIP COMMENTS
01/21/21	REVIEW PER FERGUSON TOWNSHIP COMMENTS
12/18/20	REVIEW PER FERGUSON TOWNSHIP COMMENTS
11/26/20	REVIEW PER FERGUSON TOWNSHIP COMMENTS

WEST COLLEGE STUDENT HOUSING

FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

SIGNATURE & NOTES PAGE

PROJECT NO.
19052

DATE
AUGUST 14, 2020

SCALE	SHEET NO.
N.T.S.	4



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: The Ferguson Township Board of Supervisors

FROM: Kristina Aneckstein, Community Planner

DATE: March 26, 2021

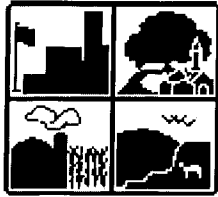
SUBJECT: Application for Consideration of a Modification/Waiver

Property owners, Daniel and Kelly Wright, have submitted an Application for Consideration of a Modification/Waiver from §22-104.1.B.(1)—Establishment of Controls; Applicability for their 44-acre property at 1000 North Nixon Road (24-003C,054-,0000-, Rural Residential; RR). There is currently one dwelling on the parcel and the applicants are proposing to construct a new dwelling on the property. During construction of the new dwelling, the owners will live in the existing dwelling and demolish the existing structure within 6 months of receiving a Certificate of Occupancy for the new dwelling.

In accordance with the PA Municipalities Planning Code (MPC) and the Township's Subdivision and Land Development Ordinance (SALDO), the addition of the second dwelling requires the applicant to submit a land development plan and go through the land development plan process.

The applicants have requested a waiver to complete a land development plan with the condition that the existing dwelling will be demolished within 6 months of receiving a Certificate of Occupancy for the new dwelling and the applicant will comply with all other State Regulations. Staff and Planning Commission have reviewed the request and have no additional conditions to include with the application.

Recommendation: *The Planning Commission recommends the Board of Supervisors approve the Wright Property's Modification/Waiver with the condition that the existing dwelling be demolished within 6 months of receipt of a Certificate of Occupancy and comply with all other State Regulations.*



APPLICATION FOR CONSIDERATION OF A MODIFICATION
Ferguson Township, Centre County

Submittal Date: 24-Feb-2021

A fee of \$50.00 is required at the time of submitting this application.

The undersigned hereby applies for approval of a modification/waiver, submitted herewith and described below:

Applicant Information

Daniel J and Kelly A Wright

Name

1020 Laurel Crest Dr.

West Columbia, SC

29169

Street Address

City

Zip

803-931-2763

Phone Number

Property/Plan Information

Daniel J and Kelly A Wright property

Plan Name

203201

02/12/2021

Plan Number

Plan Date

1000 North Nixon Road

RB2252, P562 UPI #24-3C/54 PB 24, P25 lot 54

Project Location

Parcel Number

Daniel J and Kelly A Wright

Name of Property Owner(s)

1000 North Nixon Road

State College

16803

Street Address

City

Zip

Application Type:

Subdivision

Terraced Streetscape District (TSD)

Land Development

Traditional Town Development (TSD) District

Modification/Waiver Request Information

Specific Section(s) of the Subdivision and Land Development Ordinance or Design Standards for which a Modification/Waiver is requested:

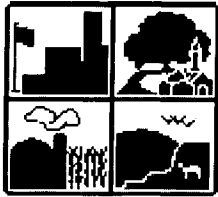
We request a waiver from completing a land development plan

as required by the Township Subdivision and Land Development

ordinance for the construction of a second dwelling on our 44 acre parcel.

We will demolish the original structure within 6 months of obtaining a

certificate of occupancy for the new dwelling.



APPLICATION FOR CONSIDERATION OF A MODIFICATION
Ferguson Township, Centre County

State any proposed alternative(s) to the requirement:

NA

Please state in full, the grounds and facts of the unreasonableness or hardship the Ferguson Township Subdivision and Land Development Ordinance has placed on the property.

For a variety of reasons we would like to occupy the cabin structure only during the building of our new home. Reasons include: close access to monitoring and contributing to the build, cost savings including minimizing our carbon footprint associated with traveling from relatives home to construction site, ability to quarantine as may be needed during 2021 as Covid-19 likely ongoing, etc. To that end, we simply want to take advantage of the home that is already on the site and remove it once we can move into our new home.

*If necessary, please continue with your hardship specification on another page.

The undersigned hereby represents that, to the best of their knowledge and belief, all information listed above is true, correct, and complete.

Daniel J and Kelly A Wright
Signature

24-Feb-2021
Date

-For Office Use Only-

Date Received: _____ By: _____

Date Paid: _____ Check No.: _____ Amount: _____

Advertisement Dates: _____ Planning Commission Review Date: _____

Board of Supervisors Meeting Date: _____

NOTES

- Existing contour lines plotted from PAMAP LIDAR mapping and field data. Elevations are referenced to the North American Vertical Datum of 1988.
- Bearing base is the North American Horizontal Datum of 1983, PA State Coordinate System, North Zone established using GPS observations taken June, 2008.
- Building Setback Lines-Rural Residential (RR): Front-(50-feet from right-of-way street), Side-(50-feet from property line) and Rear-(75-feet from property line).
- There are no Flood Boundary Areas on UPI #24-3/7E as displayed on the FEMA Flood Insurance Rate Map, Community-Panel No. 420260C0618F, revised date: May 4, 2009.
- There are no Wetlands Areas on UPI #24-3/7E as displayed on U.S. Fish and Wildlife Service, National Wetlands Inventory Mapping data.
- The areas around the suitable soil logs test pits are to remain undisturbed to provide for primary and replacement absorption areas for on-lot septic systems. No construction or activity may occur which would render these areas unsuitable for sewage disposal.
- The existing old camp on UPI #24-3/7E will be removed as part of this action and the proposed new home will then be the primary residence on the tract.

SOILS TABLE

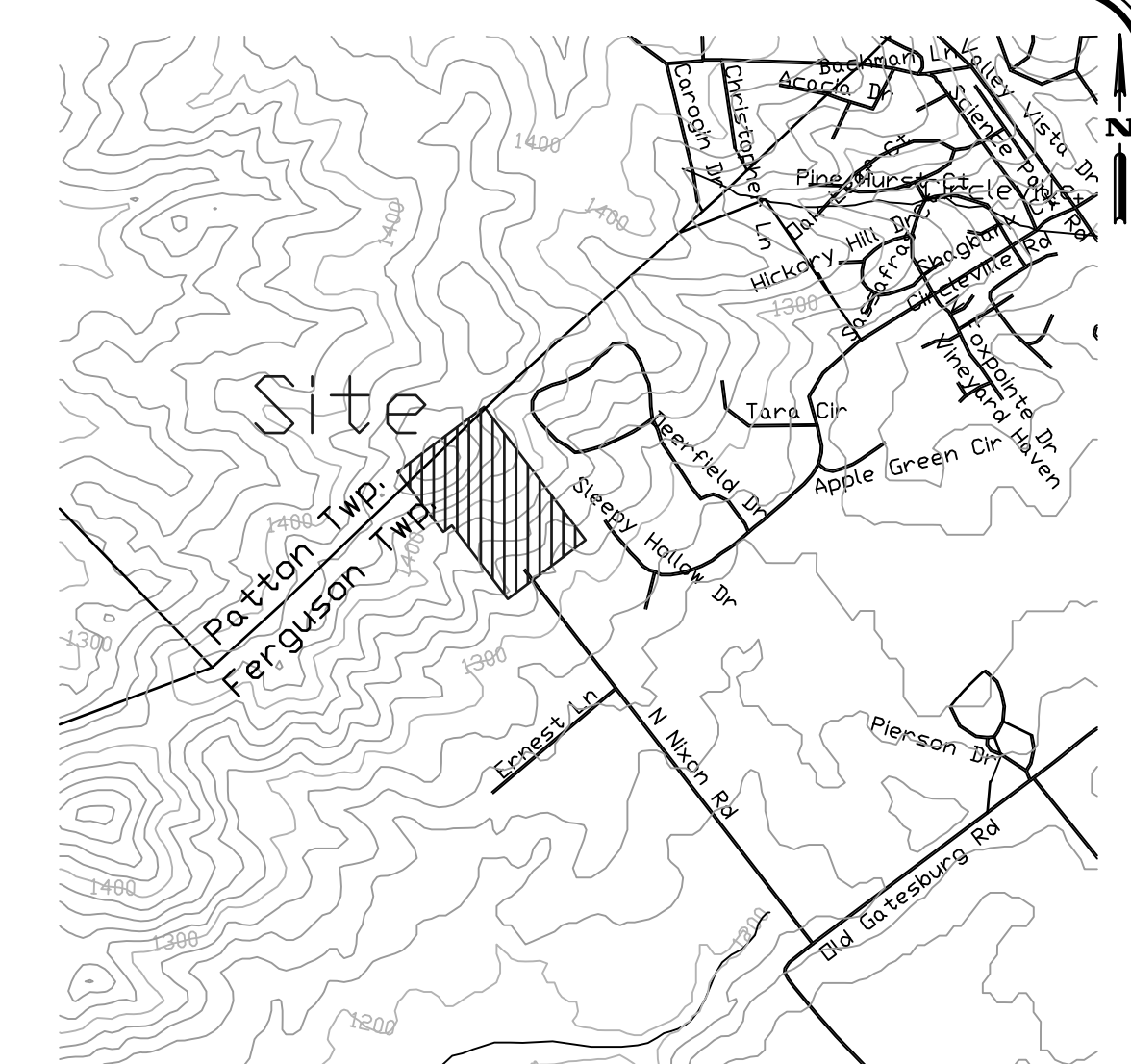
- MrB - Morrison sandy loam, 2 to 8% slopes - Prime Farmland
 MrC - Morrison sandy loam, 8 to 15% slopes - Prime Farmland
 MsD - Morrison very stony sandy loam, 15 to 25% slopes

UTILITIES

ELECTRIC: West Penn Power
 2800 E. College Ave.
 State College, PA 16801
 (814) 231-5336

TELEPHONE: Verizon
 224 Allen St.
 State College, PA 16801
 (814) 231-6511

CALL BEFORE YOU DIG !!
 PENNSYLVANIA LAW REQUIRES
 (1) WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND
 (10) WORKING DAYS IN DESIGN STAGE
 - STOP & CALL -
 Pennsylvania One Call System, Inc.
 1-800-242-1776

LOCATION MAP
 JULIAN U.S.G.S. QUADRANGLE
 SCALE: 1"=2000'

SITE DATA

Zoning: Rural Residential (RR)
 Number of Lots: One (1)
 Area:
 Original Tract: 44.319 Acres
 Sewage Disposal: On-Site
 Water Source: On-Site
 Title Source: Record Book 2252, Page 562
 Tax Parcel No.: 24-3/7E
 Owners: Daniel J. and Kelly A. Wright
 1020 Laurel Crest Dr.
 West Columbia, SC 29169
 Phone No.: (803) 931-2763
 Use: Residential

OWNERSHIP

STATE OF SOUTH CAROLINA
 COUNTY OF LEXINGTON

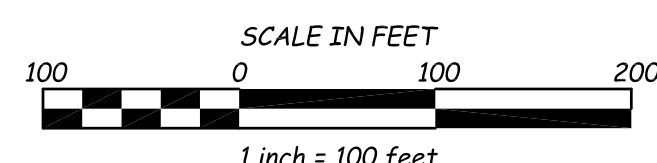
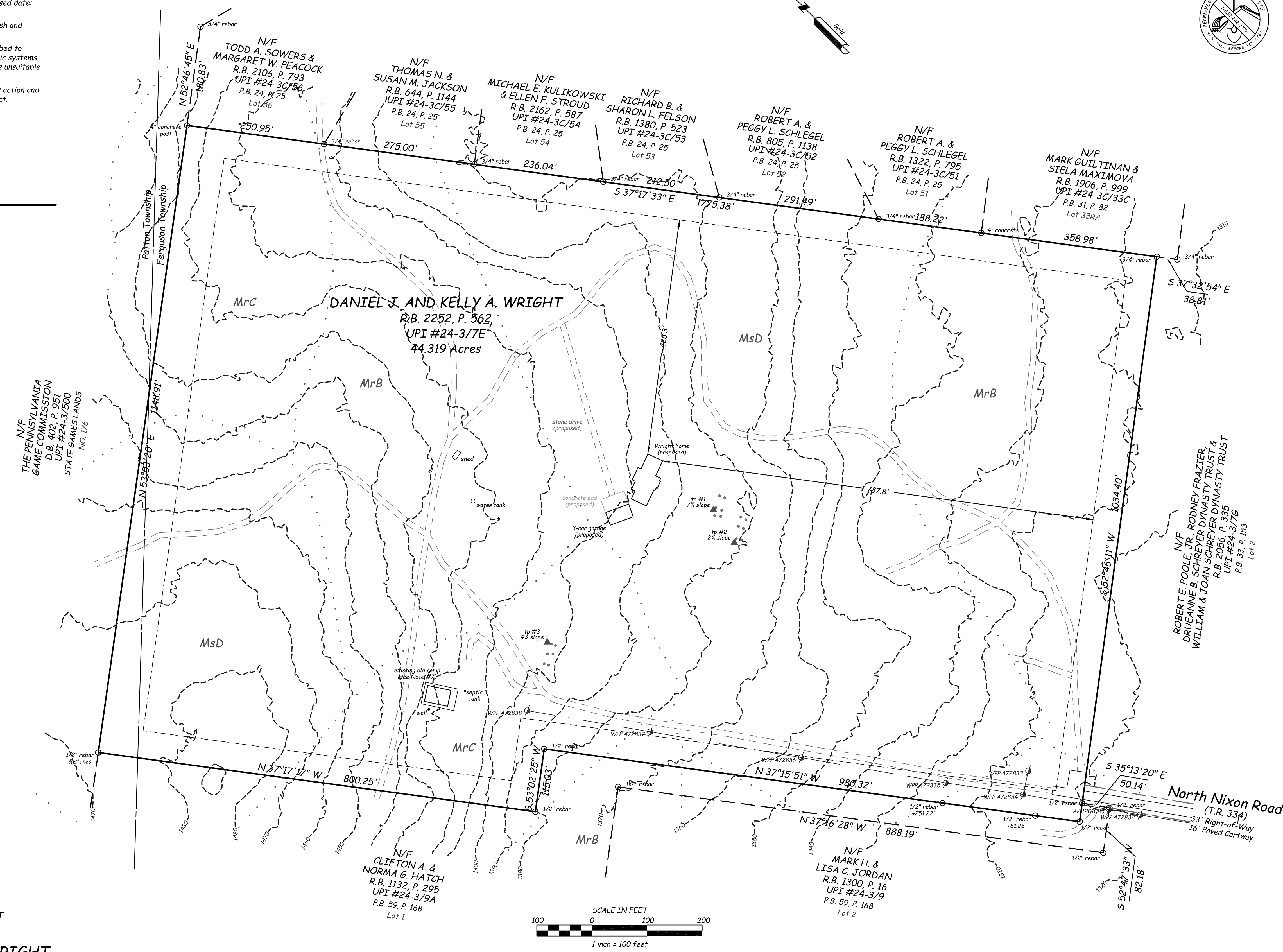
On this the 14 day of February, 2021 before me, the undersigned officer, personally appeared Daniel J. and Kelly A. Wright who being duly sworn according to law, depose and says they are the owners of the property shown on this plan, and that they acknowledge the same to be their Act and Plan, and desire the same to be Recorded as such according to law.

Daniel J. Wright
 Daniel J. Wright

Kelly A. Wright
 Kelly A. Wright

NOTARY PUBLIC Debra C. Pol

MY COMMISSION EXPIRES 10-17-2024



MINOR LAND DEVELOPMENT

OF LANDS OF
DANIEL J. AND KELLY A. WRIGHT

SITUATE
 FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

REVISOR: DJW 2/18/21 gas

GREGORY A. SHUFRA
 Professional Land Surveyor
 P.O. Box 347
 Boalsburg, PA 16827-0347
 (814) 360-1385
 email: gashufra@juno.com
 shufra@landsurveying.com

SCALE: 1"=100'
 PROJECT NO.: 203201
 DATE: 2/12/21

Surveyed & Drawn by: gas

SURVEYOR CERTIFICATION



I, Gregory A. Shufra, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that the plan correctly represents the tract of land shown.

Gregory A. Shufra
 Gregory A. Shufra, P.L.S.

GFA and Percent Impervious Determination

COVER CALCULATION	SQURE FOOTAGE			% LOT COVERAGE	
	EXISTING	PROPOSED	TOTAL	ALLOWABLE	ALLOWABLE
Building Coverage	2,500*	6,700	6,800		0.4%
Other Impervious Cover	1,300	1,100	2,400		0.1%
Total Impervious Cover	3,800*	7,800	9,200		0.5%

* See Note #7 (-2,400 sq. ft.)

LEGEND

- Property Line
- Adjoining Property Line
- Soil Boundary Line
- Contour Line
- Building Setback Line
- Utility Pole
- Property Corner Set (3/4" Rebar)
- Property Corner Found (As Specified)
- Building
- D.B. - (Deed Book)
- R.B. - (Record Book)
- P. - (Page)
- Soil Test Pit With Percolation Holes



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: The Ferguson Township Board of Supervisors

FROM: Kristina Aneckstein, Community Planner

DATE: March 26, 2021

SUBJECT: Application for Consideration of a Modification/Waiver

PennTerra Engineering, Inc, on behalf of their client, has requested a modification/waiver from Section 22-306.1.—Minor Subdivision and Minor Alteration for the Wasson – Ash Avenue Replot/Subdivision Plan. This section has a process outlined for a Minor Subdivision and the definition of a minor subdivision was omitted during the Township’s Comprehensive Update to Chapter 22—Subdivision and Land Development Ordinance (SALDO). The plan submitted is replotting lot lines and no new lots are being created.

Staff and Planning Commission have reviewed the application and there are no additional conditions to be included with the request.

Recommendation: *The Planning Commission recommended that the Board of Supervisors approve the Application for Consideration of a Modification from §22-306.1.—Minor Subdivision and Minor Alteration.*



APPLICATION FOR CONSIDERATION OF A MODIFICATION
Ferguson Township, Centre County

Submittal Date: _____

A fee of \$50.00 is required at the time of submitting this application.

The undersigned hereby applies for approval of a modification/waiver, submitted herewith and described below:

Applicant Information

Rita Wasson

Name

1451 Ash Avenue

State College

16801

Street Address

City

Zip

Phone Number

Property/Plan Information

Wasson - Ash Avenue Replot

Plan Name

19263

11/24/2020

Plan Number

Plan Date

1451 Ash Avenue and 201 Madison Street 24-2A-132, 24-2A-134, 24-2A-135

Project Location

Parcel Number

Rita Wasson / Marc & Christina McNeill

Name of Property Owner(s)

1451 Ash Ave. / 201 Madison St. State College

16801

Street Address

City

Zip

Application Type:

Subdivision

Terraced Streetscape District (TSD)

Replot

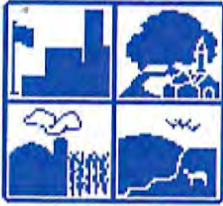
Land Development

Traditional Town Development (TSD) District

Modification/Waiver Request Information

Specific Section(s) of the Subdivision and Land Development Ordinance or Design Standards for which a Modification/Waiver is requested:

Modification/waiver from Section 22-306



APPLICATION FOR CONSIDERATION OF A MODIFICATION
Ferguson Township, Centre County

State any proposed alternative(s) to the requirement:

This section has a process outlined and what is required with submission, however what was left out of the section is (during the Zoning and SALDO update process) what constitutes a minor subdivision. And it's not defined anywhere in the township's ordinances.

Please state in full, the grounds and facts of the unreasonableness or hardship the Ferguson Township Subdivision and Land Development Ordinance has placed on the property.

This plan is a proposed replot which would meet the requirements of a Minor Plan Subdivision since it proposes no new infrastructure and no new lots.

*If necessary, please continue with your hardship specification on another page.

The undersigned hereby represents that, to the best of their knowledge and belief, all information listed above is true, correct, and complete.

Mark Powell
Signature

2-18-2021
Date

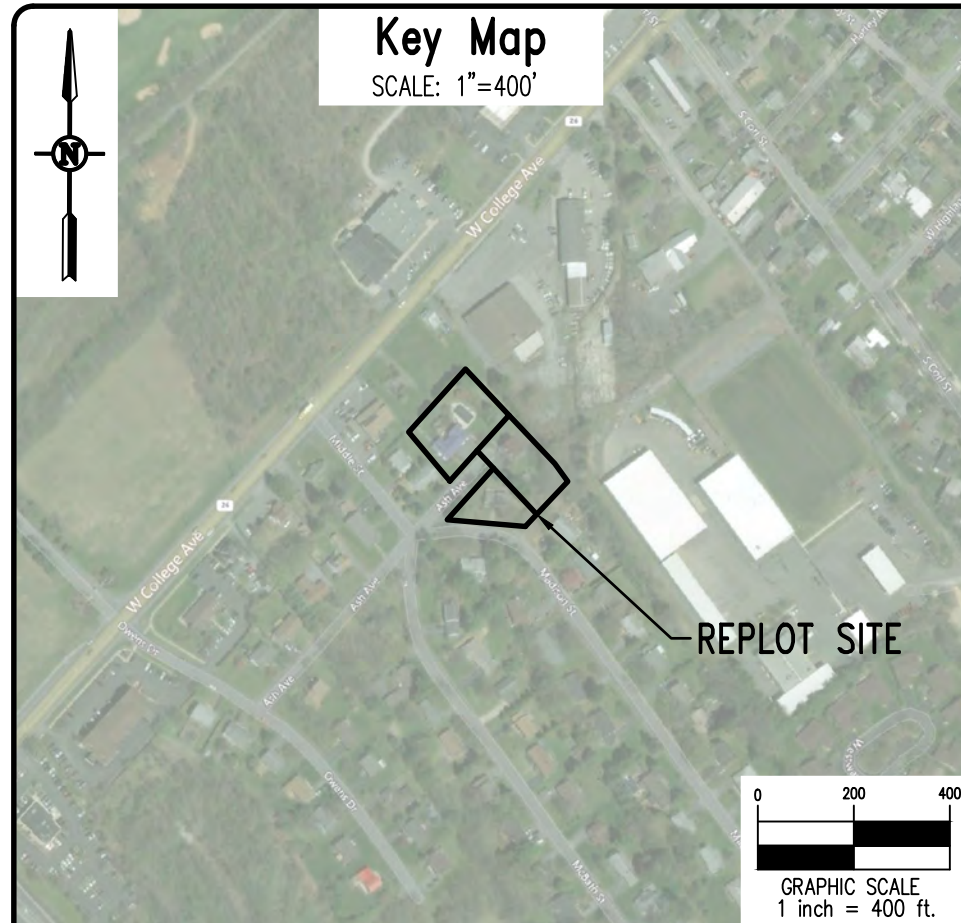
-For Office Use Only-

Date Received: _____ By: _____

Date Paid: _____ Check No.: _____ Amount: _____

Advertisement Dates: _____ Planning Commission Review Date: _____

Board of Supervisors Meeting Date: _____



Owners Certification: TP# 24-02A-132
Commonwealth of Pennsylvania County of Centre

On this _____ day of _____, 20____

undersigned owner, personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

Owner _____

witness my hand and seal, this date _____

Notary Public _____ Commission Expires _____

Owners Certification: TP# 24-02A-134
Commonwealth of Pennsylvania County of Centre

On this _____ day of _____, 20____

undersigned owner, personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

Owner _____

witness my hand and seal, this date _____

Notary Public _____ Commission Expires _____

Owners Certification: TP# 24-02A-135
Commonwealth of Pennsylvania County of Centre

On this _____ day of _____, 20____

undersigned owner, personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

Owner _____

witness my hand and seal, this date _____

Notary Public _____ Commission Expires _____

Township Planning Commission
Ferguson Township Planning Commission Approved

Chairman _____ Date _____

Secretary _____ Date _____

Township Supervisors
Ferguson Township Supervisors Approved

Chairman _____ Date _____

Secretary _____ Date _____

Professional Land Surveyor Certification
I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

Signature _____ Date _____

PROJECT NOTES:

1. General Site Information:
Owner of Record: Tax Parcel 24-2A-132 Rita S. Wasson Revocable Trust 1451 Ash Ave State College PA, 16801
Record Book/Page: Record Book 2177, Page 457
Lot Address: 1451 Ash Ave
Zoning: Single Family Residential (R-1)
Building Setbacks: Front-25' (Local Street) Side-10' Rear-30'
Building Height: 40' Max
Existing Lot Size: 23,808 S.F. / 0.55 Acres
Addition To Lot: 8,250 S.F. / 0.19 Acres
Proposed Lot Size: 32,058 S.F. / 0.74 Acres
Lot Coverage: Max. Coverage Allowed - 50% - 16,029 S.F. Max. Building Coverage Allowed - 30% - 9,617 S.F. Existing Building Coverage (After Replot) - 4,035 S.F. Existing Pavement, Sidewalks, etc. - 3,876 S.F. Total Coverage - 7,911 S.F. (25%)
Existing Use: Residential
Proposed Use: Residential

Tax Parcel 24-2A-134 Rita S. Wasson Revocable Trust 1451 Ash Ave State College PA, 16801
Record Book 2177, Page 457
Lot Address: 1444 Ash Ave
Zoning: Single Family Residential (R-1)
Front-25' (Local Street) Side-10' Rear-30'
Building Height: 40' Max
Existing Lot Size: 18,041 S.F. / 0.41 Acres
Addition To Lot: -7,881 S.F. / 0.18 Acres
Proposed Lot Size: 10,160 S.F. / 0.23 Acres
Lot Coverage: Max. Coverage Allowed - 50% - 5,080 S.F. Max. Building Coverage Allowed - 30% - 3,048 S.F. Existing Building Coverage (After Replot) - 730 S.F. Existing Pavement, Sidewalks, etc. - 2,674 S.F. Total Coverage - 3,404 S.F. (34%)
Existing Use: Residential
Proposed Use: Residential

Tax Parcel 24-2A-135 Marc A. & Christina M. McNeill 201 Madison St State College PA, 16801
Record Book 2179, Page 86
Lot Address: 201 Madison St
Zoning: Single Family Residential (R-1)
Front-25' (Local Street) Side-10' Rear-30'
Building Height: 40' Max
Existing Lot Size: 11,663 S.F. / 0.27 Acres
Addition To Lot: -369 S.F. / .01 Acres
Proposed Lot Size: 11,294 S.F. / 0.26 Acres
Lot Coverage: Max. Coverage Allowed - 50% - 5,647 S.F. Max. Building Coverage Allowed - 30% - 3,388 S.F. Existing Building Coverage (After Replot) - 1,327 S.F. Existing Pavement, Sidewalks, etc. - 802 S.F. Total Coverage - 2,129 S.F. (19%)
Existing Use: Residential
Proposed Use: Residential

2. The purpose of this plan is to Replot Tax Parcels 24-2A-132, 24-2A-134, and 24-2A-135.

3. Act 282 Utility Information: Serial No. 20202692554
All utility locations should be verified prior to any construction, utility information and locations should be considered approximate. Contractor shall notify PA One Call prior to any excavation.

a. Electric: West Penn Power; 2800 E. College Ave., State College, PA 16801; Phone: (814) 231-5355
b. Telephone: Verizon, Facility Management Center; 224 S. Allen Street, State College, PA 16801; Phone: (814) 231-6511
c. TV Cable: Comcast; 60 Decibel Road, State College, PA 16801; Phone: (814) 238-5050
d. Gas: Columbia Gas; 2550 Caroleen Drive, State College, PA 16801; Phone: (888) 460-4332
e. Sanitary Sewer: University Area Joint Authority (UAJA); 1576 Spring Valley Road, State College, PA 16801; Phone: (814) 238-5361
f. Water: State College Borough Water Authority (SCBWA); 1201 West Branch Road, State College, PA 16801; Phone: (814) 238-6766
g. Stormwater & Traffic Signals: Ferguson Township; 3147 Research Drive, State College, PA 16801; Phone: (814) 238-4651

4. Reference:
1. Final Plan, Agency Subdivision, Prepared by Uni-Tac Consulting Engineers, Recorded in PB 31, PG 81.
2. Wasson Lot Consolidation, Consolidation of Parcels 24-2A-132/133 and 24-2A-133A/134 dated September 21, 1993, Prepared by PennTerra Engineering Inc., Recorded in PB 48, PG 118.

5. Easement:
A. An easement for shared driveway access and maintenance between Tax Parcel 241-2A-132 and Tax Parcel 24-2A-135 was recorded at the Centre County Recorder of Deeds Office in RB _____, PG _____.
B. A 15' utility easement for water lateral access and maintenance for Tax Parcel 24-2A-135 through Tax Parcel 24-2A-132 was recorded at the Centre County Recorder of Deeds Office in RB _____, PG _____.
C. A 15' utility easement for shared sanitary sewer lateral access and maintenance between Tax Parcel 24-2A-132 and Tax Parcel 24-2A-134 was recorded at the Centre County Recorder of Deeds Office in RB _____, PG _____.
D. A 12' easement for driveway access and maintenance to the rear of the existing garage for Tax Parcel 24-2A-132 from Tax Parcel 24-2A-134 was recorded at the Centre County Recorder of Deeds Office in RB _____, PG _____.
6. This Record Plan conforms with the Plan receiving final approval by the Ferguson Township Board of Supervisors on _____, All improvements are or will be installed in accordance with such Plan in a manner and time so specified therein.
7. A waiver for a Minor Subdivision was approved by the Ferguson Township Board of Supervisors on _____, 2021.
8. A waiver of sidewalk requirement for the Re-plot was approved by the Ferguson Township Board of Supervisors on _____, 2021.
9. The existing house on Tax Parcel 24-2A-134 is over the existing front yard setback and the existing house on Tax Parcel 24-2A-132 is over the existing rear yard setback. These are existing non-conformities.

PROPOSED WATER EASEMENT LINE TABLE

LINE	DIRECTION	LENGTH
EL1	S 51° 05' 09" E	28.26'
EL2	S 42° 58' 28" E	40.93'
EL3	S 46° 49' 26" W	9.85'
EL4	N 61° 31' 42" W	16.18'
EL5	N 42° 58' 27" W	24.55'
EL6	N 51° 05' 09" W	21.63'
EL7	S 88° 10' 03" W	1.65'
EL8	S 43° 03' 55" W	0.78'
EL9	N 43° 10' 34" W	15.03'
EL10	N 43° 03' 55" E	6.02'
EL11	N 88° 10' 03" E	13.45'
RL1	S 43° 10' 34" E	3.02'

PROPOSED SHARED ACCESS EASEMENT LINE TABLE

LINE	DIRECTION	LENGTH
EL21	N 43° 10' 34" W	12.00'
EL22	N 46° 49' 26" E	76.22'
EL23	S 25° 52' 33" E	12.57'
EL24	S 46° 49' 26" W	72.48'

PROPOSED SANITARY SEWER EASEMENT LINE TABLE

LINE	DIRECTION	LENGTH
EL25	N 46° 49' 26" E	21.25'
EL26	S 88° 15' 50" E	10.91'
EL27	S 43° 21' 01" E	21.25'
EL28	N 88° 15' 50" W	41.00'

PROPOSED SHARED ACCESS EASEMENT LINE TABLE

LINE	DIRECTION	LENGTH
EL12	S 70° 55' 13" E	21.48'
EL13	S 43° 10' 34" E	61.42'
EL14	S 43° 10' 34" E	17.70'
EL15	S 46° 49' 26" W	10.00'
EL16	S 46° 49' 26" W	10.00'
EL17	N 43° 10' 34" W	30.36'
EL18	N 43° 10' 34" W	16.74'
EL19	N 41° 58' 27" E	10.04'
EL20	N 43° 10' 34" W	50.18'

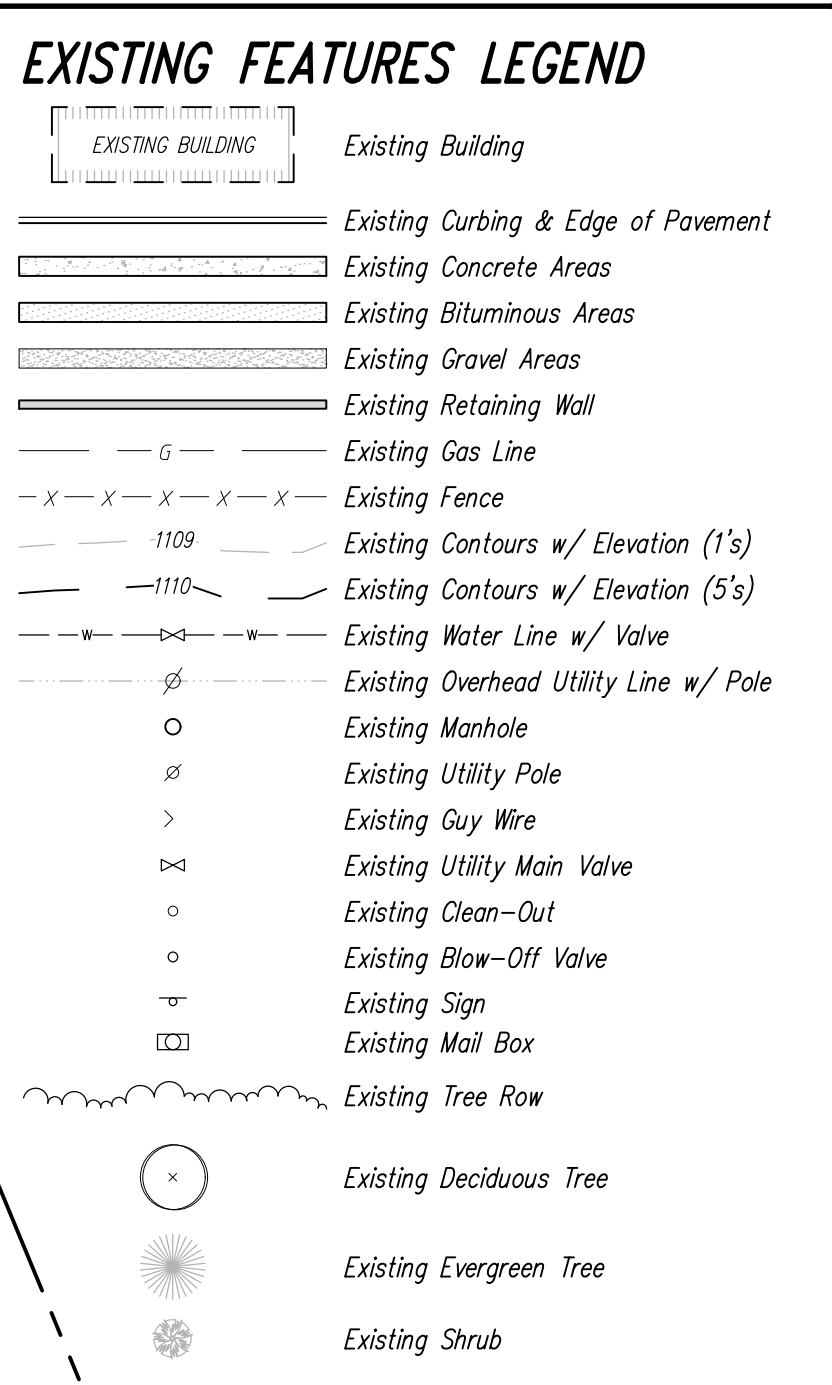
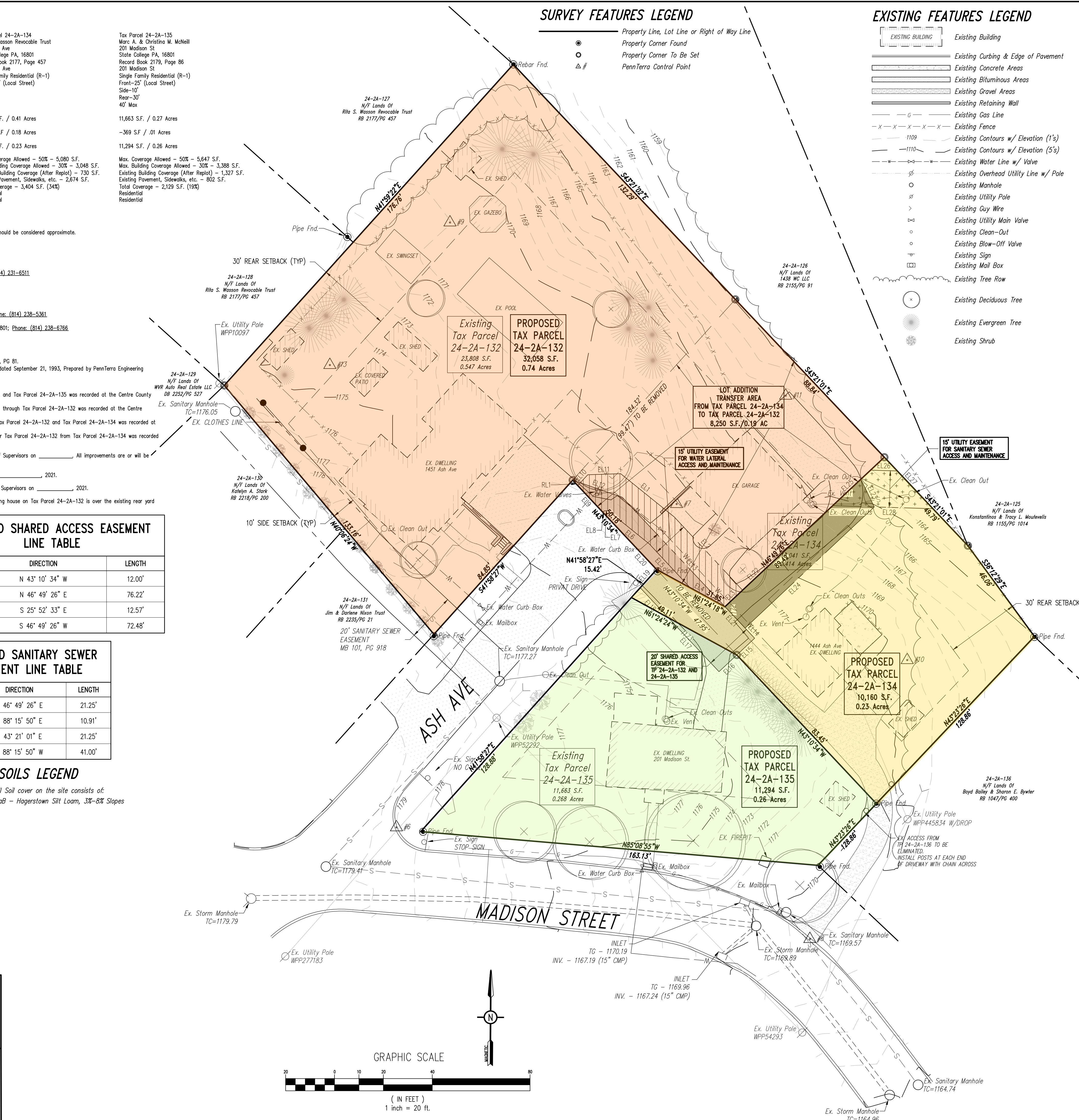
SOILS LEGEND
All Soil cover on the site consists of:
HaB - Hagerstown Silty Loam, 3%-8% Slopes

Township Zoning Officer
Ferguson Township Zoning Officer Approved

Zoning Officer _____ Date _____

Township Engineer Certification
I, _____, have reviewed and hereby certify that the plan meets all engineering design standards and criteria of the Ferguson Township Code of Ordinances.

Signature _____ Date _____



PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE: 3075 ENTERPRISE DRIVE SUITE 100 STATE COLLEGE, PA 16801 PH: 814-231-8285 Fax: 814-237-2308
LANCASTER REGION OFFICE: 3904 B ABEL DRIVE COLUMBIA, PA 17512 PH: 717-522-5031 Fax: 717-522-5046
WWW.PENNTERRA.COM

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PENNTERRA ENGINEERING 2020 ALL RIGHTS RESERVED

DESIGNER: C.J.W.
DRAFTSMAN: C.J.W.
PROJ/MANAGER: M.A.T.
SURVEYOR: XXXX
PERIMETER CK: XXXX
BOOK: XXXX PG: XXXX
DRAWN BY: Layout XXXX
ACAD: 19263-MD-dwg

WASSON - ASH AVENUE REPLOT

FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

PRELIMINARY/FINAL SUBDIVISION PLAN

RECORD PLAN: REPLOT OF TAX PARCELS 24-2A-132, 24-2A-134, AND 24-2A-135

PROJECT NO. 19263
DATE: NOVEMBER 24, 2020
SCALE: 1" = 20'
SHEET NO. 1

P:\dtp\2019\191263\Design\19263-MD-RELOT.dwg, 2/19/2021 9:29:28 AM, 1:1

SURVEY FEATURES LEGEND

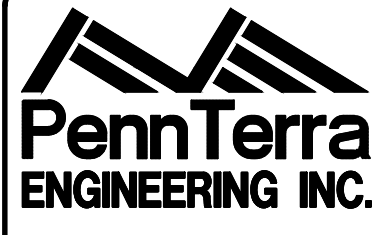
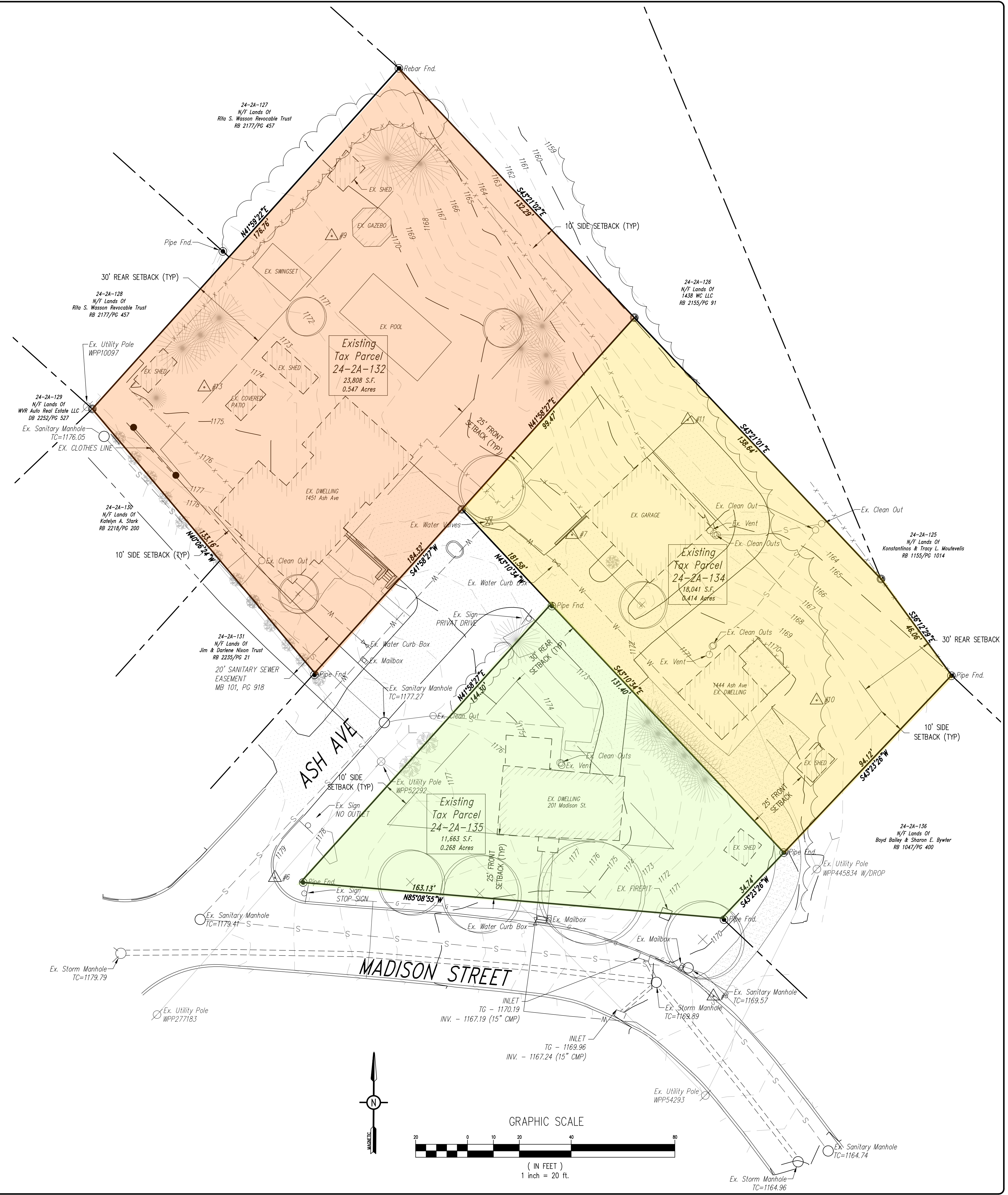
- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Property Corner Found
- Property Corner To Be Set
- PennTerra Control Point

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Bituminous Areas
- Existing Gravel Areas
- Existing Retaining Wall
- Existing Fence
- Existing Contours w/ Elevation (1's)
- Existing Contours w/ Elevation (5's)
- Existing Water Line w/ Valve
- Existing Sanitary Sewer Lateral w/ Clean Out
- Existing Overhead Utility Line w/ Pole
- Existing Manhole
- Existing Utility Pole
- Existing Guy Wire
- Existing Utility Main Valve
- Existing Clean-Out
- Existing Blow-Off Valve
- Existing Sign
- Existing Mail Box
- Existing Tree Row
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

SOILS LEGEND

All Soil cover on the site consists of:
 HaB - Hagerstown Silt Loam, 3%-8% Slopes



PennTerra ENGINEERING INC.
 CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 Fax: 814-237-2308

LANCASTER REGION OFFICE:
 3904 B ABEL DRIVE
 COLUMBIA, PA 17512
 PH: 717-522-5031
 Fax: 717-522-5046

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Designer	CJW
Draftsman	CJW
Proj. Manager	MAT
Surveyor	XXX
Perimeter Clk.	XXX
Book	XXX Pg. XXX
Drive P.	Layout XXX
Acad	19263-MD-dwg

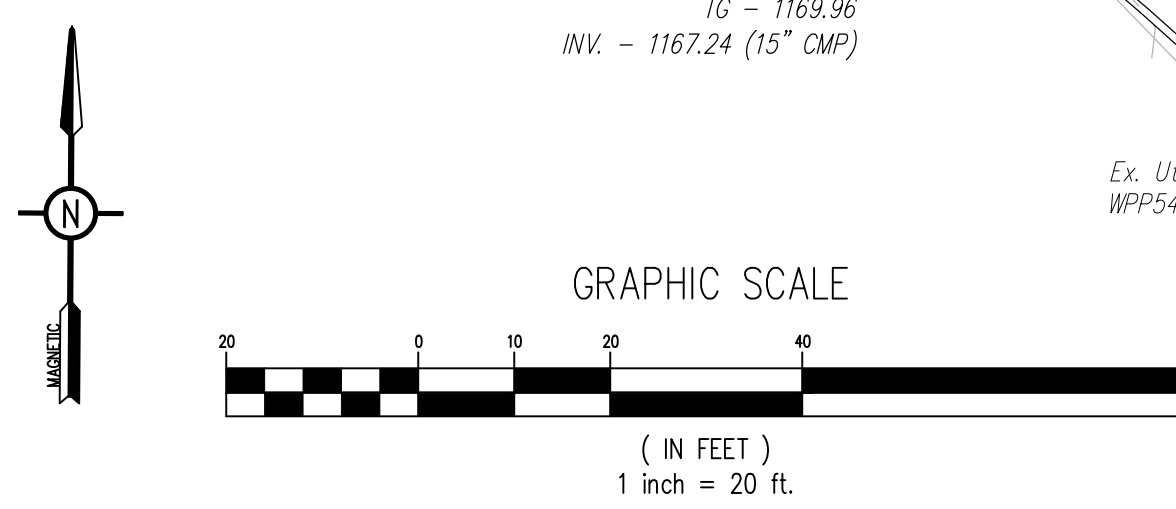
Date	Description

WASSON - ASH AVENUE REPLOT
 FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY/FINAL
 SUBDIVISION PLAN

EXISTING
 CONDITIONS:
 REPLOT OF TAX
 PARCELS
 24-2A-132,
 24-2A-134,
 AND 24-2A-135

PROJECT NO.	19263
DATE	NOVEMBER 24, 2020
SCALE	1" = 20'
SHEET NO.	2





TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: The Ferguson Township Board of Supervisors

FROM: Kristina Aneckstein, Community Planner

DATE: March 26, 2021

SUBJECT: Application for Consideration of a Modification/Waiver

PennTerra Engineering, Inc, on behalf of their client, has requested a modification/waiver from Section 22-512— Sidewalks for the Wasson –Ashe Avenue Replot/Subdivision Plan. The plan is proposing to replot three (3) existing lots in an established, built-out neighborhood. There are no existing sidewalks on either side of the street. The potential for connection to future sidewalks is extremely unlikely and no new land development is proposed.

Staff and Planning Commission have reviewed the application and there are no additional conditions to be included with the request.

Recommendation: *The Planning Commission recommended that the Board of Supervisors approve the Application for Consideration of a Modification from §22-512 – Sidewalks.*



APPLICATION FOR CONSIDERATION OF A MODIFICATION
Ferguson Township, Centre County

Submittal Date: _____

A fee of \$50.00 is required at the time of submitting this application.

The undersigned hereby applies for approval of a modification/waiver, submitted herewith and described below:

Applicant Information

Rita Wasson

Name

1451 Ash Avenue **State College** **16801**
Street Address City Zip

Phone Number

Property/Plan Information

Wasson - Ash Avenue Replot

Plan Name

19263 **11/24/2020**
Plan Number Plan Date

1451 Ash Avenue and 201 Madison Street **24-2A-132, 24-2A-134, 24-2A-135**
Project Location Parcel Number

Rita Wasson / Marc & Christina McNeill

Name of Property Owner(s)

1451 Ash Ave. / 201 Madison St. **State College** **16801**
Street Address City Zip

Application Type:

- Subdivision Terraced Streetscape District (TSD) Replot
 Land Development Traditional Town Development (TSD) District

Modification/Waiver Request Information

Specific Section(s) of the Subdivision and Land Development Ordinance or Design Standards for which a Modification/Waiver is requested:

Modification/waiver from Section 22-512 Sidewalks



APPLICATION FOR CONSIDERATION OF A MODIFICATION
Ferguson Township, Centre County

State any proposed alternative(s) to the requirement:

There are no alternatives.

Please state in full, the grounds and facts of the unreasonableness or hardship the Ferguson Township Subdivision and Land Development Ordinance has placed on the property.

The plan is for replotting three existing lots in an established, built-out neighborhood. There are no sidewalks on any of the existing streets. The potential for connection to future sidewalks is extremely unlikely. See attachment. There is no new land development proposed either.

*If necessary, please continue with your hardship specification on another page.

The undersigned hereby represents that, to the best of their knowledge and belief, all information listed above is true, correct, and complete.

Mark Piretti
Signature

2/19/21
Date

-For Office Use Only-

Date Received: _____ By: _____

Date Paid: _____ Check No.: _____ Amount: _____


Advertisement Dates: _____ Planning Commission Review Date: _____

Board of Supervisors Meeting Date: _____

Wasson -Ash Avenue Area

Aerial Map illustrating lack of sidewalks within the property vicinity

Legend

 Ash Ave

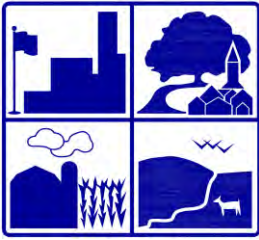


Google Earth

© 2021 Google

600 ft





TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: The Ferguson Township Board of Supervisors

FROM: Kristina Aneckstein, Community Planner

DATE: April 1, 2021

SUBJECT: West College Avenue Student Housing Land Development Plan

The land development plan proposes a 6-story multi-family residential apartment building with commercial/retail space on the first floor. The applicant is utilizing height incentives found in §27-304.3.B.(2) and has provided additional parking in the parking structure to share for use by others. The applicant is eligible for an additional 20 feet to be added to the permitted maximum height (55 feet).

The building will consist of one subsurface floor of underground parking, one floor containing additional parking wrapped by commercial space and 5 floors of multi-family residential apartments. There are 96 residential units with 268 beds and 5,976 square feet of non-residential spaces proposed. Ground floor area is 29,571 square feet with 28,483 in Ferguson Township and 1,088 square feet in the Borough of State College.

The plan calls for 165 parking spaces, 159 of which will be located in the parking structure. A variance was granted by the Ferguson Township Zoning Hearing Board on February 25, 2020 to allow parking on first floor of the building. There are 14 short-term bicycle parking spaces proposed. The outstanding reviewer's comments are included in the agenda packet. Two modifications have been submitted for this plan for review that address two of the outstanding comments.

Recommendation: The Planning Commission reviewed the plan March February 8, 2021 and made a recommendation to the Board of Supervisors to approve the West College Avenue Student Housing Preliminary LDP, dated August 14, 2020 and last revised on March 19, 2021 pending outstanding staff comments being completed.




TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801

Telephone: 814-238-4651 • Fax: 814-238-3454

www.twp.ferguson.pa.us

TO: Kristina Aneckstein, Community Planner

FROM: Ron Seybert, Township Engineer 

DATE: March 31, 2021

SUBJECT: Aspen West College Student Housing Preliminary Land Development Plan
Sixth Review (ES – 409)

I have completed my sixth review of the 'West College Student Housing Preliminary Land Development Plan' consisting of twenty-two sheets as prepared by PennTerra Engineering, dated August 14, 2020, and last revised March 19, 2021 and the 'West College Student Housing Stormwater Management site Plan' dated February 19, 2021 and last revised March 19, 2021. Prior comments are listed below along with any follow up comments. Any previously resolved comments have been removed.

1. *The Township stormwater engineer needs to review and approved the stormwater management site plan. **Pending review.***
7. *A new private street agreement is needed for the new accesses to Calder Way. **Not resolved. The note provided does not meet the requirements of Ch 22, Section 504.2.A(2). A private street agreement needs to be prepared and submitted for review that meets the requirements of this section of the ordinance. The response letter indicates a modification of this section has been requested.***
8. *The improvements to paving on Calder Way are not all within the right of way. An easement should be provided and included within the private street agreement. **Not resolved. See response to Comment 7 and provide the easement on the plan.***
9. *The driveway entrances to Calder Way are required to be 26 feet wide with 20 feet radii. **Not resolved. A modification request has been submitted.***
11. *The Township Board of Supervisors should review all discretionary approval items of the Streetscape Design (e.g. benches, trash receptacles, color and pattern of pavers, etc.) for concurrence with proposed design. **Pending review and action by Board of Supervisors.***
14. *Street lighting comments:*
 - c. *The plan needs to show the type and location of pull boxes to be placed adjacent to each light fixture. **Consider placing the pull boxes that are at the base of each light fixture on the building side of the foundation and run the conduit that is parallel to West College Avenue into the pull box without using sweeps. Not addressed. The most recent comment response letter dated March 22, 2021 indicates to see the response from VP Engineering; however that response memo does not address this comment. Further, sheets SL-1 and SL-2 are not included in the plan set provided for review.***
 - k. *Address all comments from Barton Associates. **Pending review.***

16. *Sidewalk easements need to be depicted on the plan and an appropriate easement agreement provided for recording with the final plan for public sidewalks located on private property. **Once the lot consolidation plan and new deed is recorded, the remaining information can be completed on the agreement, signed by new owner, and submitted for Township signature.***
17. *The existing conditions plan will need to reflect the recorded lot consolidation plan which has to be completed prior to this plan being approved. All ownership data and property lines should be revised pending lot consolidation plan approval. **Pending recording of the lot consolidation plan.***
22. *The traffic impact study is still under review and may result in improvements to be added to the plan. Add a project reference note to the plan for the TIS. **Pending. A modification request has been submitted for a level of service deficiency. All proposed improvements from the TIS need to be depicted on the plans.***
26. *The comment response letter indicates that signing has been added to the plan along West College Avenue for parking/stopping restrictions as well as pedestrian crossing. The location of these signs are shown on Sheet 5 with details on Sheet 12.
 - b. *The parking/stopping restrictions signs must be approved by Township Ordinance. Please provide the appropriate engineering study to justify the placement of the signs to support the ordinance. **The motor vehicle restrictions need to be adopted by ordinance once implemented.****

A revised plan needs to be provided addressing all the above comments. If you or the applicant have any questions on these comments, please contact me.

Copy: Scott Brown, NTM
Jennifer Harrington, BA
Mellissa Southern, SSE
John Sepp, Penn Terra
Jenna Wargo, Planning Director
Greg Garth, SC Borough
Andy Arnold, GDF for SC Borough
Greg Kausch, CRPA/CATA

April 1, 2021

Via Email

Township of Ferguson
3147 Research Drive
State College, Pennsylvania 16801

Attn: Ms. Kristina Aneckstein, Community Planner

**RE: Aspen West College Student Housing
Stormwater Management Site Plan and Lighting Plan Review**

Dear Kristina,

We have completed our sixth stormwater management review for the West College Student Housing Plan. The applicant's Design Professional, PennTerra Engineering, Inc., submitted the following information electronically that serves as the basis of our review:

1. West College Student Housing - Preliminary Land Development Plan, dated August 14, 2020 last revised March 19, 2021.
2. West College Ave. Student Housing - Post Construction Stormwater Management Plan (Drawings), dated February 19, 2021 last revised March 19, 2021.
3. West College Ave. Student Housing - Post Construction Stormwater Management Plan (report), dated August 14, 2020 and last revised March 19, 2021.
4. Comment response letter dated March 22, 2021 from PennTerra.
5. Comment Response dated 3/11/2021 from VP Engineering (Re: Lights)
6. PennDOT Form TE-100 (9-09) dated March 22, 2021.

NTM has reviewed these plans for compliance with Township lighting and stormwater management ordinances (Chapters 4 of the Township Code and 26 of the Township Code). Our continuing comments are provided in bold face text below:

Chapter 26 – Stormwater Management

1. On the Cover Sheet Identify which plan sheets are to be recorded as part of the Stormwater Management Site Plan.

2020 11 19 Comment: The sheets identified do not include all the information required per §26-402 3.B. Specifically items (1), (6), (9), (14), (15), (21), (22), (25), (26), (27), (28), (29). Some of this information is included on other plan sheets. All sheets intended to meet the requirements of §26-402 3.B. should be identified.

Per Township Engineer Comment 1, a separate Stormwater Management Site Plan must be submitted including all information identified in §26 Article IV.

2021 01 19 Comment: It has been brought to my attention that all plan content items identified in §26-402 3.B must be included on Stormwater Management site plan sheets which need to be separate from sheets used to meet content requirements for the preliminary plan. This includes appropriate signature blocks, notes, and any documentation related to the stormwater design.

Information not currently included on plan sheets identified in the Index as being part of the Stormwater Management Site Plan are listed below:

Item (6) requires that an existing conditions plan be included.

Item (21) requires that a note be included identifying that infiltration testing be performed as part of the as-built certification. The note should also identify the minimum infiltration rate that must be achieved.

Item (22) requires that the actual repair detail for the existing site sinkhole be identified and detailed on the plan.

Also, the grading details illustrated on Sheets 7 and 8, all site cover conditions including landscaping located in drainage swales, and all complete roof drainage details must be part of the Stormwater Management Site Plan.

2021 02 02 Comment: Applicant indicates that a separate Stormwater Management Site Plan Drawing set will be submitted under separate cover. Plan set not yet received. Comments from 2021 01 19 remain.

2021 02 22 Comment: Separate Stormwater Management Site Plan Drawings received. The following comments are a continuation of and additions to the January 19, 2021 comments above:

- a) In the note included in the Infiltration Sump Detail on Sheet PC5, reference that as-built infiltration test results are to be included as part of the as-built stormwater certification documenting that a minimum rate of 0.21 inches per hour was achieved.

2021 03 31 Comment: Comment addressed however the infiltration sump detail has been modified using a different storage element and configuration with the detail moved to Sheet PC3. The details for this facility are not adequate. See additional comments beginning with at # 50 below.

- b) Provide a key entry for the hatch pattern illustrated in the south eastern portion of the site.

2021 03 31 Comment: Comment addressed.

- c) Note 6(a) on Sheet 2 – Add a revised through date to the Lot Consolidation Plan reference.

2021 03 31 Comment Partially Addressed; Revise other reference note dates per applicable submission.

- d) Revise Note 10 to indicate that the pre-construction meeting should be coordinated with both the Township Engineer and Borough of State College Engineer.

2021 03 31 Comment: Comment addressed

2021 03 31 Comment: Also note that the entire PCSM plan set (11 sheets) are to be recorded following approval.

10. Provide roof plumbing plans identifying areas tributary to each roof drain line proposed on the Utility Plan. Also provide the location of discharges from the overflow or emergency roof drain system. The roof drainage subareas should also be identified on the drainage area plans.

2020 11 19 Comment: Comment not addressed. Note that the architectural plans specify downspout locations but no emergency overflow locations. The architectural plans also indicate downspouts are designed for 2.5 inches per hour. The local one year 5-minute intensity is 3.7 inches per hour. Please include an explanation of how the roof drainage system works and how any flows exceeding downspout capacities are managed.

2021 01 19 Comment: Comment partially addressed. Architectural Plan Sheet A1.13 provides a tabulation of the design rainfall quantity and downspout sizes for the 3.7 inch per hour 1-year storm event. This analysis and an accompanying graphic clearly illustrating the locations of the gutters and downspouts must be included as part of the Stormwater Management Site Plan Drawings and Report. The report must also include an explanation of how the roof drainage system works and how any flows exceeding gutter or downspout capacities (up to a 100-year event) are to be managed.

2021 02 02 Comment: Applicant indicates that a separate Stormwater Management Site Plan Drawing set will be submitted under separate cover. Plan set not yet received. Comments from 2021 01 19 remain.

2021 02 22 Comment: Separate Stormwater Management Site Plan Drawings received. The following comments are a continuation of and additions to the January 19, 2021 comments above:

- a) Include the following information from the Architectural Roof Plan and Plumbing Plans as details on the Stormwater Management Site Plan Drawings:
- i. From Sheet A1.13: The Roof Plan and Roof Drain Schedule.
 - ii. From Plumbing Plan Sheet P1.0: Storm Drain Piping notes; Sizing of Storm Drainage Piping table; Pump Schedule.

2021 03 31 Comment: Comment addressed.

21 03 31 Comment: Comment partially addressed. Update the plumbing schedule to include current proposed pipe runs at 1/16" per foot as applicable to the plumbing drawings.

- b) On Stormwater Management Site Plan drawing Sheet PC1 identify a schematic connection between the downspout near the buildings southern corner and the proposed 10" PVC Roof Drain Line. Label the roof drain line leaving the building at this location as connecting to roof DS, garage floor drains, and foundation drains.

21 03 30 Comment: Comment addressed however in addressing comment 49, ensure both the plumbing/architectural/civil plans are up to date and match.

- c) On Stormwater Management Site Plan drawing Sheet PC1 identify a schematic connection between the remaining downspouts on the southeastern side of the building and the 12" PVC roof drain leaving the building on its northeastern side. Label the 12" roof drain line leaving the building at this location as connecting to roof downspouts, garage floor drains, and other floor drains located throughout the building.

21 03 30 Comment: Comment addressed. Refer to additional comments below.

11. Specific plans and details should be included that illustrate how the existing sinkhole in the east corner of the site will be treated.

2020 11 19 Comment: Comment acknowledged but not addressed.

2021 01 19 Comment: §26 402 B. 22 in the Ferguson Township Ordinance and Section 222 b. (21) of the Borough of State College Ordinance require that modifications to sinkholes be detailed on the Stormwater Management Site Plan Drawings. Sinkhole repair shall be identified as a Critical Stage of Construction that is to be observed by a qualified geotechnical engineer or his designee. Also include a note indicating that an as-built detail of the repair shall be provided on the project Stormwater As-Built plans.

2021 02 02 Comment: Revisions were made to the Critical Stages of Construction notes on Sheet ES1 and a note was added to Sheet 4 identifying that the sinkhole repair detail is to be included as part of the Stormwater As-built plans. This information must also be represented on the Stormwater Management Site Plan Drawings.

2021 02 22 Comment: Comment partially addressed. Add a note to Sheet PC1 identifying the location of the required sinkhole repair and referencing the sinkhole repair detail and notes on Sheet PC2. Also include reference to this area in the "Sinkhole Prevention Measure" maintenance activity matrix on Sheet PC5 and in the Stormwater Management Site Plan Narrative.

2021-03-31 Comment: Comment partially addressed. At a minimum, the Sinkhole Prevention Measures maintenance activity matrix must make specific reference to inspection and maintenance activities associated with the existing sinkhole location (the sinkhole area being repaired) as well.

18. Explain how peak discharges from the site will be managed during construction to ensure no increase in runoff to downstream drainage system.

2020 12 04 Comment: Comment not adequately addressed. Update the sequence of construction to identify how site runoff is to be controlled during all stages of construction. The perimeter controls shown on the E&S plan will initially direct all site runoff to the eastern corner of the site. Standard silt sock is not intended to provide sedimentation control for concentrated flows.

The sequence of construction must describe how the sinkhole in the eastern most corner of the site will be repaired and protected from sediment laden runoff.

2021 01 19 Comment: Comment not adequately addressed with respect to sequencing to ensure runoff from the site is not concentrated to the eastern most corner of the site during all phases of construction.

2021 02 02 Comment: Applicant indicates that "Additional notes have been added to the plan." Reviewer was unable to find said notes. Comment from 2020 01 19 remains.

2021 02 22 Comment: Comment not addressed. The Silt Sock in locations shown on Sheet ES1 will function as a diversion sock in both the initial site configuration as illustrated on the existing conditions plan, as well as on the final design condition illustrated on Sheet ES1. Revise the Erosion and Sedimentation Control Plans and construction sequencing to appropriately treat construction period runoff during all stages of construction. To accomplish this several E&S Stages may be required.

The E&S Plans are not to be included as part of the Stormwater Management Site Plan Drawings but should be referenced in the notes on the Stormwater Management Site Plan Drawings.

2021 03 31 Comment: Comment not addressed. Our review construction period erosion controls are independent of reviews by others and are focused on ensuring that appropriate practices are in place to protect off-site properties from flooding, erosion and sediment deposition during the construction period. To this end, sufficient staging detail must be provided to address interim conditions, in particular where diversion of sediment laden water to the south east corner of the site during early phases of construction may occur and strain or exceed the capacity of the proposed erosion control measures.

In addition, pump water filtering and discharge locations must be identified to ensure protection of downstream properties and conveyance facilities. Also, methods must be proposed to provide for building surface and/or temporary roof and site drainage conditions during construction which may occur before prior to the completion of permanent stormwater basins/sumps or conveyance elements.

37. The infiltration sump recharge credit is limited to the lesser of the capture volume or the volume tributary to the sump during the 1-year 24-hr storm.

2020 12 08 Comment: Comment not addressed. Include a clear summary calculation documenting the recharge required per §26 304 C (in cubic feet) and the recharge being provided.

2021 01 19 Comment: Unable to find the summary calculation and data table identified in the response letter.

2021 02 02 Comment: Comment partially addressed. Clearly identify all areas tributary to the infiltration sump on the proposed conditions drainage area map.

2021 02 22 Comment: Comment partially addressed. Provide additional annotation on the proposed drainage area map identifying that the building foundation drain and lower-level garage floor drains are tributary to the infiltration sump.

2021 03 31 Comment: Comment addressed

41. Address all outstanding stormwater related comments in the Township Engineer's comment letter.

2021 01 19 Comment: Stormwater Comments by the Township Engineer have not been addressed at the time of this letter.

2021 02 02 Comment: Comment partially addressed. There is one continuing stormwater comment in the Township Engineer's January 19, 2021 comment memo.

2021 02 22 Comment: Address the Township Engineers Comment 1.

2021 03 31 Comment: Comments addressed.

New comments at 2021 02 22:

44. 2021 02 22 Comment: Provide a location plan identifying the location of the FloGard downspout filters as part of the FloGard Detail on sheet PC5.

2021 03 31 Comment: Comment partially addressed. Remove the 4" reference and call the Flogards out as 10" (as designed). In addition, update the detail to the current manufacture's detail.

45. Internal building floor drains cannot be connected to the external storm sewer system. Disconnect all internal building floor drains from the external storm drainage system. Garage floor drains may be connected to the storm sewer system.

2021 03 31 Comment: Comment partially addressed- Refer to comment 49.

46. Provide NO DUMPING signs and a sign location plan identifying that garage floor drains drain directly to Spring Creek. Signs shall be located to be clearly visible to residents and guests entering the garage from both internal and external building locations.

2021 03 31 Comment: Comment not addressed: The location plan needs to be part of the PCSM plan and include appropriate callouts and sign details.

47. Include signage in the garage identifying that vehicle washing is not permitted. Include these signs on the sign location plan identified in Comment 46.

2021 03 31 Comment: Comment not addressed: The location plan needs to be part of the PCSM plan and include appropriate callouts and sign details.

48. Include an oil and grit separator(s) as treatment for all garage floor drains.

2021 03 31 Comment: Comment not addressed. No additional information has been received with this submission.

49. Add garage floor drains and the oil and grit separator to the maintenance duty matrix on Sheet PC5 and in the stormwater narrative. The maintenance duty for these drains shall include inspection of floor drains and the signage identified in comments 46 and 47. Also include a garage maintenance protocol for washing down the garage to ensure that no cleaners or other toxic materials are permitted to enter the garage floor drains and/or the external storm drainage system. Include this protocol in the maintenance duty matrix.

2021 03 31 Comment: Comment not addressed. No additional information has been provided in the plans, maintenance duty matrix or PCSM narrative with this submission.

50. Expand the internal roof drain section of the Stormwater Management Site Plan report to include a description of the roof drainage system and the elements associated with the building that are connected to the storm conveyance system. Include reference to maintenance requirements for these systems and signage as identified in Comment 46 through 49 above. Include the full set of building plumbing drawings as attachments to the Stormwater Management Site Plan Narrative and highlight all drains and conveyance systems connecting to the external storm drain system.

2021 03 31 Comment: Comment partially addressed. Provide a description of the plumbing system in the PCSM narrative including highlighted plumbing plans for reference in an Appendix. Make updates per above comment, include descriptions, references, maintenance requirements, plan callouts, details and provide building drawings as specified.

New Comments 2021 03 31

- 51. Sheet PC1 and Detail Sheets:** The plan appears to have been revised to show there will now be two parallel 12" storm drains routed to Basin 1A (in very close proximity). Include updated highlighted and referenced plumbing drawings showing the new lines in the PCSM Narrative (and as specified per comment 49 above). Update the plumbing schedule chart to include 1/16" sloped pipe. Route the two 12" pipes and 8" pipe (manufacturer has a 12" minimum recommendation for direct entry) to OS1C (using an appropriately sized storm drain) so that inflows can be inspected.
- 52. The infiltration sump has been redesigned using a different system than previously proposed.** Include all manufacturer details (e.g. isolation and maintenance modules) being utilized for the design. Specify the stone bedding to be utilized for both the infiltration sump and Basin 1A (there does not appear to be a reference in the detail). The manufacturer detail calls out free flowing drainage backfill above the facility. Add detail to the sump profile as necessary. The engineer shall consider the interface of the stone and subgrade. (e.g. If AASHTO #57 clean stone is utilized as the interface for the soil subgrade, an appropriate drainage geotextile should be utilized at the interface.)
- 53. The infiltration sump and basins are located in an area where heavy vehicular loading or outrigger support (e.g. cranes or other) may be placed directly over the facilities during construction and/or future maintenance of the building.** The engineer should consider future loading requirements (structural integrity) of these systems. At a minimum, please show the ACF cover system in the details where appropriate.
- 54. Sheet 5 - There are discrepancies on the grading plan blow-ups between the labeled slopes and spot elevations.** Particularly along add perpendicular to the flow line in the eastern garage access area. Constructing asphalt at the tolerances indicated (0.01 ft. over 6 feet, per the spot elevations) and with such abrupt slope changes will be very difficult (if not impossible) for the contractor. In addition, the area will be frequently accessed by trash trucks making complex turning movements. It is highly probable that the asphalt will deflect over time impacting drainage characteristics and inlet capture. Update the design to fix discrepancies and permit reasonable constructability. In addition, correct the note overwrites.
- 55. The detail of orifice plate for Basin 1 does not show how the slanted wall connection is being made.** Plate details must specify that the connections are to be water-tight. There does not appear to be a connection at the bottom plate. The detail needs to specify how the plate will be sealed and seated at the bottom. Also, the plate for basin 1 needs to extend below the orifice invert to provide structural integrity. Update the details as necessary.

56. All final plans/reports shall be printed so that color appendices and attachments are legible.

57. Provide a copy of the final approved NPDES permit, and permit plans, and narratives for Township and Borough records.

If you have any questions or require additional information, please feel free to contact me at 814-862-9191.

Sincerely,
NTM Engineering, Inc.



Scott A. Brown, PE, D.WRE
Senior Project Manager

ec: Mr. Ronald Seybert, Township Engineer, Ferguson Township
Mr. Gregory Garth, Borough of State College Senior Planner
Mr. James Coslo, Centre County Conservation District

2021 04 01 West College Student Housing r6



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: The Ferguson Township Board of Supervisors

FROM: Kristina Aneckstein, Community Planner

DATE: March 26, 2021

SUBJECT: Wasson – Ash Avenue Replot/Subdivision

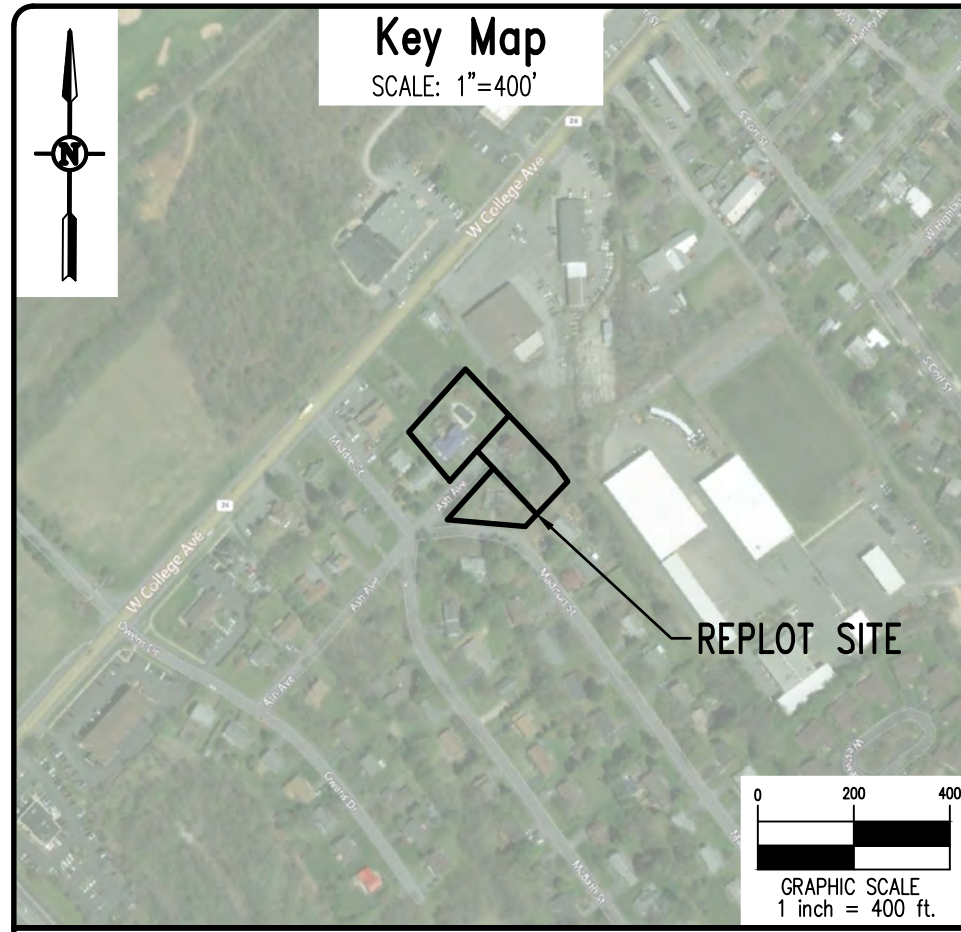
PennTerra Engineering, Inc. submitted the Wasson – Ash Avenue Replot Plan on behalf of their client. The Wasson – Ash Avenue Replot Plan is located at 1451 Ash Avenue, T.P. # 24-002A,132-,0000. The purpose of this plan is to replot Tax Parcel 24-002A,132-,0000-, 24-002A,134-,0000- and 24-002A,135-,0000-. Tax Parcel 24-002A,0132-,0000- is currently 0.547 acres and has proposed to replot it to 0.74 acres. Tax Parcel 24-002A,0134-,0000- is currently 0.414 acres and proposes to be replotted to 0.23 acres. Tax Parcel 24-002A,0135-,0000- is currently 0.268 acres and proposed to be replotted to 0.26 acres. The parcels are located within the Single Family Residential (R1) zoning district.

A request for a modification/waiver from Section 22-512 – Sidewalks and a request for a modification/waiver from Section 22-306.1. – Minor Subdivision and Minor Alteration were submitted. The Planning Commission recommended approval of the subdivision pending outstanding comments.

Recommendation: *The Planning Commission recommends to the Board of Supervisors approval of the Preliminary/Final Land Development Plan pending outstanding staff comments listed below.*

Outstanding Comments:

- Section 22.402.1.B/Section 22.508.1 Location and Elevation of installed monuments and markers, please note on the plan the coordinates of new markers being placed.
- Must submit a GIS-compatible plan prior to receiving signatures.
- All required signature blocks will need to be signed
- All non-conformities should be listed on the plan. The TP number 24-2A-135 shows the house over the rear setback line.
- The setback along Ash Avenue for 201 Madison Street should be listed as a front yard setback of 25 feet.



Owners Certification: TP# 24-02A-132
Commonwealth of Pennsylvania County of Centre

On this the _____ day of _____, 20____

undersigned owner, personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

Owner _____

witness my hand and seal, this date _____

Notary Public _____ Commission Expires _____

Owners Certification: TP# 24-02A-134
Commonwealth of Pennsylvania County of Centre

On this the _____ day of _____, 20____

undersigned owner, personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

Owner _____

witness my hand and seal, this date _____

Notary Public _____ Commission Expires _____

Owners Certification: TP# 24-02A-135
Commonwealth of Pennsylvania County of Centre

On this the _____ day of _____, 20____

undersigned owner, personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

Owner _____

witness my hand and seal, this date _____

Notary Public _____ Commission Expires _____

Township Planning Commission
Ferguson Township Planning Commission Approved

Chairman _____ Date _____

Secretary _____ Date _____

Township Supervisors
Ferguson Township Supervisors Approved

Chairman _____ Date _____

Secretary _____ Date _____

Professional Land Surveyor Certification
I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

Signature _____ Date _____

PROJECT NOTES:

1. General Site Information:

Owner of Record: Tax Parcel 24-2A-132 Rita S. Wasson Revocable Trust 1451 Ash Ave State College PA, 16801
Record Book/Page: Record Book 2177, Page 457
Lot Address: 1451 Ash Ave
Zoning: Single Family Residential (R-1)
Building Setbacks: Front-25' (Local Street) Side-10' Rear-30'
Building Height: 40' Max
Existing Lot Size: 23,808 S.F. / 0.55 Acres
Addition To Lot: 8,250 S.F. / 0.19 Acres
Proposed Lot Size: 32,058 S.F. / 0.74 Acres
Lot Coverage: Max. Coverage Allowed - 50% - 16,029 S.F. Max. Building Coverage Allowed - 30% - 9,617 S.F. Existing Building Coverage (After Replot) - 4,035 S.F. Existing Pavement, Sidewalks, etc. - 3,876 S.F. Total Coverage - 7,911 S.F. (25%)
Existing Use: Residential
Proposed Use: Residential

Tax Parcel 24-2A-134 Rita S. Wasson Revocable Trust 1451 Ash Ave State College PA, 16801
Record Book 2177, Page 457
Lot Address: 1451 Ash Ave
Zoning: Single Family Residential (R-1)
Building Setbacks: Front-25' (Local Street) Side-10' Rear-30'
Building Height: 40' Max
Existing Lot Size: 18,041 S.F. / 0.41 Acres
Addition To Lot: -7,881 S.F. / 0.18 Acres
Proposed Lot Size: 10,160 S.F. / 0.23 Acres
Lot Coverage: Max. Coverage Allowed - 50% - 5,080 S.F. Max. Building Coverage Allowed - 30% - 3,048 S.F. Existing Building Coverage (After Replot) - 1,327 S.F. Existing Pavement, Sidewalks, etc. - 2,674 S.F. Total Coverage - 3,404 S.F. (34%)
Existing Use: Residential
Proposed Use: Residential

Tax Parcel 24-2A-135 Marc A. & Christina M. McNeill 201 Madison St State College PA, 16801
Record Book 2179, Page 86
Lot Address: 201 Madison St
Zoning: Single Family Residential (R-1)
Building Setbacks: Front-25' (Local Street) Side-10' Rear-30'
Building Height: 40' Max
Existing Lot Size: 11,663 S.F. / 0.27 Acres
Addition To Lot: -369 S.F. / .01 Acres
Proposed Lot Size: 11,294 S.F. / 0.26 Acres
Lot Coverage: Max. Coverage Allowed - 50% - 5,647 S.F. Max. Building Coverage Allowed - 30% - 3,388 S.F. Existing Building Coverage (After Replot) - 1,327 S.F. Existing Pavement, Sidewalks, etc. - 802 S.F. Total Coverage - 2,129 S.F. (19%)
Existing Use: Residential
Proposed Use: Residential

2. The purpose of this plan is to Replot Tax Parcels 24-2A-132, 24-2A-134, and 24-2A-135.

3. Act 282 Utility Information: Serial No. 20202692554
All utility locations should be verified prior to any construction, utility information and locations should be considered approximate. Contractor shall notify PA One Call prior to any excavation.

a. Electric: West Penn Power; 2800 E. College Ave., State College, PA 16801; Phone: (814) 231-5355
b. Telephone: Verizon, Facility Management Center; 224 S. Allen Street, State College, PA 16801; Phone: (814) 231-6511
c. TV Cable: Comcast; 60 Decibel Road, State College, PA 16801; Phone: (814) 238-5050
d. Gas: Columbia Gas; 2550 Caroleen Drive, State College, PA 16801; Phone: (888) 460-4332
e. Sanitary Sewer: University Area Joint Authority (UAJA); 1576 Spring Valley Road, State College, PA 16801; Phone: (814) 238-5361
f. Water: State College Borough Water Authority (SCBWA); 1201 West Branch Road, State College, PA 16801; Phone: (814) 238-6766
g. Stormwater & Traffic Signals: Ferguson Township; 3147 Research Drive, State College, PA 16801; Phone: (814) 238-4651

4. Reference:
1. Final Plan, Agency Subdivision, Prepared by Uni-Tac Consulting Engineers, Recorded in PB 31, PG 81.
2. Wasson Lot Consolidation, Consolidation of Parcels 24-2A-132/133 and 24-2A-133A/134 dated September 21, 1993, Prepared by PennTerra Engineering Inc., Recorded in PB 48, PG 118.

5. Easement:
A. An easement for shared driveway access and maintenance between Tax Parcel 241-2A-132 and Tax Parcel 24-2A-135 was recorded at the Centre County Recorder of Deeds Office in RB _____, PG _____.
B. A 15' utility easement for water lateral access and maintenance for Tax Parcel 24-2A-135 through Tax Parcel 24-2A-132 was recorded at the Centre County Recorder of Deeds Office in RB _____, PG _____.
C. A 15' utility easement for shared sanitary sewer lateral access and maintenance between Tax Parcel 24-2A-132 and Tax Parcel 24-2A-134 was recorded at the Centre County Recorder of Deeds Office in RB _____, PG _____.
D. A 12' easement for driveway access and maintenance to the rear of the existing garage for Tax Parcel 24-2A-132 from Tax Parcel 24-2A-134 was recorded at the Centre County Recorder of Deeds Office in RB _____, PG _____.
6. This Record Plan conforms with the Plan receiving final approval by the Ferguson Township Board of Supervisors on _____. All improvements are or will be installed in accordance with such Plan in a manner and time so specified therein.
7. A waiver for a Minor Subdivision was approved by the Ferguson Township Board of Supervisors on _____. 2021.
8. A waiver of sidewalk requirement for the Re-plot was approved by the Ferguson Township Board of Supervisors on _____. 2021.
9. The existing house on Tax Parcel 24-2A-134 is over the existing front yard setback and the existing house on Tax Parcel 24-2A-132 is over the existing rear yard setback. These are existing non-conformities.

LINE	DIRECTION	LENGTH
EL1	S 51° 05' 09" E	28.26'
EL2	S 42° 58' 28" E	40.93'
EL3	S 46° 49' 26" W	9.85'
EL4	N 61° 31' 42" W	16.18'
EL5	N 42° 58' 27" W	24.55'
EL6	N 51° 05' 09" W	21.63'
EL7	S 88° 10' 03" W	1.65'
EL8	S 43° 03' 55" W	0.78'
EL9	N 43° 10' 34" W	15.03'
EL10	N 43° 03' 55" E	6.02'
EL11	N 88° 10' 03" E	13.45'
RL1	S 43° 10' 34" E	3.02'

LINE	DIRECTION	LENGTH
EL21	N 43° 10' 34" W	12.00'
EL22	N 46° 49' 26" E	76.22'
EL23	S 25° 52' 33" E	12.57'
EL24	S 46° 49' 26" W	72.48'

LINE	DIRECTION	LENGTH
EL25	N 46° 49' 26" E	21.25'
EL26	S 88° 15' 50" E	10.91'
EL27	S 43° 21' 01" E	21.25'
EL28	N 88° 15' 50" W	41.00'

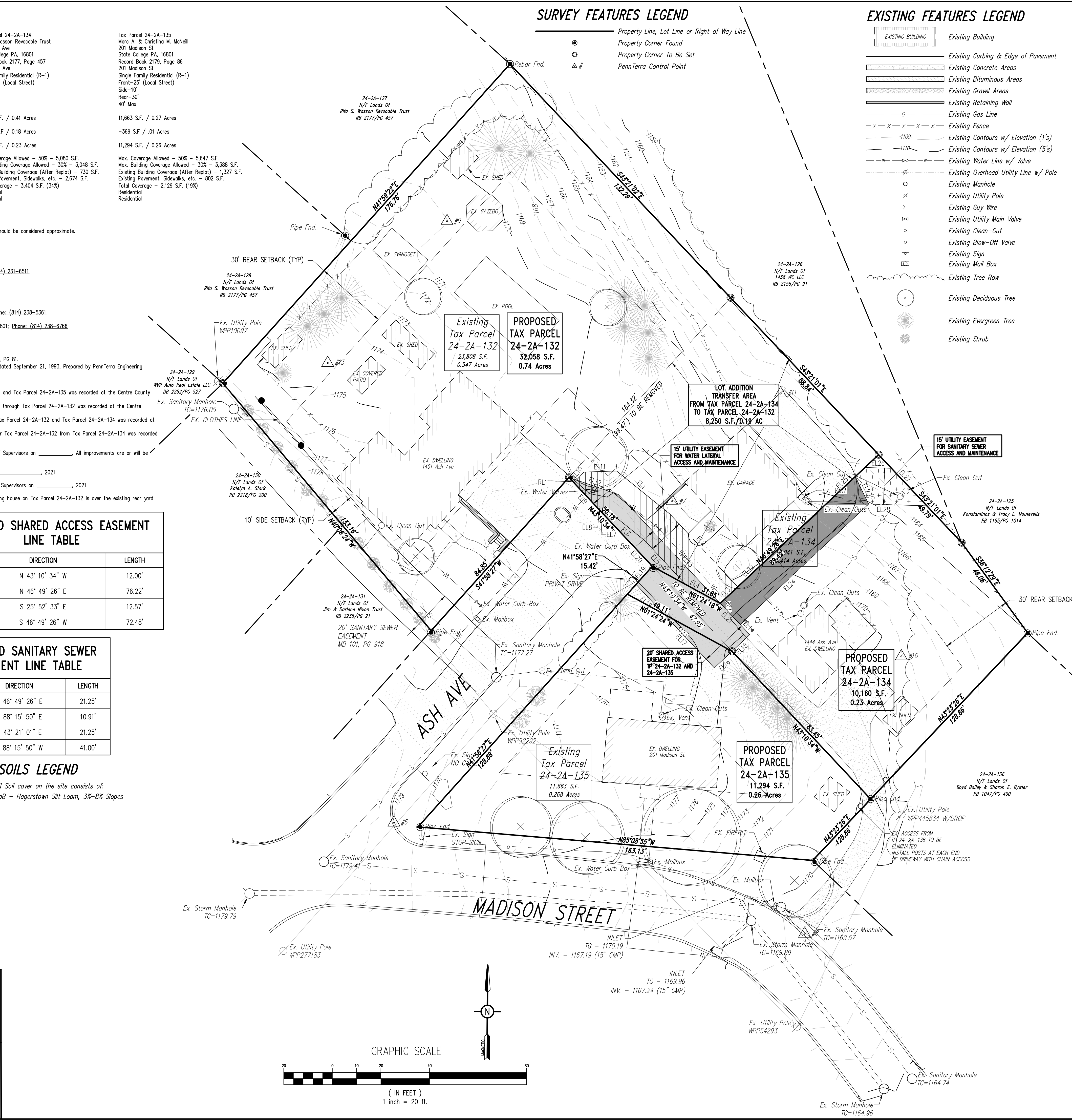
LINE	DIRECTION	LENGTH
EL12	S 70° 55' 13" E	21.48'
EL13	S 43° 10' 34" E	61.42'
EL14	S 43° 10' 34" E	17.70'
EL15	S 46° 49' 26" W	10.00'
EL16	S 46° 49' 26" W	10.00'
EL17	N 43° 10' 34" W	30.36'
EL18	N 43° 10' 34" W	16.74'
EL19	N 41° 58' 27" E	10.04'
EL20	N 43° 10' 34" W	50.18'

Township Zoning Officer
Ferguson Township Zoning Officer Approved

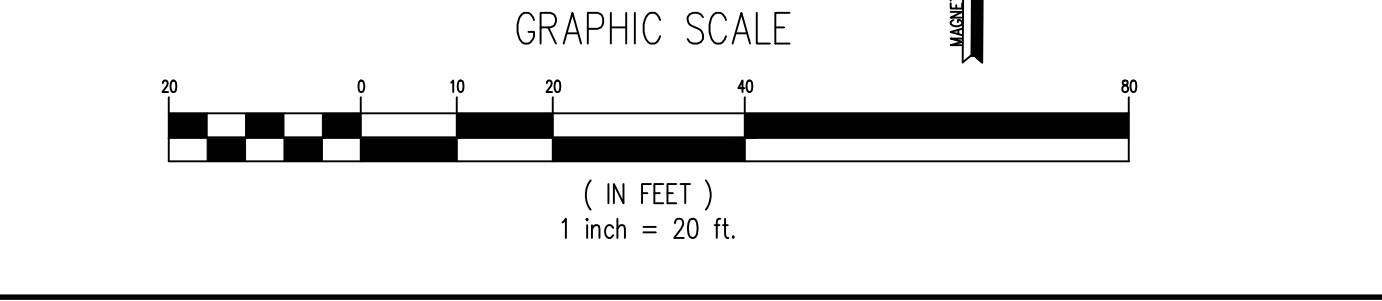
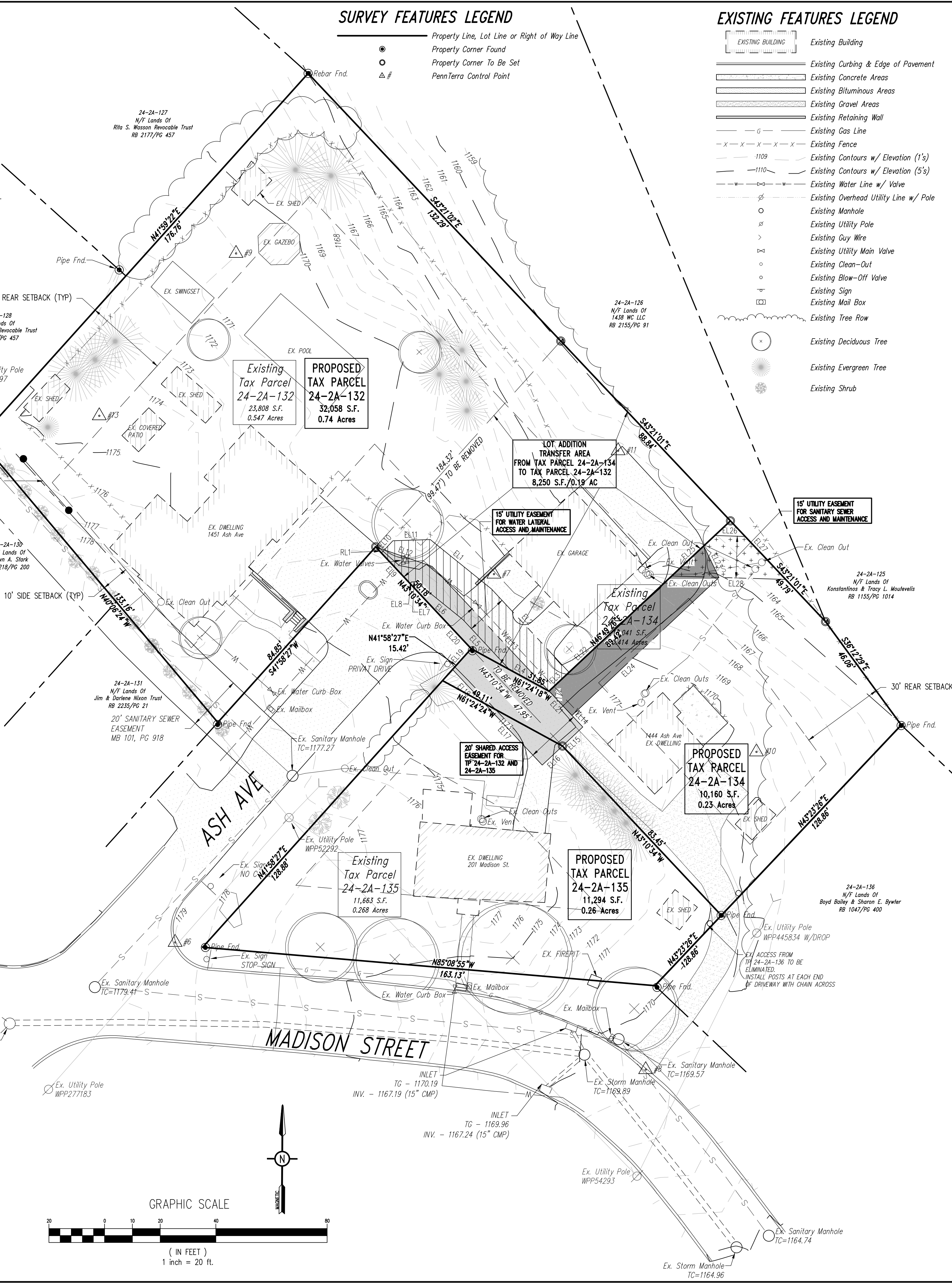
Zoning Officer _____ Date _____

Township Engineer Certification
I, _____, have reviewed and hereby certify that the plan meets all engineering design standards and criteria of the Ferguson Township Code of Ordinances.

Signature _____ Date _____



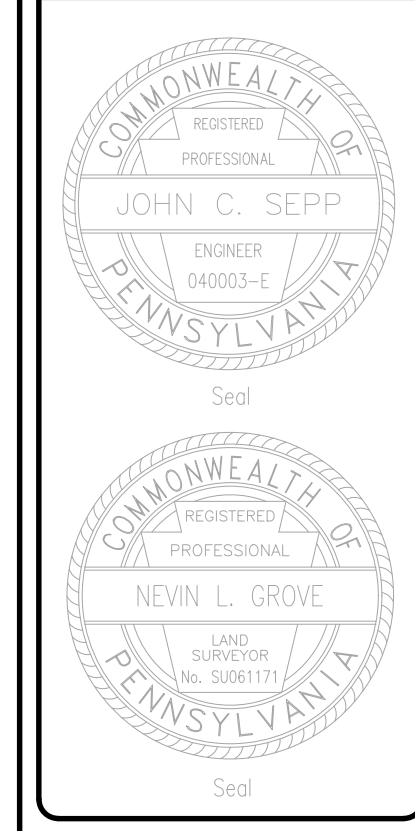
SOILS LEGEND
All Soil cover on the site consists of:
HaB - Hagerstown Silty Loam, 3%-8% Slopes



PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE SUITE 100 STATE COLLEGE, PA 16801
PH: 814-231-8285 Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE COLUMBIA, PA 17512
PH: 717-522-5031 Fax: 717-522-5046

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Designer: C.J.W.
Draftsman: C.J.W.
Proj/Manager: M.A.T.
Surveyor: XXXX
Perimeter Ok: XXXX
Book: XXXX Pg: XXXX
Drive P: Layout: XXXX
Acad: 19263-MD-dwg

Date	Description	REVISIONS

WASSON - ASH AVENUE REPLOT
FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

PRELIMINARY/FINAL SUBDIVISION PLAN

RECORD PLAN:
REPLOT OF TAX PARCELS
24-2A-132,
24-2A-134,
AND 24-2A-135

PROJECT NO. 19263
DATE NOVEMBER 24, 2020
SCALE 1" = 20' SHEET NO. 1

SURVEY FEATURES LEGEND

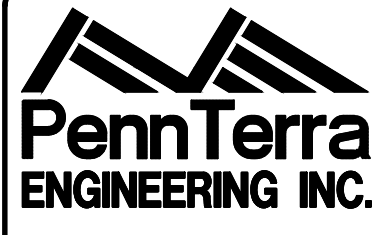
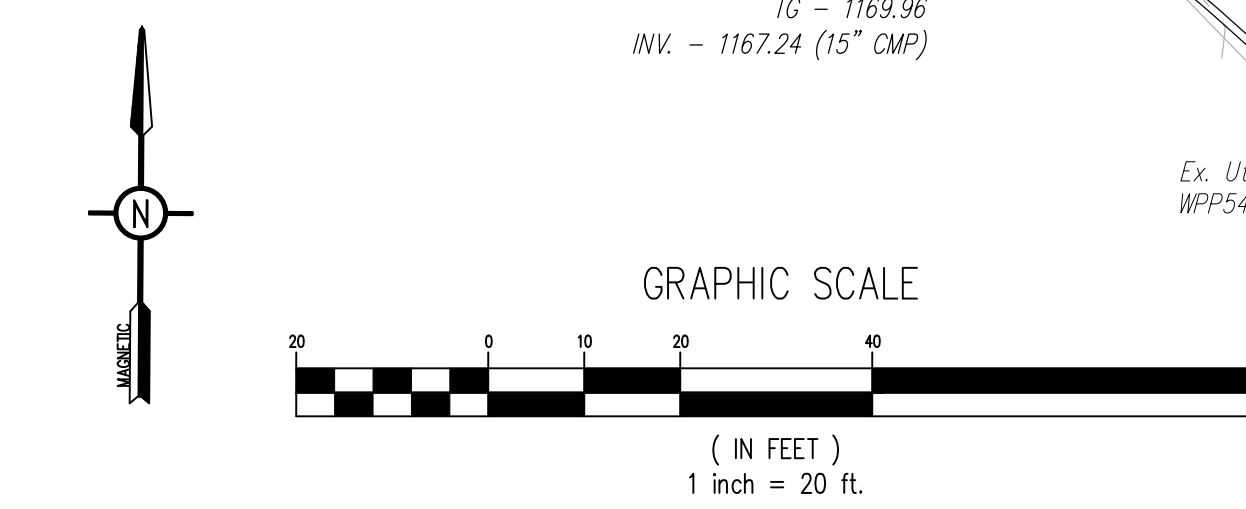
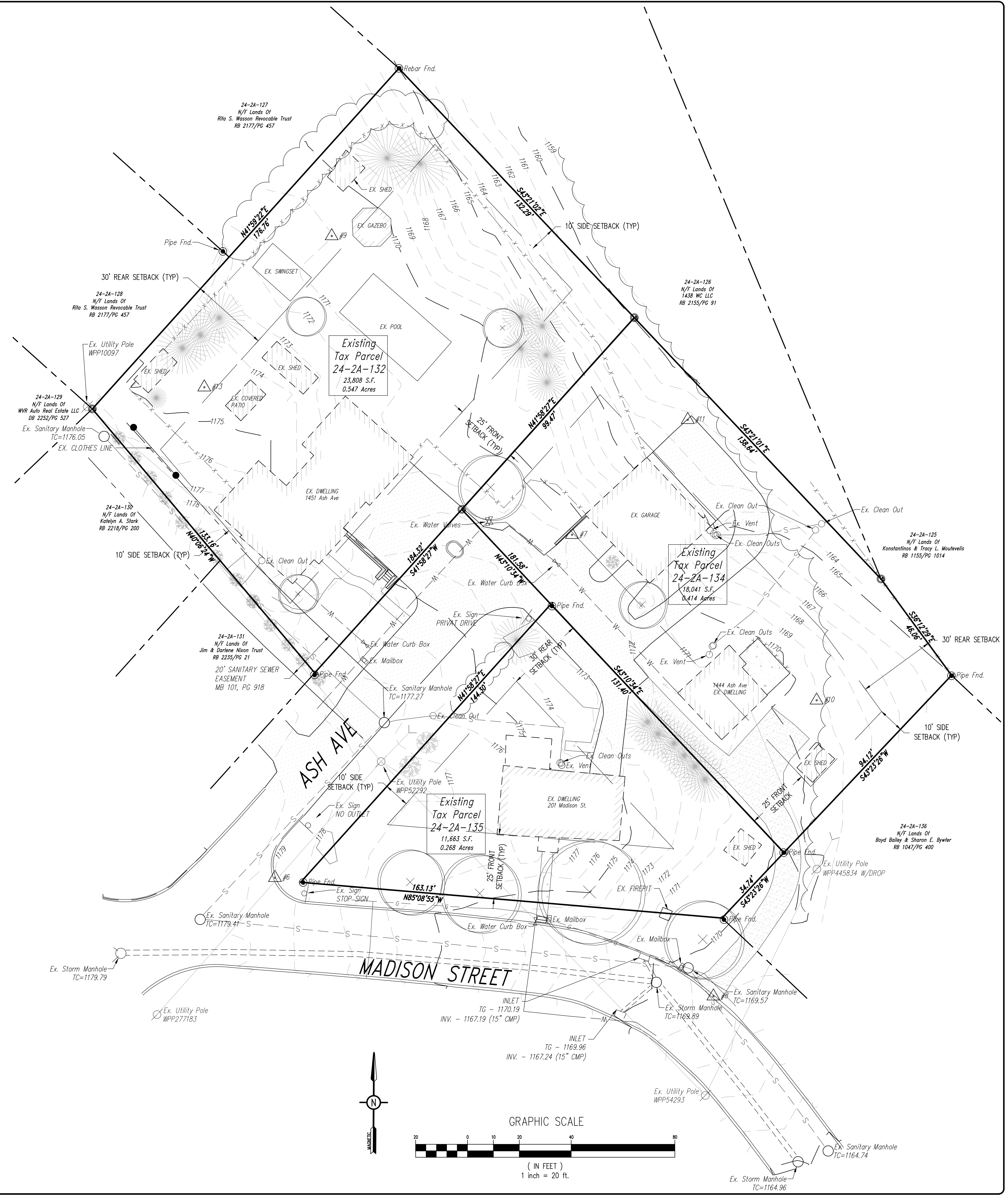
- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Property Corner Found
- Property Corner To Be Set
- PennTerra Control Point

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Bituminous Areas
- Existing Gravel Areas
- Existing Retaining Wall
- Existing Fence
- Existing Contours w/ Elevation (1's)
- Existing Contours w/ Elevation (5's)
- Existing Water Line w/ Valve
- Existing Sanitary Sewer Lateral w/ Clean Out
- Existing Overhead Utility Line w/ Pole
- Existing Manhole
- Existing Utility Pole
- Existing Guy Wire
- Existing Utility Main Valve
- Existing Clean-Out
- Existing Blow-Off Valve
- Existing Sign
- Existing Mail Box
- Existing Tree Row
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

SOILS LEGEND

All Soil cover on the site consists of:
 HaB - Hagerstown Silt Loam, 3%-8% Slopes



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Designer	CJW
Draftsman	CJW
Proj. Manager	MAT
Surveyor	XXX
Perimeter Clk.	XXX
Book	XXX Pg. XXX
Drawn P: Layout	XXX
Acad	19263-MD-dwg

Date	Description	REVISIONS

WASSON - ASH AVENUE REPLIT
 FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY/FINAL
 SUBDIVISION PLAN

EXISTING
 CONDITIONS:
 REPLIT OF TAX
 PARCELS
 24-2A-132,
 24-2A-134,
 AND 24-2A-135

PROJECT NO.	19263
DATE	NOVEMBER 24, 2020
SCALE	1" = 20'
SHEET NO.	2

CENTRE REGION COUNCIL OF GOVERNMENTS

2643 Gateway Drive, Suite 3

State College, PA 16801

Phone: (814) 231-3077 Fax: (814) 231-3083 Website: www.crcog.net

EXECUTIVE COMMITTEE

Video Conference

March 16, 2021

12:15 PM

GENERAL MEETING INFORMATION

STEP #1: [Click HERE to RSVP and REGISTER for the meeting via ZOOM](#)

After you RSVP, a link to register via Zoom will be shown. Click to register.

Once registered, you will receive a confirmation email containing information about joining the meeting.

STEP #2: [Click HERE to locate the AGENDA and ATTACHMENTS](#)

Should you desire to annotate any attachments you must download them first.

To attend this meeting by phone: +1 929 205 6099 | Meeting ID: 857 2048 1661

Meeting Contact: Scott Binkley (sbinkley@crcog.net, 814-235-7818)

- This meeting will be recorded, and electronic files of the meeting will be made available on the COG website upon its conclusion.
- We ask that non-voting participants remain muted with their video turned off unless recognized or are actively speaking. To reduce audio interference, please remain off speakerphone during the meeting.
- **VOTING PROCEDURES:** Members will provide their vote by voice. Clarification will be sought by the Chair if the vote is unclear. Members opposed to a motion should vote “No”. For additional information on COG Voting Procedures, please click [HERE](#).
- **PUBLIC COMMENT GUIDELINES:** Members of the public may comment on any items not already on the agenda (five minutes per person). Comments relating to specific items on the agenda should be deferred until that point in the meeting. For additional information on COG public meeting guidelines, please click [HERE](#).
- To access agendas and minutes of previously held meetings, and to learn more about the COG Executive Committee on our website, please click [HERE](#).

CENTRE REGION COUNCIL OF GOVERNMENTS

2643 Gateway Drive, Suite 3
State College, PA 16801
Phone: (814) 231-3077 Fax: (814) 231-3083 Website: www.crcog.net

EXECUTIVE COMMITTEE

Video Conference
March 16, 2021
12:15 PM

During the COVID-19 health emergency, to continue business operations of the COG and ensure the safety of municipal officials and staff, and to adhere to health emergency recommendations while remaining in compliance with Pennsylvania's guidelines for public meetings, this Executive Committee meeting will be held via video conference. Written public comment or requests to speak to the Executive Committee for items not on the agenda, and requests to comment to specific agenda items listed below, may be submitted in advance by emailing sbinkley@crcog.net.

AGENDA

1. **CALL TO ORDER AND ROLL CALL**

Mr. Hameister will convene the meeting. Mr. Binkley will take a roll call of members.

2. **PUBLIC COMMENTS**

Members of the public are invited to comment on any items not already on the agenda (five minutes per person time limit please). Comments relating to specific items on the agenda should be deferred until that point in the meeting. Submitted comments will be read into the record by the Recording Secretary at the appropriate time in the meeting.

3. **APPROVAL OF MINUTES**

A copy of the minutes of the February 16, 2021 Executive Committee meeting and February 26, 2021 Special Meeting of the Executive Committee are **enclosed**.

4. **WORK FROM HOME POLICY** - Presented by Eric Norenberg and Becca Petitt, COG HR Officer

After compiling results from a 2020 COG-wide staff survey, COG management realized that there is a strong desire for Work from Home to continue on some scale even after the pandemic. Using the input received from our employees, as well as Remote Work policies currently in place with some of our member municipalities, COG staff developed a detailed Work From Home outline. The HR Committee reviewed the outline at its

meeting in September 2020, and from there, staff developed a full Work From Home policy. The HR Committee reviewed the full policy at its meeting in November 2020. Following the Committee's review in November, the policy was forwarded to our labor attorney at Cambell Durrant for review. **Enclosed** is a revised draft of the Work from Home policy, agreement, and safety checklist. A list of the major changes following legal review are as follows:

Work From Home Policy:

- The sections were numbered to more easily identify which sections of the policy pertain to long-term Work From Home versus temporary or short-term Work From Home arrangements.
- More clarification and emphasis was placed on duration (short-term temporary and formal long term – in excess of 6 weeks) Work From Home – and less emphasis on whether the Work From Home request was employee or employer initiated.
- Wording regarding dependent care was revised throughout the policy to ensure we are not being over accommodating. While it's okay to be somewhat flexible, employees working from home must actually be working.
- Text was added to Section VII to address the importance of accurate timekeeping for non-exempt employees working from home. This is a requirement under the Fair Labor Standards Act and exists elsewhere in our COG Personnel Policy Handbook, however, we were advised to place it within the Work From Home policy as well.

Work From Home Agreement:

- Letters F & G were added to address accurate timekeeping for non-exempt employees working from home.

Work From Home Safety Checklist:

- No revisions were made.

The Committee should review the Work From Home policy, agreement, and safety checklist as revised by COG's labor attorney and consider the following motion which would refer the policy to the General Forum for adoption:

“That the Executive Committee, as recommended by the COG Human Resources Committee, recommends that the COG Work From Home policy dated March 3, 2021, be forward to the COG General Forum for review and adoption.”

All municipalities should vote on this motion.

5. RECOMMENDATION TO RETAIN CONCORD PUBLIC FINANCIAL ADVISORS –
Presented by Eric Norenberg and Joe Viglione

The Committee should review a Finance Committee recommendation as made at their March 11, 2021 meeting to retain the services of Mr. Chris Gibbons of Concord Public Financial Advisors to consider refinancing options of existing debt associated with the Pools and Regional Parks.

Over their past three meetings, the Finance Committee has discussed the possibility of refinancing existing debt associated with the Pools and Regional Parks projects. At its February 14, 2020 meeting the Finance Committee recommended that the Executive Committee retain Mr. Chris Gibbons of Concord Public Financial Advisors.

At its February 16, 2021 meeting the Executive Committee took the following actions:

A motion was made by Mr. Treviño and seconded by Mr. Barlow that the Executive Committee, as recommended by the Finance Committee, authorizes retaining Chris Gibbons of Concord Public Financial Advisors, Inc. to investigate and advise the Finance Committee regarding the borrowings as recommended by the Finance Committee during their meeting of February 11, 2021.

And

A motion was made by Ms. Dininni and seconded by Mr. Barlow to amend the original motion to include that the following option as referenced in the recommendation by the Finance Committee during their meeting of February 11, 2021, may or may not include extending the period of the loan:

- *A refinancing of existing debt to determine the amount of savings that would occur noting:*
 - *The amount that could be reapplied to the Whitehall Road Regional Park project, or*
 - *The amount that could be returned to the municipalities*

Both the original motion and amendment passed 5-0-1.

Since the February 16, 2021 Executive Committee meeting, staff has compiled information with detailed support (**enclosed** attachments 5A, 5B, and 5C) and submitted the following requests for information to Mr. Gibbons:

“At the March 11, 2021 Finance Committee meeting, please provide an estimate of the debt service obligations as they pertain to a refinancing of debt based on current market conditions. Specifically:

- 1) If it is determined to proceed with a Total Borrowing - Refinance the Parks Loan w/ WRRP proceeding within its current budget and a refinance of the Pools Loan as shown on attached (approximately \$7.8 million), not to exceed the latest

maturity date of the current loans, assuming an even repayment at 2021 levels (\$861,744), how much money could potentially be available to return to the municipalities in debt savings and/or be added to the Whitehall Road Regional Park project? It is assumed this number would be the same for either option taken.

- 2) If it is determined to proceed with Total Borrowing as Requested at the February Finance and Executive Committee meeting (\$10.5 million), with a debt service level equal not to exceed our current budget of \$861,744, assuming an even repayment, what would that repayment schedule look like if we were to extend the length of time the debt is outstanding (how long into the future would we be making principal and interest payments)?
- 3) As above for #2 in the principal amounts of \$8.5, \$9, \$9.5, and \$10 million.
- 4) A determination if the Parks Loan was shut down and not refinanced, an estimate of the savings of refinancing the Pools Loan only – net of borrowing costs. The balance on the Pools loan is currently \$3,132,450 with principal repayments of \$92,620 being due 3/1/21 and \$93,190 being due 6/1/21.”

The Executive Committee is asked to review and consider the information regarding the options and benefits provided by Mr. Chris Gibbons (*enclosed* attachment 5D) and that staff has summarized, with Mr. Gibbons’ assistance, below:

- 1) Refinance both loans at existing levels (approximately \$7.422 million) – Benefits are shown below:
 - o Level payments at \$861,700ish through 2028 – avoids increase projected in current debt service schedule
 - o Level payments at \$582,800ish from 2029-2031 – slight increase from current projected, but still almost \$280,000 less than the \$861,700 number
 - o Potentially fix in interest rate for 10 years significantly offsetting rate risk
 - o Present value of savings about \$32,500, but reduce interest rate risk by about \$455,000. Present value of savings/interest rate reduction through refinancing would be just under \$500,000
- 2) Borrow \$8.1 million – Benefits are shown below:
 - o Level annual payments of \$861,700ish through 2031
 - o Adds nearly \$680,000 to the project – approximately a \$900,000 shortfall for Whitehall Road Regional Park Phase I cost estimates
- 3) Borrow \$8.5 million – Benefits are shown below:
 - o Level annual payments of \$861,700 through 2031
 - o 2.25 additional quarterly payments required in 2032 (2 ¼ total additional QUARTERLY payments beyond 2031 required at the fixed ANNUAL amount of approximately \$861,750)
 - o Adds nearly \$1.1 million to the project – approximately a \$500,000 shortfall for Whitehall Road Regional Park Phase I cost estimates
- 4) Borrow \$9 million – Benefits are shown below:
 - o Level annual payments of \$861,700 through 2032

- 1 1/3 additional quarterly payments required in 2033 (5 1/3 total additional QUARTERLY payments beyond 2031 required at the fixed ANNUAL amount of approximately \$861,750)
 - Adds nearly \$1.6 million to the project – appears to fully fund Whitehall Road Regional Park Phase I cost estimates
- 5) Borrow \$9.5 million – Benefits are shown below:
- Level annual payments of \$861,700 through 2033
 - 1/3 additional quarterly payments required in 2034 (8 1/3 total additional QUARTERLY payments beyond 2031 required at the fixed ANNUAL amount of approximately \$861,750)
 - Adds nearly \$2.1 million to the project
 - Exceeds Phase I need by approximately \$500,000, could potentially be made available for Phase 2
- 6) Borrow \$10 million – Benefits are shown below:
- Level annual payments of \$861,700 through 2033
 - 3.5 additional quarterly payments required in 2034 (11 1/2 total additional QUARTERLY payments beyond 2031 required at the fixed ANNUAL amount of approximately \$861,750)
 - Adds nearly \$2.6 million to the project
 - Exceeds Phase I need by approximately \$1,000,000, could potentially be made available for Phase 2
- 7) Borrow \$10.5 million – Benefits are shown below:
- Level annual payments of \$861,700 through 2034
 - 2 2/3 additional quarterly payments required in 2035 (14 2/3 total additional QUARTERLY payments beyond 2031 required at the fixed ANNUAL amount of approximately \$861,750)
 - Adds nearly \$3.1 million to the project
 - Exceeds Phase I need by approximately \$1,500,000, could potentially be made available for Phase 2
- 8) Refinance Pools Loan only – Don't do it, the Pools loan only makes sense to refinance if it is piggybacked with Regional Parks loan

The Finance Committee recommends that the Executive Committee forward its recommendation to the General Forum for consideration. The following motion by Mr. Francke and seconded by Mr. Treviño, was approved by the Finance Committee (5-1 vote with Ferguson dissenting) at its March 11, 2021 meeting:

“That the Finance Committee recommends to the Executive Committee and General Forum to retain Concord Public Financial Advisors to investigate Option #4 (a \$9 million borrowing) on a not to exceed basis.”

Halfmoon Township should abstain from voting on this motion.

The Executive Committee is asked to discuss this recommendation and determine if/how it should be moved forward to the General Forum.

SPECIAL NOTE: If this item is forwarded on to the General Forum by the Executive Committee a quorum of each municipality (except Halfmoon Township) will be necessary to approve the recommendation. For the recommendation to pass at the General Forum meeting, a unanimous unit vote will be required.

Because the COG is currently conducting its meetings in a fully remote manner the process will be handled as such:

- The Chair will adjourn the General Forum meeting for municipalities to enter their separate unit voting groups.
- The Recording Secretary will stop the meeting recording and move members to individual municipal breakout rooms.
- Once all members have been moved into their respective breakout room, they will have five (5) minutes to deliberate.
- After five (5) minutes the Recording Secretary will close all breakout rooms and the Chair will reconvene the General Forum meeting, and the meeting recording continued.
- The Chair will ask the Recording Secretary to take a roll call vote by municipality.
- Halfmoon Township should abstain from voting on this recommendation.

6. CONSIDERATION TO CONDEMN ACTS OF BIAS AND HATE IN OUR COMMUNITY – Presented by Eric Norenberg and Jesse Barlow

Mr. Barlow will present this item which requests that the Executive Committee discuss what type of action may be appropriate for the Executive Committee or the General Forum to consider condemning acts of bias and hate, in particular those currently being perpetrated against Asians, Asian Americans, and Pacific Islanders.

Mr. Barlow will report on the **enclosed** resolution considered by State College Borough Council at its March 15, 2021 meeting.

Enclosed is a similar resolution, COG Resolution 2020-5, a resolution condemning racist and xenophobic hate and bias towards Asians, Asian-Americans, and Pacific Islanders during the COVID-19 pandemic. COG Resolution 2020-5 was adopted by the Executive Committee while acting on behalf of the COG General Forum at its May 19, 2020 meeting.

The Executive Committee should provide staff with any next steps on this item.

7. APPOINTMENT OF COG SOLICITOR DISCUSSION – Presented by Eric Norenberg

This item proposes that the Executive Committee begin a discussion regarding the appointment of the COG solicitor, as was recommended during the February 16, 2021, Executive Committee Meeting.

Article V of the COG Articles of Agreement, item C states:

Solicitor: *The Centre Region COG General Forum shall appoint a solicitor, who shall be the chief consultant of the Centre Region COG in all legal matters.*

The responsibility to appoint a solicitor by the General Forum first appears in the COG Articles of Agreement as signed on October 23, 1989.

The then-COG solicitor was in place prior to that responsibility being added to the Articles of Agreement and before the hiring of former Executive Director, Jim Steff. At that time, the COG solicitor was John R. Miller Jr., of the same firm that current COG solicitor Terry Williams represents. Mr. Miller provided his services to the COG until 2007 when due to illness, Terry Williams was chosen to succeed him because of his knowledge and understanding of COG.

The COG Purchasing Policy and Procedures note that while “*applicable state procurement laws do not require the bidding of professional/consulting services such as legal, accounting, engineering, auditing, insurance, medical, and architectural services*” at “*times, it may be in the best interest of the Centre Region Council of Governments to retain a professional consultant for a multi-year contract period (such as for legal or auditing services). In these cases, a contract not exceeding a three (3) year term may be awarded by the governing body using the RFP process.*”

Since there is no additional guidance in the COG Articles of Agreement as to how the COG solicitor is selected and appointed, nor any directive regarding the frequency of appointment, the Executive Committee may discuss preferences regarding the selection process for retaining the next COG solicitor.

8. COMMUNICATIONS PROCEDURE TO OUTSIDE ENTITIES – Presented by Eric Norenberg

This item asks that the Executive Committee begin a discussion regarding the following recommendation as provided during the February 16, 2021, Executive Committee Meeting:

Create a procedure to provide a framework and guidance for COG committees proposing to send advocacy letters to other governments or agencies, to submit feedback or opinions as a result of requests from other local, state, or national organizations, to release surveys to the public, or submit opinion columns to publications or other media.

The Executive Committee is asked to discuss and determine what type of communication should require prior approval of the Executive Committee and/or General Forum before being transmitted to entities outside of COG. The following are items for the Executive Committee to consider and discuss.

Consideration should be given to the following factors:

- Urgency and timeliness of the matter – Are there critical due dates or timeliness constraints driven by external factors (e.g., legislative calendars)?

- Specificity of the topic – i.e. Is the topic highly focused on the responsibility of a given COG Committee or Agency? Or is it one that crosses more than one Committee’s areas of responsibility?
- Is it appropriate for the COG to speak for the Centre Region and its municipalities on the topic? - Or do municipalities have conflicting opinions?
- Is it a routine matter?

Possible review and approval steps to be coordinated by the Committee Chair, Executive Director, and Agency Director:

- Consensus is obtained from the Committee – Either through vote during a meeting or review of a draft document via email.
- Review by the COG Chair – For urgent matters, the COG Chair could review and approve being sent prior to review by the Executive Committee.
- Review and approval by the Executive Committee.
- Final review and approval by the General Forum, if determined necessary by the Executive Committee.

After discussion, the Executive Committee is asked to provide direction to staff on the type of communication that should be required before the approval of the Executive Committee and/or General Forum, the role for the Committee Chair, the COG Chair, and the Executive Director to play in guiding the process and deciding next steps, and, if possible, what items should be reviewed by the full Executive Committee and under what circumstances. With this guidance, a draft procedure can be prepared for consideration during the April Executive Committee meeting.

9. EXECUTIVE DIRECTOR’S REPORT

The Executive Director will update the Executive Committee on other items of current interest, including:

Phased Reopening: In recent weeks, the COG management team has been consulting with Emergency Management Coordinator Shawn Kauffman and Facilities Coordinator Lou Brungard regarding strategies for safely increasing the number of staff working on-site again and for safely reopening facilities to the public. An update will be provided during the meeting.

SharePoint: One item included within a series of recommendations approved by the General Forum on the COG Committee Structure in September 2020, was to develop a uniform method of distributing agendas and materials electronically to its members. Since the approval of this recommendation, the COG has implemented this process by utilizing SharePoint. SharePoint is a Microsoft program used to create websites for the purpose of storing, organizing, sharing, and accessing information from any device. All you need is a web browser, such as Microsoft Edge, Internet Explorer, Chrome, or Firefox.

These meeting materials may be accessed in SharePoint by way of links provided by COG staff

members via meeting announcements sent by email. Staff began providing members with these links to meeting materials via email in the late summer of 2020 and has typically been provided alongside a separate link to register for the meeting via Zoom. By the beginning of 2021, all committee materials were being distributed using SharePoint sites to hopefully provide a common look and feel for locating agenda materials, regardless of committee or board.

In addition, links are provided on the COG website at www.crcog.net. Located under each committee section, users can find links to agenda packets, meeting minutes, committee resource materials and meeting recordings, all of which are managed by COG staff and housed on COG SharePoint sites. These SharePoint sites are navigable by year as well as by committee.

Should you have problems accessing these materials by way of our email communication or website, please contact your coordinating committee staff member or email sbinkley@crcog.net.

10. OTHER BUSINESS

- A. Matter of Record - The next meeting of the Executive Committee is scheduled for Tuesday, April 20, 2021, at 12:15 PM. It has not yet been determined if this will be an in-person or video conference meeting.
- B. Matter of Record - A link to the 2020 CRPC Annual Report is listed below for your information. The Pennsylvania Municipalities Planning Code requires each planning commission in the Commonwealth to make an annual written report on its activities to the governing body. The 2020 Annual Report was reviewed and approved by the Centre Regional Planning Commission at its meeting on March 4, 2021. The Annual Report Summarizes the accomplishments of the CRPA and the CRPC during 2020. Use this link to access the web-based version of the 2021 Annual Report on the CRPA webpage:
<https://storymaps.arcgis.com/stories/45051d88a0444e9f8344e90a098d83c0>.
- C. Matter of Record - As a prelude to annual CATA budget discussions, CATA would like to present their FY 2019/20 Annual Report. The annual report, available online at <http://catabus.com/wp-content/uploads/FY20192020-Annual-Report1.pdf>, provides a snapshot of CATA's services and financials, organizational make-up, and various accomplishments during the prior fiscal year.
- D. Matter of Record - John Franek, CRCA's Code Services Manager, announced his resignation to accept another position effective March 19, 2021. While this is an exciting opportunity for John, CRCA and the COG are sorry to have him leave. In the nineteen months John has been with the CRCA, he has profoundly impacted the staff and day-to-day operations. The job description is currently under review before the advertisement begins.
- E. Matter of Record - The Public Safety Committee sent a letter to Governor Wolf, the Secretary of Health, and the PEMA Director regarding vaccines for local police and fire personnel on February 22. The letter is **enclosed**.

- F. Matter of Record – As authorized last month, the Executive Director has been extended COG COVID-19 Leave through March 30, 2021. Staff continues to monitor legislation that is expected to include a replacement provision. If necessary, the COVID-19 Leave program will be extended again, through the end of April, to enable staff and the HR Committee to review options.
- G. Matter of Record – The C-NET website – www.cnet1.org has been streamlined to make it easier to navigate and offers a few new features. Watching C-NET programs on-demand is now easier than ever. There is an orange box labeled “Watch Now” toward the top of the homepage. Just click there to access the various playlists of videos. Alternatively, from any page on the site, click Videos in the menu at the top to find the video player. To access the videos sponsored by a member organization, you may click on “Members” and choose the member organization whose programs you wish to watch. There is also a direct link on the homepage to subscribe to C-NET’s YouTube Channel. The COG’s General Forum meetings are now live-streamed on YouTube and this link makes it easy to watch the YouTube live streams. Finally, there is an opportunity for people to enter their email address to sign up for C-NET’s email notification service at the bottom of the page. This is intended to make it easier for the public to sign up to be notified whenever a program of interest to them is available online.
- H. Matter of Record – On January 19, 2021, the U.S. Office of Management and Budget (OMB) published a notice in the Federal Register seeking comment about recommended changes to standards for designating “metropolitan” and “micropolitan” statistical areas, including increasing the population threshold for designating an area as “metropolitan” from 50,000 to 100,000 persons and reclassifying areas between 50,000-99,999 persons as “micropolitan”. The proposed change would reclassify nine areas in Pennsylvania from metropolitan to micropolitan status, including the State College Metropolitan Statistical Area (Centre County).

On February 23, the Centre County Metropolitan Organization (CCMPO) Coordinating Committee authorized MPO staff to submit comments about the proposed changes and to share the comments with Centre County’s Congressional delegation. Although the proposed OMB changes do not directly affect the CCMPO’s designation at this time, the MPO is concerned that the U.S. Census Bureau may redefine standards for designating Urbanized Areas and the U.S. Department of Transportation may change the criteria for designating metropolitan planning organizations (MPOs) to be consistent with the new OMB standards, should they be enacted. Such actions could result in the loss of Centre County’s designation as an MPO. The OMB’s proposed changes for defining metropolitan areas may also impact eligibility requirements and funding associated with other federal agencies, such as the U.S. Department of Housing and Urban Development (HUD). The Borough of State College is a direct recipient of HUD funding, based on the metropolitan area designation.

The CCMPO staff is preparing comments to OMB for submission by the March 19 deadline. Staff will also continue to monitor potential actions from other federal agencies that may be related to this topic.

- I. Matter of Record - At a joint meeting on March 4, 2021, the COG Public Services and Environmental and Transportation and Land Use Committees agreed to recommend that the General Forum approve a merger of the two committees. The working name of the committee is Land Use, Transportation, and Infrastructure Committee (LUTI) although other names are being contemplated. The newly formed committee has drafted responsibilities that will help integrate land use planning, transportation planning and infrastructure investments in the Region. This action is consistent with "*Recommendations on the COG Committee Structure*" approved by the General Forum at its meeting on September 29, 2020. Representatives on the newly formed committee will need to be confirmed by the municipalities in accordance with usual process in the Articles of Agreement. Not all members were present at the meeting, and it is anticipated that one or two more meetings will be needed to finalize committee composition, draft the proposed resolution, and to determine the proposed name.

The newly formed committee anticipates forwarding a proposed Resolution to formally create the committee to the Executive Committee for a recommendation to the General Forum in May. The merger of the two existing committees is consistent with the advice of the COG Solicitor that changes to COG committees can take place by adopting a resolution without formally changing the COG Articles of Agreement. When changes to the COG Articles of Agreement are made in the future, this change would be incorporated.

- J. Matter of Record - At last month's meeting, the Executive Committee referred further analysis and evaluation of the General Forum Room audio/video enhancements to the Facility Committee. Since then, the COG Facility Coordinator and Administration Office Manager have been evaluating other alternative solutions and procurement options. These are slated to be shared with the Facilities Committee in April.
- K. Matter of Record - Work on the COG organizational strategic plan is continuing. Thank you to the many elected officials who contributed their suggestions and input on the recent survey for the development of the draft COG Mission and Vision statements and Values. This valuable feedback is currently being integrated. Over the next few weeks, we will gather thoughts from COG agency directors and staff as well. The next step will be to bring revised Mission and Vision statements to the General Forum for consideration during the April 26 meeting and to start the discussion about goals for the plan.

11. CALENDAR

A calendar with upcoming COG committee, General Forum, and municipal meetings can be found by clicking the following link: [COG and Municipal Meeting Overlay Calendar](#)

12. ADJOURNMENT

ENCLOSURES

<u>Item #</u>	<u>Description</u>
03A	Executive Committee Meeting Minutes: February 16, 2021
03B	Executive Committee Special Meeting Minutes: February 26, 2021
04A	Work From Home Policy
04B	Work From Home Agreement
04C	Work From Home Safety Checklist
05A	Borrowing Reconciliation with Support
05B	Centre COG Refund Series of 2012 (Pools)
05C	Centre COG Refund Series of 2011 (Parks) and Series of 2012 (Pools)
05D	Summary of Financing Options
06A	State College Borough Resolution: Stop AAPI violence
06B	COG Resolution 2020-5
10E	Public Safety Committee Police and Fire Vaccine Letter

CENTRE REGION COUNCIL OF GOVERNMENTS

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State College, PA 16801

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SOLAR POWER PURCHASE AGREEMENT WORKING GROUP

Video Conference

March 24, 2021

9:00 AM

During the COVID-19 health emergency, to continue business operations of the COG and ensure the safety of municipal officials and staff, and to adhere to health emergency recommendations while remaining in compliance with Pennsylvania's guidelines for public meetings, the SPPA Working Group will hold its meeting via video conference. Written public comment or requests to speak to the SPPA Working Group for items not on the agenda and for specific agenda items below may be submitted in advance by emailing jviglione@crcog.net.

AGENDA

1. CALL TO ORDER

Mr. Buck will convene the meeting.

2. PUBLIC COMMENT

Members of the public are invited to comment on any items not already on the agenda (five minute per person time limit, please). Comments relating to specific items on the agenda should be deferred until that point in the meeting.

3. APPROVAL OF MINUTES

A copy of the minutes of the January 27, 2021 Solar Power Purchase Agreement (SPPA) Working Group meeting is **enclosed**.

4. TIMELINE FOR REQUEST FOR PROPOSAL FOR ENERGY CONSULTING SERVICES

Below is the endorsed timeline for the energy services consultant Request for Proposal (RFP) as agreed to at the January 27, 2021 meeting. The timeline is based on an April start date:

April 30, 2021	Advertise RFQ/RFP
May 21, 2021	Deadline for questions from consulting firms
May 28, 2021	Deadline for responses to consulting firm questions
June 15, 2021	Open Bids from Energy Services Consultants and Joe's 45 th birthday
June 22, 2021	SPPA Micro Group select finalists
June 30, 2021	SPPA Micro Group interviews finalists

July 6 – July 13 July 21, 2021	SPPA Micro Group negotiates/selects Energy Services Consultant SPPA Working Group reviews, recommends, and refers Energy Services Consultant to boards/councils
July/August August 11, 2021	Boards/Councils endorse hiring an Energy Services Consultant SPPA Working Group recommends SCASD hire an Energy Services Consultant
August 16 – September 13 September 17, 2021	SCASD enters a contract with the Energy Services Consultant recommended by the SPPA Working Group Documents signed by SCASD and Energy Services Consultant is hired

The Committee should review the timeline and discuss if there needs to be any changes based upon factors that may have occurred since the January 27, 2021 meeting. If the schedule is unchanged the members of the Working Group should come prepared to vote to release the RFP for Energy Consulting Services at the April 28, 2021 meeting.

5. LARGE-SCALE RENEWABLE AGGREGATION COHORT

Since the conclusion of the official SPPA Working Group meeting on January 27, 2021, the SPPA Working Group members have completed Workshop #5 and #6. The Large-Scale Renewables Aggregation Cohort is now finished and SPPA WG members participated in a total of 7 sessions including those below:

#1 Building Renewable Aggregation Knowledge & Governance Structure	9/30 <i>completed</i>
#2 Identifying Legal and Accounting Risks	11/2 <i>completed</i>
#3 Determining Procurement Process & Developing Risk Mitigation Strategies	11/23 <i>completed</i>
Aggregated PPAs - Hear from Melbourne	12/3 <i>completed</i>
#4 Pitching Your Project to Senior Leaders	12/15 <i>completed</i>
#5 Aligning on Procurement Deal Terms	1/27/21 <i>completed</i>
#6 Drafting your Request for Proposal (for a Solar Power Purchasing Agreement Project)	2/22/21 <i>completed</i>

General information can be found at: https://www.crcog.net/aggregation_cohort. SPPA Working Group members have access to the workshop slides, recordings and guides at: <https://cityrenewables.org/aggregation-cohort/>.

The Cityrenewables.org website is password protected. If you do not already have a password for this website and would like one, please contact Pam Adams at padams@crcog.net.

During Workshop #5 World Resources Institute (WRI)/Rocky Mountain Institute (RMI) staff presented their aggregation alignment tool which can be found at:

<https://docs.google.com/spreadsheets/d/1jLf7f05eX-VtKiQ9UzIx3SyTOJdCecAKyqlwcNILNgg/edit?usp=sharing>

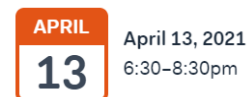
Note this Google sheet has been updated with a new column (C) that includes the 2018 electricity consumed by each entity. WRI/RMI walked the group through a discussion about aligning on key RFP details such as:

- Electricity Procurement Needs (blue)
- Resource Details (green)
- PPA Details (orange)
- Co-Benefits (pink)
- Risk Mitigation Strategies (purple)

Ms. Adams will be presenting on this material and discussing potential decision points that may arise in the coming months during the RFP for Energy Consulting Services.

6. OTHER BUSINESS

- A. Matter of Record – On March 23, 2021, Ms. Adams will present to the Urban Sustainability Directors Network (USDN) during a webinar titled *Aggregated Large Scale Off-Site PPAs*. World Resources Institute (WRI) and Rocky Mountain Institute (RMI) jointly run a monthly peer-learning group on renewable energy for cities and counties that are part of USDN. WRI/RMI staff asked Ms. Adams to present on the SPPA Working Group’s process and lessons learned.
- B. Matter of Record – A Centre Region Sustainability Survey postcard mailer was sent to 3,000 random residential addresses on February 26, 2021. The online survey was launched March 3, 2021 and is available here centresustains.com/survey. The survey will help local government gauge community knowledge of and interest in sustainable practices for developing the regional Climate Action and Adaptation Plan.
- C. Matter of Record – On April 13, 2021 from 6:30 – 8:30pm students in the PSU Mediation of Environmental and Public Conflicts course will facilitate a virtual community forum on *Addressing Climate Impacts in the Centre Region*.



It is open to stakeholders and interested community members. The purpose of this forum is to bring people together to identify shared values, think about what the future might look like for the Central Region, and explore potential solutions.

7. ADJOURNMENT

**JOINT MEETING OF THE
PUBLIC SERVICES AND ENVIRONMENTAL AND
TRANSPORTATION AND LAND USE COMMITTEES AND THE
CENTRE REGIONAL PLANNING COMMISSION**

**Zoom Meeting
Thursday, April 1, 2021
12:15 PM**

GENERAL MEETING INFORMATION

STEP #1: [Click HERE to REGISTER for the meeting via ZOOM](#)

Once registered, you will receive a confirmation email containing information about joining the meeting.

STEP #2: [Click HERE to locate the AGENDA and ATTACHMENTS](#)

**To attend this meeting by phone:
+1 301 715 8592 | Meeting ID: 895 7250 6072 | Passcode: 176617**

Meeting Contact: Marcella Laird (mlaird@crcog.net – 814-231-3050)

This meeting and the group chat will be recorded and both video and audio files of the meeting will be made available on the COG website upon its conclusion.

- We ask that non-voting participants remain muted with their video turned off unless recognized or are actively speaking. To reduce audio interference, please remain off speakerphone during the meeting.
- **VOTING PROCEDURES:** Members will provide their vote by voice. Clarification will be sought by the Chair if the vote is unclear. Members opposed to a motion should vote “No”. For additional information on COG Voting Procedures, please click [HERE](#).
- **PUBLIC COMMENT GUIDELINES:** Members of the public may comment on any items not already on the agenda (five minutes per person). Comments relating to specific items on the agenda should be deferred until that point in the meeting. For additional information on COG public meeting guidelines, please click [HERE](#).
- To access agendas and minutes of previously held meetings, and to learn more about the Public Services and Environmental and Transportation and Land Use Committees and the Centre Regional Planning Commission on our website, please click [HERE](#).

CENTRE REGION COUNCIL OF GOVERNMENTS

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JOINT MEETING OF THE PUBLIC SERVICES AND ENVIRONMENTAL AND TRANSPORTATION AND LAND USE COMMITTEES AND THE CENTRE REGIONAL PLANNING COMMISSION

Zoom Meeting Platform

Thursday, April 1, 2021

12:15 PM

1. CALL TO ORDER AND ROLL CALL – Chair Hameister will call the meeting to order.
2. APPROVAL OF MINUTES – The minutes of the March 4, 2021 joint meeting of the Transportation and Land Use and Public Services and Environmental Committees are **enclosed**. The March 4, 2021 Centre Region Planning Commission meeting meetings are also **enclosed**.
3. PUBLIC COMMENTS – For items not on the agenda.
4. DRAFT RESOLUTION TO DESIGNATE MAY AS BIKE MONTH *presented by Trish Meek*

This item provides information on biking and pedestrian activities in the Centre Region and asks that the joint PSE and TLU Committee forward a resolution to the COG Executive Committee recommending that May 2021 be designated as Bike Month. The resolution should be forwarded from the Executive Committee to the General Forum for final action at its April 26, 2021 meeting.

Bicycling and walking activities continue to grow in popularity and importance in the Centre Region and all the Region's municipalities are actively engaged in planning and implementing projects to facilitate bicycling and walking.

The COG submitted an application in October 2020 to the League of American Bicyclists for designation as a Bicycle Friendly Community on behalf of the Centre Region municipalities. The application recognized the importance of bicycling and walking, and the expanding nature of the Region's network of bike and pedestrian facilities. Based upon the strength of the application, the Centre Region was elevated to a silver level Bicycle Friendly Community in December 2020.

COG staff is requesting that a resolution (**enclosed**) be adopted by COG designating May 2021 as Bike Month. The resolution will also recognize May 17 to 23, 2021 as Bike to Work Week, and May 21, 2021 as Bike to Work Day and Centre Region Bike Anywhere Friday. A draft resolution is enclosed for consideration by the committee.

These bike designations would complement the activities of the individual municipalities and COG in planning and implementing projects and programs that support bicycling and

walking in the Region. The League of American Bicyclists also awarded the Bicycle Friendly Business designation State College Borough and the CROG in 2021.

These awards are indicative of the progress being made to expand the role of bicycling and walking in the community. To continue the effort to raise awareness of these modes of transportation, staff requests that the PSE/TLU Committee forward the request to the Executive Committee for COG General Forum to receive and approve the draft resolution.

To move forward, the joint PSE and TLU Committee should move to send the resolution to the COG Executive Committee for inclusion on the General Forum agenda on April 26, 2021 for final action.

5. INTRODUCTION TO WATER, SEWER, TRANSPORTATION, AND LAND USE ISSUES – introduced by Jim May

This item provides information from the State College Borough Water Authority (SCBWA), the University Area Joint Authority (UAJA), the Centre County Metropolitan Planning Organization (CCMPO), and the Centre Regional Planning Agency (CRPA). Each organization will provide a summary of their current area of operation, long term planning projects and initiatives, potential threats, and potential opportunities. This is intended to suggest areas where organizations can leverage resources to better integrate land planning with water resources and transportation planning efforts in the Centre Region. Penn State and CATA may be invited to present at future meetings.

Presentations include:

- Brian Heiser – Executive Director, State College Borough Water Authority
- Cory Miller – Executive Director, University Area Joint Authority
- Tom Zilla, Principal Transportation Planner, Centre County Metropolitan Planning Organization
- Jim May, Director, Centre Regional Planning Agency

6. OTHER BUSINESS

A. Matter of Record – At the March 4, 2021 meeting the TLU and PSE Committees discussed how to ensure committee issues were addressed by staff, the municipal governing bodies, or other COG committees between meetings. Staff suggests that the newly formed committee utilize the template established for follow up on General Forum actions (enclosed).

B. Matter of Record – The next meeting of the joint PSE and TLU Committees will be on May 6, 2021 at 12:15 p.m. via Zoom. Agenda items will include: potential action on a committee name; discussion of a review and potential recommendation the draft resolution for a mission statement and responsibilities; and an introduction to various options for solar installations including, utility scale, net metering scale, community scale, solar cooperatives, and individual residential scale installations.

- C. Matter of Record - The next meeting of the CRPC will be on Thursday May 6, 2021 at 7:00 p.m. via Zoom. Agenda items include a review of changes to staff and applicant verbal presentations; review and recommendation the changes to the Terraced Streetscape Design Ordinance in Ferguson Township; and an introduction to various options for solar installations including, utility scale, net metering scale, community scale, solar cooperatives, and individual residential scale installations.

7. ADJOURNMENT

CENTRE REGION COUNCIL OF GOVERNMENTS
JOINT MEETING OF THE PUBLIC SERVICES & ENVIRONMENTAL AND
TRANSPORTATION & LAND USE COMMITTEES

MINUTES
March 4, 2021

(Please refer to the COG audio/meeting file website when referencing the time stamps.)

Mr. Hamiester called the March 4, 2021 remote Zoom joint meeting of the COG Public Services & Environmental and Transportation & Land Use Committees to order at 12:17 PM.

Public Services and Environmental Committee Members present: Deanna Behring, State College Borough; Danelle DelCorso, Halfmoon Township; Dennis Hameister, Harris Township; Prasenjit Mitra, Ferguson Township; Carla Stilson, College Township; and Betsy Whitman, Patton Township.

Transportation and Land Use Committee Members present: Eric Bernier, College Township; Danelle DelCorso, Alternate, Halfmoon Township; Pamela Robb, Patton Township; Lisa Strickland, Ferguson Township; and Neil Sullivan, Penn State University.

Others present: Ms. Adams, Sustainability Planner, Centre Region Planning Agency (CRPA); Mr. Binkley, Administration Office Manager, Centre Region COG; Mr. Boeckel, Principal Planner, CRPA; Mr. Kausch, Senior Transportation Planner, CRPA; Mr. Mason, Sierra Club; Mr. May, Agency Director, CRPA; Ms. Meek, Senior Transportation Planner, CRPA; Mr. Norenberg, Executive Director, Centre Region COG; Ms. Oliva, Executive Director, CATA; Ms. Pollock, Senior Planner, CRPA; Mr. Rilk, Senior Planner, CRPA; Mr. Zilla, Principal Transportation Planner, CRPA; and Ms. Mato, Administrator, COG Refuse and Recycling Program, and Recording Secretary.

PUBLIC COMMENTS (00:02:10)

There were no public comments at this time.

MINUTES (00:02:20)

A motion was made by Ms. DelCorso and seconded by Ms. Robb that the minutes of the February 4, 2021 joint meeting of the COG Public Services & Environmental and Transportation & Land Use Committees be approved as presented. The motion passed by unanimous vote.

REVIEW OF FOLLOW UP ITEMS FROM JOINT MEETING OF FEBRUARY 4, 2021
(00:03:16)

Mr. May reviewed the following items from the previous joint meeting:

1. Meeting dates: Committee members expressed the intention of moving forward with a combined committee within the next month or two. Committee members reported

that these municipalities are supportive of merging the two committees and have appointed representatives:

- a. College Township: Eric Bernier
- b. Ferguson Township: Lisa Strickland
- c. Halfmoon Township: Danelle DelCorso
- d. Patton Township: Pamela Robb
- e. State College: supportive of combining at this time

Mr. Norenberg explained that the General Forum will need to pass a resolution to combine the two committees into one standing committee.

2. Meeting Protocols: It was agreed that committees would merge within the next month(s), making additional discussion of meeting protocols unnecessary at this time.
3. Committee liaisons with other COG committees: Committee members agreed that liaisons with other committees on an as-need basis and the use of Matters of Record and both verbal and written reports would be preferable to permanent liaison appointments.
4. Draft Committee Responsibilities: Committee members discussed the addition of matters of equity in committee responsibilities, and determined that discussion of this topic belongs in the broader context of the COG General Forum and/or Strategic Plan.

A motion was made by Ms. Whitman and seconded by Ms. Stilson to accept the draft responsibilities stated in the agenda as written. The motion passed by unanimous vote.

5. Onboarding, Committee Agendas and Minutes, and other resources: Mr. May explained that the COG is working towards using Sharepoint as a consistent platform across all committees for committee members' access to materials, including training materials for onboarding new members.

JOINT MEETING BETWEEN THE TLU COMMITTEE, PSE COMMITTEE, AND THE CENTRE REGIONAL PLANNING COMMISSION (CRPC) (00:24:00)

Mr. May explained his intention to request presentations from four entities for the April meeting in which this merged committee will meet jointly with the CRPC. These entities are the University Area Joint Authority, the State College Borough Water Authority, the Municipal Planning Organization, and the Centre Region Planning Agency. These presentations will cover planned or implemented projects, major challenges in these projects, and possible points in which the merged committee and/or CRPC may get involved.

**ROLE OF THE MERGED COMMITTEE IN FUTURE LAND USE, TRANSPORTATION,
AND INFRASTRUCTURE POLICY AND COORDINATION (00:27:02)**

Mr. May provided a presentation outlining the COG's role in integrating land use with transportation and infrastructure development projects. Major projects that will come before the committee include the Centre Region Comprehensive Plan, The Centre County Long Range Transportation Plan, and priorities from the Comprehensive Improvement Plan. He further provided examples of other projects likely to come before the committee including water and sewage projects and transportation plans as the region works to adapt to changes in technology; regional, state, and federal goals; and climate. He concluded the presentation with a draft mission statement for the merged committee.

OTHER BUSINESS (00:45:03)

Committee members agreed on the need to finalize a name and/or acronym for this new committee.

ADJOURNMENT (00:46:26)

There being no further business, the March 4, 2021 joint meeting of the COG Public Services and Environmental and Transportation and Land Use Committees was adjourned at 1:03 PM.

The next meeting is scheduled jointly for both committees with the Centre Region Planning Commission for April 1, 2021.

Respectfully submitted,
Shelly Mato
Recording Secretary

CENTRE REGIONAL PLANNING COMMISSION

Minutes

Thursday, March 4, 2021

(please refer to CNET's [www.cnet1.org] recording when referencing timestamps)

Mr. Forziat called the Thursday, March 4, 2021 remote Zoom meeting of the Centre Regional Planning Commission (CRPC) to order at 7:00 p.m.

Members Present: Ray Forziat, College Township; Andrew Meehan, Halfmoon Township; Amy Lorek, Harris Township; Ellen Taricani, Ferguson Township; Jon Eich, State College Borough; Neil Sullivan; Penn State University

Others Present: Jim May, Centre Regional Planning Agency (CRPA) Director; Mark Boeckel, CRPA Principal Planner; Pam Adams, CRPA Sustainability Planner; Nicole Pollock, CRPA Senior Planner; Corey Rilk, CRPA Senior Planner; Tom Zilla, CRPA Principal Transportation Planner; Greg Kausch, CRPA Senior Transportation Planner; Trish Meek, CRPA Senior Transportation Planner; Marcella Laird, CRPA Office Manager; Denise Gembusia, Halfmoon Township Manager; Kristina Aneckstein, Ferguson Township Community Planner

APPROVAL OF MINUTES (00:01:36)

Motion was made by Dr. Taricani and seconded by Ms. Lorek to approve the minutes of the February 4, 2021 CRPC meeting, as presented. The motion carried 6-0 (Mr. Rater was not in attendance).

CITIZENS' COMMENTS (00:04:01)

There were no citizens' comments.

REGIONAL INTEREST ITEMS (00:04:06)

- a. **College Township** – Mr. Forziat reported that the Planning Commission recommended approval of the proposed Aspen Heights development on Squirrel Drive, after many extensive meetings that received a lot of public comments. Much of the public comment revolved around limiting or not allowing any access to Thompson Woods Preserve, which is adjacent to the development property. The College Township Council will review this at an upcoming meeting and expects there to be further public comment made on the proposed development. In addition, the Planning Commission has begun its review of the Streets and Sidewalk Ordinance to make possible amendments to private and public streets as well as public right of ways.
- b. **Ferguson Township** – Dr. Taricani reported that the Planning Commission met with Aspen Heights, the developers of the proposed West College Avenue development, which includes a six-story multi-unit apartment building situated in Ferguson Township and the State College Borough. Much of the discussion centered around traffic issues since the development is located near the intersection of West College Avenue and Beaver Avenue. In addition, there is an alley nearby that is not maintained well, which was a concern for the Planning Commission.
- c. **Halfmoon Township** – Mr. Meehan reported that the Planning Commission met with the Board of Supervisors to discuss and review the Planning Commission's work tasks for the 2021 year. Work tasks include updating the Official Map, reviewing the Driveway Ordinance, and reviewing the Township's plan submission process to implement a more streamlined method.
- d. **Harris Township** – Ms. Lorek reported that the Planning Commission continues to work on the proposed Accessory Solar Regulations. The Board of Supervisors reviewed the proposed ordinance

and sent it back to the Planning Commission to continue working on. In addition, the Planning Commission is creating its work plan for 2021, which includes reviewing and updating the Township's Official Map, as well as reviewing and updating R1 Zoning District density regulations.

- e. **Patton Township** – There was no report as Mr. Rater was not in attendance.
- f. **State College Borough** – Mr. Eich reported that the Planning Commission will meet with the Borough Council at the end of March to discuss the Zoning Ordinance review. In addition, the Planning Commission has been discussing Sign Ordinance updates and will receive a draft ordinance in April. Lastly, due to the comments received, the developer of the proposed hotel at the old Autoport site on South Atherton Street is currently reworking the plan and will resubmit in the near future.
- g. **Penn State University** – Mr. Sullivan reported that the University received the highest score from Sustainability Tracking, Assessment, and Rating System (STARS) in the BIG 10 from the Association for the Advancement of Sustainability in Higher Education. Penn State scored a lot higher than in years past due to its improvement of sustainable practices, particularly in sustainable research, which received a perfect score.

CRPA ACTIVITY REPORT (00:13:10)

Mr. May stated that CRPA staff sent out 3,000 postcards last week to conduct the random sample survey for the development of a Climate Action and Adaptation Plan (CAAP). In addition, the online survey was launched yesterday, March 3. Mr. May encouraged members to visit www.centresustains.com/survey to take the online version of the survey if they did not receive a postcard. In addition, staff has created several graphics to promote the survey and will share them across social media platforms, including the CRPA's new Instagram account.

CONSENT AGENDA (00:15:34)

- a. **Minor SALDO Amendments – Patton Township**
- b. **Accessory-Scale Solar Energy System Regulations – Harris Township**

Motion was made by Ms. Lorek and seconded by Mr. Eich to approve the Consent Agenda and forward letters of recommendation to the respective municipalities. The motion carried 6-0.

ACTION AGENDA

- a. **Proposed Tree Preservation Ordinance – Ferguson Township (00:17:22)**

Ms. Aneckstein reported that Ferguson Township has been working on the proposed Tree Preservation Ordinance since 2018, and the Ordinance proposes to preserve, protect, and maintain existing trees in Ferguson Township. Ms. Aneckstein clarified that residents will still be able to remove a tree on their private property, and this Ordinance is only triggered by a new land development plan. She went on to say that the public hearing for this proposed ordinance will be on March 15, 2021 where residents will be able to voice any concerns they may have. The Commission felt that because the public had yet to weigh in on this proposed ordinance, they could not formally support it.

Motion was made by Ms. Lorek and seconded by Dr. Taricani to direct staff to forward comments to the Ferguson Township Board of Supervisors, without indicating support for the proposed Tree Preservation Ordinance since the public had not yet weighed in on the Ordinance. The motion carried 6-0.

b. Amendments to Chapter 166 – Parkland Dedication – Halfmoon Township (00:24:45)

Mr. Meehan provided a brief overview of the Halfmoon Township Parkland Dedication Ordinance Amendments, since Mr. Rilk experienced connectivity issues and was unable to give a verbal report.

Mr. Meehan explained that the current ordinance does not require a parkland dedication or fee-in-lieu for subdivisions of four lots or less. In addition, the current method for calculating the fee-in-lieu is based on an outdated acreage formula. The draft Parkland Ordinance would require a dedication of land or fee-in-lieu for any new subdivision regardless of the number of lots.

Ms. Gembusia added that the proposed fee-in-lieu will be a flat per lot fee of \$1,000. The method for calculating the amount of land for dedication, 0.05 per dwelling unit per acre, and the requirements for suitable land have not been altered. Ms. Gembusia explained that the Township hopes that the amendments will be more attractive to developers and will eliminate “tot lots” being dedicated to the Township under this Ordinance.

Mr. Eich suggested that Halfmoon Township consider including a five-year review cycle in the Ordinance to assess the effectiveness of the ordinance and to make any fee adjustments.

Motion was made by Mr. Sullivan and seconded by Ms. Lorek to direct staff to prepare a comment letter and recommend the Halfmoon Township Board of Supervisors approve the proposed Parkland Dedication Ordinance amendments. The motion carried 6-0.

c. Request to Rezone 101 Hawbaker Industrial Drive – Patton Township (00:35:55)

Ms. Pollock provided an overview regarding the request to rezone 101 Hawbaker Industrial Drive, from Industrial (I-1) to General Commercial (C-1) to allow for a broader range of uses.

The Commission had a brief discussion about vehicle access to North Atherton Street from 101 Hawbaker Industrial Drive and the traffic issues on the already congested North Atherton Street corridor. Ms. Pollock noted that any facility on this parcel must have the access point along Hawbaker Industrial Drive and will not be permitted to have direct access to North Atherton Street. Traffic impacts were analyzed using a fast-food restaurant as a potential high-traffic use on the site. Ms. Pollock explained that actual traffic impacts would be determined during the land development process.

Motion was made by Dr. Taricani and seconded by Mr. Meehan to direct staff to prepare a comment letter and recommend that the Patton Township Board of Supervisors approve the request to rezone 101 Hawbaker Industrial Drive. The motion carried 6-0.

POLICY AGENDA

a. Draft 2020 Centre Regional Planning Commission Annual Report (00:46:18)

The CRPC received a brief report from Mr. May regarding the Draft 2020 Centre Regional Planning Commission Annual Report. He stated that the report is in a Story Map, similar to the 2019 Annual Report. The Commission members reviewed the report and offered no comments to staff.

COMMITTEE AND LIAISON REPORTS (00:48:06)

- a. Centre County Metropolitan Planning Organization (CCMPO) Report - Mr. Eich reported that the CCMPO met in February and received a presentation from PennDOT regarding its Pathways Initiative, which is a Planning and Environmental Linkages (PEL) Study to address the \$8.1 billion annual gap in funding to ensure that the system is in a state of good repair. Mr. Eich stated that

within the PEL study, PennDOT is looking to possibly implement a bridge tolling mechanism for nine candidate bridge projects in Pennsylvania to raise the revenues to specifically pay for those bridge improvements. There are no candidate bridges in Centre County.

The CCMPO also received an update on the State College Area Connector project. Public comment on the Purpose and Need document has been completed, and PennDOT is currently in the process of developing a methodology to create alternatives to address the Purpose and Need document for the project. Mr. Zilla added that the next public meeting was supposed to take place in the spring of 2021; however, it has been pushed to August 2021.

The CCMPO received a report from staff regarding the Office of Management and Budget's (OMB) proposed changes to updating the standards establishing metropolitan and micropolitan areas. This change could affect many federal funding programs, including the Census Bureau and the United States Department of Transportation. If this proposed standard is changed, it could affect the way that Metropolitan Planning Organizations and Rural Planning Organizations are defined, which in turn, could affect the amount of funding that Centre County receives for transportation-related projects.

- b. State College Borough Water Authority (SCBWA) Liaison's Report: - Mr. Rilk reported that the State College Borough Water Authority (SCBWA) has connection requests in every municipality that they serve, so it looks like 2021 may be a busy year for the SCBWA.
- c. Parks and Recreation Authority Report: - Mr. May reported that although the Centre Region Parks and Recreation Agency received a handful of competitive bids for Phase 1 of the Whitehall Road Regional Park, they are still over \$1 million short to build the proposed Phase 1. The Centre Region municipalities have asked COG to refinance the loan for Phase 1 to see what, if any, savings can be achieved. Mr. May reported that Patton, College, and Harris Townships, and the State College Borough are willing to provide additional funds to complete Phase 1.
- d. University Area Joint Authority (UAJA) Liaison's Report: - Mr. Rilk stated that the University Area Joint Authority's (UAJA) beneficial water reuse lines in Harris Township are being prepped for use. In addition, the Source Water Protection Agreement – Project Management Team (PMT) met in February and received a presentation from Dewberry, an engineering consultant, regarding the work involved in completing a Risk Assessment on all water sources in the Centre Region. The respective water and sewer authorities will discuss the cost of the consultant during their Board meetings and if approved, a workshop will take place in April to define the scope of work for the Risk Assessment.

OTHER BUSINESS (01:04:24)

The next CRPC meeting will be a joint meeting with the COG Transportation and Land Use (TLU) and Public Services and Environmental (PSE) Committees on Thursday, April 1, 2021 at 12:15 p.m. via the Zoom meeting platform.

ADJOURNMENT

Mr. Meehan moved to adjourn, seconded by Ms. Lorek. There being no other business, the March 4, 2021 CRPC meeting was adjourned at 8:06 p.m.

Respectfully submitted,

Marcella Laird
Recording Secretary



CENTRE REGION COUNCIL OF GOVERNMENTS
RESOLUTION 2021-_____

A RESOLUTION OF THE CENTRE REGION COUNCIL OF GOVERNMENTS
DESIGNATING MAY 2021 AS BIKE MONTH

WHEREAS, the Centre Region COG recognizes the benefits of bicycle and pedestrian commuting in providing exercise, decreasing air pollution, conserving fuel, decreasing traffic congestion, decreasing noise pollution, and improving the health of its citizens; and,

WHEREAS, the Centre Region COG continues to work with local governments to plan facilities that promote bicycling and walking as a means of transportation; and,

WHEREAS, the Centre Region COG was designated a Silver Bicycle Friendly Community in December 2020 by the League of American Bicyclists; and,

WHEREAS, the Centre Region COG supports the efforts of CentreBike to promote bicycle commuting in the Centre Region, and,

NOW, THEREFORE, BE IT HERE RESOLVED: That the General Forum of the Centre Region Council of Governments hereby designates the month of May 2021 as Bike Month, and be it

FURTHER RESOLVED: That the Centre Region COG further designates May 17 through May 23, 2021, as Bike to Work Week and May 21, 2021, as Bike to Work Day and Centre Region Spring Bike Anywhere Friday.

RESOLVED this *twenty-sixth day of April 2021*, meeting in regular session.

Attest:

By:

Eric Norenberg
Executive Director, Centre Region COG

Dennis Hameister
Chair, Centre Region COG

CENTRE REGION COUNCIL OF GOVERNMENTS

2643 Gateway Drive, Suite 3

State College, PA 16801

Phone: (814) 231-3077 • Fax: (814) 231-3083 • Website: www.crcog.net

February 23, 2021

TO: Dennis Hameister, General Forum Chair
Rich Francke, General Forum Vice-Chair
Eric Bernier, College Township Chair
Laura Dininni, Ferguson Township Chair
Danelle Del Corso, Halfmoon Township Chair
Dan Treviño, Patton Township Chair
Jesse Barlow, State College Borough President
Municipal Managers

FROM: Eric Norenberg, COG Executive Director

SUBJECT: General Forum Follow-up

ACTIONS OF THE GENERAL FORUM FOR MUNICIPAL BOARDS/COUNCILS FOLLOW-UP

At the February 22, 2021 meeting of the General Forum, the following item was considered and requires municipal board/council follow-up.

CODE BOARD OF APPEALS – APPOINTMENT & RE-APPOINTMENTS

During the February 22, 2021 COG meeting, the General Forum unanimously forwarded a slate of members to the Centre Region Building and Housing Code Board of Appeals as recommended by the Public Safety and Executive Committees to municipalities for appointment by way of the following motion:

That the General Forum forward the following nominations to the member municipalities for appointment to the Centre Region Building and Housing Board of Appeals for the identified terms:

Douglas Henry, R.A. (Three-year term, April 1, 2021 – March 30, 2024)

Chad Maholtz (Three-year term, April 1, 2021 – March 30, 2024)

Brian Walker, P.E. (Three-year term, April 1, 2021 – March 30, 2024)

J. Michael Leakey, R.A. (Two-year term, April 1, 2021 – March 30, 2023)

Scott Good, P.E. (Two-year term, April 1, 2021 – March 30, 2023)

Ryan Solnosky, Ph.D., P.E. (One-year term, April 1, 2021 – March 30, 2022)

Alan Popovich, R.A. (One-year term, April 1, 2021 – March 30, 2022).

The Joint Articles of Agreement state that the Public Safety Committee shall recommend to the COG General Forum appointments to the Centre Region Building & Housing Code Board of Appeals. The COG General Forum shall consider the appointments and recommend a slate of nominations to the participating municipalities for appointment by the participating municipalities. An appointment to the Board of Appeals includes a three-year term, and members may serve a maximum of three consecutive terms or a total of nine years. Municipalities in Pennsylvania are required by the Uniform Construction Code (section 501(c) of the Act (35 P. S. § 7210.501(c)) to establish and appoint members to serve on a board of appeals.

ITEM OF INTEREST TO THE MUNICIPAL BOARDS/COUNCILS

At the February 22, 2021 meeting of the General Forum, members passed the following motions:

CENTRE REGION COUNCIL OF GOVERNMENTS RESOLUTION 2021-2 A RESOLUTION OF COMMENDATION AND APPRECIATION FOR CATHI ALLOWAY ON HER RETIREMENT AFTER A DECADE OF SERVICE

The General Forum unanimously and enthusiastically approved Resolution 2021-2, by way of the following motion:

That the General Forum adopts Resolution 2021-2, a resolution of commendation and appreciation for Cathi Alloway on her retirement from COG after a decade of service to the Schlow Centre Region Library, the Centre Region Council of Governments, its member municipalities, and the residents of the Centre Region.

Cathi Alloway has served the residents of our region since 2010 and will retire from the COG on April 2, 2021.

CONFIRM APPOINTMENT OF SCHLOW CENTRE REGION LIBRARY DIRECTOR

In accordance with the previously approved organization and policy guidelines between the Centre Region COG and the Schlow Memorial Library, General Forum members unanimously confirmed the appointment made by the Schlow Library Board to appoint Lisa Rives Collens as the next Library Director of the Schlow Centre Region Library. The motion as it was approved by General Forum members:

That the General Forum confirms the appointment of Lisa Rives Collens as the Library Director for the Schlow Centre Region Library as of April 3, 2021.

CENTRE REGION ANTI-BIAS COALITION PRESENTATION

At the February 22, 2021 meeting of the General Forum, members were also provided with a

presentation by Sonia DeLuca Fernandez and Kate Heinzl, members of Community and Campus in Unity (CCU).

The presentation informed members on the purpose, function, and expanded efforts of the Centre Region Anti-Bias Coalition, which is a part of Community & Campus in Unity (CCU). Community & Campus in Unity was launched in the fall of 2014 and its purpose is to promote an inclusive multicultural community that respects and celebrates diversity. CCU is a collaborative group of Police Chiefs, Professors, Pastors, Students, and other Community leaders from the Centre County area. More information can be found on the Community & Campus in Unity website at <https://ccustatecollege.weebly.com> or the CCU Facebook page at <https://www.facebook.com/groups/CCUnity>

Those interested in more information can contact Sonia DeLuca Fernandez by email at: delucafernandez@gmail.com

Several items were reported on during the meeting, including Matters of Record. For reference, please [click here](#) to access the agenda and attachments from this meeting. To watch or listen to this meeting please [click here](#).

Additionally, the COG maintains an electronic version of the joint COG/municipal meeting calendar which can be accessed by [clicking here](#). Any additions or corrections to this calendar may be submitted by email to sbinkley@crcog.net.

cc: Municipal Executive Assistants
Agency Directors
COG Office Managers
General Forum Members
Dennis Hameister, COG Chair

Spring Creek Watershed Commission

March 17, 2021

Via Zoom

Mar 2021 SCWC Meeting

Time: March 17, 2021 07:00 PM Eastern Time (US and Canada)

Zoom Connection

<https://us02web.zoom.us/j/81777611179?pwd=MWdJQnNuNmVNNFpUNUtlZWduZkNYdz09>

- 1) **Call to Order:** Joanne Tosti-Vasey, Chair will call the meeting to order
- 2) **Introduce new SCWC Coordinator and Website Manager – Izen Ligenfelter**
- 3) **Introduce members:** – Establish which municipalities are present and who the new/returning representatives/alternates are for each municipality. Circulate membership list for confirmation and any needed updates.
- 4) **Approval of minutes,** Approve November 2020 minutes
- 5) **Citizen Comments:** The public is invited to address the Commission on items not on the agenda. (5 minutes per commentary). Electronic copy of comments should be submitted to SCWC & will be added to meeting minutes.
 - a. Genevieve Robine - request for community buy in to the 2021 Clearwater Conservancy Spring Creek Watershed Cleanup Day on April 24.
- 6) **Educational Topic:**

Title: "The Living Filter Project" Presenter: Dr. Richard Parizek
(parizek@ems.psu.edu)
- 7) **Old Business:**
 - a. **One Water Report:**
 - **Presentation of Proposed Municipal Powerpoint Presentation – Paul Takac**
 - Financial planning committee – need a meeting to be set up = Paul Takac, Joanne Tosti-Vasey, David Roberts, Jasmine Fields, Bill Sharp
 - b. **Caitlin Teti Master’s Project Plan – Caitlin Teti**
 - d. **Atlas Project – Bob Carline**
 - e. **Education Committee – Educational Topics for 2021 – Chris Hurley**
 - f. **Groundwater symposium reminder:** The Symposium is sponsored by Penn State Extension, the Pennsylvania Department of Environmental Protection, and numerous other sponsors in celebration of National

Drinking Water Week! The event provides a forum for researchers, students, professionals and educators working in the groundwater field to exchange information and promote protection of groundwater resources throughout the state. Request to support Commission members to attend on May 5 at a cost of \$50/Commission member.

8) New Business:

a. 2020 financial invoices – these invoices were never sent out. Does the Commission want to back invoice the municipalities for 2020? If so, the invoices must be sent out by January 31, 2021 in order to have the municipalities pay their 2020 share.

b. Possible creation of a SCWC Facebook Page – What would Commissioners like to see if we do this. Izen Lingenfelter to present his ideas for such a page.

c. Microplastic Pollution in the Spring Creek Watershed – see attached report from Penn Environment. [\(Click here to view report\)](#)

9) Financials -UPDATE

a. **Report:** October - December – Prasenjit Mitra, Jon Eaton, Bill Sharp

(LAST REPORT)

December 2020 (corrected)

Project Fund: **Debit: \$0.00 Credit: \$00.00 Balance: \$2,150.63**

General Fund: **Debit: \$231.19 Credit: \$2,741.00 Balance:**

\$17,914.95

Credit – Memberships for 2021 from College, Harris, Milesburg, Spring, and Walker Townships

Debit – Atlas Wix website fee (check was backdated to 12-31-2020)

January 2021

Project Fund: **Debit: \$0.00 Credit: \$00.00 Balance: \$2,150.63**

General Fund: **Debit: \$0 Credit: \$232.13 Balance: \$18,147.08**

Credit – voided check from June 2020

February 2021

Project Fund: **Debit: \$0.00 Credit: \$00.00 Balance: \$2,150.63**

General Fund: **Debit: \$0.00 Credit: \$7,962.00 Balance:**

\$26,109.08.08

Credit – Memberships for 2020 or 2021 from Milesburg (2020) and State College Boroughs plus Benner, Patton, and Walker Townships, plus College Township Water Authority (2020).

9) Once Around the Watershed: Members are asked to share relevant water related news from their municipality.

10) Remaining Meetings for 2021:

May 19, 2021
July 21, 2021
September 15, 2021
November 17, 2021

The March 17, 2021 Spring Creek Watershed Commission Meeting is being sponsored for airing on C-NET by Patton Township. It will air on CGTV (Channel 7) at the following times:

Wednesday, March 24 - 9:00 p.m.

Friday, March 26 - 2:00 a.m.

Saturday, March 27 - 8:00 a.m.

Sunday, March 28 - 4:00 p.m.

Joanne Tosti-Vasey is inviting you to a scheduled Zoom meeting.

Topic: March 2021 SCWC Meeting

Time: Mar 17, 2021 07:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/81777611179?pwd=MWdJQnNuNmVNNFpUNUtlZWd1ZkNYdz09>

Meeting ID: 817 7761 1179

Passcode: 170205

One tap mobile

+19292056099,,81777611179#,,,,*170205# US (New York)

+13017158592,,81777611179#,,,,*170205# US (Washington DC)

Dial by your location

+1 929 205 6099 US (New York)

+1 301 715 8592 US (Washington DC)

+1 312 626 6799 US (Chicago)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

Meeting ID: 817 7761 1179

Passcode: 170205

Find your local number: <https://us02web.zoom.us/j/81777611179>



Manager's Report April 5, 2021

1. Provided with my report is a letter received from Andy Andrews, Central Booking Coordinator of the Centre County Booking Center. The letter provides some detailed background on their funding model and projected budget concerns. The letter is not a request for funding at this time, but it is likely that municipal contributions may be requested in 2022 and beyond in order to stabilize their budget projections.
2. The Ferguson Township Parks and Recreation Committee met on Thursday, March 18th. The main topic of discussion was the Board-directed initiative of gathering cost and service data associated with the provision of parks services.
3. The Public Employer Labor Relations Advisory Service (PELRAS) Annual Conference was held virtually on March 17th – 19th. Topics focused heavily on labor relations and personnel management in the wake of the COVID-19 pandemic. Several staff members attend the conference annually to stay informed of the latest developments in human resource law and labor negotiations.
4. The Ferguson Township Industrial and Commercial Development Authority held its annual Reorganizational Meeting on Thursday, March 18th. The ICDA currently has one outstanding loan and was also a financial contributor to the Centre County Economic Development Partnership project for the expansion of KCF Technologies. As Township Manager, I serve as Executive Secretary of the ICDA.
5. The regional working group assigned to evaluate replacement of Tyler Munis for permitting and code enforcement has reconvened and is in the process of conducting site visits to evaluate potential vendors. There are two finalists that are still in consideration and a recommendation for an award will be presented to the COG General Forum once the evaluation is complete.
6. The Pine Grove Mills Small Area Plan Advisory Committee met on Thursday, March 25th. The Committee completed its task of assigning “champions” to each category of action steps defined in the Plan. The Committee will begin work on prioritizing the action steps within each category based on resource-needs, time to completion, and relationship to other priorities. The Committee also discussed the installation of banner signs across Pine Grove Road to announce community events such as the upcoming Farmer’s Market at St. Paul Lutheran Church.

7. Two meetings were held with the Board of Supervisors to discuss the Phase I Development of Whitehall Road Regional Park and to consider the responses received for the Solar Power Purchase Agreement on the new Public Works Maintenance Facility.
8. Staff attended a webinar on local relief provisions in the American Rescue Plan. Guidelines are still being developed by the federal government for appropriate utilization of the funds.
9. Ms. Dininni, Mr. Mitra, and I met with Nalini Krishnankutty and Judge Donald Hahn in their capacity as local representatives on the Governor's Advisory Commission on Asian American Pacific American Affairs. The meeting reviewed local proclamations and resolutions that are being considered, most recently by the COG, condemning the recent acts of hate and bias against the Asian-Pacific American community. The Board will be asked to consider a proclamation and resolution at the upcoming Regular Meeting on April 19th.
10. A meeting of the Centre Region Emergency Management Council was held on March 30th. The main item of discussion centered on some proposed changes to the organizational structure of the EMC.



RECEIVED MAR 25 2021

March 24, 2021

Dear Board of Supervisors,

My name is Wilmer "Andy" Andrews and I've been the Central Booking Coordinator since its opening May 2008.

I'd like to take a few minutes to explain how funding of the Central Booking Center was designed per the Intergovernmental Contract that we have with the 6 Centre County Municipalities.

- For the first 2 years, municipalities contributed funding based on their individual previous 3 years' average of arrests filed per the Intergovernmental Contract.
- After the 3rd year, revenues are based on each Municipalities previous 3 years' percentage of Central Booking usage. However, there is a lag from the time of processing to CBC receiving these booking fees are described below:
 - From the time of arrest until the disposition of the case, the time lapse could be up to approximately 2 years before the booking fees commence.
 - The total fines and costs amount collected by Centre County Probation and Parole is partitioned to all the fines and fees that are assessed by the courts, so CBC only receives a percentage of the total over time.
 - Therefore, our realization of the revenues for the booking fee is sometimes drawn out over several years and the increments are normally in small amounts over this time period.
- Beginning in 2011, there has been no request for funding from any municipality as the collections were adequate to maintain the operations.
- For the budget year 2019, collections were less than the expenses needed to maintain the Office and reserve funds were used to make up the shortfall of revenue of \$41,518.
- In 2020, collections of booking fees were significantly under budget by \$108,374. Therefore, our reserve funds were dramatically reduced to abstain the operations but we did not require contributions from the Municipalities at that time.
- Our current year reserve balance is \$44,512 .
- We anticipate that it could be requested for Municipalities to contribute funding for Central Booking Operations to help supplement and maintain adequate operations for 2022 and beyond. We base these projections from the collections history over the past few years.

With the COVID-19 disruption to the judicial processes, we are anticipating that we could feel the full effects of revenue shortcomings due to the pandemic in another 2-3 years, as the timeline described above.

I will be retiring on March 31, 2021. If there are any questions please contact Centre County Correctional Facility Deputy Warden Melanie Gordon at (814) 548-1041 or mlgordon@centrecountypa.gov during this transition as a new Central Booking Coordinator is selected and takes over that role.

Thank you,

A handwritten signature in blue ink that reads "Wilmer S. Andrews". The signature is fluid and cursive.

Wilmer (Andy) Andrews
Central Booking Coordinator

cc: Township Manager David Pribulka



TOWNSHIP OF FERGUSON

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Public Works Director's Report to the Board of Supervisors (BOS) for the regular meeting on April 5, 2021

- 1. Public Works Road Crew Activities –** Work activities the week of March 29th include excavation for the installation of a sewer lateral force main and oil water separator from FTPW building 3 to the sewer pump station on site, crack sealing, and street sweeping as well as moving garage equipment from FTPW building 1 into the new FTPW building 6.
- 2. Arborist and Tree Commission Activities-** The FTTC meets next on April 19th with invitees from various organizations to discuss “greening the environment” efforts by others.
- 3. New Public Works Facility:** The building was occupied on March 31st. Efforts are still needed to make the Gasboy fuel system and Westmatic wash bay system functional.
- 4. Stormwater Fee –** Staff meets bi-weekly to review progress on efforts needed to ensure a smooth and effective implementation of a stormwater fee. Activities include quality control and updates/revisions to the GIS impervious layer assignment, finalizing the master account file, coordination with our third party billing agency, public communication and continued education outreach, creating fillable application forms using Laserfish that can be accessed on line by property owners to apply for credits, partial agriculture exemption, financial/economic hardship exemption, and non-profit exemption.
- 5. Contract 2016-C11 Traffic Signal Performance Metrics –** Design work on this project continues.
- 6. Contract 2018-C20 Park Hills Drainageway –**Design work continues. Completion of design, permitting, easement acquisition, utility relocation this year are needed to progress the project toward construction in 2022.
- 7. Contract 2019-C21 Pine Grove Mills Street Light Conversion:** Design work continues. [Entered](#) into a phase 2 design agreement with Barton Associates for electrical design.
- 8. Contract 2020-C18 Science Park and Sandy Drive Signal Design –** Design of the traffic signal will be completed in-house for bidding and construction in 2021. Signal design is progressing with the next step being utility coordination and subsurface utility engineering.
- 9. Contract 2020-C20 Pine Grove Mills Mobility Study –** A contract for this study has been awarded to McCormick Taylor, but a notice to proceed has not been issued due to the coronavirus pandemic which has affected traffic volumes. Staff and consultant are monitoring

traffic volumes and activities to determine an appropriate time to begin the project. This project is currently on hold.

10. **Contract 2020-C21 Pine Grove Road & Water Street/Nixon Road Signal Warrant Study** – A contract for this study has been awarded to McCormick Taylor, but a notice to proceed has not been issued due to coronavirus pandemic which has affected traffic volumes. This project is on hold.
11. **Contract 2021-C1 Harold Drive and Gatesburg Road** – The scope of work has been reduced due to staffing shortfalls. The work planned to be done in house is postponed. No capital improvement work will be done on Harold Drive. No roadside drainage improvements nor significant base repair will be done in house on Gatesburg Road. Engineering staff is evaluating the scope of work to be done by contract.
12. **Contract 2021-C2 Devonshire Drive Inlet Box** – This work was awarded.
13. **Contract 2021-C3 Cured in Place Pipe Lining** – This project includes lining old corrugated metal storm pipes predominately in the Brackenridge neighborhood based on a completed video assessment of the pipes.
14. **Contract 2021-C5 Storm Sewer Cleaning and Video Assessment** – This project includes cleaning existing storm pipes and televising the system to document the condition of pipes.
15. **Contract 2021-C6 Concrete curb and ADA ramp upgrades** – Work was completed the week of March 28th.
16. **Contract 2021-C7 a Fuel** – Annually the Township bids gasoline and diesel fuel. This work is out to bid for an opening on April 13th.
17. **Contract 2021-C7b Street signs and supplies** – Annually the Township receives quotes for street signs and supplies.
18. **Contract 2021-C7c Asphalt and Aggregate** – Annually the Township bids asphalt and aggregate. The bid is usually advertised in March. This work is out to bid for an opening on April 13th.
19. **Contract 2021-C 8 Pavement Markings** – This work was awarded.
20. **Contract 2021-C9 Microsurfacing** – This work is bid each year and typically performed in late July when school is out of session and temperatures are favorable for this type of work. Work includes the placement of two layers of a slurry of fine aggregate, minerals, asphalt emulsion and water on the pavement surface as a preventative maintenance measure to cost effectively extend the life of the pavement. Bids were opened March 9th for a recommendation to the BOS for award on April 19th.
21. **Contract 2021-C10 Sealcoat bikepaths** – Certain bikepaths and multi-use paths are sealcoated to extend the life of the asphalt path. In advance of work, FTPW will edge and sweep the paths, seal any cracks, and repair the asphalt as needed. Work is performed in the summer months. This project is still in design for a bid opening in April.

22. **Contract 2021-C11 Sidewalk Repairs** – FTPW Engineering Section will inspect a portion of the public sidewalks, typically in May of each year. Property owners are sent notices to fix deficient sidewalk sections and given an opportunity to fix it themselves or have the Township perform the work by contract and bill the property owner.
23. **Contract 2021-C12 Traffic Signal Cabinet Installation** – Work includes upgrading the cabinet at the intersection of Science Park Road and West College Avenue
24. **Contract 2021-C13 Traffic Signal LED Replacements** – Signal LEDs are replaced approximately every 7 years.
25. **Contract 2021-C14 Traffic Signal UPS Batteries** – Batteries are needed in the event of power outages and are replaced at the end of their useful life.
26. **Contract 2021-C15 Street Tree Pruning** – Each year a certain number of street trees are pruned to include shaping, clearance, deadwood removal, and hazard mitigation.
27. **Contract 2021-C16 Chesapeake Bay Pollutant Reduction Plan (CBPRP) Design and Permitting** – In compliance with our MS4 permit and CBPRP, certain projects will be advanced through the design and permitting phase.
28. **Contract 2021-C17 Guide Rail Replacement** – Quotes are obtained to replace certain sections of guiderail as needed.
29. **Contract 2021-C18 Homestead Park Play Equipment Installation** – Once equipment is selected, FTPW Engineering Section with assistance as needed from the Road Crew will procure, prepare the playground pit, and oversee installation of playground equipment.
30. **Contract 2021-C19 Louise E. Silvi Baseball Field Fence Installation** – Work includes replacement of a section of ball field fence.
31. **Contract 2021-C20 Songbird Sanctuary Plan Implementation** – A yet to be formalized scope of work including a perimeter walking path and tree planting will be moved forward by FTPW.
32. **Contract 2021-C21 Signal Luminaire Conversion to LED** – This project includes converting select overhead lighting at traffic signal intersections from high pressure sodium to LED.
33. **Contract 2021-C22 Playground Safety and Update Program** – Each year funding is provided to update playground equipment found to be deficient based on playground inspections. No project has yet been assigned to FTPW for this year.
34. **Contract 2021-C23 Traffic Signal Pole Replacement** – Work includes replacement of a traffic signal pole at the intersection of West College Avenue and Science Park Road. The pole was damaged in a vehicle accident. [The contract was awarded.](#)
35. **Asset Management and Work Order Software** – [Staff continues to evaluate Dude Solutions and is evaluating TRAISR software.](#)



TOWNSHIP OF FERGUSON

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PLANNING & ZONING DIRECTOR'S REPORT

Monday, April 5, 2021

PLANNING COMMISSION

The Planning Commission met March 22nd to review two modifications/waivers requests for West College Student Housing Land Development Plan and reviewed the Subdivision and Land Development Ordinance amendment (§22-304.3.B.2.) and recommended approval.

LAND DEVELOPMENT PLANS AND OTHER PROJECTS

1. Active Plans are listed below for the Board of Supervisors (02/10/2021).
 - o Orchard View Subdivision (24-004-,067)
 - o Whitehall Road Sheetz Land Development Plan (24-004-067)
 - o State College Borough Water Authority (24-006-055E)
 - o West College Student Housing Lot Consolidation and Land Development Plan (24-002A-015; 24-002A-016; 24-002A-017; 24-002A-018; and 36-010-006)
 - o Wasson/Ash Ave. Subdivision Plan (24-002A-132; 24-002A-134; 24-002A-135)
2. Community Planner is working to complete a private streets map and an active/ongoing land development plans map.
3. PZ Staff completed the first phase of scanning Subdivision and Land Development Plans.
4. PZ Director and Township Manager met with the Township Solicitor to discuss litigation matters.
5. PZ Director and Township Manager met with Bill Keough to discuss West College Student Housing Land Development Plan.
6. Zoning Administrator is working with applicants on building a new home on their lot and the modification/waiver process.
7. PZ Staff and Township Engineer met with Penn State Representatives to discuss the future master plan for ARL.
8. PZ Director attended the VOYA Transition Meeting and Leadership Team Meeting.
9. Community Planner and PZ Director attended Centre Region Municipal Planners Meeting.
10. PZ Director met with Miss Schoonover to discuss the Township's Workforce Housing Program and implementation.

ZONING HEARING BOARD

1. Tussey Tracks LLC—1518 W College Avenue (24-019-074-0000 and 24-019-072-0000), zoned Terraced Streetscape (TS), is requesting a variance from §27-304.2.E.—Conditional Uses; §27-

803.1.B.1.—Nonconforming Uses and Structures; §27-304.3.A(2)(a)—Maximum Height; §27-304.3.D.(1)(a)—Yard Regulations; and §27-304.3.G.5.—Parking Requirements to expand the one story veterinarian clinic and the parking areas on both lots. The applicant has recently purchased the neighboring property to expand the business to provide space for newer technologies and services that are becoming standard in the veterinary healthcare industry. The office building on the neighboring property will be demolished and the lots will be consolidated to create a 0.94-acre lot. The veterinarian clinic building is a nonconforming structure, and the clinic is a nonconforming use—however, if variances are granted, the use can be permitted through the conditional use process. Since the structure is nonconforming, the building can only be expanded up to 50% of the existing ground floor area of the space occupied by the use and the applicant would like to expand the building by 55.38%. Although the applicant is bringing the building into more conformity with the TS District regulations, multiple variances are still needed to construct the addition. The Zoning Hearing Board met March 23, 2021 and **granted** all variances requested by the applicant.