

TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

FERGUSON TOWNSHIP PLANNING COMMISSION REGULAR MEETING AGENDA Monday, September 9, 2019 6:00 PM

I. CALL TO ORDER

II. CITIZEN INPUT

III. MUSSER GAP 2 VALLEYLANDS (MG2V)

CHARIMA YOUNG, from Penn State University, will present the Musser Gap 2 Valleylands (MG2V) initiative. Deb Nardone, Executive Director of ClearWater Conservancy is here as well. This initiative is a partnering between Penn State University and ClearWater Conservancy that aims to conserve the Musser Gap property located between Whitehall Road and Rothrock State Park Forest at Musser Gap.

Staff Recommendation: Listen to the presentation, ask questions and make comments as necessary. Map of Penn State Properties surrounding the Musser Gap is included in agenda packet for reference.

IV. WATKINS SUBDIVISION

On August 30, 2019 PennTerra Engineering, Inc., submitted The Watkins Subdivision on behalf of their client. The Watkins Subdivision is located at 550 Bloomsdorf Drive, T.P. # 24-017-,012-,0000. The purpose of this plan is to subdivide Tax Parcel 24-17-12 into two lots, revised T.P. 24-17-12 and Lot 3. The existing lot is 3.415 acres with 425.6 feet of frontage along Bloomsdorf Drive. The proposed lot 3 will be 1.067 acres with 89.97' frontage and be accessed on Bloomsdorf Drive only. Revised lot 24-17-12 will be 2.348 acres. The revised lot is serviced by State College Borough Water Authority and has on-site septic systems. Lot 3 will be served by individual wells and septic systems. Other considerations for this subdivision include park fee-in-lieu and sidewalk requirements. The parcel is located within the Single Family Residential (R1) zoning district.

Staff Recommendation: The Planning Commission review and make initial comments on the proposed subdivision.

V. SCBWA REPLOT

This proposed replot of lands owned by the State College Borough Water Authority (SCBWA) and Gary E. Myers and Carol J. Myers. a water treatment facility to be located at 3062 Ernest Lane (Tax Parcel 24-003-007F). Tax parcel 24-003-007F, owned by the State College Borough Water Authority is currently 15.071 acres and the proposed acreage is 18.047 acres. Mr. and Mrs. Myers own tax parcel 24-003-007K and is currently 45.673 acres, in which 2.974 acres is being transferred to the SCBWA. The land is zoned Rural Agricultural and the current use is a well field property and the proposed use is an addition to well field property. This project was granted seven variances; Variance

to encroach upon the fifty-foot riparian buffer, Variance to waive requirements of independent hydrologic and hydraulic study, Variance to allow improvements within the flood plain, Variance to allow construction activities and improvements within the flood way, Variance to minimum lot area (50 acres), and Nonconforming use in Rural Agricultural zoning district. At this point, all remaining comments are administrative.

Staff Recommendation: The Planning Commission make a recommendation to the Board of Supervisors to approve the Replot of Lands for the State College Borough Water Authority and Gary E. Myers and Carol J. Myers, submitted on June 26, 2019 and last revised on August 12, 2019 condition upon all outstanding items being completed.

VI. SCBWA WATER TREATMENT FACILITY LAND DEVELOPMENT PLAN

This Land Development Plan proposes a water treatment facility to be located at 3062 Ernest Lane (Tax Parcel 24-003-007F). The proposed water treatment plant will be 22,182 square feet and have five standard parking spaces and one ADA space, one loading space and will employ four people. The proposed structure will be located less than 1,000 feet from the nearest residential structure and be surrounded by a natural landscape buffer, a proposed landscape buffer and a fence line with privacy slats. A Water Treatment Facility is a Conditional Use within the Rural Agricultural Zoning District. The Conditional Use was approved by the Board of Supervisors on August 5, 2019 At this point, all remaining comments are administrative.

Staff Recommendation: The Planning Commission make a recommendation to the Board of Supervisors to approve the State College Borough Water Authority Water Treatment Facility Land Development Plan, submitted on June 26, 2019 and last revised on August 30, 2019 condition upon all outstanding items being completed.

VII. SALDO/ZONING ORDINANCE UPDATE:

During a Board of Supervisors Special Meeting held on Wednesday August 28, 2019, the Board continued to review and discuss parts of the zoning ordinance with the exception Rural Agriculture. Edits and modifications can be found in the latest draft. The public hearing, scheduled for September 16 has been cancelled by the Board of Supervisors at the September 3, 2019 meeting due to the number of changes that warrant further review. The public hearing will be rescheduled for October 21, 2019 at the Regular Board of Supervisors meeting. Comments from the Centre Region Planning Commission have been included in the agenda packet for review.

Due to the size of the draft ordinance, a link to the draft is provide below:

<https://www.dropbox.com/home/Ferguson%20Township%20Draft%20Progress/FTOU%20Zoning%20Summer%202019>

Staff Recommendation: That the Planning Commission continue to review changes and the quick views and provided feedback to staff to forward to the consultant.

VIII. SUMMARY OF ACTIVE PLANS

IX. CENTRE REGIONAL PLANNING COMMISSION REPORT

X. APPROVAL OF REGULAR MEETING MINUTES AUGUST 26, 2019

XI. ADJOURNMENT

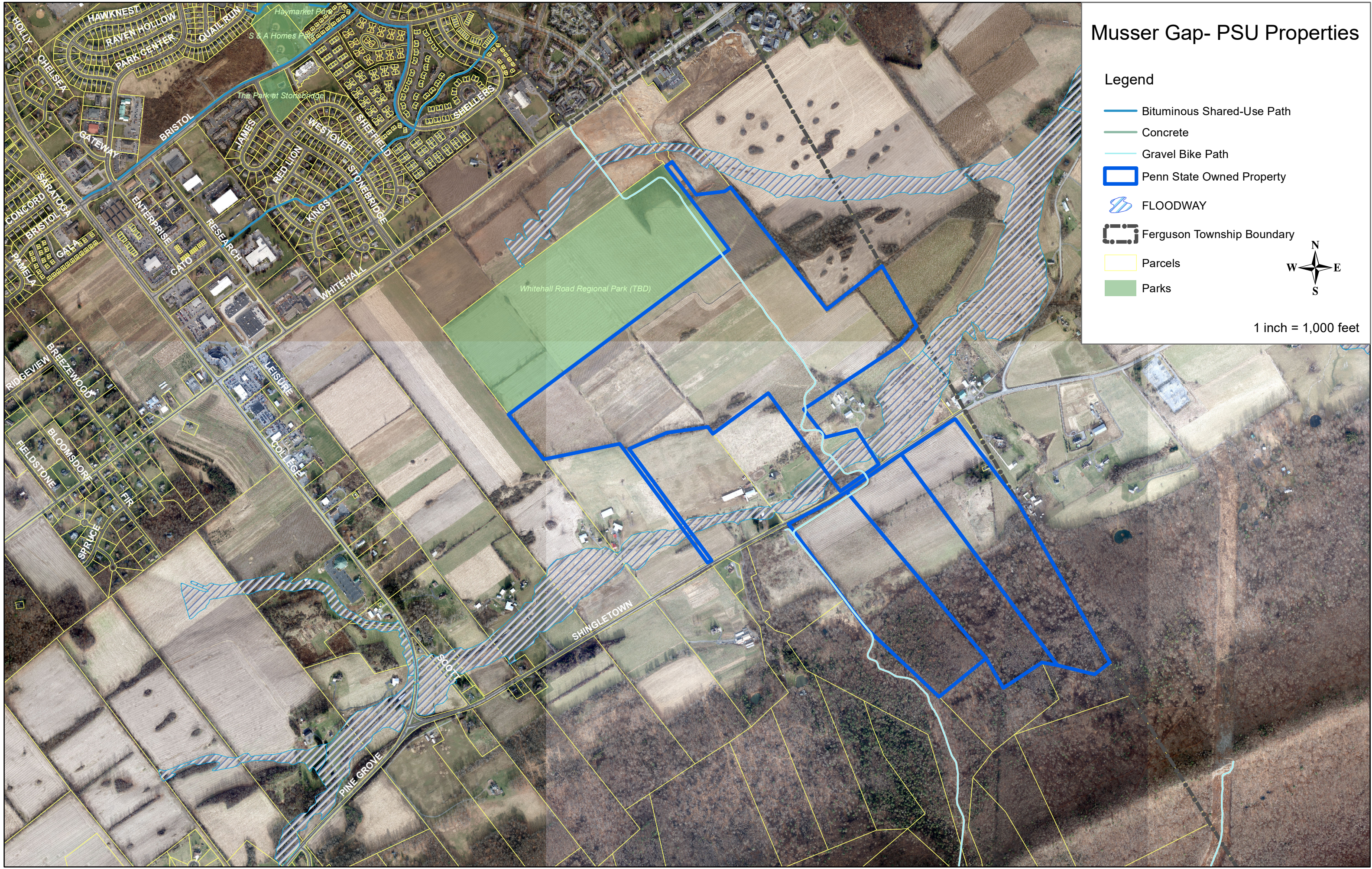
Musser Gap- PSU Properties

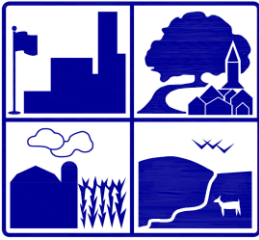
Legend

- Bituminous Shared-Use Path
- Concrete
- Gravel Bike Path
- Penn State Owned Property
- FLOODWAY
- Ferguson Township Boundary
- Parcels
- Parks



1 inch = 1,000 feet





TOWNSHIP OF FERGUSON

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TO: Planning Commission

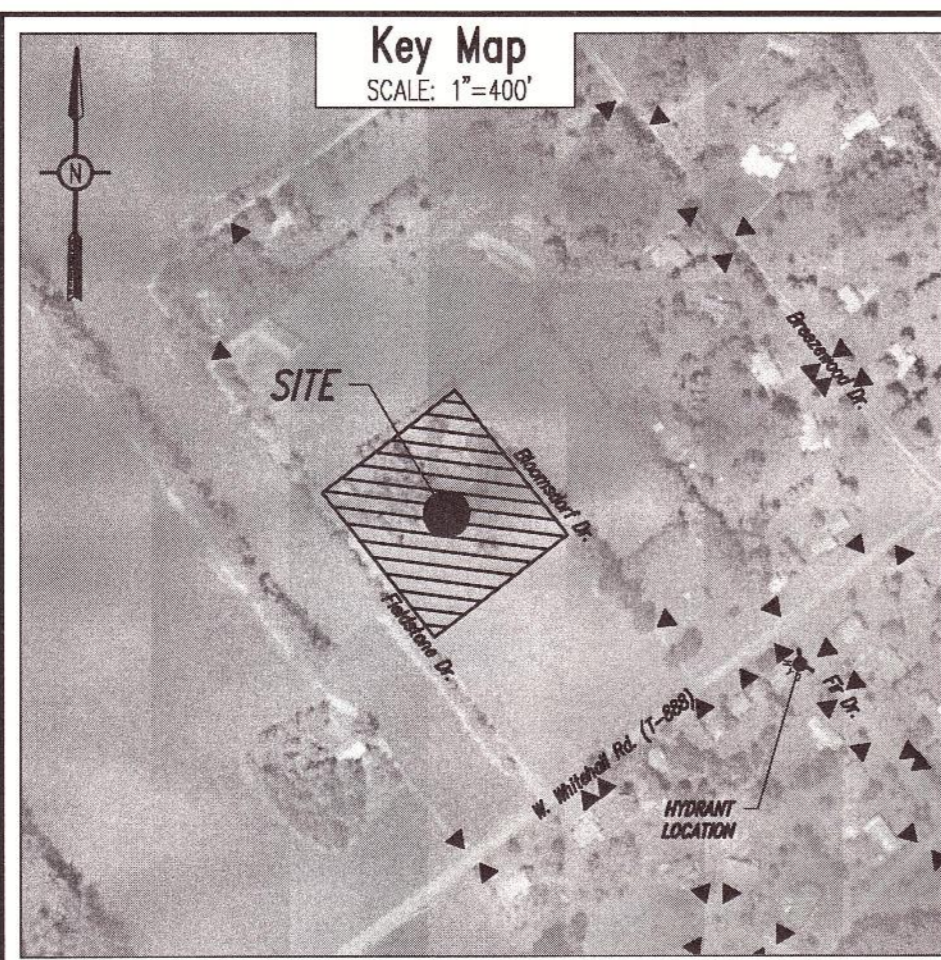
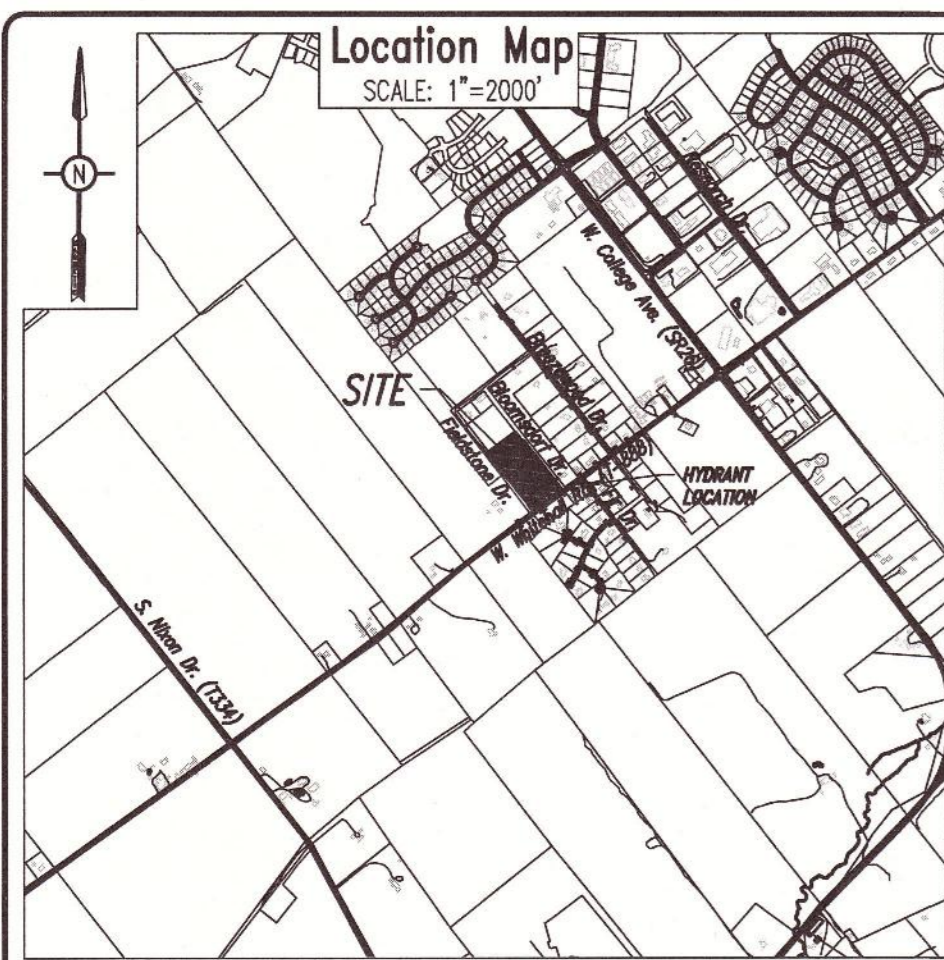
FROM: Kristina Aneckstein, Community Planner

DATE: September 9, 2019

SUBJECT: Watkins Subdivision

On August 30, 2019 PennTerra Engineering, Inc., submitted The Watkins Subdivision on behalf of their client. The Watkins Subdivision is located at 550 Bloomsdorf Drive, T.P. # 24-017-,012-,0000. The purpose of this plan is to subdivide Tax Parcel 24-17-12 into two lots, revised T.P. 24-17-12 and Lot 3. The existing lot is 3.415 acres with 425.6 feet of frontage along Bloomsdorf Drive. The proposed lot 3 will be 1.067 acres with 89.97' frontage and be accessed on Bloomsdorf Drive only. Revised lot 24-17-12 will be 2.348 acres. The revised lot is serviced by State College Borough Water Authority and has on-site septic systems. Lot 3 will be served by individual wells and septic systems. Other considerations for this subdivision include park fee-in-lieu and sidewalk requirements. The parcel is located within the Single Family Residential (R1) zoning district.

Staff Recommendation: The Planning Commission review and make initial comments on the proposed subdivision.



PROJECT NOTES:

1. General Site Information:

a. Owner of Record: Randall J. Watkins
550 Bloomsdorf Dr.
State College, PA 16801
Record Book 1992, Page 728
24-17-12

b. Deed Information:
c. Tax Parcel No.:
d. Size:
Existing: 3.415 acres / 148,744 S.F. (T.P. 24-17-12)
Proposed:
2.348 acres / 102,253 S.F. (Revised T.P. 24-17-12)
1.067 acres / 46,491 S.F. (Proposed Lot 3)
3.415 acres / 148,744 S.F. Total Site

e. Zoning: R1 - Single Family Residential
f. Site Address: 550 Bloomsdorf Dr., State College, PA 16801 (Revised T.P. 24-17-12)
XXXXXXXXXXXXXXXXXXXX, State College, PA 16801 (Proposed Lot 3)

g. Site Use: Residential (Existing)
h. Building Setbacks:
Front - 50' on arterial streets, 25' on local or collector streets if 50' R/W
Lot 3's Front Setback is 195'
Side - 10'
Rear - 30'
100' Maximum
40' @ building setback line, 75' @ street line

i. Building Heights:
j. Minimum Width:
k. Impervious Area:
Tax Parcel 24-17-12:
5,780 S.F. (2.84%) (Building)
3,975 S.F. (2.93%) (Driveway/Walks)
9,755 S.F. (5.77%) (Total)

3. Act 287 Utility Information (Serial No. 20142412473):
a. Water: State College Borough Water Authority (SCBWA)
1201 West Branch Road, State College, PA 16801; (814) 238-6766
On-site Septic Systems
b. Sewer:
c. Telephone: Verizon Facilities Management Center
224 South Allen Street, State College, PA 16801; (814) 231-6511
West Penn Power Company
2800 East College Avenue, State College, PA 16801; (814) 237-5821
d. Electric:
e. Cable Television: Comcast
60 Decibel Road, State College, PA 16801; (814) 238-5050
Columbia Gas
2550 Carleean Drive, State College, PA 16801; (814) 238-6775

4. The purpose of this plan is to subdivide Tax Parcel 24-17-12 into two lots, Revised Tax Parcel 24-17-12 & Lot 3.

5. Revised Tax Parcel 24-17-12 will continue to utilize Bloomsdorf Drive and will not access Fieldstone Drive.

6. Lot 3 will access Bloomsdorf Drive and not Fieldstone Drive.

7. Since existing Tax Parcel 24-17-12 and Lot 3 will not have access to Fieldstone Drive, there is no increase on the number of lots accessing Fieldstone Drive. This subdivision will not affect the ability of existing lots to access Fieldstone Drive.

8. According to the Federal Emergency Management Agency (FEMA) flood insurance rate mapping for Community Panel No. 42027C0619F, dated May 4, 2009, and the FIRM (Flood Insurance Rate Map) Community Panel Number 420260; the tax parcel 24-17-12 is in the Zone X floodplain.

9. As determined from field views and by reviewing the National Wetlands Inventory mapping for State College, PA, there are no wetlands in the area of tax parcel 24-17-12.

10. A maintenance agreement for Bloomsdorf Drive is on record at the Centre County Courthouse, Record Book 2164, Page 399.

11. The Nolin soil line shown on the plan is based upon soil mapping and septic testing soil logs. No construction is permitted in the area shown as Nolin soils unless a soils report confirms the absence of Nolin soils.

12. The existing building located on the northwest corner of revised Tax Parcel 24-17-12 is nonconforming in that it is located within the building setback.

13. This Record Plan conforms with the Plan receiving final approval by the Ferguson Township Board of Supervisors on _____. All improvements are or will be installed in accordance with such Plan in a manner and time so specified therein.

14. A parkland fee of \$1511.30 has been paid in lieu of providing parkland.

2. Revised Tax Parcel 24-17-12 is served by the State College Borough Water Authority and utilizes an existing septic system. Lots 3 will be served by individual wells and septic systems.

**Owners Certification
Tax Parcel 24-17-12**

On this the _____ day of _____, 20____,
the undersigned owners personally appeared before me and certified that they were the owner of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

Owner

Witness my hand and seal, this date _____

Notary Public Commission Expires _____

Professional Land Surveyor Certification

I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

Signature Date

Sewage Disposal Review

Based on the results of soil log profiles performed on this property in compliance with the Pa. Sewage Facilities Act No. 537, as amended by Act 208, Chapter 73, the areas around test pit numbers 1, CW1, & CW2 are generally suitable for standard on-lot sewage disposal. This is not a guarantee that a permit will or will not be issued for any lot or parcel. The Municipal Sewage Enforcement Officer (SEU) must be contacted to conduct further tests as necessary to determine permit issuance.

Sewage Enforcement Officer Date

Township Supervisors

Ferguson Township Supervisors Approved

Chairman Date

Secretary Date

Township Planning Commission

Ferguson Township Planning Commission Approved

Chairman Date

Secretary Date

Recorder of Deeds

Recorded in the Office of the Recorder of Deeds at Centre County, Pennsylvania, in Plat Book _____ Page _____ on this the _____ day of _____, 20____.

Recorder of Deeds

EXISTING FEATURES LEGEND

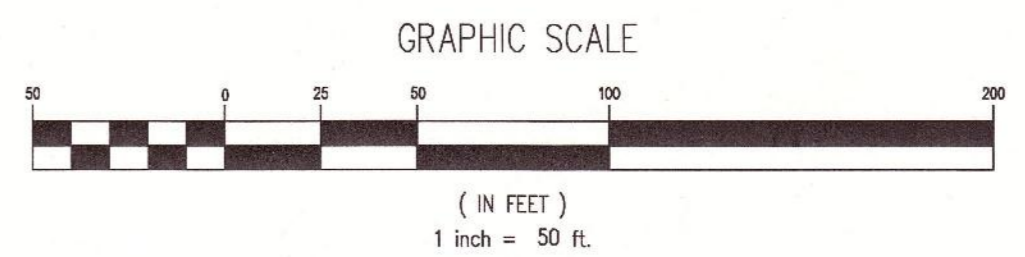
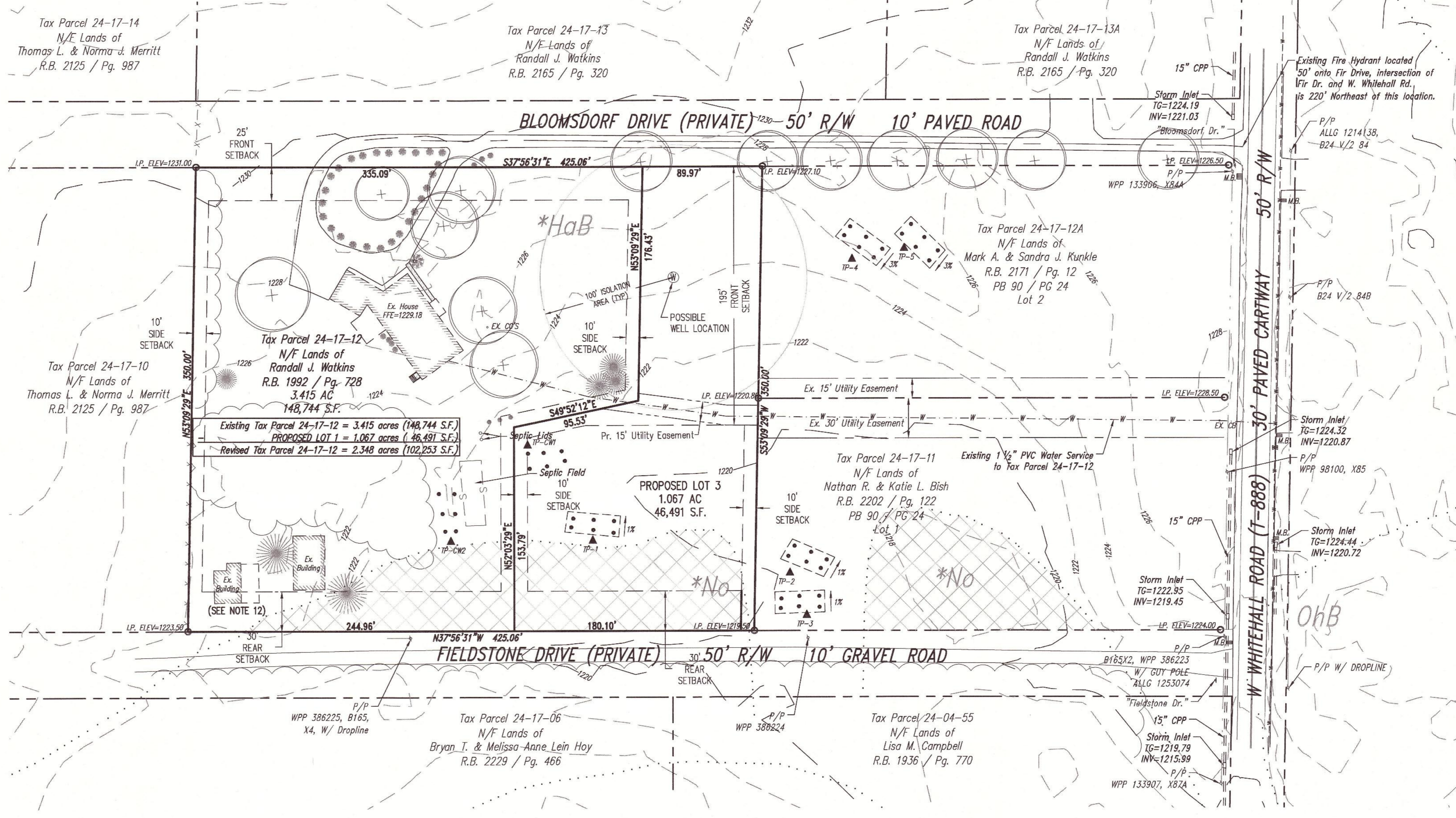
- Existing Building
- Existing Contours (2's)
- Existing Contours (10's)
- Existing Soil Limit Line / Boundary
- Existing Tree Line
- Existing 8" D.I.P. Water Line w/ Valve
- Existing 1 1/2" PVC Water Service w/ Curb Box
- Existing Storm Sewer Line w/ Inlet
- Existing Overhead Utility Line w/ Pole
- Existing Concrete Sidewalk
- Existing Retaining Wall
- Existing Fence / Type
- Existing Water Service Valve
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Sign
- Existing Mail Box
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub
- Septic Test Pit and Percolation Locations (All Proposed Systems will be in Ground Systems)
- Limits of Nolin Soils (See Note 11)

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- 1/2" Steel Iron Pin

SOILS LEGEND

Soil cover on the site consists of:
*HaB - Hagerstown Silt Loam, 0%-3% Slopes
*No - Nolin Silt Loam, 3%-8% Slopes
OhB - Opequon-Hagerstown Complex, 3%-8% Slopes
Prime Agricultural Soils are indicated on the plan with an "*" next to the soil name.



PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

WWW.PENNTERRA.COM

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Seal of JOHN C. SEPP, Registered Professional Engineer, State of Pennsylvania, No. 50801174

Seal of NEVIN L. GROVE, Registered Professional Land Surveyor, State of Pennsylvania, No. 50801174

Designer	TLS
Draftsman	TLS
Proj/Manager	JCS
Surveyor	BRK
Perimeter Ck.	
Book	486 Pg 28
Acad	14095-MD-CORRECTIVE
Layout	SUBDIVISION

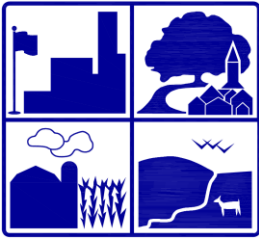
Date	Description

WATKINS SUBDIVISION
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

**SUBDIVISION OF
TAX PARCEL
24-17-12**

PROJECT NO.	14095
DATE	AUGUST 22, 2019
SCALE	1"=50'
SHEET NO.	1

RECEIVED AUG 30 2019



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
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www.twp.ferguson.pa.us

TO: Planning Commission

FROM: Kristina Aneckstein, Community Planner

DATE: September 9, 2019

SUBJECT: Replot of Lands for the State College Borough Water Authority and Gary E. Myers and Carol J. Myers

This proposed replot of lands owned by the State College Borough Water Authority (SCBWA) and Gary E. Myers and Carol J. Myers. a water treatment facility to be located at 3062 Ernest Lane (Tax Parcel 24-003-007F). Tax parcel 24-003-007F, owned by the State College Borough Water Authority is currently 15.071 acres and the proposed acreage is 18.047 acres. Mr. and Mrs. Myers own tax parcel 24-003-007K and is currently 45.673 acres, in which 2.974 acres is being transferred to the SCBWA. The land is zoned Rural Agricultural and the current use is a well field property and the proposed use is an addition to well field property. This project was granted seven variances; Variance to encroach upon the fifty-foot riparian buffer, Variance to waive requirements of independent hydrologic and hydraulic study, Variance to allow improvements within the flood plain, Variance to allow construction activities and improvements within the flood way, Variance to minimum lot area (50 acres), and Nonconforming use in Rural Agricultural zoning district. At this point, all remaining comments are administrative and are outlined below.

1. A digital copy of the plan in accordance with Township requirements must be provided to the Township prior to final plan signature. (Chapter 22 Section 304.7) **Comment Stands.**
2. The plan must be signed, all fees paid to the Township and the plan recorded within the plan deadline. **Comment Stands**
3. The plan must be signed, all fees paid to the Township, and the plan recorded within the plan deadline. **Comment Stands.**

Staff Recommendation: The Planning Commission make a recommendation to the Board of Supervisors to approve the Replot of Lands for the State College Borough Water Authority and Gary E. Myers and Carol J. Myers, submitted on June 26, 2019 and last revised on August 12, 2019 condition upon all outstanding items being completed.

PRELIMINARY/FINAL RE-PLOT OF LANDS

STATE COLLEGE BOROUGH WATER AUTHORITY AND GARY E. AND CAROL J. MYERS FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

JUNE 26, 2019
LAST REVISED
AUGUST 12, 2019

COMMONWEALTH OF PENNSYLVANIA ACT NO. 287

THE CONTRACTOR SHALL COMPLY WITH ALL THE APPLICABLE REQUIREMENTS OF ACT NO. 287 OF THE GENERAL ASSEMBLY OF THE COMMONWEALTH OF PENNSYLVANIA, AS AMENDED BY ACT NO. 187 OF 1996, AS AMENDED BY ACT NO. 181 OF 2006, EFFECTIVE MARCH 29, 2007, AND AS AMENDED BY ACT 121 OF 2008, EFFECTIVE OCTOBER 9, 2008.

THE FOLLOWING IS A LIST OF MEMBERS LOCATED WITHIN THE PROJECT AREA:

WATER / WASTEWATER:	UNIVERSITY AREA JOINT AUTHORITY 1576 SPRING VALLEY ROAD STATE COLLEGE, PA. 16801 CONTACT: MARK HARTER EMAIL: mharter@uaja.com (814) 238-8370	ROADS/ STORM:	FERGUSON TOWNSHIP CENTRE COUNTY 3147 RESEARCH DRIVE STATE COLLEGE, PA. 16801 CONTACT: CHRIS LEIDY EMAIL: cleid@wp.ferguson.pa.us
	PENN STATE UNIVERSITY WASTEWATER TREATMENT PLANT 501 UNIVERSITY DRIVE STATE COLLEGE, PA. 16801 CONTACT: JEFF MCDONALD EMAIL: jam86@psu.edu	ELECTRIC:	WEST PENN POWER 800 CABIN HILL DRIVE ROOM B100N GREENSBURG, PA 15601 CONTACT: ROBERT PAINTER EMAIL: rpainter@firstenergycorp.com
	STATE COLLEGE BOROUGH WATER AUTHORITY 1201 WEST BRANCH ROAD STATE COLLEGE, PA. 16801 CONTACT: STEVE ALBRIGHT EMAIL: steve@scbwa.org (814) 238-0885		



PA ONE-CALL (800) 242-1776
PA ONE-CALL SERIAL NUMBER:
201917630841

GD&F
GWIN
DOBSON &
FOREMAN
ENGINEERS
3121 Fairway Drive
Altoona, PA 16602
814.943.5214
gdfengineers.com

PROJECT NOTES

- GENERAL SITE/LOT INFORMATION

A. OWNER: STATE COLLEGE BOROUGH WATER AUTHORITY 1201 WEST BRANCH ROAD STATE COLLEGE, PA. 16801	GARY E. & CAROL J. MYERS 650 W CHERRY LANE STATE COLLEGE, PA. 16803
B. TAX PARCEL: 24-003-007F-000	24-003-007K-000
C. DEED BOOK/PAGE: 410/533	639/922
D. EXISTING LOT AREA: 656,482 SQ. FT. OR 15.071 ACRES	1,989,516 SQ. FT. OR 45.673 ACRES
E. PROPOSED LOT AREA: 786,137 SQ. FT. OR 18.047 ACRES	1,859,968 SQ. FT. OR 42.699 ACRES
F. BUILDING SETBACKS: FRONT = 50' SIDE = 50' REAR = 50'	FRONT = 50' SIDE = 100' REAR = 75'
G. MAXIMUM HEIGHT: 40'	40'
H. EXISTING USE: WELL FIELD PROPERTY	AGRICULTURE
I. PROPOSED USE: ADDITION TO WELL FIELD PROPERTY	AGRICULTURE
J. MAXIMUM BUILDING COVERAGE: 15%	N/A
K. MAXIMUM IMPERVIOUS COVERAGE: 50%	10%
L. PROPERTY ADDRESS: 3062 ERNEST LANE	3061 ERNEST LANE
M. LAND IS ZONED: RURAL AGRICULTURAL (RA)	
N. BOUNDARY AND TOPOGRAPHIC INFORMATION BASED ON FIELD INSTRUMENT SURVEY COMPLETED BY GWIN, DOBSON AND FOREMAN, INC., COMPLETED FEBRUARY 9, 2018.	
O. SOILS INFORMATION FROM UNITED STATE DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE.	
P. EXISTING FLOOD PLAIN INFORMATION FROM FIRM MAP NO. 42027C0618F IS INDICATED ON THESE PLANS.	
Q. THERE WAS ONE WETLAND AREA IDENTIFIED THROUGH FIELD INVESTIGATION NEAR THE EXISTING CHLORINATION BUILDING, HOWEVER, THERE ARE NO WETLANDS WITHIN THE ENVIRONS OF THE PROJECT LIMITS.	
R. THERE ARE NO STEEP SLOPES (>25%) WITHIN THE ENVIRONS OF THE PROJECT LIMITS.	
- LIST OF APPROVED VARIANCES: (FEBRUARY 26, 2019)
 - §27-213.4: VARIANCE TO ENCR OACH UPON THE FIFTY (50) FOOT RIPARIAN BUFFER
 - §27-801.1: VARIANCE TO WAIVE REQUIREMENTS OF INDEPENDENT HYDROLOGIC AND HYDRAULIC (H&H) STUDY
 - §27-801.1.C.(1): VARIANCE TO ALLOW IMPROVEMENTS WITHIN THE FLOODPLAIN
 - §27-801.1.H: VARIANCE TO ALLOW CONSTRUCTION ACTIVITIES AND IMPROVEMENTS WITHIN THE FLOODWAY
 - §27-801.1.I: VARIANCE TO ENCR OACH UPON THE FIFTY (50) FOOT FLOODPLAIN BUFFER
 - §27-501.1.A VARIANCE TO MINIMUM LOT AREA (50 ACRES)
 - §27-903 NONCONFORMING USE IN RURAL AGRICULTURAL ZONING DISTRICT
- VARIANCE DECISION (FEBRUARY 26, 2019): APPLICANT'S REQUEST FOR VARIANCES FROM THE FLOODPLAIN REGULATIONS, INCLUDING SECTION 27-213.4 (RIPARIAN BUFFER OVERLAY), SECTION 27-801.1 (HYDROLOGIC AND HYDRAULIC STUDIES), SECTION 27-801.1C (NO NEW CONSTRUCTION WITHIN FLOODPLAINS); SECTION 27-801.H (NO NEW CONSTRUCTION IN FLOODWAYS) AND SECTION 27-801.I (NO ENCR OACHMENT INTO 50 FOOT FLOODPLAIN BUFFER), ARE ALL GRANTED BY A VOTE OF 5 TO 0; PROVIDED THAT AS A CONDITION TO THE GRANT OF THE VARIANCE THE APPLICANT SHALL COMPLY WITH THE REQUIREMENTS OF THE NATIONAL FLOOD INSURANCE PROGRAM REGULATIONS (60.3 a,b AND c), AND PROVIDED FURTHER THAT THE TOWNSHIP MUST ISSUE A LETTER TO THE APPLICANT ADVISING IT OF THE RISK OF AN INCREASE IN PREMIUM RATES FOR FLOOD INSURANCE AND AN INCREASE IN THE RISKS TO LIFE AND PROPERTY BECAUSE OF THE GRANT OF THE VARIANCE.

THE APPLICANT'S REQUEST FOR A VARIANCE FROM SECTION 27-501.1A (MINIMUM LOT AREA) IS GRANTED AS DE MINIMIS BY A VOTE OF 5 TO 0. THE APPLICANT'S REQUEST FOR A VARIANCE FROM SECTION 27-903 (NON-CONFORMING USES) IS GRANTED BY A VOTE OF 5 TO 0.
- EXISTING FIRE HYDRANT FLOW DATA:

HYDRANT No.	LOCATION	STATIC	RESIDUAL	FLOW	DATE
50001.00	3062 ERNEST LANE (WELL FIELD)	102psi	74psi	2050gpm	6/22/18
50002.00	ERNEST LANE	82psi	68psi	2000gpm	8/16/17
- THE RECORD PLAN CONFORMS WITH THE PLAN RECEIVING FINAL APPROVAL BY THE FERGUSON TOWNSHIP BOARD OF SUPERVISORS ON _____ ALL IMPROVEMENTS ARE OR WILL BE INSTALLED IN ACCORDANCE WITH SUCH PLAN IN A MANNER AND TIME SO SPECIFIED THEREIN.

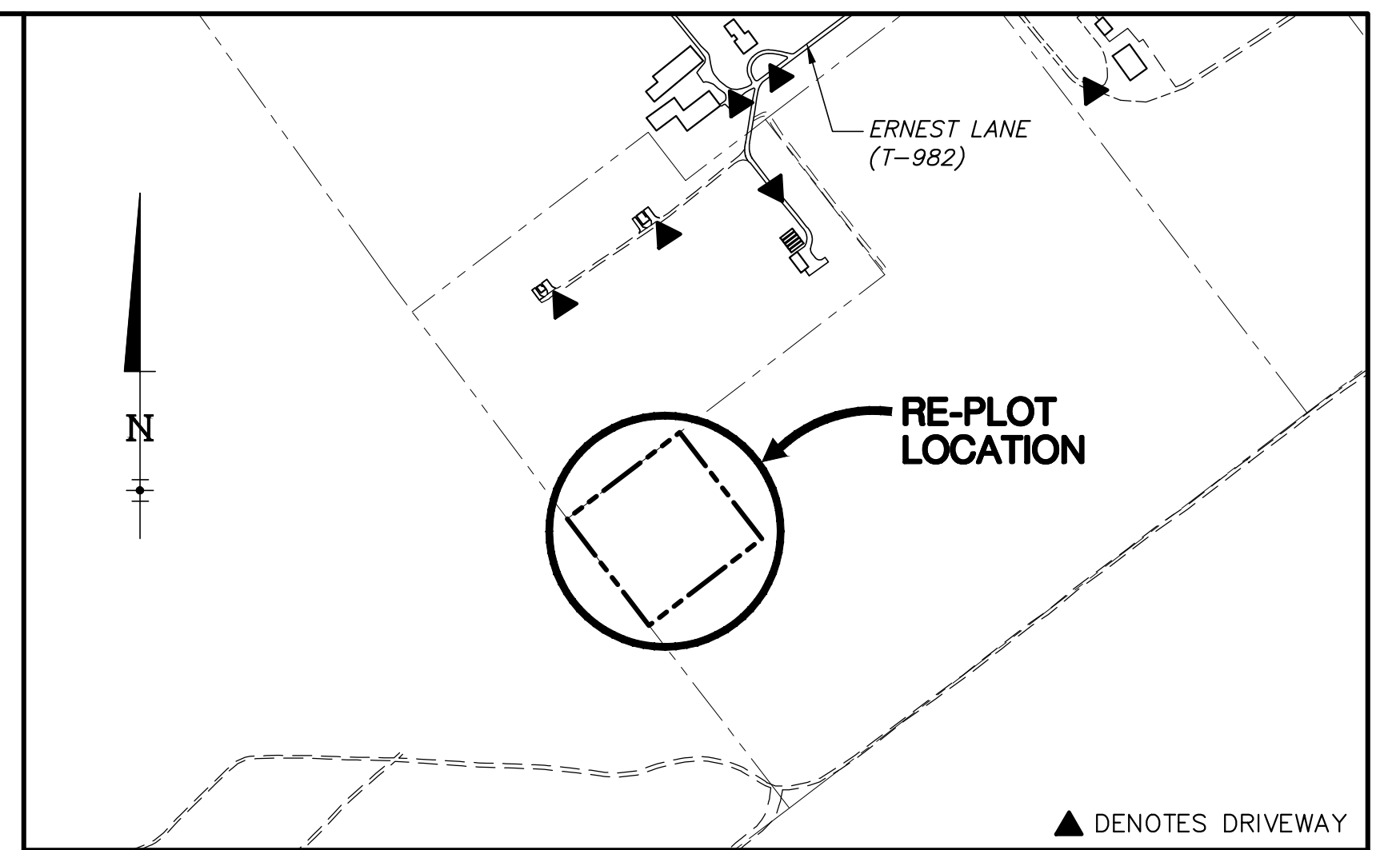
INDEX OF DRAWINGS

- COVER SHEET
- OVERALL INDEX PLAN
- EXISTING CONDITIONS PLAN (NORTH)
- EXISTING CONDITIONS PLAN (SOUTH)
- PROPOSED RE-PLOT PLAN (NORTH)
- PROPOSED RE-PLOT PLAN (SOUTH)

PROFESSIONAL LAND SURVEY CERTIFICATION

I, _____, A PROFESSIONAL LAND SURVEYOR, IN THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE PLAN CORRECTLY REPRESENTS THE TRACT OF LAND SHOWN.

NO.	DATE	REVISIONS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS
		DESCRIPTION
		REVISIONS



KEY MAP
SCALE: 1" = 400'

CENTRE COUNTY RECORDER OF DEEDS

COMMONWEALTH OF PENNSYLVANIA COUNTY OF CENTRE CERTIFICATION OF OWNERSHIP TAX PARCEL 24-003-007F-0000 (SCBWA)

ON THIS, ____ DAY OF _____, 20____, THE UNDERSIGNED OWNER(S), PERSONALLY APPEARED BEFORE ME AND CERTIFIED THAT THEY WERE THE OWNER(S) OF THE PROPERTIES SHOWN ON THIS PLAN AND ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN AND DESIGNS, THE SAME TO BE RECORDED AS SUCH, ACCORDING TO THE LAW.

OWNER SIGNATURE _____ OWNER PRINT NAME _____ OWNER TITLE _____
WITNESS MY HAND AND SEAL, THIS DATE _____

NOTARY PUBLIC _____ COMMISSION EXPIRES _____

COMMONWEALTH OF PENNSYLVANIA COUNTY OF CENTRE CERTIFICATION OF OWNERSHIP TAX PARCEL 24-003-007K-0000 (MYERS)

ON THIS, ____ DAY OF _____, 20____, THE UNDERSIGNED OWNER(S), PERSONALLY APPEARED BEFORE ME AND CERTIFIED THAT THEY WERE THE OWNER(S) OF THE PROPERTIES SHOWN ON THIS PLAN AND ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN AND DESIGNS, THE SAME TO BE RECORDED AS SUCH, ACCORDING TO THE LAW.

OWNER SIGNATURE _____ OWNER PRINT NAME _____ OWNER TITLE _____
WITNESS MY HAND AND SEAL, THIS DATE _____

OWNER SIGNATURE _____ OWNER PRINT NAME _____ OWNER TITLE _____
WITNESS MY HAND AND SEAL, THIS DATE _____

NOTARY PUBLIC _____ COMMISSION EXPIRES _____

FERGUSON TOWNSHIP ENGINEER CERTIFICATION

I, _____, HAVE REVIEWED AND HEREBY CERTIFY THAT THE PLAN MEETS ALL ENGINEERING DESIGN STANDARDS AND CRITERIA OF THE FERGUSON TOWNSHIP CODE OF ORDINANCES.

FERGUSON TOWNSHIP PLANNING COMMISSION

FERGUSON TOWNSHIP PLANNING COMMISSION APPROVED

SECRETARY _____ DATE _____

CHAIRMAN _____ DATE _____

FERGUSON TOWNSHIP BOARD OF SUPERVISORS

FERGUSON TOWNSHIP BOARD OF SUPERVISORS APPROVED

SECRETARY _____ DATE _____

CHAIRMAN _____ DATE _____

FERGUSON TOWNSHIP ZONING OFFICER

FERGUSON TOWNSHIP ZONING OFFICER APPROVED

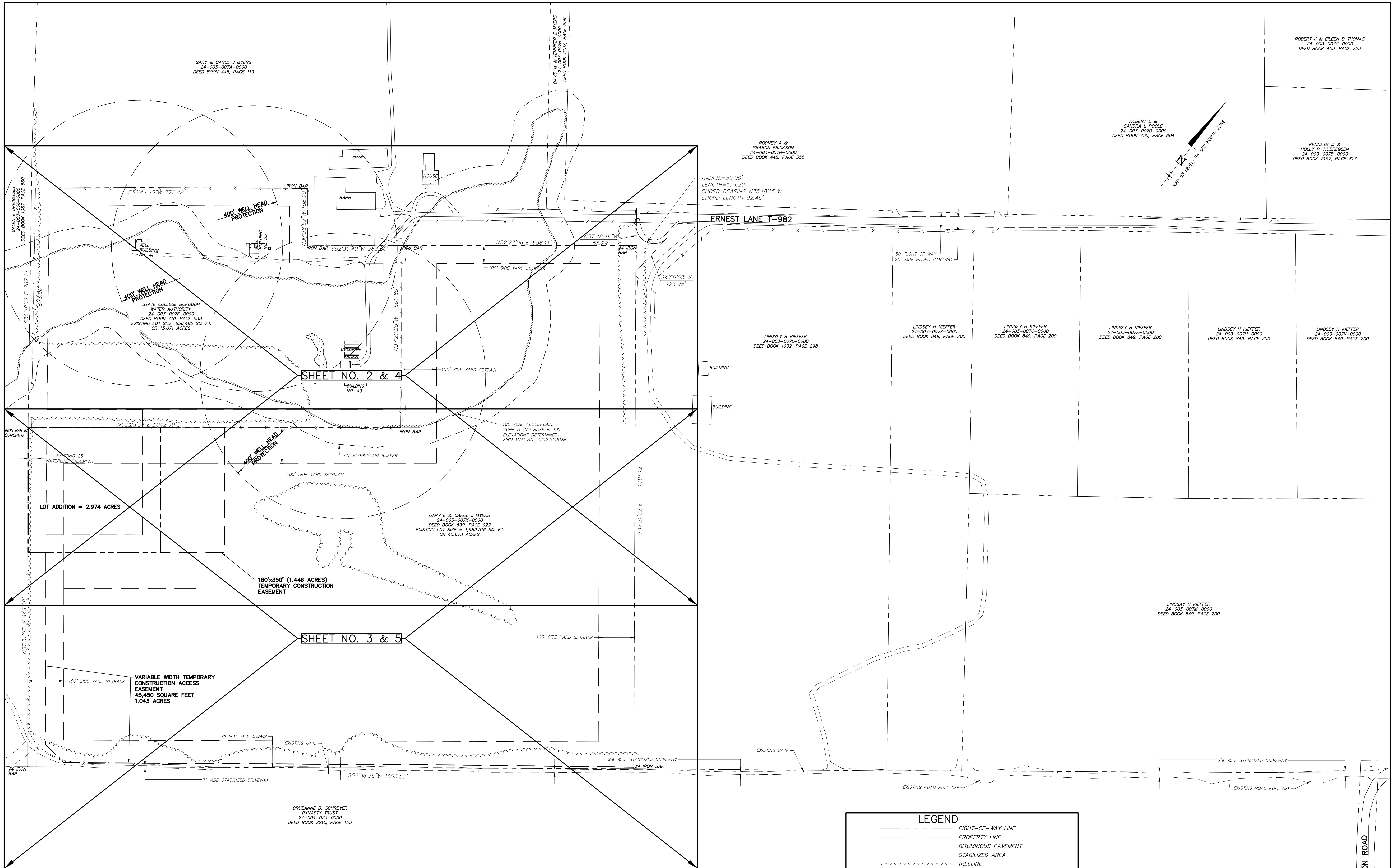
ZONING OFFICER _____ DATE _____

FIRE CHIEF CERTIFICATION

I HAVE REVIEWED AND HEREBY CERTIFY THAT THE LOCATION OF FIRE LANES AND FIRE HYDRANTS SHOWN ON THIS PLAN ARE ADEQUATE.

FIRE CHIEF _____ DATE _____

	COVER SHEET		
	STATE COLLEGE BOROUGH WATER AUTHORITY AND GARY E. AND CAROL J. MYERS RE-PLOT OF LANDS		
SEAL	DATE: 08/26/19	JOB: 16049	SCALE: AS SHOWN
	FILE: 16049_SD_CST	DRAWN BY: RLN	CHECKED BY:
			SHEET NO: CS-1



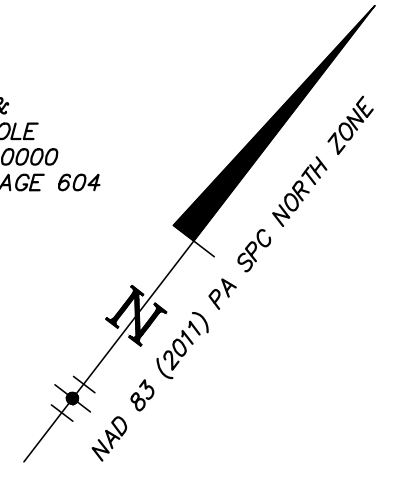
GARY & CAROL J MYERS
24-003-0074-0000
DEED BOOK 446, PAGE 119

ROBERT J & EILEEN B THOMAS
24-003-0070-0000
DEED BOOK 403, PAGE 723

ROBERT E. &
SANDRA L. POOLE
24-003-0070-0000
DEED BOOK 430, PAGE 604

KENNETH J. &
HOLLY P. HUBREICSEN
24-003-0078-0000
DEED BOOK 2157, PAGE 817

ROONEY A. &
SHARON ERICKSON
24-003-0074-0000
DEED BOOK 442, PAGE 355



SHEET NO. 2 & 4

SHEET NO. 3 & 5

LOT ADDITION = 2.974 ACRES

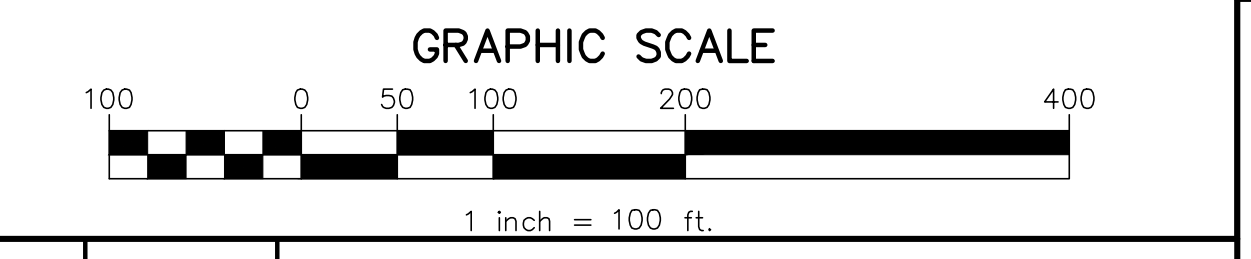
180'x350' (1.446 ACRES)
TEMPORARY CONSTRUCTION
EASEMENT

VARIABLE WIDTH TEMPORARY
CONSTRUCTION ACCESS
EASEMENT
45,450 SQUARE FEET
1.043 ACRES

DRUEANNE B. SCHREYER
DYNASTY TRUST
24-004-023-0000
DEED BOOK 2210, PAGE 123

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- BITUMINOUS PAVEMENT
- STABILIZED AREA
- TREELINE
- STREAM/DITCH LINE
- FENCE LINE
- BUILDING SETBACK
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT LINE



NO.	DATE	DESCRIPTION
1	8/12/19	REVISED PER TOWNSHIP COMMENTS



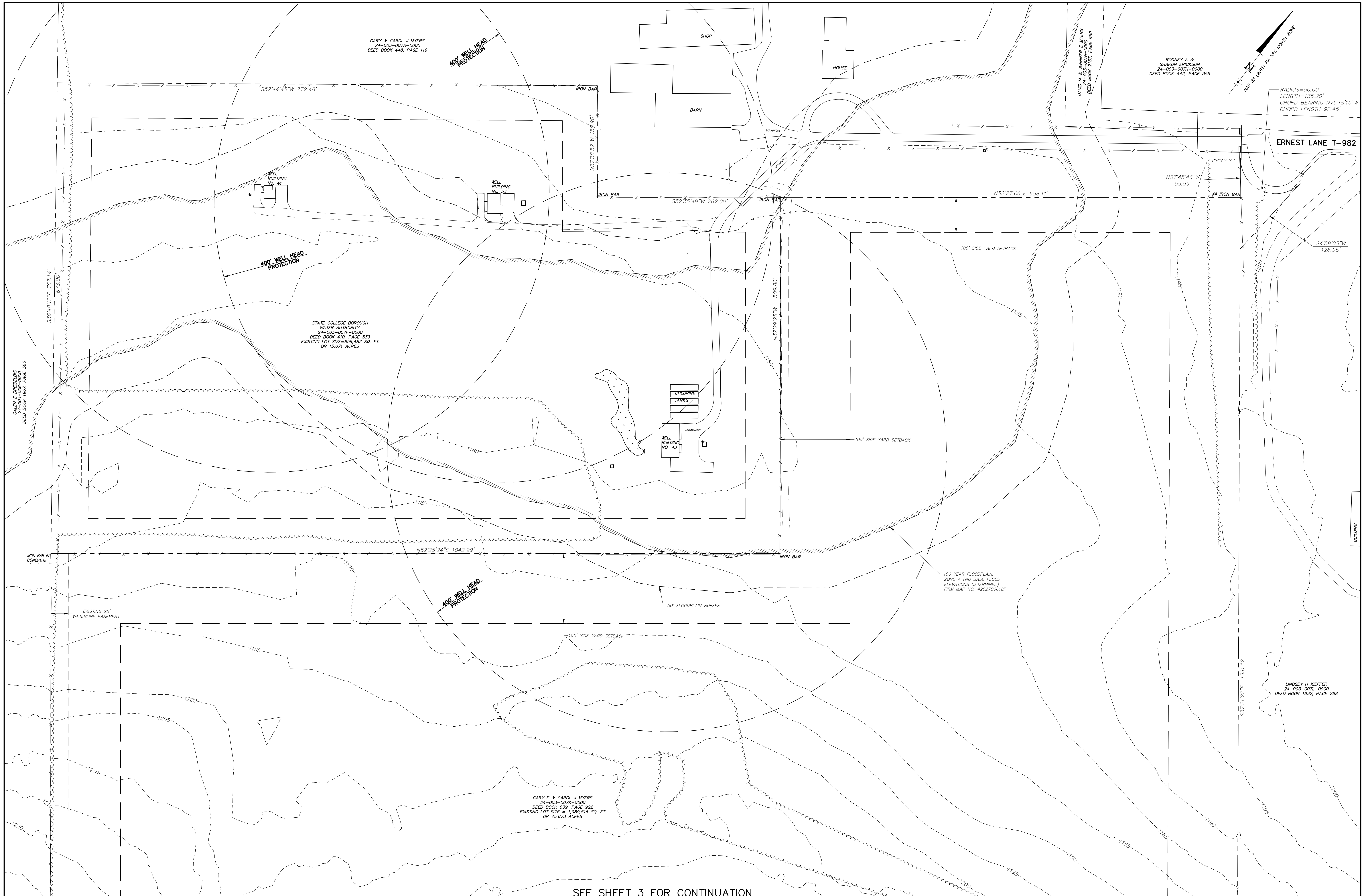
OVERALL INDEX PLAN
STATE COLLEGE BOROUGH
WATER AUTHORITY
AND
GARY E. AND CAROL J. MYERS
RE-PLOT OF LANDS



FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA
DATE: 06/26/19 JOB: 16049 SCALE: AS SHOWN
FILE: 16049_SD_001 DRAWN BY: RJB CHECKED BY: KWB

SHEET NO:
1

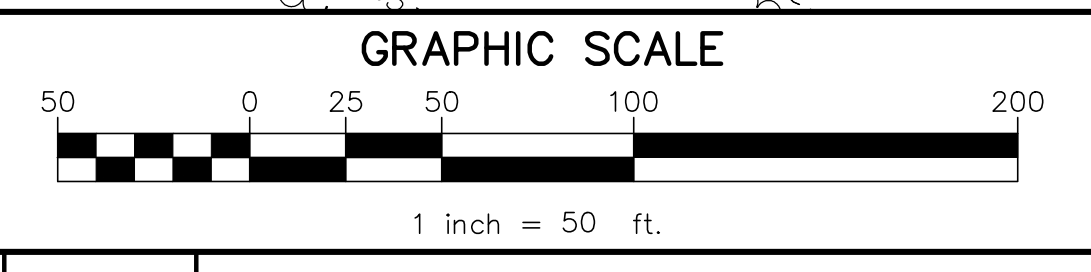
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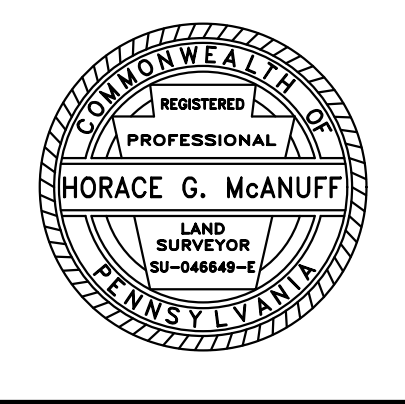
SEE SHEET 3 FOR CONTINUATION

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- BITUMINOUS PAVEMENT
- STABILIZED AREA
- TREELINE
- STREAM/DITCH LINE
- FENCE LINE
- BUILDING SETBACK
- MAJOR CONTOUR (5')



NO.	DATE	DESCRIPTION
1	8/12/19	REVISED PER TOWNSHIP COMMENTS



EXISTING CONDITIONS PLAN (NORTH)

STATE COLLEGE BOROUGH WATER AUTHORITY
AND
GARY E. AND CAROL J. MYERS
RE-PLOT OF LANDS

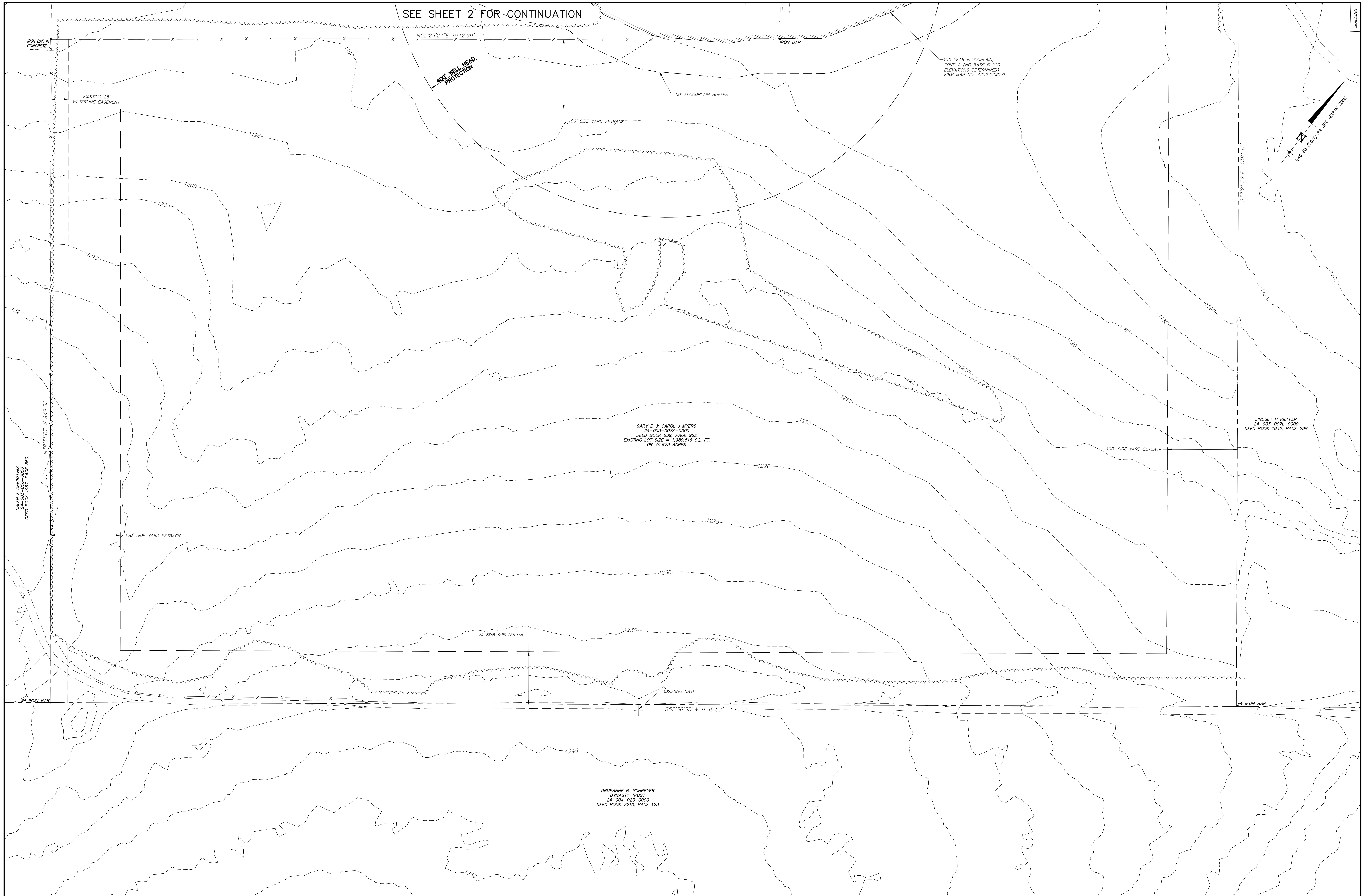
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

DATE: 06/26/19 JOB: 16049 SCALE: AS SHOWN
FILE: 16049_SD_002 DRAWN BY: RJB CHECKED BY: KWB



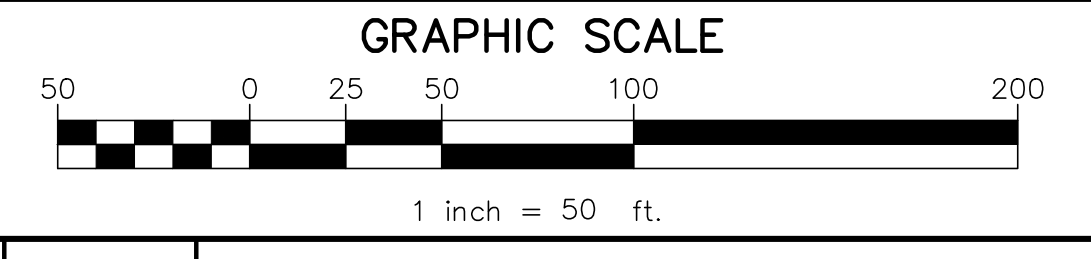
SHEET NO: 2

SEE SHEET 2 FOR CONTINUATION

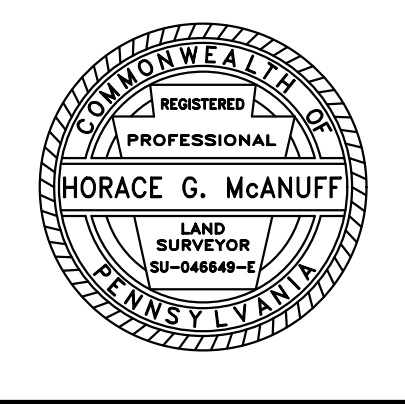


LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- BITUMINOUS PAVEMENT
- STABILIZED AREA
- TREELINE
- STREAM/DITCH LINE
- FENCE LINE
- BUILDING SETBACK
- - - - - MAJOR CONTOUR (5')



NO.	DATE	DESCRIPTION
1	8/12/19	REVISED PER TOWNSHIP COMMENTS



EXISTING CONDITIONS PLAN (SOUTH)

STATE COLLEGE BOROUGH
WATER AUTHORITY
AND
GARY E. AND CAROL J. MYERS
RE-PLOT OF LANDS

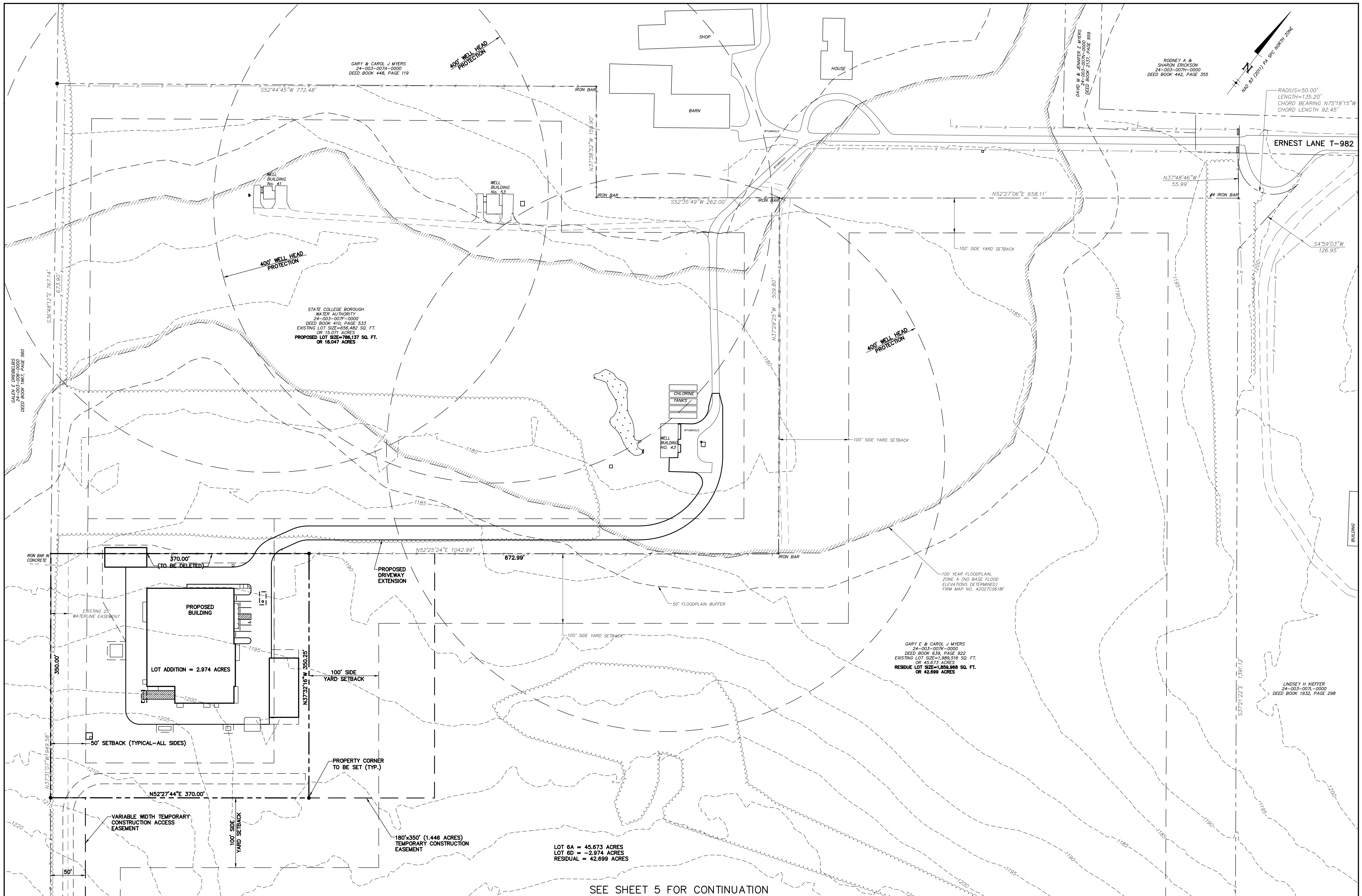
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

DATE: 06/26/19 JOB: 16049 SCALE: AS SHOWN
FILE: 16049_SD_003 DRAWN BY: RJB CHECKED BY: KWB



SHEET NO: **3**

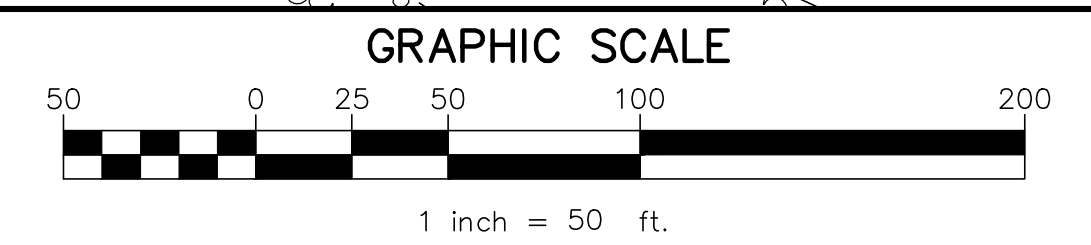
PLOT CREATED: 7/22/2019 1:01 PM



SEE SHEET 5 FOR CONTINUATION

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- BITUMINOUS PAVEMENT
- STABILIZED AREA
- TREELINE
- STREAM/DITCH LINE
- FENCE LINE
- BUILDING SETBACK
- MAJOR CONTOUR (5')
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING SETBACK
- PROPOSED PROPERTY CORNER TO BE SET



NO.	DATE	DESCRIPTION
1	8/12/19	REVISED PER TOWNSHIP COMMENTS



PROPOSED RE-PLOT PLAN (NORTH)

STATE COLLEGE BOROUGH
WATER AUTHORITY
AND
GARY E. AND CAROL J. MYERS
RE-PLOT OF LANDS

GD&F
GWIN
DOERSON &
FOREMAN
ENGINEERS
3121 Fairway Drive
Altoona, PA 16602
814.943.5214
gdfengineers.com

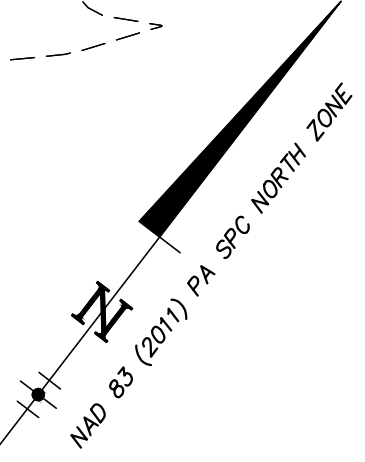
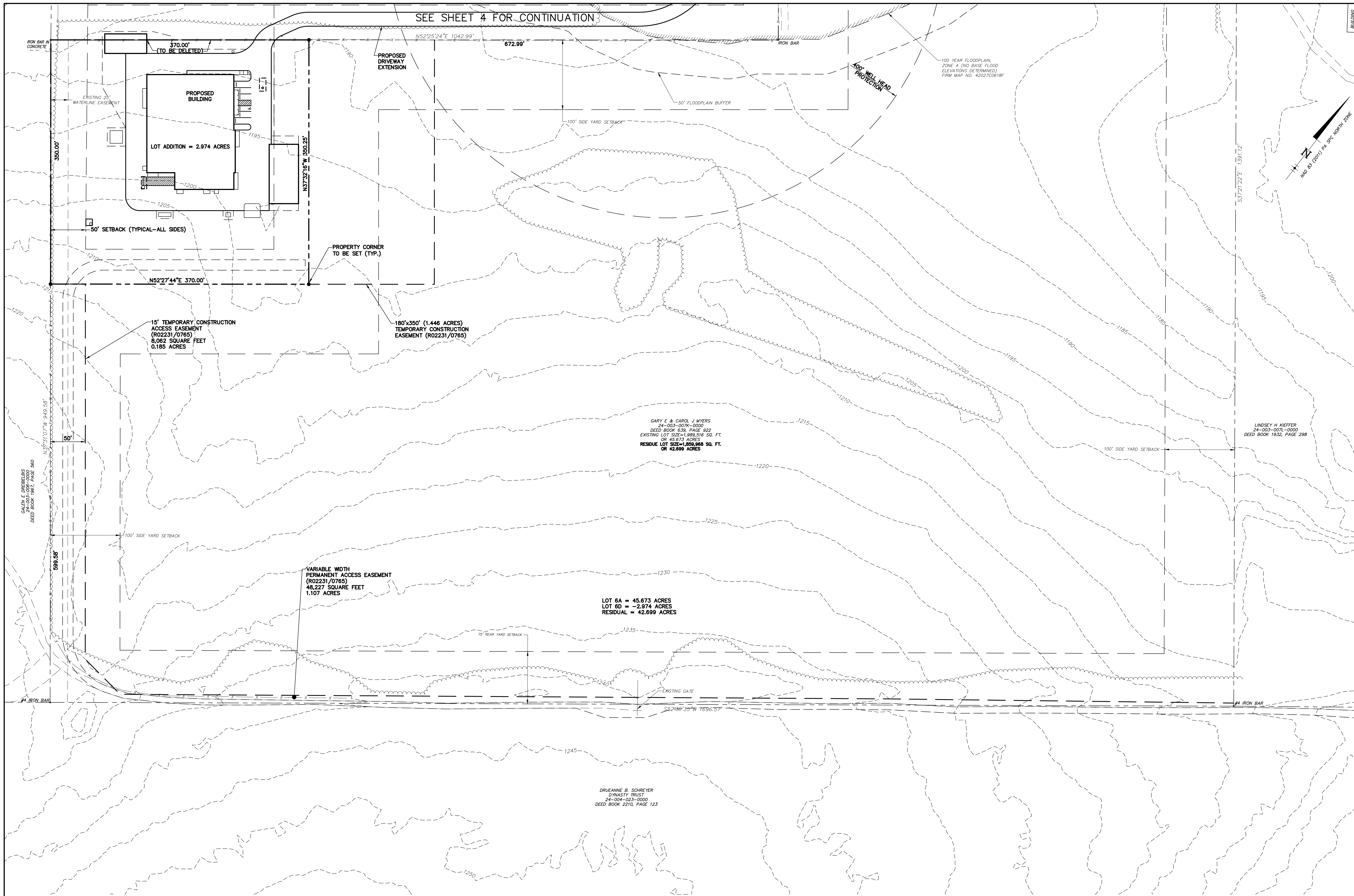
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

DATE: 06/26/19 JOB: 16049 SCALE: AS SHOWN
FILE: 16049_SD_004 DRAWN BY: RJB CHECKED BY: KWB

SHEET NO: **4**

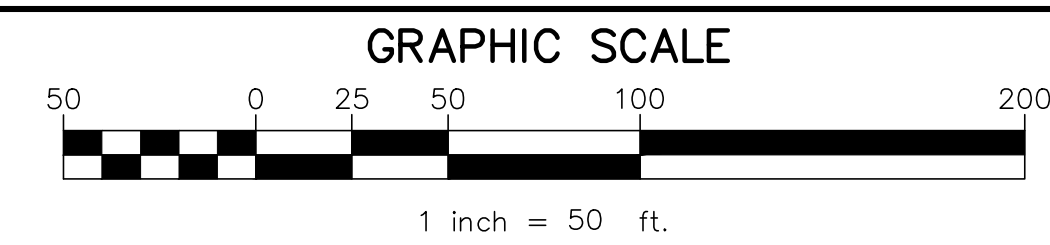
PLANT CREATED: 8/7/2019 9:49 AM
G:\16049\SUBDIVISION PLANS\16049_SD_004

SEE SHEET 4 FOR CONTINUATION



LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- BITUMINOUS PAVEMENT
- STABILIZED AREA
- TREELINE
- STREAM/DITCH LINE
- FENCE LINE
- BUILDING SETBACK
- MAJOR CONTOUR (5')
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING SETBACK
- PROPOSED PROPERTY CORNER TO BE SET



NO.	DATE	DESCRIPTION
1	8/12/19	REVISED PER TOWNSHIP COMMENTS



PROPOSED RE-PLOT PLAN (SOUTH)

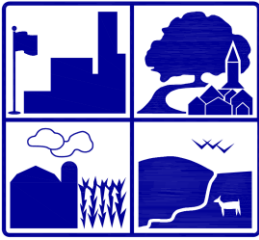
STATE COLLEGE BOROUGH
WATER AUTHORITY
AND
GARY E. AND CAROL J. MYERS
RE-PLOT OF LANDS

FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

DATE: 06/26/19 JOB: 16049 SCALE: AS SHOWN
FILE: 16049_SD_005 DRAWN BY: RJB CHECKED BY: KWB



SHEET NO: **5**



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: Planning Commission

FROM: Kristina Aneckstein, Community Planner

DATE: September 9, 2019

SUBJECT: State College Borough Water Authority Water Treatment Facility

This Land Development Plan proposes a water treatment facility to be located at 3062 Ernest Lane (Tax Parcel 24-003-007F). The proposed water treatment plant will be 22,182 square feet and have five standard parking spaces and one ADA space, one loading space and will employ four people. The structure will be located less than 1,000 feet from the nearest residential structure and be surrounded by a natural landscape buffer, a proposed landscape buffer and a fence line with privacy slats. A Water Treatment Facility is a Conditional Use within the Rural Agricultural Zoning District. The Conditional Use was approved by the Board of Supervisors on August 5, 2019. At this point, all remaining comments are administrative and are outlined below.

1. A digital copy of the plan in accordance with Township requirements must be provided to the Township prior to final plan signature. (Chapter 22 Section 304.7) **Comment Stands.**
2. The plan must be signed, all fees paid to the Township and the plan recorded within the plan deadline. **Comment Stands**
3. The plan must be signed, all fees paid to the Township, and the plan recorded within the plan deadline. **Comment Stands.**

Staff Recommendation: The Planning Commission make a recommendation to the Board of Supervisors to approve the State College Borough Water Authority Water Treatment Facility Land Development Plan, submitted on June 26, 2019 and last revised on August 30, 2019 condition upon all outstanding items being completed.

STATE COLLEGE BOROUGH WATER AUTHORITY FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLANS

FOR

NIXON-KOCHER WATER TREATMENT FACILITY

JUNE 26, 2019

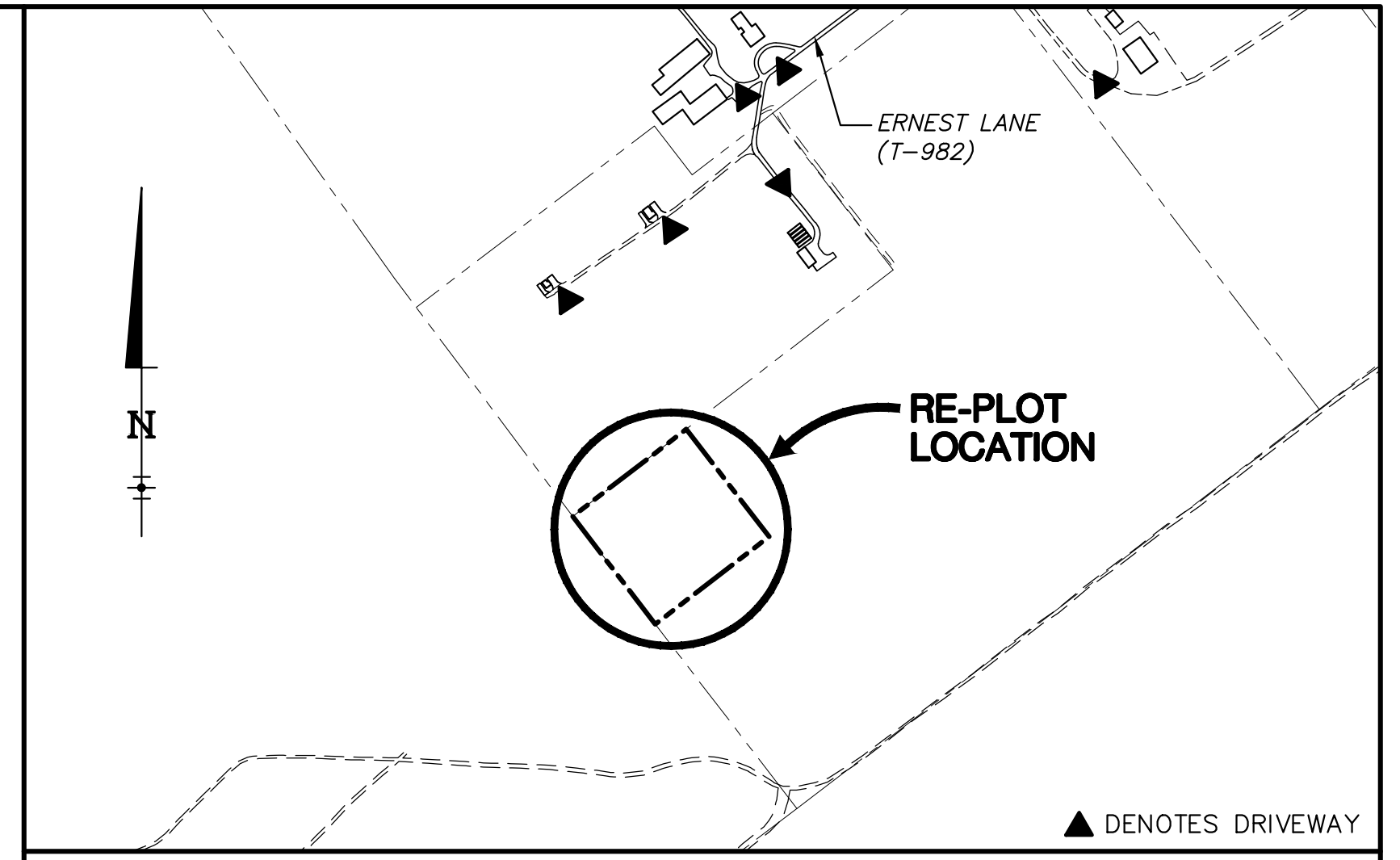
LAST REVISED AUGUST 30, 2019

GD&F
GWIN
DOBSON &
FOREMAN
ENGINEERS
3121 Fairway Drive
Altoona, PA 16602
814.943.5214
gdfengineers.com

OWNER'S STORMWATER MANAGEMENT CERTIFICATION

THE STATE COLLEGE BOROUGH WATER AUTHORITY (OWNER) ACKNOWLEDGES THAT ANY STORMWATER MANAGEMENT SYSTEMS IDENTIFIED ON THIS LAND DEVELOPMENT PLAN ARE PERMANENT FIXTURES THAT MAY BE ALTERED OR REMOVED ONLY AFTER APPROVAL BY FERGUSON TOWNSHIP AND/OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION OF A REVISED STORMWATER MANAGEMENT PLAN. FURTHERMORE, FERGUSON TOWNSHIP AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, ITS AGENTS AND ASSIGNS, ARE EXPRESSLY AUTHORIZED RIGHT-OF-ENTRY OVER AND THROUGH THE PROPERTY FOR THE PURPOSE OF INSPECTING ALL STORMWATER FACILITIES IDENTIFIED IN THIS LAND DEVELOPMENT PLAN UPON NOTIFICATION TO THE AUTHORITY. THE STORMWATER MANAGEMENT SYSTEM IS TO BE MAINTAINED IN ACCORDANCE WITH THE RECORDED OPERATION AND MAINTENANCE (O&M) PROGRAM.

SIGNATURE _____ DATE _____



KEY MAP
SCALE: 1" = 400'

CENTRE COUNTY RECORDER OF DEEDS

COMMONWEALTH OF PENNSYLVANIA COUNTY OF CENTRE
CERTIFICATION OF OWNERSHIP

ON THIS, ____ DAY OF _____, 20____, THE UNDERSIGNED OWNER(S), PERSONALLY APPEARED BEFORE ME AND CERTIFIED THAT THEY WERE THE OWNER(S) OF THE PROPERTIES SHOWN ON THIS PLAN AND ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN AND DESIGNS, THE SAME TO BE RECORDED AS SUCH, ACCORDING TO THE LAW.

OWNER SIGNATURE _____ OWNER PRINT NAME _____ OWNER TITLE _____

WITNESS MY HAND AND SEAL, THIS DATE _____

NOTARY PUBLIC _____ COMMISSION EXPIRES _____

DESIGN PROFESSIONAL CERTIFICATION

I, KENNETH W. BELDIN, JR., PE, HAVE REVIEWED AND HEREBY CERTIFY THAT THIS LAND DEVELOPMENT MEETS ALL DESIGN REQUIREMENTS OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, ZONING ORDINANCE AND ALL OTHER APPLICABLE CHAPTERS OF THE FERGUSON TOWNSHIP CODE.

DESIGN PROFESSIONAL STORMWATER CERTIFICATION

I, KENNETH W. BELDIN, JR., PE, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE FERGUSON TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

FERGUSON TOWNSHIP ENGINEER CERTIFICATION

I, _____, HAVE REVIEWED AND HEREBY CERTIFY THAT THE PLAN MEETS ALL ENGINEERING DESIGN STANDARDS AND CRITERIA OF THE FERGUSON TOWNSHIP CODE OF ORDINANCES.

FERGUSON TOWNSHIP ENGINEER STORMWATER CERTIFICATION

I, _____, HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE FERGUSON TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

FERGUSON TOWNSHIP PLANNING COMMISSION

FERGUSON TOWNSHIP PLANNING COMMISSION APPROVED

SECRETARY _____ DATE _____

FERGUSON TOWNSHIP BOARD OF SUPERVISORS

FERGUSON TOWNSHIP BOARD OF SUPERVISORS APPROVED

SECRETARY _____ DATE _____

FERGUSON TOWNSHIP ZONING OFFICER

FERGUSON TOWNSHIP ZONING OFFICER APPROVED

FERGUSON TOWNSHIP ZONING OFFICER

FERGUSON TOWNSHIP ZONING OFFICER APPROVED

ZONING OFFICER _____ DATE _____

FIRE CHIEF CERTIFICATION

I HAVE REVIEWED AND HEREBY CERTIFY THAT THE LOCATION OF FIRE LANES AND FIRE HYDRANTS SHOWN ON THIS PLAN ARE ADEQUATE.

FIRE CHIEF _____ DATE _____

PROJECT NOTES

- GENERAL SITE/LOT INFORMATION
 - OWNER/DEVELOPER: STATE COLLEGE BOROUGH WATER AUTHORITY
 - TAX PARCEL NUMBER/LOT ACREAGE: 24-003-007F-0000/18.047 ACRES
 - PROPERTY ADDRESS: 3062 ERNEST LANE
 - RECORD BOOK/PAGE NUMBER: 410/533
 - LAND IS ZONED: RURAL AGRICULTURAL (RA)
 - BUILDING SETBACK LINE: FRONT YARD = 50'
SIDE YARD = 50'
REAR YARD = 50'
 - LOT REQUIREMENTS: EXISTING LOT AREA (FOLLOWING RE PLOT) = 786,137 S.F. OR 18.047 ACRES
MAXIMUM BUILDING HEIGHT = 40'
PROPOSED = 39.89'
 - EXISTING LAND USE: FORESTED LAND/AGRICULTURAL
 - PROPOSED LAND USE: WATER TREATMENT FACILITY
 - REQUIRED PARKING: 1 SPACE/4000 GFA (19,883 GFA/4000 = 5 SPACES) AND 1 LOADING SPACE
 - PROPOSED PARKING: 7 SPACES (5 STANDARD, 1 ADA AND 1 LOADING SPACE)
 - BOUNDARY AND TOPOGRAPHIC INFORMATION BASED ON FIELD INSTRUMENT SURVEY COMPLETED BY GWIN, DOBSON AND FOREMAN, INC., COMPLETED FEBRUARY 9, 2018.
 - SOILS INFORMATION FROM UNITED STATE DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE. ON-SITE SOILS CONSIST PRIMARILY OF SANDY LOAMS UNDERLAIN BY CARBONATE ROCK.
 - EXISTING FLOODPLAIN INFORMATION FROM FIRM MAP NO. 42027C0618F, EFFECTIVE DATE MAY 4, 2009, IS INDICATED ON THESE PLANS.
 - THERE WAS ONE WETLAND AREA IDENTIFIED THROUGH FIELD INVESTIGATION NEAR THE EXISTING CHLORINATION BUILDING. HOWEVER, THERE ARE NO WETLANDS WITHIN THE ENVIRONS OF THE PROJECT LIMITS.
 - THERE ARE NO STEEP SLOPES (>25%) WITHIN THE ENVIRONS OF THE PROJECT LIMITS.
- LOT COVERAGE:
 - MAXIMUM BUILDING COVERAGE = 15%
 - PROPOSED BUILDING COVERAGE = 22,182 SQ. FT. OR 2.82%
 - MAXIMUM IMPERVIOUS COVERAGE = 50%
 - PROPOSED IMPERVIOUS COVERAGE = 22,182 SQ. FT. (BUILDING) = 71,618 SQ. FT. (PAVEMENT/CONCRETE) = 93,804 SQ. FT. (TOTAL OR 11.93%)
- DATE OF ZONING PERMIT APPLICATION: JUNE 26, 2019
- LIST OF APPROVED VARIANCES: (FEBRUARY 26, 2019)
 - §27-213.4: VARIANCE TO ENCROACH UPON THE FIFTY (50) FOOT RIPARIAN BUFFER
 - §27-801.1: VARIANCE TO WAIVE REQUIREMENTS OF INDEPENDENT HYDROLOGIC AND HYDRAULIC (H&H) STUDY
 - §27-801.1.C(1): VARIANCE TO ALLOW IMPROVEMENTS WITHIN THE FLOODPLAIN
 - §27-801.1.H: VARIANCE TO ALLOW CONSTRUCTION ACTIVITIES AND IMPROVEMENTS WITHIN THE FLOODWAY
 - §27-801.1.J: VARIANCE TO ENCROACH UPON THE FIFTY (50) FOOT FLOODPLAIN BUFFER
 - §27-501.1.A VARIANCE TO MINIMUM LOT AREA (50 ACRES)
 - §27-903 NONCONFORMING USE IN RURAL AGRICULTURAL ZONING DISTRICT
- VARIANCE DECISION (FEBRUARY 26, 2019): APPLICANT'S REQUEST FOR VARIANCES FROM THE FLOODPLAIN REGULATIONS, INCLUDING SECTION 27-213.4 (RIPARIAN BUFFER OVERLAY), SECTION 27-801.1 (HYDROLOGIC AND HYDRAULIC STUDIES), SECTION 27-801.1.C (NO NEW CONSTRUCTION WITHIN FLOODPLAINS), SECTION 27-801.H (NO NEW CONSTRUCTION IN FLOODWAYS) AND SECTION 27-801.J (NO ENCROACHMENT INTO 50 FOOT FLOODPLAIN BUFFER), ARE ALL GRANTED BY A VOTE OF 5 TO 0; PROVIDED THAT AS A CONDITION TO THE GRANT OF THE VARIANCE, THE APPLICANT SHALL COMPLY WITH THE REQUIREMENTS OF THE NATIONAL FLOOD INSURANCE PROGRAM REGULATIONS (60.3 a,b and c), AND PROVIDED FURTHER THAT THE TOWNSHIP MUST ISSUE A LETTER TO THE APPLICANT ADVISING IT OF THE RISK OF AN INCREASE IN PREMIUM RATES FOR FLOOD INSURANCE AND AN INCREASE IN THE RISKS TO LIFE AND PROPERTY BECAUSE OF THE GRANT OF THE VARIANCE.

THE APPLICANT'S REQUEST FOR A VARIANCE FROM SECTION 27-501.1A (MINIMUM LOT AREA) IS GRANTED AS DE MINIMIS BY A VOTE OF 5 TO 0.
THE APPLICANT'S REQUEST FOR A VARIANCE FROM SECTION 27-903 (NON-CONFORMING USES) IS GRANTED BY A VOTE OF 5 TO 0.
- THE PROPOSED BUILDING IS NOT REQUIRED TO BE SPRINKLERED BASED ON USE/OCCUPANCY.
- EXISTING FIRE HYDRANT FLOW DATA:

HYD #	LOCATION	STATIC	RESIDUAL	FLOW	DATE
50001.00	3062 ERNEST LN (WELL FIELD)	102psi	74psi	2050gpm	6/22/18
50002.00	ERNEST LN	82psi	68psi	2000gpm	8/16/17
- THIS RECORD PLAN CONFORMS WITH THE PLAN RECEIVING FINAL APPROVAL BY THE FERGUSON TOWNSHIP BOARD OF SUPERVISORS ON ALL IMPROVEMENTS ARE OR WILL BE INSTALLED IN ACCORDANCE WITH SUCH PLAN IN A MANNER AND TIME SO SPECIFIED THEREIN.
- FINAL LAND DEVELOPMENT PLANS (AS-BUILTS) SHALL BE PROVIDED TO FERGUSON TOWNSHIP PRIOR TO OCCUPANCY OR RELEASE OF ANY SURETY.

NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS
		REVISIONS

COVER SHEET

STATE COLLEGE BOROUGH WATER AUTHORITY

NIXON-KOCHER WATER TREATMENT FACILITY

FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

DATE: 8/30/19 JOB: 16049 SCALE: AS SHOWN SHEET NO: CS-1

FILE: 16049_LD_CST DRAWN BY: RLN CHECKED BY: _____

SEAL _____

COMMONWEALTH OF PENNSYLVANIA ACT NO. 287

THE CONTRACTOR SHALL COMPLY WITH ALL THE APPLICABLE REQUIREMENTS OF ACT NO. 287 OF THE GENERAL ASSEMBLY OF THE COMMONWEALTH OF PENNSYLVANIA, AS AMENDED BY ACT NO. 187 OF 1996, AS AMENDED BY ACT NO. 181 OF 2006, EFFECTIVE MARCH 23, 2007, AND AS AMENDED BY ACT 121 OF 2008, EFFECTIVE OCTOBER 9, 2008. THE FOLLOWING IS A LIST OF MEMBERS LOCATED WITHIN THE PROJECT AREA:

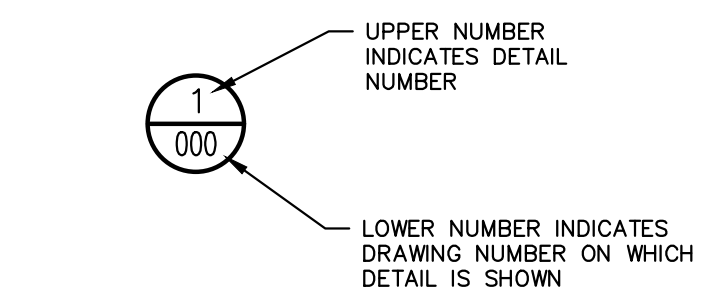
<p>WATER/ WASTEWATER:</p> <p>UNIVERSITY AREA JOINT AUTHORITY 1576 SPRING VALLEY ROAD STATE COLLEGE, PA. 16801 CONTACT: MARK HARTER EMAIL: mharter@uajpa.com (814) 238-8370</p> <p>PENN STATE UNIVERSITY WASTEWATER TREATMENT PLANT 501 UNIVERSITY DRIVE STATE COLLEGE, PA. 16801 CONTACT: JEFF McDONALD EMAIL: jsm86@psu.edu</p> <p>STATE COLLEGE BOROUGH WATER AUTHORITY 1201 WEST BRANCH ROAD STATE COLLEGE, PA. 16801 CONTACT: STEVE ALBRIGHT EMAIL: steve@scbwa.org (814) 238-0885</p>	<p>ELECTRIC:</p> <p>WEST PENN POWER 800 CABIN HILL DRIVE GREENSBURG, PA. 15601 CONTACT: ROBERT PAINTER EMAIL: rpainte@firstenergycorp.com</p> <p>ROADS/ STORM:</p> <p>FERGUSON TOWNSHIP CENTRE COUNTY 3147 RESEARCH DRIVE STATE COLLEGE, PA. 16801 CONTACT: CHRIS LEDY EMAIL: cledy@tp.ferguson.pa.us</p>
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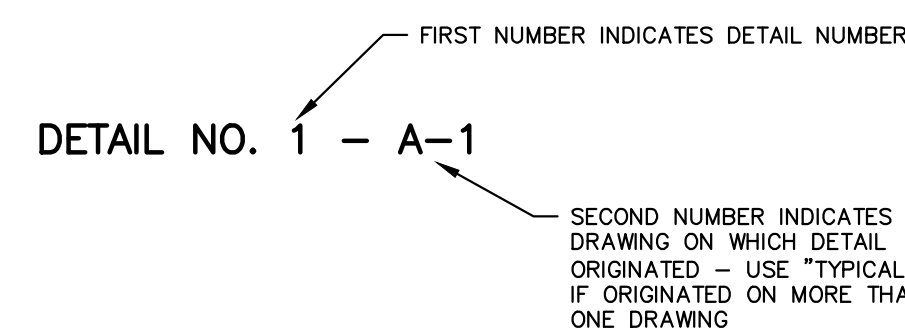
PA ONE-CALL (800) 242-1776
PA ONE-CALL SERIAL NUMBER:
201917630841

GENERAL NOTES:

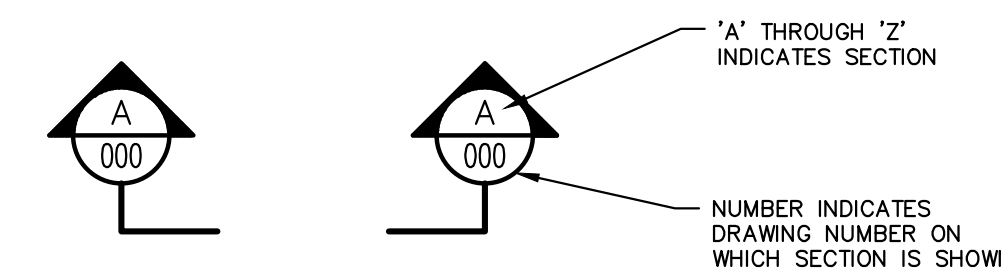
- THE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND WATERLINES, SANITARY SEWERS, GAS LINES, SERVICE LINES, ELECTRIC AND TELEPHONE, AND OTHER UTILITIES. THE HORIZONTAL AND VERTICAL ALIGNMENTS ARE SHOWN ON THE DRAWINGS FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS ADVISED THAT PRIOR TO ANY EXCAVATION HE SHALL PERFORM EXPLORATORY EXCAVATIONS AT SAID LOCATIONS TO DETERMINE IF CONFLICTS OCCUR WITH EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE OWNER OF SAID CONFLICTS. THE CONTRACTOR SHALL ADJUST THE LOCATION OF THE PROPOSED PIPING AND STRUCTURES AS COORDINATED AND APPROVED BY THE OWNER. THE CONTRACTOR SHALL UNDERSTAND THAT NO SEPARATE PAYMENT SHALL BE MADE FOR THE REQUIRED EXPLORATORY EXCAVATIONS OR SUBSEQUENT ADJUSTMENTS REQUIRED. THE CONTRACTOR SHALL DETERMINE THE EXTENT OF EXPLORATORY EXCAVATIONS AND INCLUDE THE COSTS TO PERFORM SAID EXCAVATIONS AND ADJUSTMENTS IN THOSE ITEMS FOR WHICH PAYMENT SHALL BE MADE IN THE BID FORM. IN ADDITION, THE CONTRACTOR SHALL REPAIR ALL UTILITIES DAMAGED DURING THE COURSE OF CONSTRUCTION TO THE SATISFACTION OF THE OWNER. THE CONTRACTOR SHALL INSURE THE MAINTENANCE OF ALL UTILITY SERVICES AND LIMIT SHUTDOWNS, IF REQUIRED, TO A MINIMUM. NO SEPARATE PAYMENTS SHALL BE MADE FOR SAID UTILITY REPAIRS AND SERVICE MAINTENANCE. THE CONTRACTOR SHALL INCLUDE THESE COSTS IN THOSE ITEMS FOR WHICH PAYMENT SHALL BE MADE IN THE BID FORM.
- CONTRACTOR SHALL IMPLEMENT ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP'S) IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS, TO AN EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR WILL, AT ALL TIMES THROUGHOUT THE WORK, COOPERATE FULLY WITH THE OWNER IN PERMITTING ALL NECESSARY OPERATIONS OF THE OWNER TO PROCEED UNIMPEDED BY THE CONTRACTOR'S OPERATIONS.
- DUE TO THE CHARACTER OF CERTAIN PORTIONS OF THE WORK, THE CONTRACTOR WILL REQUIRE THAT LIMITED LOCALIZED SYSTEM SERVICE OUTAGES BE PERMITTED BY OR THAT OPERATION CHANGES/ADJUSTMENTS BE MADE BY THE OWNER TO ENABLE THE CONTRACTOR TO PROCEED WITH ITS WORK. SUCH OUTAGES, CHANGES AND/OR ADJUSTMENTS MAY BE REQUIRED FOR WORK ELEMENTS ASSOCIATED WITH THE INSTALLATION OF PIPING SYSTEMS AND INTERCONNECTIONS WITH EXISTING PIPING SYSTEMS; AND SIMILAR WORK. THE CONTRACTOR WILL CAREFULLY PLAN ITS WORK AND NOTIFY THE OWNER AT LEAST TEN (10) WORKING DAYS IN ADVANCE OF ANY WORK ELEMENTS WHICH MAY REQUIRE SUCH OUTAGES, CHANGES, AND/OR ADJUSTMENTS. THE OWNER WILL ENDEAVOR TO ACCOMMODATE THE CONTRACTOR'S PLANNED SCHEDULING IN THIS REGARD; HOWEVER, IN CERTAIN INSTANCES, THE ONGOING RESPONSIBILITIES OF THE OWNER AND/OR PREVAILING OPERATIONS MAY REQUIRE THAT THE CONTRACTOR'S PLANNED SCHEDULE BE ALTERED ACCORDINGLY. THE CONTRACTOR MUST BE PREPARED TO ADJUST ITS SCHEDULE TO SUIT THE NEEDS OF THE OWNER AND TO PERFORM CERTAIN CRITICAL WORK ELEMENTS IN THE EVENINGS, OVER WEEKENDS, OR ON AN AROUND-THE-CLOCK BASIS, SHOULD THE OWNER DETERMINE THAT SUCH PROCEDURES AND WORK SCHEDULES ARE NECESSARY AND APPROPRIATE. THE CONTRACTOR WILL NOT BE ENTITLED TO ANY ADDITIONAL COMPENSATION ON ACCOUNT OF SUCH ALTERATIONS TO ITS WORK SCHEDULE AND/OR HOURS OF WORK SHOULD SUCH BE DEEMED NECESSARY BY THE OWNER. THE DECISION OF THE OWNER IN THIS REGARD WILL BE FINAL.
- SERVICE OUTAGES WILL BE KEPT TO THE MINIMUM EXTENT PRACTICABLE. THE CONTRACTOR WILL MAINTAIN A RECORD OF THE DATE, TIME, AND DURATION OF ALL OUTAGES THROUGHOUT THE PERFORMANCE OF THE WORK AND WILL SUBMIT THIS RECORD MONTHLY TO THE ENGINEER ALONG WITH ITS PERIODIC ESTIMATES FOR PAYMENT. IN NO EVENT WILL ANY SERVICE BE PERMITTED TO BE CURTAILED DURING NONWORKING HOURS, OVERNIGHT, OR OVER WEEKENDS OR HOLIDAYS, UNLESS SPECIFICALLY APPROVED AND PLANNED IN ADVANCE BY THE ENGINEER AND OWNER. ALL PIPING MATERIALS AND PLANT NECESSARY TO INSTALL THE WORK NECESSITATING THE OUTAGE MUST BE ON SITE AND READY FOR INSTALLATION BEFORE NOTIFYING THE OWNER OF THE ANTICIPATED SHUTDOWN.
- THE CONTRACTOR WILL PLAN, COORDINATE, AND SEQUENCE ITS WORK IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH HEREIN AND TO MEET THE NEEDS OF THE OWNER. THE OWNER RESERVES THE RIGHT TO COORDINATE THE SEQUENCING OF WORK ELEMENTS IN WHOLE OR IN PART AS THE JOB CONDITIONS MAY REQUIRE SAME, TO PROPERLY INTERFACE THE WORK OF THE PROJECT WITH PLANT OPERATIONS.
- THE NATURE, LOCATION, CAPACITY, AND TYPE OF FACILITIES INTENDED FOR MAINTAINING CONTINUITY OF OWNER OPERATIONS WILL AT ALL TIMES BE SUBJECT TO THE APPROVAL OF THE OWNER AND ENGINEER.
- THE CONTRACTOR MUST AT ALL TIMES COORDINATE ITS WORK SCHEDULE AND SEQUENCING, THROUGH THE OWNER AND ENGINEER, TO AVOID INTERFERENCE WITH NECESSARY OPERATIONS. IT IS ANTICIPATED THAT MAJOR ALTERATIONS OR ADJUSTMENTS TO THE SEQUENCING AND SCHEDULING OF THE WORK WILL BE PLANNED IN ADVANCE AT THE REGULARLY SCHEDULED PROJECT MEETINGS DURING WHICH REPRESENTATIVES OF THE OWNER AND THE CONTRACTOR WILL COORDINATE THE WORK ELEMENTS IN SUCH A WAY AS WILL BEST MEET THE NEEDS OF THE OWNER.
- THE CONTRACTOR MUST COORDINATE ALL CONSTRUCTION ACTIVITIES AND PROVIDE MONTHLY WRITTEN SCHEDULES WITH WATER OPERATING PERSONNEL AND THE ENGINEER TO INSURE MINIMAL IMPACT ON THE OPERATION OF THE WATER SYSTEM. THIS WOULD INCLUDE DIVERSION OF WATER, WATER MANAGEMENT OF ANY KIND, LOGISTICAL FUNCTIONS, DELIVERIES, CONSTRUCTION ACTIVITIES IN CLOSE PROXIMITY TO THE SYSTEM, CLEAN-UP, SCHEDULING, STORAGE OF MATERIALS AND EQUIPMENT, OFFICE TRAILERS, STAGING FUNCTIONS, ANY OTHER ACTIVITIES THAT MAY IMPACT THE OWNER'S FACILITIES. FAILURE OF THE CONTRACTOR TO COMPLY WITH THE PROVISIONS OF THIS SPECIFICATION MAY BE CAUSE FOR THE OWNER/ENGINEER TO ORDER AN IMMEDIATE STOPPAGE OF THE WORK UNTIL THE SITUATION IS RECTIFIED TO THE SATISFACTION OF THE OWNER/ENGINEER.
- IN THE ADMINISTRATION OF THIS CONTRACT, THE OWNER INTENDS TO EXERCISE DISCRETION IN A REASONABLE AND EQUITABLE MANNER TO PROTECT ITS INTERESTS AND TO PROMOTE TIMELY AND PROPER COMPLETION OF THE WORK OF THIS CONTRACT. SHOULD ANY DISPUTES ARISE WITH RESPECT TO THE COORDINATION OF THE WORK OF THIS CONTRACT AND THAT OF THE OWNER'S OPERATIONS, WHICH REQUIRE SETTLEMENT, THE DECISION OF THE ENGINEER WILL BE FINAL.
- ALL OUTAGES MUST BE COORDINATED/SCHEDULED WITH OWNER AND THE OUTAGES SHALL BE A MAXIMUM OF 24 HOURS.
- ALL EXCESS SPILL MATERIAL SHALL BE TRANSPORTED AND DISPOSED OF AT A LOCATION WITH AN APPROVED EROSION AND SEDIMENT CONTROL PLAN AND/OR NPDES PERMIT. REMOVAL AND PROPER DISPOSAL/RECYCLING OF ANY EXCESS EARTH AND ANY CONSTRUCTION WASTE, EXCESS CONSTRUCTION MATERIAL OR ANY OTHER WASTE GENERATED BY CONSTRUCTION ACTIVITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. SEE EROSION AND SEDIMENT CONTROL NOTES.
- HORIZONTAL INFORMATION IS REFERENCED TO THE PENNSYLVANIA STATE PLANE NORTH ZONE (NAD 83), VERTICAL INFORMATION IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).



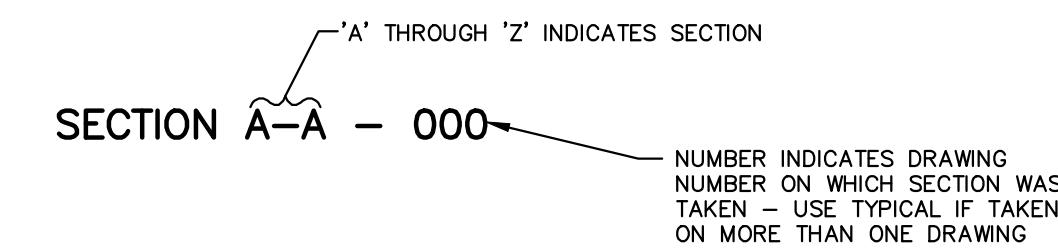
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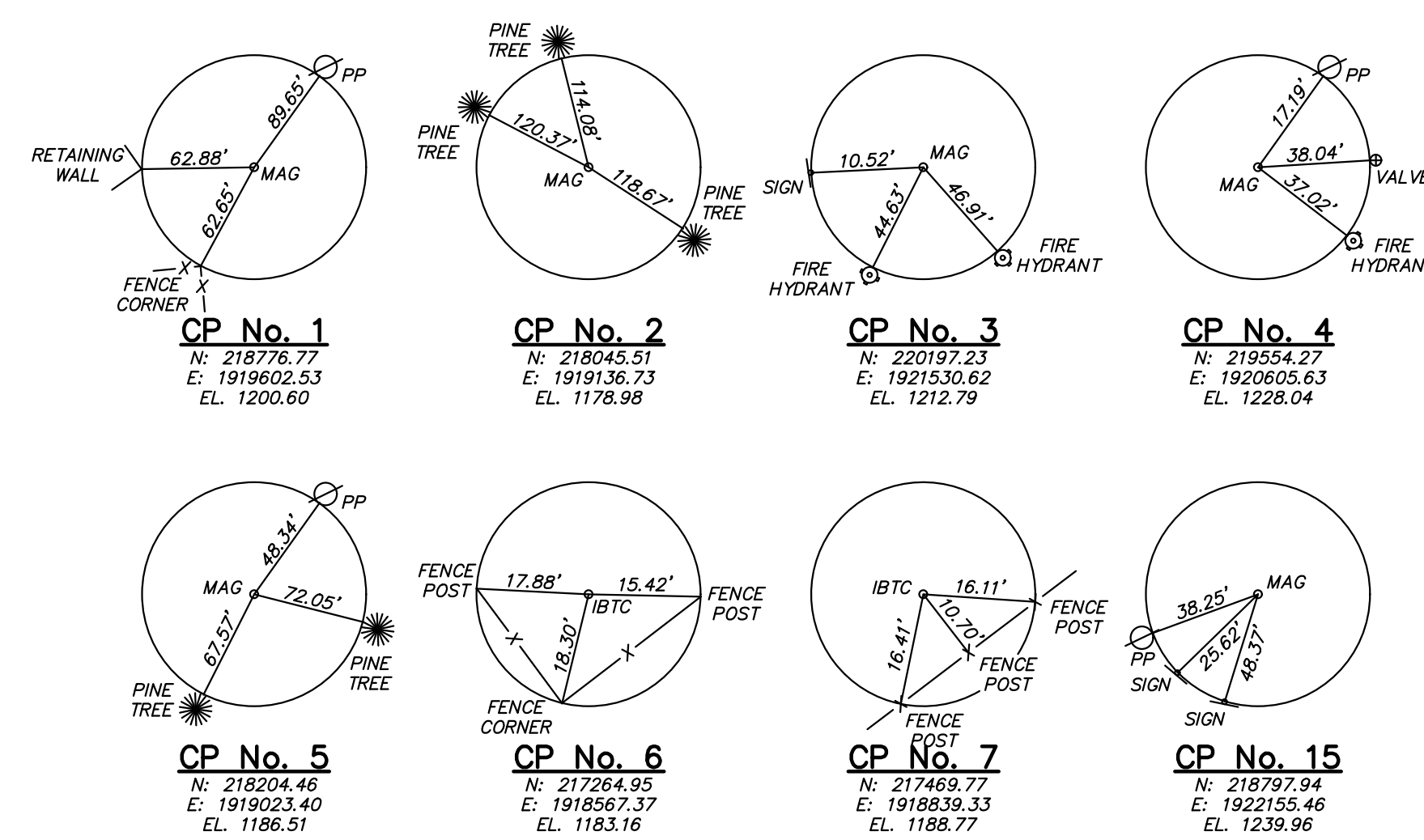
DETAIL IDENTIFICATION



SECTION LOCATION



SECTION IDENTIFICATION



CONTROL POINTS:

BENCHMARKS:

BM-A - CROSS CUT ON CORNER OF CONCRETE HEADWALL LOCATED WEST OF WELL BUILDING, EL. 1176.19.
BM-B - CROSS CUT ON CORNER OF CONCRETE PAD LOCATED EAST OF WELL BUILDING NO. 43, EL. 1179.39.
USGS CONCRETE MONUMENT - LOCATED AT INTERSECTION OF PROPOSED TEMPORARY CONSTRUCTION ACCESS AND SOUTH NIXON ROAD, EL. 1236.31.

INDEX OF DRAWINGS

CS-1	COVER SHEET
CS-2	DRAWING INDEX, REFERENCES, BENCHMARKS, ONE CALL AND NOTES
1	OVERALL EXISTING SITE PLAN
2	OVERALL PROPOSED SITE PLAN
3	PROPOSED SITE LAYOUT PLAN
4	PROPOSED SITE GRADING, STORMWATER AND UTILITY PLAN *
5	PROPOSED LANDSCAPING PLAN
6	PROPOSED SITE CROSS SECTIONS
7	PROPOSED SITE CROSS SECTIONS
8	PROPOSED PRIVATE ACCESS ROAD PROFILE
9	PROPOSED PIPING PROFILES - BASELINE 12 THRU 14 *
10	PROPOSED PIPING PROFILES - BASELINE 17 *
11	PROPOSED SITE LIGHTING PLAN
12	FIRST FLOOR PLAN
13	SITE DETAILS
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16	SITE DETAILS *
17	SITE DETAILS *
18	EROSION AND SEDIMENT CONTROL (ESC) PLAN
19	EROSION AND SEDIMENT CONTROL (ESC) DETAILS
20	EROSION AND SEDIMENT CONTROL (ESC) DETAILS
21	EROSION AND SEDIMENT CONTROL (ESC) NOTES
22	SEDIMENT/STORMWATER MANAGEMENT BASIN DETAILS *
23	PROPOSED LANDSCAPING DETAILS AND NOTES
24	STORMWATER MANAGEMENT NOTES *

* - DENOTES DRAWINGS TO BE RECORDED WITH PCSM INSTRUMENT OF DECLARATION

ABBREVIATIONS:

CIP - CAST IRON PIPE
CMP - CORRUGATED METAL PIPE
D.I. - DUCTILE IRON PIPE
DIP - DUCTILE IRON PIPE
EL - ELEVATION
F.F. - FINISHED FLOOR
HDP - HIGH DENSITY POLYETHYLENE PIPE
H.P. - HIGH POINT
LF - LINEAR FEET
L.P. - LOW POINT
PVC - POLYVINYL CHLORIDE PIPE
RCP - REINFORCED CONCRETE PIPE
T.O.W. - TOP OF WALL
VCP - VITRIFIED CLAY PIPE

NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS

STATE COLLEGE BOROUGH WATER AUTHORITY NIXON-KOCHER WATER TREATMENT FACILITY FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA		
DATE: 8/30/19	JOB: 16049	SCALE: AS SHOWN
FILE: 16049_LD_CS2	DRAWN BY: RLN	CHECKED BY: WAA
SHEET NO.:		CS-2

NOTES:
 1. AMBIENT SOUND LEVELS INDICATED ON THIS PLAN WERE OBTAINED USING FONESO DIGITAL SOUND LEVEL METER (SERIAL NO. FE2173618).
 2. THE AMBIENT SOUND LEVEL STUDY WAS PERFORMED ON AUGUST 28, 2019 AT APPROXIMATELY 12:30 PM DURING A MODERATE RAINFALL EVENT. AMBIENT SOUND LEVELS MAY BE HIGHER THAN UNDER NORMAL CONDITIONS DUE TO THE WEATHER ENCOUNTERED DURING THE STUDY.

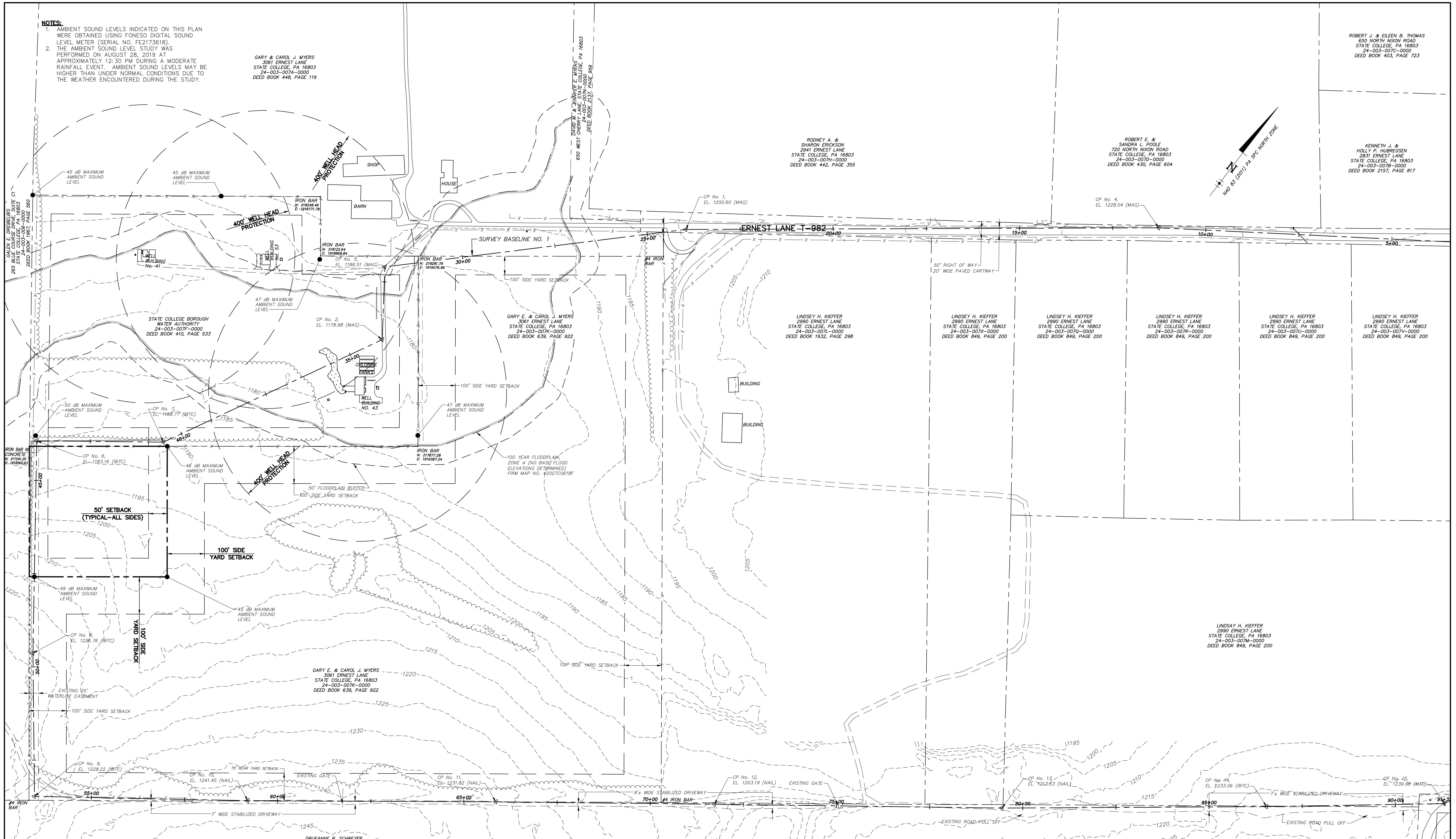
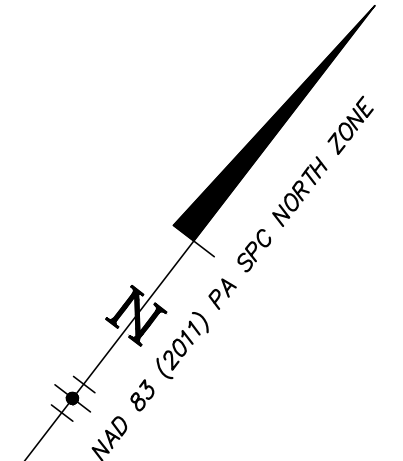
GARY & CAROL J. MYERS
 3061 ERNEST LANE
 STATE COLLEGE, PA 16803
 24-003-007A-0000
 DEED BOOK 448, PAGE 119

ROBERT J. & EILEEN B. THOMAS
 650 NORTH NIXON ROAD
 STATE COLLEGE, PA 16803
 24-003-007C-0000
 DEED BOOK 403, PAGE 723

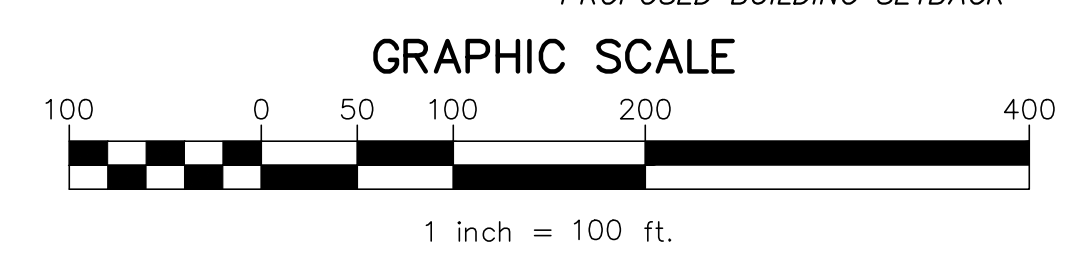
KENNETH J. & HOLLY P. HUBBESSEN
 2831 ERNEST LANE
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 24-003-007B-0000
 DEED BOOK 317, PAGE 817

ROONEY A. & SHARON ERICKSON
 2941 ERNEST LANE
 STATE COLLEGE, PA 16803
 24-003-007H-0000
 DEED BOOK 442, PAGE 355

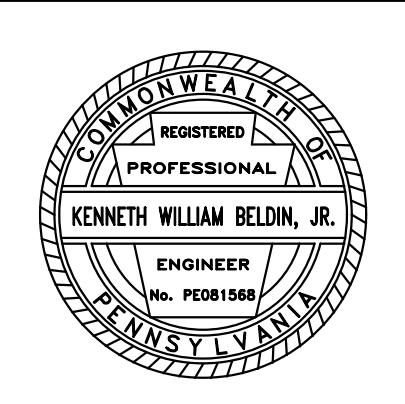
ROBERT E. & SANDRA L. POOLE
 720 NORTH NIXON ROAD
 STATE COLLEGE, PA 16803
 24-003-007I-0000
 DEED BOOK 430, PAGE 604



- LEGEND**
- RIGHT-OF-WAY LINE
 - PROPERTY LINE
 - BITUMINOUS PAVEMENT
 - STABILIZED AREA
 - TREELINE
 - STREAM/DITCH LINE
 - x-x- FENCE LINE
 - - - - - MAJOR CONTOUR (5')
 - PROPOSED BUILDING SETBACK



NO.	DATE	DESCRIPTION
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1	8/12/19	REVISED PER TOWNSHIP COMMENTS
		DESCRIPTION
		REVISIONS

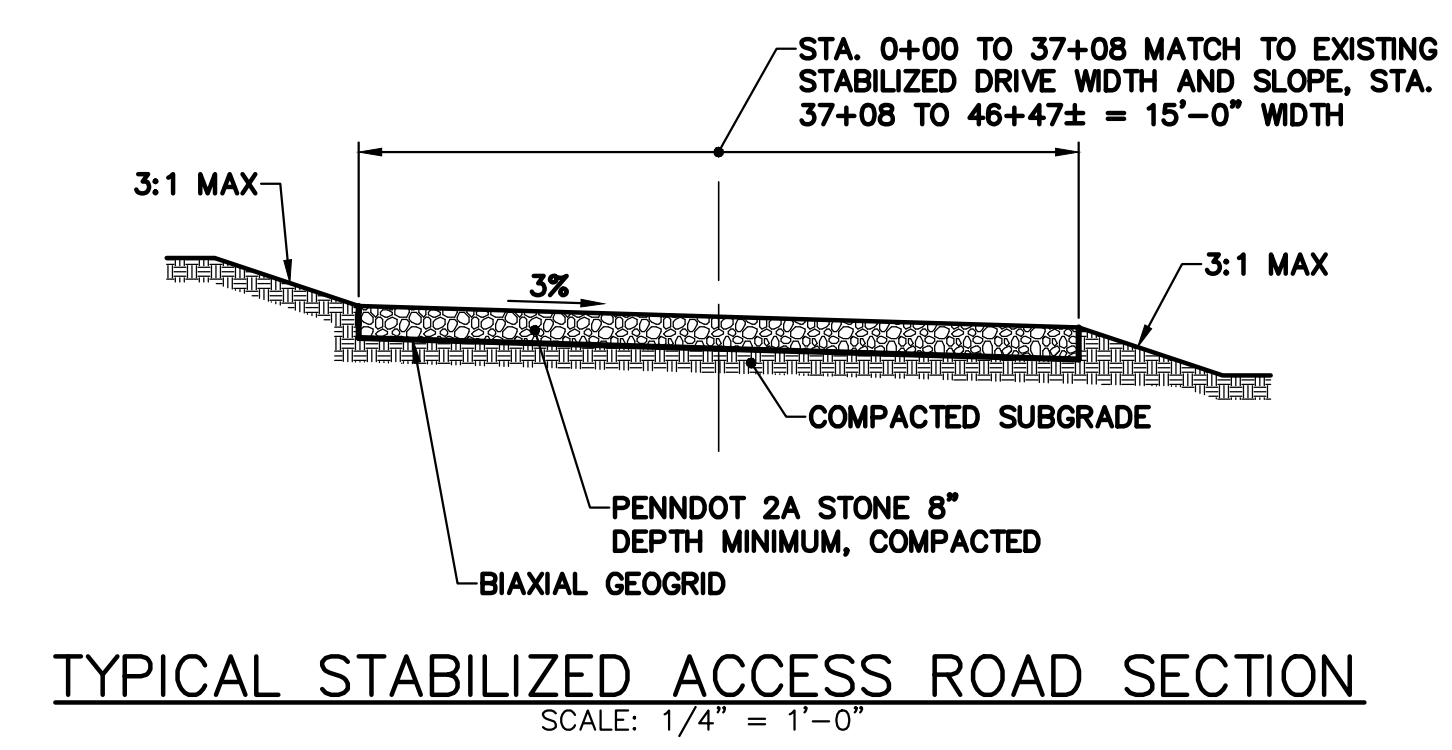
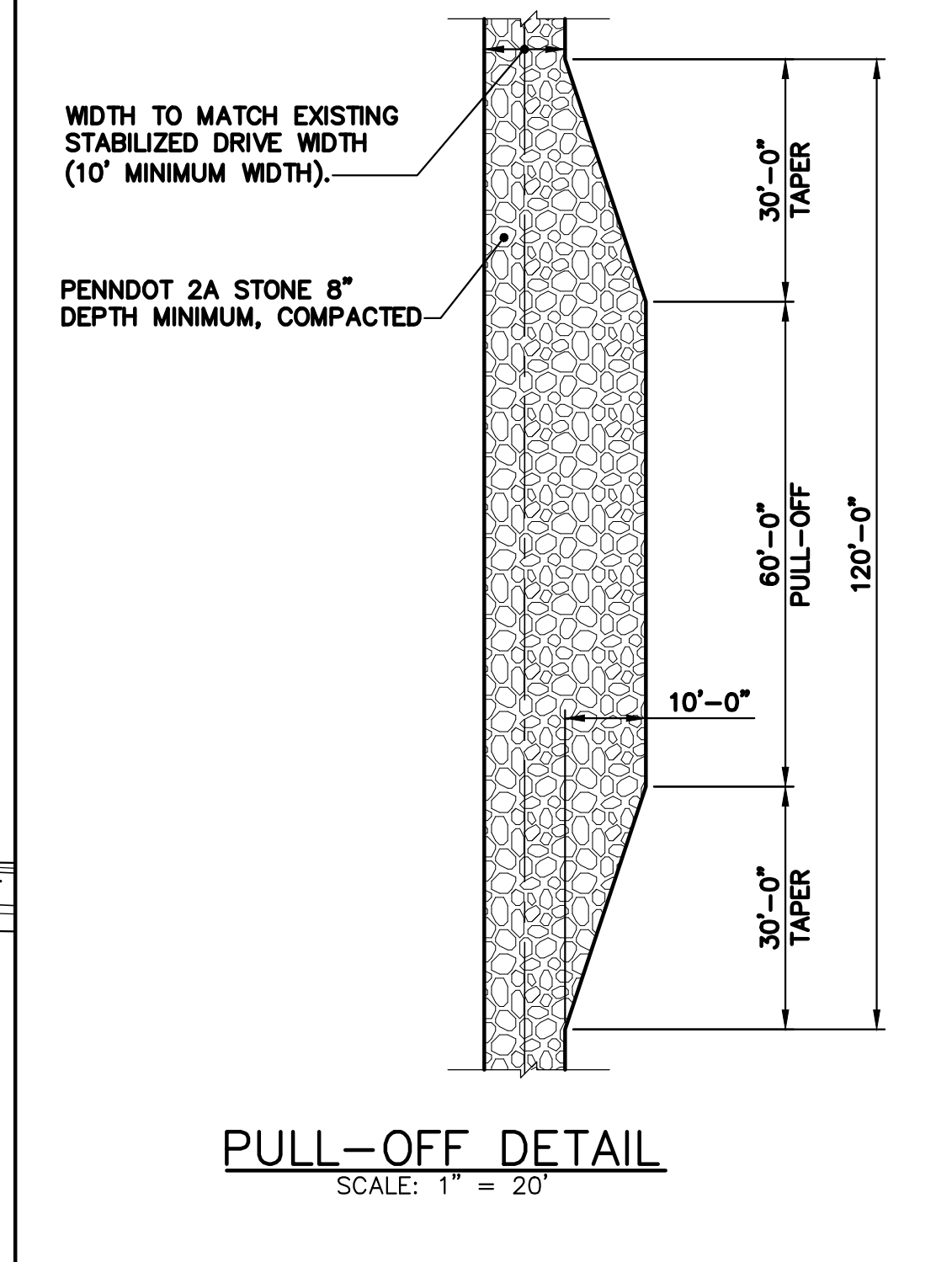
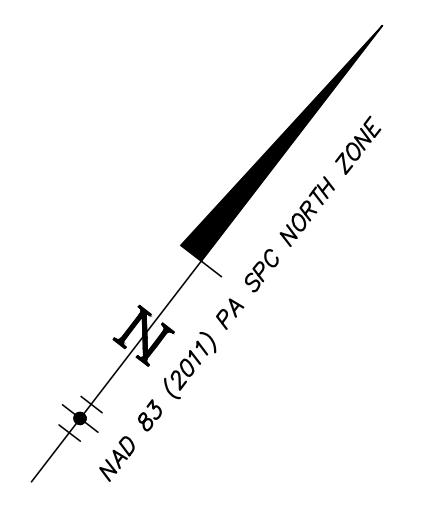
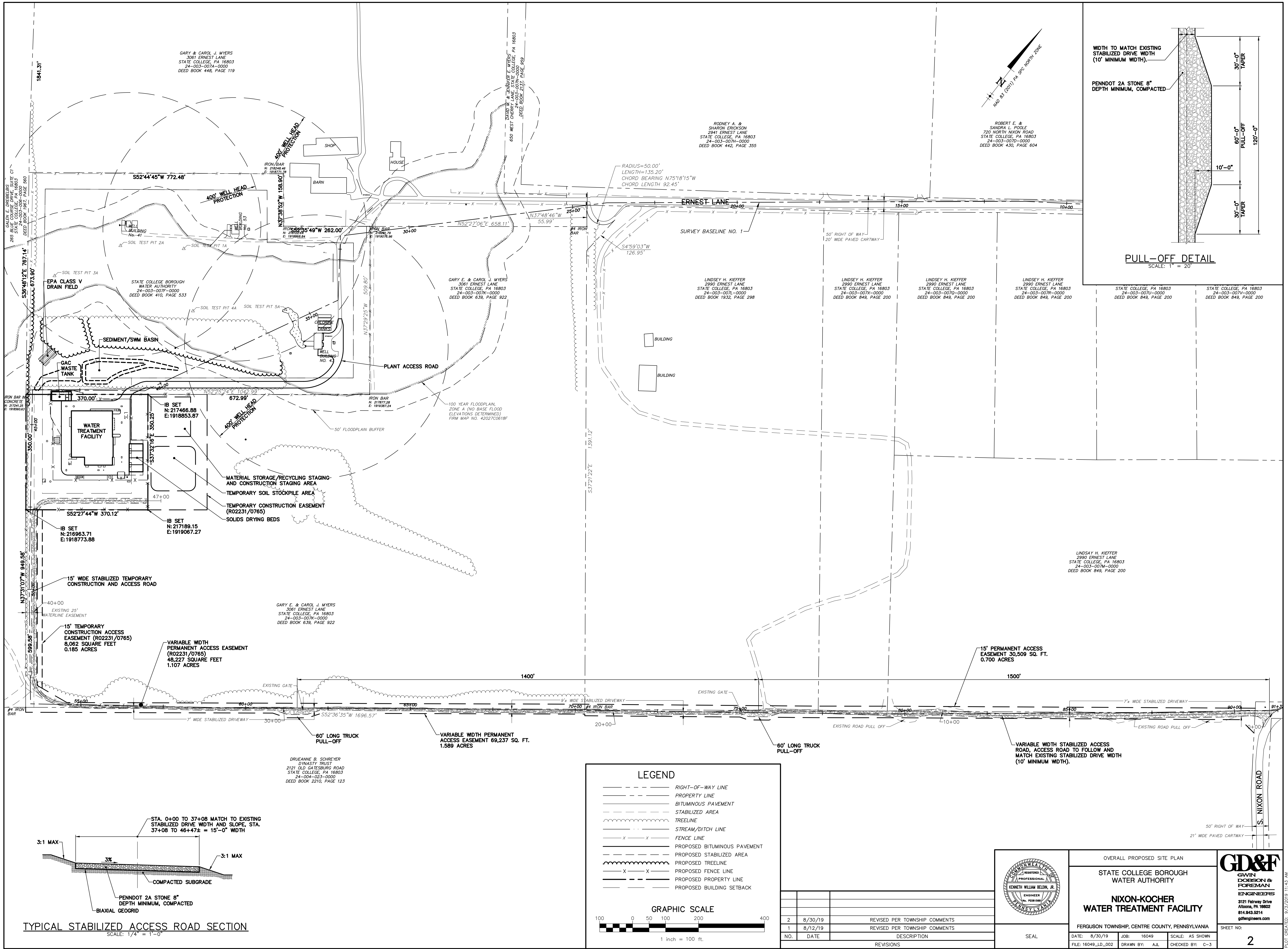


OVERALL EXISTING SITE PLAN
 STATE COLLEGE BOROUGH
 WATER AUTHORITY
**NIXON-KOCHER
 WATER TREATMENT FACILITY**



FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA
 DATE: 8/30/19 JOB: 16049 SCALE: AS SHOWN
 FILE: 16049_LD_001 DRAWN BY: AJL CHECKED BY: WAA

SHEET NO:
1



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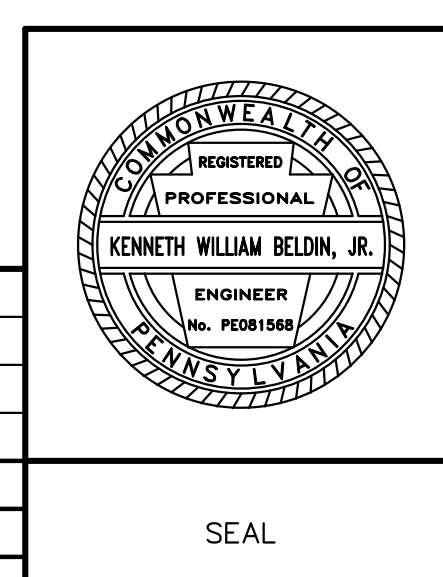
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- PROPERTY LINE
- BITUMINOUS PAVEMENT
- STABILIZED AREA
- TREELINE
- STREAM/DITCH LINE
- FENCE LINE
- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED STABILIZED AREA
- PROPOSED TREELINE
- PROPOSED FENCE LINE
- PROPOSED PROPERTY LINE
- PROPOSED BUILDING SETBACK

GRAPHIC SCALE

100 0 50 100 200 400

1 inch = 100 ft.

NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS
		REVISIONS



OVERALL PROPOSED SITE PLAN
STATE COLLEGE BOROUGH WATER AUTHORITY
NIXON-KOCHER WATER TREATMENT FACILITY
 FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA
 DATE: 8/30/19 JOB: 16049 SCALE: AS SHOWN
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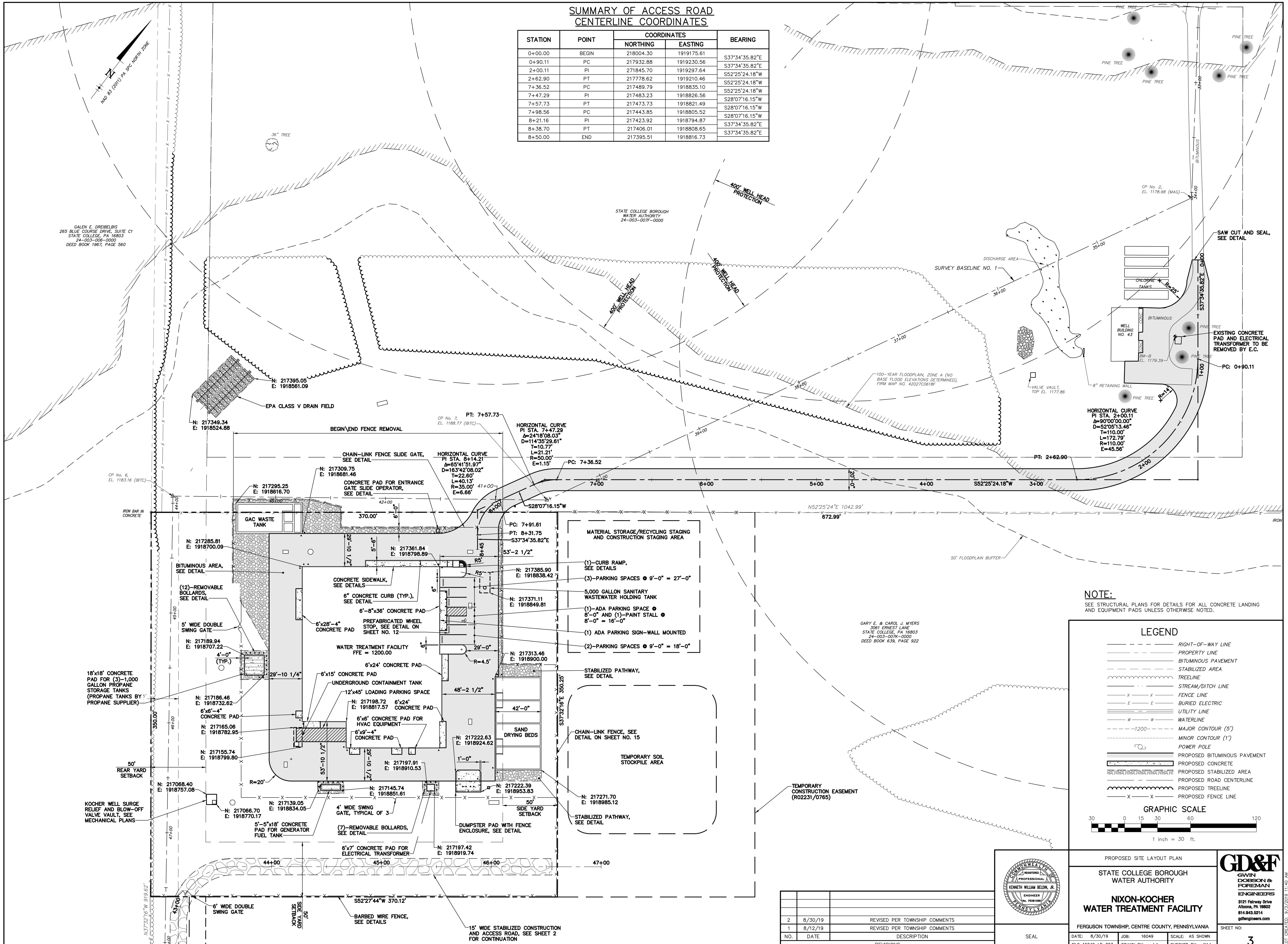
GD&F
 GWIN DOBSON & FOREMAN ENGINEERS
 3121 Fairway Drive
 Altoona, PA 16602
 814.943.8214
 gdfengineers.com

SHEET NO: **2**

9/27/2019 11:43 AM
 G:\16049\LAND DEVELOPMENT\16049_LD_002

**SUMMARY OF ACCESS ROAD
CENTERLINE COORDINATES**

STATION	POINT	COORDINATES		BEARING
		NORTHING	EASTING	
0+00.00	BEGIN	218004.30	1919175.61	
0+90.11	PC	217932.88	1919230.56	S37°34'35.82"E
2+00.11	PI	217845.70	1919297.64	S37°34'35.82"E
2+62.90	PT	217778.62	1919210.46	S52°25'24.18"W
7+36.52	PC	217489.79	1918835.10	S52°25'24.18"W
7+47.29	PI	217483.23	1918826.56	S28°07'16.15"W
7+57.73	PT	217473.73	1918821.49	S28°07'16.15"W
7+98.56	PC	217443.85	1918805.52	S28°07'16.15"W
8+21.16	PI	217423.92	1918794.87	S37°34'35.82"E
8+38.70	PT	217406.01	1918808.65	S37°34'35.82"E
8+50.00	END	217395.51	1918816.73	S37°34'35.82"E



GALEN E. DREIBELIS
265 BLUE COURSE DRIVE, SUITE C1
STATE COLLEGE, PA 16803
24-003-007-0000
DEED BOOK 1967, PAGE 560

STATE COLLEGE BOROUGH
WATER AUTHORITY
24-003-007-0000

100-YEAR FLOODPLAIN, ZONE A (NO
BASE FLOOD ELEVATIONS DETERMINED).
FIRM MAP NO. 420270081B

GARY E. & CAROL J. MYERS
3061 ERNEST LANE
STATE COLLEGE, PA 16803
24-003-007-0000
DEED BOOK 636, PAGE 922

NOTE:
SEE STRUCTURAL PLANS FOR DETAILS FOR ALL CONCRETE LANDING
AND EQUIPMENT PADS UNLESS OTHERWISE NOTED.

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- BITUMINOUS PAVEMENT
- STABILIZED AREA
- TREELINE
- STREAM/DITCH LINE
- FENCE LINE
- BURIED ELECTRIC
- UTILITY LINE
- WATERLINE
- MAJOR CONTOUR (5')
- MINOR CONTOUR (1')
- POWER POLE
- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED CONCRETE
- PROPOSED STABILIZED AREA
- PROPOSED ROAD CENTERLINE
- PROPOSED TREELINE
- PROPOSED FENCE LINE

GRAPHIC SCALE

30 0 15 30 60 120
1 inch = 30 ft.

PROPOSED SITE LAYOUT PLAN
**STATE COLLEGE BOROUGH
WATER AUTHORITY**

**NIXON-KOCHER
WATER TREATMENT FACILITY**

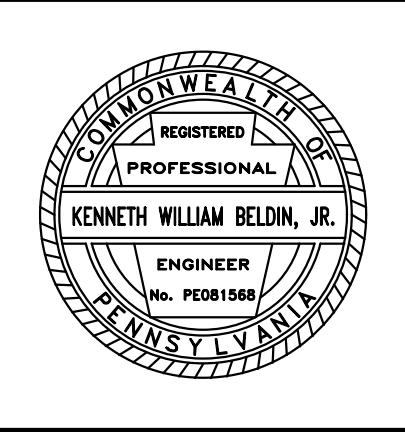
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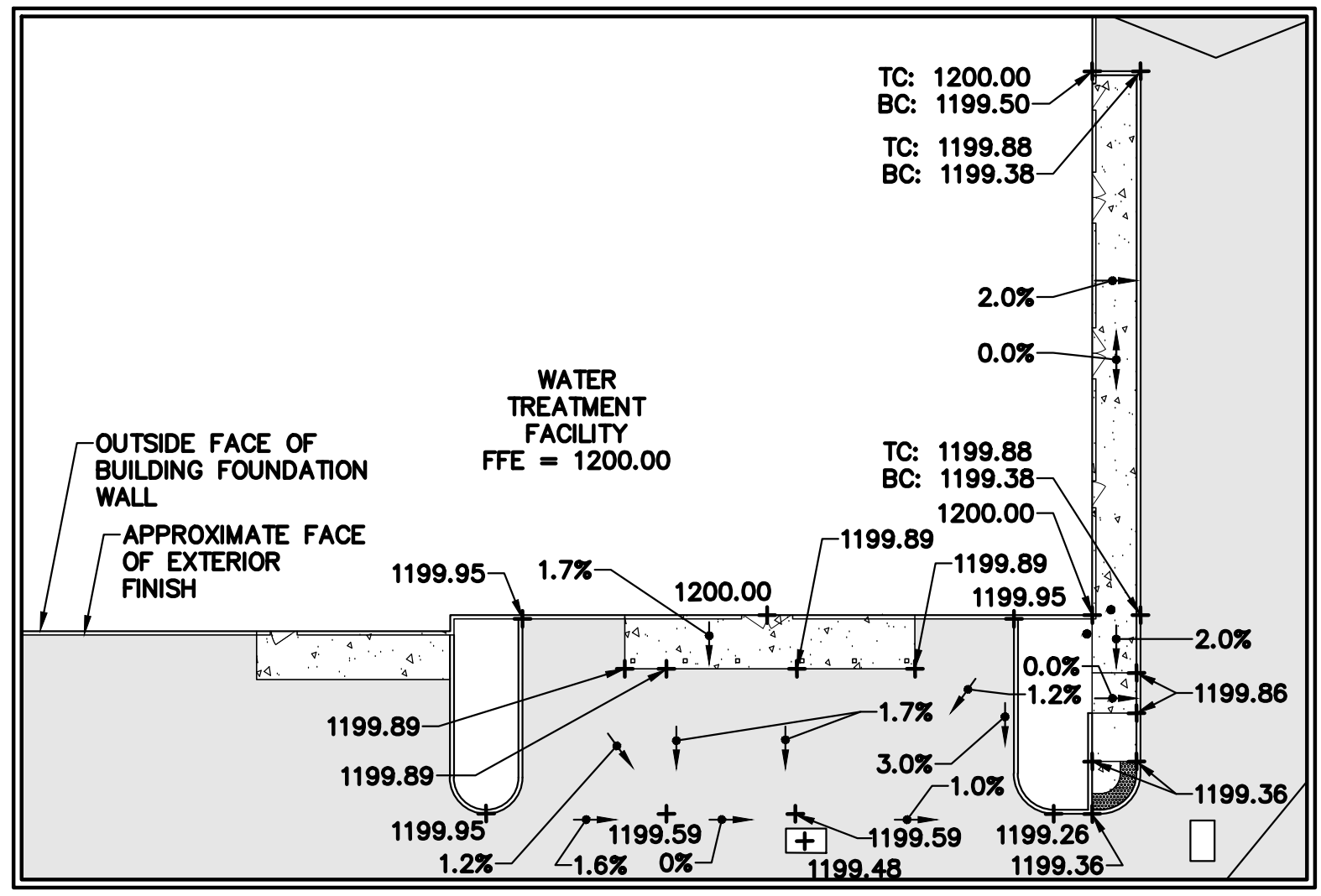
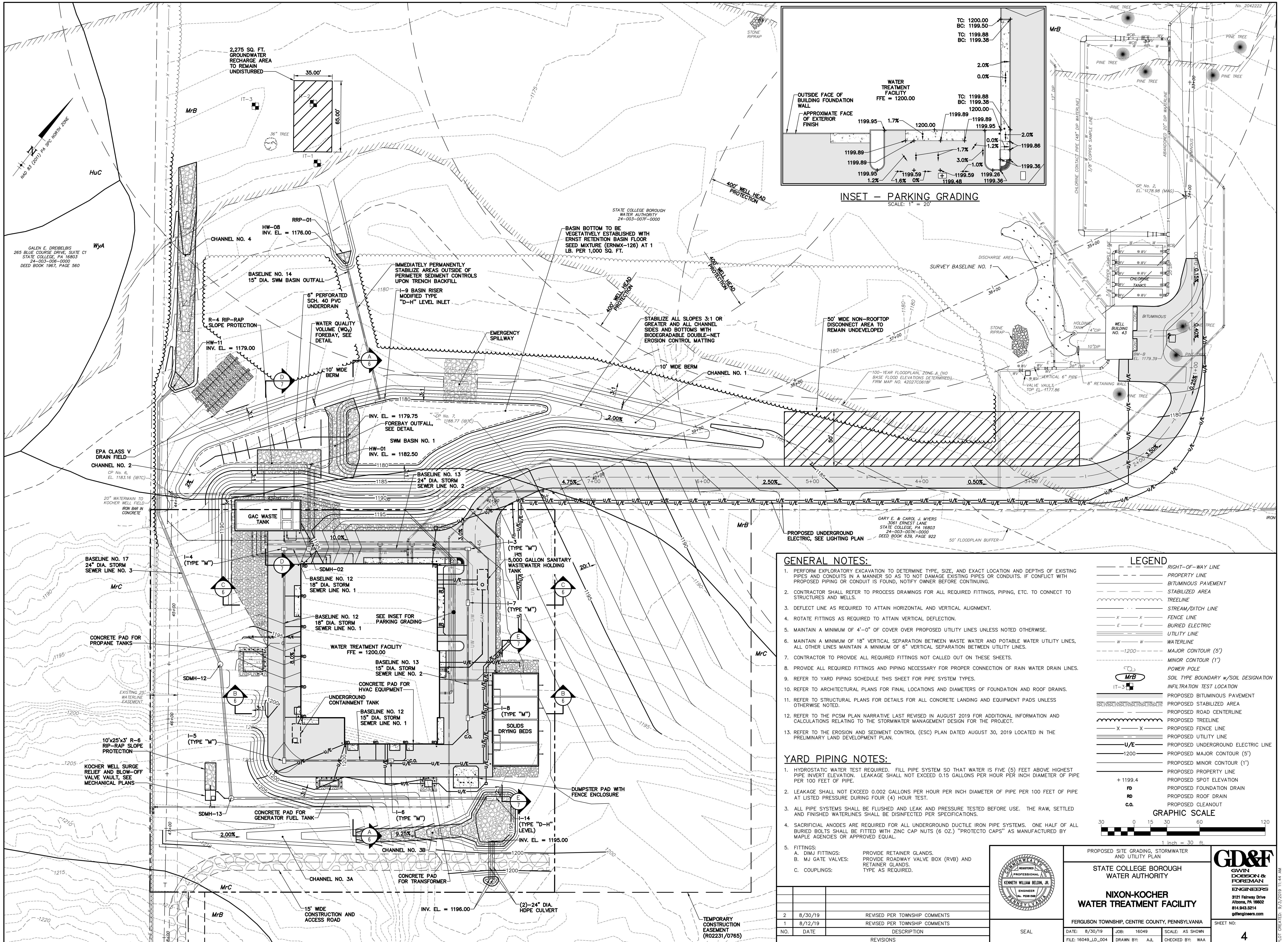
SHEET NO:
3

GD&F
GWIN
DOEBSON &
FOREMAN
ENGINEERS
3121 Fairway Drive
Allison, PA 16802
814.943.8214
gdfengineers.com

NO.	DATE	DESCRIPTION
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		REVISIONS



PLOT CREATED: 9/23/2019 11:40 AM



GENERAL NOTES:

- PERFORM EXPLORATORY EXCAVATION TO DETERMINE TYPE, SIZE, AND EXACT LOCATION AND DEPTHS OF EXISTING PIPES AND CONDUITS IN A MANNER SO AS TO NOT DAMAGE EXISTING PIPES OR CONDUITS. IF CONFLICT WITH PROPOSED PIPING OR CONDUIT IS FOUND, NOTIFY OWNER BEFORE CONTINUING.
- CONTRACTOR SHALL REFER TO PROCESS DRAWINGS FOR ALL REQUIRED FITTINGS, PIPING, ETC. TO CONNECT TO STRUCTURES AND WELLS.
- DEFLECT LINE AS REQUIRED TO ATTAIN HORIZONTAL AND VERTICAL ALIGNMENT.
- ROTATE FITTINGS AS REQUIRED TO ATTAIN VERTICAL DEFLECTION.
- MAINTAIN A MINIMUM OF 4'-0" OF COVER OVER PROPOSED UTILITY LINES UNLESS NOTED OTHERWISE.
- MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN WASTE WATER AND POTABLE WATER UTILITY LINES. ALL OTHER LINES MAINTAIN A MINIMUM OF 6" VERTICAL SEPARATION BETWEEN UTILITY LINES.
- CONTRACTOR TO PROVIDE ALL REQUIRED FITTINGS NOT CALLED OUT ON THESE SHEETS.
- PROVIDE ALL REQUIRED FITTINGS AND PIPING NECESSARY FOR PROPER CONNECTION OF RAIN WATER DRAIN LINES.
- REFER TO YARD PIPING SCHEDULE THIS SHEET FOR PIPE SYSTEM TYPES.
- REFER TO ARCHITECTURAL PLANS FOR FINAL LOCATIONS AND DIAMETERS OF FOUNDATION AND ROOF DRAINS.
- REFER TO STRUCTURAL PLANS FOR DETAILS FOR ALL CONCRETE LANDING AND EQUIPMENT PADS UNLESS OTHERWISE NOTED.
- REFER TO THE PCSM PLAN NARRATIVE LAST REVISED IN AUGUST 2019 FOR ADDITIONAL INFORMATION AND CALCULATIONS RELATING TO THE STORMWATER MANAGEMENT DESIGN FOR THE PROJECT.
- REFER TO THE EROSION AND SEDIMENT CONTROL (ESC) PLAN DATED AUGUST 30, 2019 LOCATED IN THE PRELIMINARY LAND DEVELOPMENT PLAN.

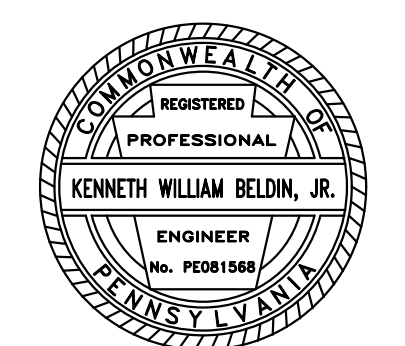
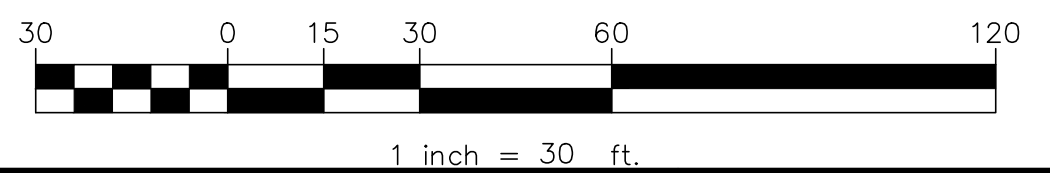
YARD PIPING NOTES:

- HYDROSTATIC WATER TEST REQUIRED. FILL PIPE SYSTEM SO THAT WATER IS FIVE (5) FEET ABOVE HIGHEST PIPE INVERT ELEVATION. LEAKAGE SHALL NOT EXCEED 0.15 GALLONS PER HOUR PER INCH DIAMETER OF PIPE PER 100 FEET OF PIPE.
- LEAKAGE SHALL NOT EXCEED 0.002 GALLONS PER HOUR PER INCH DIAMETER OF PIPE PER 100 FEET OF PIPE AT LISTED PRESSURE DURING FOUR (4) HOUR TEST.
- ALL PIPE SYSTEMS SHALL BE FLUSHED AND LEAK AND PRESSURE TESTED BEFORE USE. THE RAW, SETTLED AND FINISHED WATERLINES SHALL BE DISINFECTED PER SPECIFICATIONS.
- SACRIFICIAL ANODES ARE REQUIRED FOR ALL UNDERGROUND DUCTILE IRON PIPE SYSTEMS. ONE HALF OF ALL BURIED BOLTS SHALL BE FITTED WITH ZINC CAP NUTS (6 OZ.) "PROTECTO CAPS" AS MANUFACTURED BY MAPLE AGENCIES OR APPROVED EQUAL.

NO.	DATE	DESCRIPTION
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1	8/12/19	REVISED PER TOWNSHIP COMMENTS
		DESCRIPTION
		REVISIONS

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- BITUMINOUS PAVEMENT
- STABILIZED AREA
- TREELINE
- STREAM/DITCH LINE
- FENCE LINE
- BURIED ELECTRIC
- UTILITY LINE
- WATERLINE
- MAJOR CONTOUR (5')
- MINOR CONTOUR (1')
- POWER POLE
- SOIL TYPE BOUNDARY w/SOIL DESIGNATION
- INFILTRATION TEST LOCATION
- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED ROAD CENTERLINE
- PROPOSED TREELINE
- PROPOSED FENCE LINE
- PROPOSED UTILITY LINE
- PROPOSED UNDERGROUND ELECTRIC LINE
- PROPOSED MAJOR CONTOUR (5')
- PROPOSED MINOR CONTOUR (1')
- PROPOSED PROPERTY LINE
- PROPOSED SPOT ELEVATION
- PROPOSED FOUNDATION DRAIN
- PROPOSED ROOF DRAIN
- PROPOSED CLEANOUT



PROPOSED SITE GRADING, STORMWATER AND UTILITY PLAN
STATE COLLEGE BOROUGH WATER AUTHORITY

NIXON-KOCHER WATER TREATMENT FACILITY
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA



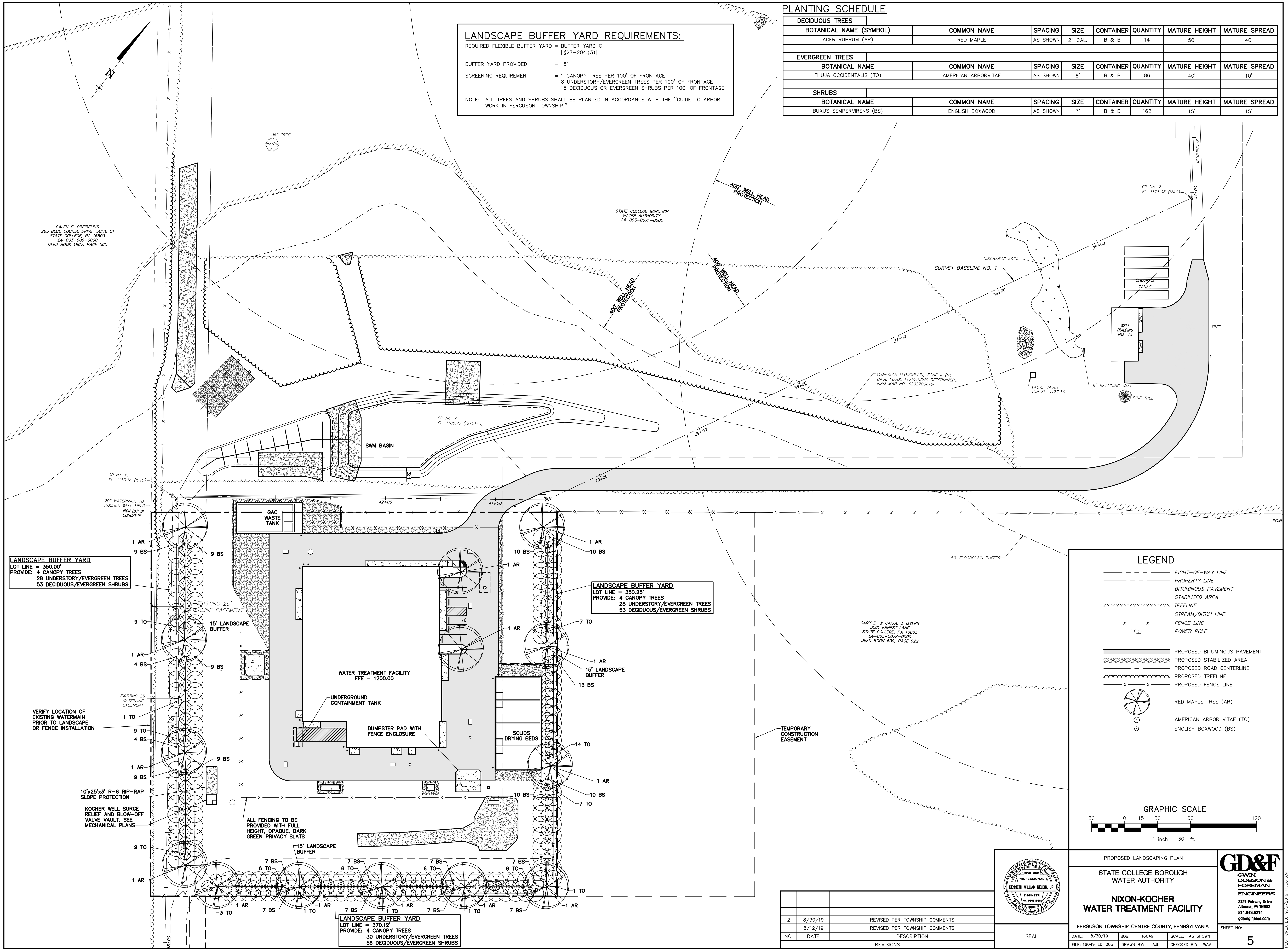
DATE: 8/30/19 JOB: 16049 SCALE: AS SHOWN SHEET NO: **4**
FILE: 16049_LD_004 DRAWN BY: AJL CHECKED BY: WAA

PLOT CREATED: 9/27/2019 11:44 AM

LANDSCAPE BUFFER YARD REQUIREMENTS:
 REQUIRED FLEXIBLE BUFFER YARD = BUFFER YARD C
 (§27-204.(3))
 BUFFER YARD PROVIDED = 15'
 SCREENING REQUIREMENT = 1 CANOPY TREE PER 100' OF FRONTAGE
 8 UNDERSTORY/EVERGREEN TREES PER 100' OF FRONTAGE
 15 DECIDUOUS OR EVERGREEN SHRUBS PER 100' OF FRONTAGE
 NOTE: ALL TREES AND SHRUBS SHALL BE PLANTED IN ACCORDANCE WITH THE "GUIDE TO ARBOR WORK IN FERGUSON TOWNSHIP."

PLANTING SCHEDULE

DECIDUOUS TREES								
BOTANICAL NAME (SYMBOL)	COMMON NAME	SPACING	SIZE	CONTAINER	QUANTITY	MATURE HEIGHT	MATURE SPREAD	
ACER RUBRUM (AR)	RED MAPLE	AS SHOWN	2" CAL.	B & B	14	50'	40'	
EVERGREEN TREES								
BOTANICAL NAME	COMMON NAME	SPACING	SIZE	CONTAINER	QUANTITY	MATURE HEIGHT	MATURE SPREAD	
THUJA OCCIDENTALIS (TO)	AMERICAN ARBORVITAE	AS SHOWN	6"	B & B	86	40'	10'	
SHRUBS								
BOTANICAL NAME	COMMON NAME	SPACING	SIZE	CONTAINER	QUANTITY	MATURE HEIGHT	MATURE SPREAD	
BUXUS SEMPERVIRENS (BS)	ENGLISH BOXWOOD	AS SHOWN	3"	B & B	162	15'	15'	



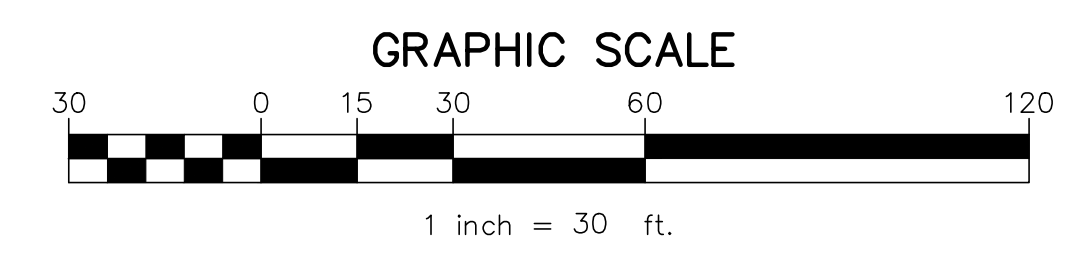
LANDSCAPE BUFFER YARD
 LOT LINE = 350.00'
 PROVIDE: 4 CANOPY TREES
 28 UNDERSTORY/EVERGREEN TREES
 53 DECIDUOUS/EVERGREEN SHRUBS

LANDSCAPE BUFFER YARD
 LOT LINE = 350.25'
 PROVIDE: 4 CANOPY TREES
 28 UNDERSTORY/EVERGREEN TREES
 53 DECIDUOUS/EVERGREEN SHRUBS

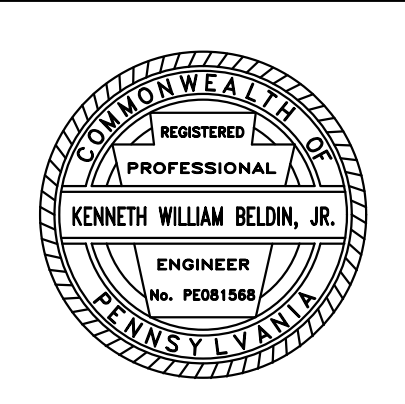
LANDSCAPE BUFFER YARD
 LOT LINE = 370.12'
 PROVIDE: 4 CANOPY TREES
 30 UNDERSTORY/EVERGREEN TREES
 56 DECIDUOUS/EVERGREEN SHRUBS

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- BITUMINOUS PAVEMENT
- STABILIZED AREA
- TREELINE
- STREAM/DITCH LINE
- FENCE LINE
- POWER POLE
- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED STABILIZED AREA
- PROPOSED ROAD CENTERLINE
- PROPOSED TREELINE
- PROPOSED FENCE LINE
- RED MAPLE TREE (AR)
- AMERICAN ARBOR VITAE (TO)
- ENGLISH BOXWOOD (BS)



NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS
		DESCRIPTION
		REVISIONS

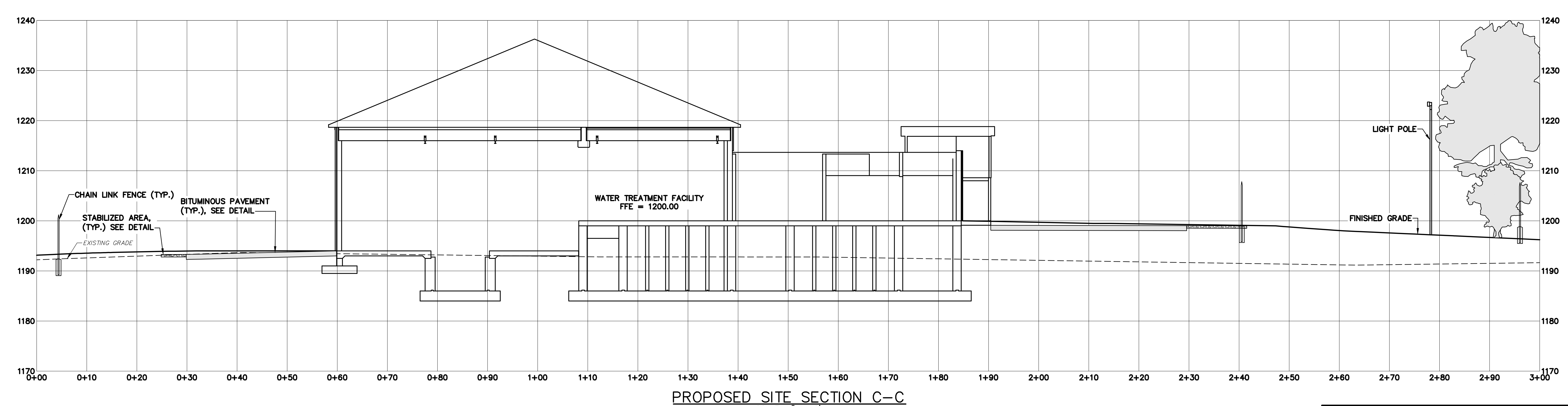
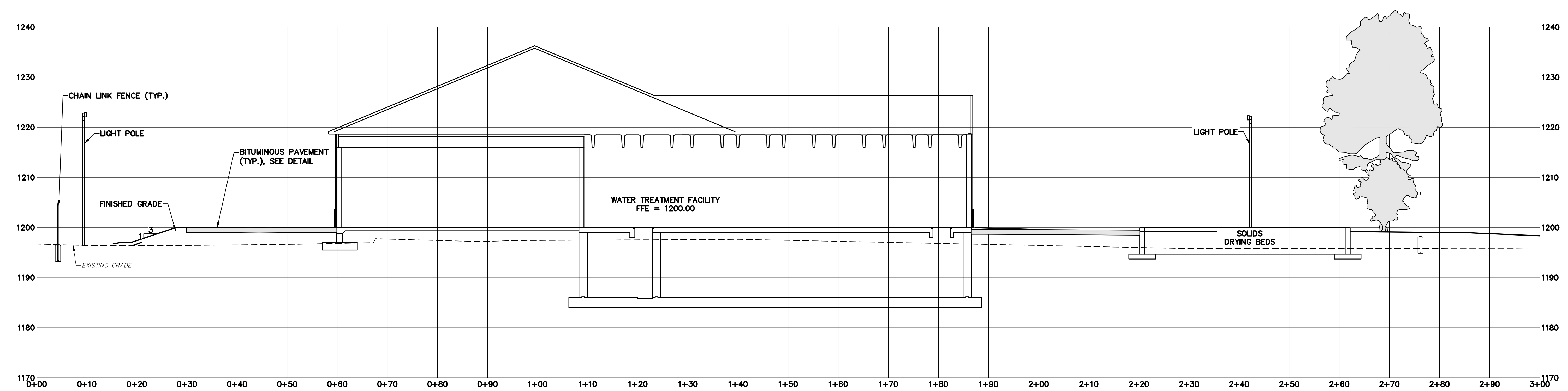
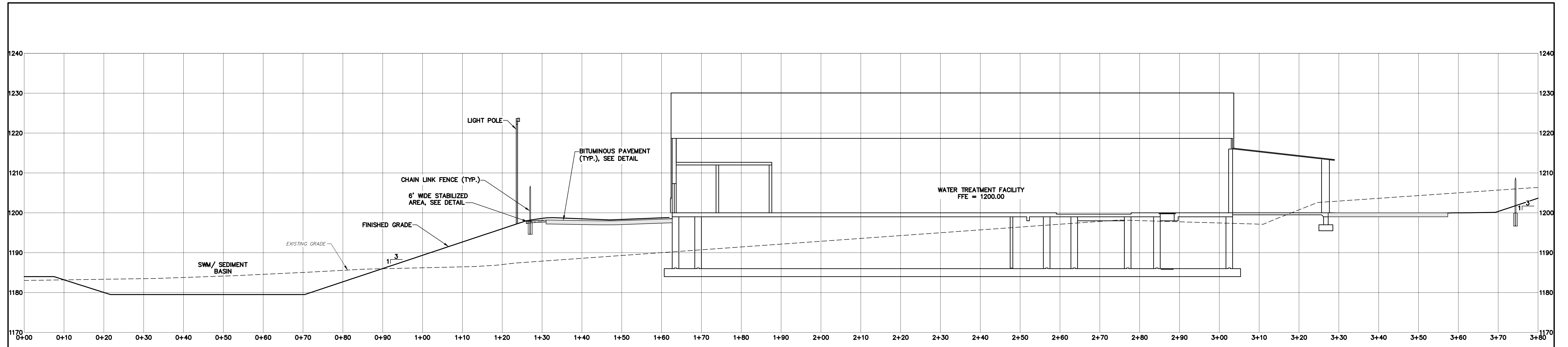


PROPOSED LANDSCAPING PLAN
 STATE COLLEGE BOROUGH
 WATER AUTHORITY
**NIXON-KOCHER
 WATER TREATMENT FACILITY**

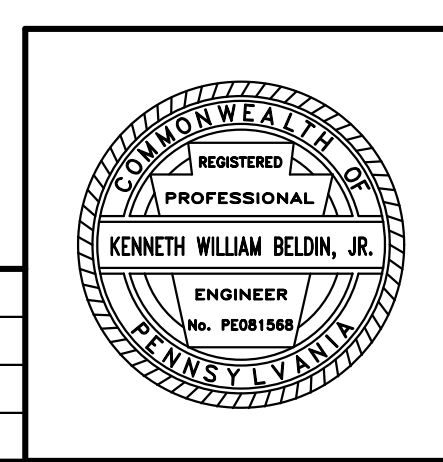


FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA
 DATE: 8/30/19 JOB: 16049 SCALE: AS SHOWN
 FILE: 16049_LD_005 DRAWN BY: AJL CHECKED BY: WAA

SHEET NO:
5



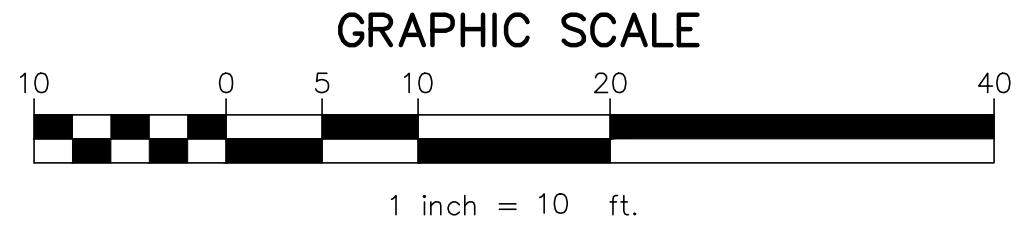
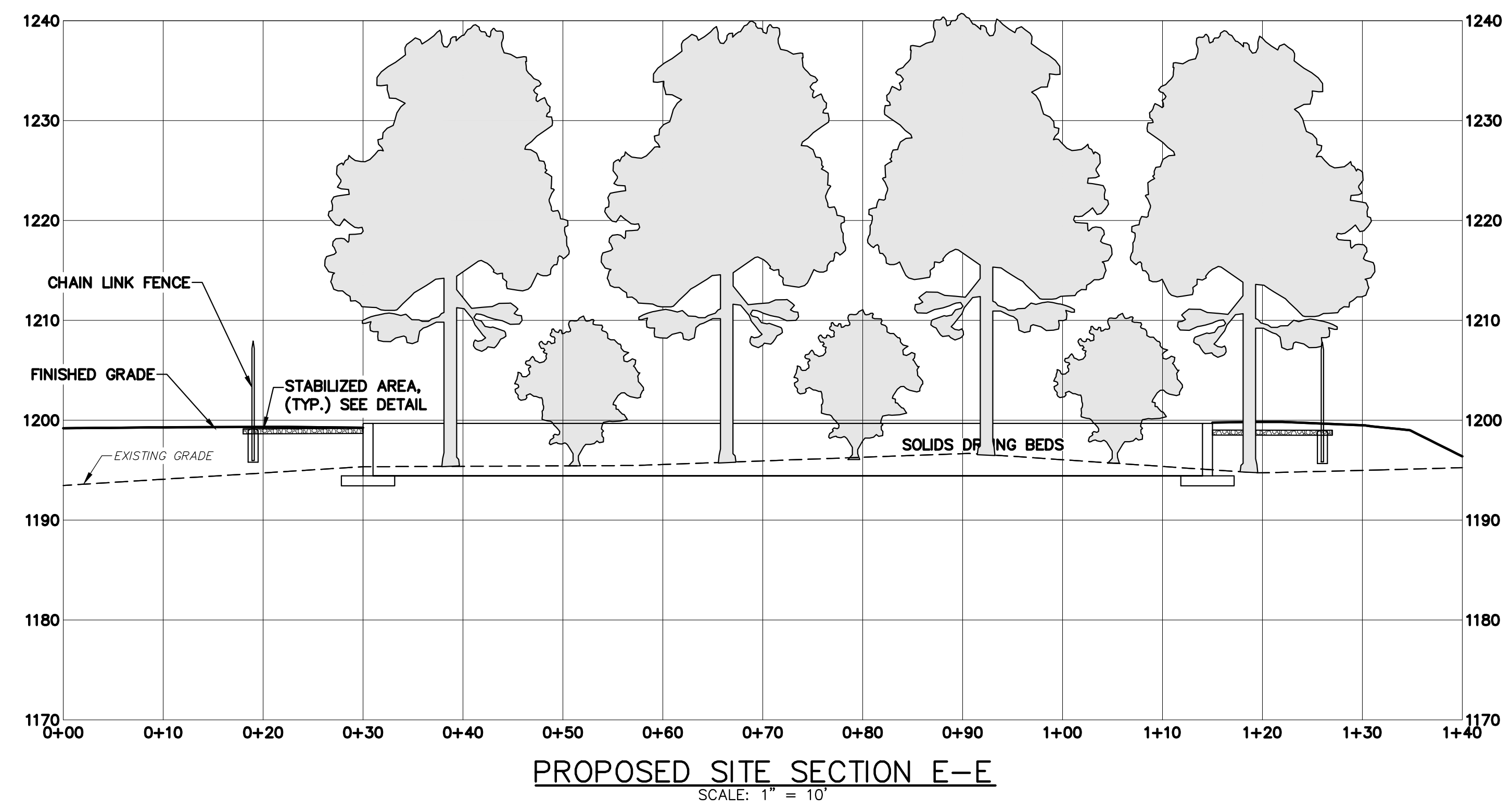
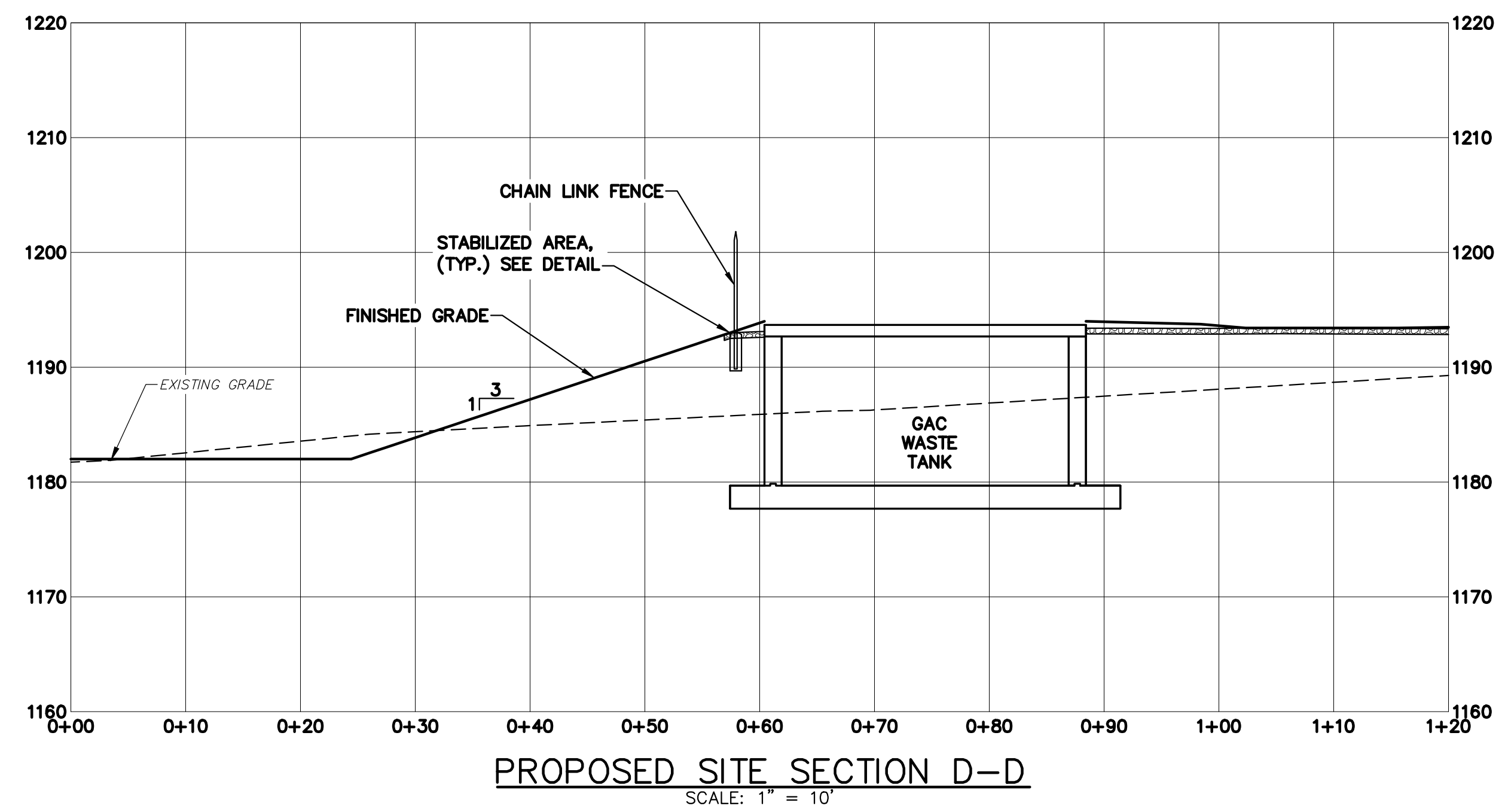
NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS
		REVISIONS



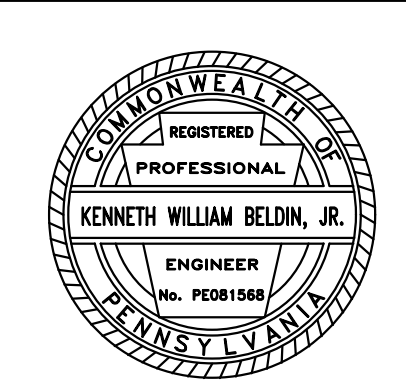
PROPOSED SITE CROSS SECTIONS
STATE COLLEGE BOROUGH WATER AUTHORITY
NIXON-KOCHER WATER TREATMENT FACILITY
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA
DATE: 8/30/19 JOB: 16049 SCALE: AS SHOWN
FILE: 6049_LD_006-00 DRAWN BY: AJL CHECKED BY: WAA



SHEET NO: **6**



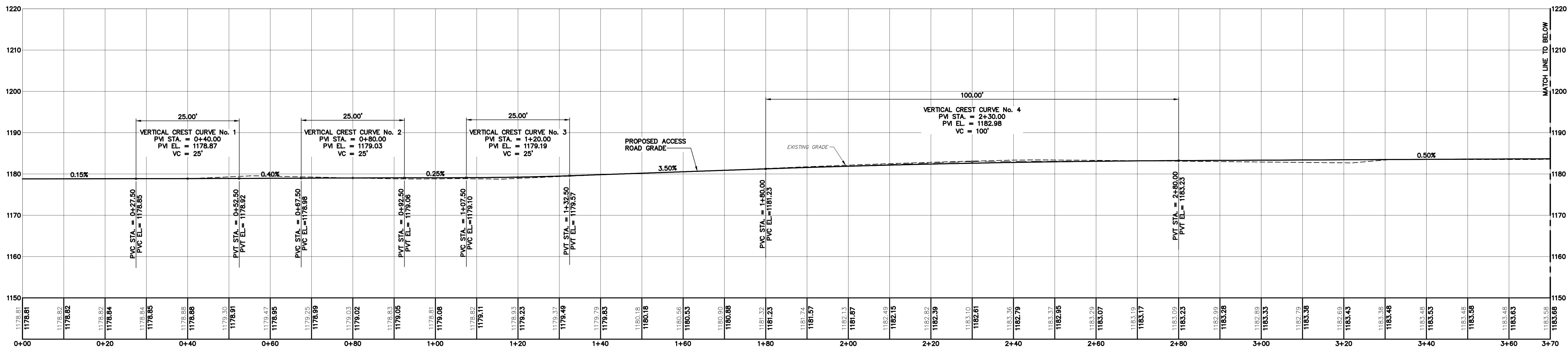
NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS



PROPOSED SITE CROSS SECTIONS
STATE COLLEGE BOROUGH WATER AUTHORITY
NIXON-KOCHER WATER TREATMENT FACILITY
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA
DATE: 8/30/19 JOB: 16049 SCALE: AS SHOWN
FILE: 6049_LD_006-00 DRAWN BY: A.J.L. CHECKED BY: WAA

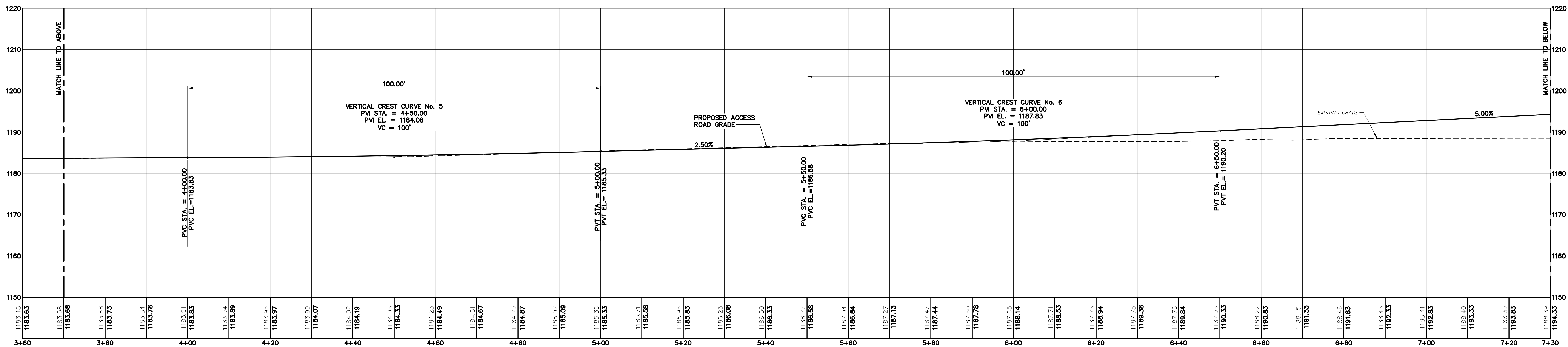


SHEET NO: **7**



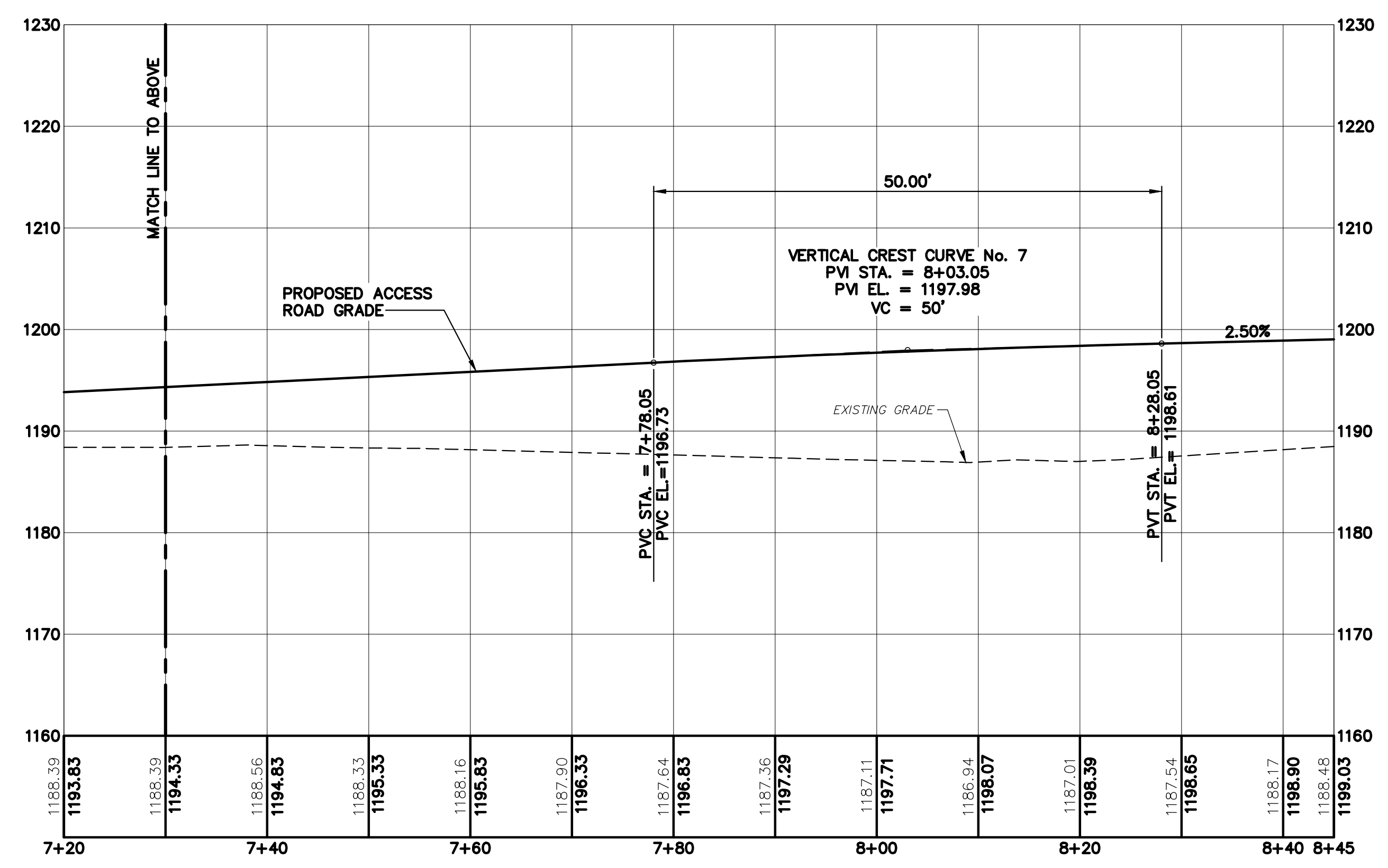
PROPOSED ACCESS ROAD PROFILE

SCALE: 1" = 10'



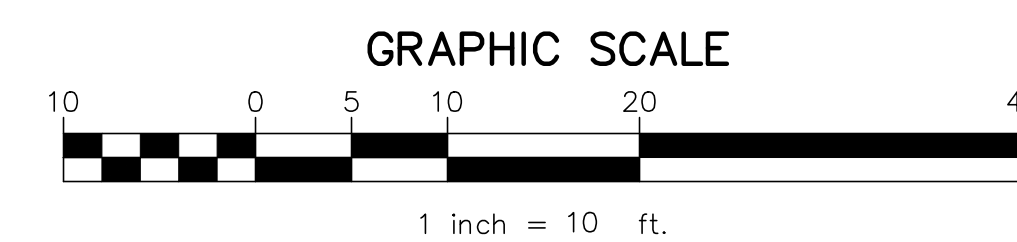
PROPOSED ACCESS ROAD PROFILE (CONT.)

SCALE: 1" = 10'

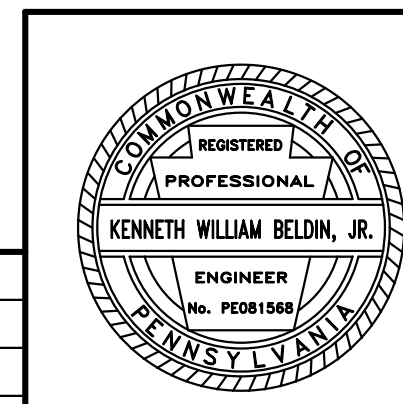


PROPOSED ACCESS ROAD PROFILE (CONT.)

SCALE: 1" = 10'



NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS
REVISIONS		



PROPOSED PRIVATE ACCESS ROAD PROFILE

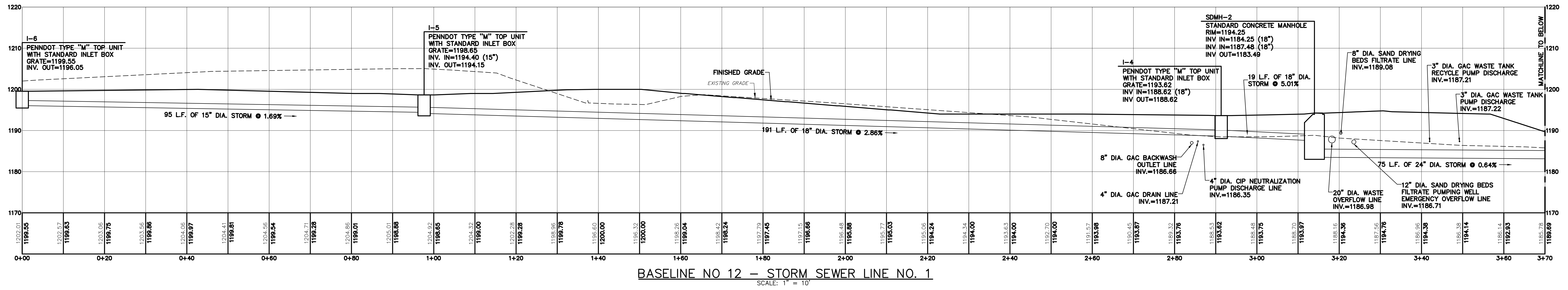
STATE COLLEGE BOROUGH
WATER AUTHORITY

NIXON-KOCHER
WATER TREATMENT FACILITY

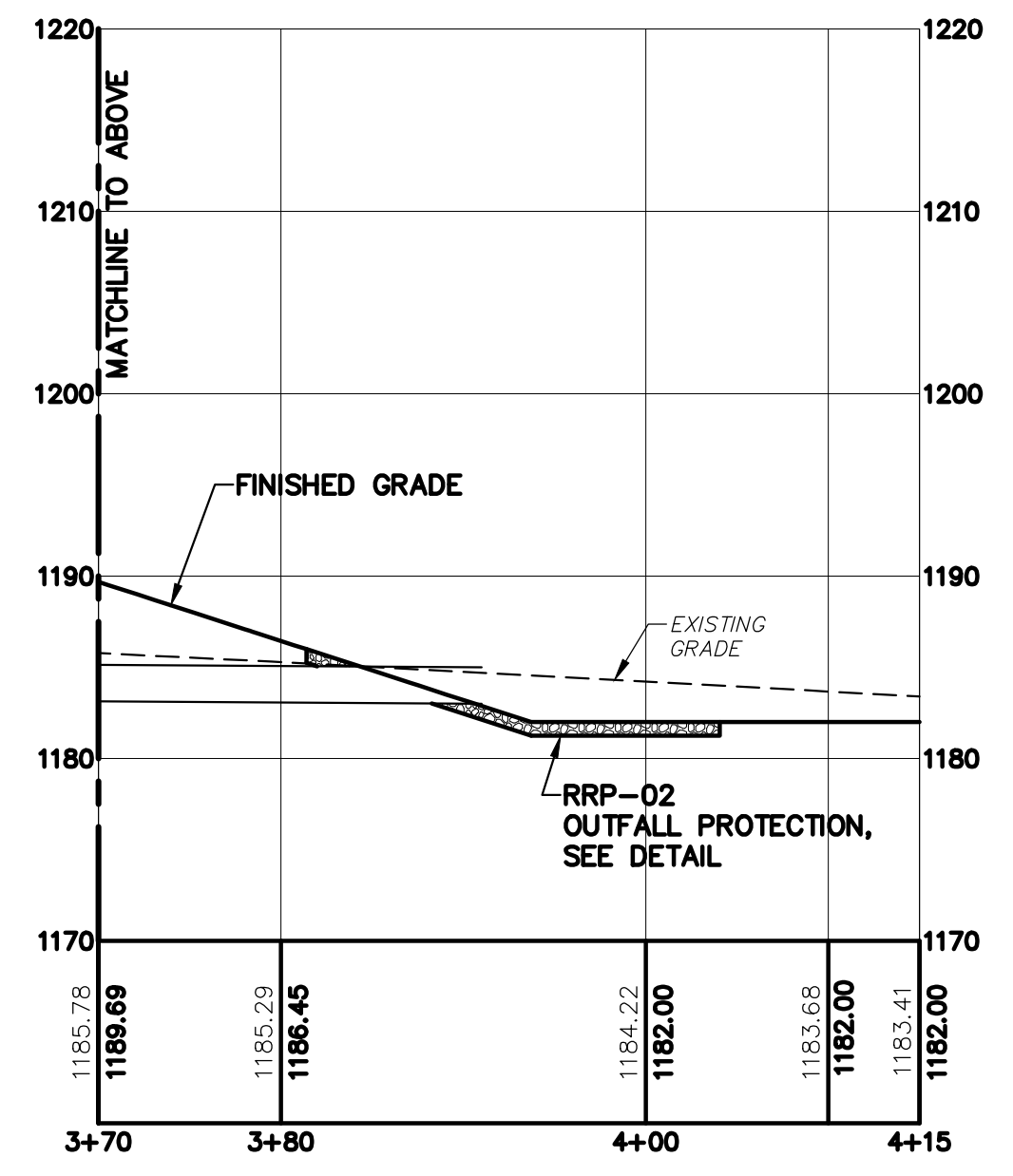
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

DATE: 8/30/19 JOB: 16049 SCALE: AS SHOWN
FILE: 16049_LD_008 DRAWN BY: AJL CHECKED BY: WAA

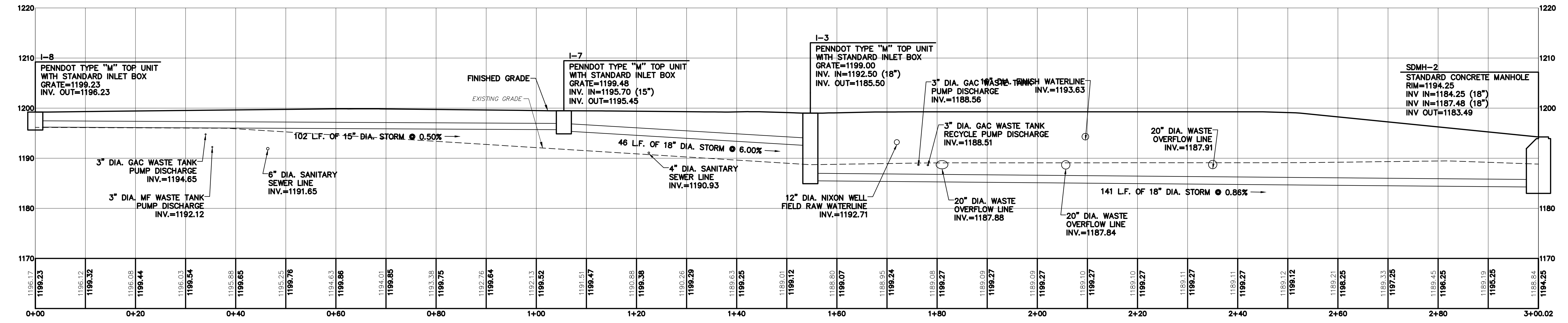
GD&F
GWIN DOBSON & FOREMAN
ENGINEERS
3121 Fairway Drive
Allison, PA 16802
814.943.9214
gdfengineers.com



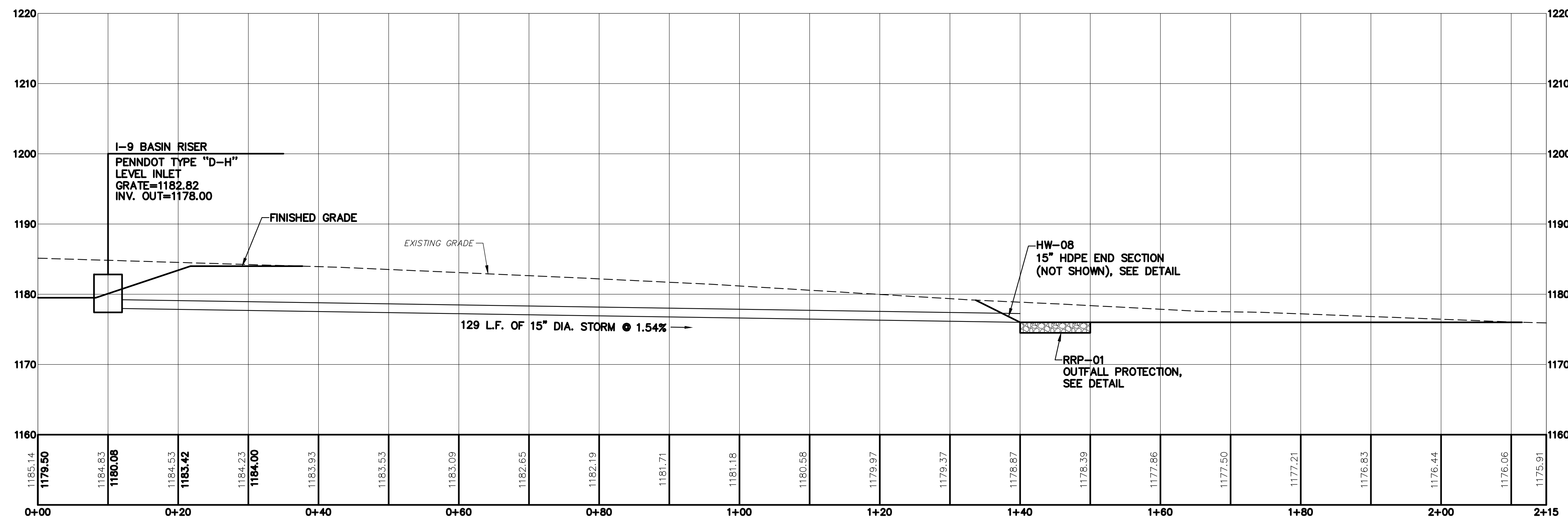
BASELINE NO 12 - STORM SEWER LINE NO. 1
SCALE: 1" = 10'



BASELINE NO 12 - STORM SEWER LINE NO. 1 (CONT.)
SCALE: 1" = 10'

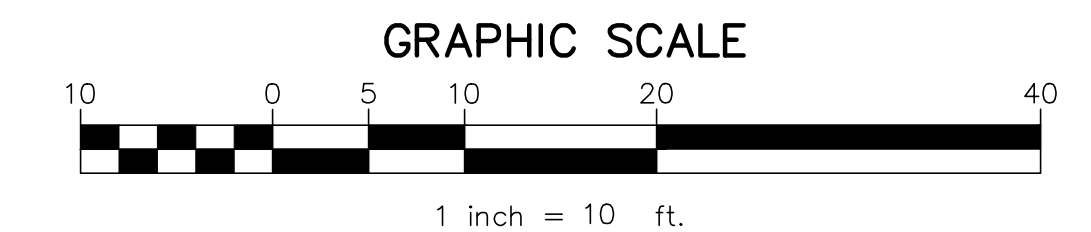


BASELINE NO 13 - STORM SEWER LINE NO. 2
SCALE: 1" = 10'



BASELINE NO 14 - SWM BASIN OUTFALL
SCALE: 1" = 10'

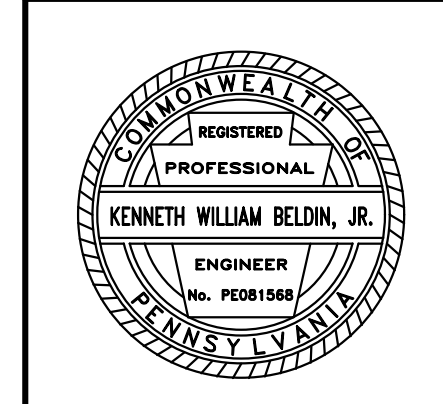
NOTE:
1. REFER TO SHEET NO. 4 FOR PIPING NOTES.



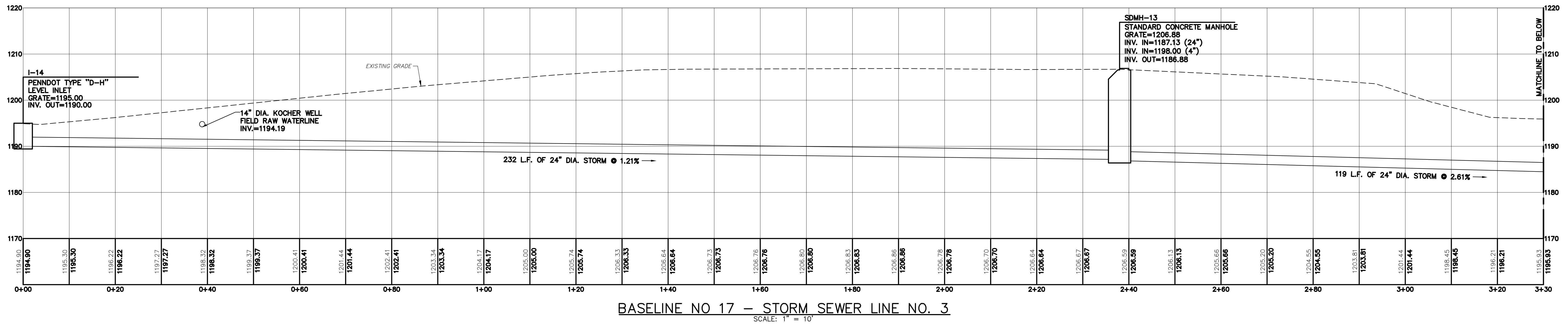
REVISIONS	
NO.	DESCRIPTION
2	8/30/19 REVISED PER TOWNSHIP COMMENTS
1	8/12/19 REVISED PER TOWNSHIP COMMENTS

PROPOSED PIPING PROFILES - BASELINES 12 THRU 14	
STATE COLLEGE BOROUGH WATER AUTHORITY	
NIXON-KOCHER WATER TREATMENT FACILITY	
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA	
DATE: 8/30/19	JOB: 16049
FILE: 16049_LD_009	DRAWN BY: AJL
SCALE: AS SHOWN	CHECKED BY: WAA

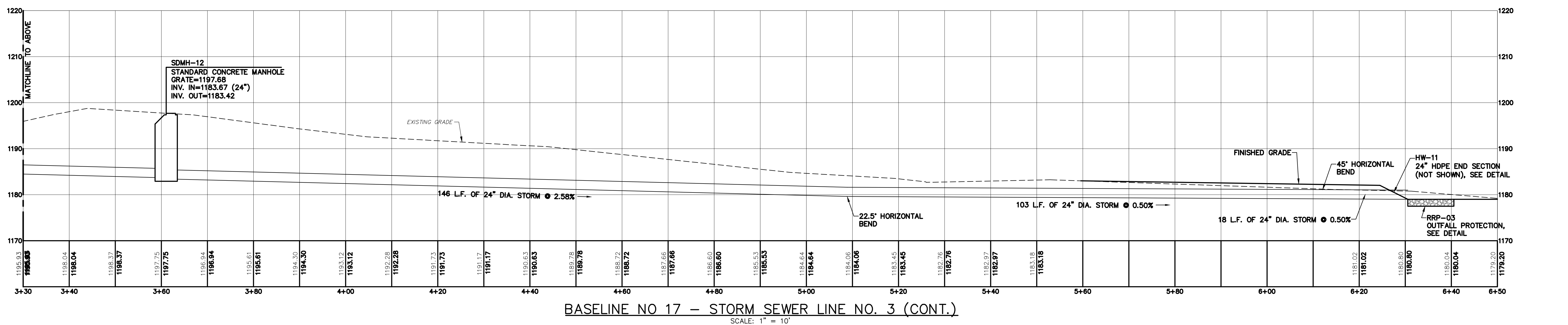
SEAL	SHEET NO: 9
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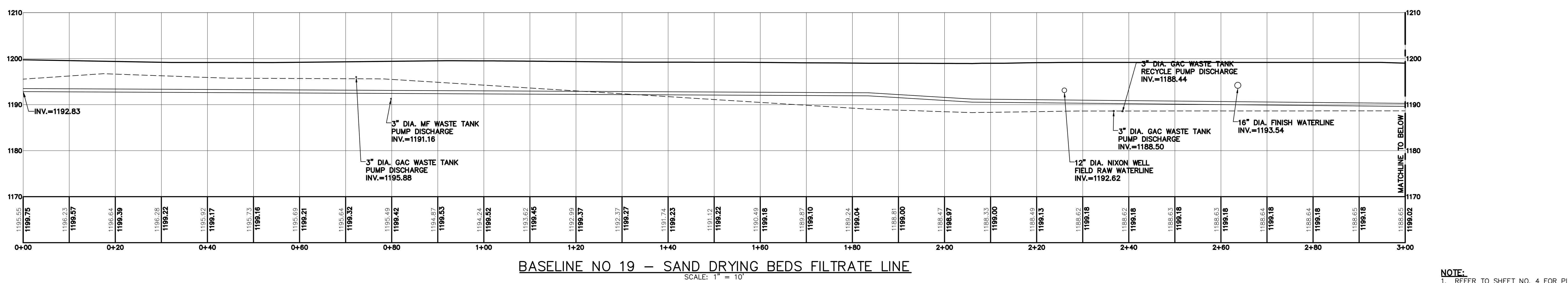
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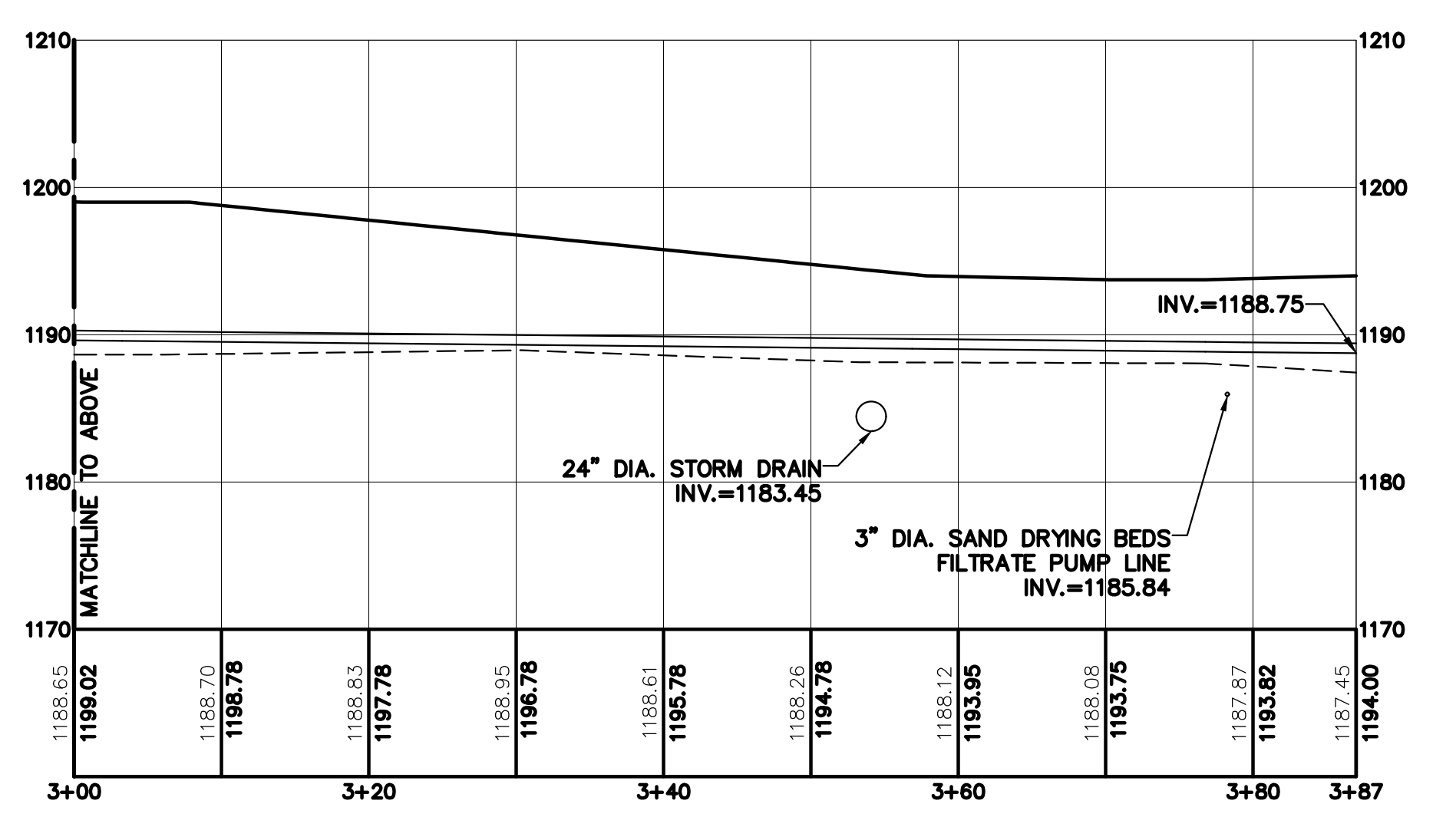
BASELINE NO 17 - STORM SEWER LINE NO. 3
SCALE: 1" = 10'



BASELINE NO 17 - STORM SEWER LINE NO. 3 (CONT.)
SCALE: 1" = 10'

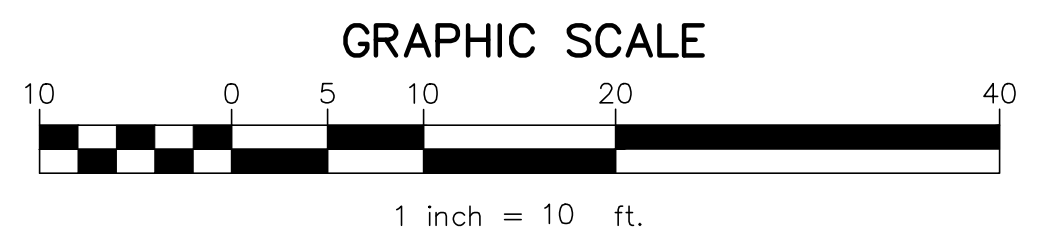


BASELINE NO 19 - SAND DRYING BEDS FILTRATE LINE
SCALE: 1" = 10'



BASELINE NO 19 - SAND DRYING BEDS FILTRATE LINE (CONT.)
SCALE: 1" = 10'

NOTE:
1. REFER TO SHEET NO. 4 FOR PIPING NOTES.



NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS



PROPOSED PIPING PROFILES -
BASELINE 17
**STATE COLLEGE BOROUGH
WATER AUTHORITY**
**NIXON-KOCHER
WATER TREATMENT FACILITY**



FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA
DATE: 8/30/19 JOB: 16049 SCALE: AS SHOWN
FILE: 16049_LD_010 DRAWN BY: AJL CHECKED BY: WAA

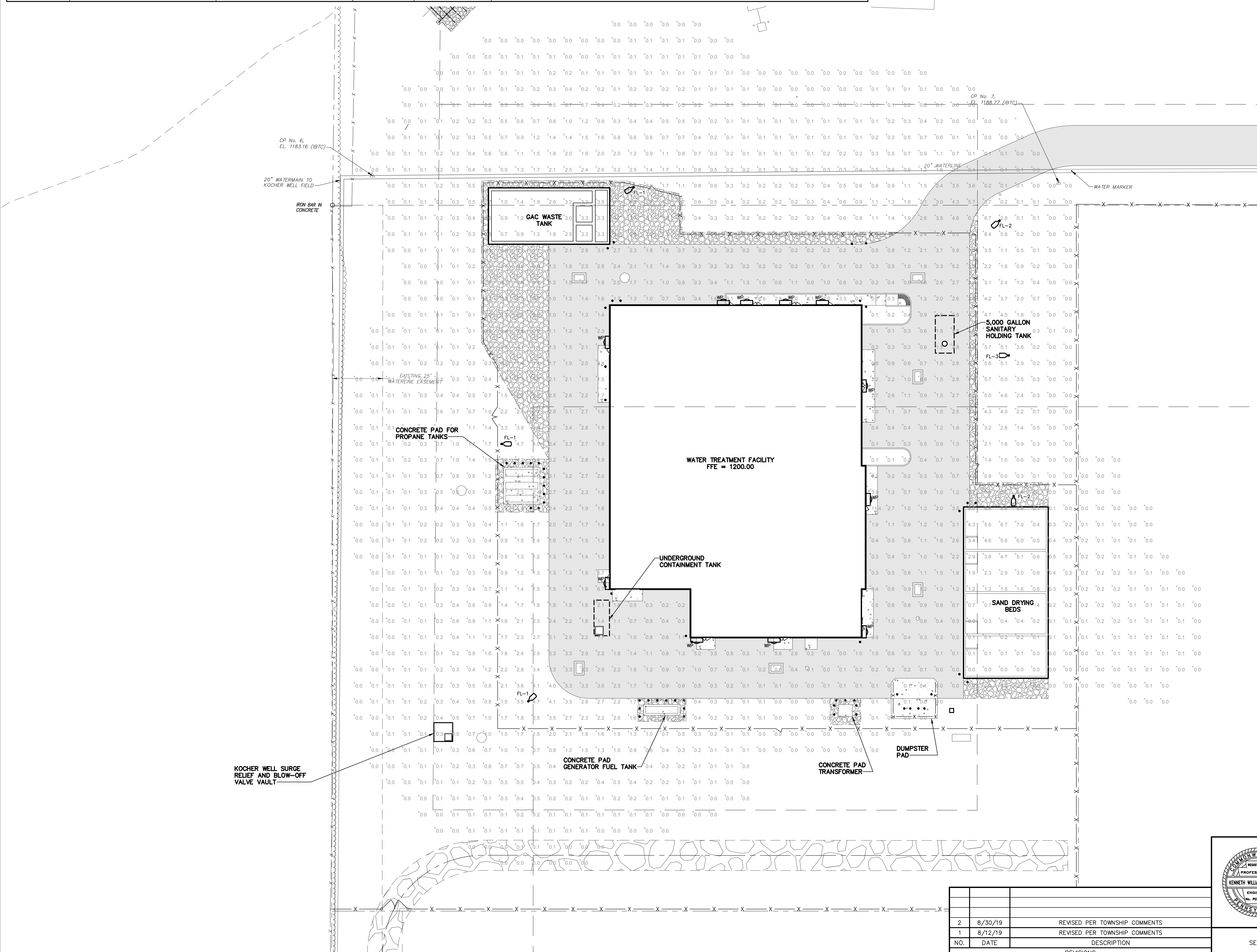
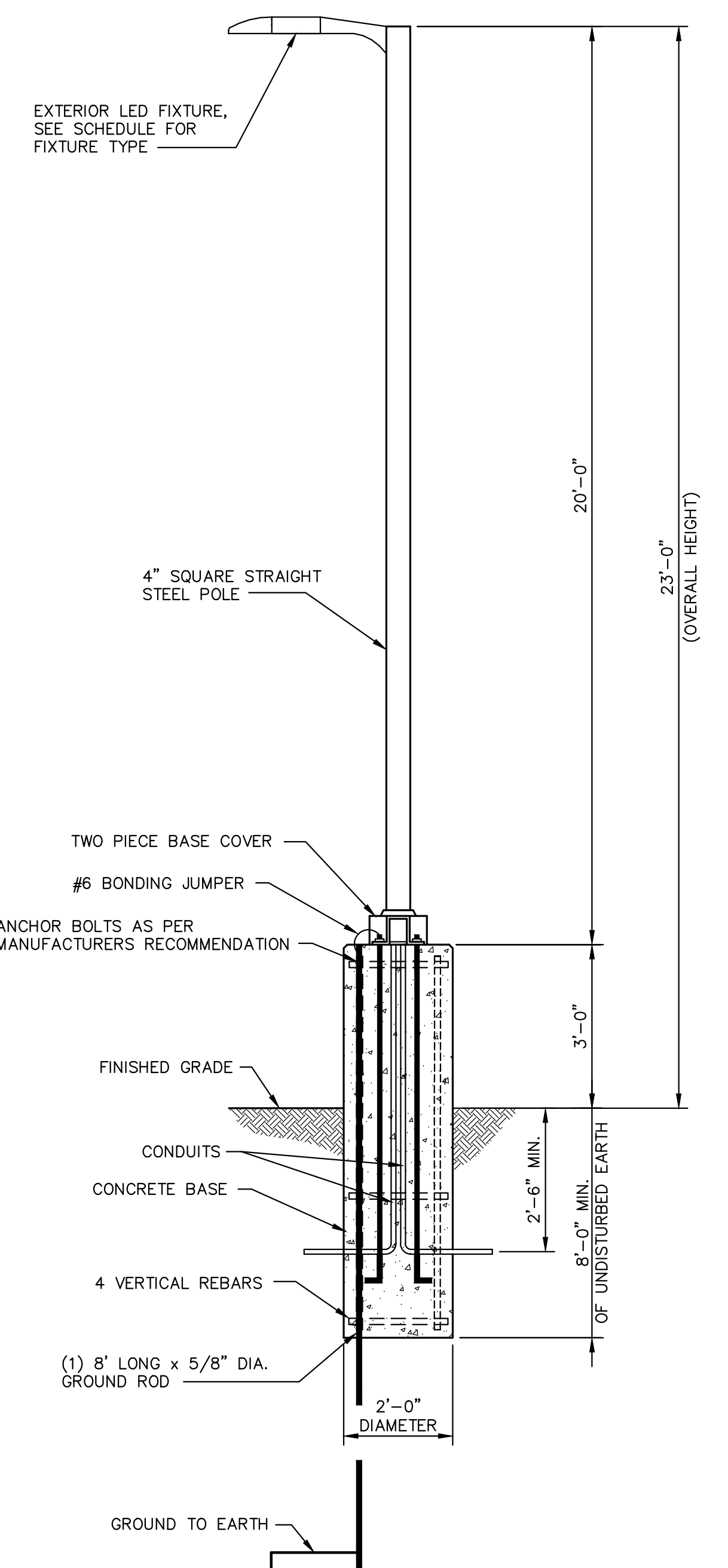
SHEET NO:
10

LED - LIGHT FIXTURE SCHEDULE

STYLE	MANUFACTURER/MODEL	LED LUMENS/KELVIN TEMP/WATTS/COLOR RENDERING	DRIVER	MOUNTING	DESCRIPTION
WP	SPECTRUM LIGHTING, INC./ED2015LW 20L 40K EX MJ2 PA MW1 MB OR APPROVED EQUAL	2000LM/4000K/15.8W	120/277 VAC	WALL MOUNT	EXTERIOR LED FIXTURE, LISTED FOR OUTDOOR WET LOCATIONS, WALL MOUNTED, MATTE BLACK FINISH
FL-1	LITHONIA/DSX1 LED P7 40K TFM MVOLT SPA DDBXD DLL127F1.5JU OR APPROVED EQUAL	20,734LM/4000K/183W	277 VOLT	POLE	LED CUTOFF AREA LUMINAIRE WITH PHOTOCELL MOUNTED ON SQUARE POLE. DARK BRONZE FINISH. FORWARD THROW, MEDIUM DISTRIBUTION.
FL-2	LITHONIA/DSX1 LED P7 40K LCCD MVOLT SPA DDBXD DLL127F1.5JU OR APPROVED EQUAL	12,649LM/4000K/183W	277 VOLT	POLE	LED CUTOFF AREA LUMINAIRE WITH PHOTOCELL MOUNTED ON SQUARE POLE. DARK BRONZE FINISH. LEFT CORNER CUTOFF DISTRIBUTION.
FL-3	LITHONIA/DSX1 LED P7 40K BLC MVOLT SPA DDBXD DLL127F1.5JU OR APPROVED EQUAL	16,999LM/4000K/183W	277 VOLT	POLE	LED CUTOFF AREA LUMINAIRE WITH PHOTOCELL MOUNTED ON SQUARE POLE. DARK BRONZE FINISH. BACKLIGHT CONTROL DISTRIBUTION.
POLE "P1"	LITHONIA/SSS2049PTDBB OR APPROVED EQUAL	-	-	-	SQUARE STRAIGHT STEEL POLE, 20' NOMINAL HEIGHT, 4" SHAFT SIZE, 0.188" WALL THICKNESS. PROVIDE ANCHORS, BASE COVER, HANDHOLE COVER AND ANCHOR BOLTS.

GENERAL NOTES:

- ALL LED LIGHT FIXTURES SHALL BE MOUNTED PLUMB AND LEVEL.
- THE SOFTWARE USED TO CREATE THE PHOTOMETRIC LIGHT DISTRIBUTION IS VISUAL LIGHTING 2017.

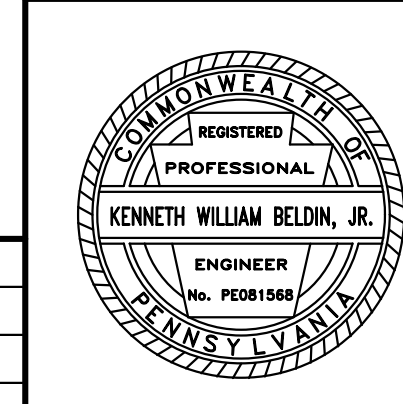
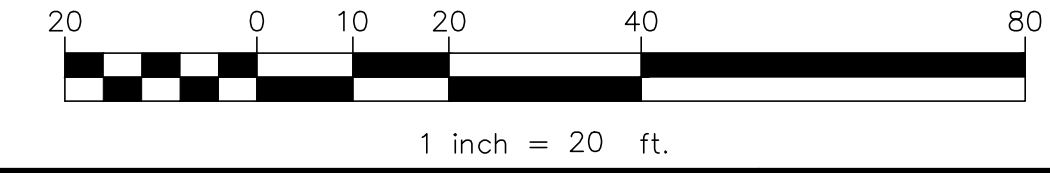


TYPICAL LIGHT POLE BASE DETAIL NO SCALE

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- BITUMINOUS PAVEMENT
- STABILIZED AREA
- TREELINE
- STREAM/DITCH LINE
- FENCE LINE
- BURIED ELECTRIC
- UTILITY LINE
- WATERLINE
- MAJOR CONTOUR (5')
- MINOR CONTOUR (1')
- POWER POLE
- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED STABILIZED AREA
- PROPOSED ROAD CENTERLINE
- PROPOSED TREELINE
- PROPOSED FENCE LINE
- PROPOSED UTILITY LINE
- PROPOSED UTILITY WATERLINE
- PROPOSED MAJOR CONTOUR (5')
- PROPOSED MINOR CONTOUR (1')
- PROPOSED PROPERTY LINE
- PROPOSED COMPOST FILTER SOCK
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED LED AREA LIGHT
- FOOT CANDLES
- EXTERIOR WALL PACK

GRAPHIC SCALE

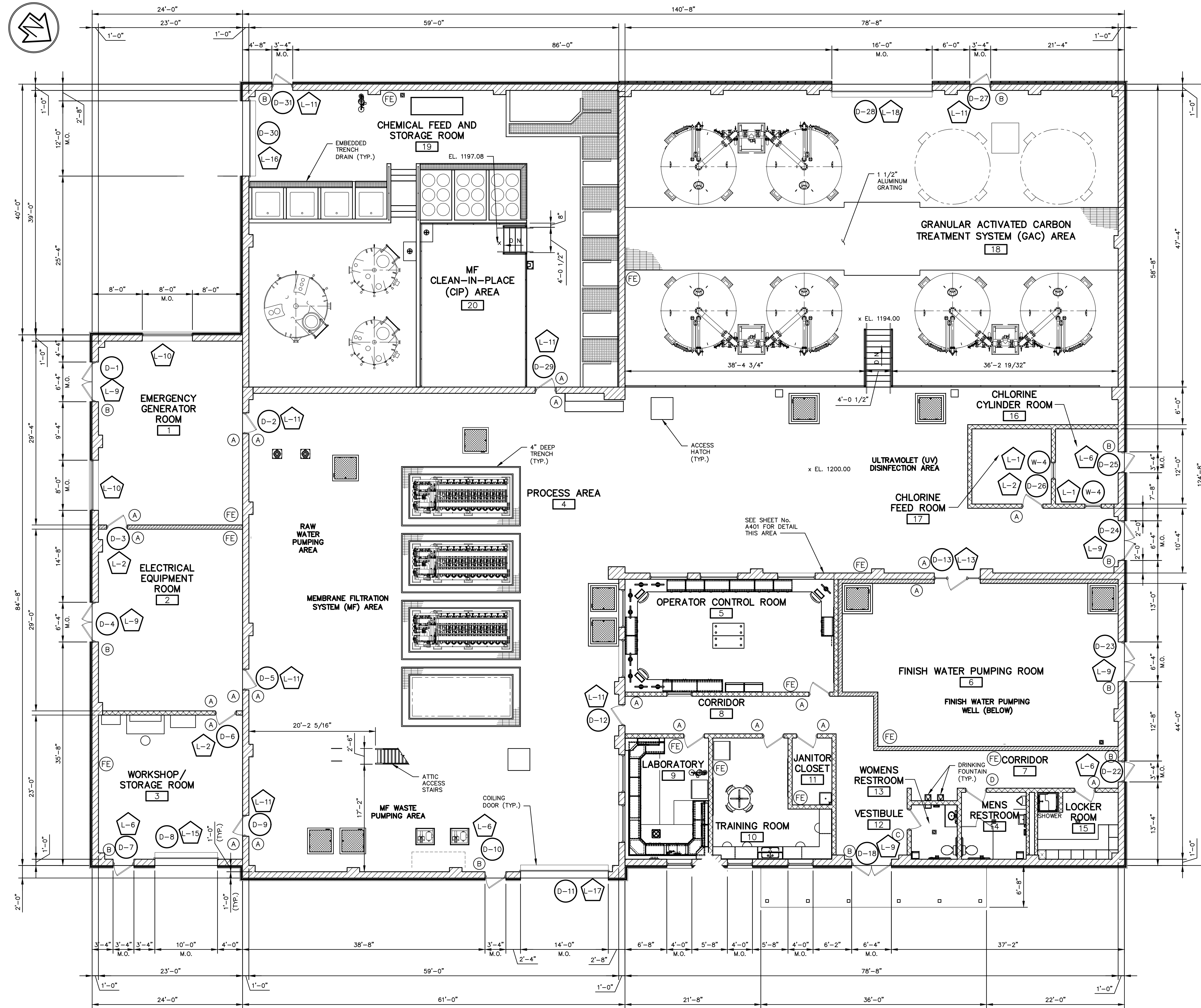


PROPOSED SITE LIGHTING PLAN
 STATE COLLEGE BOROUGH
 WATER AUTHORITY
NIXON-KOCHER
 WATER TREATMENT FACILITY



NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS
		REVISIONS

DATE: 8/30/19	JOB: 16049	SCALE: AS SHOWN
FILE: 16049_LD_011	DRAWN BY: HRO	CHECKED BY: MPR



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

INTERIOR ROOM SIGNAGE SCHEDULE

I.D.	ROOM/AREA NAME	SIGN TYPE
(A)	(ROOM NAME) SEE AREA SCHEDULE	TYPE 1
(B)	EXIT	TYPE 3
(C)	ADA WOMEN'S ROOM	TYPE 2
(D)	ADA MEN'S ROOM	TYPE 2

SIGNAGE NOTES:

- TACTILE CHARACTERS SHALL BE RAISED THE REQUIRED 1/32" INCHES FROM SIGN FACE.
- ALL TEXT SHALL BE ACCOMPANIED BY GRADE 2 BRAILLE. BRAILLE SHALL BE SEPARATED 7" FROM THE CORRESPONDING RAISED CHARACTERS. GRADE 2 BRAILLE TRANSLATION TO BE PROVIDED BY SIGNAGE MANUFACTURER.
- ALL LETTERS, NUMBERS AND/OR SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND. CHARACTERS AND BACKGROUND SHALL HAVE A NON-SLIP FINISH. 2" X REQUIRED LENGTHS 3/4" HIGH LETTERS WITH GRADE 2 BRAILLE.
- PLAQUE MATERIAL SHALL BE MELAMINE PLASTIC LAMINATE, APPROXIMATELY 1/8" THICK WITH CONTRASTING CORE COLOR. THE MELAMINE SHALL BE NON-STATIC, FIRE RETARDANT AND SELF-EXTINGUISHING. THE PLASTIC LAMINATE WILL BE IMPERVIOUS TO MOST ACIDS, ALKALIES, ALCOHOL, SOLVENTS, ABRASIVES AND BOILING WATER.
- CORNERS: 1/2" RADIUS.
- COPY POSITION: CC (CENTERED/CENTERED)
- LETTER FONT STYLES: ARIAL OR UNIVERSAL
- SIGNS SHALL BE MOUNTED USING VINYL TAPE FOR INTERIOR SIGNS. THE SIGNS SHALL BE MOUNTED ON THE WALL WITH DIMENSION FROM THE FLOOR TO THE CENTER OF THE SIGN TO CONFORM WITH ANS I117.1 ON THE LATCH SIDE AND ON THE EXTERIOR OF THE EXTERIOR DOORS. THE DISTANCE BETWEEN THE DOOR FRAME AND SIGN SHOULD BE 2" TO CONFORM WITH ANS I117.1. MOUNTING HEIGHT: 48" MINIMUM TO BASELINE OF LOWEST CHARACTER, 60" MAXIMUM TO BASELINE OF HIGHEST CHARACTER.

TYPE 1 - ROOM NAME PLATES - 2" X REQUIRED LENGTH 3/4" HIGH LETTERS WITH GRADE 2 BRAILLE.
 TYPE 2 - RESTROOM SIGN - DESIGN ADA-4 SIZE 8"X8" WITH A 4" ACCESSIBILITY SYMBOL, GENDER SYMBOL AND THE VERBAL DESCRIPTION PLACED DIRECTLY BELOW FOLLOWED BY GRADE 2 BRAILLE.
 TYPE 3 - ROOM EXIT PLATES - 2" X REQUIRED LENGTH 3/4" HIGH LETTERS WITH GRADE 2 BRAILLE. COLOR TO BE SELECTED DURING SUBMITTAL PHASE. PROVIDE PLATES AT INTERIOR SIDE OF ALL EXIT DOORS FROM EACH ROOM AND ALL DOORS LEADING TO THE EXTERIOR.

LEGEND

- A.F.F. ABOVE FINISHED FLOOR
- M.O. MASONRY OPENING
- CAVITY WALL (SEE WALL SECTIONS SHEET No. A311)
- 8" STANDARD CMU (UNLESS DIMENSIONED OTHERWISE)
- 12" STANDARD CMU
- 8" ACOUSTIC CMU
- ROOM AREA NUMBER
- FD FLOOR DRAIN
- CO CLEANOUT
- (FE) FIRE EXTINGUISHER
- ALUMINUM GRATING (SEE PLANS FOR SIZE)
- (D-1) DOOR (SEE DOOR SCHEDULE, SHEET No. A601)
- (W-1) INTERIOR WINDOW (SEE DETAILS, SHEET No. A602)
- (L-1) LINTEL (SEE LINTEL SCHEDULE, SHEET No. A602)
- EMBEDDED TRENCH DRAIN
- FRP GRATING (SEE PLANS FOR SIZE)

NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS

	FIRST FLOOR PLAN STATE COLLEGE BOROUGH WATER AUTHORITY NIXON-KOCHER WATER TREATMENT FACILITY FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA		
	DATE: 8/30/19 FILE: 16049_LD_012	JOB: 16049 DRAWN BY: RLN	
SEAL	SHEET NO.: 12		SHEET NO.: 12

PLOT CREATED: 8/29/2019 2:42 PM

PROVIDE 1/2" BLUE BORDER ALL AROUND

HELVETICA MEDIUM-ALL LETTERS

PROVIDE WHITE BACKGROUND SURFACE

STATE COLLEGE BOROUGH
WATER AUTHORITY

NIXON-KOCHER
WATER TREATMENT FACILITY

GENERAL MECHANICAL CONTRACTOR:
ELECTRICAL CONTRACTOR:
TOTAL PROJECT COST: \$
ENGINEER: GWIN, DOBSON & FOREMAN, INC, ALTOONA, PA

STATE COLLEGE BOROUGH WATER AUTHORITY MEMBERS

JEFFREY R. KERN	CHAIRPERSON	E. EMORY ENSCORE, PHD	BOARD MEMBER
RACHEL A. BRENNAN, PHD, PE	VICE CHAIRPERSON	GARY W. PETERSON, PHD	BOARD MEMBER
SUSAN W. RUNK	SECRETARY/ASSISTANT	JASON R. GROTTINI	BOARD MEMBER
KATIE McCAULLEY	TREASURER	BERNARD HOFFNAR	BOARD MEMBER
DENNIS E. HAMPTON	ASSISTANT SECRETARY	WILLIAM D. BURGOS, PHD	BOARD MEMBER
	TREASURER/FINANCIAL CONSULTANT	BRIAN HEISER	EXECUTIVE DIRECTOR
		ROBERT MIX, ESQ.	SOLICITOR

1 3/4" 2018

WATER-OUR MOST PRECIOUS NATURAL RESOURCE

SIGN TO BE PRIMED AND COATED WITH HIGH EXTERIOR PAINT SUITABLE FOR CONDITIONS TO BE ENCOUNTERED. SIGN TO BE SEALED WITH ACRYLIC SEALANT UPON COMPLETION.

AS REQUIRED

TEMPORARY SIGN

ELEVATION

PROFILE

NOTES:

- PROJECT SIGN TO BE PREPARED BY A PROFESSIONAL PAINTER, SIGN LAYOUT TO BE INSPECTED BY OWNER PRIOR TO CONSTRUCTION. ALL CONNECTION HARDWARE SHALL BE ALUMINUM OR STAINLESS STEEL.
- LETTER COLOR - BLUE
- BACKGROUND - WHITE
- AUTHORITY MEMBER NAMES WILL BE FURNISHED AT START OF CONSTRUCTION.
- SIGN TO BE LOCATED AT A LOCATION DIRECTED BY THE OWNER (MAY BE OFFSITE).

PROJECT SIGN DETAIL
NO SCALE

PERMANENT BOLLARD - SECTION

REMOVABLE BOLLARD - SECTION

TYPICAL PLAN AT BUILDING CORNER

TYPICAL PLAN AT GARAGE DOORS

SCALE: 1/2" = 1'-0"

NOTE:
G.M. CONTRACTOR SHALL CAREFULLY COORDINATE BOLLARD LOCATIONS WITH E.C. AND UTILITY COMPANIES TO AVOID ALL UNDERGROUND UTILITIES AND DUCT BANKS.

TYPE 1A CURB RAMP
NO SCALE

1 SIDE FLARES 10.00% MAX SLOPE

2 IF THE TURNING SPACE IS INDICATED TO BE LESS THAN 4'-0", CONSTRUCT SIDE FLARES 8.33% MAX SLOPE.

16 CURB RAMPS REQUIRE A TURNING SPACE WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SEE DETAILS FOR LOCATIONS AND DIMENSIONS.

DETECTABLE WARNING SURFACE (DWS) EMBEDDING DETAIL
NO SCALE

NOTES: CONSTRUCT NOTCH AS SHOWN TO PROVIDE FULL THICKNESS SIDEWALK UNDER DETECTABLE WARNING SURFACE. OPTIONAL: CONSTRUCT 2" MAX CONCRETE BORDER AROUND DWS TO PROVIDE PROPER INSTALLATION. SEE PEDESTRIAN PUSHBUTTON ACCESS AREAS DETAIL ON SHEET 14, FOR PLAN VIEW DETAILS.

ACCESSIBLE PARKING SIGN

ADA PARKING SIGN DETAIL
NO SCALE

NOTE: SIGN SHALL BE MANUFACTURED BY BRADY USA, INC. SIGNMARK DIVISION, MILWAUKEE, WI, OR APPROVED EQUAL.

PARKING DETAIL
NO SCALE

NOTE:
1. THE MAXIMUM SURFACE SLOPE IN ANY DIRECTION SHALL NOT BE STEEPER THAN 1:48 ON BOTH THE PARKING SPACE AND ACCESS AISLE.
2. BITUMINOUS PAVEMENT IS REQUIRED FOR ADA ACCESSIBLE PARKING STALL.
3. SEE SITE PLAN FOR THE QUANTITY OF SPACES REQUIRED.
4. ALL ADA FACILITIES SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.

DETECTABLE WARNING SURFACE (DWS) ON CURVED SURFACES
NO SCALE

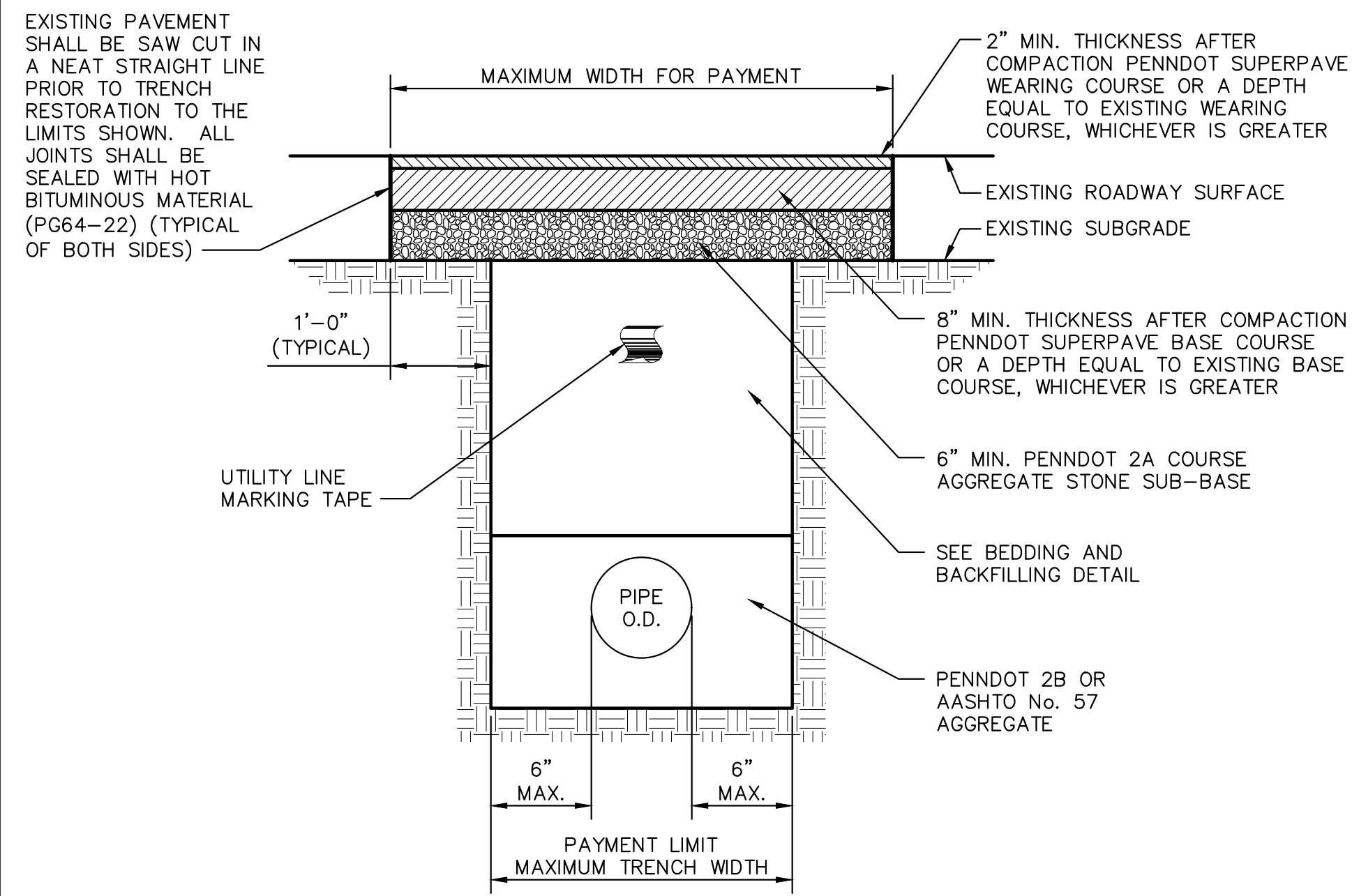
TRUNCATED DOME DIMENSIONS		
DIM	MIN.	MAX.
A	1.6"	2.4"
B	0.65"	1.5"
C	50-65% OF DIMENSION D	50-65% OF DIMENSION D
D	0.9"	1.4"

DETECTABLE WARNING SURFACE (DWS) TRUNCATED DOME DETAIL
NO SCALE

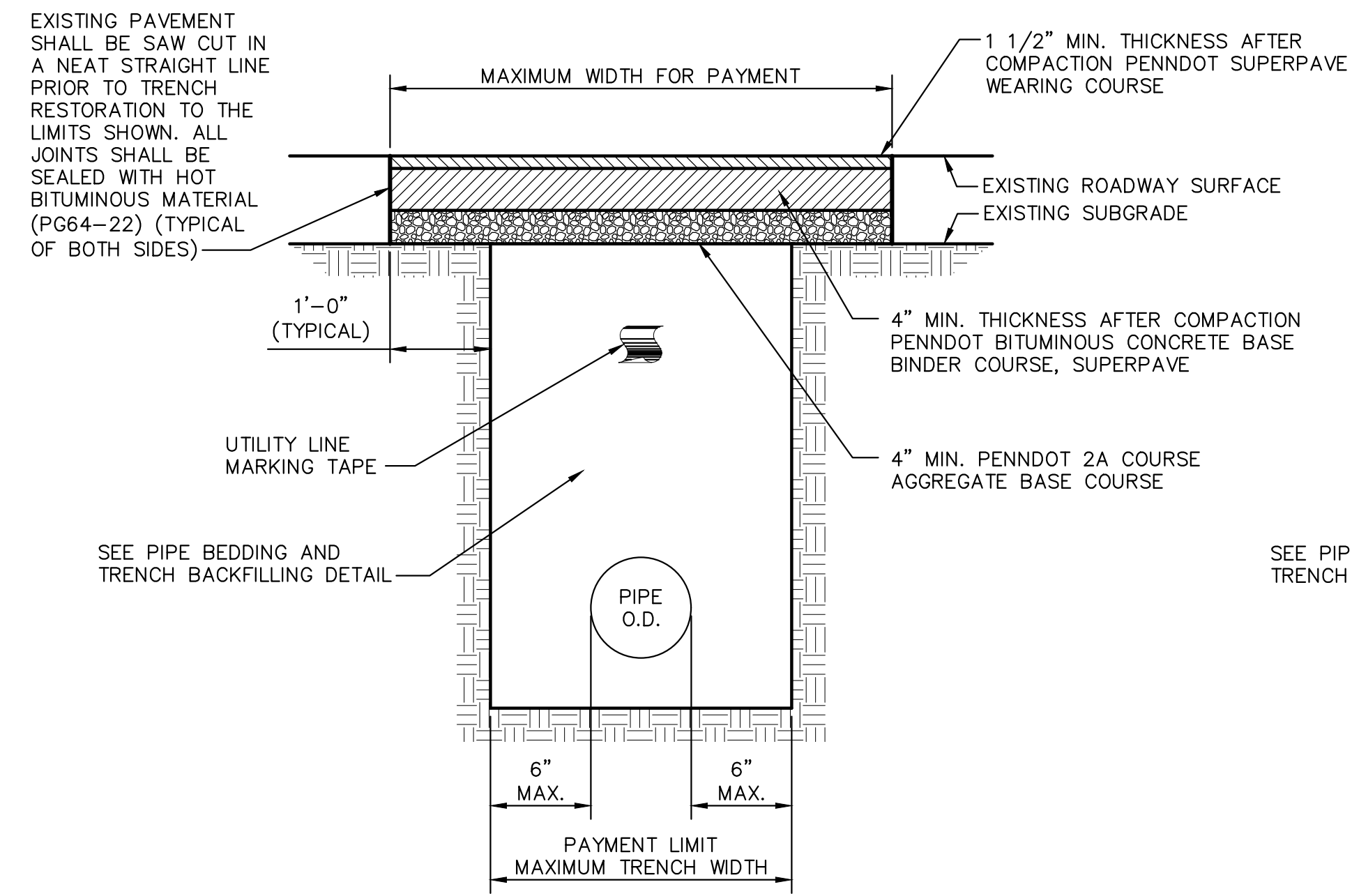
TYPICAL PREFABRICATED WHEEL STOP DETAIL
NO SCALE

NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS
NO. DATE DESCRIPTION		
REVISIONS		

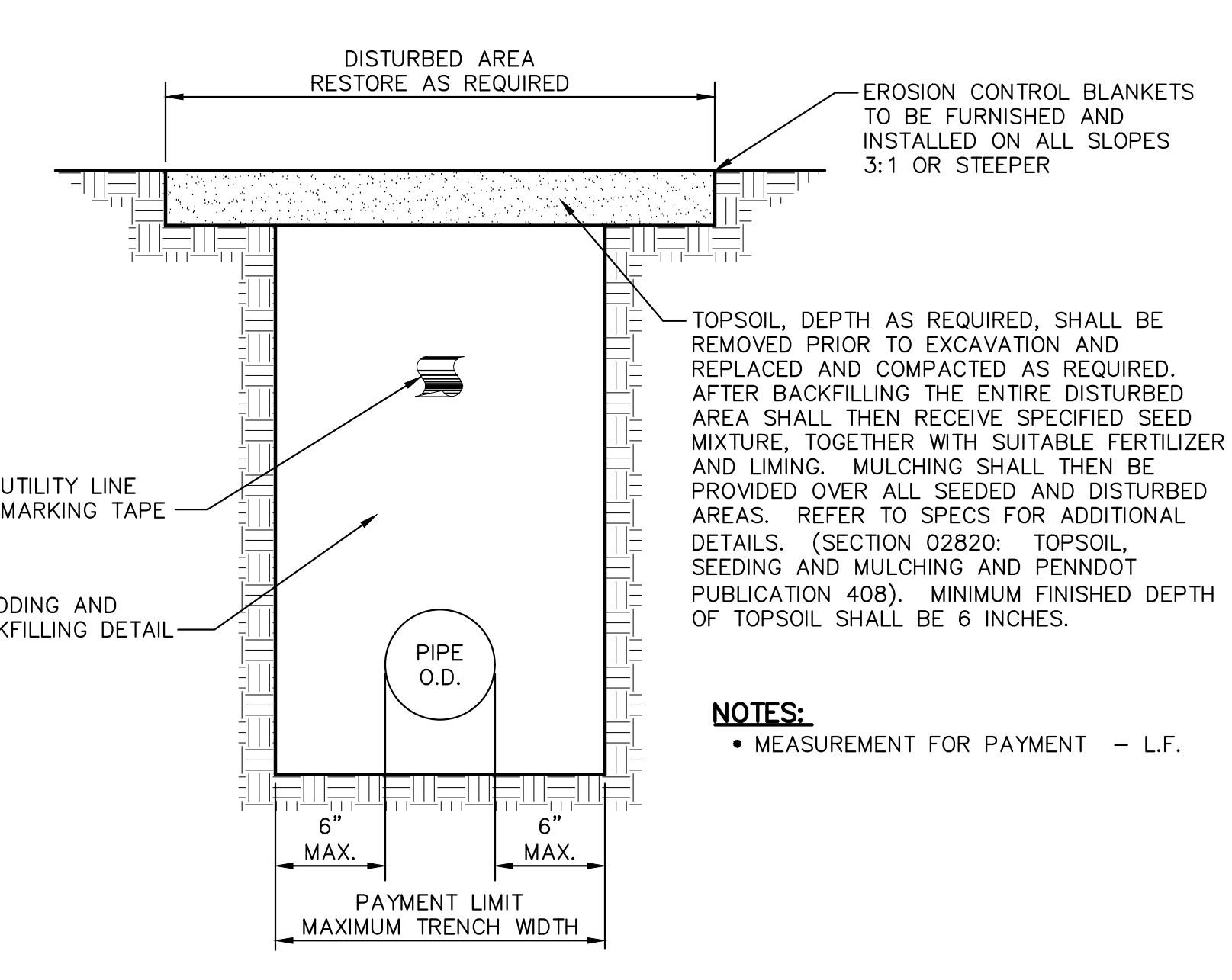
	SITE DETAILS		<p>GWIN DOBSON & FOREMAN ENGINEERS 3121 Fairway Drive Altoona, PA 16602 814.943.8214 gdfengineers.com</p>
	STATE COLLEGE BOROUGH WATER AUTHORITY		
	NIXON-KOCHER WATER TREATMENT FACILITY		
	FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA		
	DATE: 8/30/19	JOB: 16049	
FILE: 16049_LD_013	DRAWN BY: AJL	CHECKED BY: WAA	
SEAL	SHEET NO: 13		DATE: 8/29/2019 2:42 PM



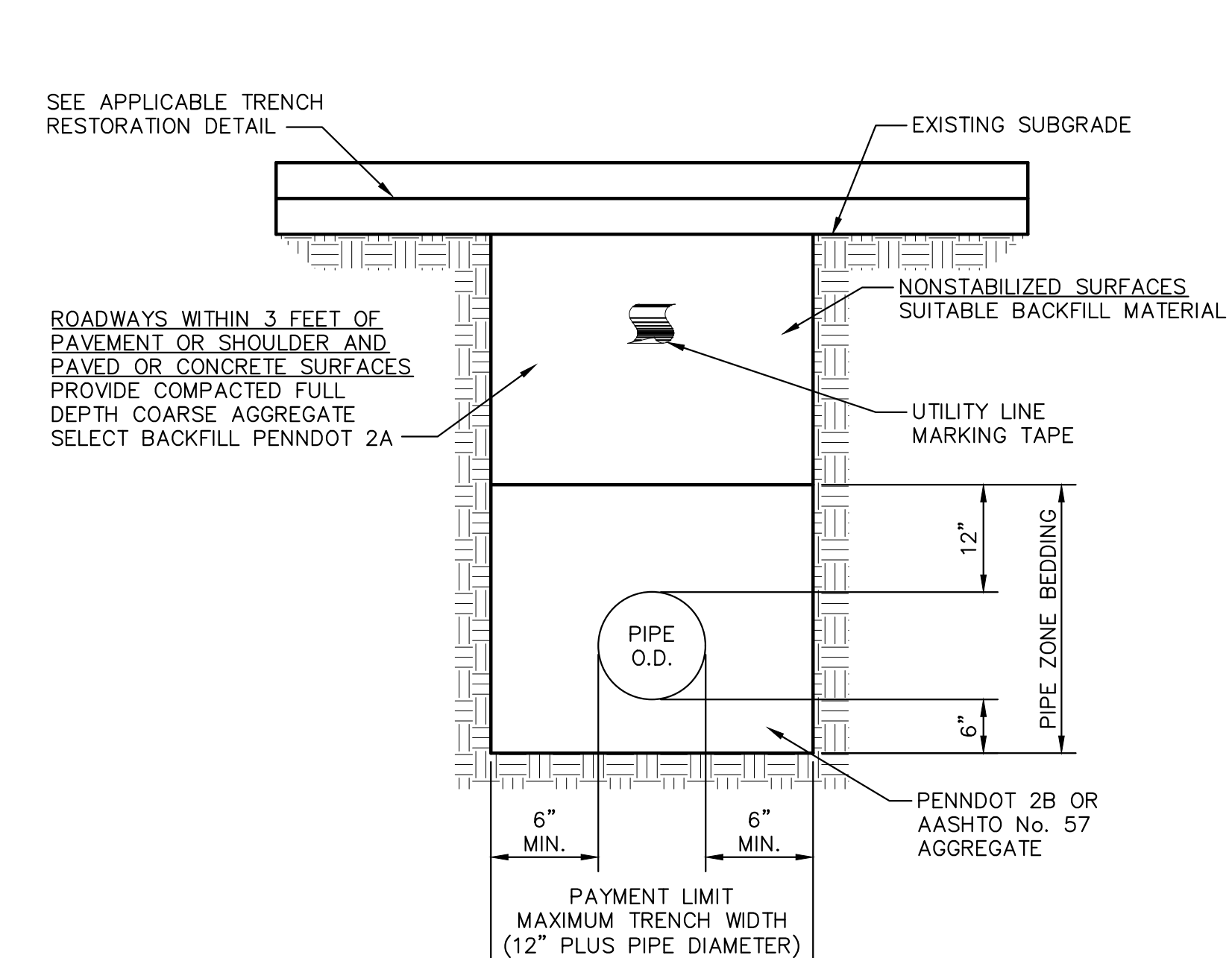
TRENCH RESTORATION - TYPE A
(TOWNSHIP ROADS)
NO SCALE



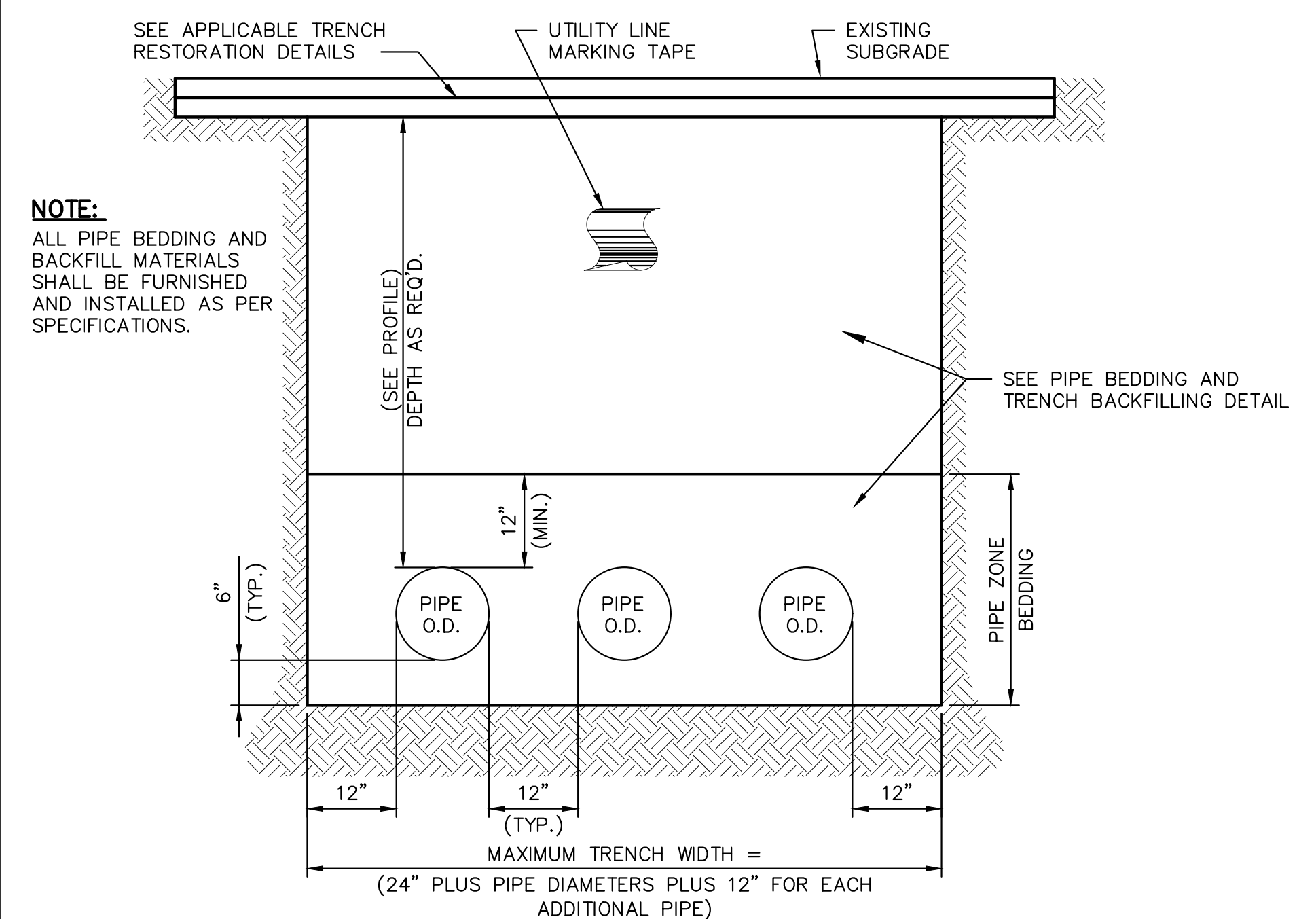
TRENCH RESTORATION - TYPE C
(BITUMINOUS PAVEMENT DRIVEWAYS)
NO SCALE



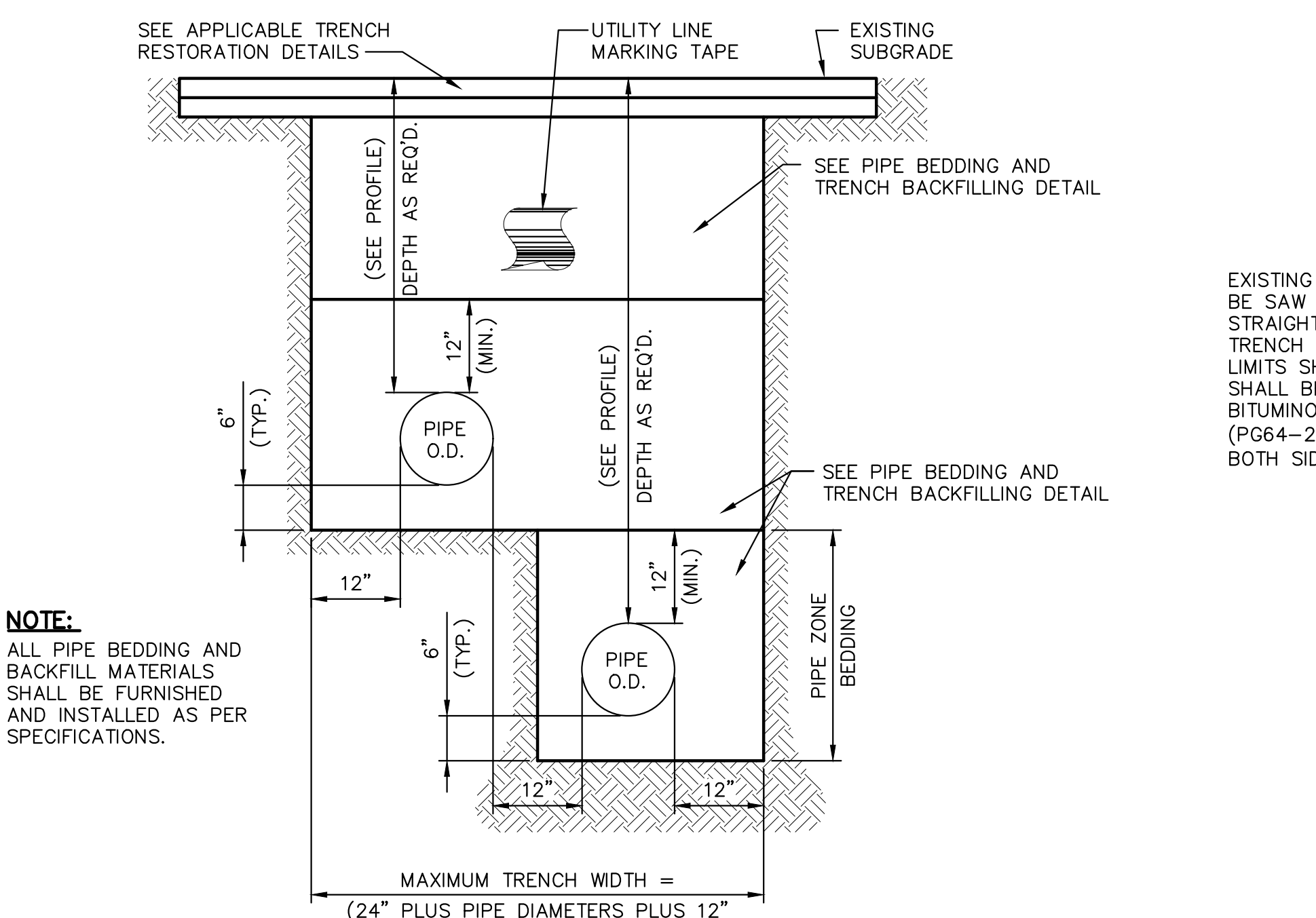
TRENCH RESTORATION - TYPE E
(UNPAVED, GRASS, LAWN AND OTHER
NONSTABILIZED SURFACES)
NO SCALE



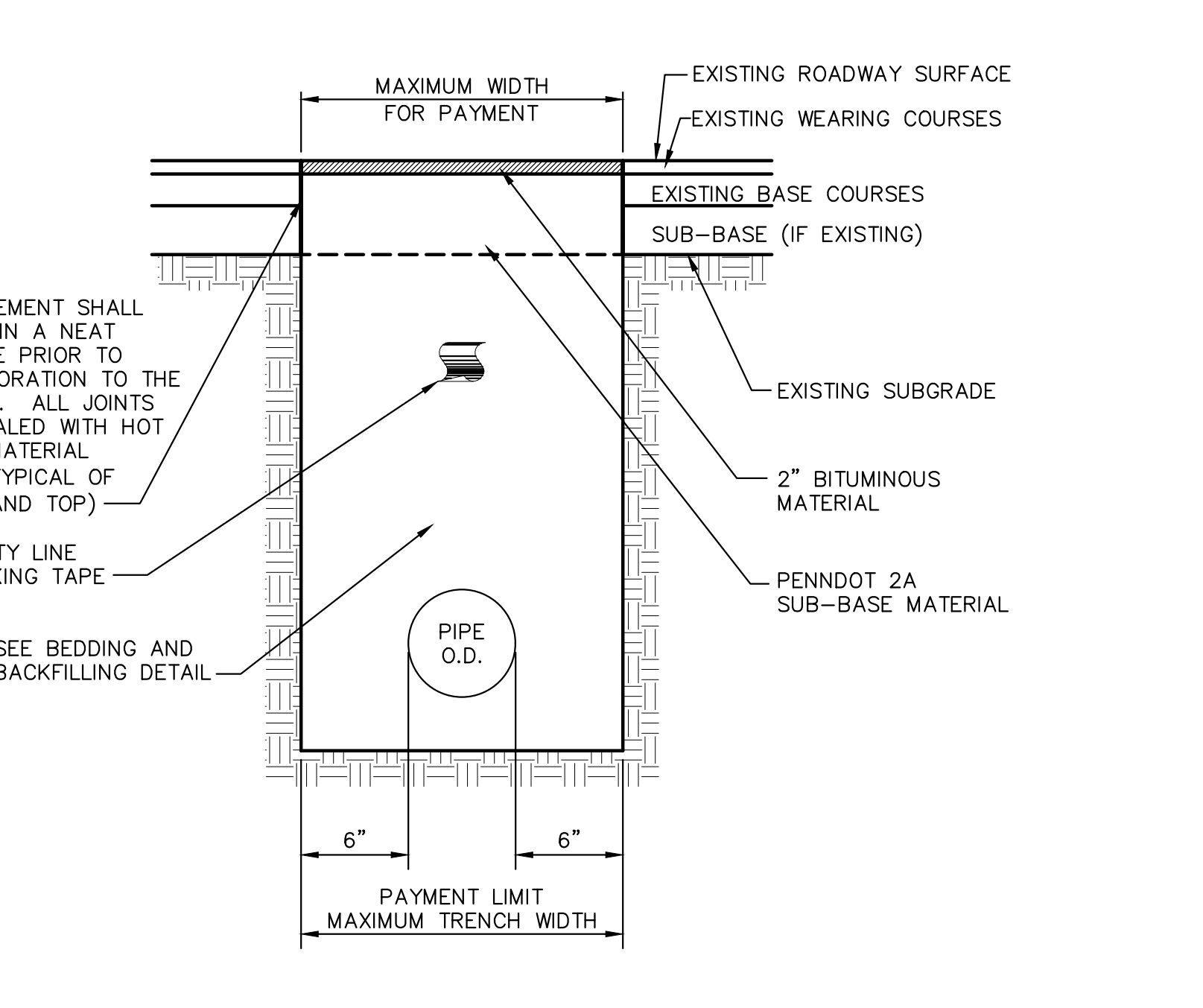
PIPE BEDDING AND TRENCH BACKFILLING
NO SCALE



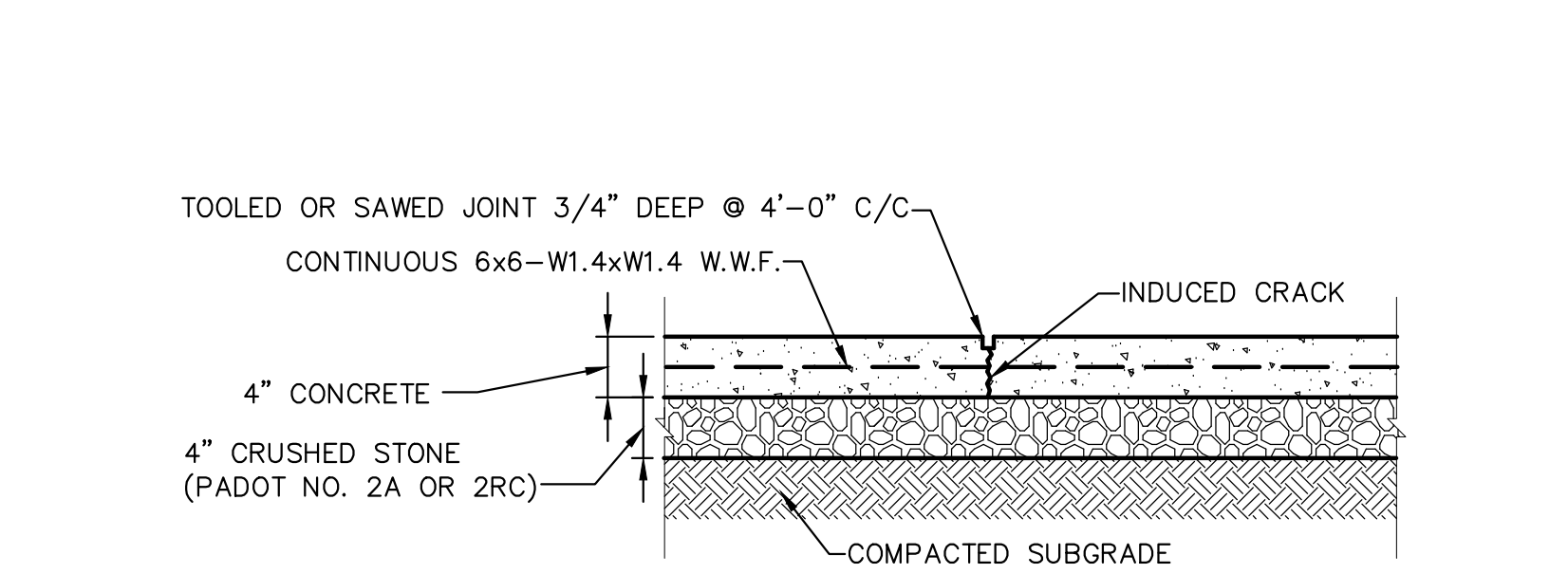
MULTIPLE PIPE TRENCH DETAIL
NO SCALE



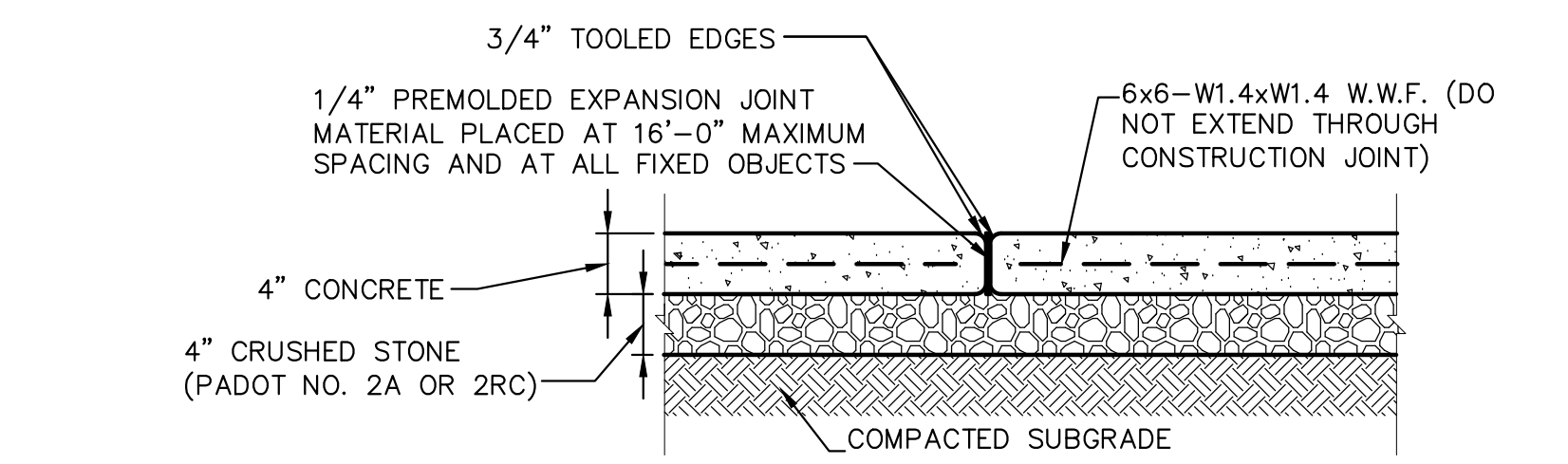
MULTIPLE PIPE TRENCH BENCH DETAIL
NO SCALE



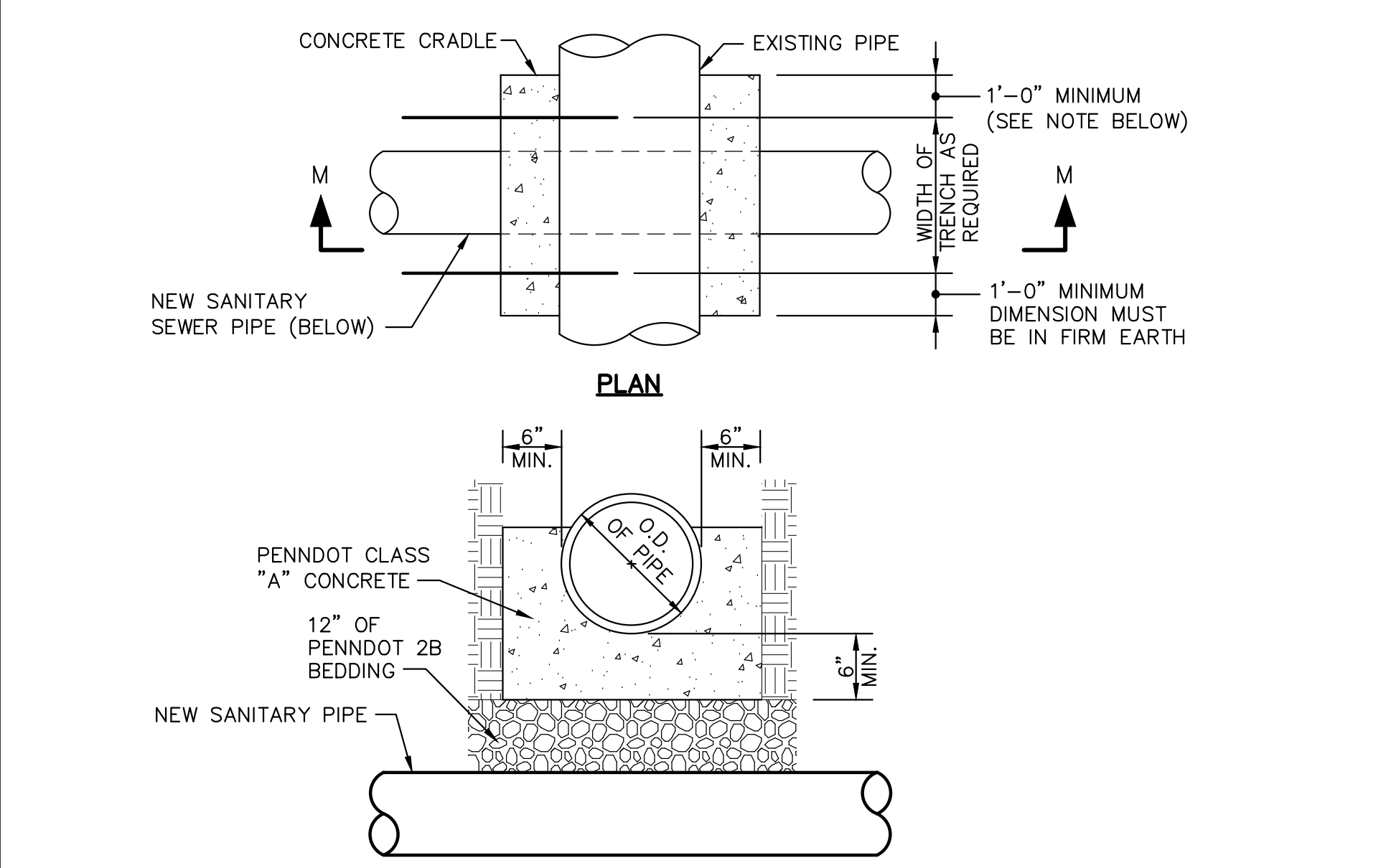
TEMPORARY RESTORATION
(AS REQUIRED)
NO SCALE



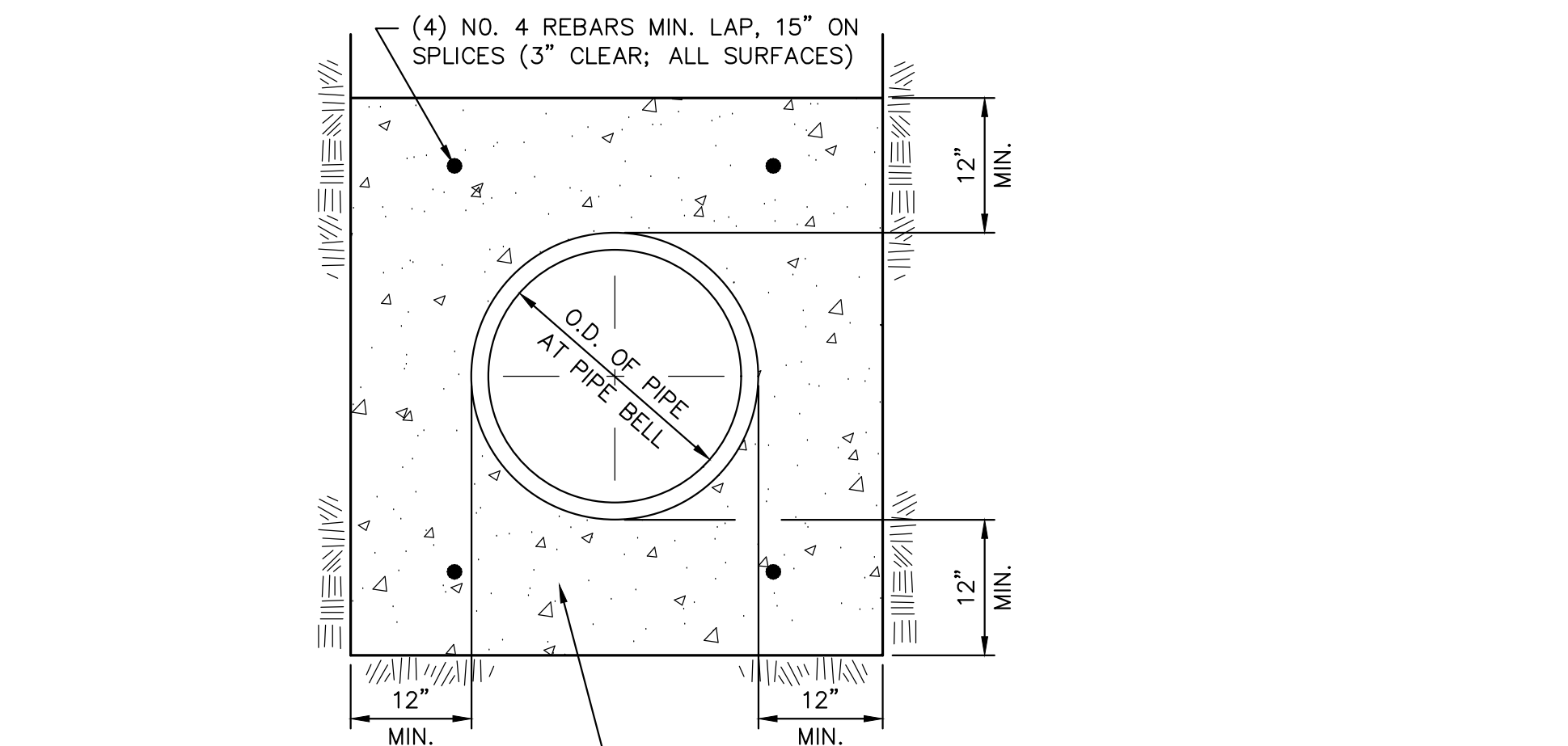
SIDEWALK SCORE JOINT (S.J.)
NO SCALE



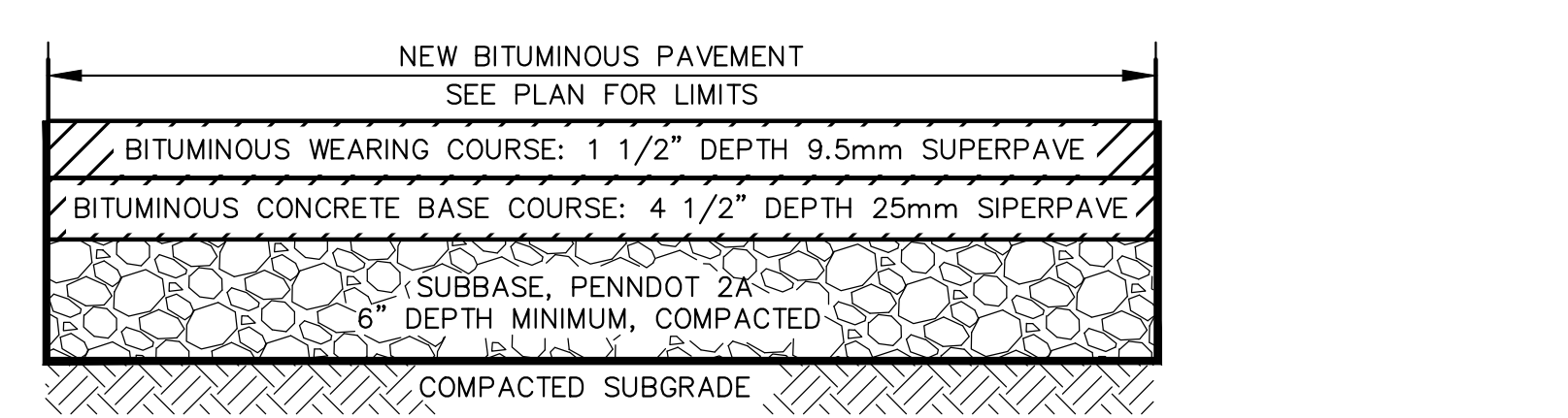
SIDEWALK CONSTRUCTION JOINT (C.J.)
NO SCALE



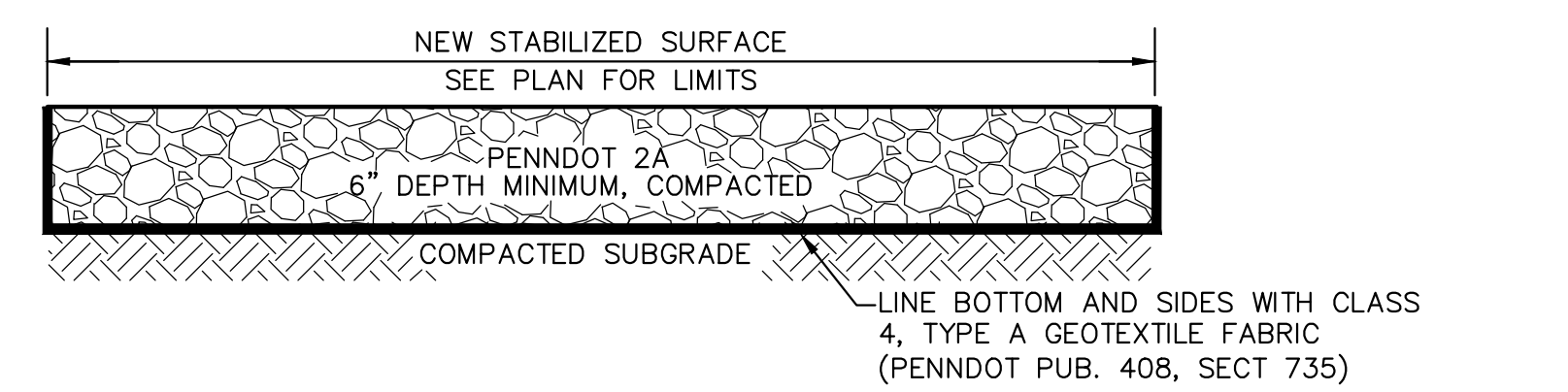
CONCRETE CRADLE DETAIL
NO SCALE



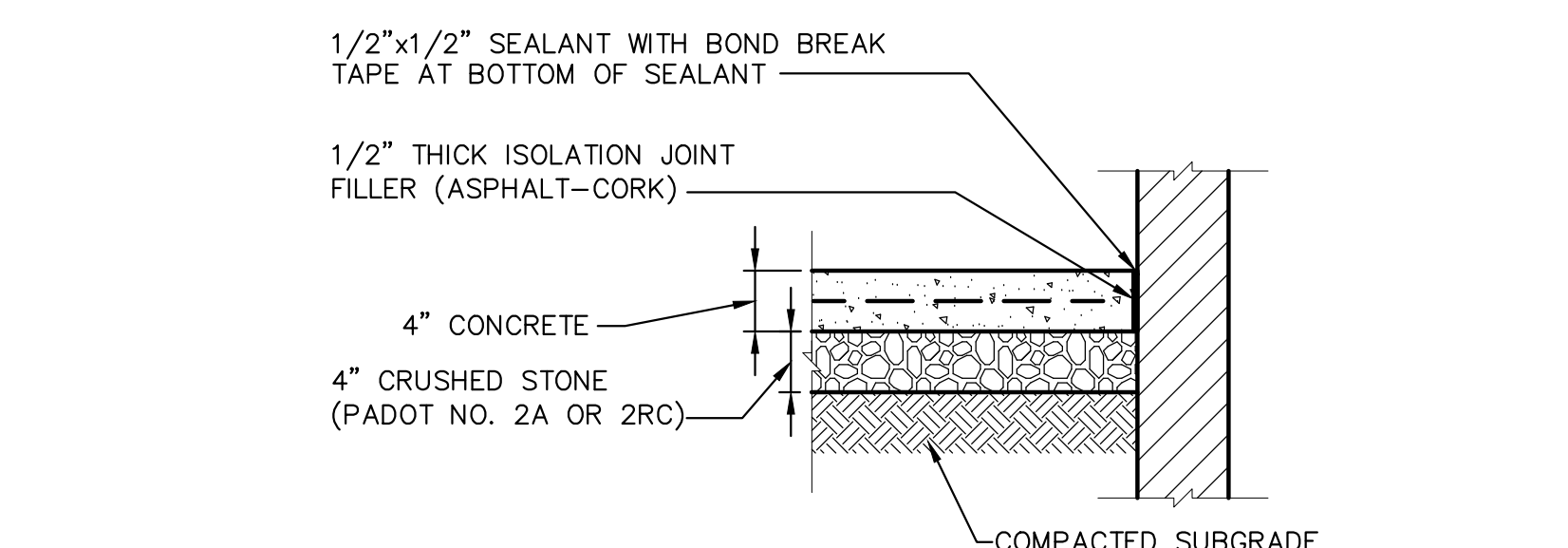
CONCRETE ENCASEMENT DETAIL
NO SCALE



ACCESS ROAD DRIVEWAY/PARKING
TYPICAL SECTION
NO SCALE



STABILIZED SURFACE AREA
TYPICAL SECTION
NO SCALE



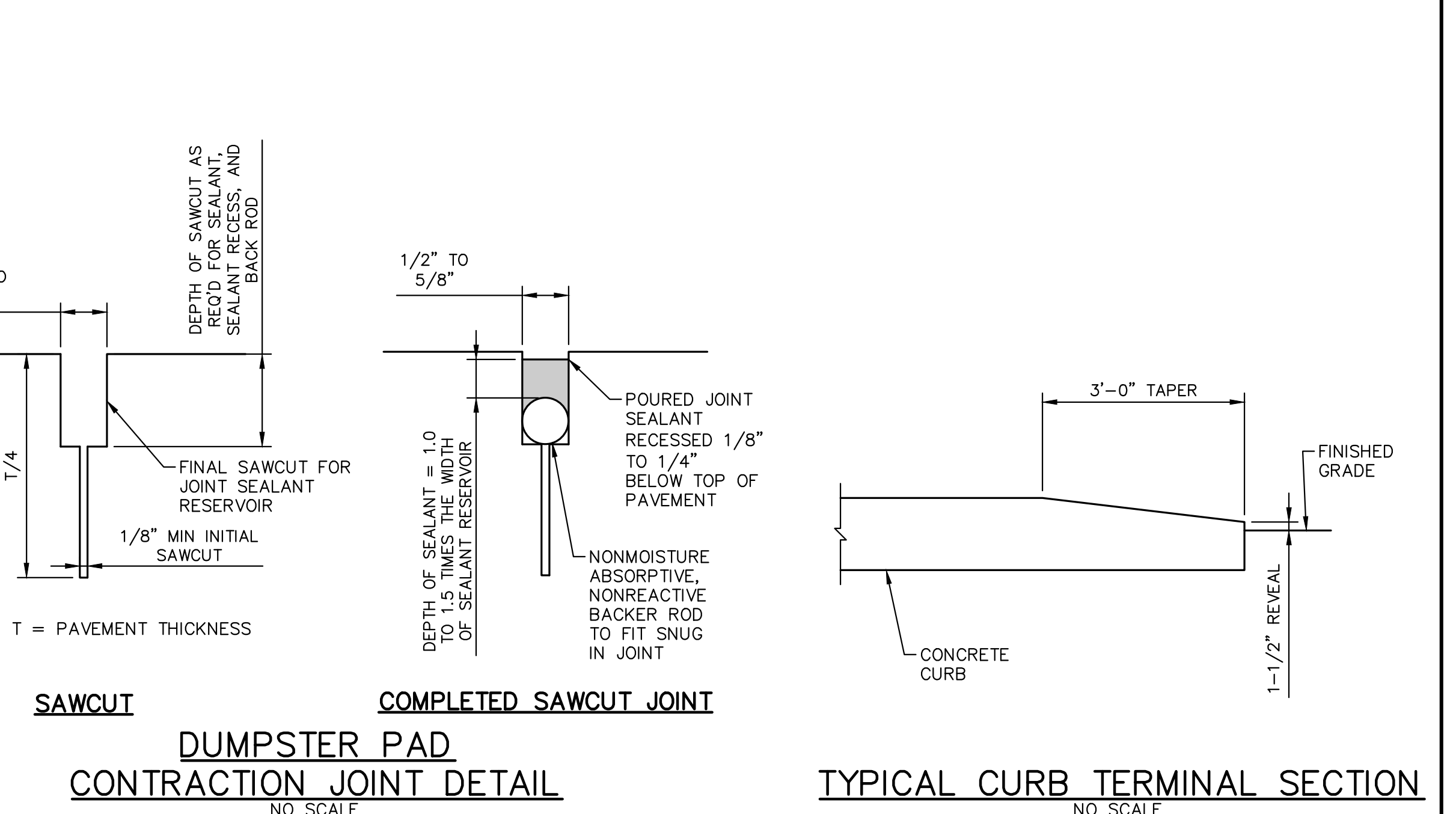
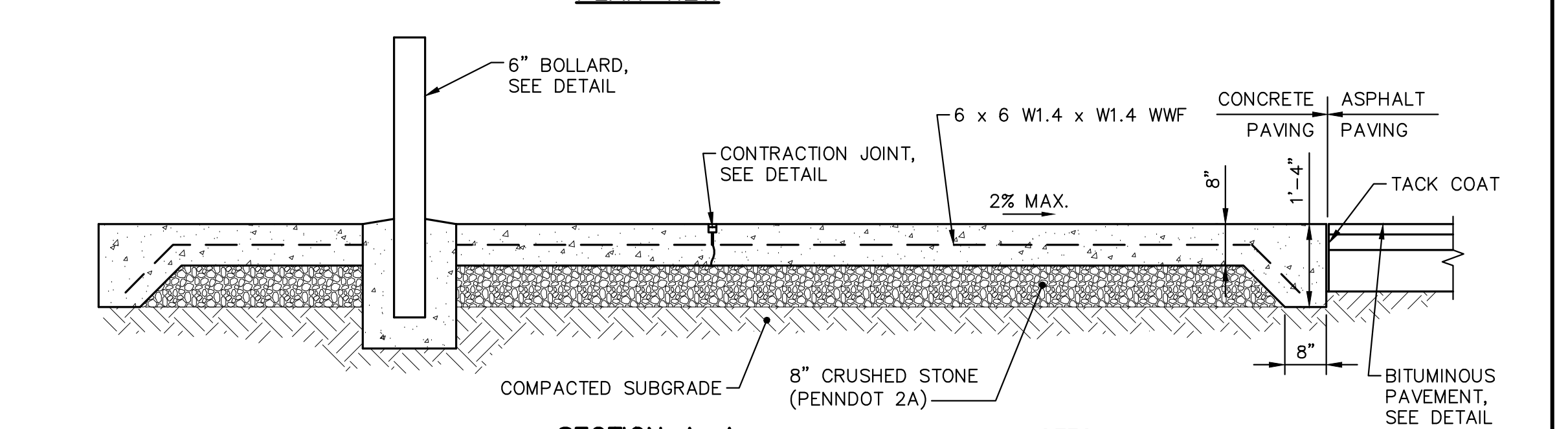
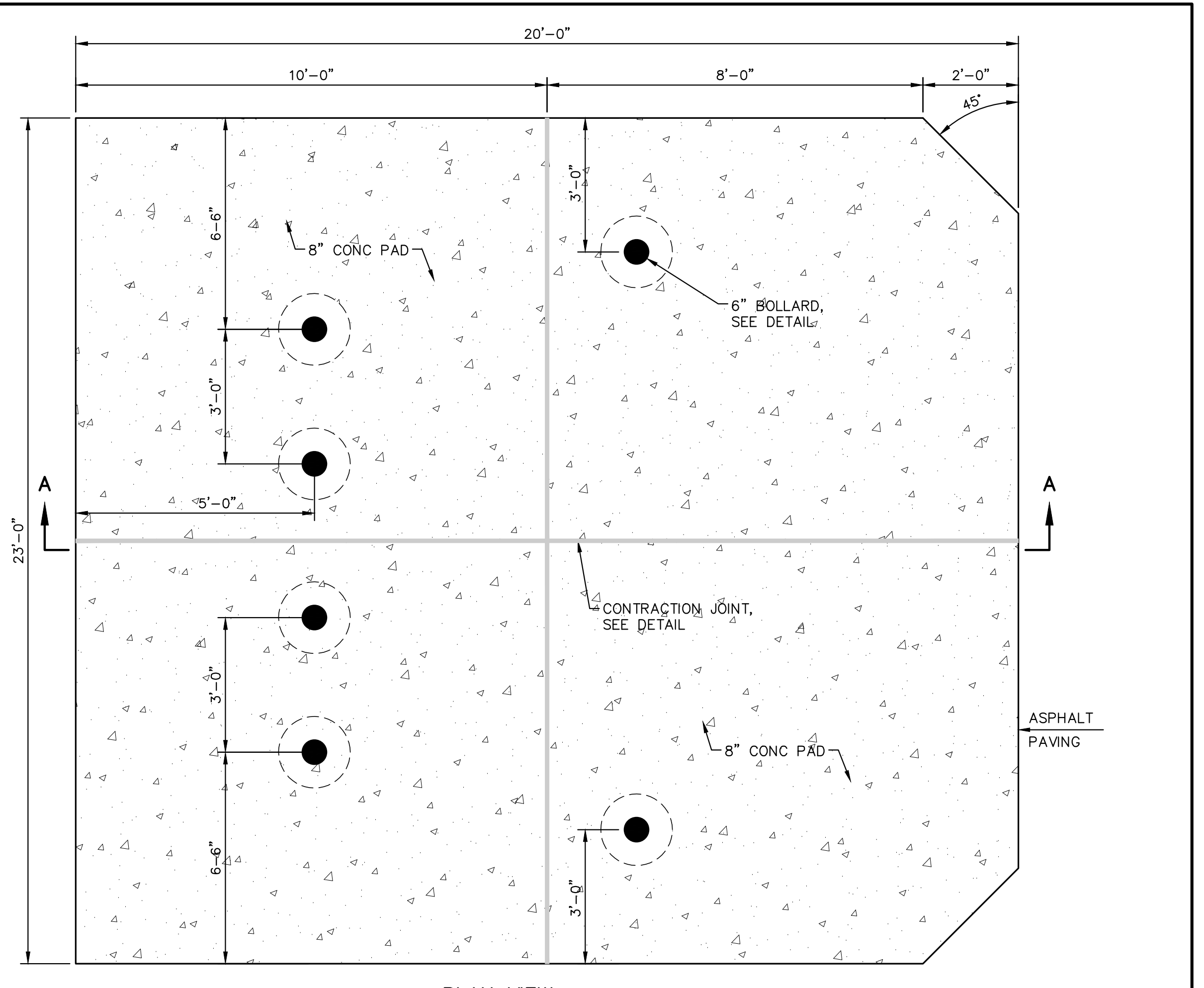
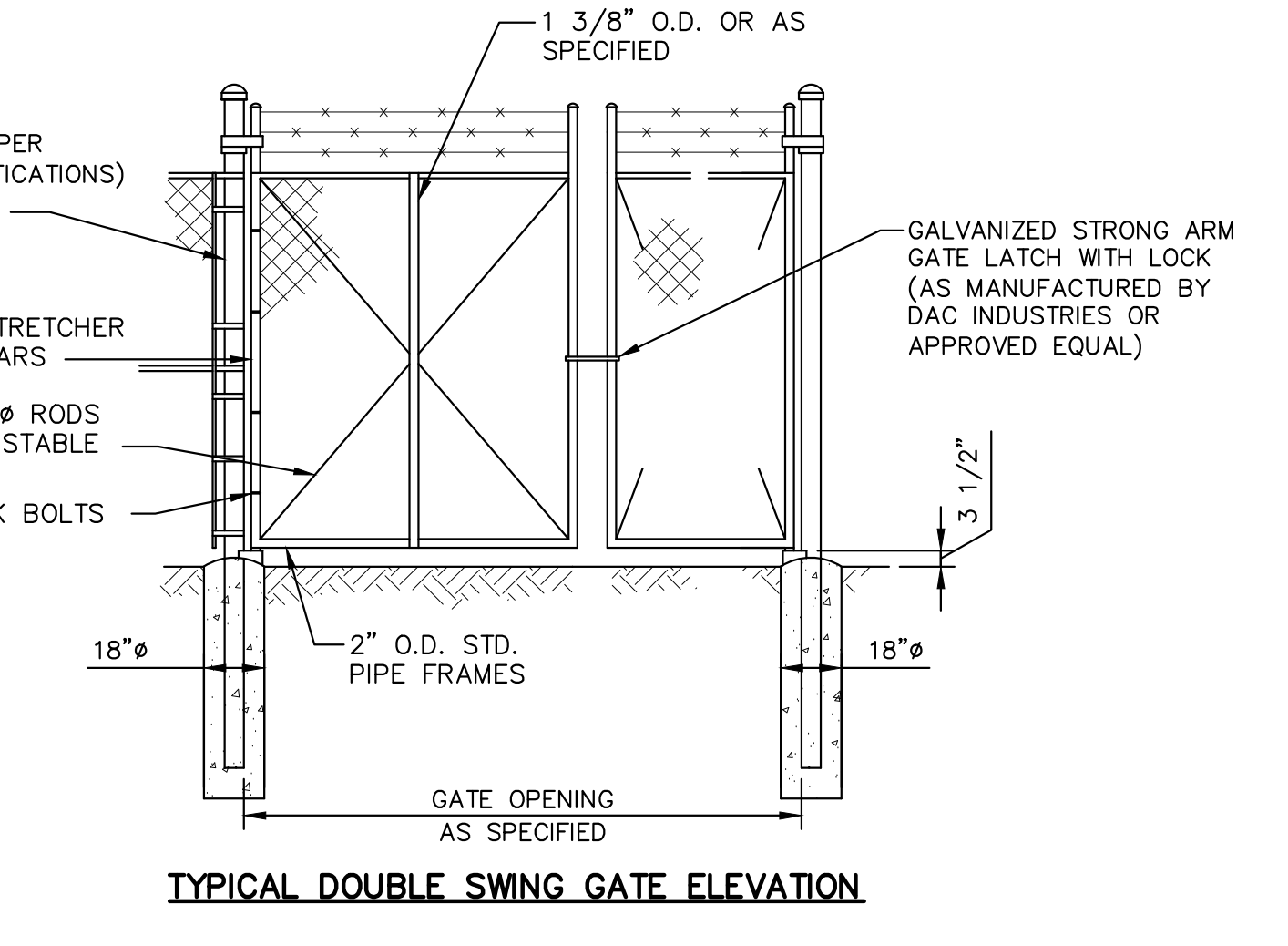
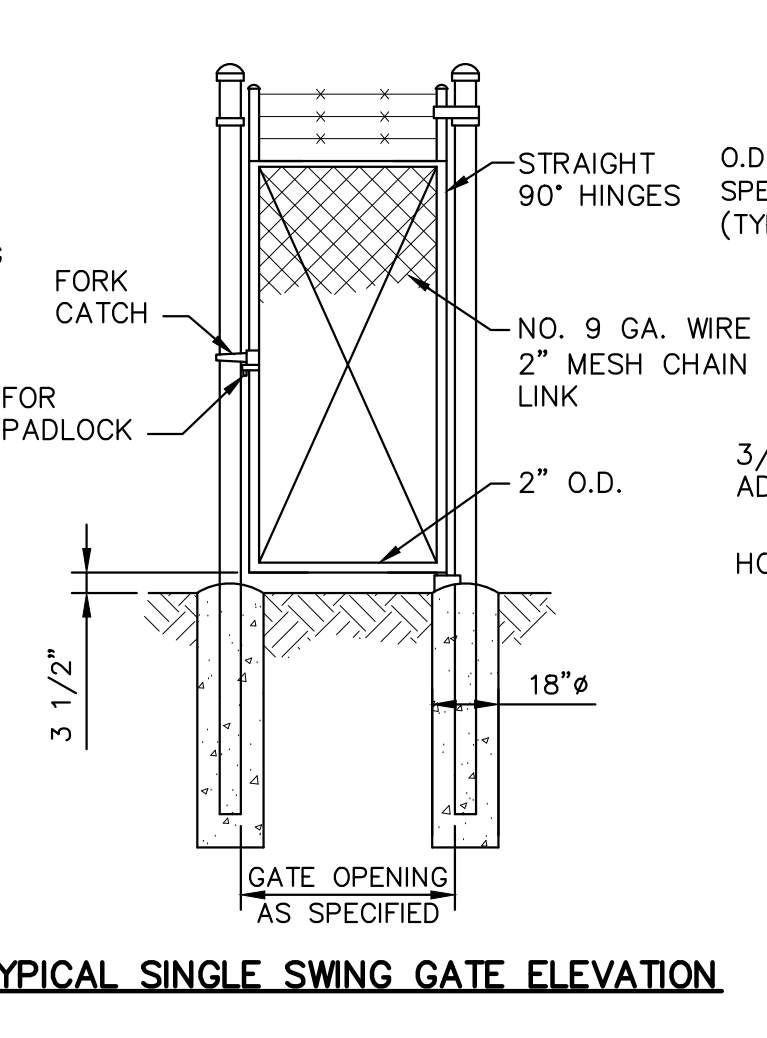
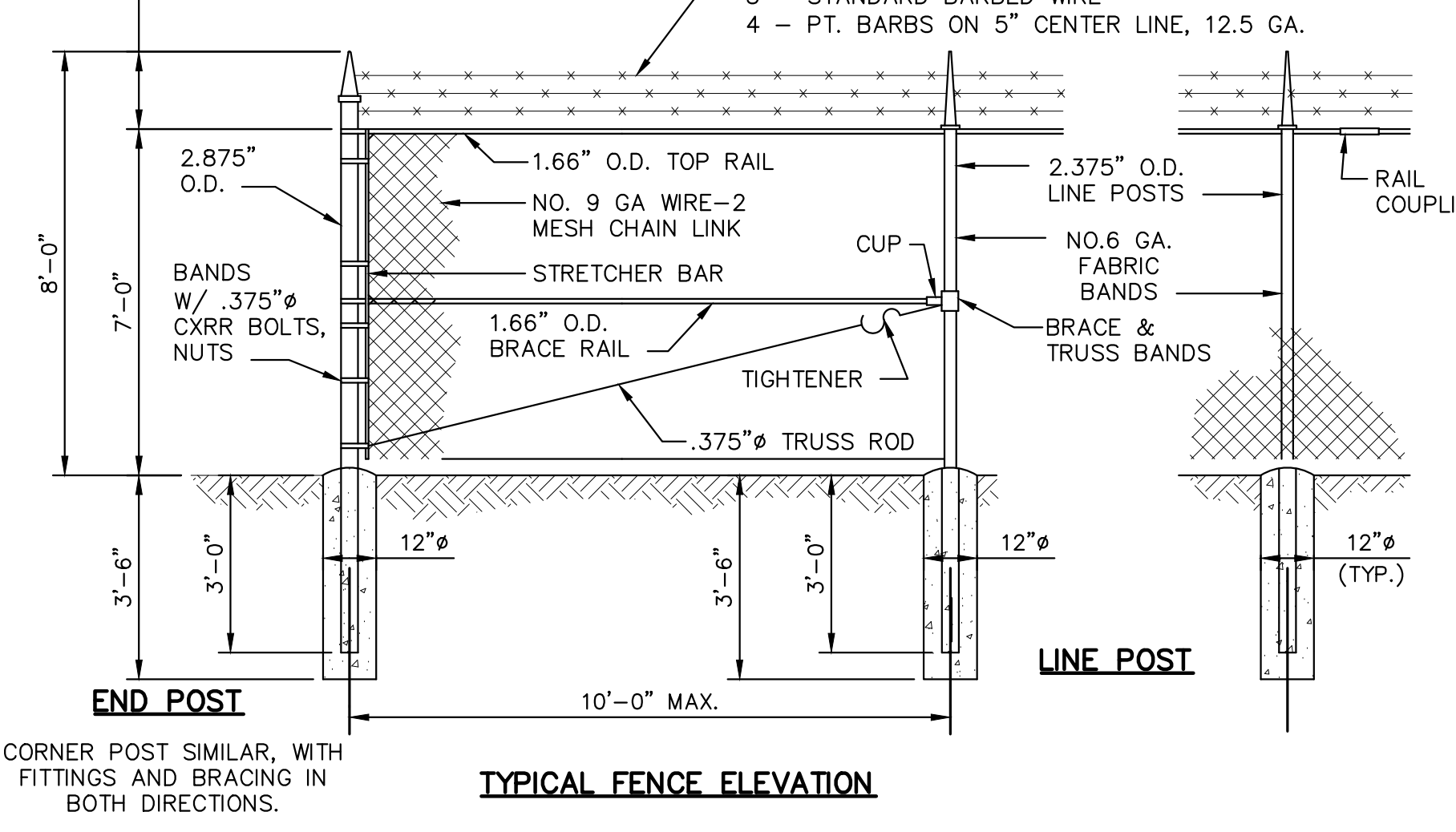
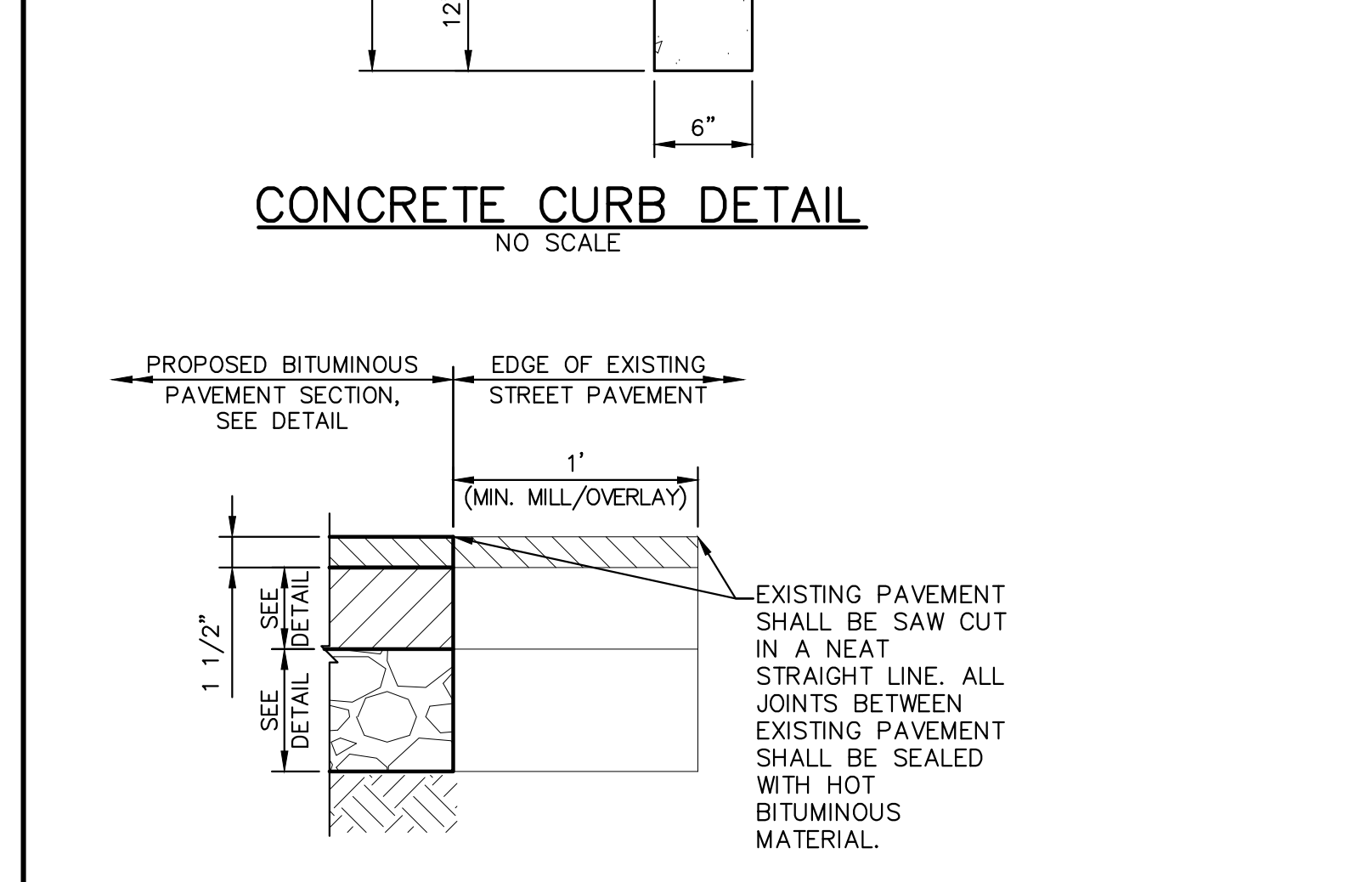
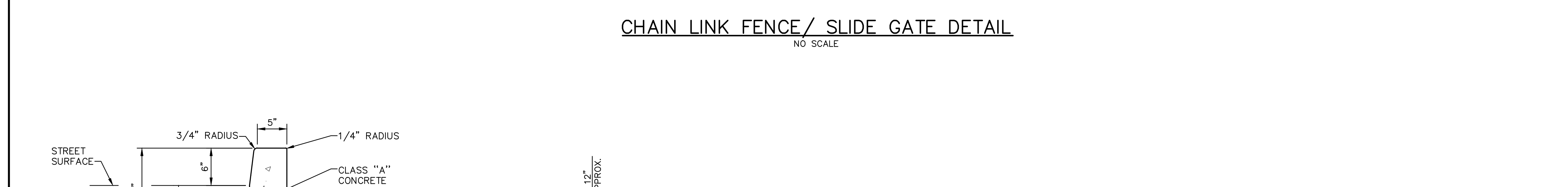
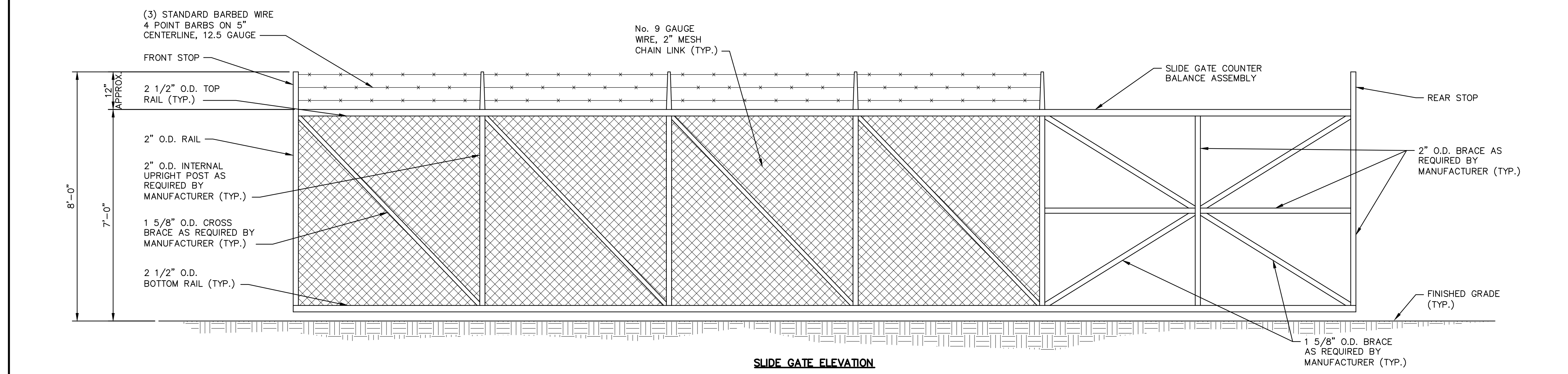
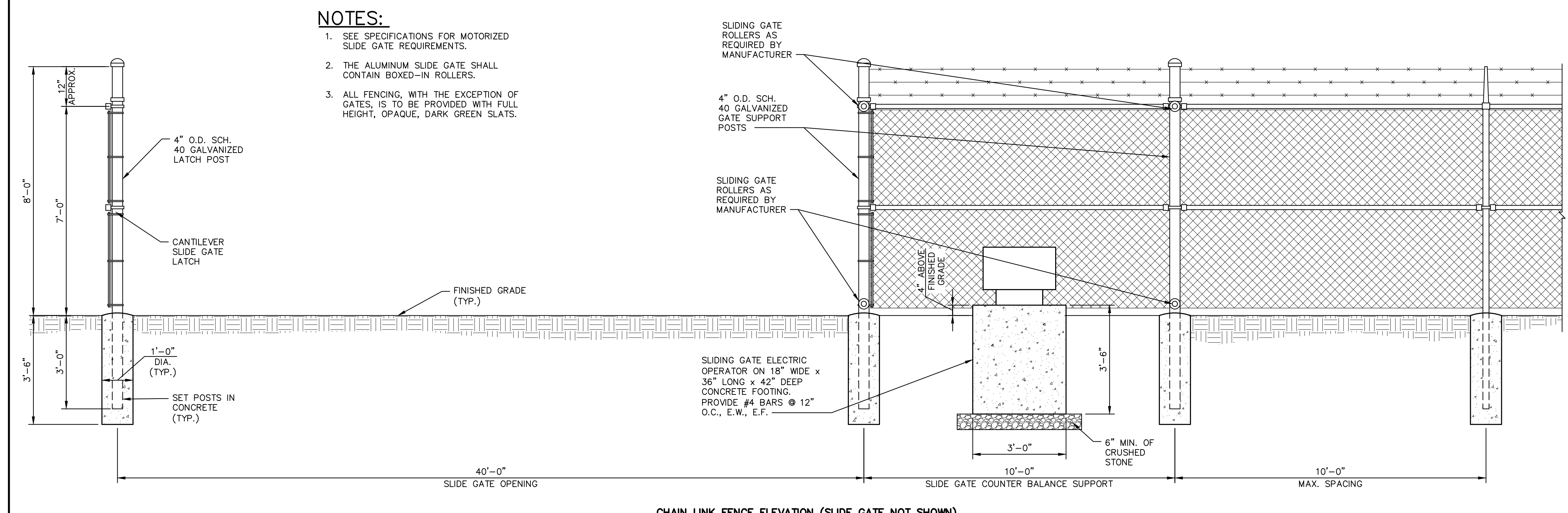
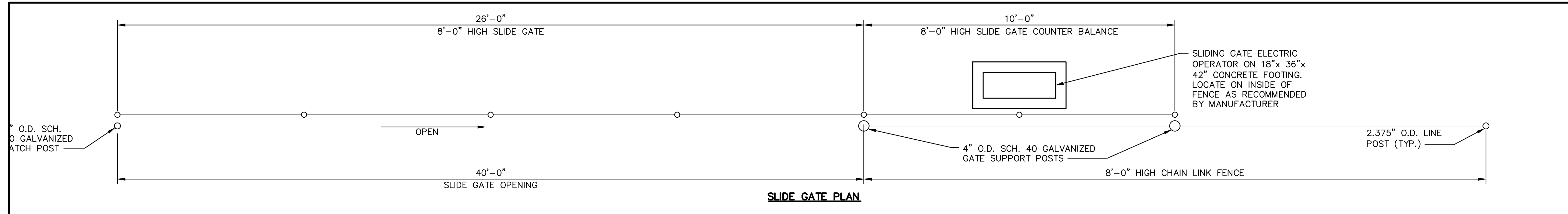
SIDEWALK ISOLATION JOINT (I.J.)
NO SCALE

REVISIONS		
NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS

SITE DETAILS	
STATE COLLEGE BOROUGH WATER AUTHORITY	
NIXON-KOCHER WATER TREATMENT FACILITY	
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA	
DATE: 8/30/19	JOB: 16049
FILE: 16049_LD_014	DRAWN BY: AJL

SEAL	

SHEET NO.	
14	



REVISIONS		
NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS

SITE DETAILS	
STATE COLLEGE BOROUGH WATER AUTHORITY	
NIXON-KOCHER WATER TREATMENT FACILITY	
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA	
DATE: 8/30/19	JOB: 16049
FILE: 16049_LD_015	DRAWN BY: A.J.L.
SCALE: AS SHOWN	CHECKED BY: KWB

	SEAL

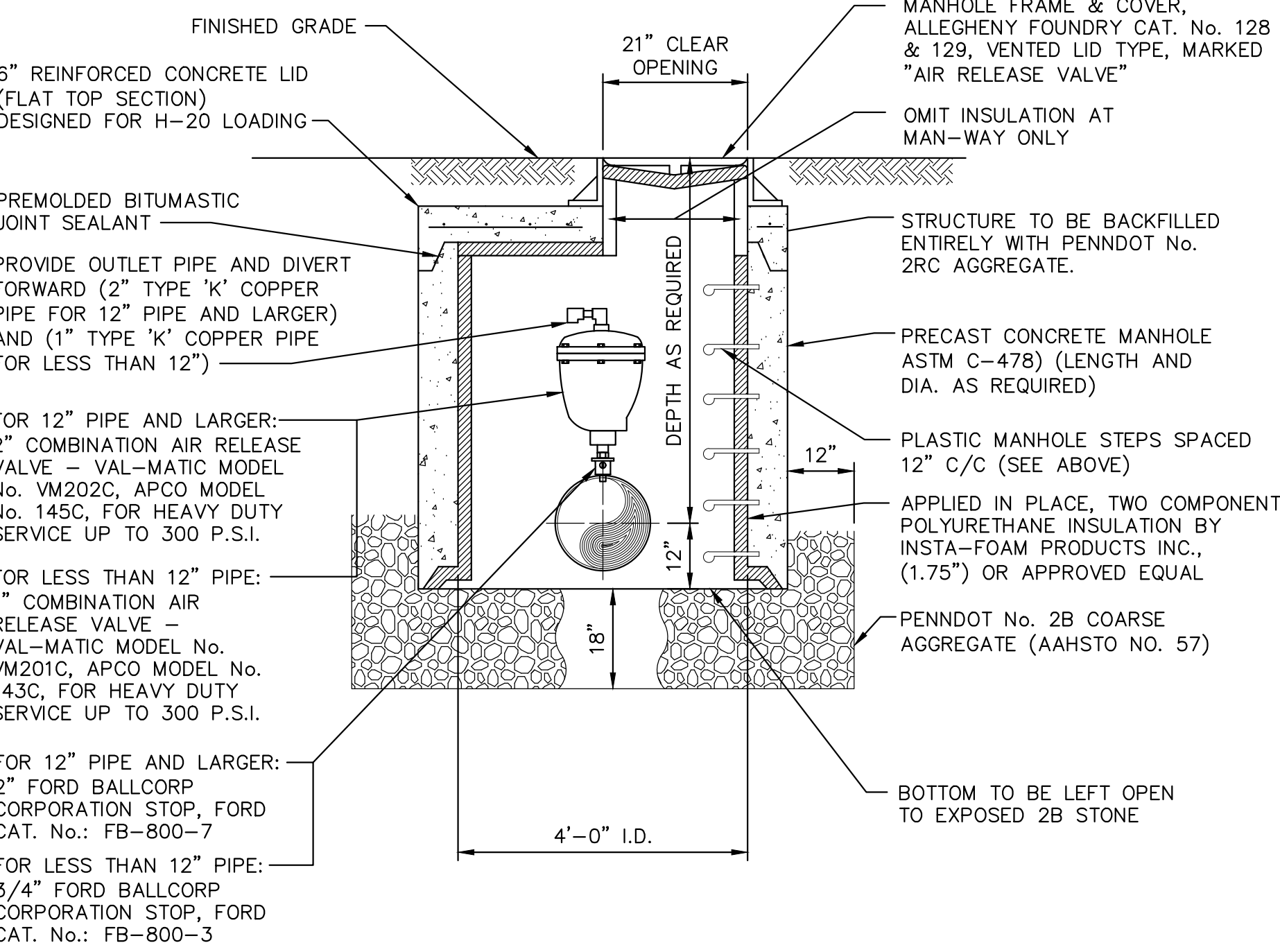
SHEET NO: 15

PLOT CREATED: 8/29/2019 2:42 PM

NOTE:
ALL FERROUS METAL COMPONENTS OF VALVE VAULT TO BE COATED WITH BITUMASTIC COATING SYSTEM AS DIRECTED BY THE ENGINEER.

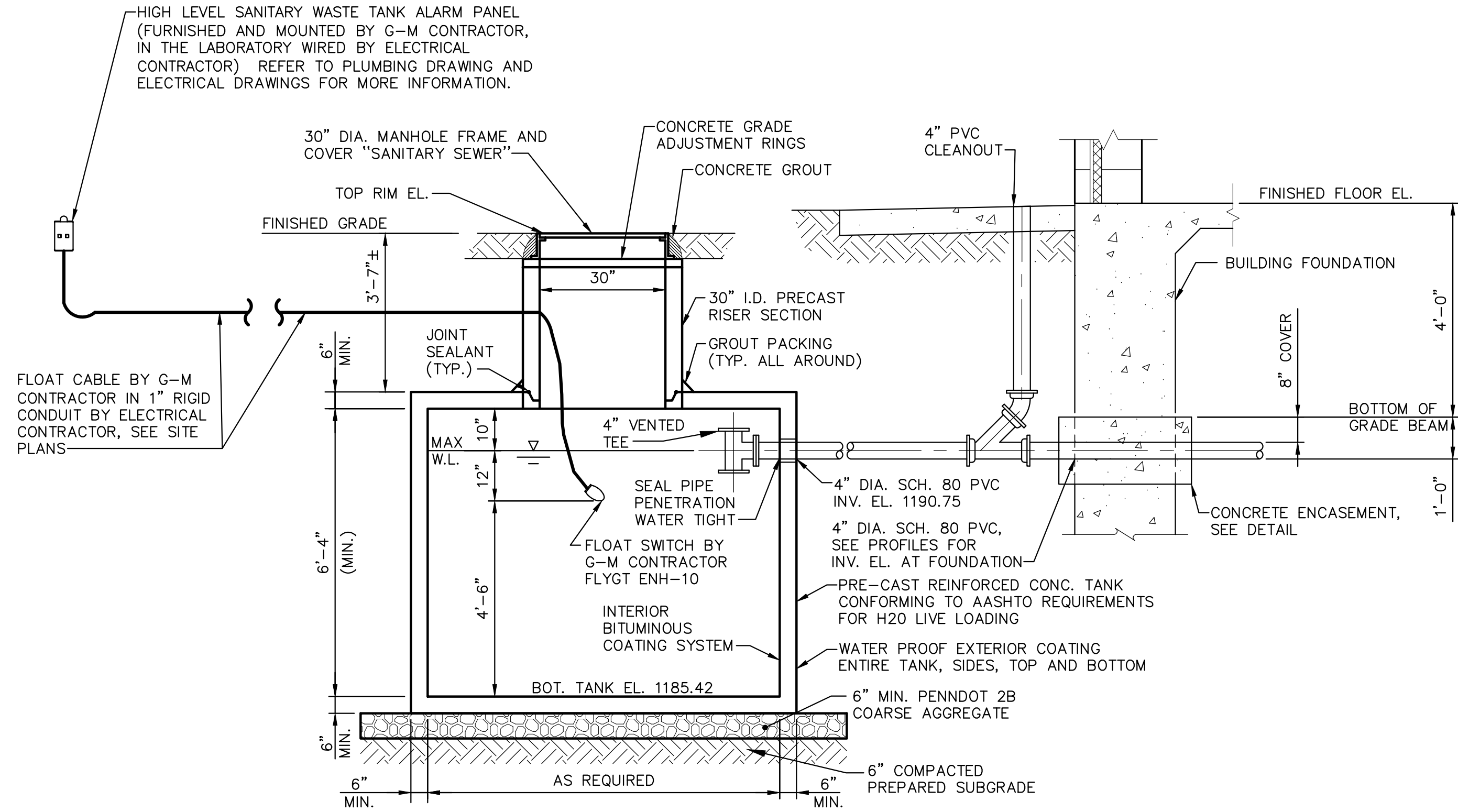
COMBINATION AIR RELEASE/VACUUM VALVE (SEE BELOW)

PROVIDE NEAT HOLE IN MANHOLE WALL TO ACCOMMODATE WATERLINE PIPE (SIZE AS REQUIRED) ANNULAR SPACE BETWEEN PIPE AND MANHOLE WALL TO BE FILLED WITH SUITABLE NON-SHRINK GROUT (TYPICAL)



ELEVATION

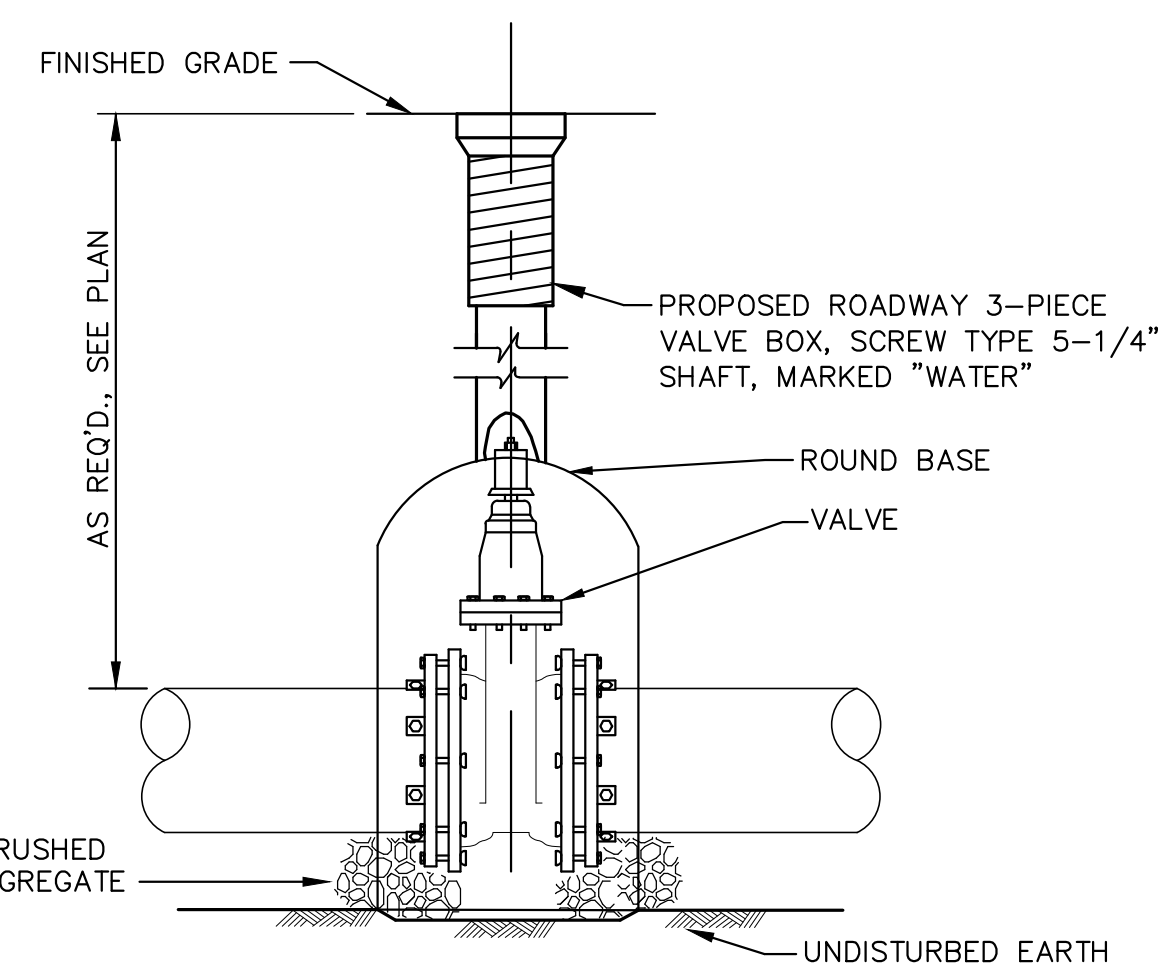
COMBINATION AIR VALVE - ON WATER MAIN
NO SCALE



NOTES:

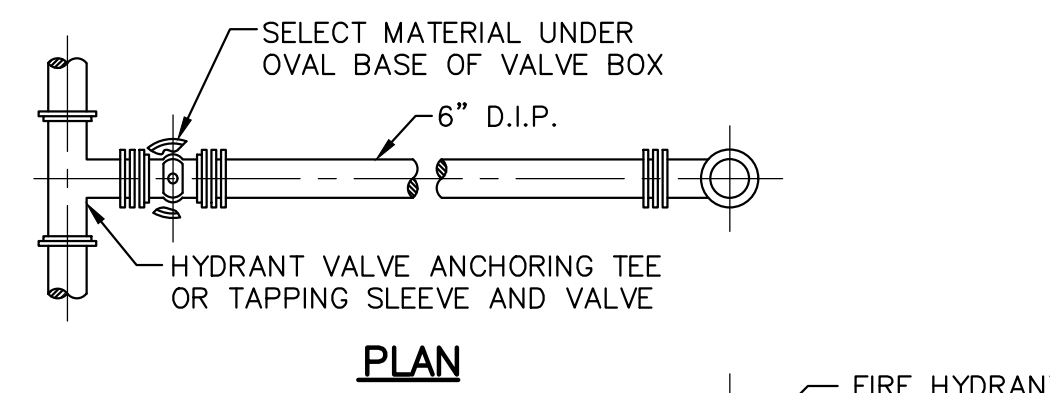
- DIMENSIONS MAY VARY TO SUIT MANUFACTURER'S STANDARDS FOR A 5,000 GALLON CAPACITY.
- ENTIRE TANK MUST BE WATER TIGHT.
- SEE SITE PLAN FOR LOCATION.
- PROVIDE MANUFACTURER'S STANDARD INTERIOR PROTECTIVE COATING FOR SEWAGE EXPOSURE AND EXTERIOR COATING FOR WATERPROOFING AS NOTED. CONFIRM WITH ENGINEER BEFORE FABRICATION.
- G-M CONTRACTOR SHALL FURNISH/MOUNT FLOAT, ALARM PANEL, FLOAT CABLE, ELECTRICAL CONTRACTOR SHALL WIRE ALARM PANEL TO FLOAT. NORMALLY OPEN CONTACT FOR FLOAT SHALL CLOSE UPON A HIGH LEVEL CONDITION.

5,000 GALLON CAPACITY SANITARY WASTEWATER HOLDING TANK
NO SCALE



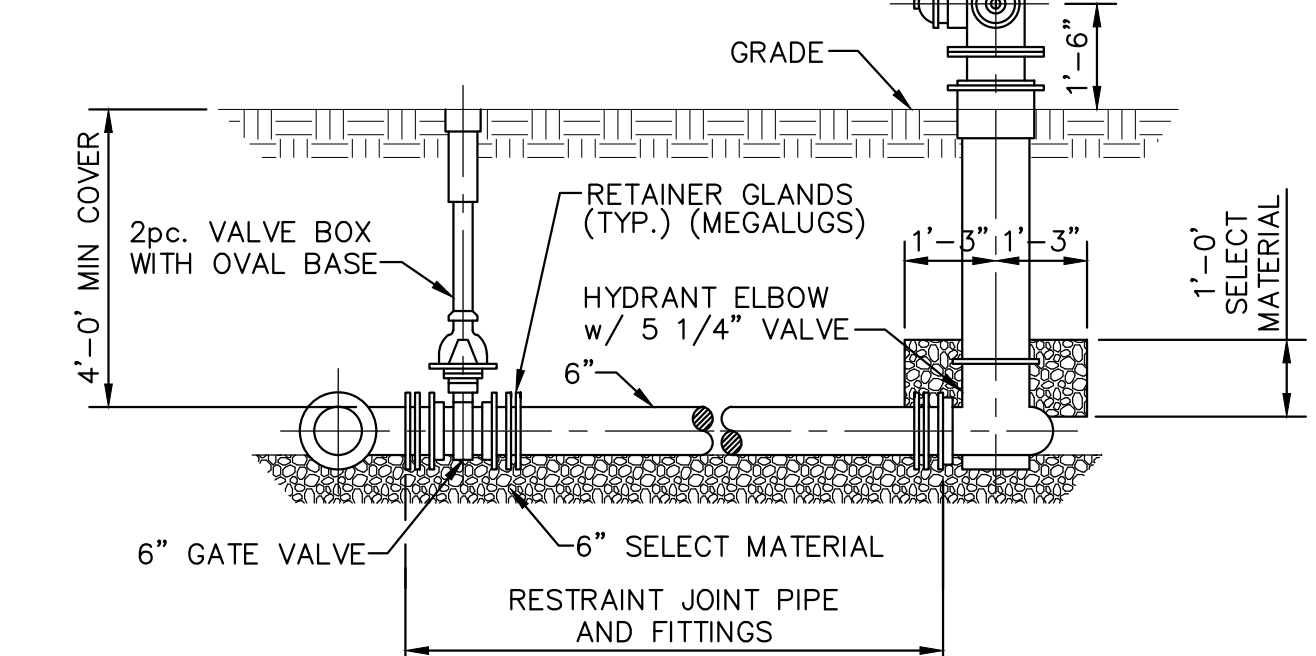
- NOTES:**
- VALVE BOX NOT TO REST OR COME IN CONTACT WITH VALVE.
 - TYPICAL FOR ALL CORPORATION AND CURB STOPS, EXCEPT FIRE SERVICE ENTRANCE.

TYPICAL ROADWAY VALVE BOX (RVB) DETAIL
NO SCALE



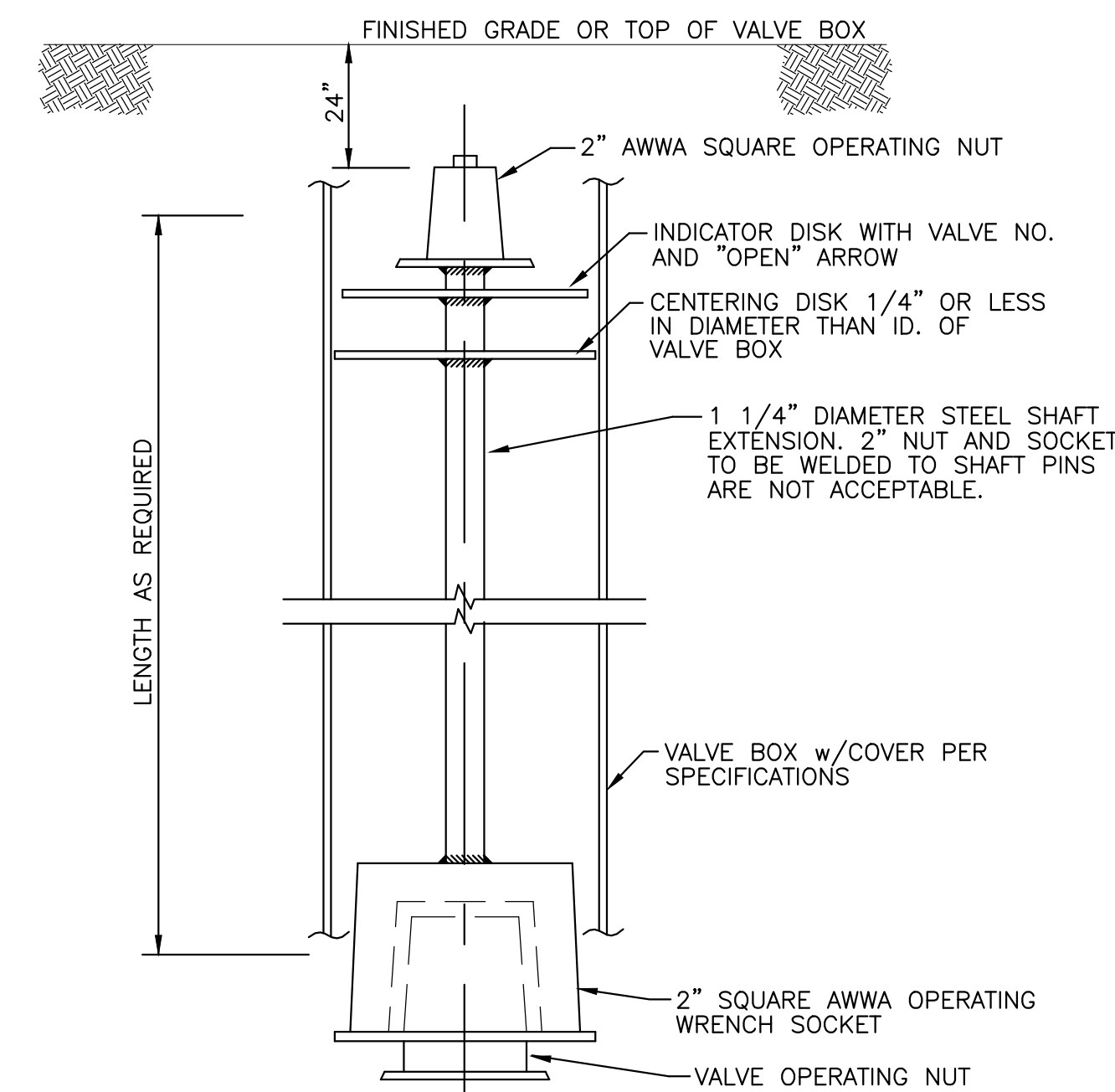
PLAN

NOTE:
DRAIN HOLE IN HYDRANT MUST NOT BE OBSTRUCTED WITH CONCRETE.



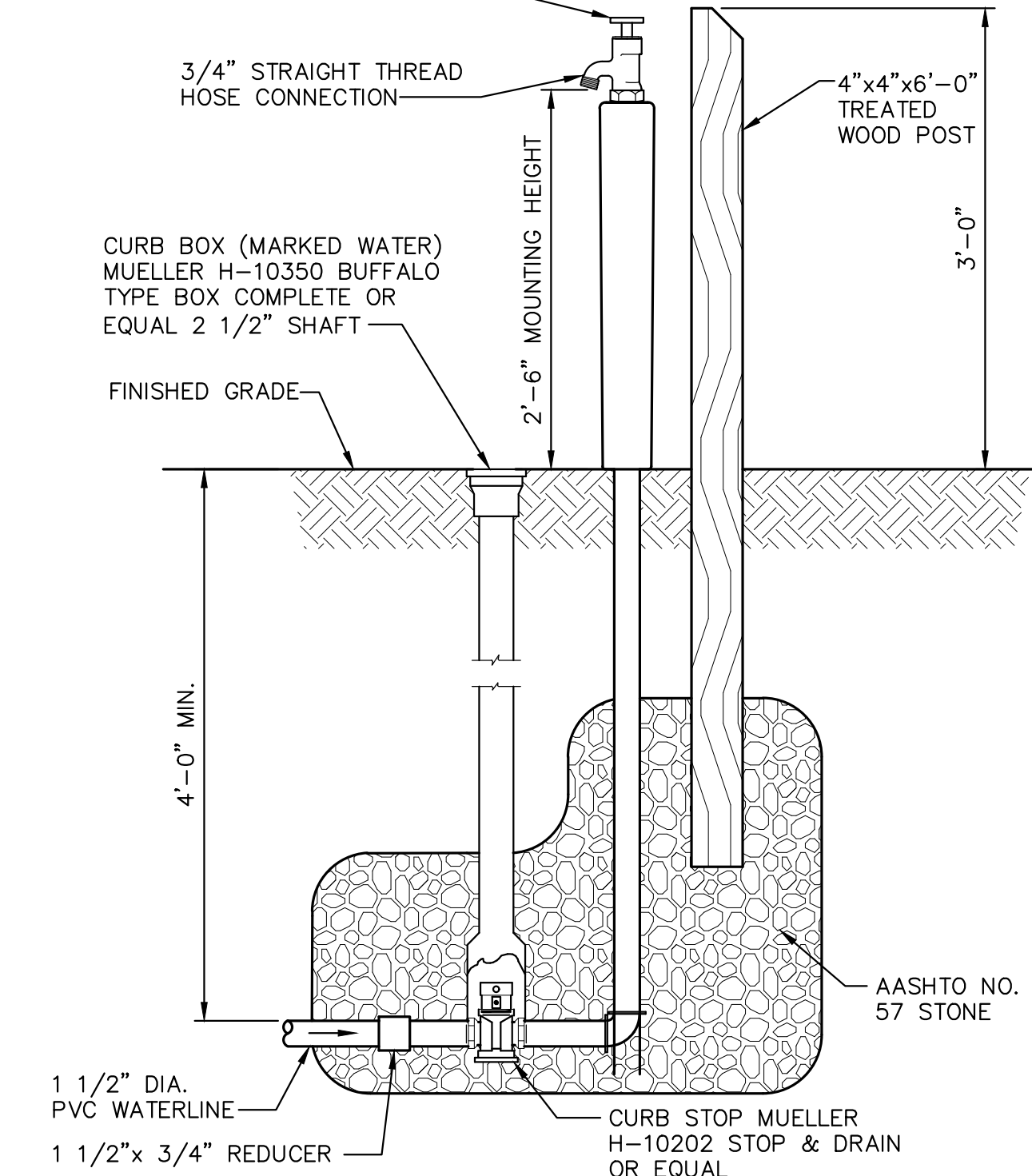
ELEVATION

TYPICAL FIRE HYDRANT INSTALLATION DETAIL
NO SCALE

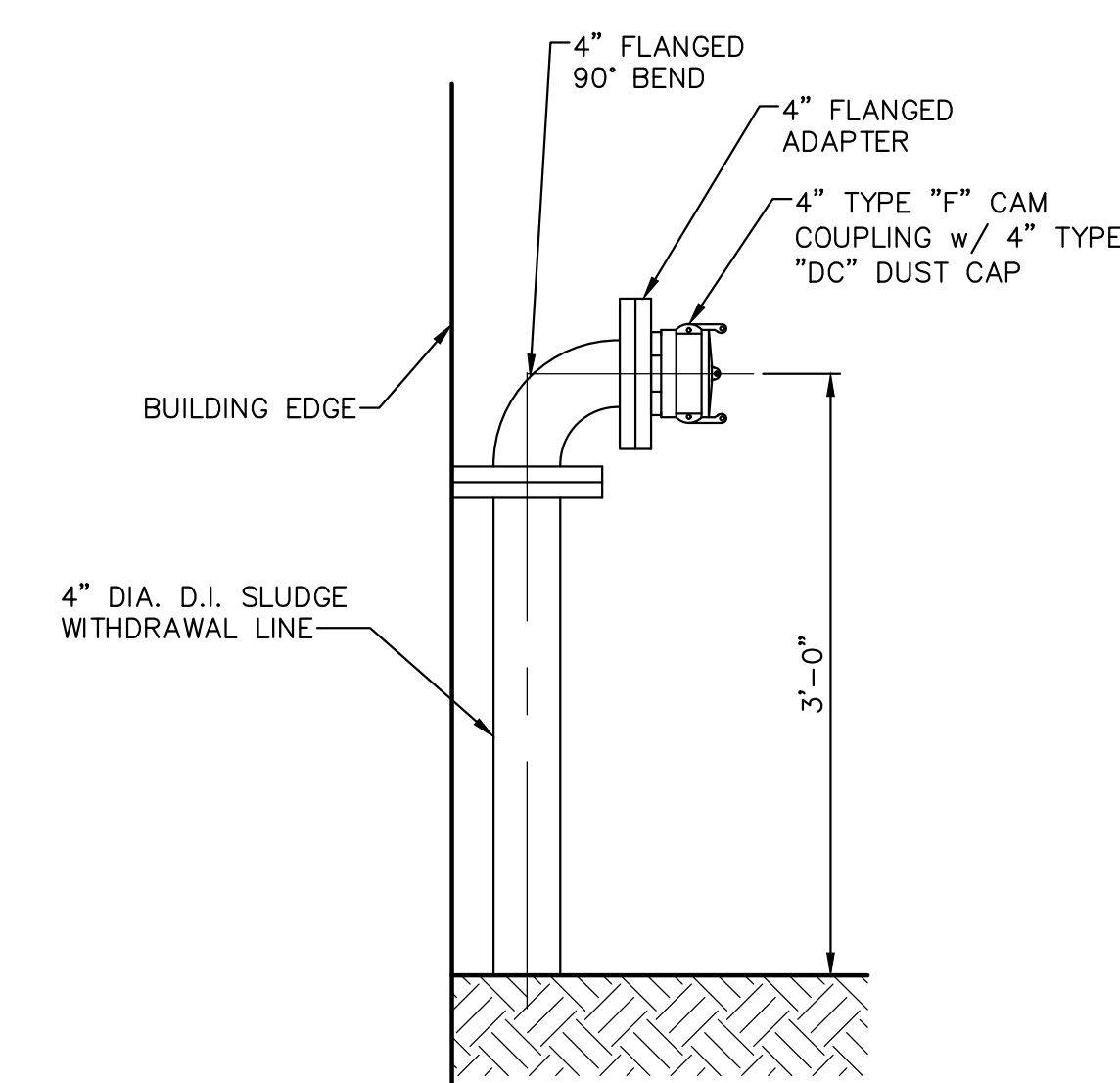


EXTENDED VALVE OPERATOR
NO SCALE

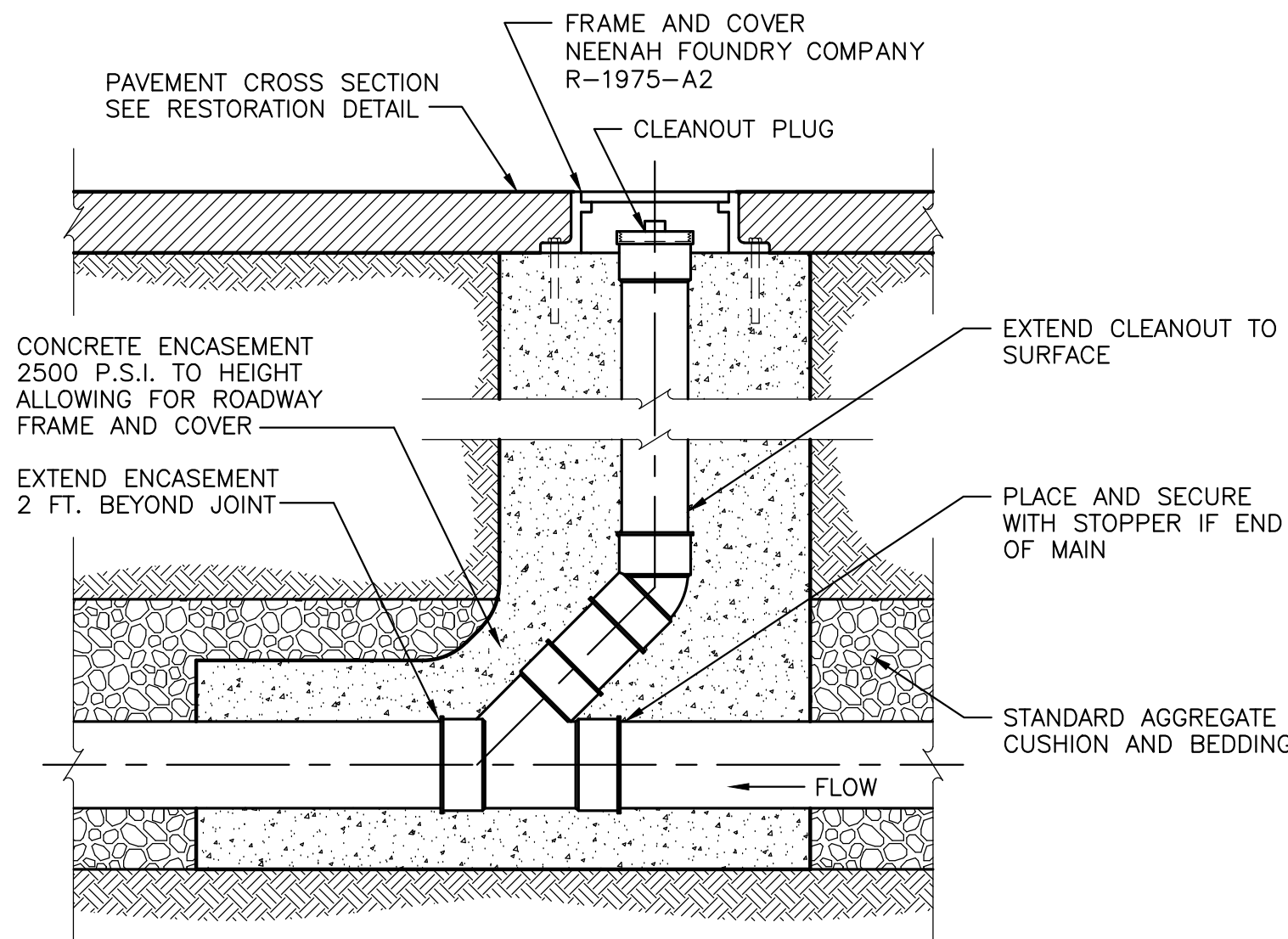
NON-FREEZE POST HYDRANT, ZURN MODEL NO. Z-1385 OR APPROVED EQUAL. ATTACH TO POST WITH STAINLESS STEEL CLAMPS AND HARDWARE



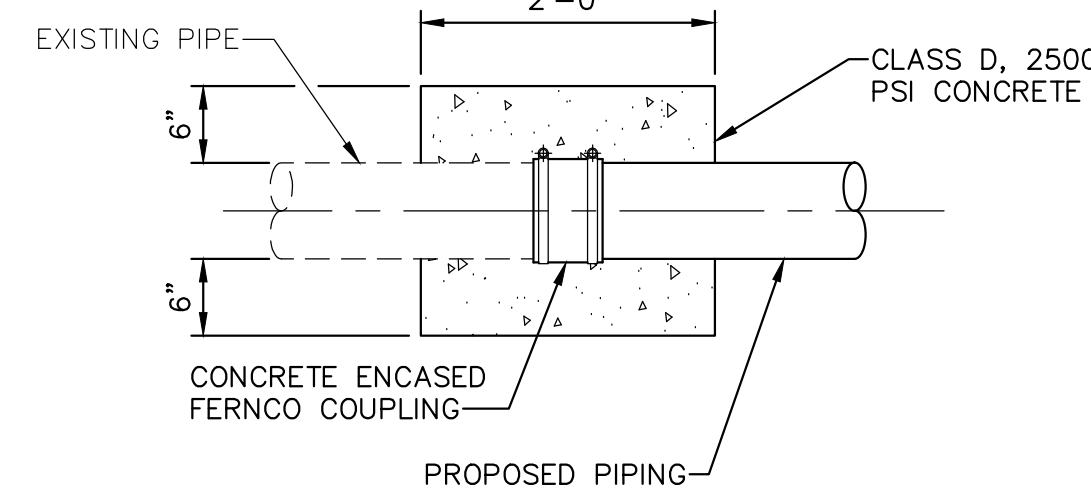
NON-FREEZE YARD (POST) HYDRANT DETAIL
NO SCALE



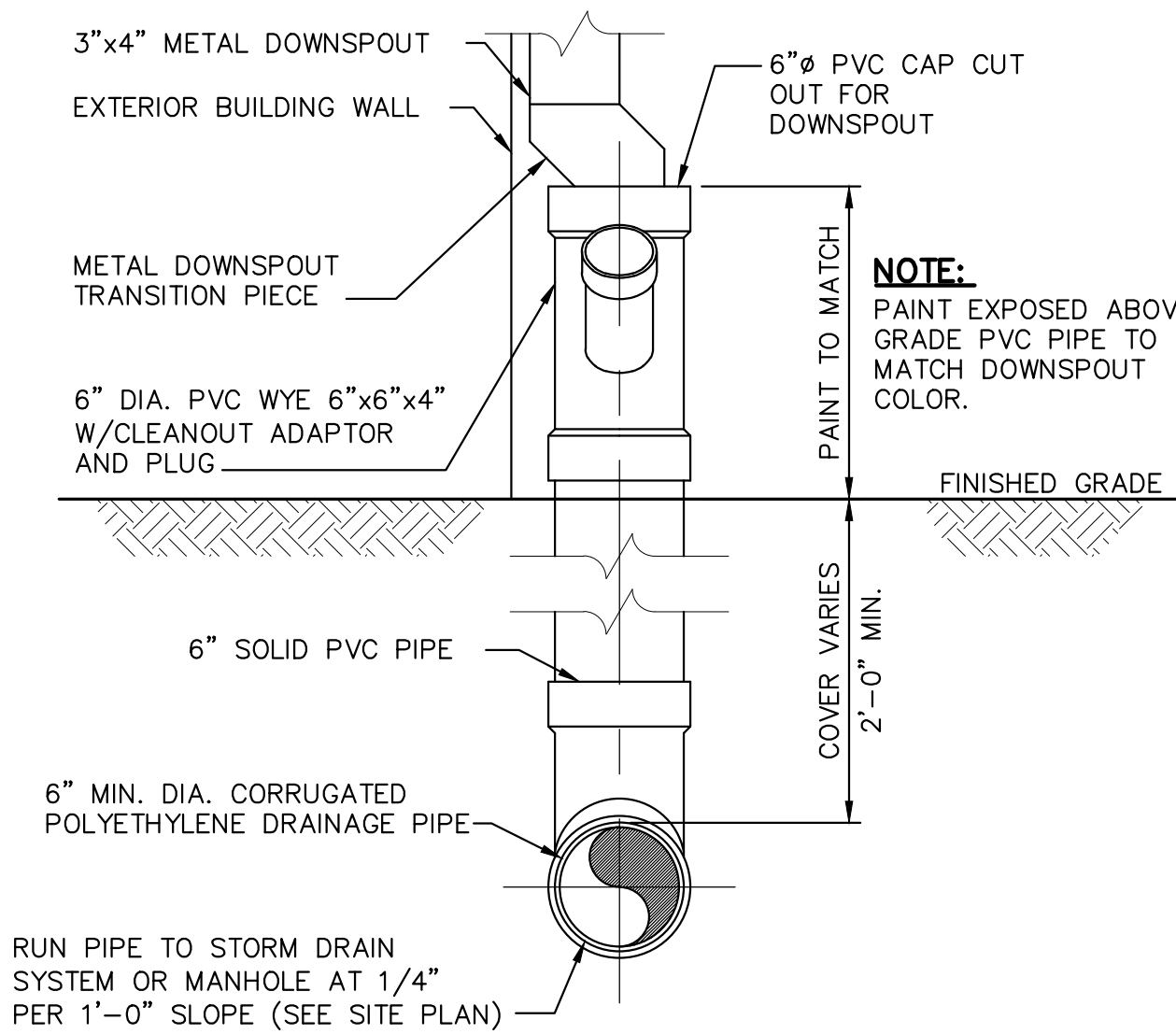
SLUDGE WITHDRAWAL TRUCK CONNECTION DETAIL
NO SCALE



CLEANOUT CONSTRUCTION DETAIL
NO SCALE



EXISTING SYSTEM CONNECTION
NO SCALE



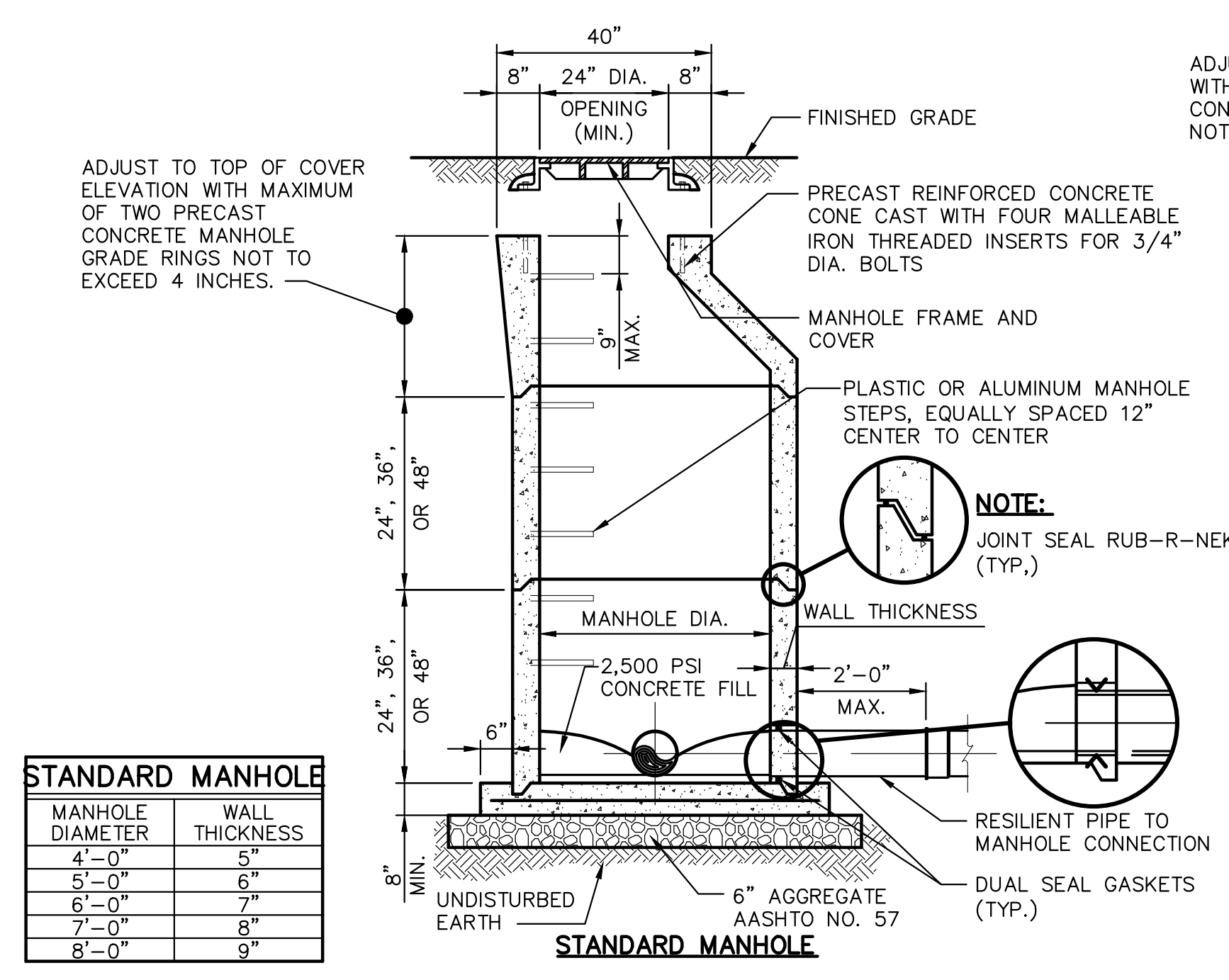
DOWNSPOUT AND STORM DRAIN DETAIL
NO SCALE

REVISIONS		
NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS

SITE DETAILS	
STATE COLLEGE BOROUGH WATER AUTHORITY	
NIXON-KOCHER WATER TREATMENT FACILITY	
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA	
DATE: 8/30/19	JOB: 16049
FILE: 16049_LD_016	DRAWN BY: AJL

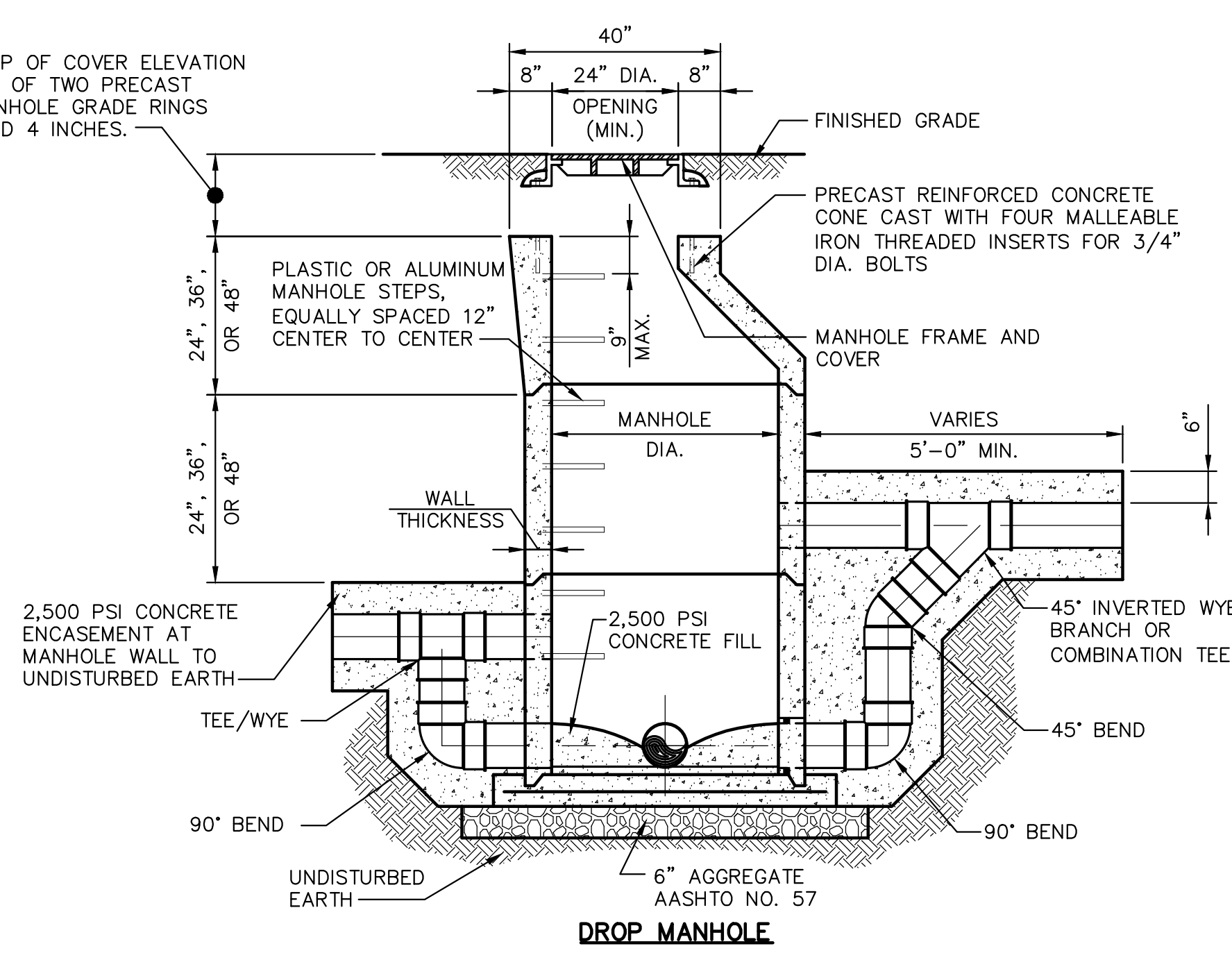
SEAL	

SHEET NO:	
16	



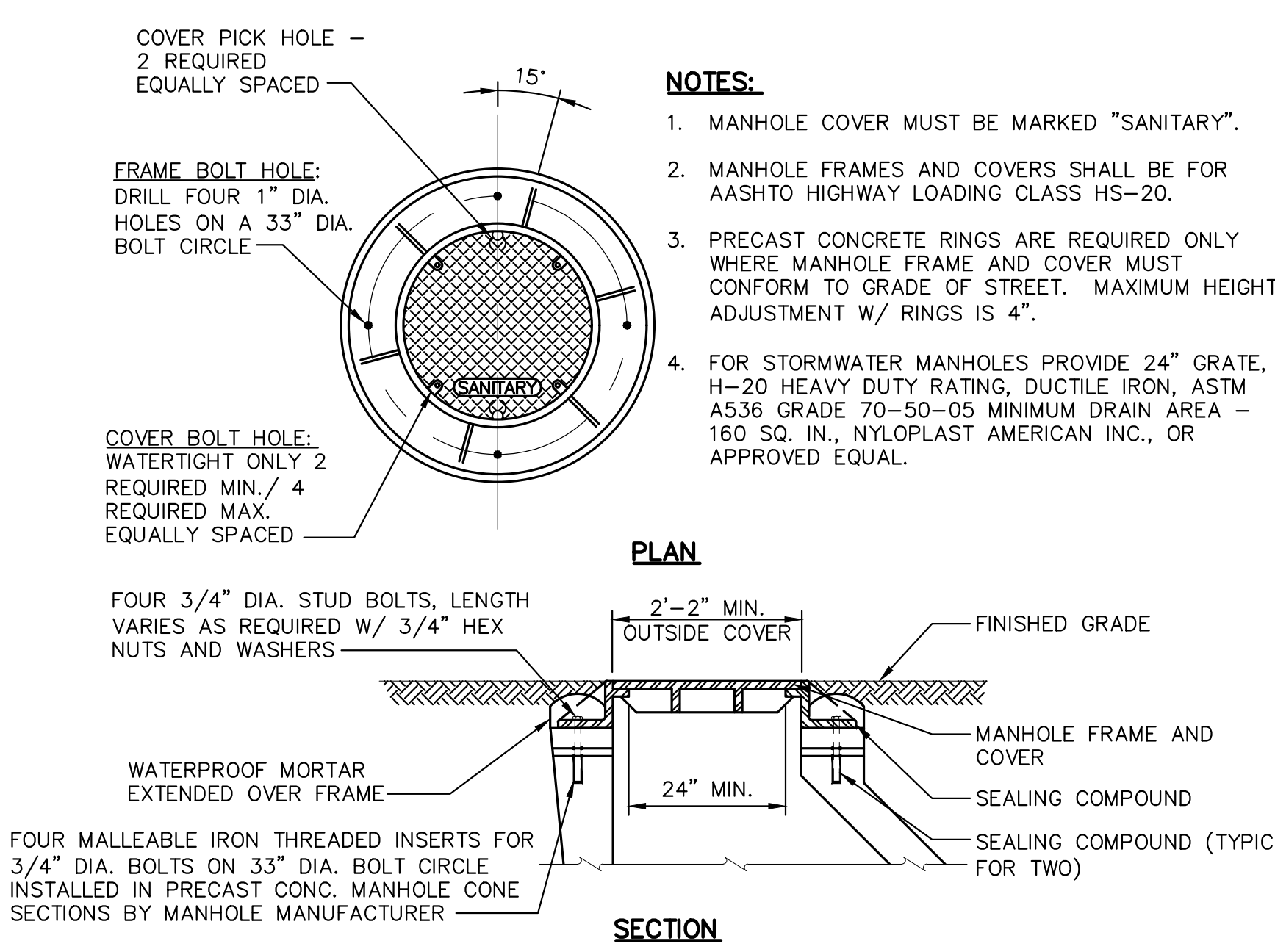
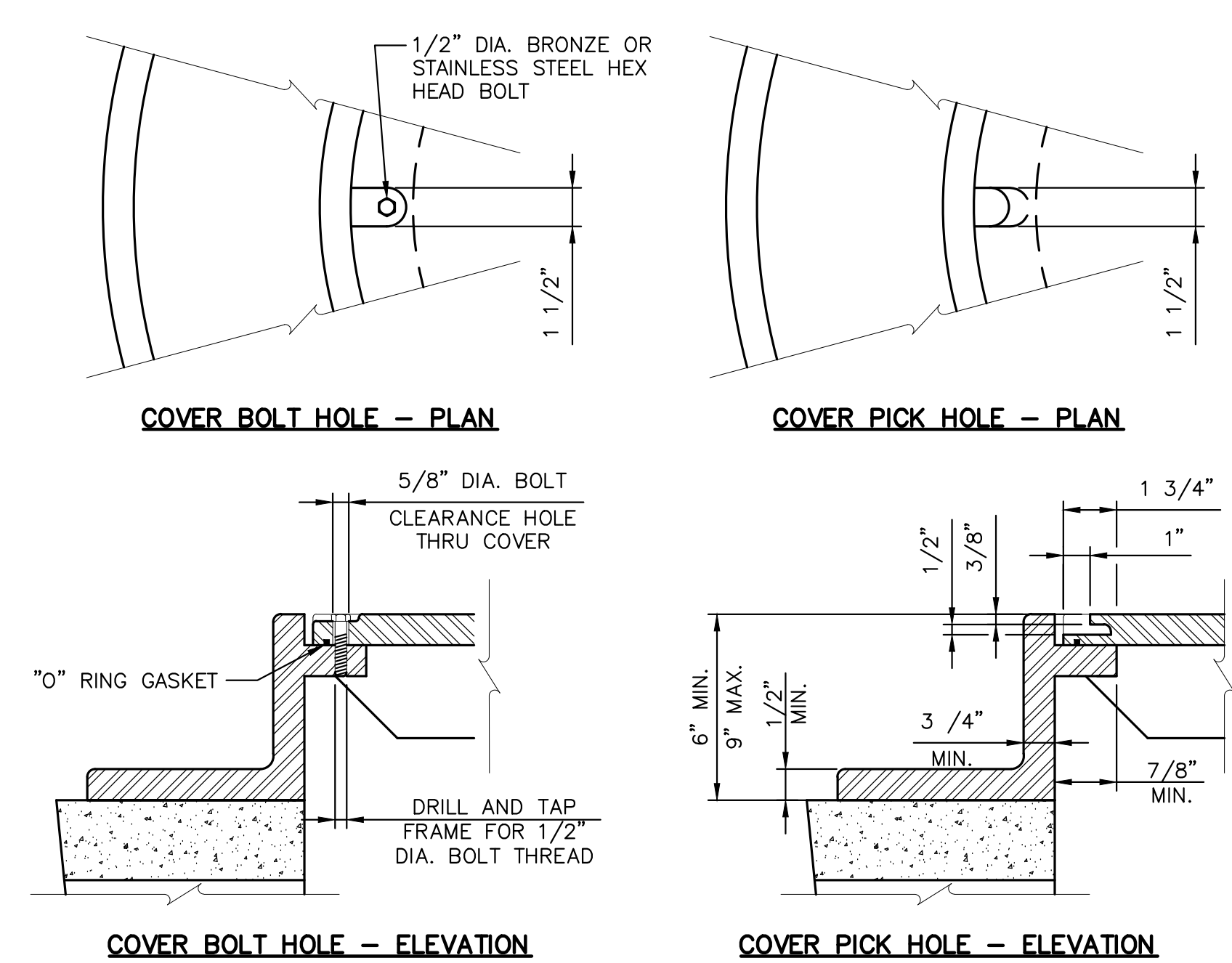
STANDARD MANHOLE

MANHOLE DIAMETER	WALL THICKNESS
4'-0"	5"
5'-0"	6"
6'-0"	7"
7'-0"	8"
8'-0"	9"

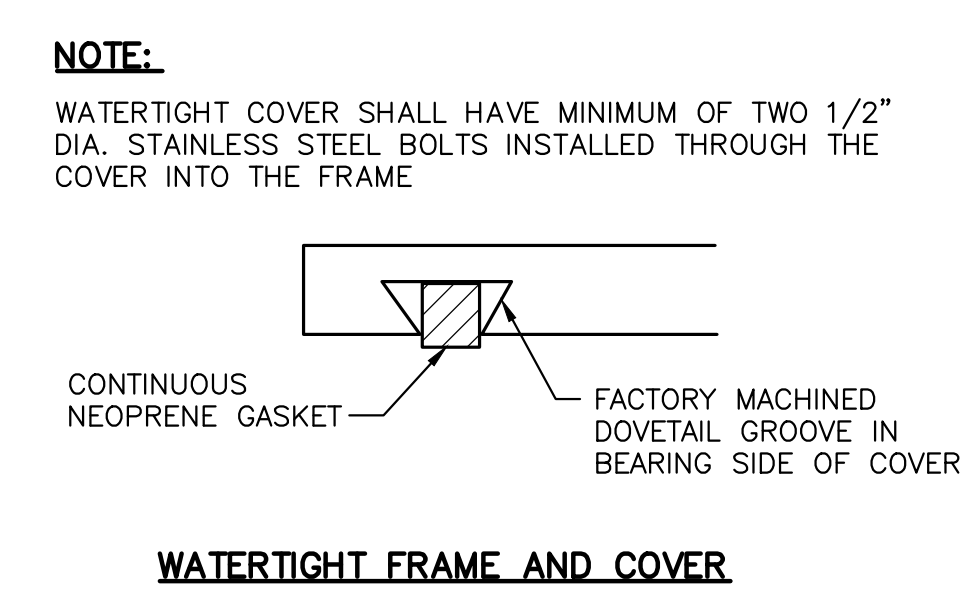


- GENERAL NOTES:**
1. CONCRETE MANHOLES AND BASES SHALL CONFORM TO ASTM C-478.
 2. REINFORCING STEEL SHALL CONFORM TO ASTM A-185.
 3. THE EXTERIOR SURFACE OF THE MANHOLE SHALL BE COATED WITH (2) TWO COATS SHERWIN WILLIAMS HI-MIL SHER-TAR EPOXY (DFT 16 MILS) OR APPROVED EQUAL.
 4. DISTANCE FROM RIM OF MANHOLE TO TOP OF STEP SHALL EXCEED 30".
 5. DISTANCE FROM BOTTOM STEP TO FLOOR OF MANHOLE SHALL NOT BE GREATER THAN 2 FEET.
 6. DO NOT LOCATE STEPS OVER CHANNELS.

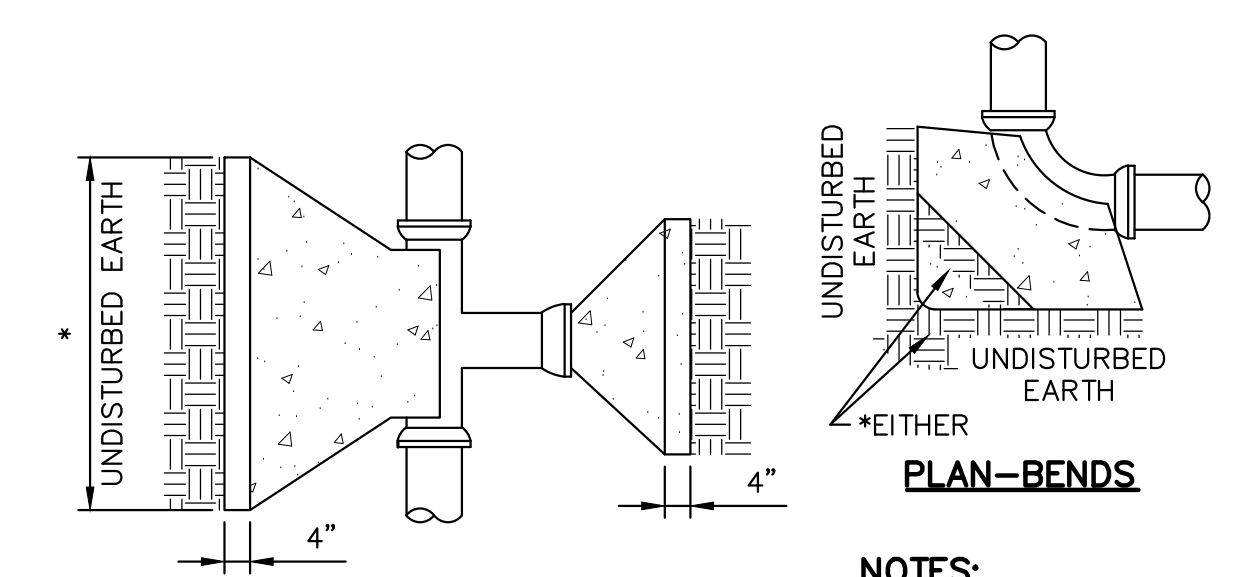
PRECAST MANHOLE BASE AND WALL DETAILS
NO SCALE



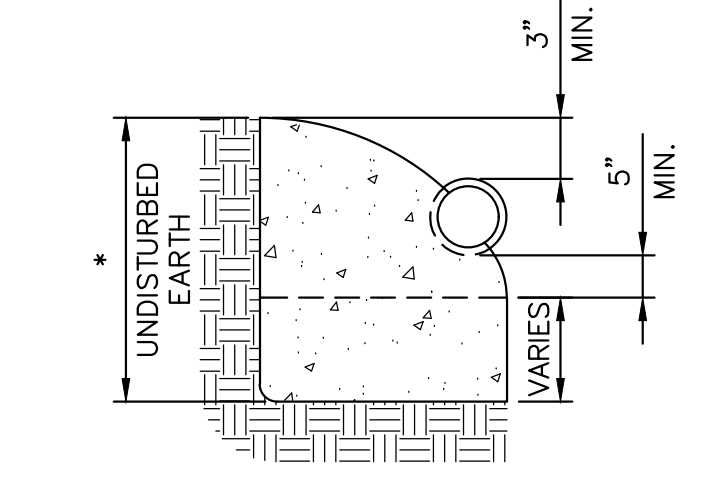
PRECAST CONCRETE MANHOLE FRAME AND COVER DETAILS
NO SCALE



WATERTIGHT FRAME AND COVER



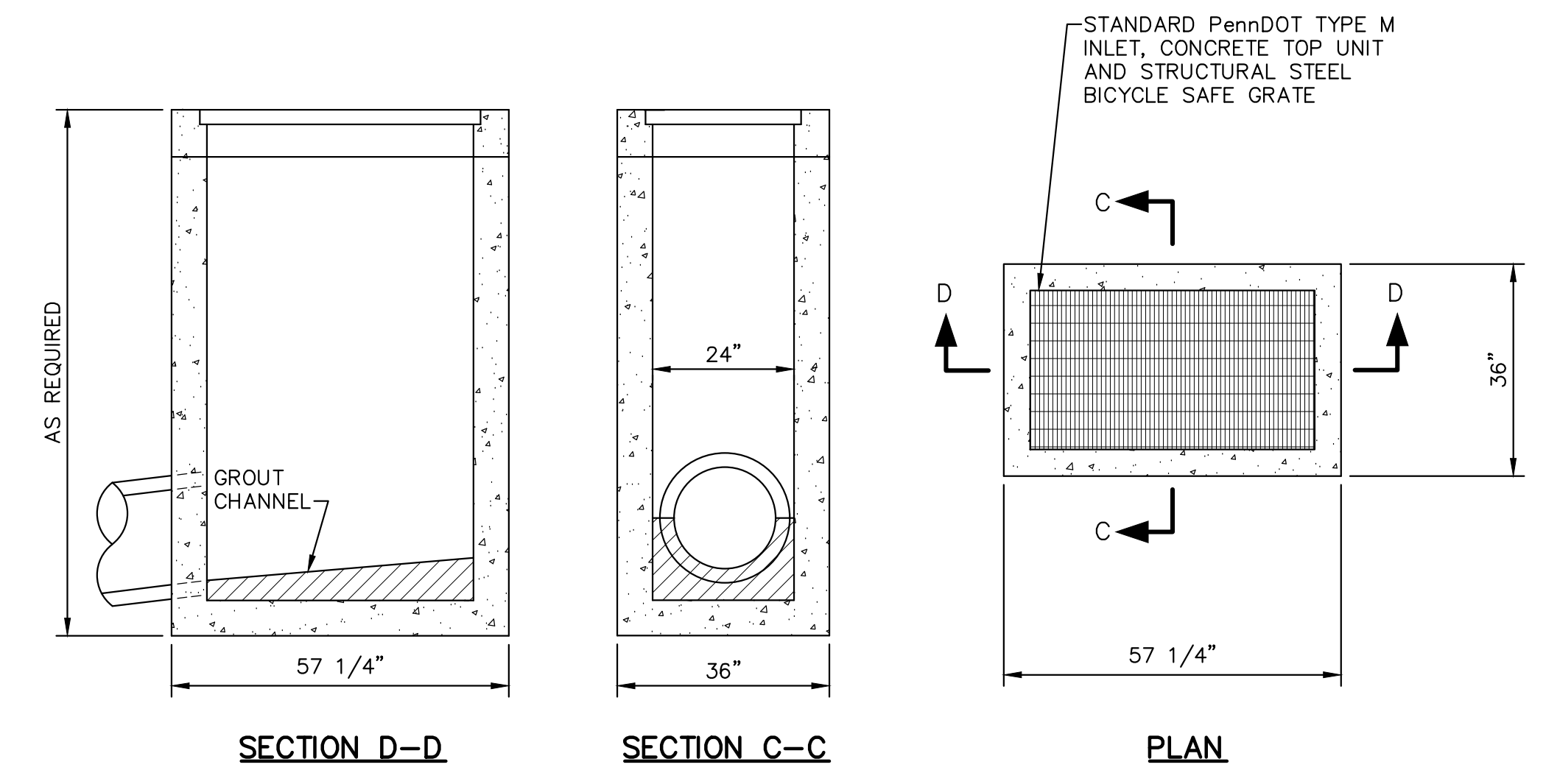
PLAN-TEES, WYES AND PLUGS



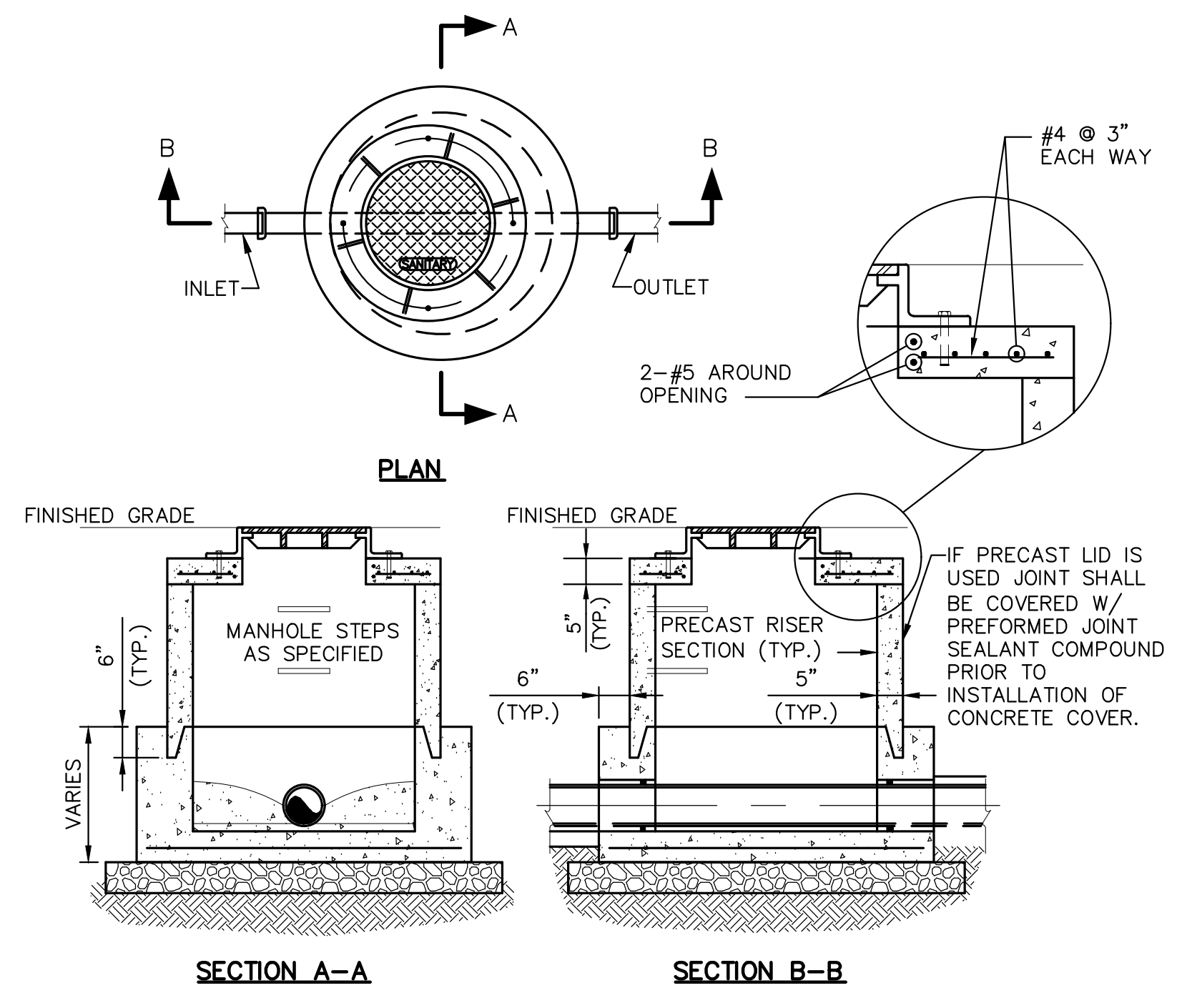
ELEVATION-TEES, WYES AND BENDS

PIPE SIZE (IN.)	AREA (SQ. IN.)	TOTAL FORCE (LBS.)	AREA OF BLOCK IN SQ. FT.				
			TEES & PLUGS	90° BENDS	45° BENDS	22 1/2° BENDS	11 1/4° BENDS
4	12.57	2,827	1.0	1.0	1.0	1.0	1.0
6	28.27	6,361	1.6	2.3	1.2	1.0	1.0
8	50.26	11,308	2.8	4.0	2.2	1.1	1.0
10	78.54	17,672	4.4	6.3	3.4	1.7	1.0
12	113.16	25,461	6.4	9.0	4.9	3.0	1.3
14	153.94	34,637	8.7	12.3	6.6	3.4	1.7
16	201.06	45,239	11.3	16.0	8.7	4.4	2.2
18	254.47	57,256	14.3	20.3	11.0	5.6	2.8
20	314.16	70,686	17.7	25.0	13.5	6.9	3.5
24	452.39	101,788	25.4	36.0	19.5	9.9	5.0

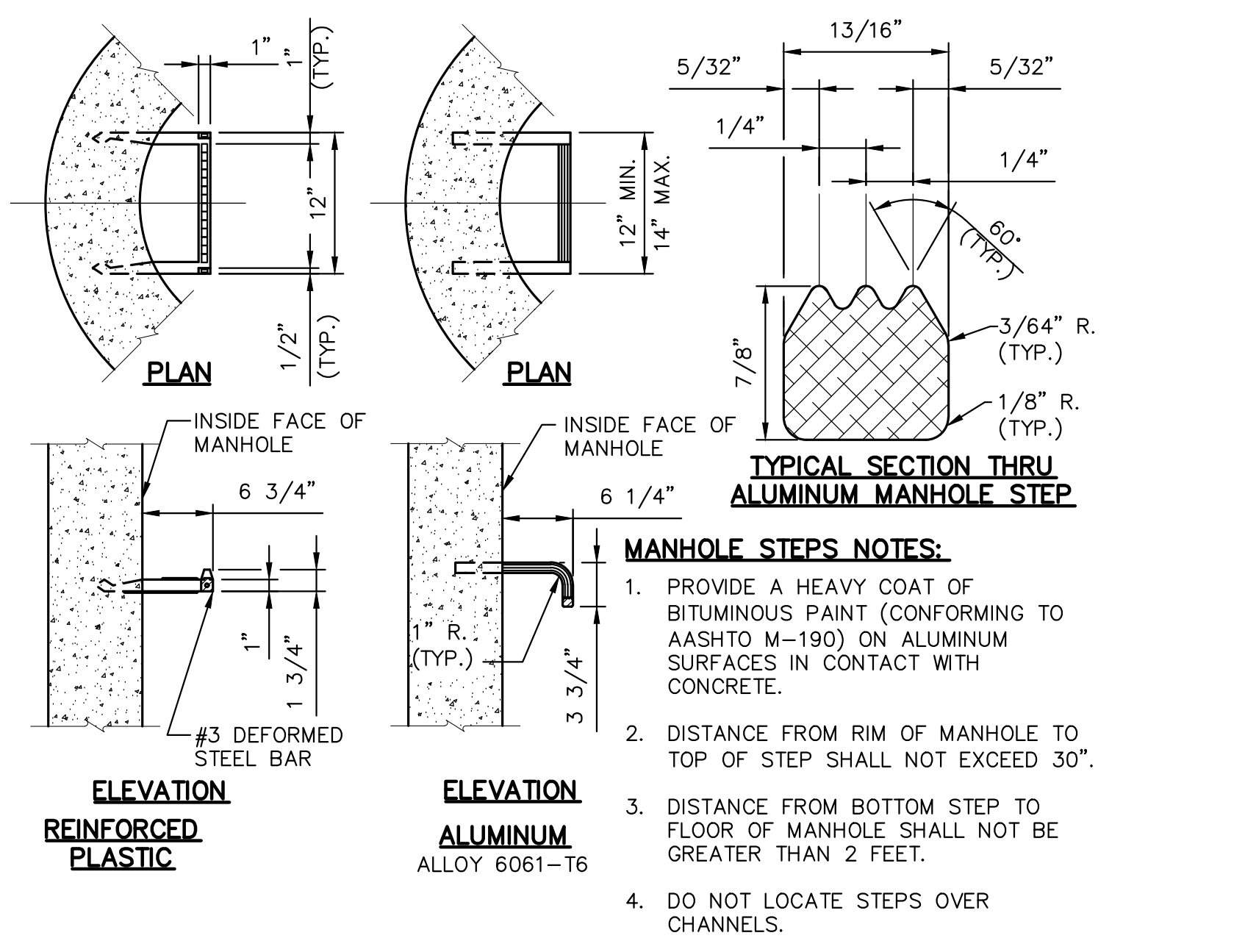
CONCRETE THRUST BLOCK DETAIL
NO SCALE



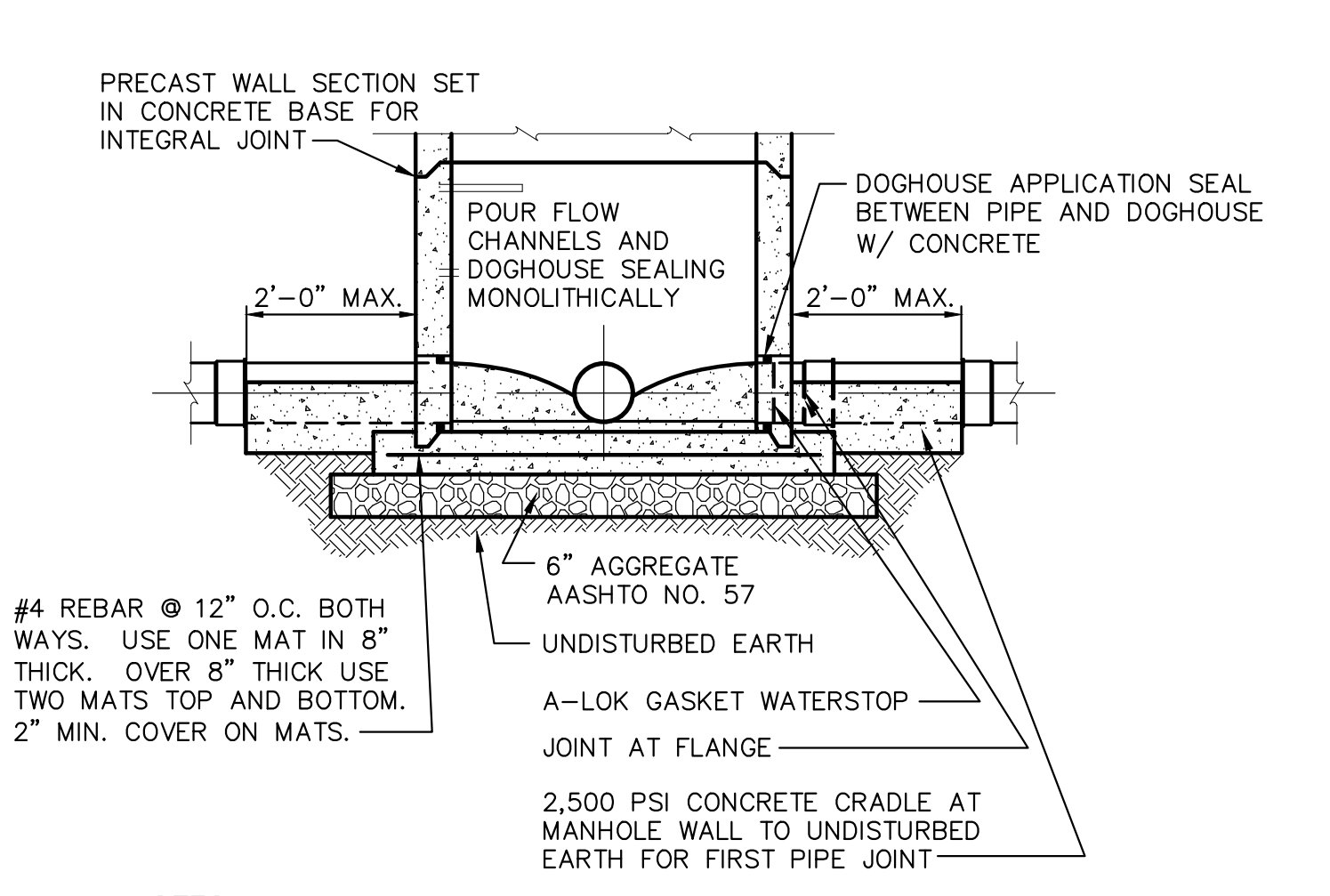
TYPICAL TYPE M INLET
NO SCALE



STANDARD SHALLOW PRECAST MANHOLE
NO SCALE



MANHOLE STEP DETAILS
NO SCALE



- NOTES:**
1. USE DOGHOUSE APPLICATION WHEN TYING INTO EXISTING MANHOLE, EXCEPT SEAL BETWEEN MANHOLE WALL AND PIPE W/ WATERPROOF MORTAR WORKED AROUND WATERSTOP.
 2. FOR MANUAL BREAK IN CONDITION, PIPE IS TO BE GASKETED TO FULL CIRCUMFERENCE W/ A RUBBER GASKET SIMILAR TO A-LOK.

CAST-IN-PLACE BASE AND PRECAST WALL SECTIONS
NO SCALE

NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS

SEAL

STATE COLLEGE BOROUGH WATER AUTHORITY

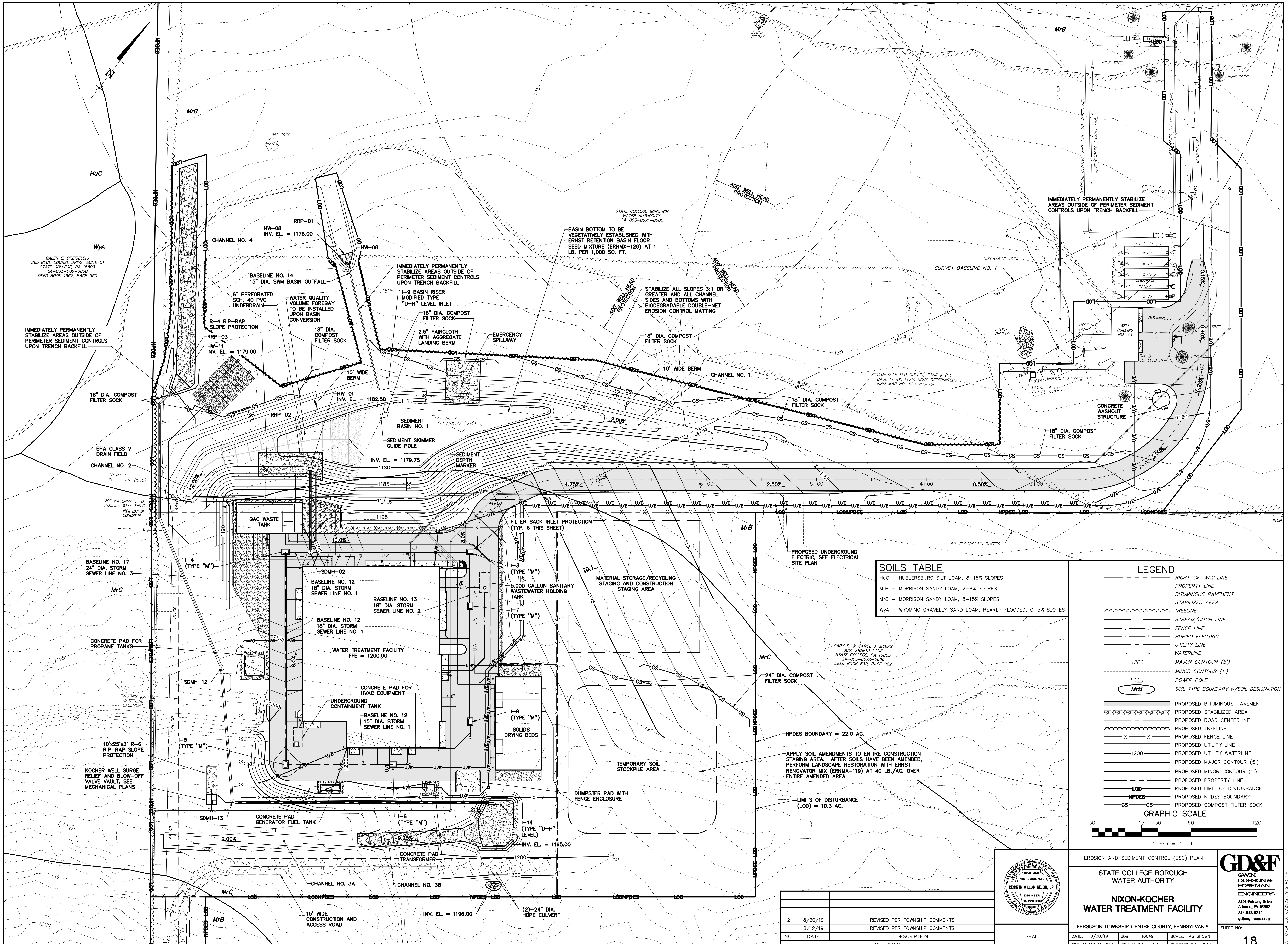
NIXON-KOCHER WATER TREATMENT FACILITY

FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

DATE: 8/30/19 JOB: 16049 SCALE: AS SHOWN FILE: 16049_LD_017 DRAWN BY: AJL CHECKED BY: WAA

GD&F
GWIN DOBSON & FOREMAN ENGINEERS
3121 Fairway Drive
Allison, PA 16802
814.943.9214
gdfengineers.com

SHEET NO: 17

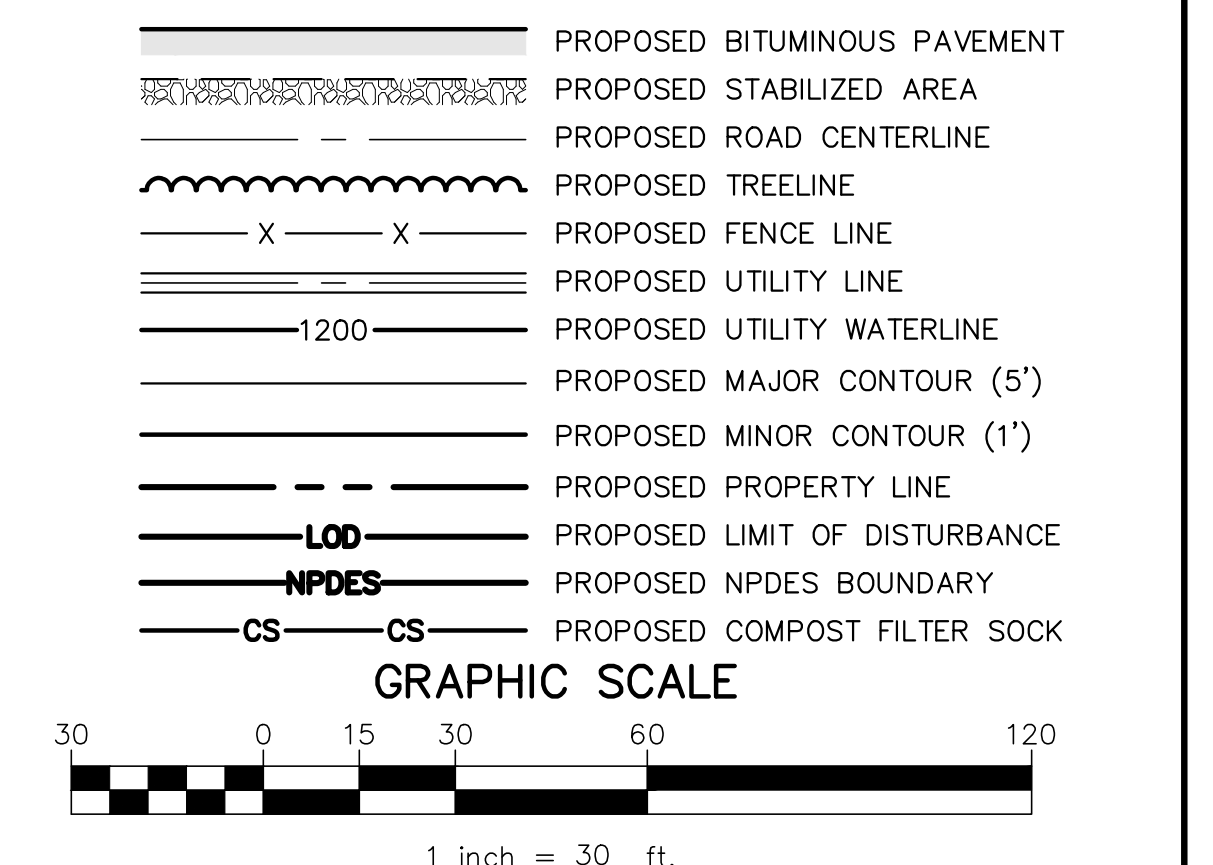


SOILS TABLE

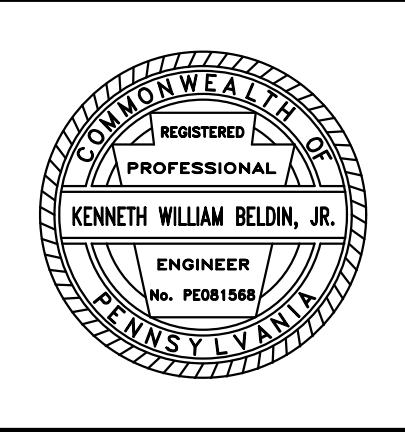
HuC - HUBLERSBURG SILT LOAM, 8-15% SLOPES
 MrB - MORRISON SANDY LOAM, 2-8% SLOPES
 MrC - MORRISON SANDY LOAM, 8-15% SLOPES
 WYA - WYOMING GRAVELLY SAND LOAM, REARLY FLOODED, 0-5% SLOPES

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- BITUMINOUS PAVEMENT
- STABILIZED AREA
- TREELINE
- STREAM/DITCH LINE
- FENCE LINE
- BURIED ELECTRIC
- UTILITY LINE
- WATERLINE
- MAJOR CONTOUR (5')
- MINOR CONTOUR (1')
- POWER POLE
- SOIL TYPE BOUNDARY w/ SOIL DESIGNATION



NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS
		DESCRIPTION
		REVISIONS



EROSION AND SEDIMENT CONTROL (ESC) PLAN

STATE COLLEGE BOROUGH
 WATER AUTHORITY

**NIXON-KOCHER
 WATER TREATMENT FACILITY**

FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

DATE: 8/30/19 JOB: 16049 SCALE: AS SHOWN
 FILE: 16049_LD_018 DRAWN BY: AJL CHECKED BY: WAA

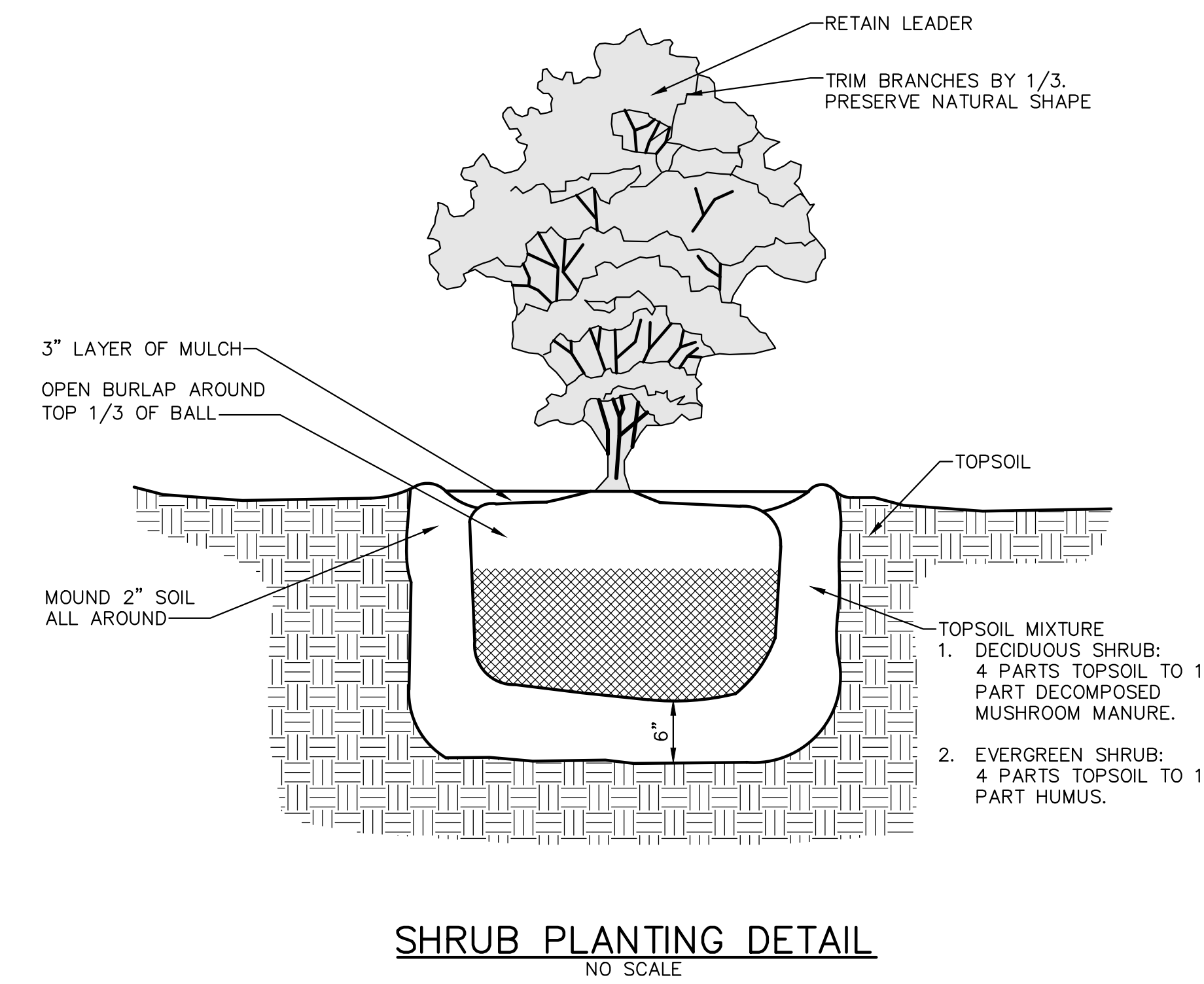
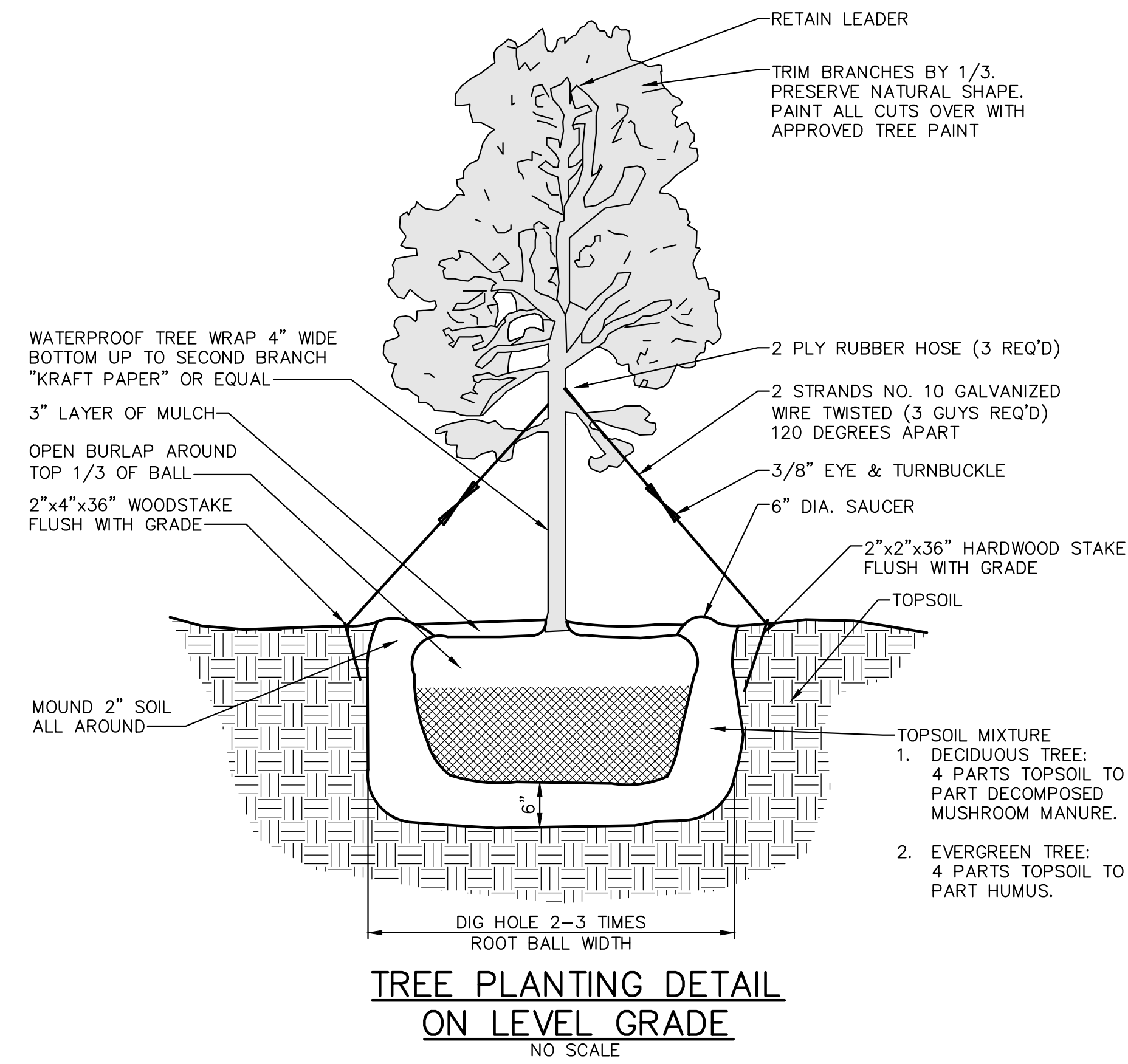
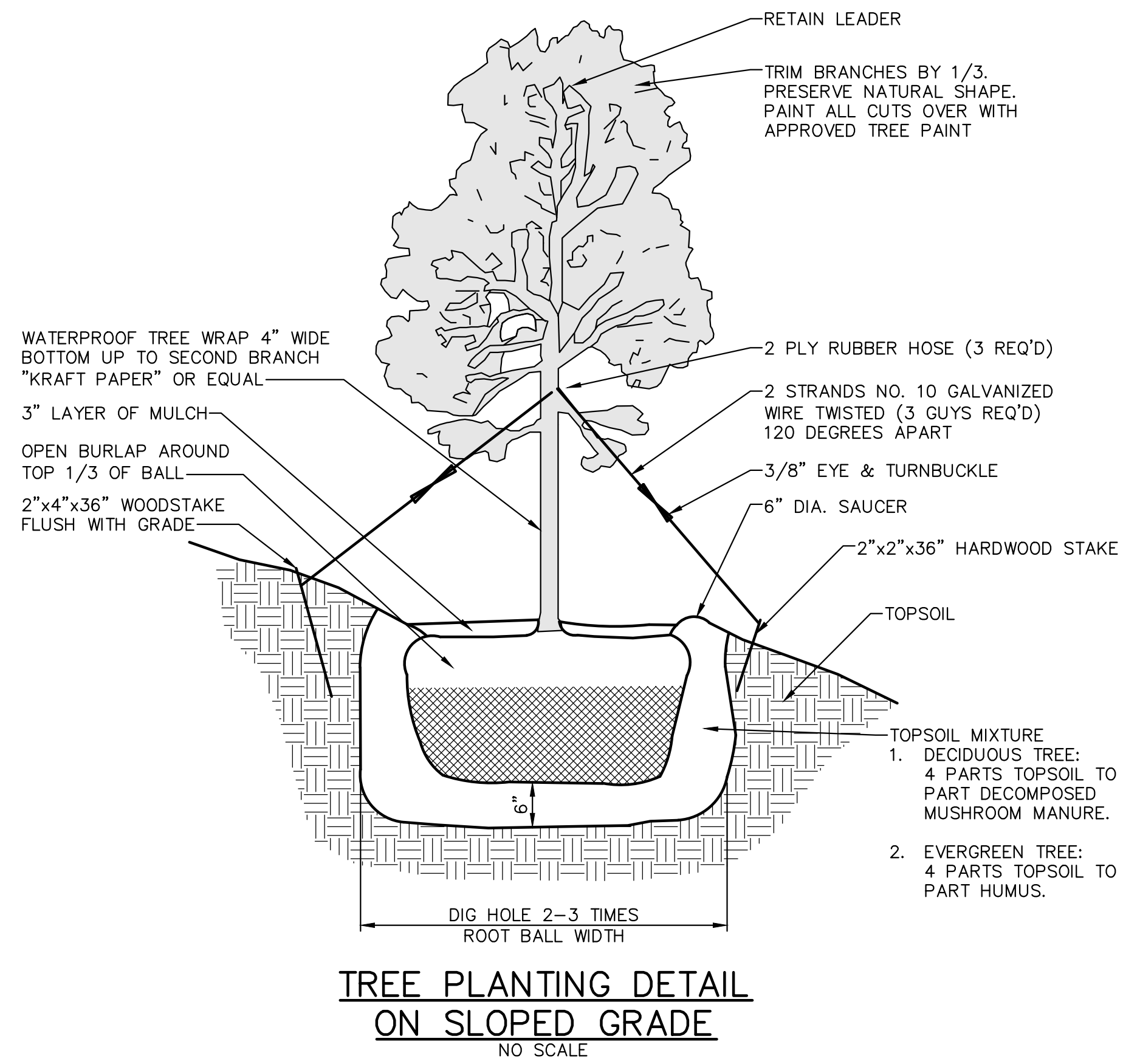
GD&F
 GWIN DOBSON & FOREMAN
 ENGINEERS
 3121 Fairway Drive
 Allentown, PA 18602
 610.943.8214
 gdfengineers.com

SHEET NO: **18**

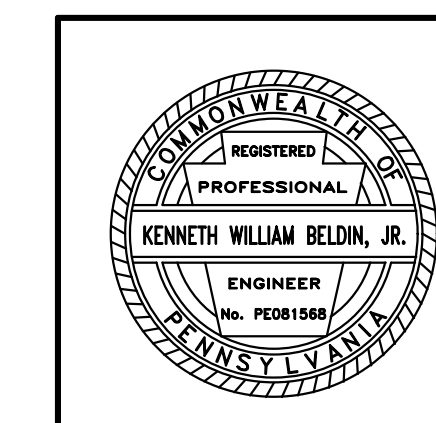
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LANDSCAPING GENERAL NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL REFER TO THE PLANT LIST FOR SEASONAL REQUIREMENTS AND OTHER RESTRICTIONS RELATED TO THE TIME OF PLANTING.
3. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
4. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT.
5. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE PROJECT ENGINEER.
6. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER.
7. ALL PLANTS SHALL BE INSTALLED AS PER DETAILS AND THE CONTRACT SPECIFICATIONS AND IN ACCORDANCE WITH THE "GUIDE TO PLANTING IN FERGUSON TOWNSHIP."
8. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
9. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
10. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
11. PLANT AT ABOUT THE SAME DEPTH, OR NOT TO EXCEED ONE-HALF INCH DEEPER THAN IT WAS IN THE NURSERY. USE THE ROOT COLLAR FOR DEPTH JUDGMENT.
12. INSTALL THE MAIN ROOTS NEARLY STRAIGHT AND SPREAD OUT, NOT DOUBLED, OR SHARPLY BENT.
13. INSTALL THE SOIL FIRMLY AROUND THE ROOTS. LEAVE NO AIR POCKETS.
14. INSTALL THE TREE IN AN UPRIGHT POSITION, AND HAVE IT NEARLY EVEN WITH THE GENERAL GROUND LEVEL, NOT SUNK IN A HOLE OR RAISED ON A MOUND.
15. ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
16. ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT WITHIN 24 HOURS AFTER PLANTING. IN TEMPERATE ZONES, ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT AT THE BEGINNING OF THEIR FIRST WINTER.
17. THE CONTRACTOR SHALL PROVIDE LOAM FILL AS PER THE CONTRACT DOCUMENTS.
18. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
19. THE GENERAL CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
20. MULCH COLOR TO BE SELECTED BY THE OWNER. MINIMUM MULCH DIAMETER SHALL BE 6 FEET.
21. ALL TREES SHALL HAVE TEMPORARY TAGS IDENTIFYING SIZE, SPECIES AND SOURCE OF MATERIALS FIRMLY ATTACHED TO TRUNK.



NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
1	8/12/19	REVISED PER TOWNSHIP COMMENTS



PROPOSED LANDSCAPING DETAILS AND NOTES

STATE COLLEGE BOROUGH
WATER AUTHORITY

**NIXON-KOCHER
WATER TREATMENT FACILITY**

FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

GD&F
GWIN DOBSON & FOREMAN
ENGINEERS
3121 Fairway Drive
Allison, PA 16802
814.843.8214
gdfengineers.com

DATE: 8/30/19	JOB: 16049	SCALE: AS SHOWN
FILE: 16049_LD_023	DRAWN BY: AJL	CHECKED BY: WAA

SHEET NO:
23

PCSM OPERATION AND MAINTENANCE (O&M) PLAN

- A. PCSM OPERATION AND MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE ON THIS PLAN. ANY SEDIMENT THAT IS REMOVED SHALL BE PROPERLY DISPOSED OF ONSITE OR AT AN APPROVED OFFSITE LOCATION.
- B. A LOG SHOWING THE DATES OF EACH INSPECTION, ANY DEFICIENCIES FOUND, CORRECTIVE ACTIONS TAKEN TO REMEDY THE DEFICIENCIES AND THE DATE THE DEFICIENCIES WERE CORRECTED SHALL BE MAINTAINED AT THE SITE.
- C. THIS PCSM O&M PLAN SHALL REMAIN IN EFFECT UNTIL SUCH TIME THE PROPERTY IS REDEVELOPED AND AN ALTERNATIVE SOURCE OF PROVIDING STORMWATER MANAGEMENT IS CONSTRUCTED.
- D. THE PCSM O&M PLAN SHALL BE RECORDED AT THE CENTRE COUNTY RECORDER OF DEEDS AND SHALL RUN WITH THE PROPERTY.
- E. THE STATE COLLEGE BOROUGH WATER AUTHORITY (OWNER) OR THEIR DESIGNATED REPRESENTATIVE SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEMS, IN ACCORDANCE WITH THIS O&M PLAN, UNTIL SUCH TIME AS THE PROPERTY, OR ANY PORTION OF THE PROPERTY THAT CONTAINS A STORMWATER MANAGEMENT DEVICE, MEANS OF RUNOFF CONVEYANCE, ETC., IS SOLD OR TRANSFERRED TO ANOTHER PARTY, AT WHICH TIME SAID PARTY OR THEIR DESIGNEES SHALL ASSUME STORMWATER MANAGEMENT MAINTENANCE RESPONSIBILITIES, AS IS APPLICABLE.

PCSM MAINTENANCE SCHEDULE

STORMWATER MANAGEMENT BEST MANAGEMENT PRACTICE (BMP)	INSPECTION FREQUENCY	MAINTENANCE REQUIREMENTS
WATER QUALITY FOREBAY	AFTER EACH RAINFALL OF 1.00 INCHES OR GREATER IN A 24-HOUR PERIOD	REMOVE ANY LARGE DEBRIS OR TRASH. MOW ONLY AS APPROPRIATE FOR THE VEGETATIVE COVER SPECIES. THE VEGETATION ALONG THE SURFACE AND SIDES OF THE FOREBAY SHALL BE MAINTAINED IN GOOD CONDITION. ANY SIGNS OF EROSION WITHIN THE FOREBAY SIDE SLOPES OR BOTTOM SHALL BE RE-STABILIZED AS SOON AS IS POSSIBLE. SHORT TERM DOUBLE NET EROSION CONTROL MATTING AND AN APPROPRIATE SEED MIXTURE SHALL BE USED ON ALL STABILIZED AREAS UNTIL THE ERODED AREA HAS BEEN VEGETATIVELY RE-ESTABLISHED. TOPSOIL SHALL BE PLACED AS NECESSARY TO ESTABLISH THE ORIGINAL GRADE AND DIMENSION OF THE FOREBAY. IF IMPOUNDED RUNOFF DOES NOT DRAIN WITHIN 72 HOURS, PUMP ACCUMULATED RUNOFF THROUGH AN APPROPRIATE FILTER BAG TO A STABLE OUTFALL. REMOVE ANY ACCUMULATED SEDIMENT AND DISC OR OTHERWISE AERATE THE FOREBAY BOTTOM TO RESTORE INFILTRATION CAPACITY. RESTORE THE ORIGINAL CROSS SECTION OF THE BASIN AND SEED OR SOD THE DISTURBED AREAS TO RESTORE GROUND COVER. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE UNDERDRAIN SYSTEM. THE BOTTOM ON THE FOREBAY SHALL BE AERATED AND RESTORED AS DESCRIBED ABOVE EVERY FIVE YEARS, REGARDLESS OF WHETHER THE BASIN DRAINS IN LESS THAN 72 HOURS.
WET POND	AFTER EACH RAINFALL OF 1.00 INCHES OR GREATER IN A 24-HOUR PERIOD	REMOVE ANY LARGE DEBRIS OR TRASH. MOW ONLY AS APPROPRIATE FOR THE VEGETATIVE COVER SPECIES. THE VEGETATION ALONG THE SURFACE AND SIDES OF THE BASIN SHALL BE MAINTAINED IN GOOD CONDITION. ANY SIGNS OF EROSION WITHIN THE BASIN SIDE SLOPES OR BOTTOM SHALL BE RE-STABILIZED AS SOON AS IS POSSIBLE. SHORT TERM DOUBLE NET EROSION CONTROL MATTING AND AN APPROPRIATE SEED MIXTURE SHALL BE USED ON ALL STABILIZED AREAS UNTIL THE ERODED AREA HAS BEEN VEGETATIVELY RE-ESTABLISHED. TOPSOIL SHALL BE PLACED AS NECESSARY TO ESTABLISH THE ORIGINAL GRADE AND DIMENSION OF THE BASIN. RESTORE THE ORIGINAL CROSS SECTION OF THE BASIN AND SEED OR SOD THE DISTURBED AREAS TO RESTORE GROUND COVER. IF IMPOUNDED RUNOFF DOES NOT DRAIN WITHIN 72 HOURS, PUMP ACCUMULATED RUNOFF THROUGH AN APPROPRIATE FILTER BAG TO A STABLE OUTFALL. REMOVE ANY ACCUMULATED SEDIMENT AND INSPECT THE RISER, RISER OPENINGS AND OUTFALL BARREL FOR BLOCKAGE.
STORM DRAINS, INLETS AND MANHOLES	EVERY 6 MONTHS	STORM DRAINS, INLETS AND MANHOLES SHALL BE THOROUGHLY CLEANED AND INSPECTED FOR DAMAGE AT LEAST TWO TIMES PER YEAR. UPON DISCOVERY OF DAMAGE, APPROPRIATE REMEDIAL ACTION, UP TO AND INCLUDING REPLACEMENT OF THE DAMAGED STRUCTURE, SHALL OCCUR IMMEDIATELY.
CHANNELS, ROCK SLOPE PROTECTION AND STORM DRAIN OUTFALLS	AFTER EACH RAINFALL OF 1.00 INCHES OR GREATER IN A 24-HOUR PERIOD	REMOVE ANY LARGE DEBRIS OR TRASH. ANY DISPLACED RIP-RAP, GEOTEXTILE FABRIC, ETC. LOCATED IN THE CHANNELS, ROCK SLOPE PROTECTION AND OUTFALL APRONS SHALL BE RESTORED TO THE ORIGINAL DIMENSIONS AND LOCATIONS SHOWN ON THE RECORDED PLAN DRAWINGS. DETERIORATED OR TORN GEOTEXTILE FABRIC SHALL BE REPLACED IMMEDIATELY. ANY SIGNS OF EROSION WITHIN THE VEGETATED CHANNELS SHALL BE RE-STABILIZED AS SOON AS IS POSSIBLE. SHORT TERM DOUBLE NET EROSION CONTROL MATTING AND AN APPROPRIATE SEED MIXTURE SHALL BE USED IN ALL CHANNELS UNTIL THE ERODED AREA HAS BEEN VEGETATIVELY RE-ESTABLISHED.
NON-ROOFTOP DISCONNECT AREA	EVERY 6 MONTHS	MOW ONLY AS APPROPRIATE FOR THE VEGETATIVE COVER SPECIES. ANY SIGNS OF EROSION WITHIN THE DISCONNECT AREA SHALL BE RE-STABILIZED AS SOON AS IS POSSIBLE. IN THE EVENT THAT MAINTENANCE OF SUBSURFACE UTILITIES IS NECESSARY, THE DISTURBED AREA SHALL BE STABILIZED WITH SHORT TERM DOUBLE NET EROSION CONTROL MATTING AND AN APPROPRIATE SEED MIXTURE IMMEDIATELY UPON TRENCH BACKFILL. THE STABILIZATION MEASURES SHALL REMAIN IN PLACE UNTIL THE ERODED AREA HAS BEEN VEGETATIVELY RE-ESTABLISHED.

PCSM CRITICAL STAGES OF CONSTRUCTION

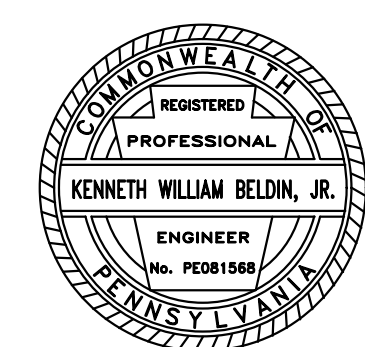
- 1. A LICENSED PROFESSIONAL OR THEIR DESIGNEE SHALL BE PRESENT DURING THE CONVERSION OF THE SEDIMENT BASIN FOR POST-CONSTRUCTION STORMWATER MANAGEMENT PURPOSES TO ENSURE THAT THE PROPER ACTIONS ARE TAKEN TO COMPLETE THE CONVERSION.
- 2. RECORD DRAWINGS WILL BE CERTIFIED AND PROVIDED UPON CONSTRUCTION COMPLETION. PER TITLE 25 PA CODE §. CHAPTER 102.8L, THE PERMITTEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION "RECORD DRAWINGS" WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL, WHICH READS THE FOLLOWING:

"I, _____ DO HEREBY CERTIFY PURSUANT TO THE PENALTIES OF 18 P.A.C.S.A. § 4904 TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE ACCOMPANYING RECORD DRAWINGS ACCURATELY REFLECT THE AS-BUILT CONDITIONS, ARE TRUE AND CORRECT, AND ARE CONFORMANCE WITH CHAPTER 102 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THAT THE PROJECT SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PCSM PLAN, ALL APPROVED PLAN CHANGES AND ACCEPTED CONSTRUCTION PRACTICES."

PCSM SEQUENCE OF CONSTRUCTION

- A. REMOVE ANY ACCUMULATED SEDIMENT IN THE CHANNELS AND STORM DRAINS. THE CONTRACTOR IS TO REMOVE THE SEDIMENT AND DISPOSE OF IT PROPERLY.
- B. AFTER UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL VEGETATION HAS BEEN ESTABLISHED, REMOVE ANY REMAINING PERIMETER SEDIMENT AND EROSION CONTROLS. APPROVAL TO REMOVE THE CONTROLS MUST BE PROVIDED BY A REPRESENTATIVE OF THE CENTRE COUNTY CONSERVATION DISTRICT.
- C. PERMANENTLY STABILIZE ALL AREAS DISTURBED DURING THE REMOVAL OF THE PERIMETER CONTROLS.
- D. CONVERT THE SEDIMENT BASIN TO A STORMWATER MANAGEMENT BASIN. ANY ACCUMULATED SEDIMENT WITHIN THE BASIN IS TO BE REMOVED AND DISPOSED OF PROPERLY. REMOVE THE SKIMMER, GUIDE RAILS AND AGGREGATE LANDING BERM. REMOVE ANY TEMPORARY ORIFICE BLOCKAGES AND PERMANENTLY BLOCK ANY ORIFICES IDENTIFIED ON THE PLANS WITH NON-SHRINK GROUT. CONSTRUCT THE WATER QUALITY FOREBAY EMBANKMENT AND UNDERDRAIN SYSTEM. UPON COMPLETION OF THE EMBANKMENT, CONSTRUCT THE AGGREGATE JACKET AROUND THE UNDERDRAIN AND INSTALL GEOTEXTILE FABRIC. PROVIDE APPROPRIATE FILTER BED SOIL MIXTURE TO THE LIMITS AND GRADES INDICATED ON THE PLAN DRAWINGS.
- E. PERMANENTLY STABILIZE ALL AREAS DISTURBED DURING THE CONVERSION OF THE SEDIMENT BASIN TO A STORMWATER MANAGEMENT BASIN.
- F. BEGIN POST-CONSTRUCTION STORMWATER MANAGEMENT OPERATIONS AND MAINTENANCE AS DESCRIBED IN THE O&M PLAN.

NO.	DATE	DESCRIPTION
2	8/30/19	REVISED PER TOWNSHIP COMMENTS
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SEAL

STORMWATER MANAGEMENT NOTES

**STATE COLLEGE BOROUGH
WATER AUTHORITY**

**NIXON-KOCHER
WATER TREATMENT FACILITY**

FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA



**GWIN
DOBSON &
FOREMAN
ENGINEERS**
3121 Fairway Drive
Allison, PA 16802
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gdfeengineers.com

DATE: 8/30/19	JOB: 16049	SCALE: AS SHOWN
FILE: 16049_LD_024	DRAWN BY: AJL	CHECKED BY: WAA

SHEET NO:
24



TOWNSHIP OF FERGUSON

3147 Research Drive, State College, Pennsylvania 16801
Telephone: 814-238-4651 Fax: 814-238-3454

TO: Ferguson Township Board of Supervisors

FROM: Kristina M. Aneckstein, Community Planner

DATE: September 6, 2019

SUBJECT: Active Development Projects Update

In an effort to keep the Planning Commission and Board of Supervisors up-to-date on pending proposals and applications, staff is providing a list of Active Plans and other Projects in the Township.

Currently, the Township has seven (7) Active Plans and two (2) conditionally approved plan.

1. Preliminary/Final Re-Plot of Lands for the State College Borough Water Authority and Gary E. and Carol J. Myers:

Gwin Dobson & Foreman submitted a Preliminary/Final Re-Plot of Lands on behalf of their client, the State College Borough Water Authority. Tax parcel 24-003-007F, owned by the State College Borough Water Authority is currently 15.071 acres and the proposed acreage is 18.047 acres. Mr. and Mrs. Myers own tax parcel 24-003-007K and is currently 45.673 acres, in which 2.974 acres is being transferred to the SCBWA. The land is zoned Rural Agricultural and the current use is a well field property and the proposed use is an addition to well field property. This project was granted seven variances; Variance to encroach upon the fifty foot riparian buffer, Variance to waive requirements of independent hydrologic and hydraulic study, Variance to allow improvements within the flood plain, Variance to allow construction activities and improvements within the flood way, Variance to minimum lot area (50 acres), and Nonconforming use in Rural Agricultural zoning district. ***Plan Expiration is October 10, 2019. Staff is recommending that the Planning Commission give a recommendation for approval.***

2. Preliminary Land Development Plan for Nixon-Kocher Water Treatment Facility:

Gwin Dobson & Foreman submitted a Preliminary Land Development Plan for the Nixon-Kocher Water Treatment Facility on behalf of the State College Borough Water Authority. Tax Parcel 24-003-007F-0000 is 18.047 acres. The existing land use is forested land/agricultural, the proposed land use is a water treatment facility. We have received a conditional use application; a water treatment facility is a conditional use in the rural agriculture zoning district. . ***Plan Expiration is October 10, 2019. Staff is recommending that the Planning Commission give a recommendation for approval.***

3. Whitehall Road Regional Park Phase 1:

Stahl Schaeffer Engineering submitted the final land development plan for the proposed Whitehall Road Regional Park Phase 1 on behalf of Centre Region Parks and Recreation Authority. This is located off the future Blue Course Drive extension, south of the intersection of Blue Course Drive and Whitehall Road. The proposed Phase 1 development involves the development of approximately 55 acres of the 100 acre park property. The property will include: two lighted grass fields (alternate to synthetic turf), two unlighted grass fields, two grass practice/open space areas, accessible walking trail, All-Ability and Universally-Accessible Playground, All-Season Pavilion with attached concession stand and restrooms, and a three-bay park operations storage building. The required park infrastructure includes a paved entrance road, paved parking lots (just under 500 spaces), accessible connector sidewalks and trails, public water and sanitary sewer service, and natural gas service. There will be green stormwater management facilities such as bioswales, stormwater infiltration basins, and rain gardens, all of which connect to the storm water system. A solar installation on the All-Season Pavilion will support the building's energy needs, and there is a proposed landscaping buffer system to include trees, shrubs, and native grasses. **Plan Expiration is November 12, 2019. Comments were sent to Stahl Schaeffer. A meeting with Stahl Schaeffer and staff is set for September 12 to discuss the landscaping plan.**

4. Harner Farm Subdivision Plan – Subdivision of Tax Parcel 24-4-67 and Replot of Tax Parcel 24-4-67C:

Penn Terra Engineering, Inc. on behalf of the applicant, Aspen Whitehall Partners LLC submitted a Plan for the subdivision of tax parcel 24-4-67 and replot of tax parcel 24-4-67C. The purpose of this plan is to subdivide Tax Parcel 24-4-67 into four (4) lots, replot Tax Parcel 24-4-67C and dedicate land from Tax Parcel 24-4-67 to Ferguson Township Right of Way. In conjunction with this Subdivision/Replot Plan is a Land Development Plan for the State College, PA Whitehall Road Sheetz. **Plan Expiration is October 1, 2019. Plan is currently with PennTerra Engineering addressing comments from staff and other required agencies.**

5. Orchard View Land Development Plan:

This land development plan, submitted by Penn Terra Engineering on behalf of the applicants, Aspen Whitehall Partners, LLC proposes a 36 lot subdivision on tax parcel yet to be determined by the approval of the Subdivision & Replot Plan for the Harner Farm (Tax Parcel 24-4-67/C). The land is located in the single-family residential zoning district with corridor overlay. **Plan Expiration November 5, 2019. Plans have been resubmitted and staff is currently reviewing the Plans.**

6. Preliminary/Final Land Development Plan – State College, PA (Whitehall Road) Sheetz:

Penn Terra Engineering, Inc. on behalf of the applicant, Aspen Whitehall Partners LLC submitted a Preliminary/Final Land Development Plan for the State College, PA (Whitehall Road) Sheetz. Prior to the submission of this land development plan, a pre-application conference was held with the Ferguson Township Planning Commission as per the optional section 22.302 of the Ferguson Township Subdivision and Land Development Ordinance. The overall concept plan for Harner Farm was discussed at the pre-application conference, including the proposed Sheetz Convenience Store and the subdivision of land as part of the project. The proposed Sheetz Convenience store will be developed on 5.7 acres at the southwest corner of Whitehall Road and West College Avenue. The building will be 6,077 square feet, the site will also have a car wash, stormwater management basins and required access points. A Traffic Impact Study, Stormwater Management Plan and Lighting Plan have been submitted for review. A Transportation Improvement Agreement may not be necessary if all improvements are addressed and designs are on the plans and surety posted.

A plan to subdivide tax parcel 24-4-67 and replot of tax parcel 24-4-67C is also being considered concurrently with the review of the land development plan. **Plan Expiration is October 1, 2019.**

Plans have been resubmitted to Stahl Schaeffer and are addressing the TIS comments from staff and consultant.

Conditionally Approved Plans:

1. **Hummel Subdivision: Plan shall be recorded by November 26, 2019 (2nd Time Extension)**
2. **Ferguson Township Public Works Facility: Plan shall be recorded by October 15, 2019**
3. **Pine Hall Traditional Town Development General Master Plan**

FERGUSON TOWNSHIP PLANNING COMMISSION
REGULAR MEETING MINUTES
Monday, AUGUST 26, 2019
6:00 PM

ATTENDANCE

The Planning Commission held its second meeting of the month on Monday, August 26, 2019 at the Ferguson Township Municipal Building. In attendance were:

Commission:

Bill Keough, Chair-person
Ralph Wheland
Erik Scott
Jeremie Thompson
Jerry Binney
Shannon Holliday
Rob Crassweller, Secretary
Dr. Ellen Taricani-Alternate

Staff:

Kristina Aneckstein, Community Planner
Jeff Ressler, Zoning Administrator

Others in attendance were: Summer Krape, Recording Secretary; David Pribulka, Ferguson Township Manager.

I. CALL TO ORDER

Mr. Keough called the Planning Commission meeting to order on Monday, August 26, 2019 at 6:05 pm.

II. CITIZEN INPUT

None

III. INTRODUCTION OF NEW ALTERNATE PLANNING COMMISSION MEMBER

Mr. Keough introduced the Planning Commission's new alternate, Dr. Ellen Taricani. Tonight will be her first meeting.

IV. ZONING/SALDO UPDATE

Ms. Aneckstein explained to the Commission the Zoning/SALDO updates that have been recommended by the Board of Supervisors from work session that was held on August 20, 2019. Ms. Aneckstein stated they discussed the land development process and how to make it smoother. Staff was reviewing preliminary and final plans at the same when the ordinance states that plans should be reviewed separately in a preliminary plan state and a final plan when it's ready. Mr. Keough asked if they discussed the difference between small and large land development plans and if there should be a difference in the reviewing process. Such as doing the preliminary and final review together for a smaller development plan to help the resident with costs but what would be considered a small subdivision plan. Mr. Ressler explained that in table one of the previous version of the SALDO a minor subdivision is any subdivision of land located within the adopted regional growth boundary which does not require an extension of sewer or water mains or the construction of new streets. Secondly, the subdivision of up to four lots of single family detached dwellings or farm uses in the RA and RR zone where the installation of streets, offsite or community water or waste water systems, storm water drainage. These plans will still need to go through the Planning Commission and the Board. Mr. Pribulka stated that it's not the size or complexity but is based more on the conditions of approval. Mr. Keough asked how minor

lot subdivisions are affected by what was stated. Mr. Ressler stated that with minor lot subdivisions there are about four different things that don't need to be shown on the plans that larger plan would need to have shown.

Ms. Aneckstein followed up with easements. This issue is not addressed in the SALDO, other forms of easements are addressed but off site easements such as the Cottages is not. This type of easement does not occur a lot but needs to be written into the new ordinance. The Board also discussed parking/overflow parking. A main concern with parking that was brought up was Rush Cliff Street the street was allowed for the movement of traffic and not parking and there was an issue of residents parking on the street. Ms. Aneckstein stated that this issue has not been resolved and asked the Commission if they had any comments. Mr. Pribulka stated this is a big thing as parking is normally listed in Zoning and not the SALDO. This was done with the goal of not having so many parking variances.

Ms. Aneckstein noted that the Board went over a few of the zoning districts and will be covering the rest at the Wednesday work session. Ms. Aneckstein stated that the Board discussed eliminating the industrial district, she stated this came up because there only a few parcels that are zoned industrial and the properties in this area could benefit if it was zoned commercial. However, the possible elimination this could cause legal issues. The Board discussed the possibility of an inter-municipal agreement with other townships such as College Township if they were to eliminate the industrial district. Ms. Aneckstein stated that there was discussion on chickens in the single family residential district. The Board added them in as a permitted use, child care and tutoring services were also added as permitted uses in this zone. Ms. Aneckstein stated that the Board briefly covered R1,2,3, and 4 not much changed in these zones other than the adding of chickens and a community garden was added as a permitted use in R3 for 1 acre. Mr. Keough stated that 1 acre is a large portion of land to be used for just a community garden. Ms. Aneckstein stated that this one acre would include a small building/single family home and the community garden, it would all need to occupy the one acre.

Ms. Aneckstein stated that the Board did not cover RA, RR or AR yet. Mr. Pribulka also noted that the Board has added a fair amount of what was once a prohibited use or use by right as conditional uses. Ms. Aneckstein also wanted to note to the Commission that in the village, schools were removed as a use, convenience stores were moved to a conditional use, and there was a proposal of the keeping of livestock was discussed.

V. CONSENT AGENDA
None

VI. ACTIVE PLANS REPORT – COMMUNITY PLANNER

Ms. Aneckstein stated that there are no new active plans. As a refresher Ms. Aneckstein went over the status of all current plans. The State College Borough Water Authority's Gary and Carol Myers replot and Nixon-Kocher Water treatment facility will be coming in front of the Commission soon. Ms. Aneckstein stated that she has spoken with Ms. Froehlich from Stahl Sheaffer Engineering regarding the Whitehall Road Regional Park and she hopes to have another draft submitted next week. Mr. Pribulka wanted to note that he has scheduled a meeting for September 12, 2019 with CRPR, representatives from the Township, one

member of the tree commission and one member of the parks and recreation committee will be present and possibly a member of the Planning Commission. The purpose of this meeting is to discuss the landscape plan and tree planting plan.

Ms. Aneckstein stated that Harner Farm, Orchard View, and Sheetz go hand in hand and the developer would like to present them all at the same time. Staff has sent comments back to Penn Terra and they are currently addressing them and will resubmit shortly. Ms. Aneckstein stated that Pine Hall was approved at last Board meeting. The terms and conditions and transportation agreement were sent to Derek Anderson at Residential Housing, and we are currently waiting for signatures to be returned so we can proceed. Mr. Keough asked for a status update in the work force housing that is included in this project. Mr. Pribulka stated that he can give a general update. The plan has about 101 workforce housing units in the development. Mr. Keough asked if it was possible in the future for the Commission to get a detailed report on the work force housing. Mr. Pribulka stated that the Commission will see this information prior to the review and recommendation of this implementation plan.

Mr. Keough stated that he has spoken with the new Planning Director and they feel that with the hiring of a new Planning Director and the possibility of a new Commission members in the upcoming months they would like to have a skills and learning work shop. This will be a half day event and is for the new Planning Director and new Commission members to go over everything the Commission does and address any questions. Mr. Keough asked the Commission if they had any questions, issues, or discussion topics that need to be talked about at future meetings. Mr. Thompson stated that he would like to talk about transportation. Mr. Binney agreed and stated that with all the current development going on in the Township there will be some major road/transportation changes coming. Mr. Pribulka stated that in 2022 the Board has agreed to a lot \$232,000 for a Ferguson Township wide traffic study. Mr. Keough stated that it would be good to meet with staff to talk about some pinch points so they can be highlighted in the study.

Mr. Keough stated he would like the possibility of a GIS tour of Ferguson Township. He would like to discuss the primary growth area, review vacant land in the growth area, and developable land in the growth areas. Mr. Keough stated the possibility of rezoning some of these lots.

X. CENTRE REGIONAL PLANNING COMMISSION REPORT

Mr. Thompson stated that the Centre Regional Planning Commission meeting was held on Tuesday, August 1, 2019. They discussed the Zoning and SALDO update for Ferguson Township. The commission wanted to further discuss this at the September meeting since it is such a long document. The commission reviewed some of the UAJA task activity reports, Scott Road pump station report. This facility is recommended to be expanded as it is nearing capacity. There was more discussion on the regional bus tour, they would like to visit the northland area mobility study and student housing complex downtown. Possible Dates for this tour will be November 22nd, November 16th, or October 26th. This tour will be held on a Saturday from 8-9:00 am and will finish around noon and lunch will be provided. The next meeting will be held on September 5th, 2019 at 7:00 pm in the forum room in the COG Building.

XI. APPROVAL OF REGULAR MEETING MINUTES JULY 22, 2019

Mr. Keough entertained a motion to approve the July 22, 2019 minutes. Mr. Crassweller moved the motion and Mr. Wheland seconded the motion. Mr. Binney stated that on page 4, second paragraph it states “any drop offs” he would like it to say “decrease in level of service on blue course road” as the exact language.

XII. ADJOURNMENT

The Planning Commission meeting for Monday August 26, 2019 was adjourned at 8:00 pm.

Respectfully Submitted,

Rob Crassweller, Secretary
For the Planning Commission