

TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

**FERGUSON TOWNSHIP PLANNING COMMISSION
AND THE
FERGUSON TOWNSHIP PARKS & RECREATION COMMITTEE
JOINT WORK SESSION & REGULAR MEETING AGENDA
MONDAY, APRIL 22, 2019
6:00 PM**

A. JOINT WORK SESSION WITH THE PLANNING COMMISSION AND THE PARKS & RECREATION COMMITTEE:

- I. CALL TO ORDER: PLANNING COMMISSION, PARKS AND RECREATION COMMITTEE**
- II. CITIZENS INPUT FOR ITEMS ON THE AGENDA**
- III. INTRODUCTIONS**
- IV. WHITEHALL ROAD REGIONAL PARK PRE-APPLICATION CONFERENCE**

Section 22.302 of the Subdivision and Land Development Ordinance allows a potential applicant to request a conference with the Planning Commission for the purpose of discussing or reviewing proposed subdivision or land development plans. Centre Region Parks & Recreation along with Stahl Sheaffer Engineering requested a pre-application conference, and staff felt this would be an opportune time for the Township's Parks & Recreation Committee to see the proposal as well. The Pre-Application Conference does not constitute a formal application submission. The Planning Commission, with input from the Parks & Recreation Committee, as its sole discretion, may make or refuse to make recommendations as the result of the Pre-Application Conference.

- V. ADJOURN PUBLIC WORK SESSION: PLANNING COMMISSION, PARKS AND RECREATION COMMITTEE**

B. REGULAR MEETING

- I. CALL TO ORDER**
- II. CITIZENS INPUT**
- III. KING WEALTH STRATEGIES LAND DEVELOPMENT PLAN.**

This Plan, first submitted on June 26, 2018 by Penn Terra Engineering, Inc. on behalf of the owners/applicants, Laura and Thomas King proposes the conversion of the existing residential property located at 222 Blue Course Drive to their financial planning business offices. Tax Parcel 24-012-,012 contains .269 acres, is zoned General Commercial and lies within the Corridor Overlay. The existing building has a total of 2,800 square feet with 1,400 on both the first floor and basement. This property has been granted five (5) variances prior to the land development submission. Over the months, requests for modifications have been considered, but

withdrawn. At this point, all remaining comments are administrative and are outlined in the memo.

STAFF RECOMMENDATION: The Planning Commission make a recommendation to the Board of Supervisors to approve the King Wealth Strategies Preliminary/Final Land Development Plan, submitted on June 26, 2018 and last revised on April 9, 2019 condition upon all outstanding items being completed.

IV. CONSENT AGENDA

- a. Subdivision and Land Development Ordinance Section 513, Public Use and Service Areas.
- b. PZ Director Resignation Letter

V. PLANNING DIRECTOR REPORT

VI. ACTIVE PLANS UPDATE

VII. CENTRE REGION PLANNING COMMISSION REPORT

VIII. ZONING/SALDO UPDATE

IX. PINE GROVE MILLS – SMALL AREA PLAN

X. APPROVAL OF MINUTES APRIL 8, 2019

XI. ADJOURNMENT

Whitehall Road Regional Park
Project Narrative
Ferguson Township Pre-Application Meeting
April 22, 2019

The proposed 100-acre Whitehall Road Regional Park project has been in existence for more than 10 years, but in 2018 has received the green light because a park partner—Toll Brothers—received approval to move forward with The Cottages Student Housing Project. These two projects partnered in 2015 through negotiations between Ferguson Township and Toll Brothers. The Whitehall Road Regional Park is co-owned by Ferguson Township and COG (Council of Governments) and leased to the Centre Region Parks and Recreation Authority for 50 years for development and operation. The proposed land development project includes the development of Phase I, which is approximately 55 acres of the property. The remaining land will be terminated of active farmland and returned to native grasses while awaiting future development.

The partnership with the adjacent property benefitted the park greatly because Toll Brothers agreed to provide approximately \$1.2 million in infrastructure development on behalf of the park. The in-kind donation includes extending the access road to the park's entrance, extending water, electricity, and natural gas to the park's boundary, building the pump station on park property and providing the sewer connection for the park and for The Cottages.

The primary field amenities of the Phase 1 development include two lighted grass fields (with a planned alternate of synthetic turf, further discussed below), two unlighted grass fields, and two grass practice/open space areas. The park development also includes a 12,000 LF accessible walking trail, an All-Ability and Universally-Accessible Playground, an All-Season Pavilion with attached concession stand and restrooms, and a three-bay park operations storage building. The required park infrastructure includes a paved entrance road, paved parking lots (just under 500 spaces), accessible connector sidewalks and trails, public water and sanitary sewer service, and natural gas service. There will be green stormwater management facilities such as bioswales, pollinator-planted retention basins, underground catchment basins, all of which connect to the storm sewer system. A solar installation on the All-Season Pavilion will support the building's energy needs, and there is a proposed landscaping buffer system to include trees, shrubs, and native grasses.

In 2013, the Whitehall Road Regional Park Master Plan was amended to designate the two larger rectangular playing field for synthetic turf and lights. These fields will accommodate traditional sports like football, flag football, lacrosse, field hockey, and soccer, and non-traditional sports like ultimate Frisbee, rugby, cricket, and more. This master plan change was spearheaded by local sports groups—particularly Centre Soccer—as they discussed field needs and the desire to have first-class playing fields. Additional sports groups demonstrated their support for synthetic turf and lights as well, knowing that this addition would lift some of the strain on the area's grass fields as well as extend the typical season. It was determined as well, through the Whitehall Road Regional Park Master Planning Process and the PA Outdoor Recreation Plan, that the Centre Region area was grossly behind in rectangular playing fields inventory based on population. Since that time, youth sports group membership has exploded with multiple soccer

leagues, a field hockey league, a lacrosse league, and expanding youth flag football and traditional youth football leagues.

The two synthetic turf fields and lights will be used in conjunction with the two grass rectangular fields to provide practice, game, and tournament opportunities for local sports groups and Centre Region Parks and Recreation activities. There are additional grass areas in the Phase I construction project that will include on-demand small youth practice fields and/or overflow parking. The Centre Region Parks and Recreation Authority will combine a mixture of use for various sports for the two synthetic turf fields to include game/tournament use and in combination with other grass rectangular playing fields within the rest of the Centre Region parks.

The goal of including synthetic turf and lights during the Phase I construction of the Whitehall Road Regional Park will provide the following benefits to this community:

- These fields will be the only public synthetic turf fields for community users;
- They allow play to continue after heavy rains because they can withstand wet conditions.
- They allow the sports seasons to extend into the late winter/early spring and into the late fall/early winter.
- They reduce the burden on some of the community fields currently being used; these community fields are in poor condition and need long-term repairs.
- The addition of lights allows our teams to have additional access in the spring and fall when after-school play is limited due to shortened daylight hours. It also allows the youth players to complete practice/league play and then allows adults to have access as well with play into the evening hours.
- The combination of lights/synthetic turf will allow the Authority to better schedule the various leagues and activities throughout the Centre Region, especially once the community fields are repaired and restored
- The combination of lights/synthetic turf will allow the leagues to have access to top-notch fields so that they can host their league play and tournaments on safe, quality fields without the pressure of weather.
- These synthetic turf fields also present an opportunity for other community groups to attract local, regional, state, and possibly national tournaments into the Centre Region, providing an economic impact for the local businesses.
- The Central PA Convention and Visitors Bureau will be able to bid on tournaments further in advance and be able to compete for the best tournaments with a solid selection of facilities.
- Whitehall Road Regional Park is the best location for lighted fields because it is centrally located in an area with no existing residences around it. Sports fields built to date are nearly all located in densely populated developments that would be impacted from lighting, if added.

Because the location of the park is in a formerly farmed area, and there are some residences approximately 1,200 lf from the park's north boundary, and 2,826 LF from the south boundary, the Agency is paying particular attention to light pollution and light spill. The two rectangular fields designated for sports field lighting will be almost an additional 400' further from the northern homes, and with high-efficiency LED lighting, light pollution should not be a problem with this installation. Each light unit will have a light brim to reduce any upward light pollution, by upwards of a 50% reduction, and there will be a smart engineered installation to light two fields with a minimum number of light poles, further reducing light pollution in the area. The current design drafted for the two synthetic turf fields includes six poles surrounding the two fields with two poles carrying dual mounts for either field. This maximizes the light focus for the two fields and reduces the number of pole installations, thereby keeping more of the park's viewshed of the mountain range intact.

A \$4.8 million loan for the park is secured by the Centre Region Parks and Recreation Authority and is financially backed by State College Borough and the Townships of College, Ferguson, Harris, and Patton. The loan payments are paid by the COG-participating municipalities through pass-through local tax funds. The loan is secured to build Phase I of Whitehall Road Regional Park which includes the four grass rectangular fields, restroom/concession/all-season pavilion, All-Ability and Universally-Accessible Playground, two-mile walking trail, and all infrastructure to include road, parking lots, stormwater management, connector trails and sidewalks, lighting, and furniture and fixtures.

The Authority was awarded a \$300,000 matching grant from the PA Department of Conservation and Natural Resources (earmarked solely for the All-Ability and Universally-Accessible Playground). This grant requires a \$300,000 match with is secured through the loan funding noted above. There is additional fundraising taking place as the playground budget is approximately \$750,000.

Because the synthetic turf and lights are an add-alternate project and funding isn't available via the loan process, the Authority is fundraising for the \$3.2 million earmarked for this project to include individual and corporate donations as well as additional grants.

Total funding as of January 2019 is \$5.1 million.

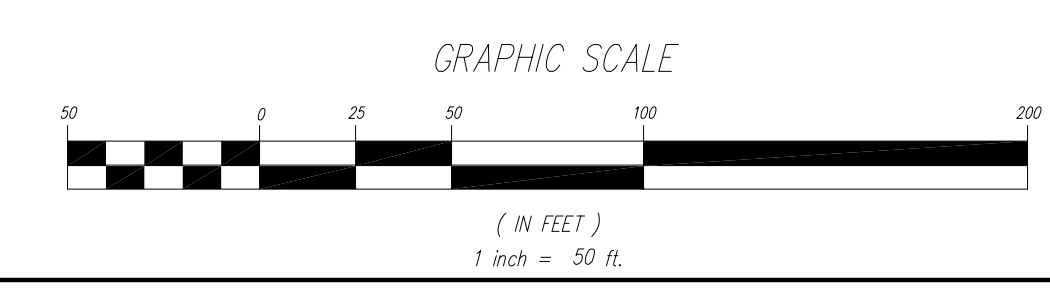
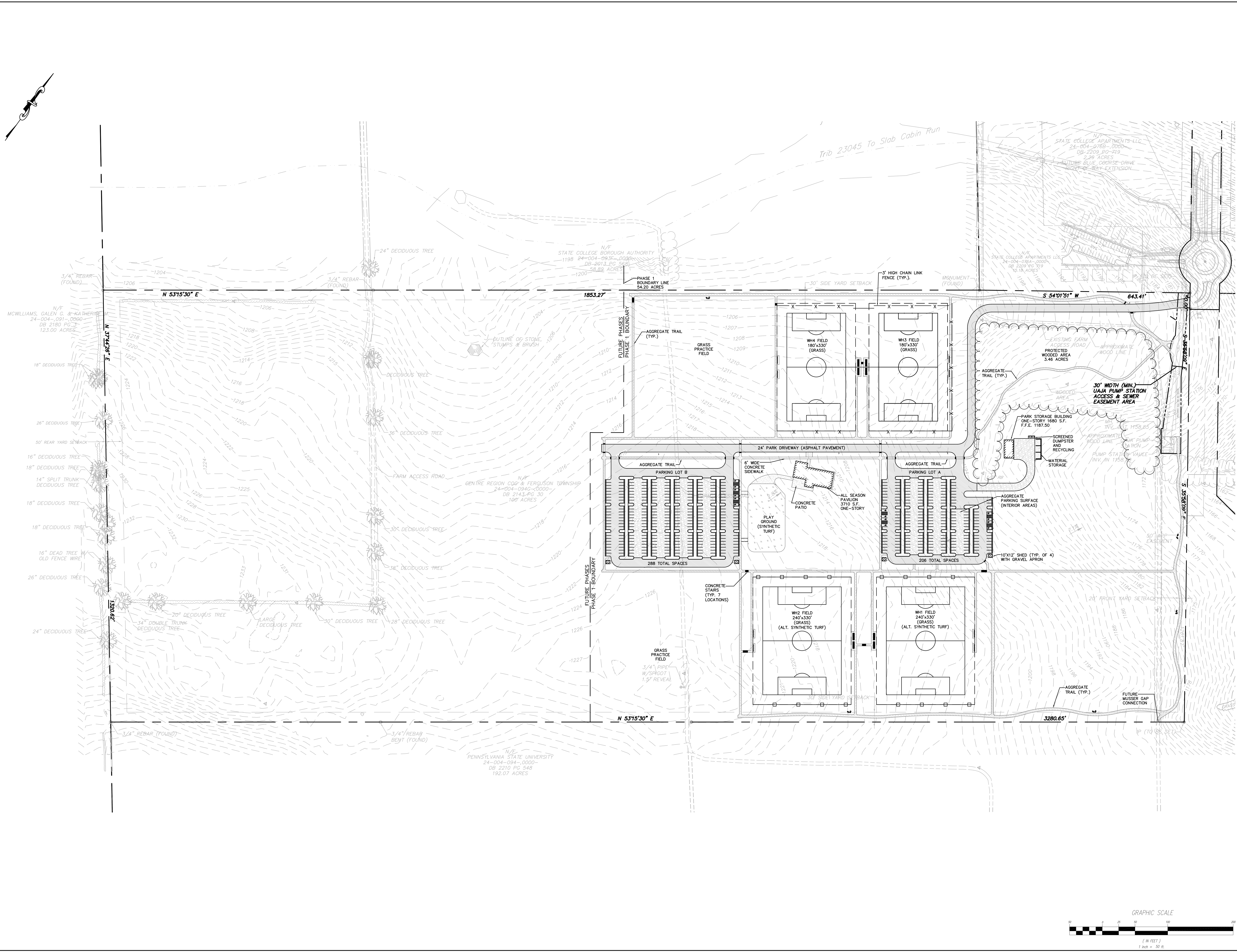
The current project schedule anticipates a Township Land Development submission/approval process throughout Summer 2019, with project bidding and construction in late fall.

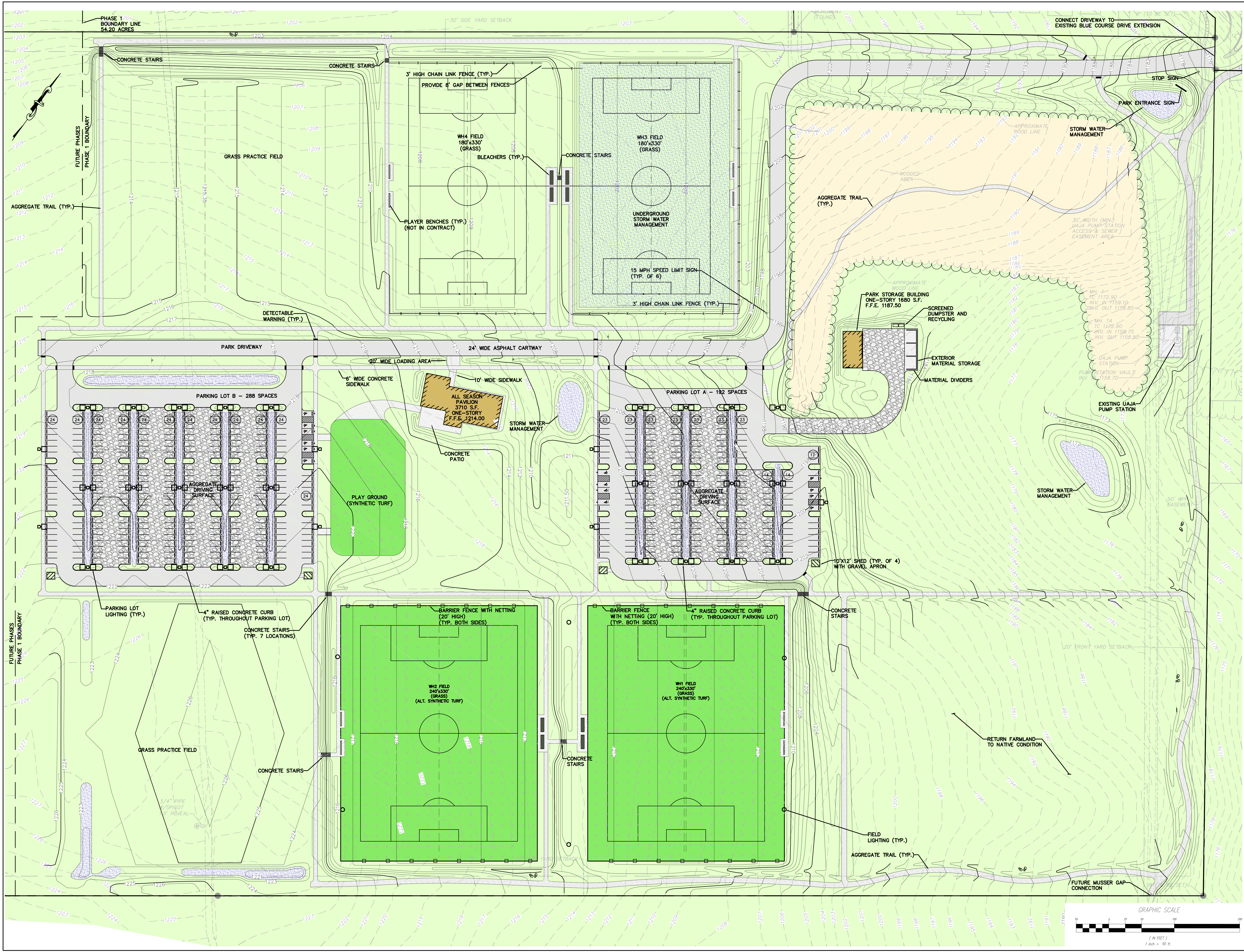
REVISIONS		
SYM	DATE	DESCRIPTION

SUBMISSIONS	
DATE	DESCRIPTION

WHITEHALL ROAD REGIONAL PARK PHASE 1

<PRELIMINARY
 NOT FOR
 CONSTRUCTION>



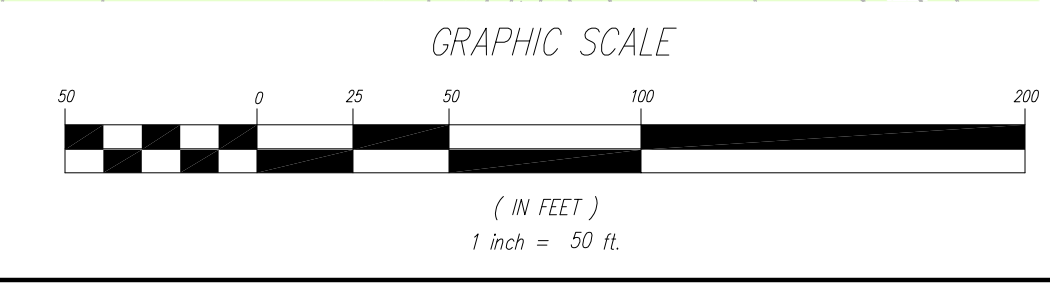


REVISIONS	
SYM	DESCRIPTION

SUBMISSIONS	
DATE	DESCRIPTION

WHITEHALL ROAD REGIONAL PARK PHASE 1

<PRELIMINARY NOT FOR CONSTRUCTION>





PICNIC PAVILION AND CONCESSIONS BUILDING

CENTRE REGION PARKS AND REC

WHITEHALL RD. REGIONAL PARK

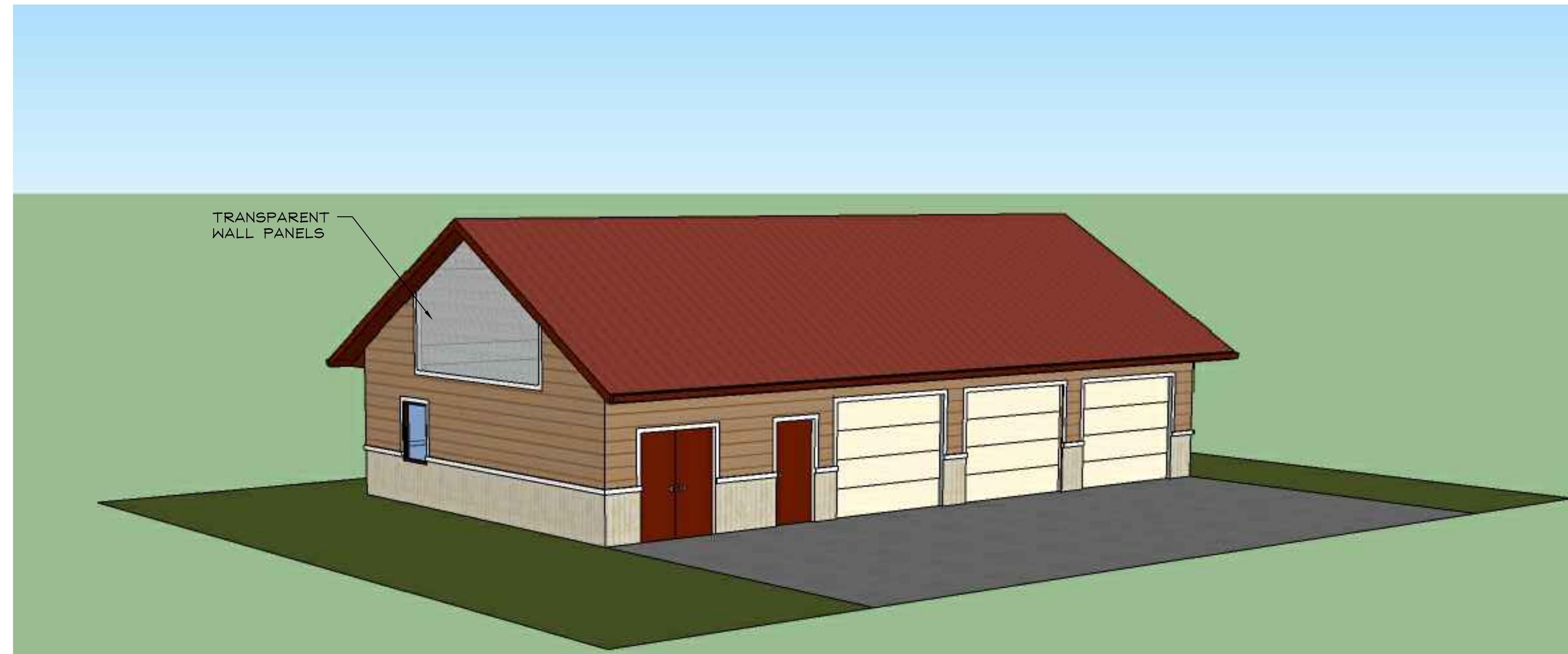
January 23, 2019

Fernsler
Hutchinson ARCHITECTURE LLC

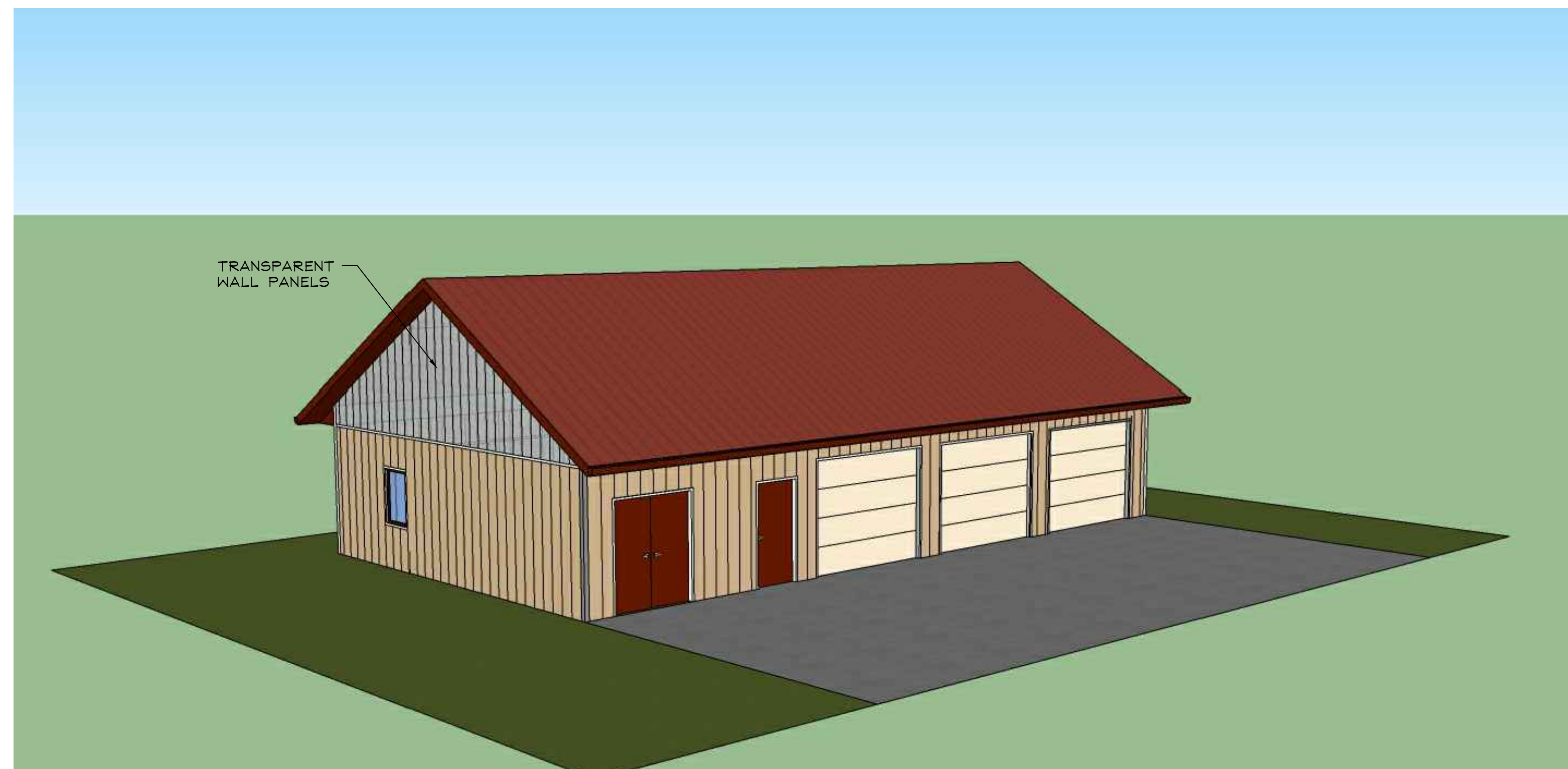
521 East Beaver Ave.
t: 814.234.6806

f: 814.234.0256

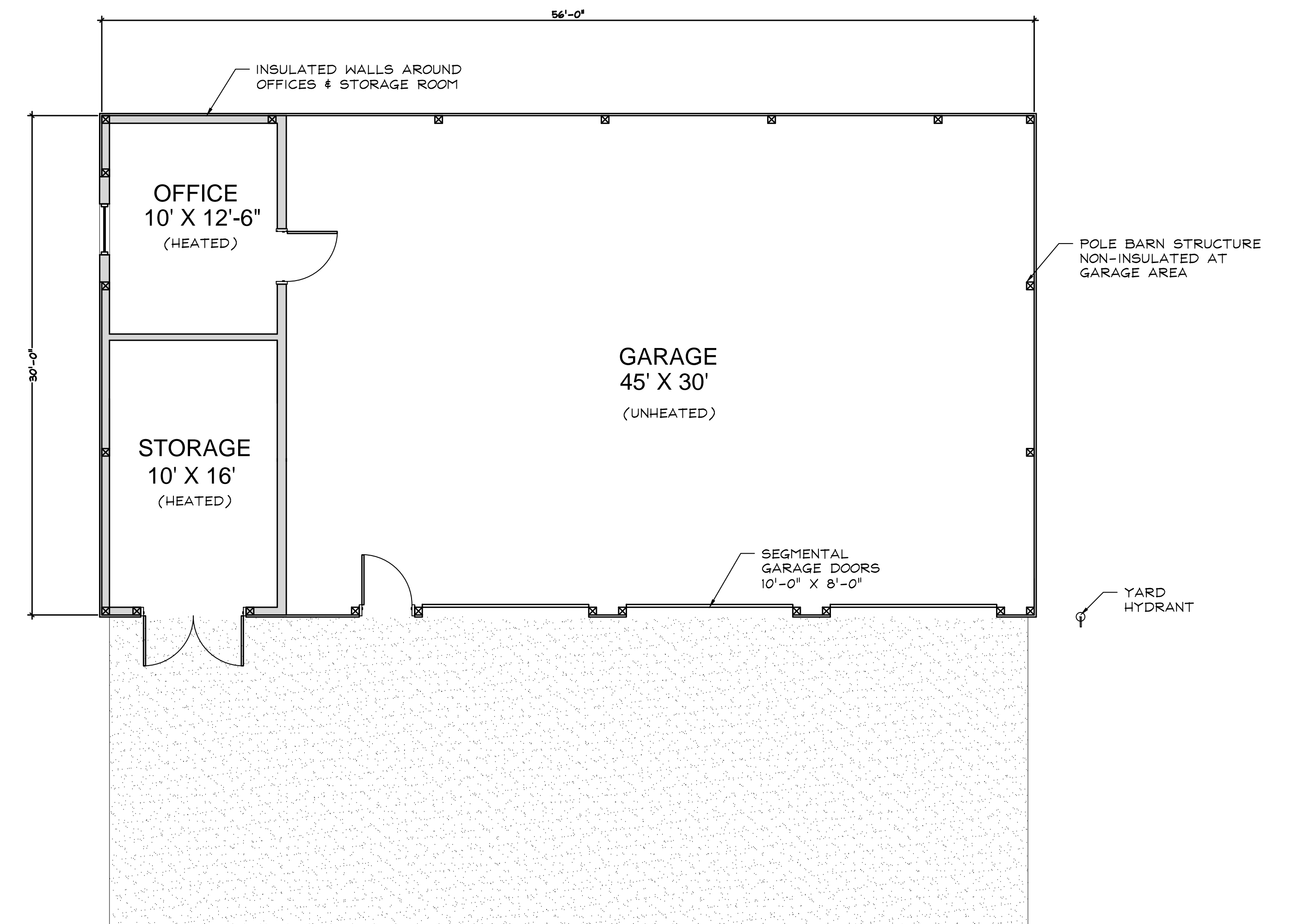
State College, PA 16801
e: fjfaia@aol.com



3D VIEW WITH CUSTOM FINISHES TO MATCH PAVILION



3D VIEW WITH STANDARD POLE BARN FINISHES



MAINTENANCE BUILDING 1,680 S.F.
 SCALE: 3/16" = 1'-0"

CENTRE REGION PARKS AND REC

WHITEHALL RD. REGIONAL PARK

January 23, 2019

**Fernsler
Hutchinson** ARCHITECTURE LLC

521 East Beaver Ave.
t: 814.234.6806

State College, PA 16801
f: 814.234.0256 e: fjfaia@aol.com

Part 3

Plan Review Procedures

§22-301. General.

Tentative subdivision and land development plans shall be reviewed by the Township Planning Commission and the Centre County Planning Commission, or its designated agent, and shall be approved or not approved by the Board of Supervisors in accordance with the procedures specified in this Chapter. Plans may be presented in two stages, preliminary and final, or simultaneously as a preliminary/final plan. If a plan is presented in one stage as a preliminary/final plan then the plan must meet both the preliminary plan requirements and final plan requirements as if the plan were presented in two stages.

(Ord. 374, 1/10/1989; as amended by Ord. 402, 9/12/1989, §3)

§22-302. Preapplication Conference.

1. A potential applicant for subdivision or land development, all or part of which is situate in the Township, may request a conference with the Planning Commission for the purpose of discussing or reviewing such proposed subdivision or land development.

2. The preapplication conference is strongly urged but shall not be mandatory and shall not be regarded as formal application for subdivision or land development. The filing of any report, sketch plan, plat, or map prior to or at such conference shall not constitute submission of a plan or application for land development or subdivision.

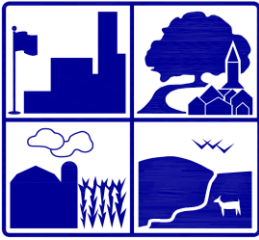
3. Any report, sketch plan, plat, or map to be considered by the Planning Commission at such conference shall be provided by the potential applicant in ten copies and the Township Department of Planning and Zoning shall distribute a copy of the same to the Township Planning Commission and the Centre Regional Planning Commission for informational purposes only. [Ord. 820]

4. The Planning Commission may, at its sole discretion, make, or refuse to make, recommendations as the result of the pre-application conference. Any recommendations made by the Planning Commission at or in response to the pre-application conference shall not be binding upon the Planning Commission in its review of the plan after formal application.

(Ord. 374, 1/10/1989; as amended by Ord. 820, 12/8/2003)

§22-303. Review of the Preliminary Plan.

All applications for approval of subdivision and land development plans shall commence with the official submission of a plan and all required supplementary data to the Township Department of Planning and Zoning. All applications for preliminary review of a plan shall be acted upon by the Township within such time limits as established in this Chapter, provided that the Board of Supervisors shall render its



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TO: Planning Commission

FROM: Raymond J. Stolinas Jr., AICP, Director of Planning & Zoning
Lindsay K. Schoch, Community Planner

DATE: April 17, 2019

SUBJECT: King Wealth Strategies Land Development Plan

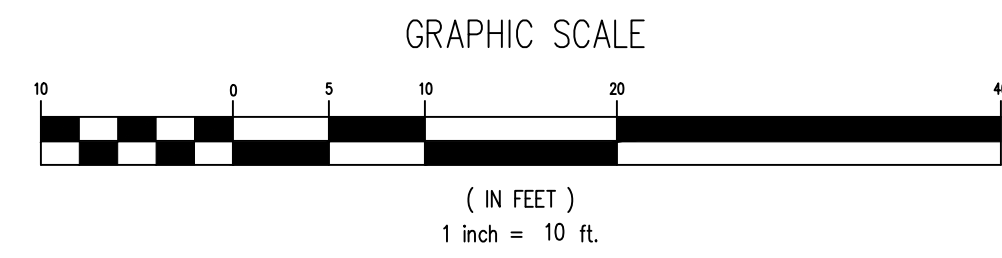
This Land Development Plan proposes the conversion of a 2,800 square foot building located at 222 Blue Course Drive, into the future offices of King Wealth Strategies financial planning. Tax Parcel 24-012-,012 contains .269 acres, is zoned General Commercial and lies within the Corridor Overlay. This property has been granted five (5) variances prior to the land development submission. Over the months, requests for modifications have been requested, only to be withdrawn, as the agent was able to be in full compliance with the Subdivision and Land Development Ordinance. At this point, all remaining comments are administrative and are outlined below.

1. A digital copy of the plan in accordance with Township requirements must be provided to the Township prior to final plan signature. (Chapter 22 Section 304.7) **Comment Stands.**
2. The plan must be signed, all fees paid to the Township and the plan recorded within the plan deadline. **Comment Stands**
3. The plan must be signed, all fees paid to the Township, and the plan recorded within the plan deadline. **Comment Stands.**

Staff Recommendation: The Planning Commission make a recommendation to the Board of Supervisors to approve the King Wealth Strategies Preliminary/Final Land Development Plan, submitted on June 26, 2018 and last revised on April 9, 2019 condition upon all outstanding items being completed.

CONSTRUCTION & DEMOLITION NOTES

- FIELD SURVEY DATA PREPARED BY PENNTERRA ENGINEERING, INC. CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION AND CONTACT THE SITE OWNER OR OWNER'S REPRESENTATIVE IN THE EVENT OF A DISCREPANCY.
- THE PROJECT BENCHMARK IS CONTROL POINT #4 (MAGNAIL) @ THE SOUTHERN CORNER OF PROPERTY IN SIDEWALK. ELEV. = 1129.10'.
- CONTRACTOR SHALL VERIFY THE LOCATION OF MANHOLES, INLETS VALVES, ETC. CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AS DEEMED NECESSARY WITHIN THE LIMITS OF CONSTRUCTION TO DETERMINE THE EXACT LOCATION AND DEPTH AS REQUIRED. ALL EXISTING UTILITIES SHALL BE RETAINED UNLESS MARKED OTHERWISE, AND APPURTENANCES SHALL BE ADJUSTED TO FINAL GRADE. DAMAGE TO EXISTING CONDITIONS AND UTILITIES TO REMAIN SHALL BE REPAIRED AS REQUIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- ALL AREAS DISTURBED DURING CONSTRUCTION, NOT DESIGNATED TO RECEIVE PAVING OR MULCH SHALL BE FINE GRADED, TOPSOILED, & SEEDED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS AND WORK REQUIRED TO ADJUST EXISTING AND PROPOSED UTILITIES AND APPURTENANCES TO FINISH GRADES WITHIN THE LIMITS OF WORK.
- ALL PAVING TO BE REMOVED SHALL BE SAWCUT TO PROVIDE A SHARP CLEAN EDGE. CONCRETE TO BE REMOVED SHALL BE SAWCUT AT THE NEAREST JOINT BEYOND THE AREA TO BE REMOVED.
- CONTRACTOR SHALL CONTACT PA ONE CALL SYSTEM @ 1-800-242-1776 AT LEAST THREE (3) DAYS PRIOR TO CONSTRUCTION ACTIVITIES.
- ALL DEMOLITION WASTE & CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PROJECT BY THE CONTRACTOR. WASTE MATERIAL MUST BE DISPOSED AT STATE APPROVED WASTE SITE IN ACCORDANCE WITH D.E.P. CLEAN FILL REGULATORY. CONTRACTOR MUST ALSO ADHERE BY ALL LOCAL, STATE, FEDERAL, OSHA AND PERMIT REQUIREMENTS/REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT.
- ALL FILL MATERIAL BROUGHT ON TO THE JOB BY THE CONTRACTOR MUST COMPLY WITH ALL APPLICABLE D.E.P. REGULATIONS REGARDING CLEAN FILL.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE PENNDOT STANDARDS, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- ALL PLACEMENT & COMPACTION OF FILLS AND UTILITY TRENCHING/BACKFILL SHALL BE IN ACCORDANCE WITH PROJECT SPECIFICATIONS IF AVAILABLE. OTHERWISE CONTRACTOR SHALL FOLLOW THE LATEST PENNDOT SPECIFICATIONS.



SOILS LEGEND

Soil cover on the site consists of:
 HaB - Hagerstown Silt Loam, 3-8% Slopes
 HuC - Hublersburg Silt Loam, 8-15% Slopes

EXISTING FEATURES LEGEND

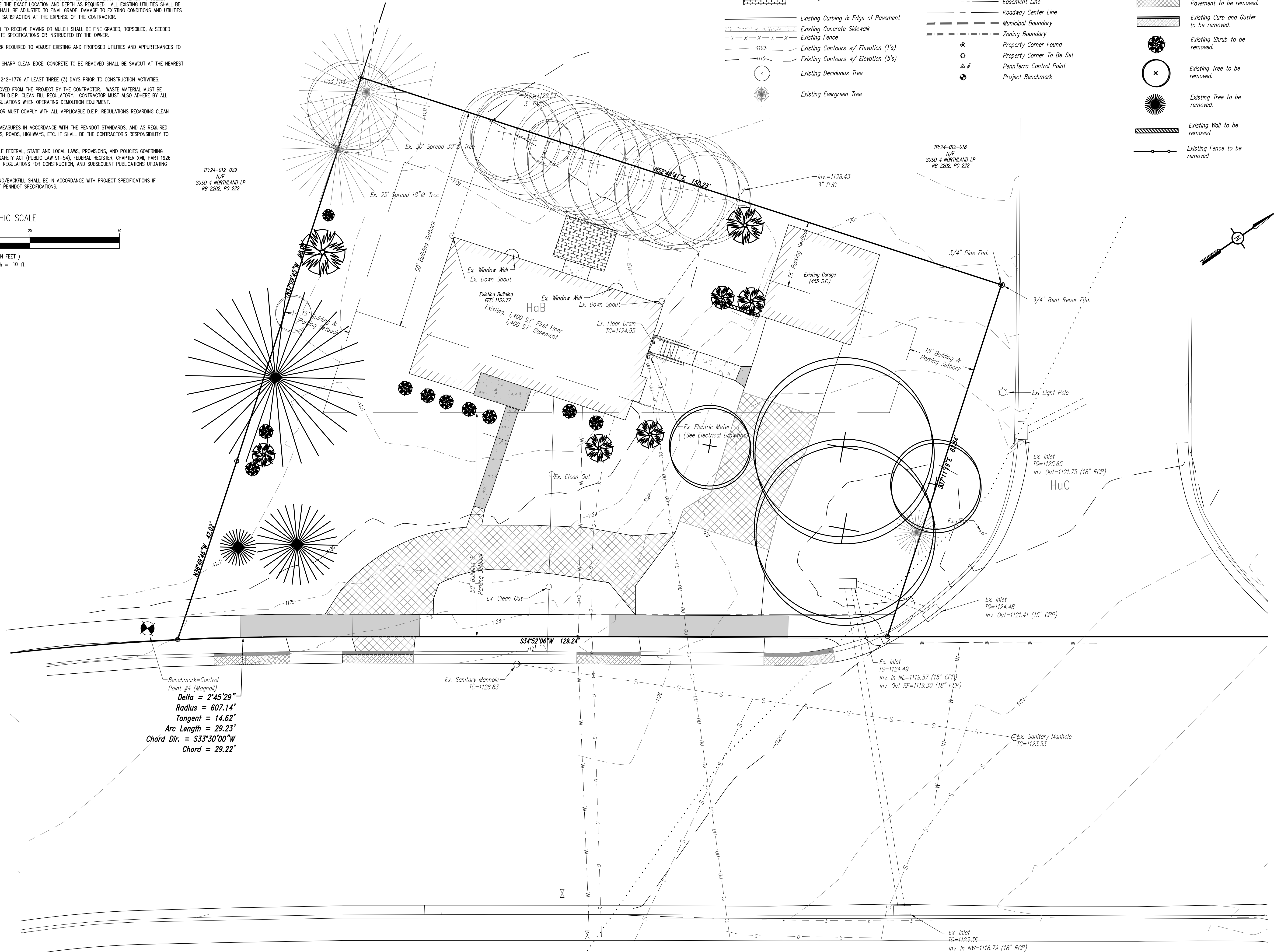
- Existing Building
- Existing Pavers
- Existing Curbing & Edge of Pavement
- Existing Concrete Sidewalk
- Existing Fence
- Existing Contours w/ Elevation (1's)
- Existing Contours w/ Elevation (5's)
- Existing Deciduous Tree
- Existing Evergreen Tree

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- Municipal Boundary
- Zoning Boundary
- Property Corner Found
- Property Corner To Be Set
- PennTerra Control Point
- Project Benchmark

DEMOLITION LEGEND

- Existing Concrete Pavement, Walks and Slabs to be removed
- Existing Bituminous Pavement to be removed.
- Existing Curb and Gutter to be removed.
- Existing Shrub to be removed.
- Existing Tree to be removed.
- Existing Tree to be removed.
- Existing Wall to be removed
- Existing Fence to be removed



Benchmark=Control Point #4 (Magnail)
 Delta = 2°45'29"
 Radius = 607.14'
 Tangent = 14.62'
 Arc Length = 29.23'
 Chord Dir. = S33°30'00"W
 Chord = 29.22'

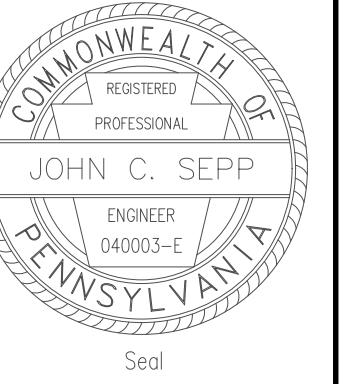


CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 Fax: 814-237-2308

LANCASTER REGION OFFICE:
 3904 B ABEL DRIVE
 COLUMBIA, PA 17512
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Designer	MAT
Draftsman	MJA
Proj/Manager	MAT
Surveyor	BRK
Perimeter Ok.	
Book	527 Pg 2
File	2 - EX. COND. & DEMOLITION
Layout	EX. COND. & DEMOLITION

4-3-19	PER TOWNSHIP COMMENTS
3-18-19	PER CLIENT COMMENTS
1-2-19	PER TOWNSHIP COMMENTS
11-30-18	PER TOWNSHIP COMMENTS
Date	Description
	REVISIONS

KING WEALTH STRATEGIES

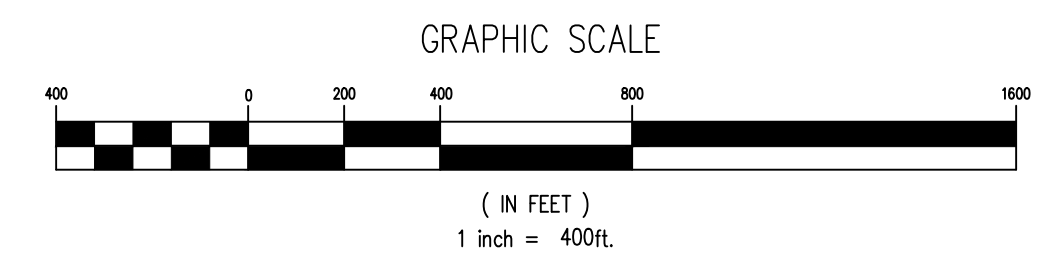
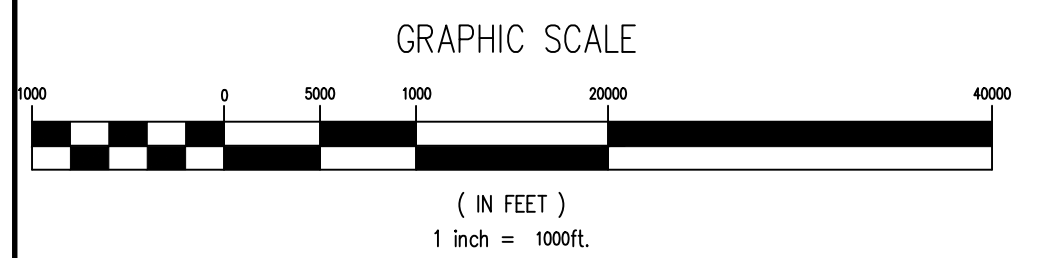
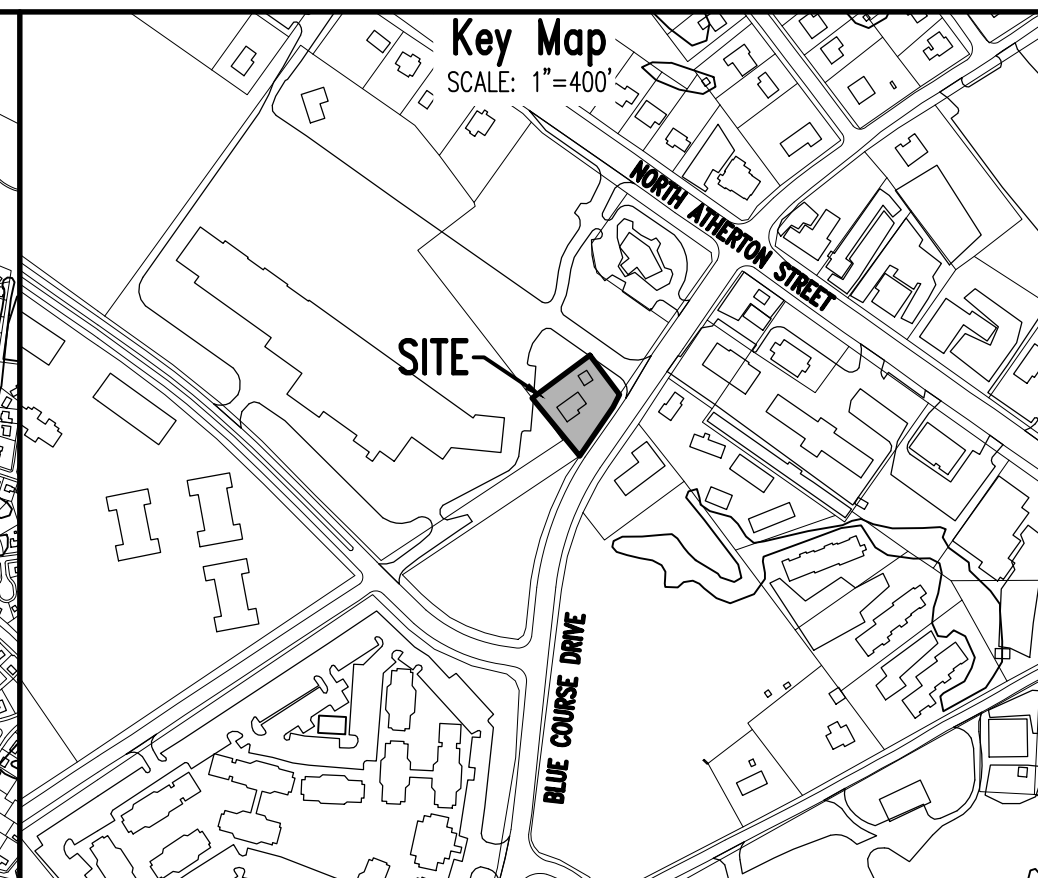
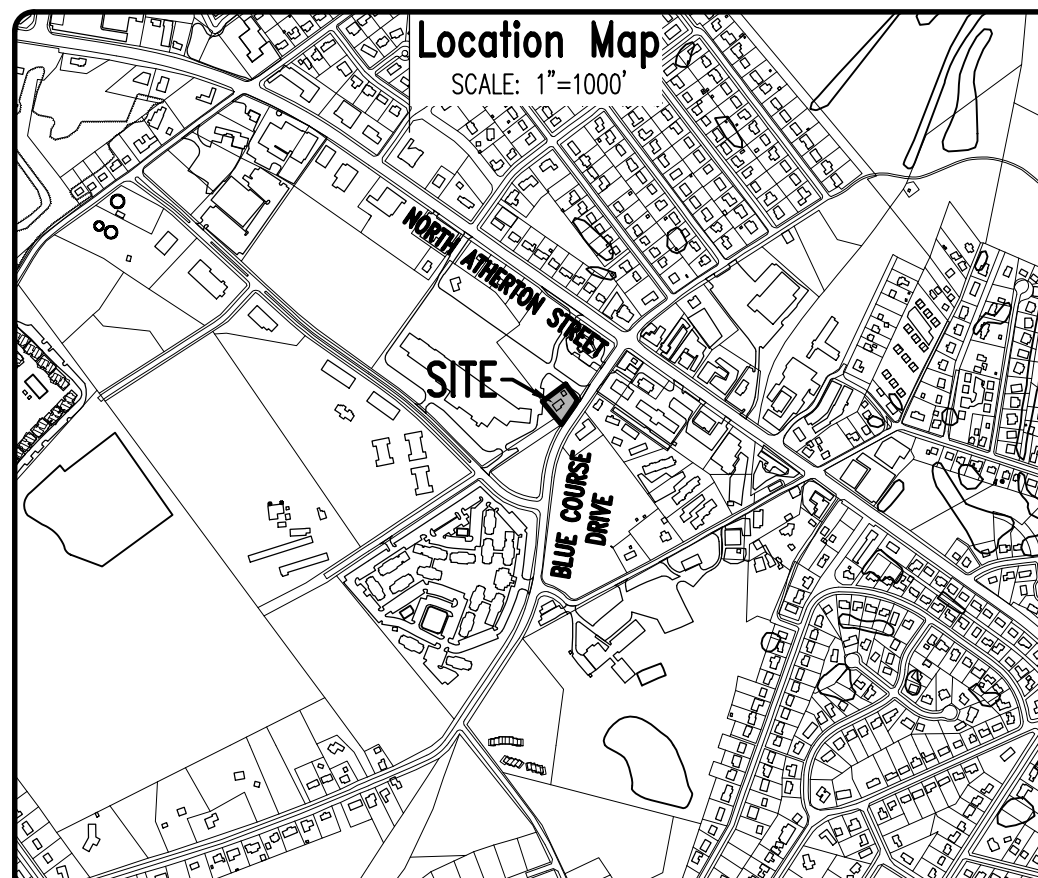
FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

EX. COND. & DEMOLITION

PROJECT NO.	17228
DATE	JUNE 26, 2018
SCALE	1"=10'
SHEET NO.	2 of 12

P:\Metro\2017\17228\Design\plot files\final plans\2 - EX. COND. & DEMOLITION.dwg - 4/8/2018 2:13:06 PM - 1:1



Owners Certification Tax Parcel 24-12-12

Commonwealth of Pennsylvania
County of Centre

On this the _____ day of _____, 20____, _____ personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

witness my hand and seal, this date _____

Notary Public _____ Commission Expires _____

Storm Water Facilities Acknowledgement

I/We _____ the landowner(s), my/our heirs and assigns, acknowledge the Stormwater Management System to be a permanent facility which can be altered or removed only after approval of a revised plan by the Ferguson Township Board of Supervisors. The stormwater management system is to be maintained in accordance with the approved ownership and maintenance program.

Township Planning Commission
Ferguson Township Planning Commission Approved

Chairman _____ Date _____

Secretary _____ Date _____

Township Supervisors
Ferguson Township Supervisors Approved

Chairman _____ Date _____

Secretary _____ Date _____

Municipal Storm Water Certification

I, _____, 20____, have reviewed the Stormwater Management Plan in accordance with the design standards and criteria of the Ferguson Township Stormwater Management Ordinance.

Fire Chief Certification

I have reviewed and hereby certify that the location of Fire Lanes and Fire Hydrants shown on this plan are adequate.

Fire Chief _____ Date _____

Storm Water Certification

I, _____, hereby certify that the Stormwater Management Plan meets all design standards and criteria of the Ferguson Township Stormwater Management Ordinance.

Design Engineer Certification

I, _____, hereby certify that this land development meets all design requirements of the Subdivision and Land Development Ordinance, Zoning Ordinance and all other applicable Chapters of Ferguson Township Code.

Professional Land Surveyor Certification

I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

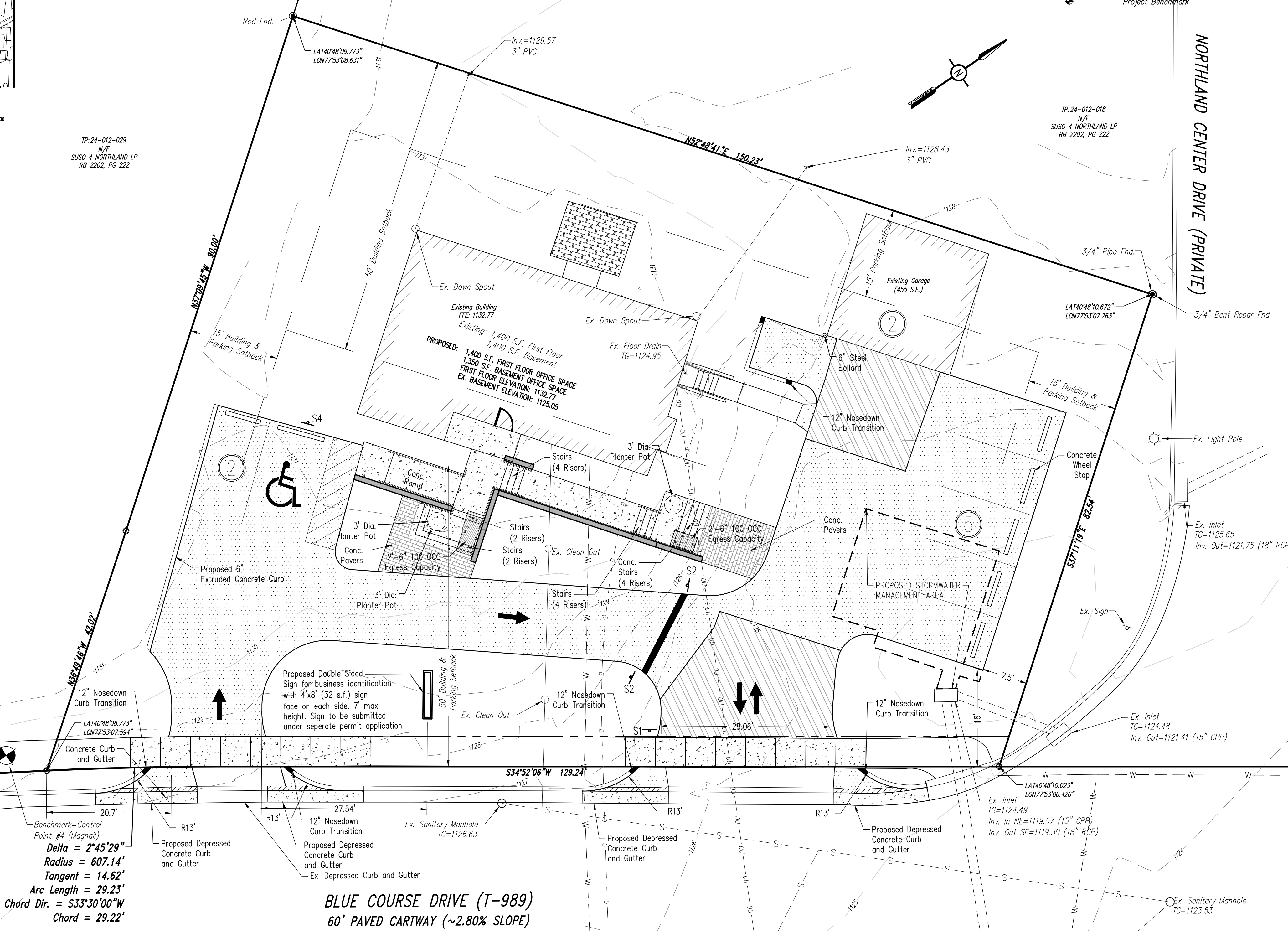
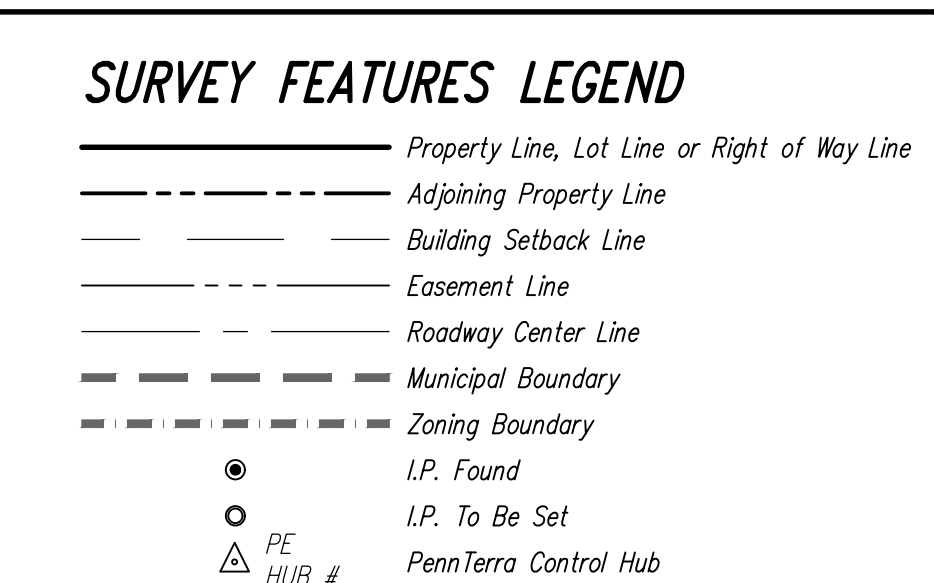
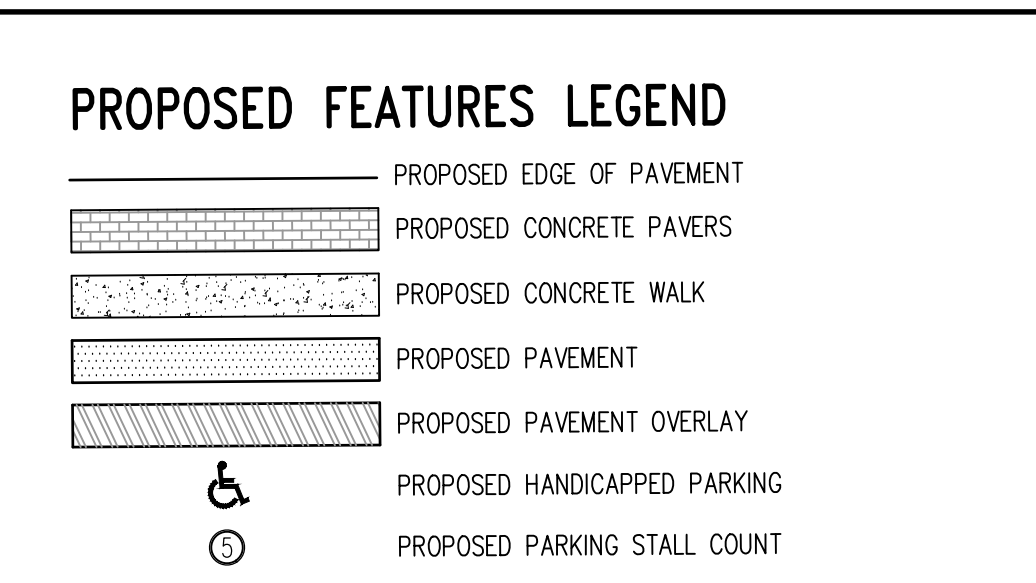
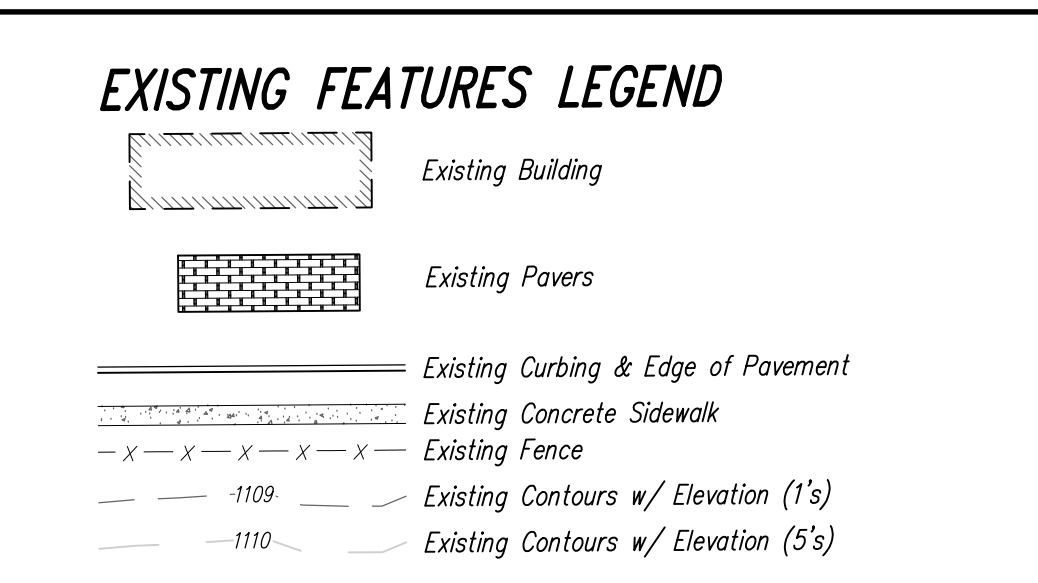
Signature _____ Date _____

- Project Notes:**
- General Site Information:
 - a. Owner of Record: Thomas C. and Laura A. King, 108 Wildemere Lane, Port Matillos, PA 16870, RB 2209 / PG 982
 - b. Tax Parcel No.: 24-12-12
 - c. Zoning: C - General Commercial within the Corridor Overlay District
 - d. Site Address: 222 Blue Course Drive, State College, PA 16801
 - e. Site Use: Residential (Existing), Commercial / Professional Office (Proposed)
 - f. Site Size: 0.369 Acres / 16,070 S.F.
 - g. Building Setbacks: Front - 50', Side - 15', Rear - 50'
 - h. Parking Setback: Front - 50' (See Note 9), Side - 15' (See Note 9), Rear - 15'
 - i. Building Height: 18' (Existing/Proposed) 45' (Allowed)
 - j. Building Area: 1,400 S.F. plus 1,400 S.F. Basement
 - Impervious Areas:
 - a. Existing: 1,866.34 S.F. (11.61%) (Building), 3,293.91 (20.50%) (Parking/Driveways/Walks), 5,160.25 S.F. (32%) (Total)
 - b. Proposed: 1,866.34 S.F. (11.61%) (Building), 6,829.18 S.F. (42.50%) (Driveways/Walks), 8,695.52 S.F. (54.11%) (Total)
 - c. Max. Allowable: 12,856 S.F. (80.00%) (Total)
 - Parking Calculations:
 - a. Required: 1 space per 250 S.F. Commercial (Non-Residential) = 2800 S.F. Commercial (Non-Residential) / 250 = 11 spaces
 - b. Provided: 9 Spaces including 1 HC space (See Note 9)
 - Act 287 Utility Information (Serial No. 2017242073):
 - a. Water: State College Borough Water Authority (SCBWA), 1201 West Branch Road, State College, PA 16801; (814) 238-6766
 - b. Sewer: University Area Joint Authority (UAJA), 1576 Spring Valley Road, State College, PA 16801; (814) 238-9662
 - c. Telephone: Verizon Facilities Management Center, 224 South Allen Street, State College, PA 16801; (814) 231-6511
 - d. Electric: West Penn Power Company, 2800 East College Avenue, State College, PA 16801; (814) 237-5821
 - e. Cable Television: Comcast, 60 Dechler Road, State College, PA 16801; (814) 238-5050
 - f. Gas: Columbia Gas, 2550 Carleton Drive, State College, PA 16801; (814) 238-6775
 - Project Benchmark: The Project Benchmark is control point #4 (Magnal) located at the southern corner of the property in sidewalk at Elev=1129.10. Contours shown are taken from field data collected by PennTerra Engineering, Inc. are based on USGS Datum.
 - This Record Plan conforms with the Plan requiring final approval by the Ferguson Township Supervisors _____ 2019. All improvements are to be installed in accordance with such Plan in a manner and time so specified herein.
 - Date of Zoning Permit Application June 26, 2018.
 - Ferguson Township Driveway Permit must be obtained prior to the issuance of a zoning permit.
 - The following variances were granted by the Ferguson Township Zoning Hearing Board on October 17, 2017:
 - A. Reduction of the required parking spaces by 2 spaces. (Section 27-809.1.B(2))
 - B. Reduction of the 50' Front Parking Setback by 34'. (Section 27-210.1.0)
 - C. Reduction of the 15' Flexible Buffer Yard by 7.5'. (Section 27-807.1.A)
 - D. Reduction of the 75' required minimum distance between driveway by 15'. (Section 27.801.1.E(2))
 - E. Reduction of the 18' required parking stall length by 2'. (Section 27-809.1.B(1))
 - The following variance was granted by the Ferguson Township Zoning Hearing Board on September 25, 2018:
 - A. To allow structures (sidewalks, steps and walls) within the front setback (Section 27-209)
 - There are no flood plains, sink holes or steep slopes on the site
 - Onsite Soils consist of HbB - Hagerstown Silt Loam, 3-BK Slopes and HbC - Hublersburg Silt Loam, 8-15% Slopes.
 - The nearest fire hydrant is located at the northeast side of Northland Center Drive and Blue Course Drive.
 - Curbside Refuse and Recycling containers shall be kept inside the garage and brought out to the curb during refuse pick up days.
 - For additional information, refer to the King Wealth Strategies Stormwater Management Site Plan last Revised January 2, 2019.
 - As-Built drawings/documentation of the stormwater management facilities must be prepared in accordance with Chapter 26 §26-4020.4 and submitted to Ferguson Township at the completion of construction as a prerequisite of issuance of Occupancy Permit. Post construction infiltration testing verification of the minimum 0.78 in/hr infiltration Trench Design Rte on top of the native soils prior to placement of geotextile shall also be included with the as-built submission. Likewise, similar verification of the amended soil mixture infiltration rate between 0.78 in/hr (min.) to 2.34 in/hr (max.) shall also be performed.

Recorder of Deeds

Recorded in the Office of the Recorder of Deeds at Centre County, Pennsylvania, in Plat Book _____ Page _____ on this the _____ day of _____, 20____.

By _____ Recorder



Stormwater BMPs Long Term Ownership, Operation and Maintenance Program

All stormwater management BMPs on the site of King Wealth Strategies not contained in a Ferguson Township Right-of-Way shall be owned and maintained by the Lot Owner their executors, heirs and assigns. The owner agrees to provide perpetual maintenance, access to and ownership of the BMPs. Ferguson Township, its agents and assigns shall have the unimpaired right to access the property for inspection and maintenance of the stormwater BMPs. This note applies to the entire property shown on these plans and shall be in effect for perpetuity. The responsibility for long-term operation and maintenance of the BMPs is a covenant that runs with the land and binding upon and enforceable by subsequent grantees.

Ferguson Township and/or the Centre County Conservation District requires the Owners to maintain a record of all inspections, repairs, and maintenance activities associated with the proposed stormwater management and permanent erosion and sediment pollution control facilities at this project site. The Owner shall immediately notify Ferguson Township and Centre County Conservation District prior to initiating any major repair activities.

The Owner hereby acknowledges Ferguson Township's right to periodically access the project site to inspect the permanent stormwater management facilities that are part of this project. The Owners acknowledges Ferguson Township's right to access the project site with notice to repair and/or maintain the permanent stormwater management facilities in accordance with this Maintenance Program. Any maintenance and/or repair activities conducted by Ferguson Township shall be at the expense of the Owners.

The facilities that will require maintenance are inlets, storm sewer pipes, underground basin and infiltration trench. All stormwater facilities should be inspected monthly or after any rainfall producing runoff and maintained as follows:

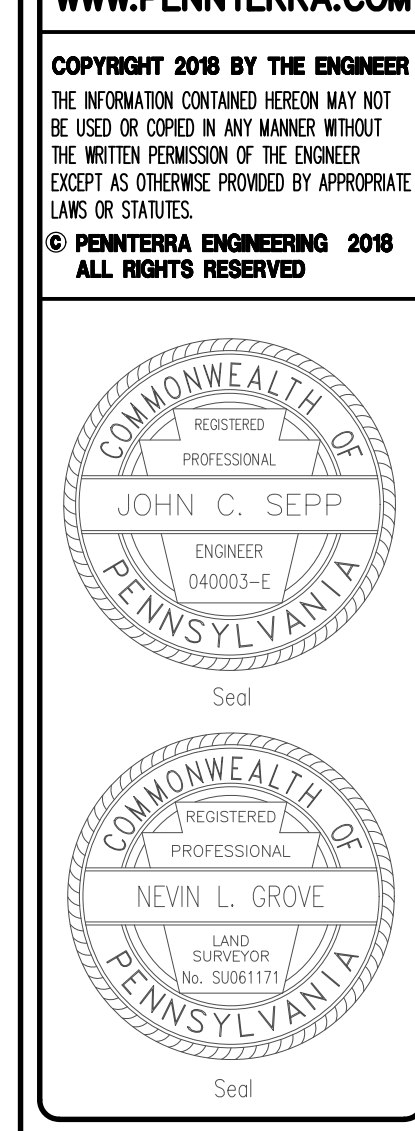
- The proposed storm sewer pipe inlets and outlets shall be cleaned of all sediment debris, litter, and other deleterious material. All sumped inlets shall be vacuumed at least twice a year in the spring and fall.
- The underground basin shall be inspected via the cleanouts and vacuumed at least twice a year in the spring and fall. A qualified inspection of confined space in presence of Township Inspector shall be provided when requested by the Township.
- The infiltration trench shall be inspected through the cleanout to ensure dewatering.
- Documentation of inspections must be maintained by the owner and submitted to Township upon request. Maintenance inspections may be performed by the Township to ensure proper functioning of all stormwater facilities.

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Fax: 717-522-5046

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Designer: MAT
Draftsman: MJA
Proj Manager: MAT
Surveyor: BRK
Perimeter Clk.:
Book: 527, Pg: 2
File: 3 - RECORD PLAN
Layout: RECORD PLAN

Date	Description	REVISIONS
4-4-19	PER TOWNSHIP COMMENTS	MAT
3-18-19	PER CLIENT COMMENTS	MAT
1-2-19	PER TOWNSHIP COMMENTS	MAT
11-30-18	PER TOWNSHIP COMMENTS	MAT

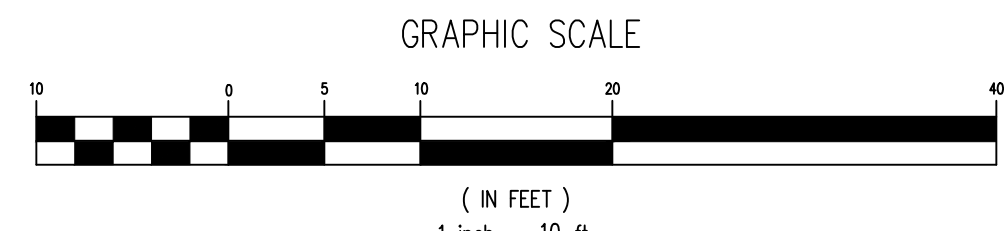
KING WEALTH STRATEGIES

FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

RECORD PLAN

PROJECT NO. 17228
DATE: JUNE 26, 2018
SCALE: 1"=10'
SHEET NO. 3 of 12



EXISTING FEATURES LEGEND

- Existing Building
- Existing Pavers
- Existing Curbing & Edge of Pavement
- Existing Concrete Sidewalk
- Existing Fence
- Existing Contours w/ Elevation (1's)
- Existing Contours w/ Elevation (5's)

PROPOSED FEATURES LEGEND

- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE PAVERS
- PROPOSED CONCRETE WALK
- PROPOSED PAVEMENT
- PROPOSED PAVEMENT OVERLAY
- PROPOSED HANDICAPPED PARKING
- PROPOSED PARKING STALL COUNT

SURVEY FEATURES LEGEND

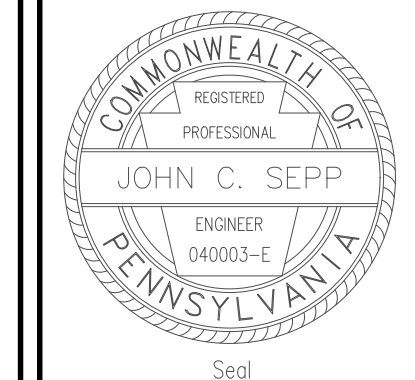
- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- Municipal Boundary
- I.P. Found
- I.P. To Be Set
- PE HUB #
- PennTerra Control Hub
- Project Benchmark

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Designer	MAT
Draftsman	MJA
Proj Manager	MAT
Surveyor	BRK
Perimeter Ok	
Book	527 Pg 2
File	4 - GEOMETRY PLAN
Layout	GEOMETRY PLAN

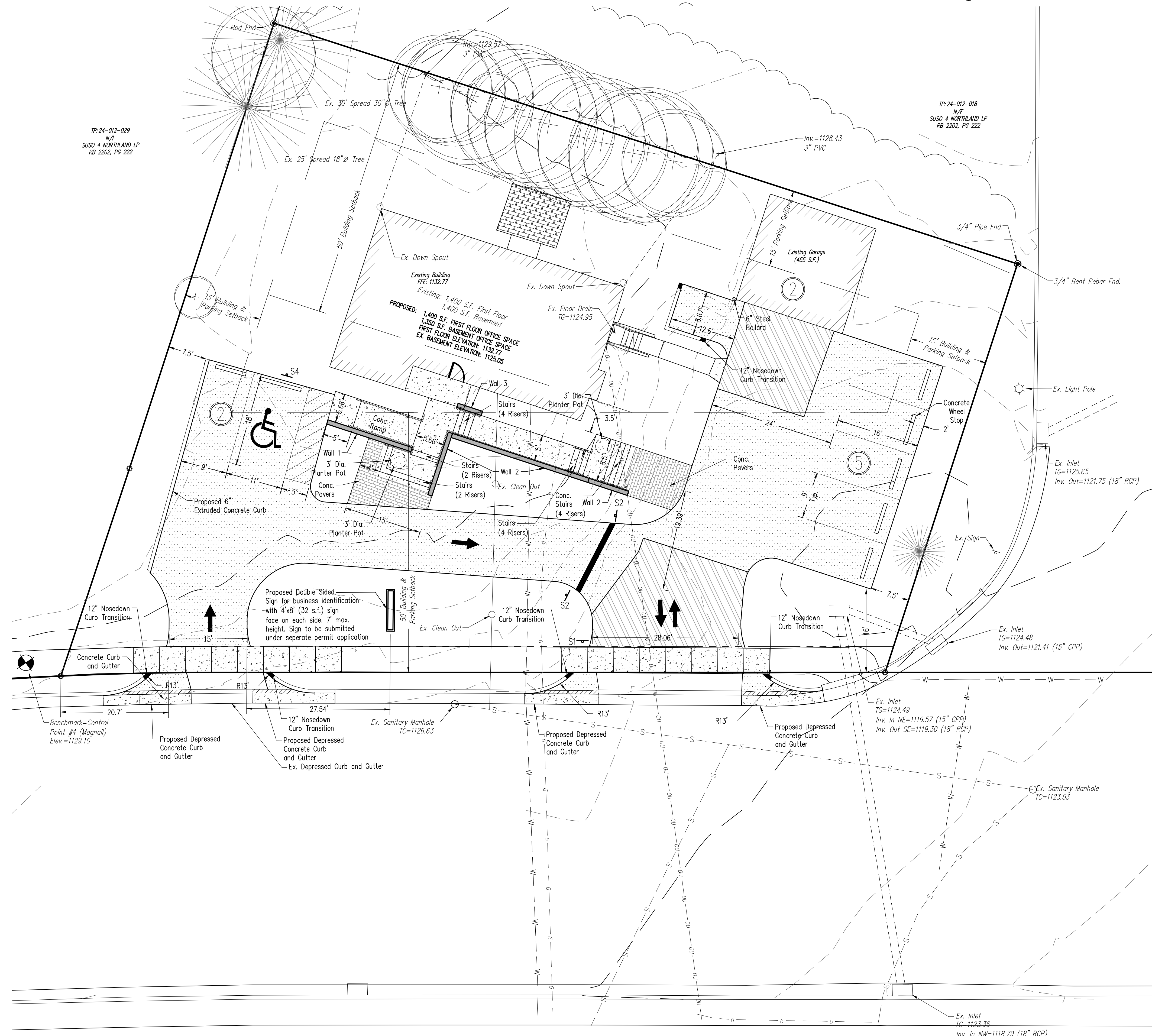
Date	Description
4-3-19	PER TOWNSHIP COMMENTS
3-18-19	PER CLIENT COMMENTS
1-2-19	PER TOWNSHIP COMMENTS
11-30-18	PER TOWNSHIP COMMENTS

KING WEALTH STRATEGIES
 FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

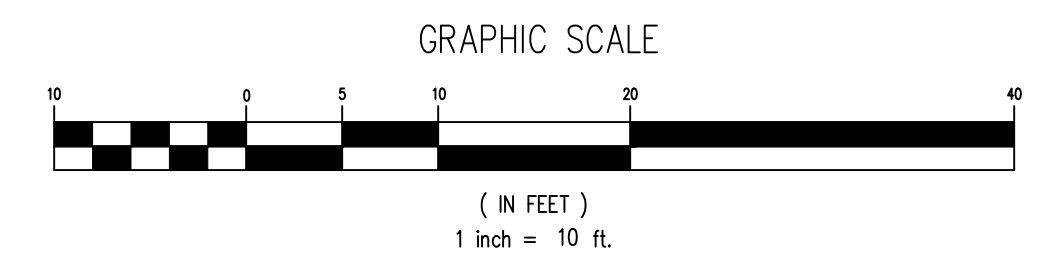
GEOMETRY PLAN

PROJECT NO.	17228
DATE	JUNE 26, 2018
SCALE	1"=10'
SHEET NO.	4 of 12

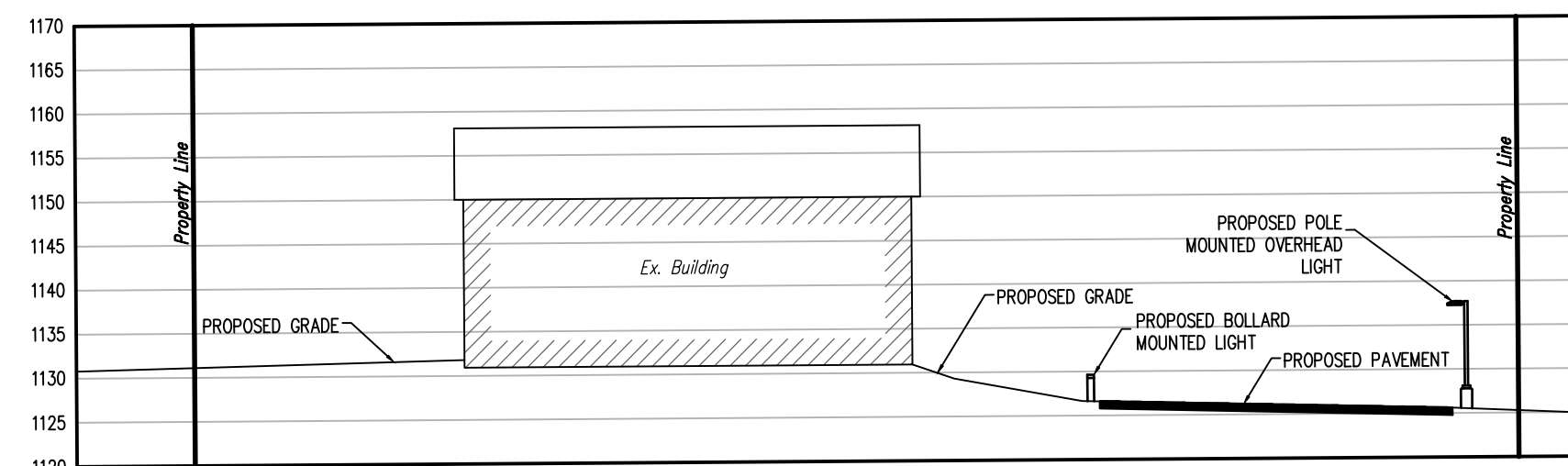


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 RB 2202, PG 222

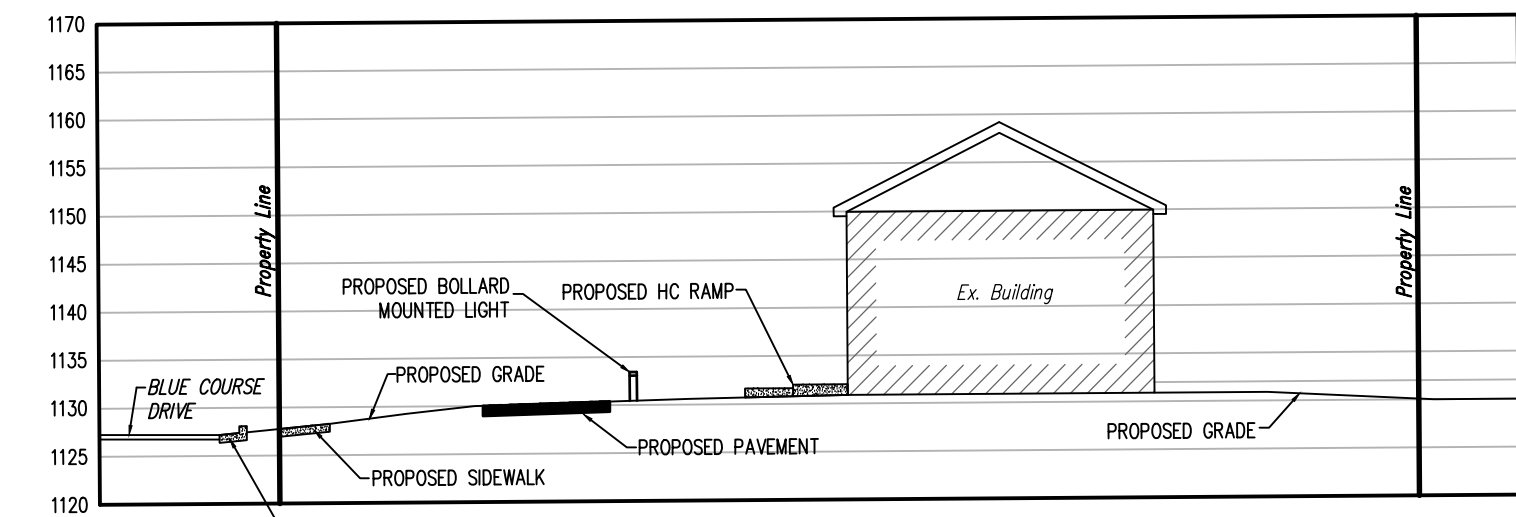
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 N/F
 SUSO 4 NORTHLAND LP
 RB 2202, PG 222



P:\dtpno\201717228\Design\pld final plans\4 - GEOMETRY PLAN.dwg, 4/8/2019 2:14:04 PM, 1:1



CROSS SECTION A-A
SCALE: 1" = 20' (VERT. AND HORIZ.)



CROSS SECTION B-B
SCALE: 1" = 20' (VERT. AND HORIZ.)

GRADING NOTES

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PENNTERRA, THE CURRENT REQUIREMENTS OF THE FERGUSON TOWNSHIP, THE APPLICABLE SECTIONS OF THE PENNDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. MAXIMUM SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) UNLESS NOTED OTHERWISE.
3. ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
4. THE MAXIMUM SLOPE WITHIN ALL THE HANDICAPPED SPACES SHALL BE 2.00%.
5. THE MAXIMUM SLOPE FOR ALL ON-SITE SIDEWALKS SHALL BE 4.90% WITH A MAXIMUM CROSS SLOPE OF 2.00% AND CURB RAMPS SHALL HAVE A MAXIMUM SLOPE OF 8.30%.
6. CONTRACTOR SHALL RECONNECT ANY EXISTING ROOF DRAIN DOWN SPOUTS DISCONNECTED DURING CONSTRUCTION.
7. TWC ABBREVIATION STANDS FOR THE ELEVATION FOR TOP OF WALL CAP.

SURVEY FEATURES LEGEND

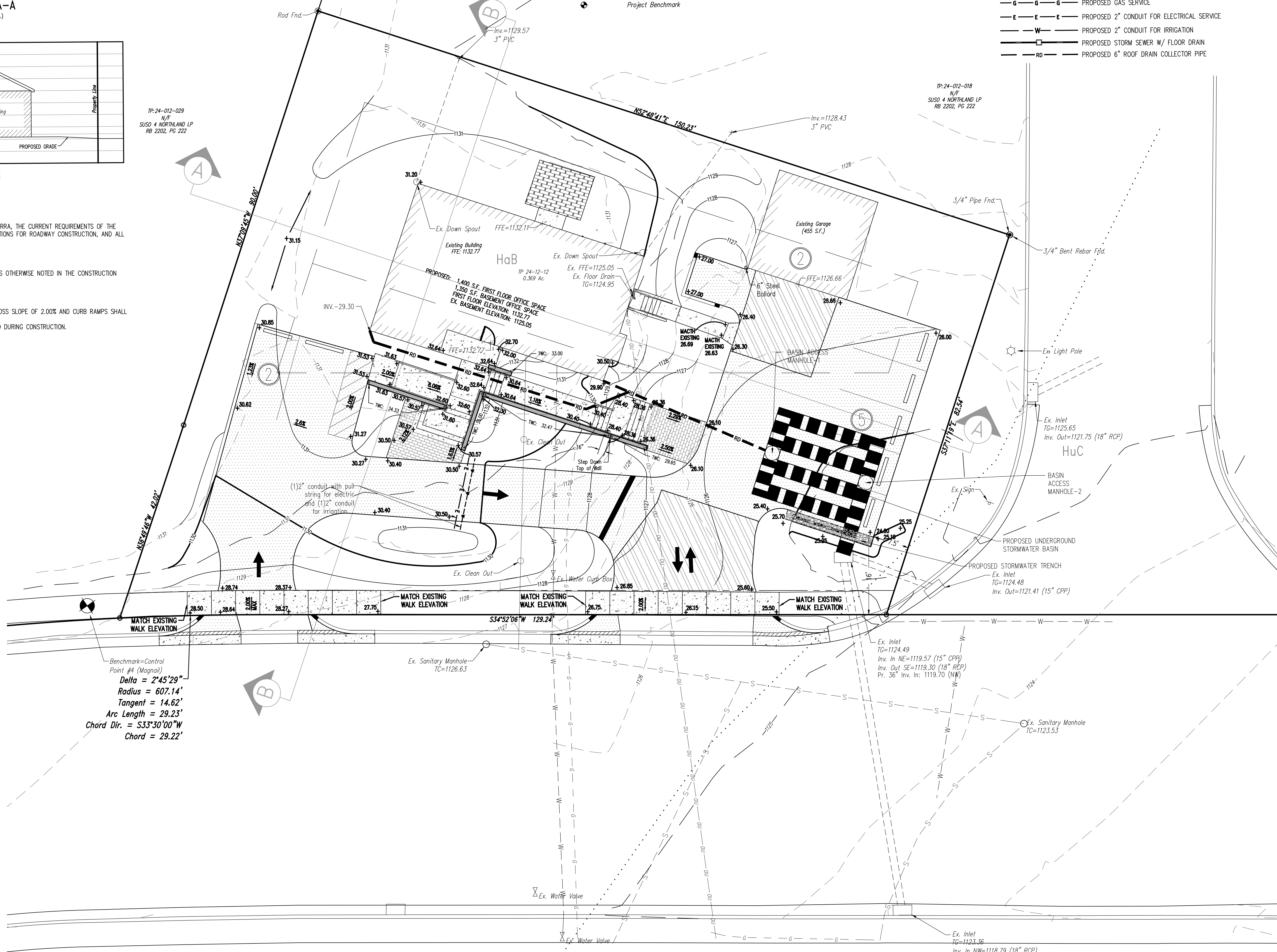
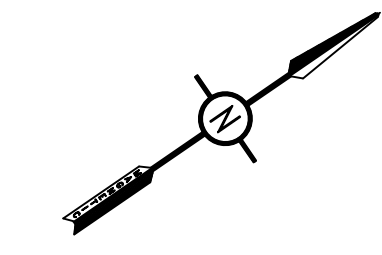
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- Project Benchmark

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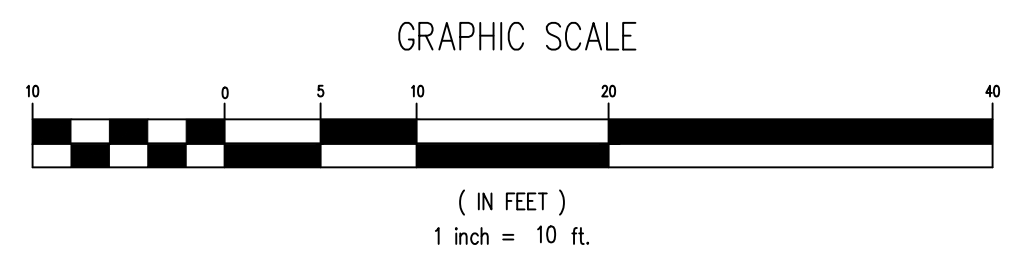
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- Existing Fence
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- PROPOSED STORM SEWER W/ FLOOR DRAIN
- PROPOSED 6" ROOF DRAIN COLLECTOR PIPE



Benchmark=Control Point #4 (Magnail)
Delta = 2'45"29"
Radius = 607.14'
Tangent = 14.62'
Arc Length = 29.23'
Chord Dir. = S33°30'00"W
Chord = 29.22'

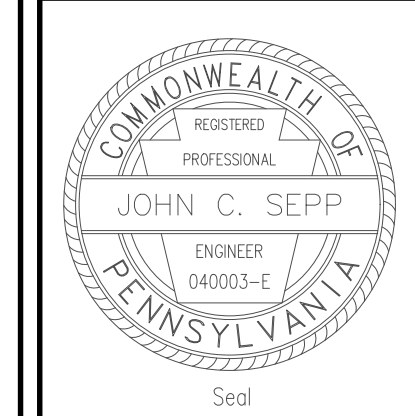


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Designer	MAT
Draftsman	MJA
Proj Manager	MAT
Surveyor	BRK
Perimeter Ck.	
Book	527 Pg 2
File	5 - GRADING
Layout	GRADING

4-3-19	PER TOWNSHIP COMMENTS
3-18-19	PER CLIENT COMMENTS
1-2-19	PER TOWNSHIP COMMENTS
11-30-18	PER TOWNSHIP COMMENTS
Date	Description
	REVISIONS

KING WEALTH STRATEGIES
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY/FINAL
LAND DEVELOPMENT
PLAN

GRADING

PROJECT NO.	17228
DATE	JUNE 26, 2018
SCALE	1" = 10'
SHEET NO.	5 of 12

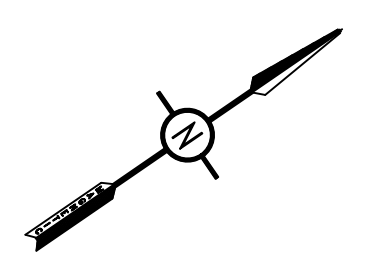
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	A		2	LSI INDUSTRIES, INC	SLM-LED-09L-SIL-FTA-30-70CRI-L			6847	1	68.2
	B		2	KIM LIGHTING	PA7S-CL4-12L-010-3K7	PA7S	C-70-CRI DATA SHOWN IS ABSOLUTE.	1401	1	14
	C		12	KIM LIGHTING	EL807/3L3K/UNV	EL807/3L3K/UNV- FLOOD	3- NICHIA 3000K LEDs	Absolute	1	5.32
	D		2	KIM LIGHTING	4324P70-16L3K	SIGN-WALL LIGHTER	C-70-CRI DATA SHOWN IS ABSOLUTE.	Absolute	1	36.4
	E		1	ARCHITECTURAL AREA LIGHTING	PKSA-DS-15LED-WW	PARK WAY SQUARE SCENCE PEDESTRIAN DIE-CAST ALUMINUM STRUTS AND BALLAST COMPARTMENT, LIGHTLY DIFFUSED LENS. DOWN SPREAD.	15 CONSTANT CURRENT LED. 3000K.	638	1	19.5
	F		5	KIM LIGHTING	CFL-WF-213K35	CFL	C-70-CRI DATA SHOWN IS ABSOLUTE.	2971	1	25.38
	G		1	EXISTING FLOODLIGHT				638	1	19.5

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PAVED AREA	X	2.4 fc	12.5 fc	0.0 fc	N/A	N/A
PROPERTY	X	1.0 fc	12.5 fc	0.0 fc	N/A	N/A
TRESPASS	+	0.1 fc	12.5 fc	0.0 fc	N/A	N/A

- FIXTURE NOTES
1. FIXTURE COLORS SHALL BE "BLACK".
 2. INSTALL/MOUNT FIXTURE TYPE "G" WITH ONE "LANDSCAPE LIGHTPOST AND CAP" BY ENGINEERED PRODUCTS CO.
 3. INSTALL/MOUNT FIXTURE TYPE "F" WITH ONE "LANDSCAPE LIGHT POST AND CAP" BY ENGINEERED PRODUCTS CO. FOR THE POWER SUPPLY SIDE PROVIDE AN 18" SUPPORT PIPE COMPATIBLE WITH 1/2" NPT MALE MOUNTING ON OTHER POST. IMBED POST_13 +

GENERAL NOTES

1. ELECTRICAL CONTRACTOR SHALL VERIFY AND COORDINATE ALL EXISTING AND NEW UNDERGROUND FACILITIES WITH ALL CONTRACTORS, UTILITY COMPANIES, ETC. BEFORE BEGINNING ANY UNDERGROUND CONSTRUCTION
2. WIRING UNDER ALL PAVEMENT SURFACES SHALL BE IN PVC CONDUIT SIZE AS INDICATED - MINIMUM SIZE 2". ELECTRICAL CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL ROADWAYS, WALKWAYS, PATIOS, TERRACES, ETC. AND PROVIDE CONDUITS UNDER ALL LOCATIONS FOR WIRING ACCESS.
3. ALL CIRCUITS SHALL BE COMPLETE WITH GROUND WIRE.
4. ALL CONDUIT SHALL BE SET AT A MINIMUM DEPTH OF 24".
5. ALL WIRING TRENCHES SHALL BE RUN AS CLOSE AS POSSIBLE TO ALL CURBS - NO WIRING SHALL RUN THROUGH THE CENTER OF ANY ISLAND, PLANTER, TERRACE, COURTYARD, ETC.
6. ELECTRICAL CONTRACTOR SHALL VERIFY CONDUIT LOCATION IN THE FIELD BEFORE EXCAVATING. ELECTRICAL INSTALLATION FOR LIGHTING SHALL INCLUDE REQUIRED CONTROL PANEL, TIMING CLOCKS, PHOTOCELL AND ASSOCIATED WIRING AND CONDUITS.

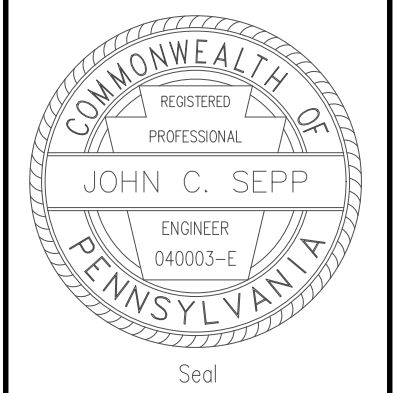


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Designer: MAT
 Draftsman: MJA
 Proj/Manager: MAT
 Surveyor: BRK
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 Book: 527, Pg: 2
 File: 7 - LIGHTING
 Layout: LIGHTING

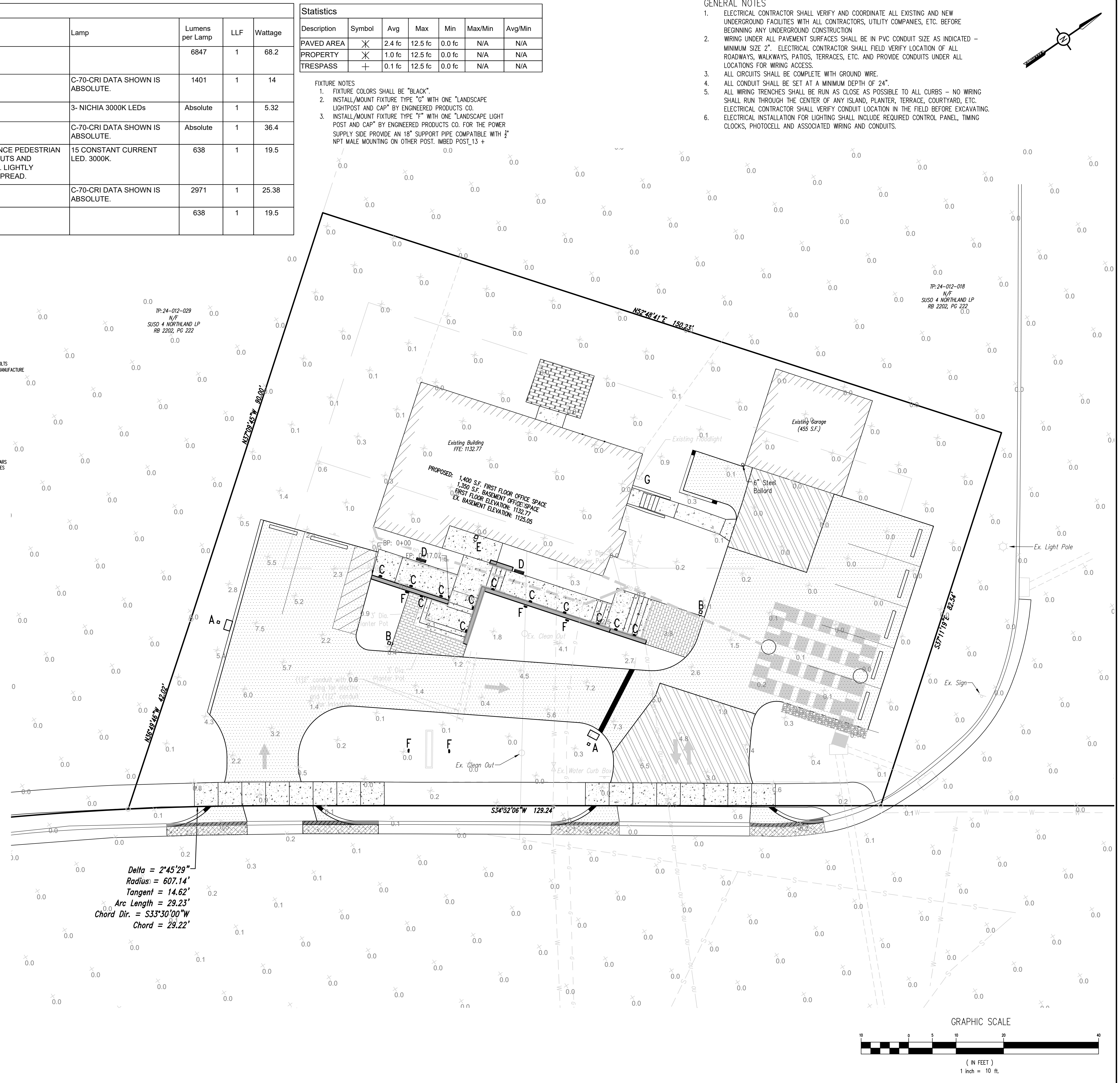
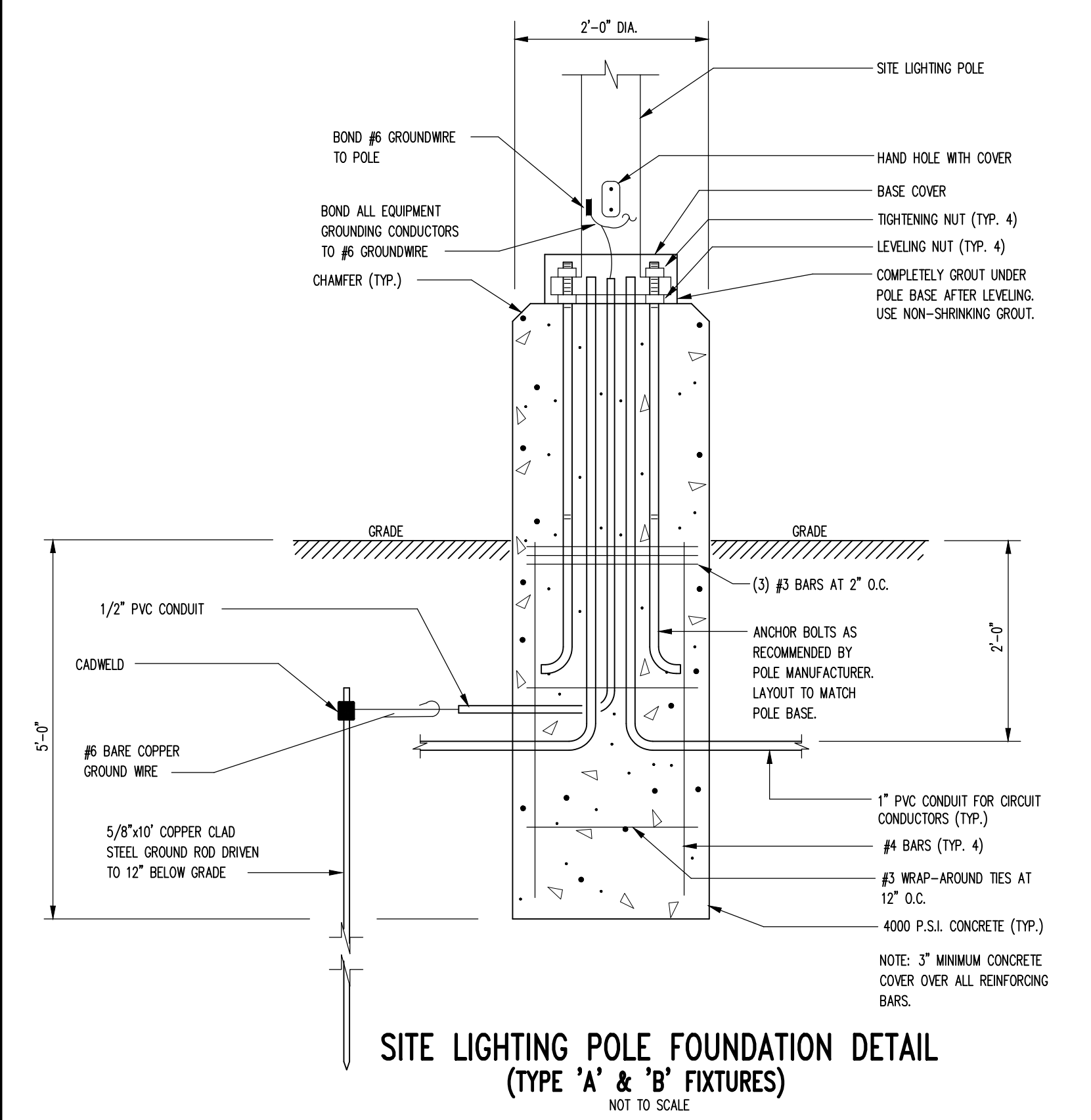
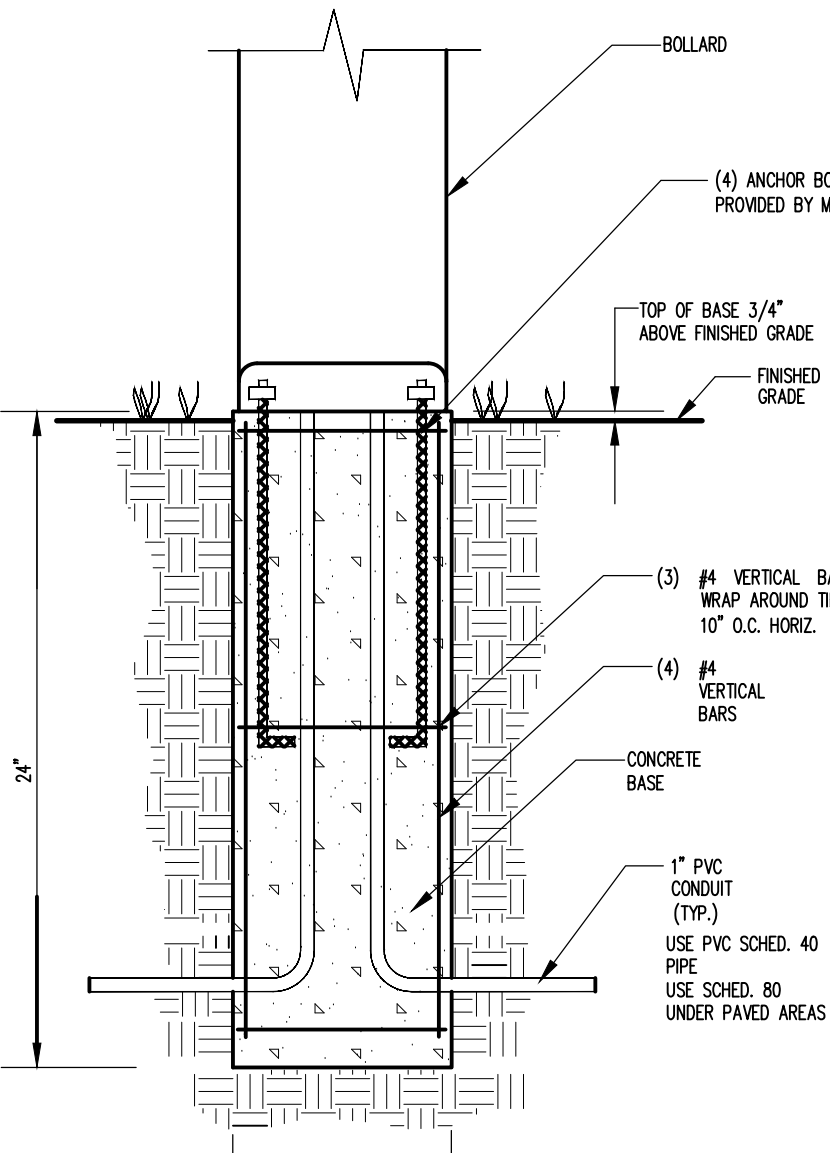
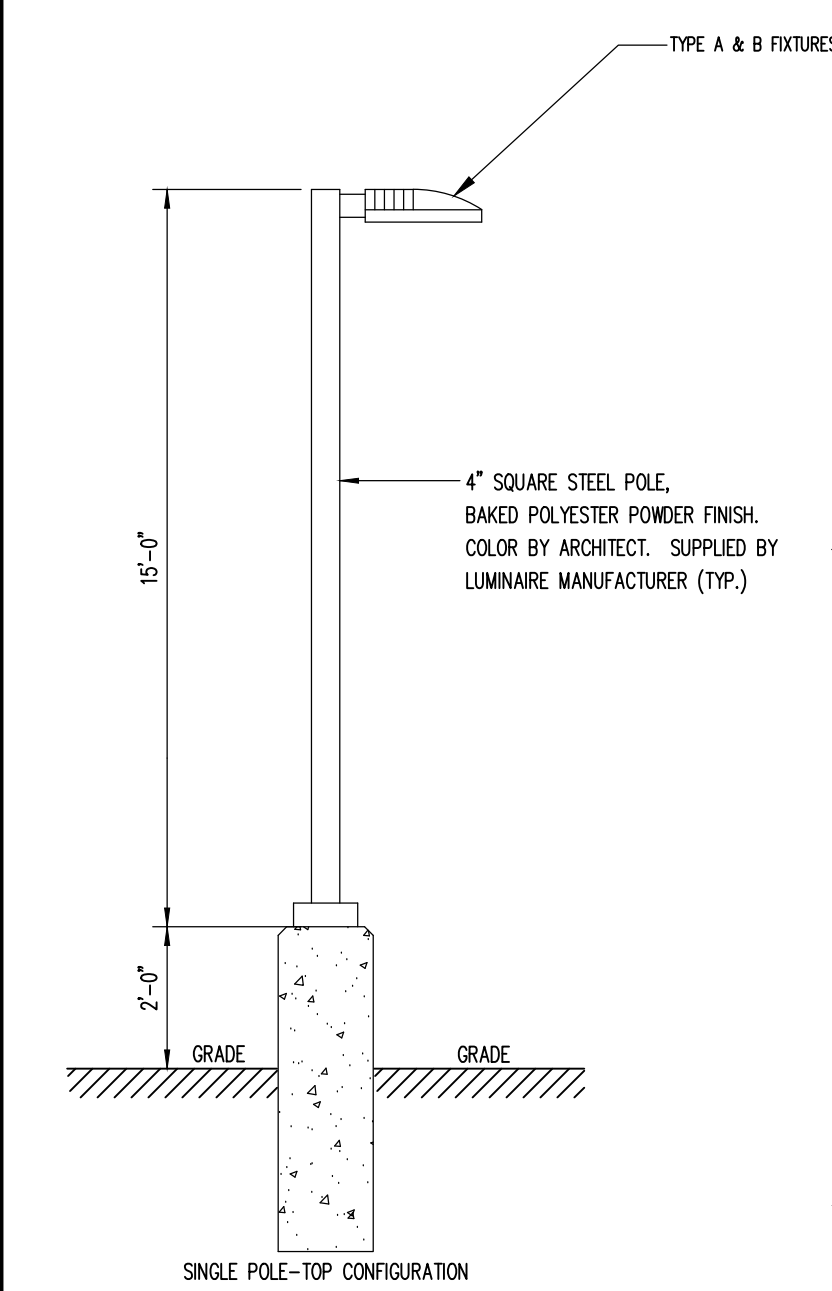
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KING WEALTH STRATEGIES
 FERGUSON TOWNSHIP
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 PENNSYLVANIA

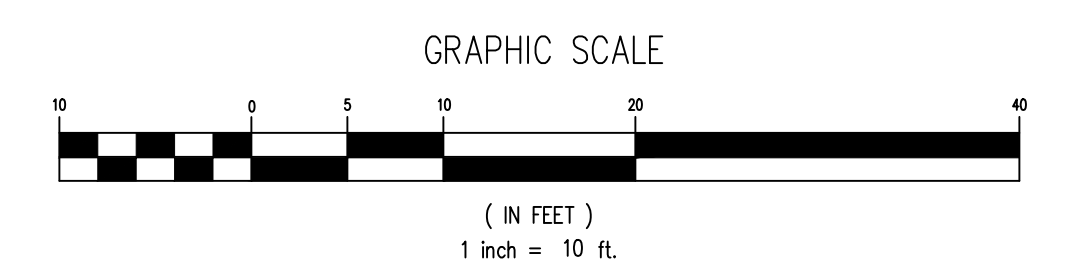
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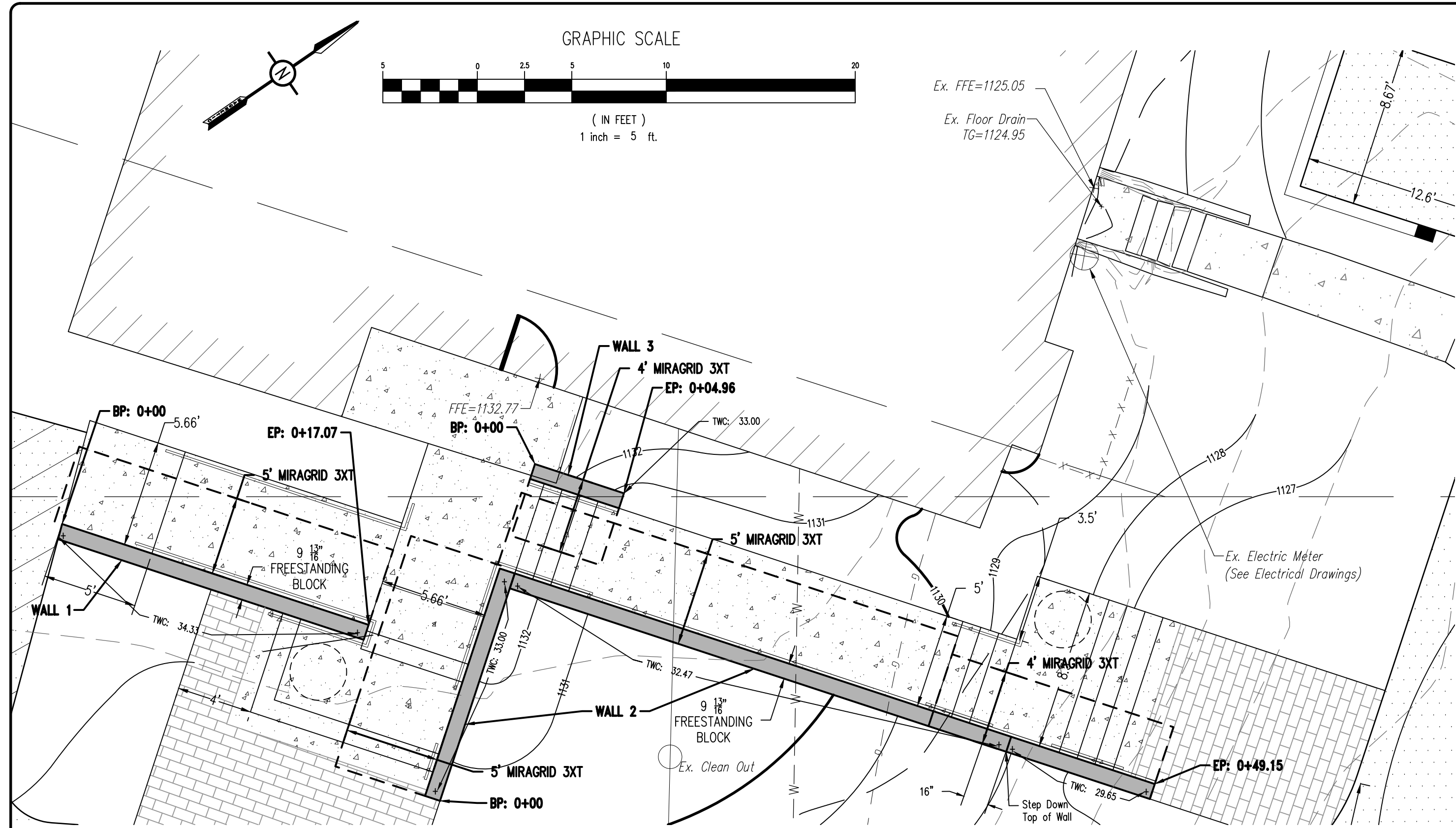
LIGHTING

PROJECT NO.
17228
 DATE
JUNE 26, 2018
 SCALE
1"=10'
 SHEET NO.
7 of 12



Delta = 2°45'29"
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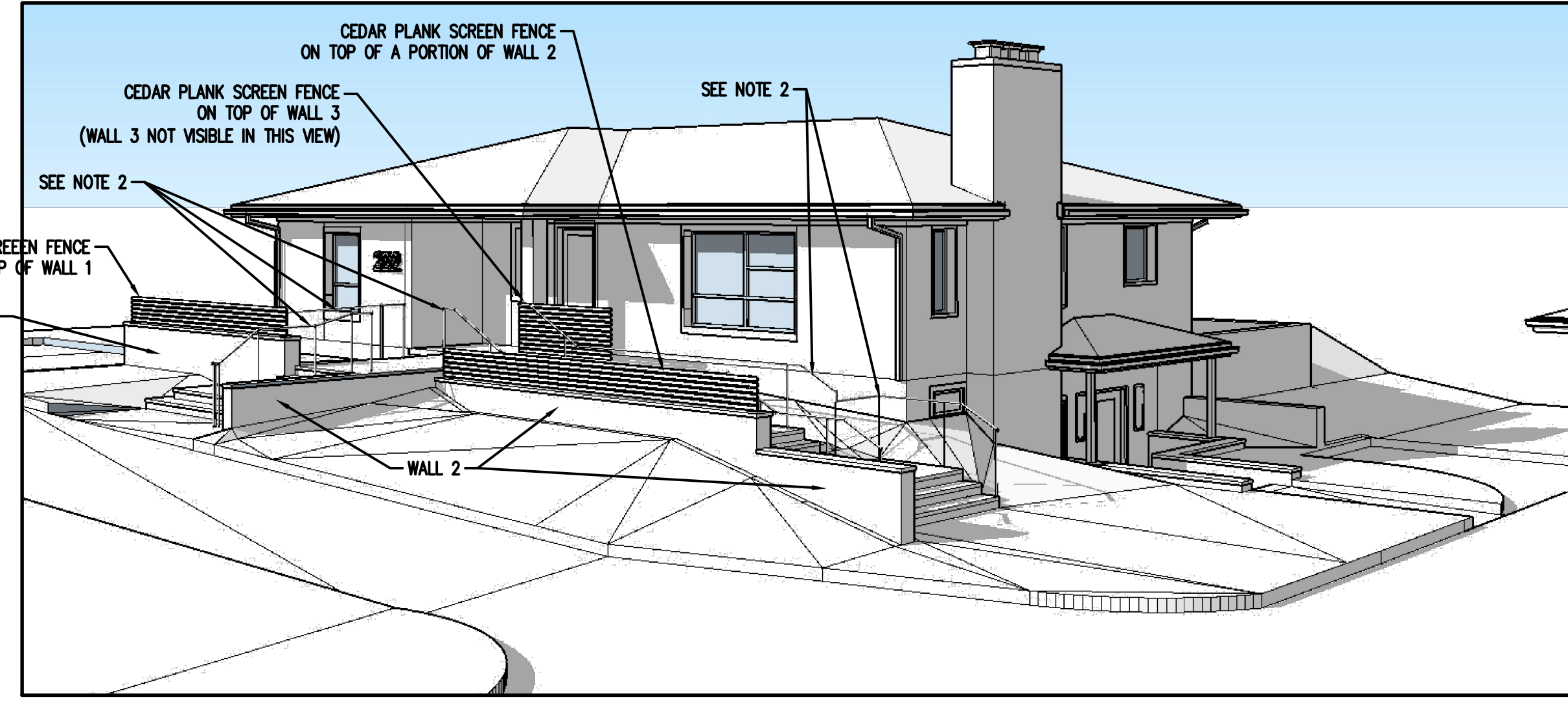
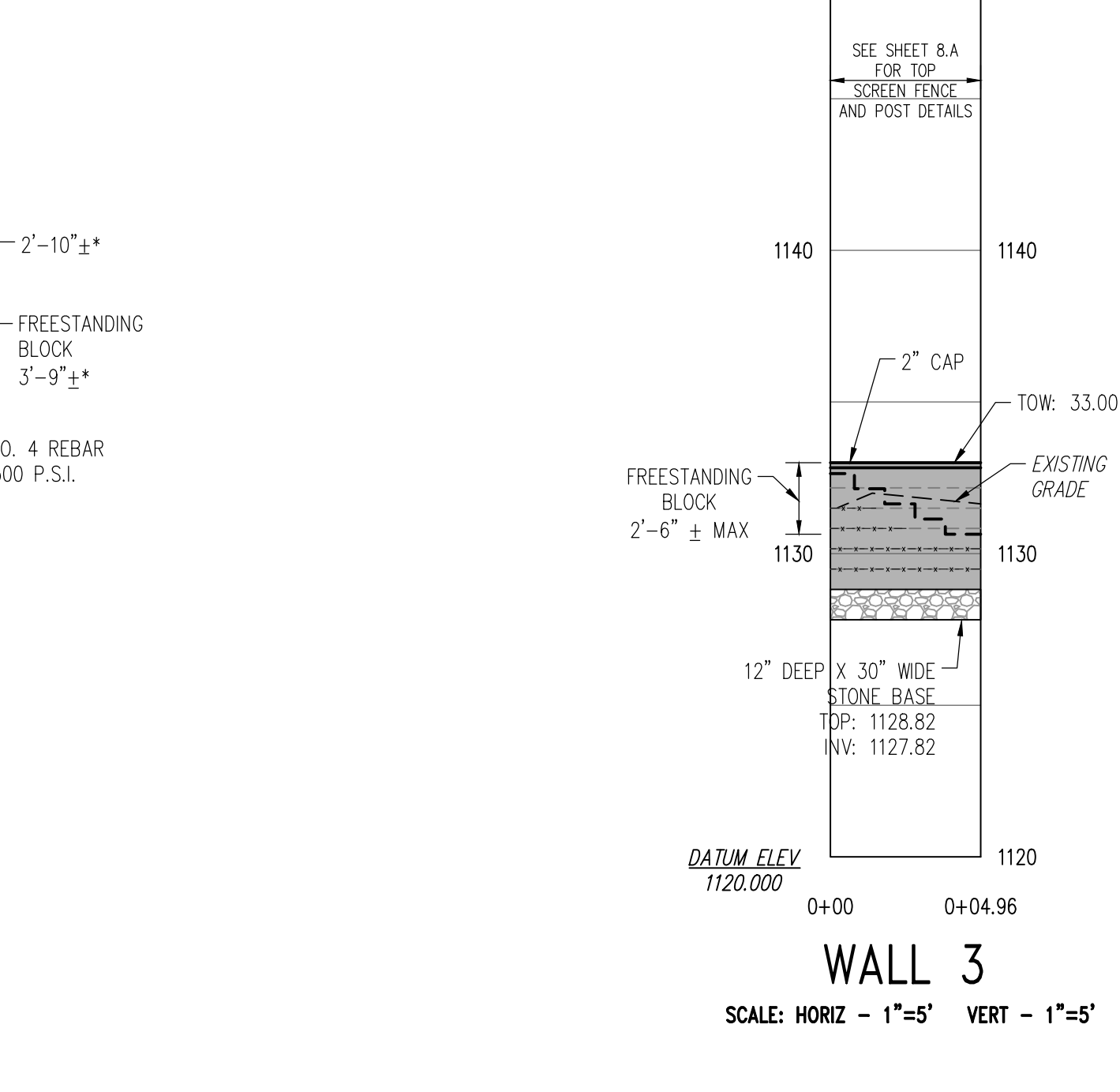
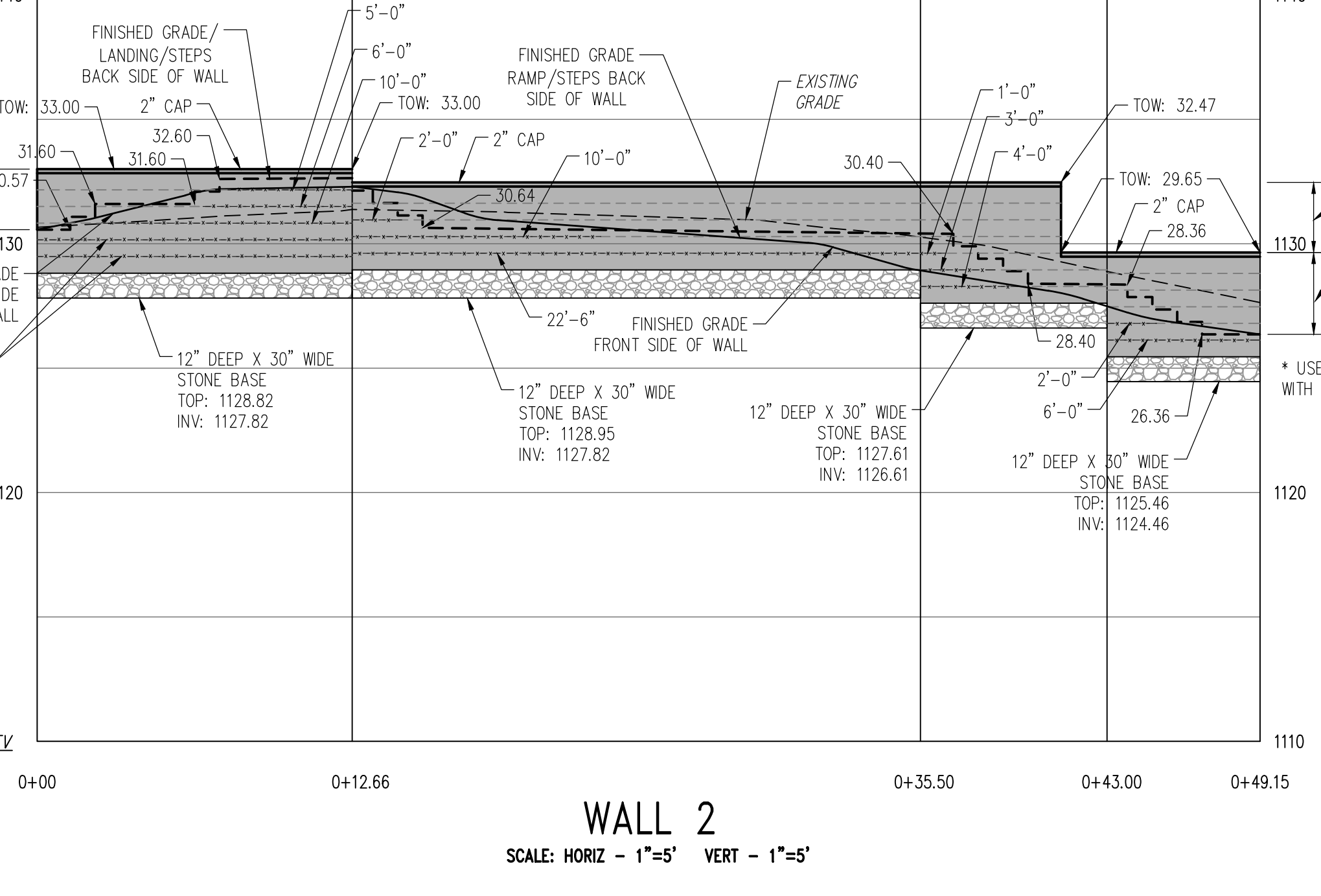
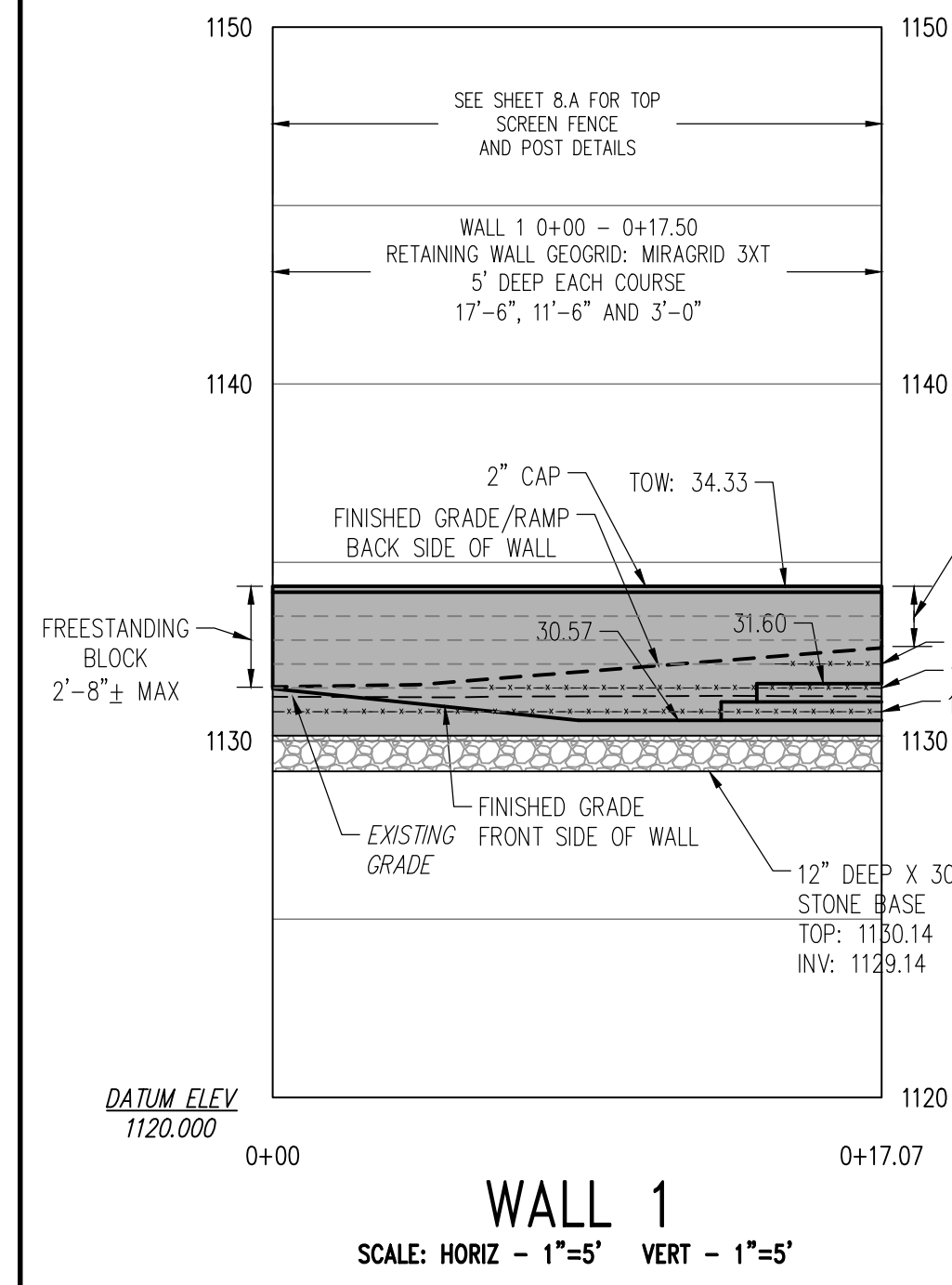
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- PROPOSED STORM SEWER W/ FLOOR DRAIN
- BEGINNING POINT OF PROFILE
- ENDING POINT OF PROFILE

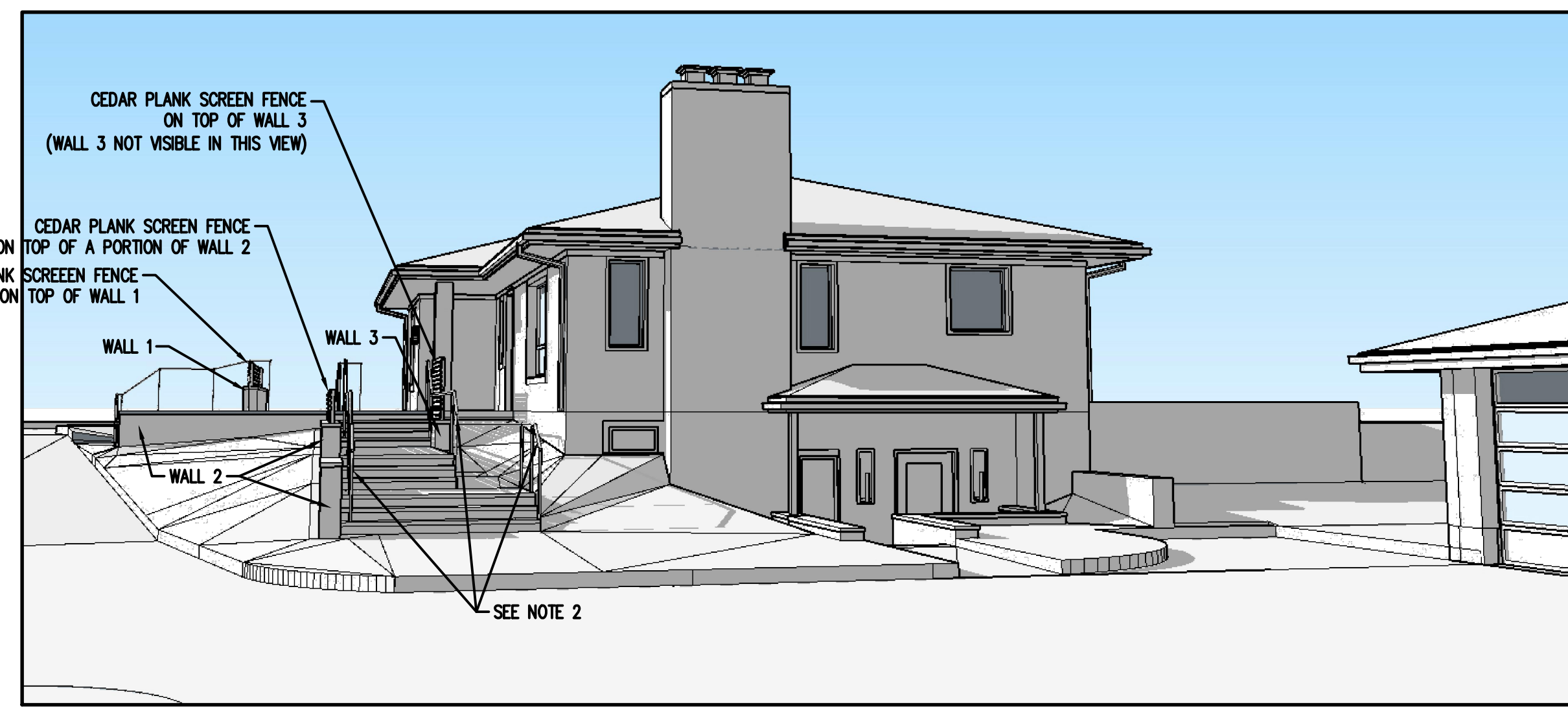
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- Roadway Center Line
- Municipal Boundary
- Zoning Boundary
- Property Corner Found
- Property Corner To Be Set
- PennTerra Control Point
- Project Benchmark

NOTE:
FINAL TOP OF WALL AND LOCATION OF WALL SEAM VERSUS FINISH GRADE MAY VARY. BRANDON BLOCKS ARE 9 1/2" DEEP AND HEIGHTS OF 7 1/4" AND 3 3/8". THE FINAL 'SEAM' LOCATION WILL VARY DEPENDING UPON THE 3 OR 4 ROW LAYING PATTERNS.



GRAPHIC REPRESENTATION 'A'
(NO SCALE)



GRAPHIC REPRESENTATION 'B'
(NO SCALE)

* IN ALL CASES THAT THE FREESTANDING WALL EXCEEDS 30"; USE NO. 4 REBAR IN ALL CASES WITH 2,500 P.S.I. CONCRETE. SEE NOTE E ON THE FREESTANDING WALL DETAIL ON SHEET 8.A

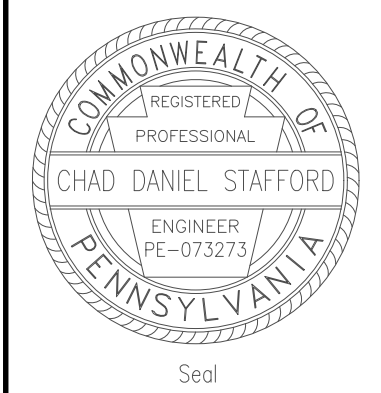
- NOTES:
- THE GRAPHIC REPRESENTATION VIEWS SHOWN ARE ILLUSTRATIVE VIEWS OF THE INTENT OF THE WALL DESIGNS. THEY ARE NOT CONSTRUCTION DETAILS FOR WHICH THE WALLS ARE TO BE BUILT FROM. REFER TO WALL DETAILS AND CROSS SECTIONS SHOWN ON THE PLANS FOR CONSTRUCTION INFORMATION.
 - REFER TO CONSTRUCTION DETAILS FOR RAMP & STAIRWAY HANDRAIL DESIGN INFORMATION.

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Proj/Manager	MAT
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Perimeter Ck.	
Book	527 Pg 2
File	B - WALL PLANS
Layout	WALL PLANS

Date	Description
4-3-19	PER TOWNSHIP COMMENTS
4-11-19	MA
3-18-19	PER CLIENT COMMENTS
3-18-19	MA
1-2-19	PER TOWNSHIP COMMENTS
1-2-19	MA
11-30-18	PER TOWNSHIP COMMENTS
11-30-18	MA

KING WEALTH STRATEGIES
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY/FINAL
LAND DEVELOPMENT
PLAN

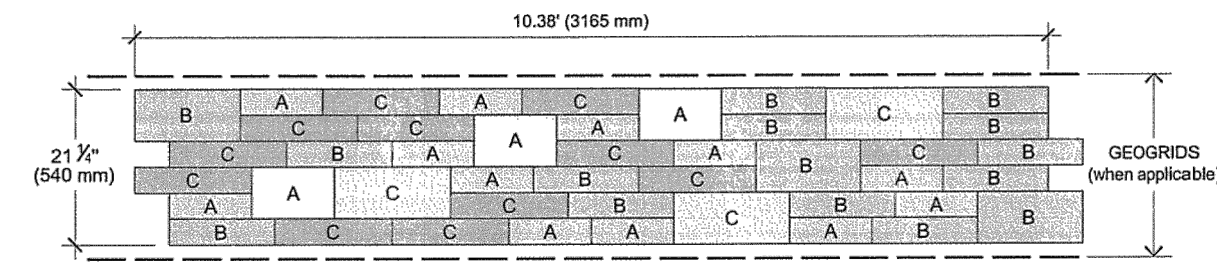
WALL PLAN AND
PROFILES

PROJECT NO.	17228
DATE	JUNE 26, 2018
SCALE	1"=5'
SHEET NO.	8 of 12

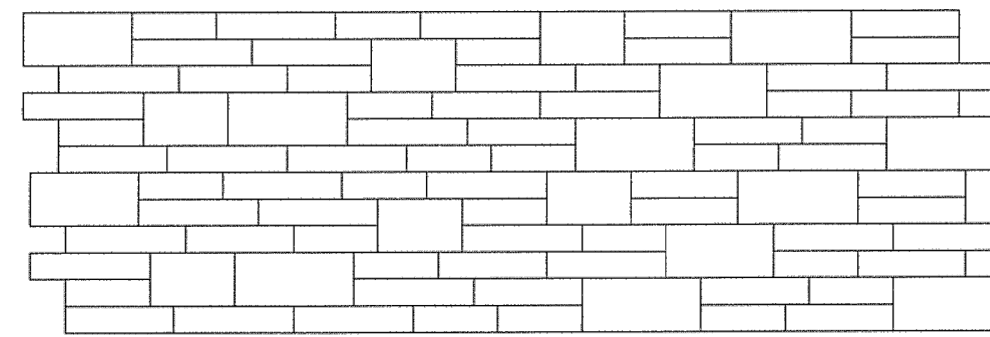
P:\Metro\2017\17228\Design\plot files\final plans\8 - WALL PLANS.dwg, 4/8/2018 2:14:59 PM, 1:1

3-Row Pattern | Laying Patterns

The 3-row pattern is 10.38' (3.165 m) long and 21 1/4" (540 mm) high. This pattern allows a continuous leveled surface every 21 1/4" (540 mm), which corresponds to the recommended maximum spacing between the layers of geogrid in a Brandon wall. This pattern is recommended when using the geogrid.



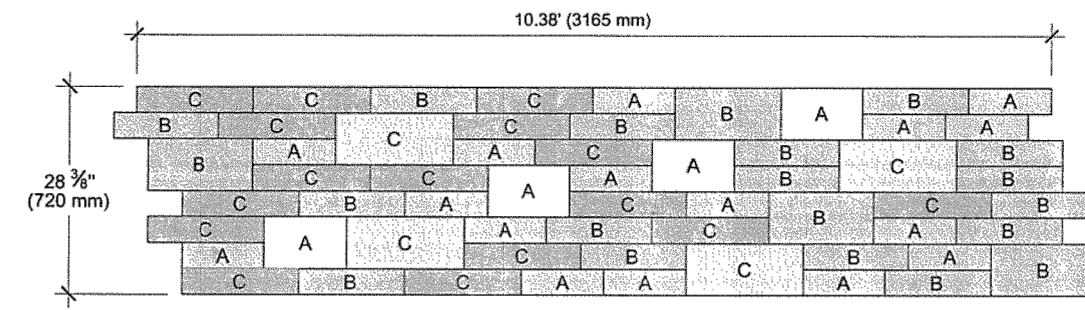
NUMBER OF BLOCKS REQUIRED	MODULE		
	A	B	C
BRANDON			
67% of the surface - Brandon 90 mm	12	12	12
33% of the surface - Brandon 180 mm	3	3	3



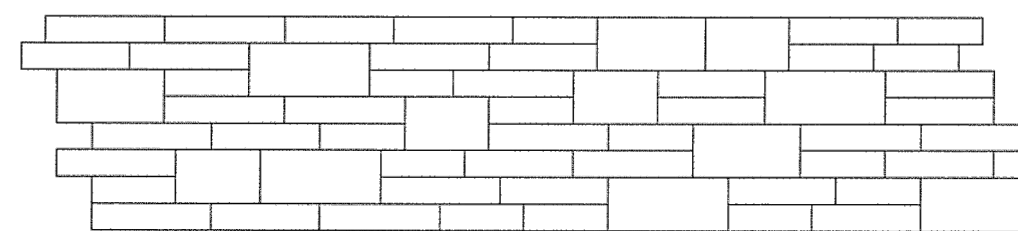
3 ROW LAYING PATTERN FOR BRANDON BLOCK
NOT TO SCALE

4-Row Pattern | Laying Patterns

The 4-row pattern is 10.38' (3.165 m) long and 28 3/4" (720 mm) high. This pattern should be used only where the geogrid is not required.

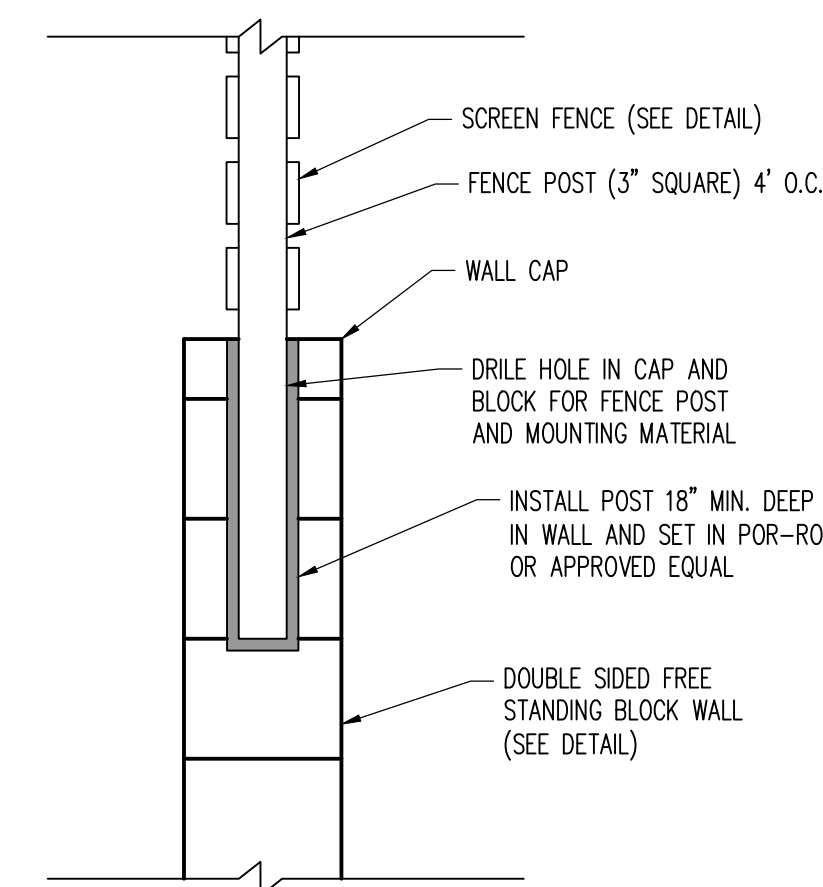


NUMBER OF BLOCKS REQUIRED	MODULE		
	A	B	C
BRANDON			
67% of the surface - Brandon 90 mm	16	16	16
33% of the surface - Brandon 180 mm	4	4	4



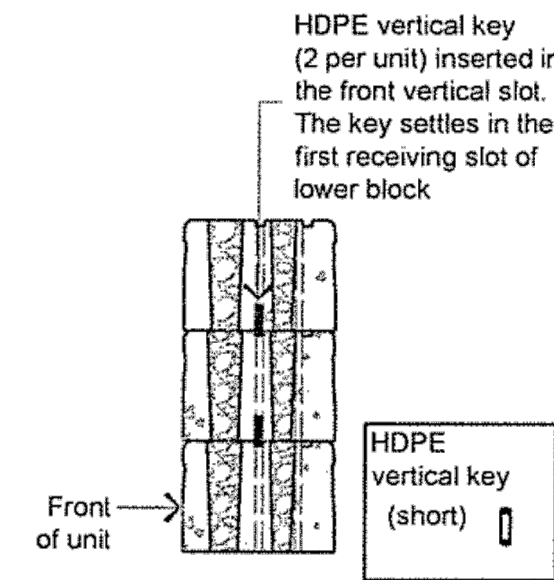
4 ROW LAYING PATTERN FOR BRANDON BLOCK
NOT TO SCALE

NOTE:
FINAL TOP OF WALL AND LOCATION OF WALL SEAM VERSUS FINISH GRADE MAY VARY. BRANDON BLOCKS ARE 9 1/8" DEEP AND HEIGHTS OF 7 1/4" AND 3 3/8". THE FINAL 'SEAM' LOCATION WILL VARY DEPENDING UPON THE 3 OR 4 ROW LAYING PATTERNS.



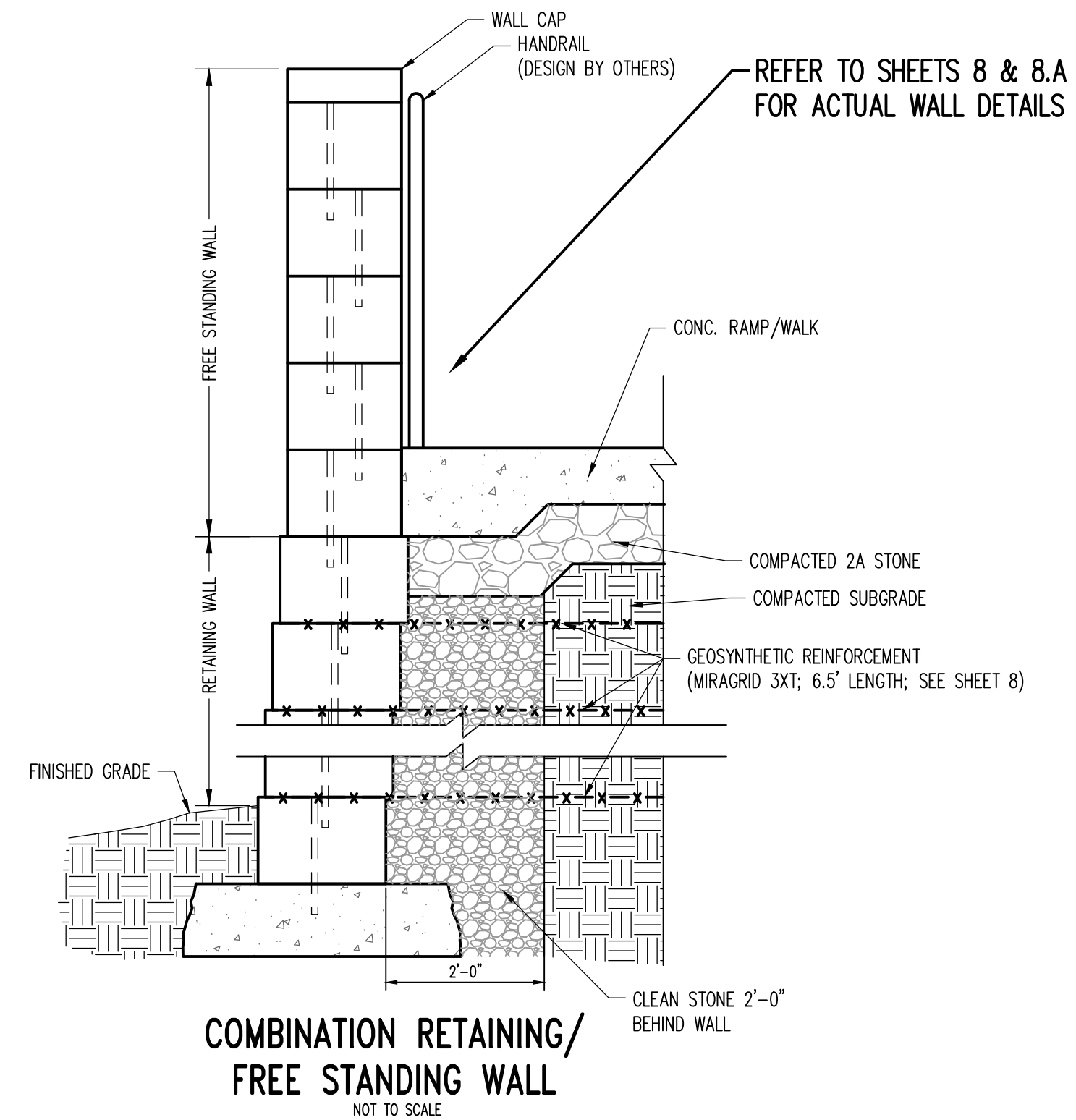
FENCE POST INSTALLATION
NOT TO SCALE

VERTICAL WALL

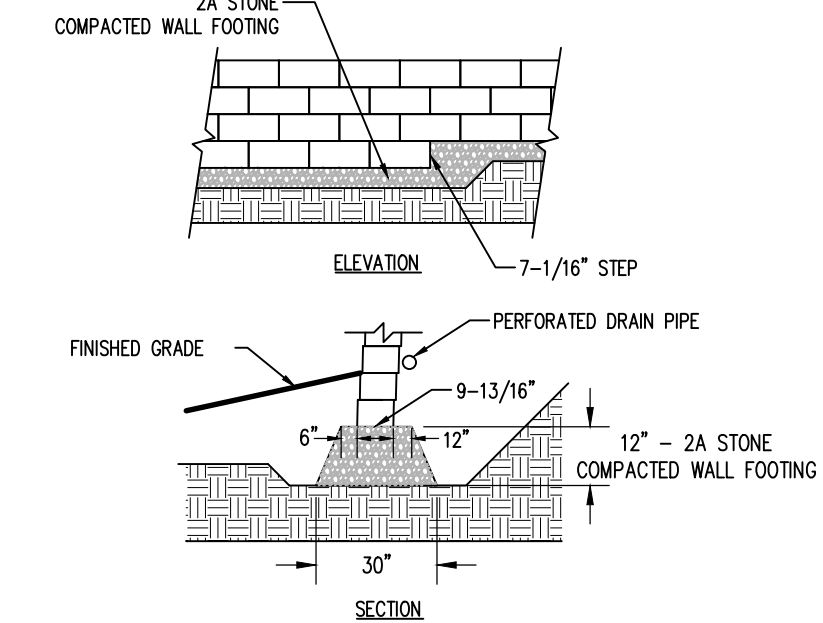


BRANDON 180 mm IS EQUIVALENT TO TWICE THE BRANDON 90 mm

BRANDON BLOCK
NOT TO SCALE



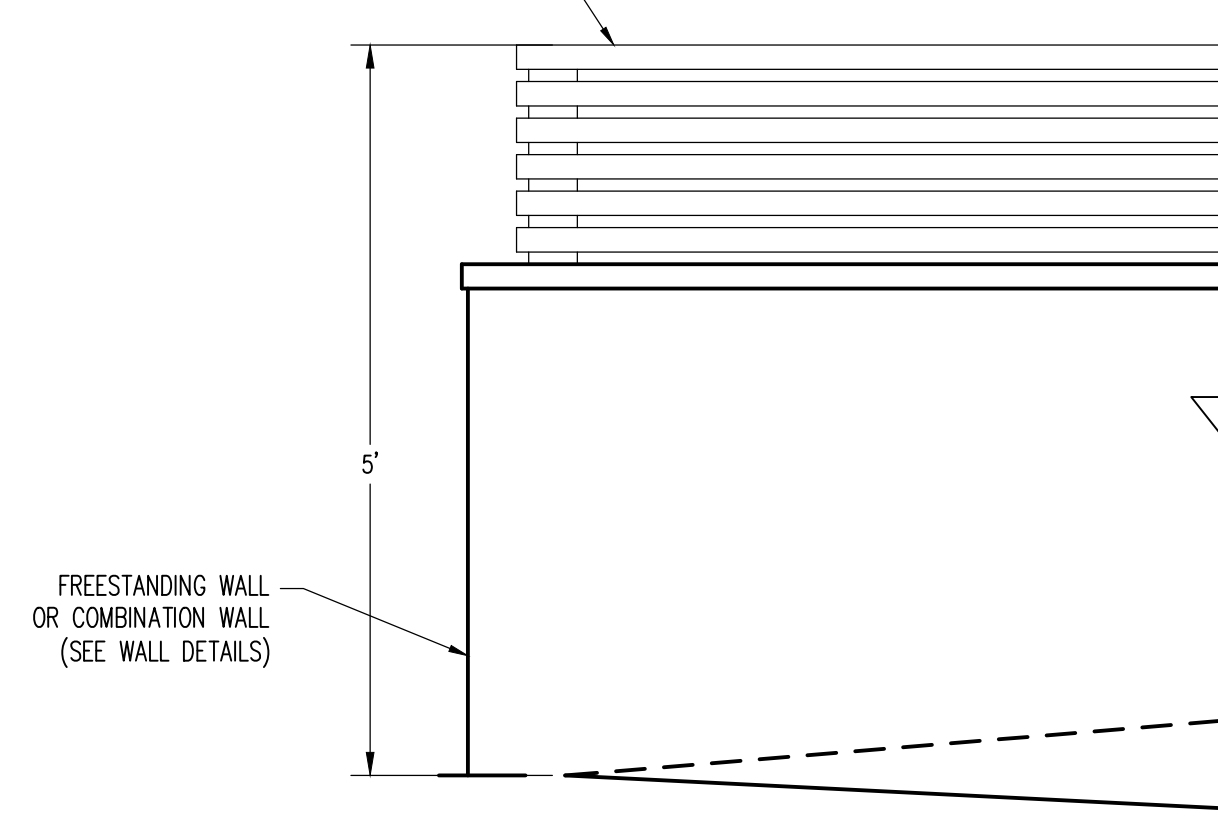
**COMBINATION RETAINING/
FREE STANDING WALL**
NOT TO SCALE



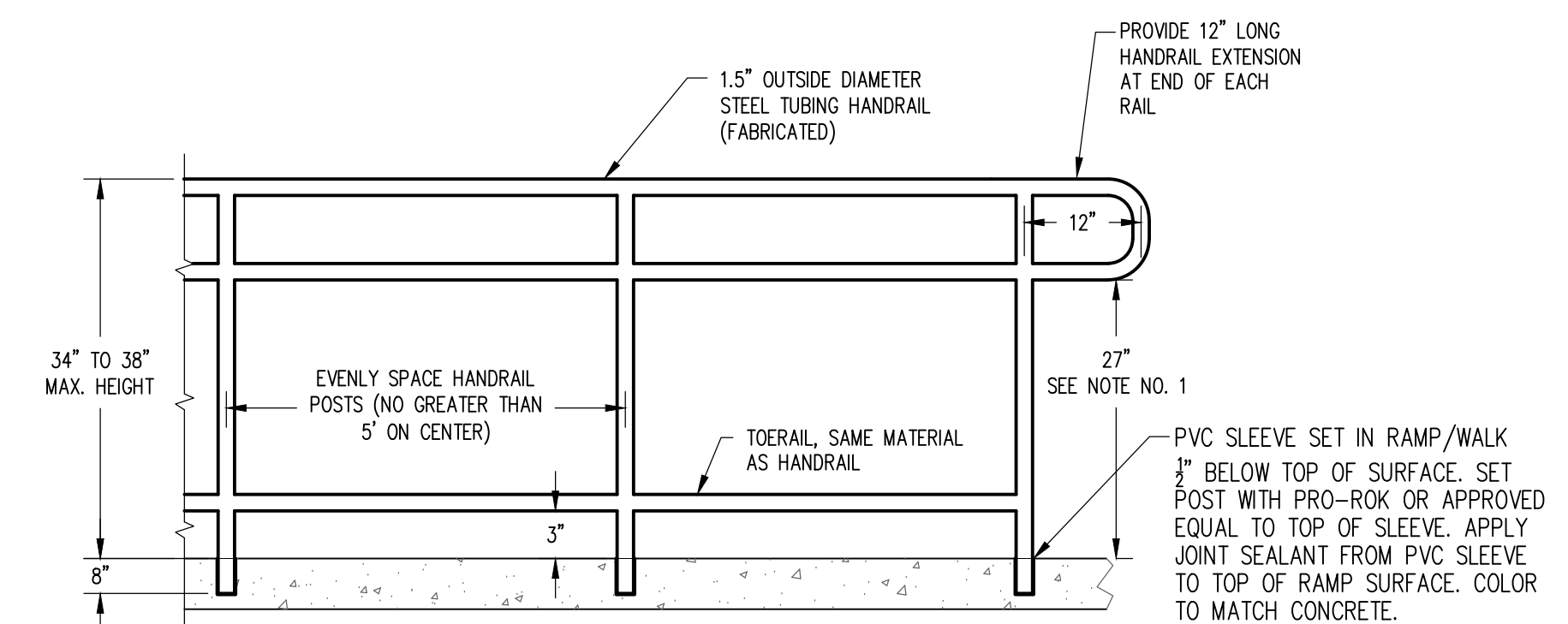
* NOTES: 1. THE PROPOSED SUBGRADE MUST BE EVALUATED FOR UNIFORM BEARING CAPACITY. IF NATURAL ROCK PINNACLES AMONG CLAY SEAMS OR OTHER NON-HOMOGENEOUS SUBGRADE IS FOUND, THE SITE CONTRACTOR WILL BE DIRECTED, PRIOR TO CONSTRUCTING THE WALL SUBBASE, TO UNDERCUT THE NON-HOMOGENEOUS BEARING TO A DEPTH THAT IS FIELD DETERMINED, BUT NOT GREATER THAN 24", AND REPLACE WITH COMPACTED 2A STONE BACKFILL (A MIN. 30" WIDE X THE LENGTH OF THE UNSUITABLE ZONE). CONSULT THE WALL DESIGNER FOR FIELD VERIFICATION OF SUBGRADE CONDITIONS.
2. THE WALL FOOTING TO BE 12" DEEP WITH 6" TOE BEYOND FACE OF BLOCK & 12" (1'-0") HEEL BEYOND BLOCK REAR FACE.

COMPACTED WALL FOOTING (TYP.)
NOT TO SCALE

1" x 2" CEDAR PLANK (STAINED AND SEALED) RUNNING HORIZONTALLY WITH 1" REVEALS BETWEEN PLANKS. MOUNT TO 3" SQUARE POST LOCATED 4' O.C. MAXIMUM. POST SHALL BE PRIMED AND PAINTED. COLORS OF PAINT AND STAIN TO BE SELECTED BY OWNER.



WALL - TOP SCREEN FENCE
NOT TO SCALE



RAMP HANDRAIL DETAIL
NOT TO SCALE

- NOTES:
- ALL HANDRAILS, HANDRAIL TERMINATIONS, AND HORIZONTAL AND VERTICAL CLEARANCES SHALL COMPLY WITH THE PROVISIONS OF THE GOVERNING EDITIONS OF THE INTERNATIONAL BUILDING CODE, AND WITH ICC/ANSI 117.1. THEY SHALL BE ABLE TO RESIST A LOAD OF 50 P.L.F. APPLIED IN ANY DIRECTION AT THE TOP AND BE ABLE TO SEPARATELY RESIST A SINGLE LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT THE TOP.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING HANDRAIL COMPLIANT WITH THE GOVERNING CODES.
 - CORE DRILL OR SURFACE MOUNT ANCHORING METHODS ARE ACCEPTABLE CONDITIONALLY UPON MEETING CODE REQUIREMENTS.
 - SEE DIVISION 9 SPECIFICATIONS FINISHES, FOR PAINTING REQUIREMENTS.
 - SEE HANDRAIL AND RAILING SURFACE TREATMENT AT CONCRETE STAIRWAY DETAIL FOR HANDRAIL TREATMENT.

Date	Description
6-2-19	PER TOWNSHIP COMMENTS
3-18-19	PER CLIENT COMMENTS
1-2-19	PER TOWNSHIP COMMENTS
11-30-18	PER TOWNSHIP COMMENTS

KING WEALTH STRATEGIES

FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

WALL DETAILS

EROSION & SEDIMENTATION CONTROL LEGEND

- LIMIT OF DISTURBANCE (16,868 S.F. ±)
- CONSTRUCTION ENTRANCE
- TOPSOIL STOCKPILE
- SS12-SS12 12" SILT SOCK
- INLET PROTECTION (TYPE M-FILTER BAG)

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- Municipal Boundary
- Zoning Boundary
- Property Corner Found
- Property Corner To Be Set
- PennTerra Control Point
- Project Benchmark

EXISTING FEATURES LEGEND

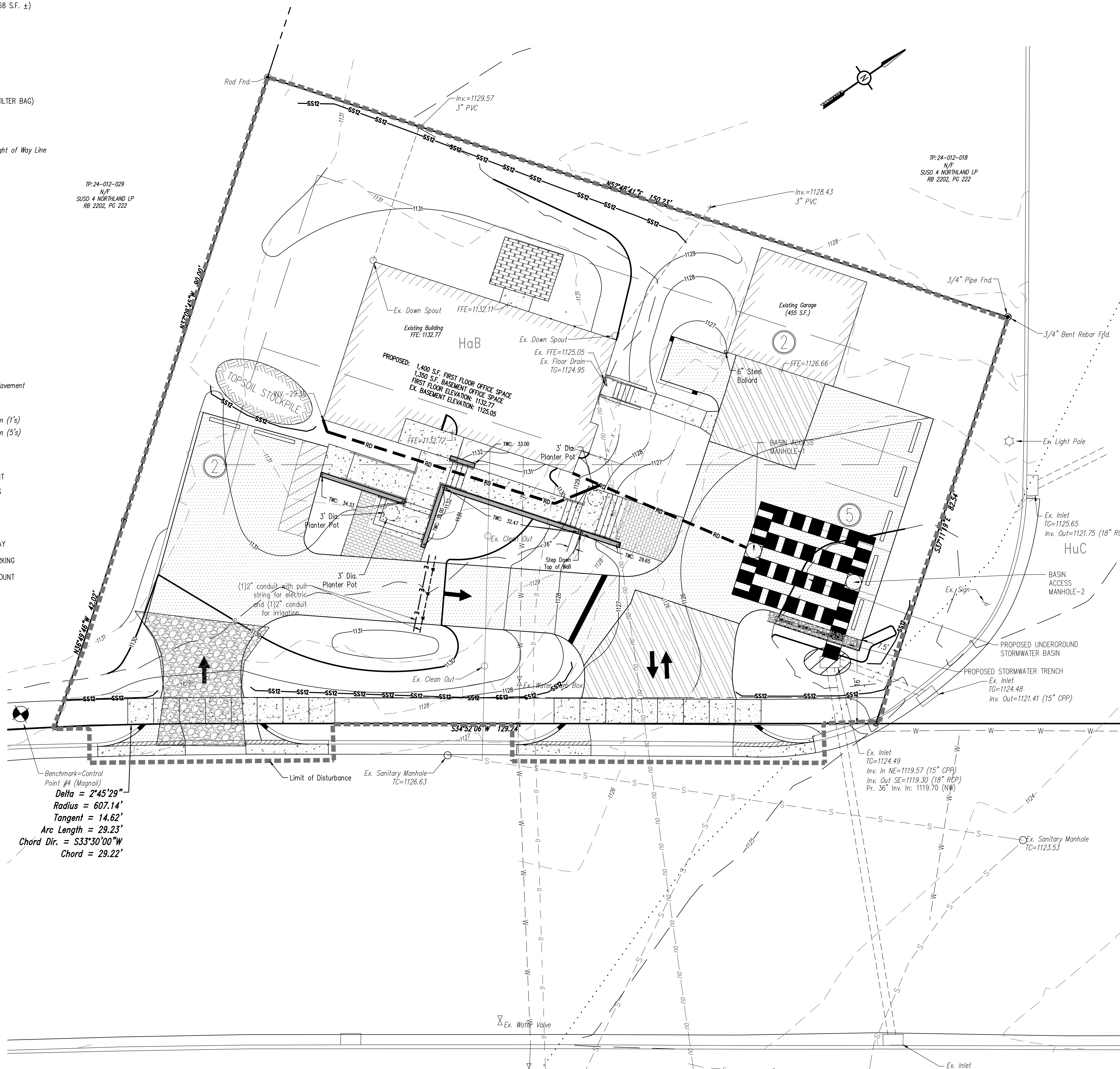
- EXISTING BUILDING Existing Building
- EXISTING PAVERS Existing Pavers
- Existing Curbing & Edge of Pavement
- Existing Concrete Sidewalk
- Existing Fence
- Existing Contours w/ Elevation (1's)
- Existing Contours w/ Elevation (5's)

PROPOSED FEATURES LEGEND

- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE PAVERS
- PROPOSED CONCRETE WALK
- PROPOSED PAVEMENT
- PROPOSED PAVEMENT OVERLAY
- PROPOSED HANDICAPPED PARKING
- PROPOSED PARKING STALL COUNT

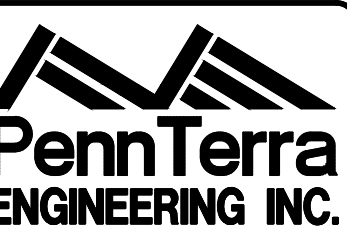
SOILS LEGEND

Soil cover on the site consists of:
 HaB - Hagerstown Silt Loam, 3-8% Slopes
 HuC - Hubersburg Silt Loam, 8-15% Slopes



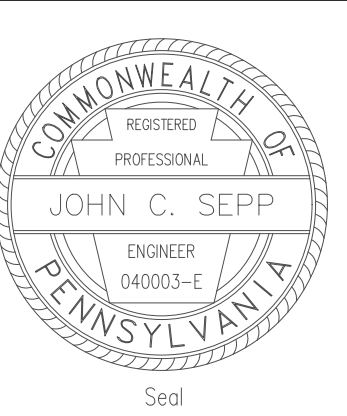
Standard Erosion and Sediment Control Plan Notes

1. All earth disturbances, including clearing and grubbing as well as cuts and fills shall be done in accordance with the approved E&S plan. A copy of the approved drawings (stamped, signed and dated by the reviewing agency) must be available at the project site at all times. The reviewing agency shall be notified of any changes to the approved plan prior to implementation of those changes. The reviewing agency may require a written submittal of those changes for review and approval at its discretion.
2. At least 7 days prior to starting any earth disturbance activities, including clearing and grubbing, the owner and/or operator shall invite all contractors, the landowner, appropriate municipal officials, the E&S plan preparer, the PCSM plan preparer, the licensed professional responsible for oversight of critical stages of implementation of the PCSM plan, and a representative from the Centre County Conservation District to an on-site preconstruction meeting.
3. At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-242-1776 for the location of existing underground utilities.
4. All earth disturbance activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved in writing from the township, local conservation district or by the Department prior to implementation.
5. Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots and other objectionable material.
6. Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specified by the BMP sequence for that stage or phase have been installed and are functioning as described in this E&S plan.
7. At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan maps. These areas must be clearly marked and fenced off before clearing and grubbing operations begin.
8. Topsoil required for the establishment of vegetation shall be stockpiled at the location(s) shown on the plan maps(s) in the amount necessary to complete the finish grading of all exposed areas that are to be stabilized by vegetation. Each stockpile shall be protected in the manner shown on the plan drawings. Stockpile heights shall not exceed 35 feet. Stockpile slopes shall be 2H:1V or flatter.
9. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to minimize the potential for erosion and sediment pollution and notify the local conservation district and/or the regional office of the Department.
10. All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1, and 287.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
11. All off-site waste and borrow areas must have an E&S plan approved by the local conservation district or the Department fully implemented prior to being activated.
12. The contractor is responsible for ensuring that any material brought on site is clean fill. Form FP-001 must be retained by the property owner for any fill material affected by a spill or release of a regulated substance by qualifying as clean fill due to analytical testing.
13. Until the site is stabilized, all erosion and sediment BMPs shall be maintained properly. Maintenance shall include inspections of all erosion and sediment BMPs after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseed, reseed, and reseed, must be performed immediately, if the E&S BMPs fail to perform as expected, replacement BMPs, or modifications of those installed will be required.
14. A log showing dates that E&S BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection.
15. Sediment tracked onto any public roadway or sidewalk shall be returned to the construction site by the end of each work day and disposed in the manner described in this plan. In no case shall the sediment be washed, shoveled, or swept into any roadside ditch, storm sewer, or surface water.
16. All sediment removed from BMPs shall be disposed of in the manner described on the plan drawings.
17. Areas which are to be topsoiled shall be scarified to a minimum depth of 3 to 5 inches - 6 to 12 inches on compacted soils - prior to placement of topsoil. Areas to be vegetated shall have a minimum 4 inches of topsoil in place prior to seeding and mulching. Fill outcrops shall have a minimum of 2 inches of topsoil.
18. All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc. shall be compacted in accordance with local requirements or codes.
19. All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness.
20. Fill materials shall be free of frozen particles, brush, roots, sod, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills.
21. Frozen materials or silt, mucky, or highly compressible materials shall not be incorporated into fills.
22. Fill shall not be placed on saturated or frozen surfaces.
23. Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain or other approved method.
24. All graded areas shall be permanently stabilized immediately upon reaching finished grade. Cut slopes in competent bedrock and rock fills need not be vegetated. Seeded areas within 50 feet of a surface water, or as otherwise shown on the plan drawings, shall be blanketed according to the standards of this plan.
25. Immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reactivated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
26. Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
27. E&S BMPs shall remain functional as such until all areas tributary to them are permanently stabilized or until they are replaced by another BMP approved by the local conservation district or the Department.
28. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the township and local conservation district for an inspection prior to removal/conversion of the E&S BMPs.
29. After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed or converted to permanent post construction stormwater management BMPs. Areas disturbed during removal or conversion of the BMPs shall be stabilized immediately. In order to ensure rapid revegetation of disturbed areas, such removal/conversions are to be done only during the germinating season.
30. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the township and local conservation district to schedule a final inspection.
31. Failure to correctly install E&S BMPs, failure to prevent sediment-laden runoff from leaving the construction site, or failure to take immediate corrective action to resolve failure of E&S BMPs may result in administrative, civil, and/or criminal penalties being instituted by the Department as defined in Section 602 of the Pennsylvania Clean Streams Law. The Clean Streams Law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor criminal penalties for each violation.
32. Underground utilities cutting through any active channel shall be immediately backfilled and the channel restored to its original cross-section and protective lining. Any base flow within the channel shall be conveyed past the work area in the manner described in this plan until such restoration is complete.



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 Fax: 717-522-5046



DESIGNER: MAT
 DRAFTSMAN: MJA
 PROJ/MANAGER: MAT
 SURVEYOR: BRK
 PERIMETER CK:
 BOOK: 527, Pg: 2
 FILE: 9 - E&S
 EROSION & SEDIMENTATION CONTROL PLAN

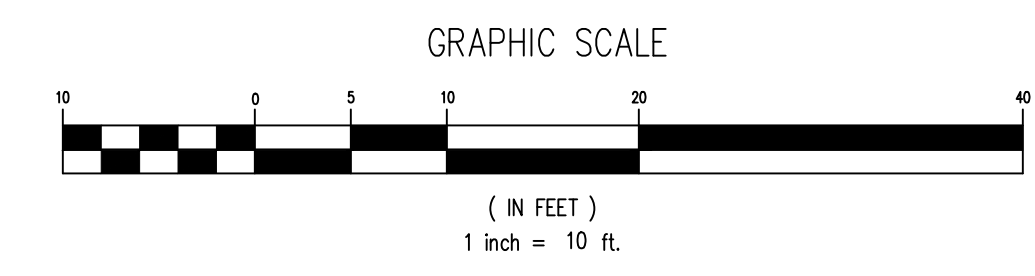
Date	Description	REVISIONS
4-4-19	PER TOWNSHIP COMMENTS	
3-18-19	PER CLIENT COMMENTS	
1-2-19	PER TOWNSHIP COMMENTS	
11-30-18	PER TOWNSHIP COMMENTS	

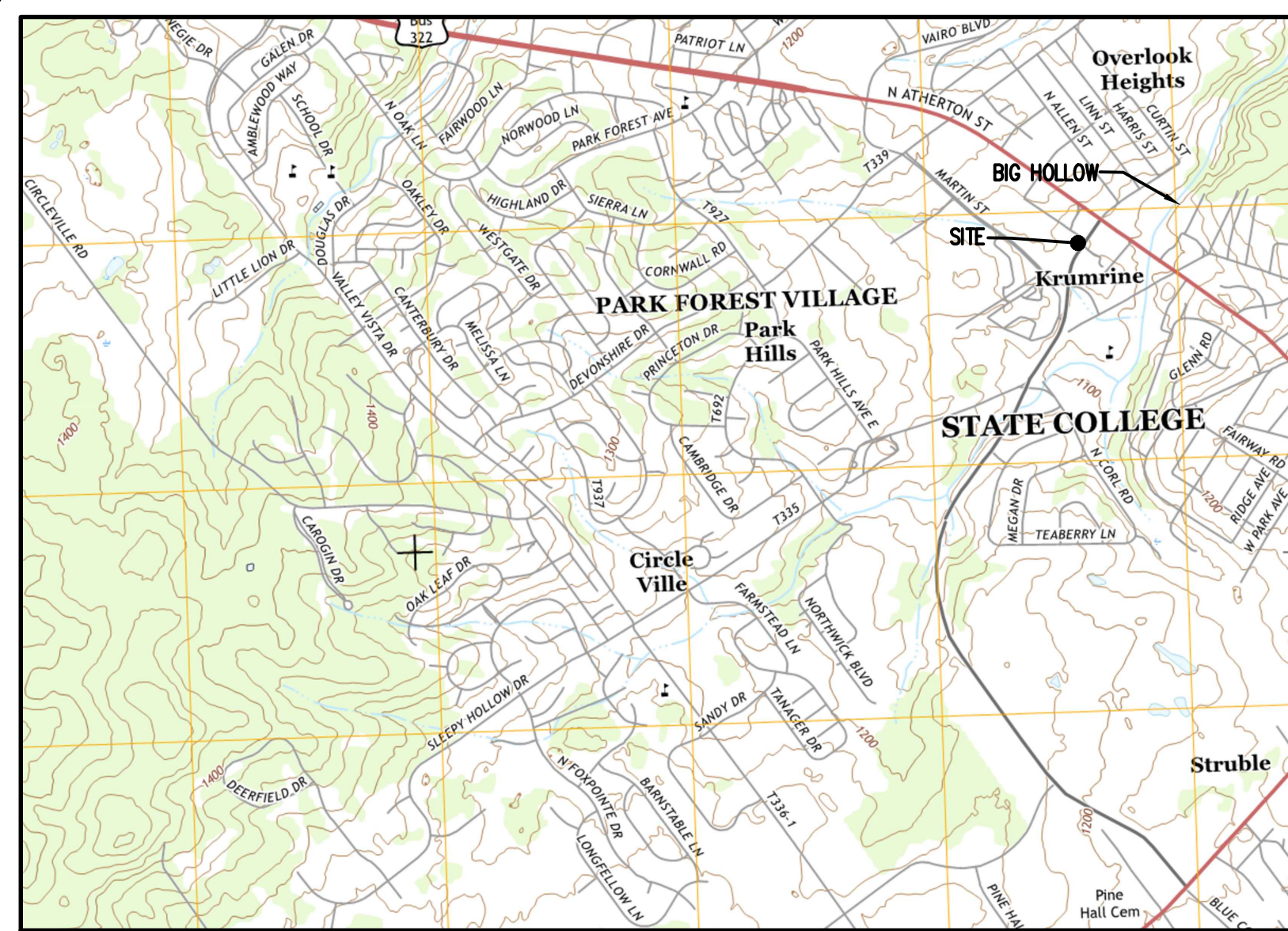
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 PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

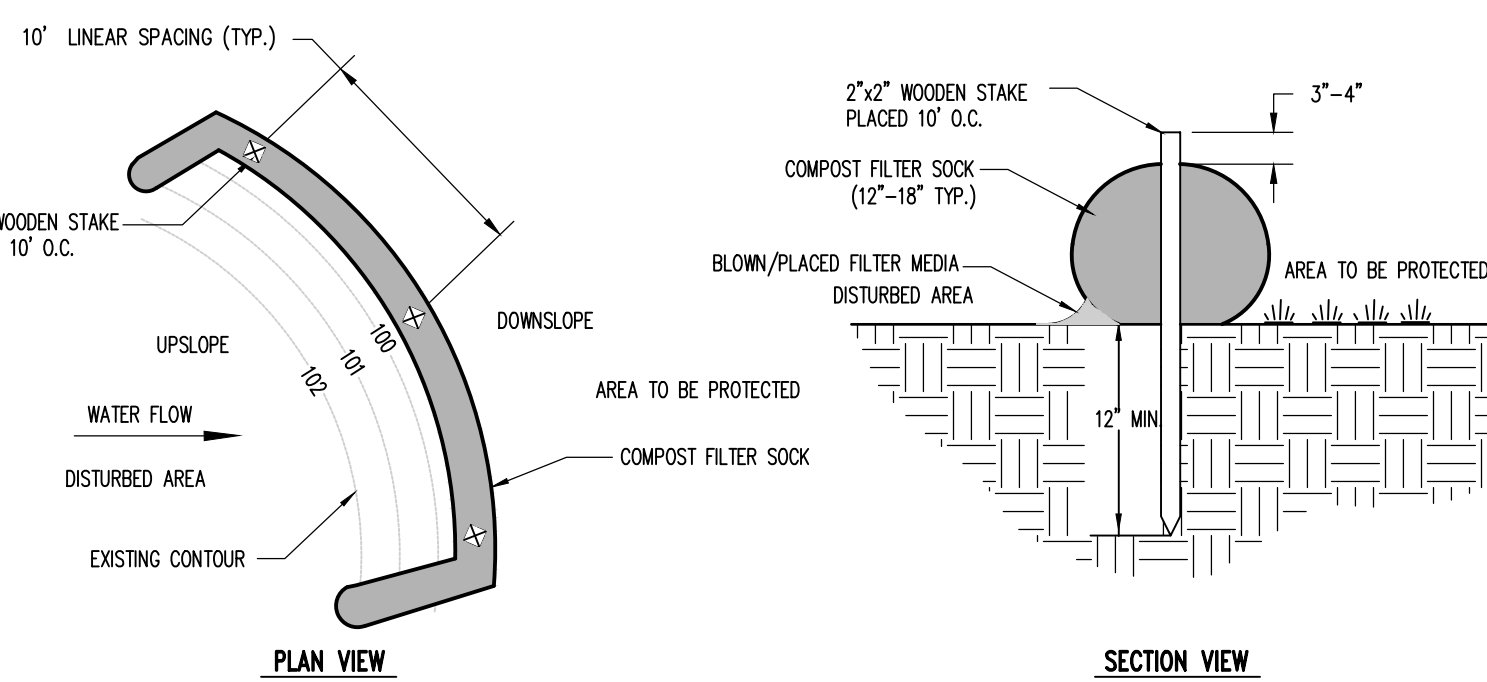
EROSION AND SEDIMENTATION CONTROL PLAN

PROJECT NO. 17228
 DATE: JUNE 26, 2018
 SCALE: 1"=10'
 SHEET NO. 9 of 12





USGS LOCATION MAP--JULIAN, PA
1"=2,000'



- NOTES:
1. ALL MATERIAL TO MEET EPA COMPOST FILTER SOCK SPECIFICATIONS.
 2. SILT SOCK COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
 3. SILT SOCKS DEPICTED ARE FOR USE ON MINIMAL SLOPES. GREATER SLOPES MAY REQUIRE LARGER SILT SOCKS PER THE ENGINEER.
 4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

TABLE 4.1
Compost Sock Fabric Minimum Specifications

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HEMFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years

Two-Ply Systems

Inner Containment Netting	HDPE biaxial net
	Continuously wound
Outer Filtration Mesh	Fusion-welded junctures
	3/4"x3/4" Max. aperture size
Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch)	
3/16" Max. aperture size	
Sock fabrics composed of burlap may be used on projects lasting 6 months or less.	

TABLE 4.2
Compost Standards

Organic Matter Content	25%-100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5-8.5
Moisture Content	30%-60%
Particle Size	30% - 50% pass through 3/8" sieve
Soluble Salt Concentration	5.0 ds/m (mmhos/cm) Maximum

COMPOST FILTER SOCK DETAIL
NOT TO SCALE

Sequence: All earth disturbance activities shall proceed in accordance with the following staging of earthmoving activities. Each stage shall be completed before a subsequent stage is initiated.

1. Install the rock construction entrance for the site at the location shown on the Erosion and Sedimentation Control Plan (E&SCP).
2. Install the entire site silt sock. Place filter bag inlet protection in the existing inlet, as shown.
3. Strip the topsoil from the site construction area and stockpile excess topsoil at the location shown on the E&SCP. Seed the stockpile with the temporary seeding mixture and repair silt sock if damaged.
4. Begin the rough grading of the proposed site and building improvements.
5. Commence with construction of the infiltration trench and underground stormwater basin. The trench bottom must not be compacted and both the underground basin and infiltration trench shall be protected from sediment during construction.
6. Commence with construction of all utilities. All utilities are to be installed at the rate of the length of the utility that can be installed and backfilled in one day. All stormwater shall be installed beginning at the downstream end and working upstream. Any erosion controls disturbed from the installation of these utilities shall be repaired or replaced properly at the end of each day. Place yard drain protection in the newly installed yard drain.
7. Once all utilities are installed, bring the parking and driveways to sub grade and stabilize with stone.
8. Begin the paving operations, thus removing the rock construction entrance. All curbing shall be installed after the paving is completed. Install all sidewalks.
9. Complete all remaining site grading, stabilizing all vegetated areas with topsoil and the appropriate seeding mixture immediately after they are brought to final grade.
10. Check all erosion controls on a daily basis and make any needed repairs or replacements as needed immediately. Any erosion control disturbed or removed by the installation of utilities shall be repaired or replaced to proper functioning condition by the end of that same day. All areas abandoned for more than four (4) days are to be seeded with the temporary seeding mixture.
11. Current regulations state: (a) Upon completion of an earth disturbance activity or any stage or phase of an activity, the site shall be immediately seeded, mulched or otherwise protected from accelerated erosion and sedimentation. (b) Erosion and sediment control BMP's shall be implemented and maintained until the permanent stabilization is completed. (c) For an earth disturbance activity or any stage or phase of an activity to be considered permanently stabilized, the disturbed areas shall be covered with one of the following: (1) A minimum uniform 70% perennial vegetative cover, with a density capable of resisting accelerated erosion and sedimentation. (2) An acceptable BMP which permanently minimizes accelerated erosion and sedimentation. Once stabilization has been achieved, all temporary erosion and sediment controls may be removed as follows:
 - Remove all temporary controls, such as silt sock, topsoil stockpile and yard drain protection. Any areas disturbed by the removal of these controls shall be stabilized immediately with a permanent seeding mixture.

Temporary Control Measures

Temporary control measures will be implemented to ensure that erosion is minimized and that sediment is retained during construction. The rock construction entrance will be provided at the site entrance to prevent tracking of sediment from the site. Silt sock will be placed at the locations shown on the Erosion and Sedimentation Control Plan to provide proper filtration of the site runoff. Inlet protection will be installed at inlets to prevent the sedimentation of the storm sewer systems.

Temporary seeding on all disturbed areas shall be done immediately after grading is finished and shall consist of the following:

Item	Rate
1. Agricultural grade limestone	1 ton / acre
2. Fertilizer 10-10-10	500 lbs. / acre
3. Annual ryegrass	40 lbs. / acre
4. Mulch (straw)	3 tons / acre

Permanent Control Measures

Permanent control measures include the underground basin, infiltration trench, storm sewer, curbing and seeding / landscaping.

Permanent seeding on all disturbed areas may consist of the following:

Soil Enhancements: For permanent seeding, it is recommended that site specific soil testing be performed. Lieu of soil test recommendations, use the following acceptable schedule:

Apply 6 tons/acre (240 lbs/1,000 s.f.) Dolomitic Limestone and 1,000 lbs/acre (25 lbs/1,000 s.f.) of 10-20-20 fertilizer before seeding. Harrow or disc into upper three inches of soil.

Permanent seeding on all basin bottom areas may consist of the following:

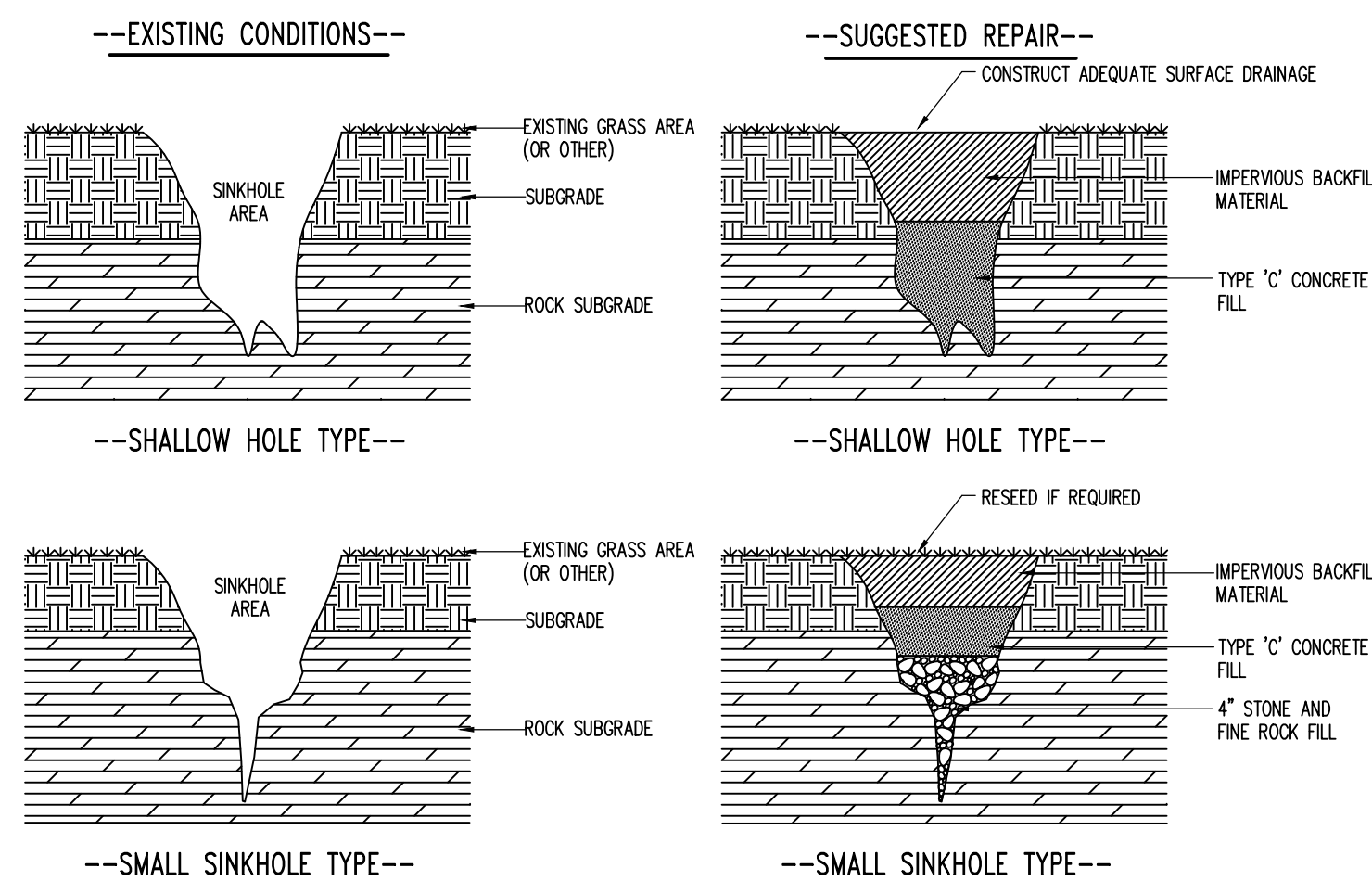
Permanent seeding on all disturbed areas may consist of the following:

Item	Rate
1. Seed Mixture Consists of: 50% Poa pratensis (Kentucky Bluegrass) 30% Festuca rubra (Creeping Red Fescue) 20% Lolium perenne L. (Perennial Rye)	102 lbs. / acre
2. Mulch	3 tons / acre

For lawn areas, a suitable lawn mixture, such as Agways Royal Green, shall be substituted for item 3 of the permanent seeding mixture and applied at the rate directed by the manufacturer.

*Mulching: Apply mulch immediately after seeding and anchor properly with an anchoring tool or following one of the methods listed below.

- 1) Tracking: The process of cutting mulch into the soil via equipment that runs n tracks, is employed primarily on slopes 3:1 or steeper.
- 2) Mulch Nettings: Staple lightweight biodegradable paper, plastic or cotton netting over the mulch according to the manufacturer's recommendations.
- 3) Synthetic Binders: Synthetic binders such as acrylic DLR (AGRI-TAC), DCA-70, Petrosel or Terratock may be used at rates recommended by the manufacturer to anchor mulch material.
- 4) Wood Cellulose Fiber: The fiber binder shall be applied at a net dry weight of 750 lb/acre. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 lbs of wood cellulose fiber per 100 gallons.
- 5) Peg & Twine: Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to surface by stretching twine between pegs in a criss-cross within a square pattern. Secure twine around each peg with two or more turns.



SINKHOLE REPAIR
(NOT INCLUDED IN UTILITY/EARTHWORK BASE BID)

THESE DETAILS REPRESENT TYPICAL SINKHOLE SHAPES AND REPAIR TECHNIQUES. SINKHOLES VARY IN SIZE AND TYPE. THEREFORE, THE OWNER'S GEOTECHNICAL ENGINEER SHALL BE CONTACTED PRIOR TO FIELD REPAIR OF ANY SINKHOLE.

NOT TO SCALE

Maintenance Program

During construction, the contractor will be responsible for maintenance and repair of all erosion and sedimentation control facilities. These facilities should be inspected weekly and after every runoff event. Any erosion control disturbed during construction or found to be inadequate upon inspection shall be repaired or replaced within 24 hours after the disturbance or the discrepancy is discovered. All inspections and repairs shall be documented within a written report and retained for record keeping. The maintenance of the erosion control facilities will include the following:

Construction Entrance:

a. The entrance shall be maintained in a condition that will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measure used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of- Any section of the filter fabric fence which has been undermined or topped must be immediately replaced with a rock filter outlet.

Inlet Protection:

a. Sediment shall be removed from the structure and spread over an existing stockpile with controls already in place and seeded with the temporary seeding mixture.

a. The structure should be checked regularly to ensure its soundness. Damaged bags shall be immediately replaced.

Topsoil Stockpile:

a. The topsoil stockpile shall be seeded with the temporary seeding mixture to ensure proper stabilization. Any additional topsoil spread at these locations shall also be seeded with the temporary seeding mixture.

Spoil Materials:

a. All sediment removed from erosion and sedimentation pollution control facilities shall be spread over spoil areas with controls already in place. Stabilize the spoil material with the temporary seeding mixture.

Permanent Seeding:

a. If the vegetative cover is not established uniformly by the third mowing, the contractor shall reapply topsoil if necessary and seed and mulch as needed to provide adequate cover.

Silt Socks:

a. The Contractor shall maintain the socks in a functional condition at all times and it shall be routinely inspected.

b. Where the sock requires repair, it will be routinely repaired.

c. The contractor shall remove sediment collected at the base of the sock when they reach 1/2 of the exposed height of the sock, or as directed by the Engineer. Alternatively, rather than create a soil disturbing activity, the engineer may call for additional sock to be added at areas of high sedimentation, placed immediately on top of the existing sediment laden sock. The sock will be dispersed on site when no longer required, as determined by the Engineer.

Recycling and Disposal of Materials

The operator shall remove from the site, recycle, or dispose of all building materials and wastes in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1et seq., 271.1 et seq., and 287.1 et seq. The contractor shall not illegally bury, dump, or discharge any building material or wastes.

Wastes generated during the construction of this project shall be recycled if at all possible. Any materials that cannot be recycled or reused shall be disposed of at a Pennsylvania Department of Environmental Protection approved landfill. If soil and/or rock disposal areas are required, erosion and sedimentation controls shall be implemented at these areas. Any excess soil waste may only be disposed of at an approved E&S/NPDES permitted site.

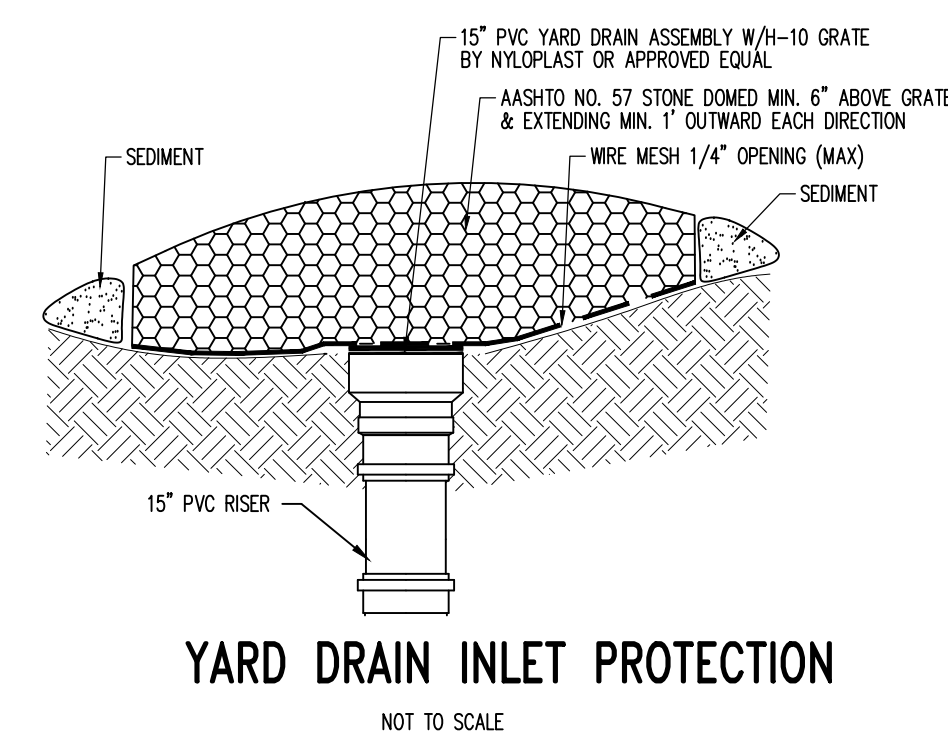
Responsibilities for Fill Materials

The contractor is responsible to use environmental due diligence to ensure any fill material required to be imported to or exported from the site qualifies as Clean Fill.

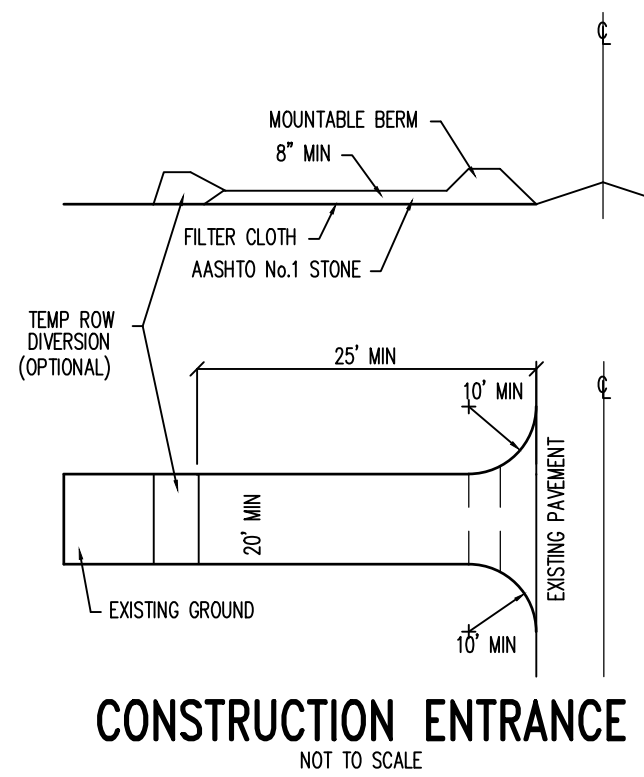
Clean Fill is defined as: Uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and is recognizable as such. The term does not include materials placed in or on the waters of the Commonwealth unless otherwise authorized. (The term "used asphalt" does not include milled asphalt or asphalt that has been processed for re-use.)

Environmental due diligence: Investigative techniques, including, but not limited to, visual property inspections, electronic data base searches, review of property ownership, review of property use history, Sanborn maps, environmental questionnaires, transaction screens, analytical testing, environmental assessments or audits. Analytical testing is not a required part of due diligence unless visual inspection and/or review of the past land use of the property indicates that the fill may have been subjected to a spill or release of regulated substance. If the fill may have been affected by a spill or release of a regulated substance, it must be tested to determine if it qualifies as clean fill. Testing should be performed in accordance with Appendix A of the Department's policy "Management of Fill".

Fill material that does not qualify as clean fill is regulated fill. Regulated fill is waste and must be managed in accordance with the Department's municipal or residual waste regulations based on 25 Pa. Code Chapters 287 Residual Waste Management or 271 Municipal Waste Management, whichever is applicable.



YARD DRAIN INLET PROTECTION
NOT TO SCALE



CONSTRUCTION ENTRANCE
NOT TO SCALE

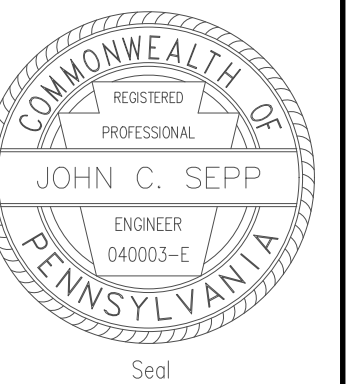


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Designer	MAT
Draftsman	MJA
Proj/Manager	MAT
Surveyor	BRK
Perimeter Clk.	
Book	527, Pg 2
File	10 - E&S-DET
Layout	DETAILS

4-3-19	PER TOWNSHIP COMMENTS
3-18-19	PER CLIENT COMMENTS
1-2-19	PER TOWNSHIP COMMENTS
11-30-18	PER TOWNSHIP COMMENTS
Date	Description
	REVISIONS

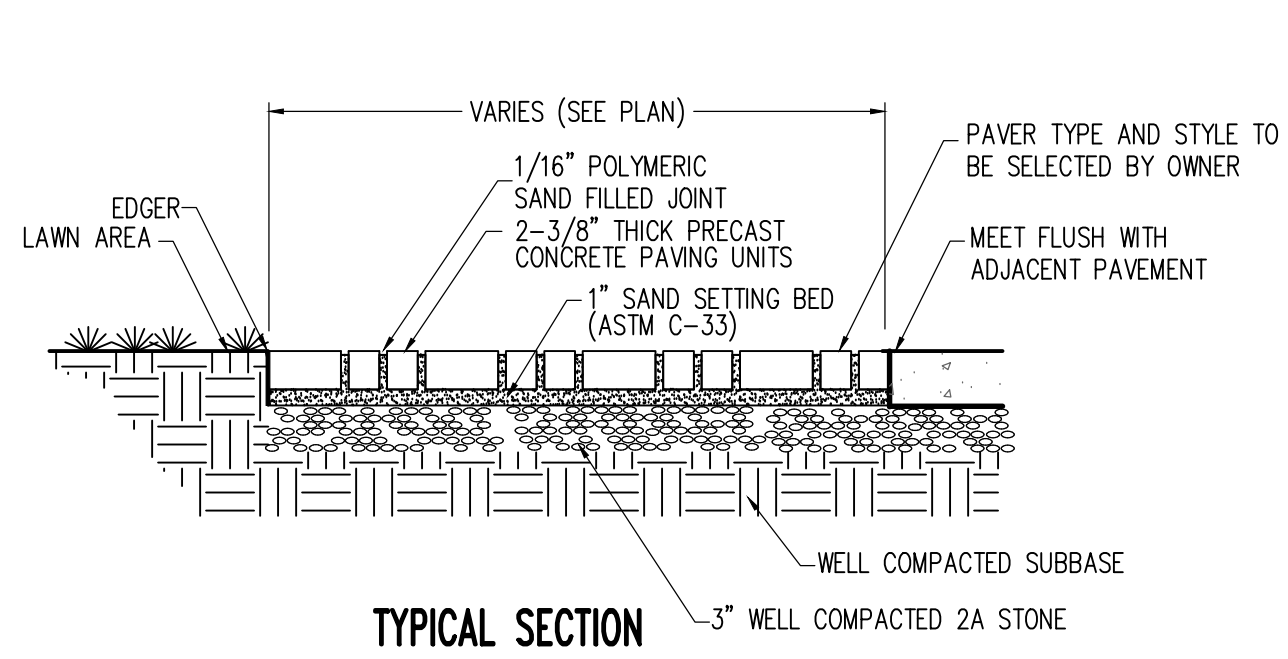
KING WEALTH STRATEGIES

FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

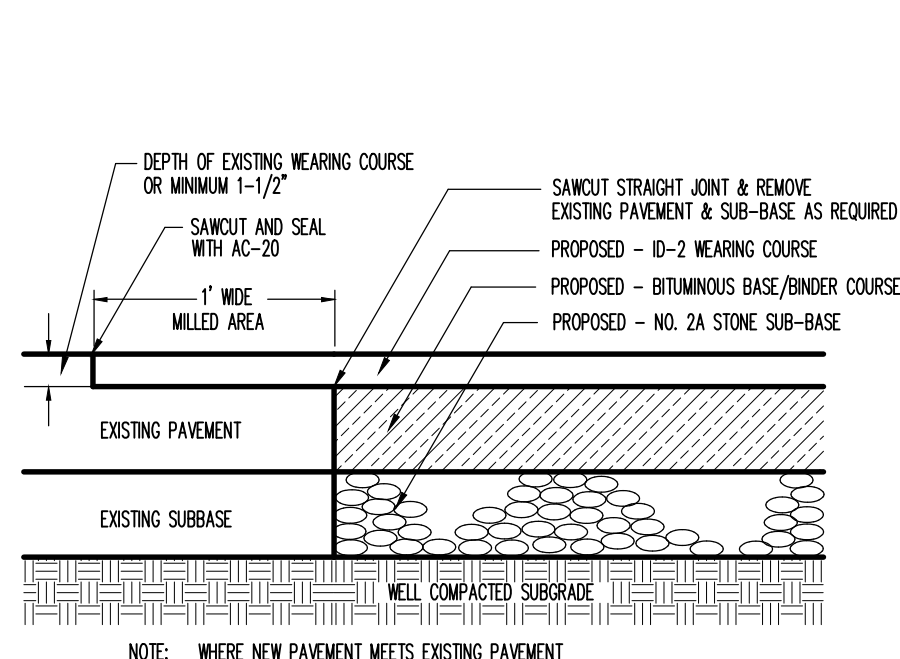
PRELIMINARY/FINAL
LAND DEVELOPMENT
PLAN

E&S--DETAILS

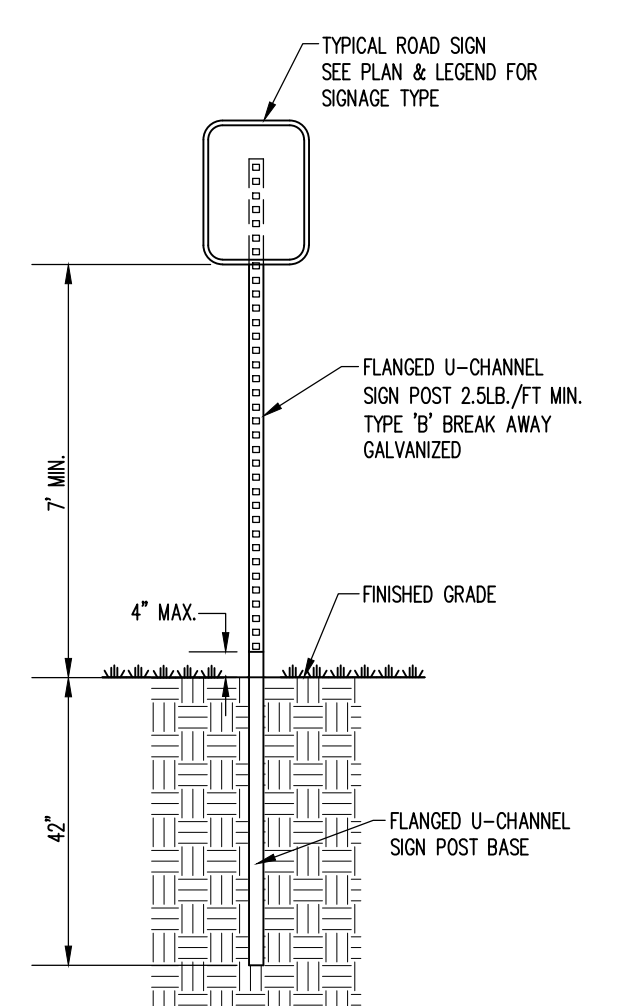
PROJECT NO.	17228
DATE	JUNE 26, 2018
SCALE	1"=10'
SHEET NO.	10 of 12



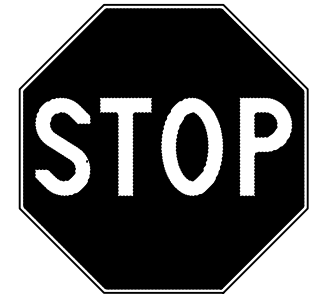
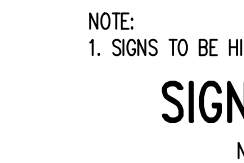
**TYPICAL SECTION
PRE-CAST CONCRETE PAVER**
NOT TO SCALE



PAVEMENT NOTCH DETAIL
NOT TO SCALE

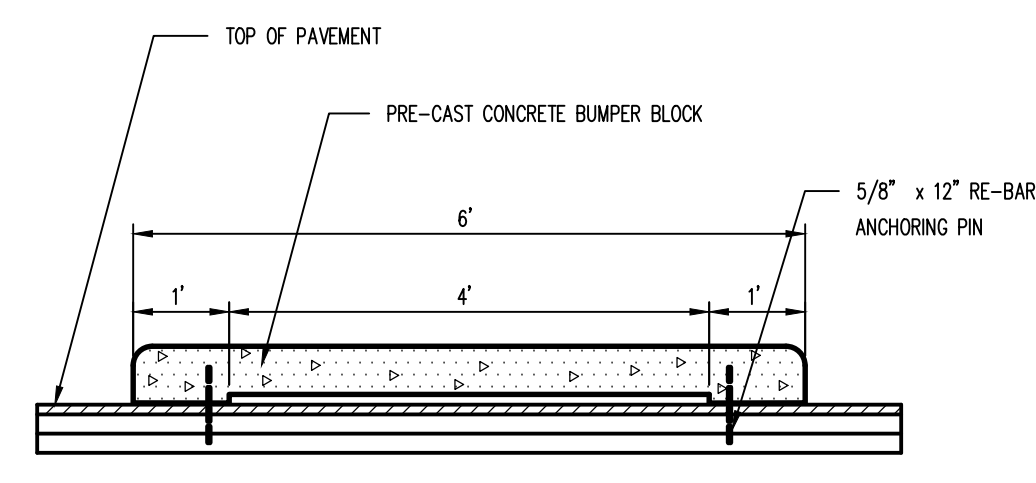


SIGN POST DETAIL
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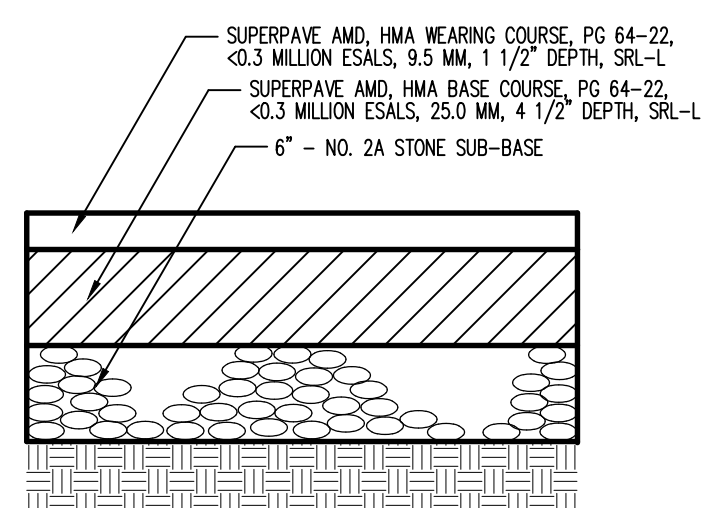


NOTE: ALL SIGNS SHALL USE PENNDOT TYPE III HIGH INTENSITY SHEETING OR BETTER.

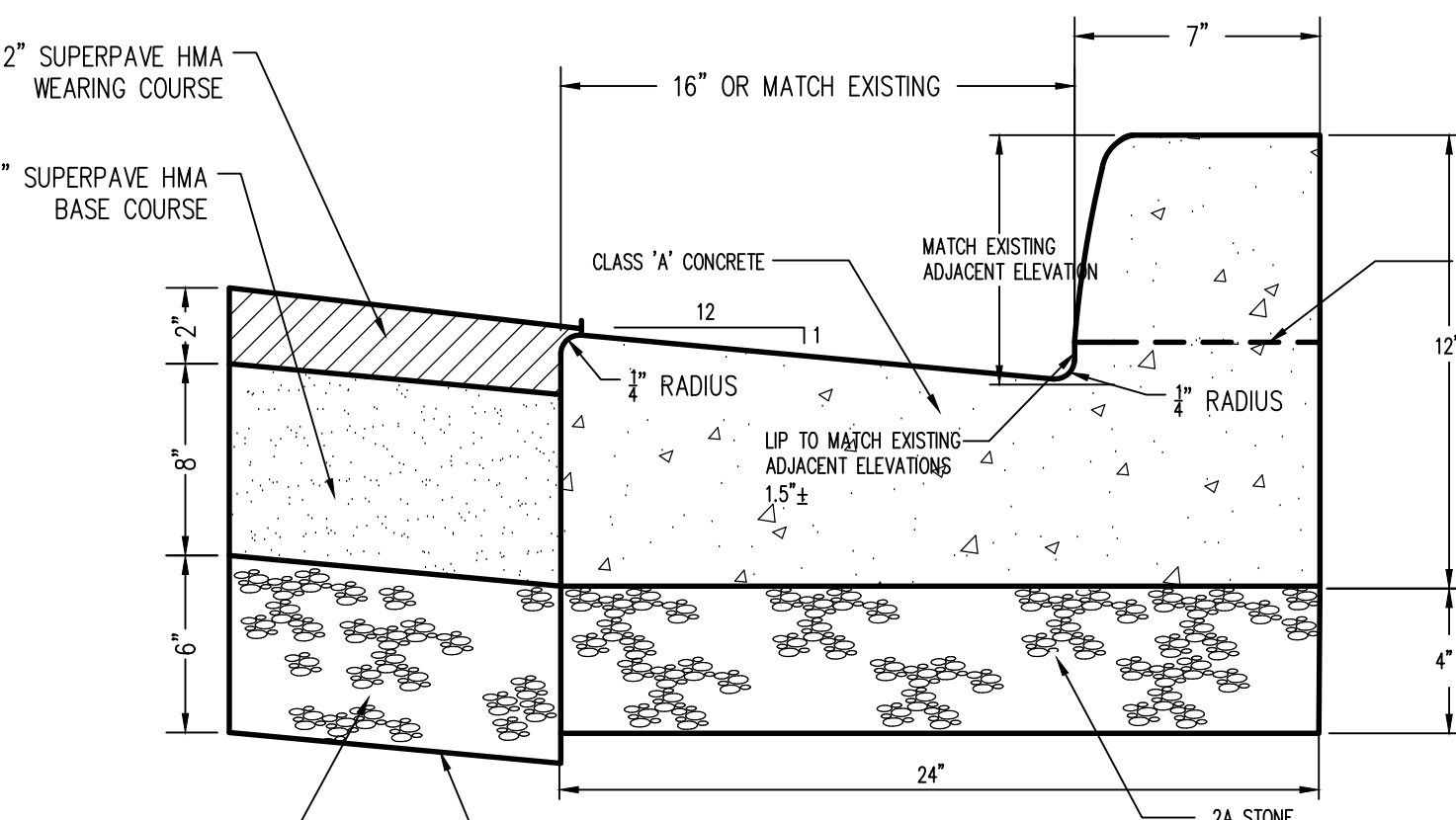
NOTE:
1. SIGNS TO BE HIGH INTENSITY SHEETING.



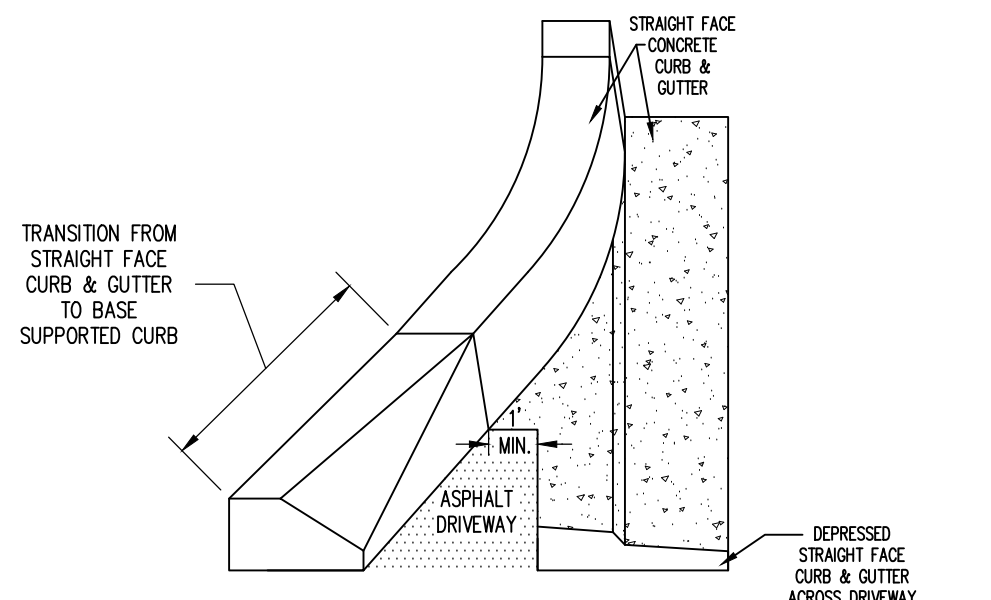
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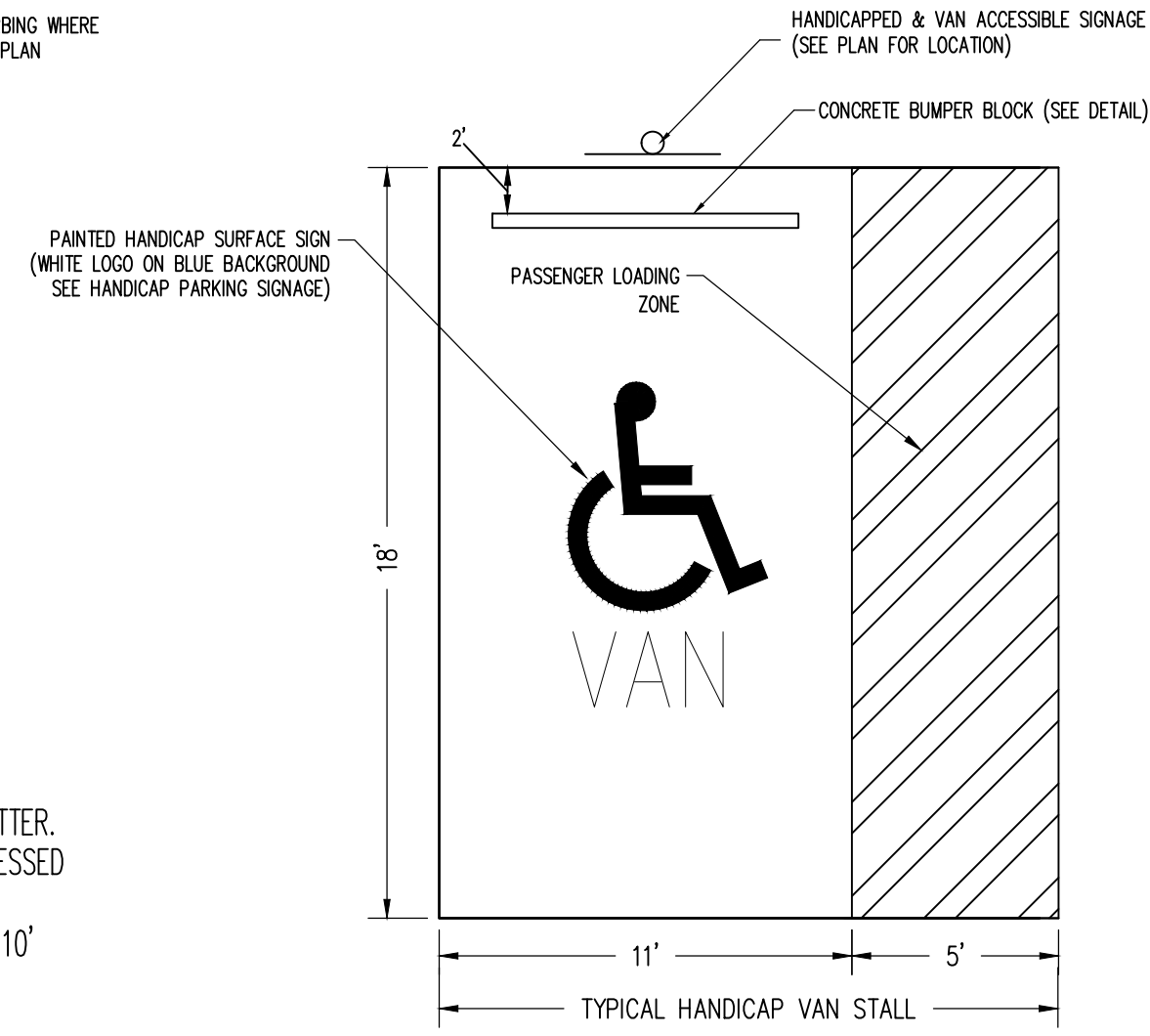
**PAVEMENT SECTION
PARKING LOT**
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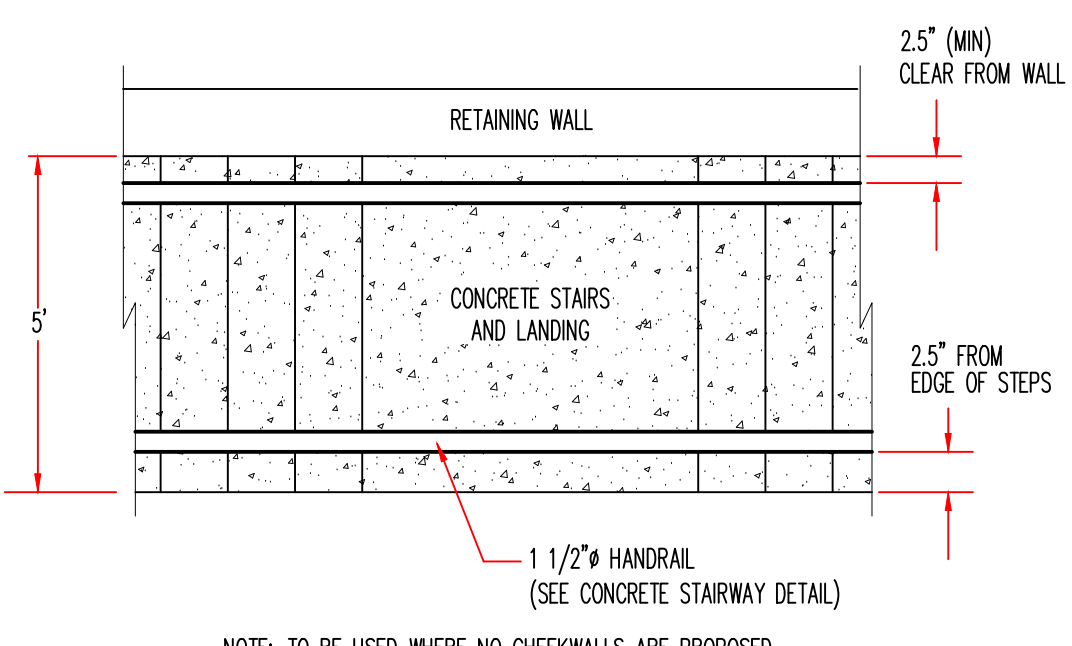
CONCRETE CURB & GUTTER
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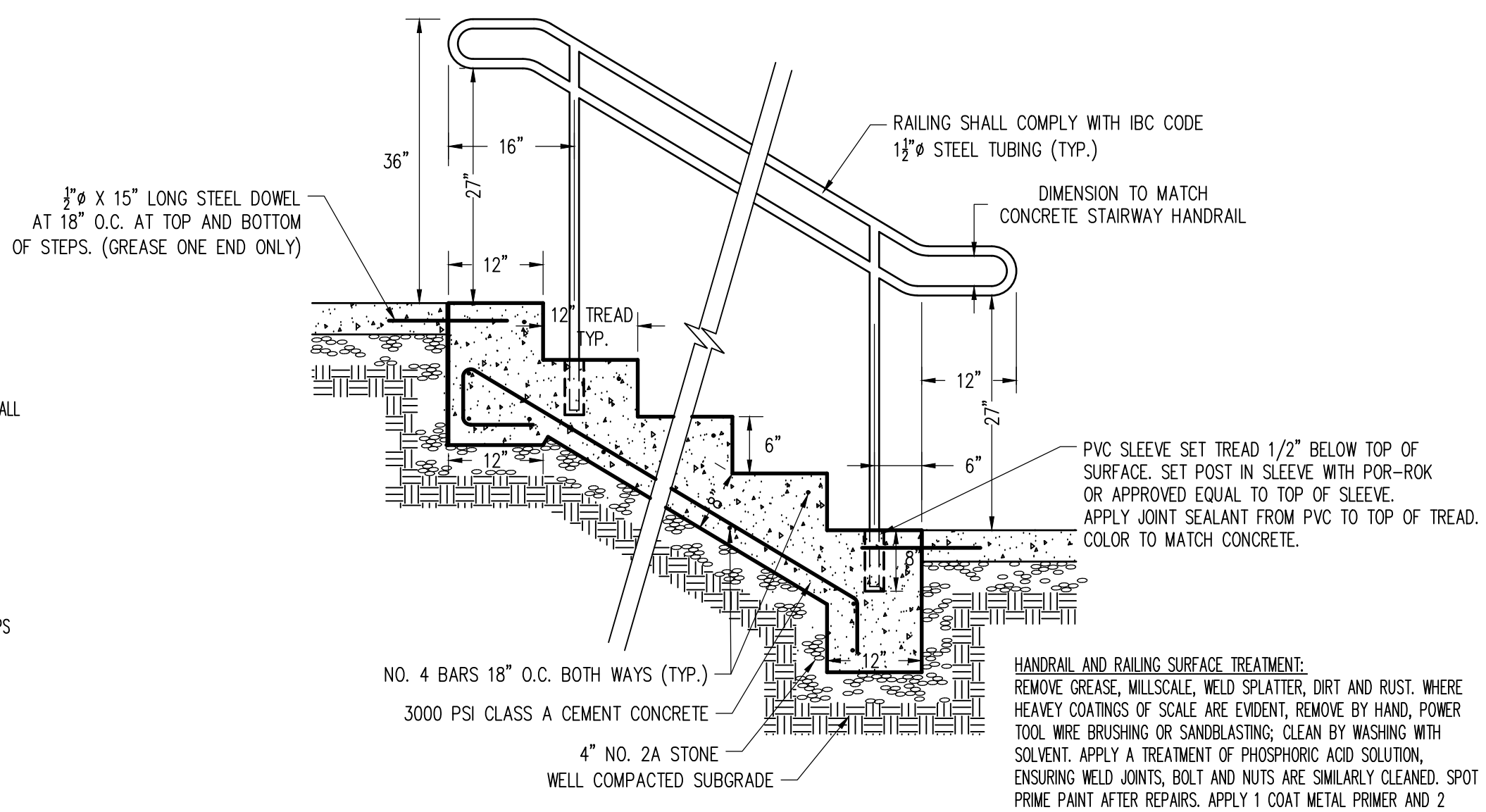
CURB TRANSITIONS AT DRIVEWAY
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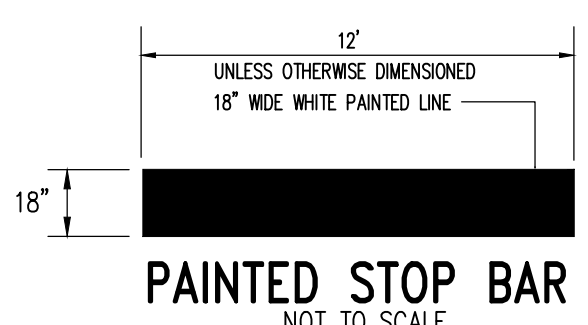
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SCALE: 1"=5'



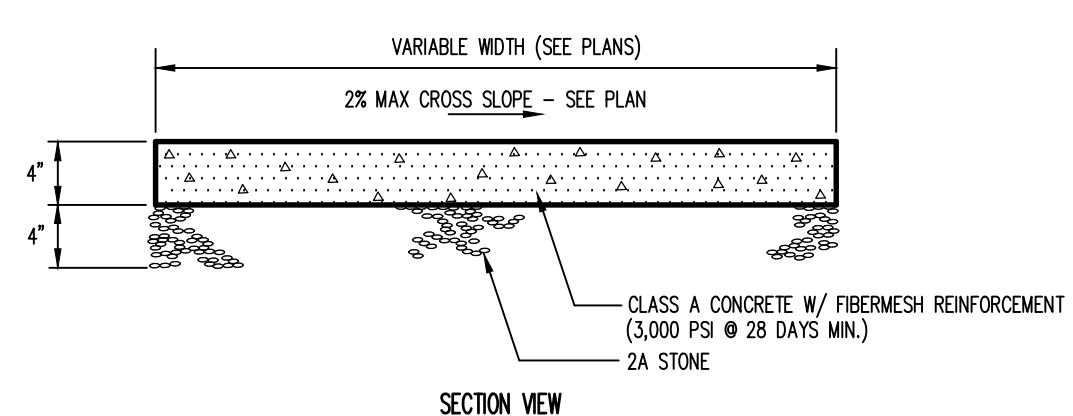
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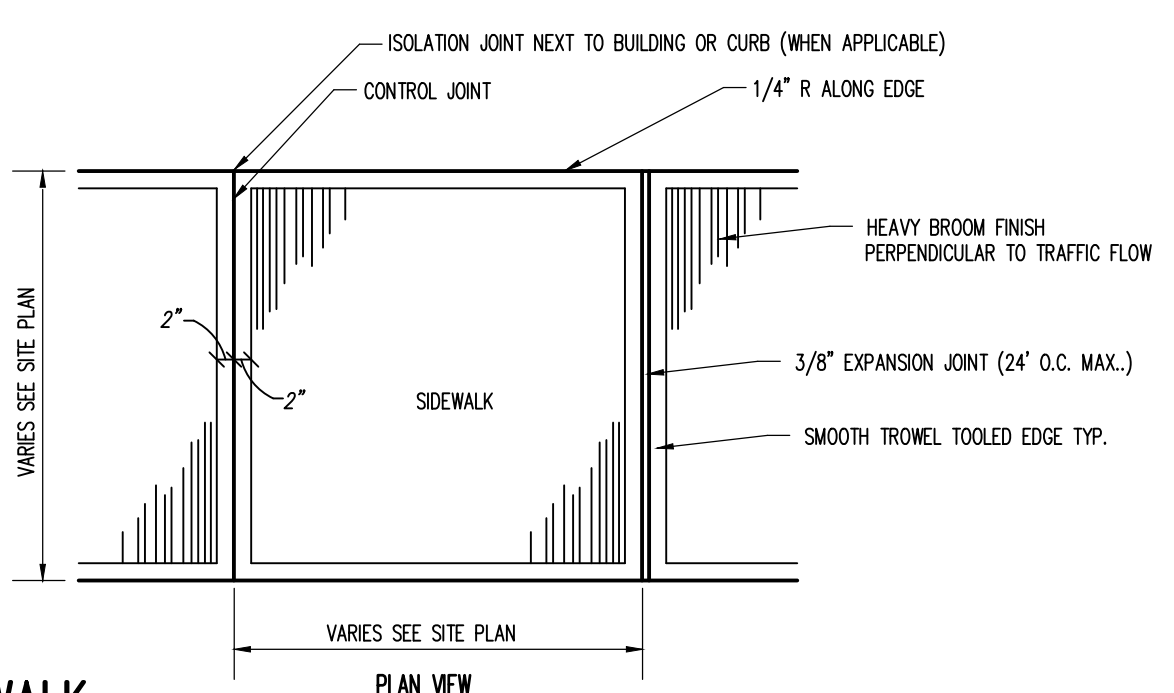
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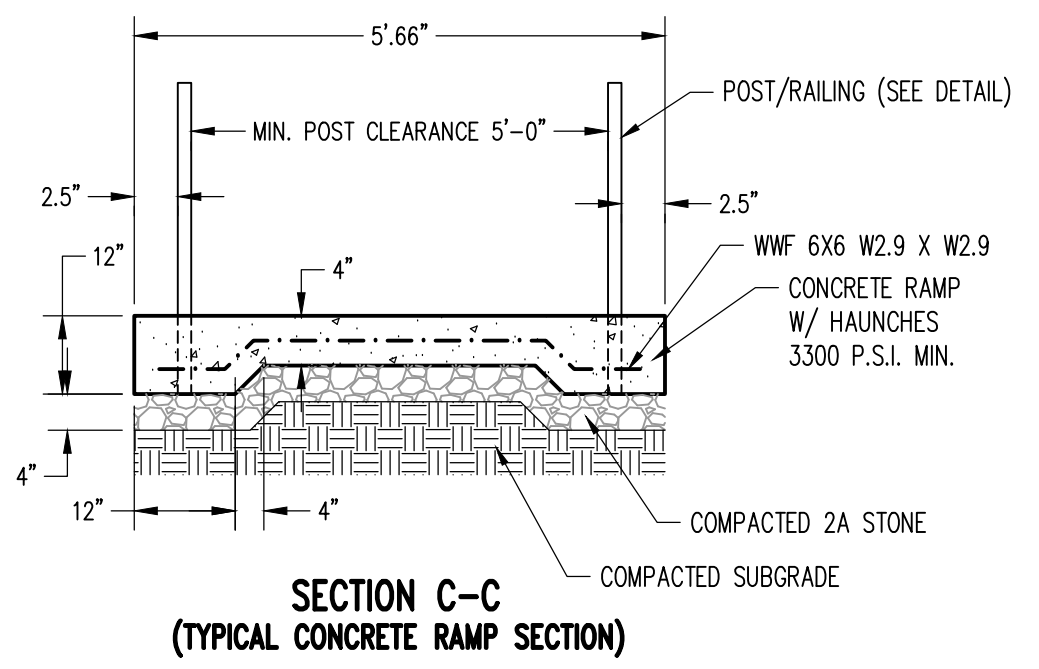
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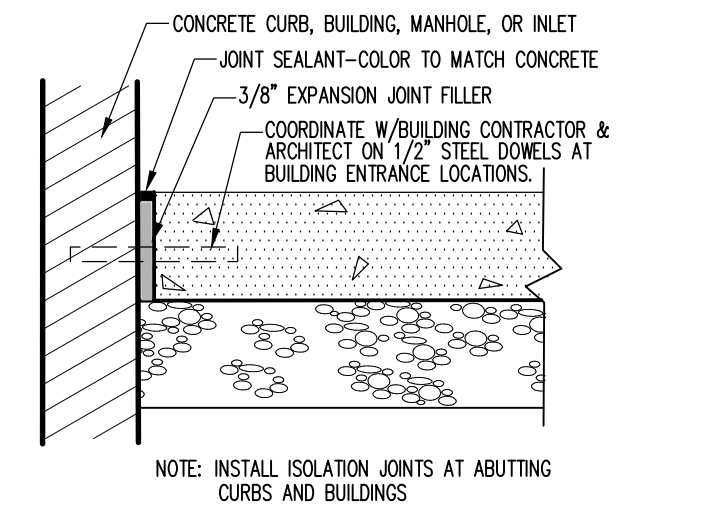
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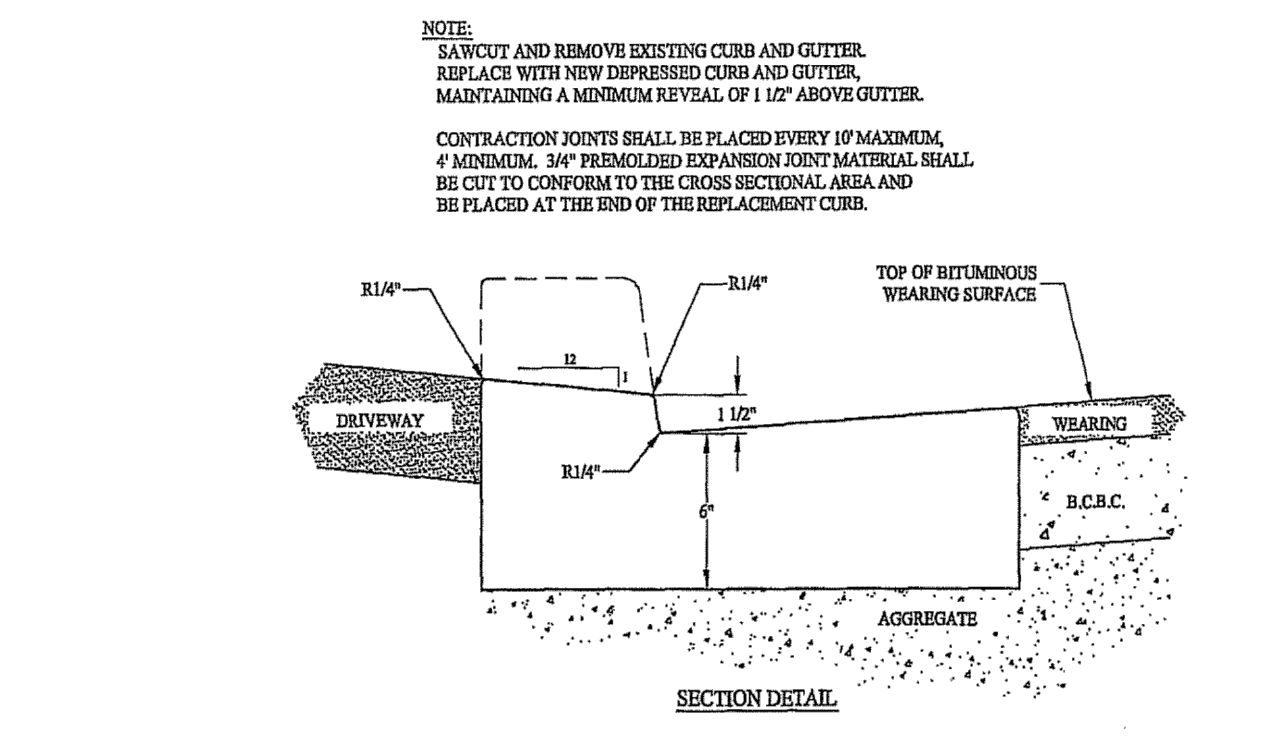
PLAN VIEW



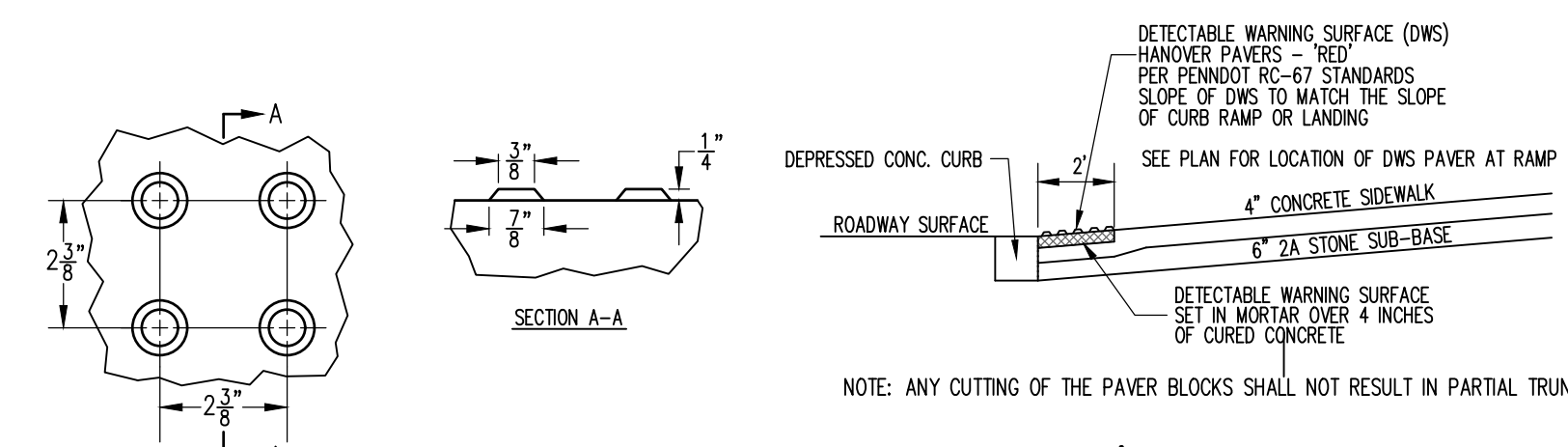
**SECTION C-C
(TYPICAL CONCRETE RAMP SECTION)**



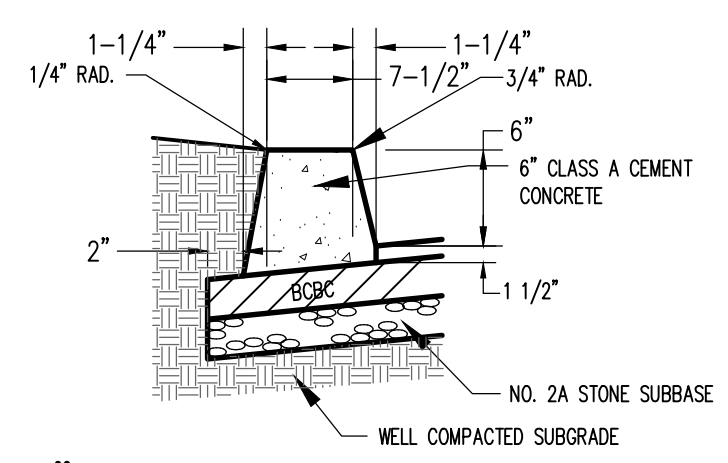
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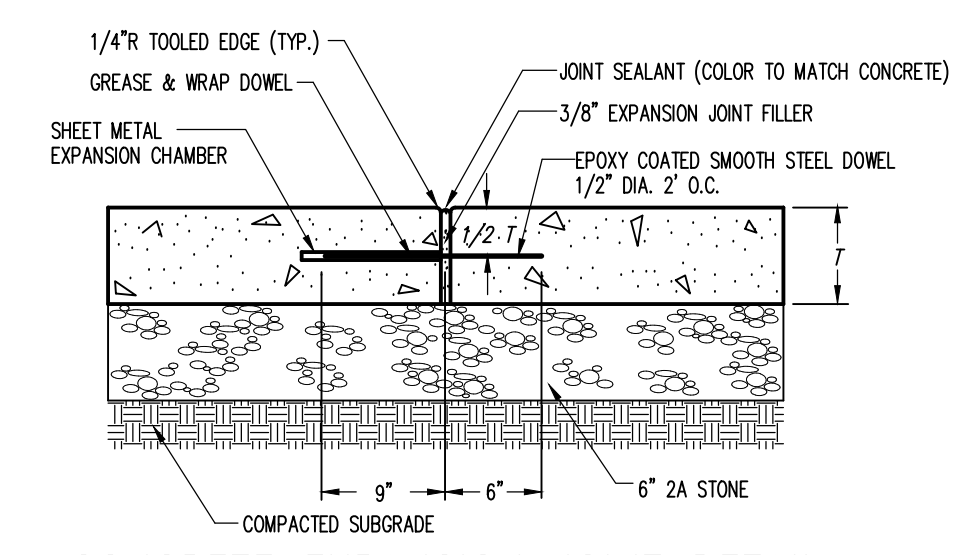
DEPRESSED STRAIGHT FACE CONCRETE CURB & GUTTER



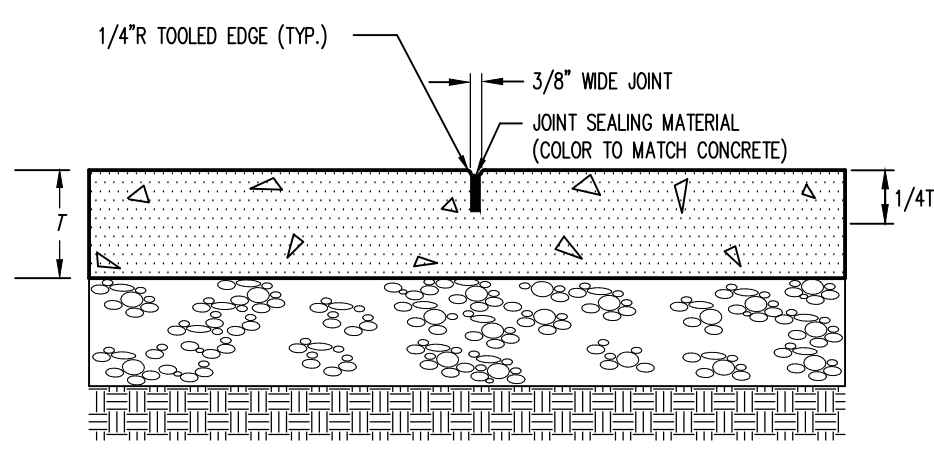
**DETECTABLE WARNING SURFACE/
RAMP CROSS SECTION**
NOT TO SCALE



6\"/>



CONCRETE EXPANSION JOINT DETAIL
NOT TO SCALE



CONCRETE CONTROL JOINT
NOT TO SCALE

PennTerra ENGINEERING INC.
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COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
JOHN C. SEPP
040003-E

Designer	MAT
Draftsman	MJA
Proj Manager	MAT
Surveyor	BRK
Perimeter Ck.	
Book	527 Pg 2
File	11 - DETAILS
Layout	DETAILS

REVISIONS	
No.	Description
4-9-19	PER TOWNSHIP COMMENTS
3-18-19	PER CLIENT COMMENTS
1-2-19	PER TOWNSHIP COMMENTS
11-30-18	PER TOWNSHIP COMMENTS
Date	Description

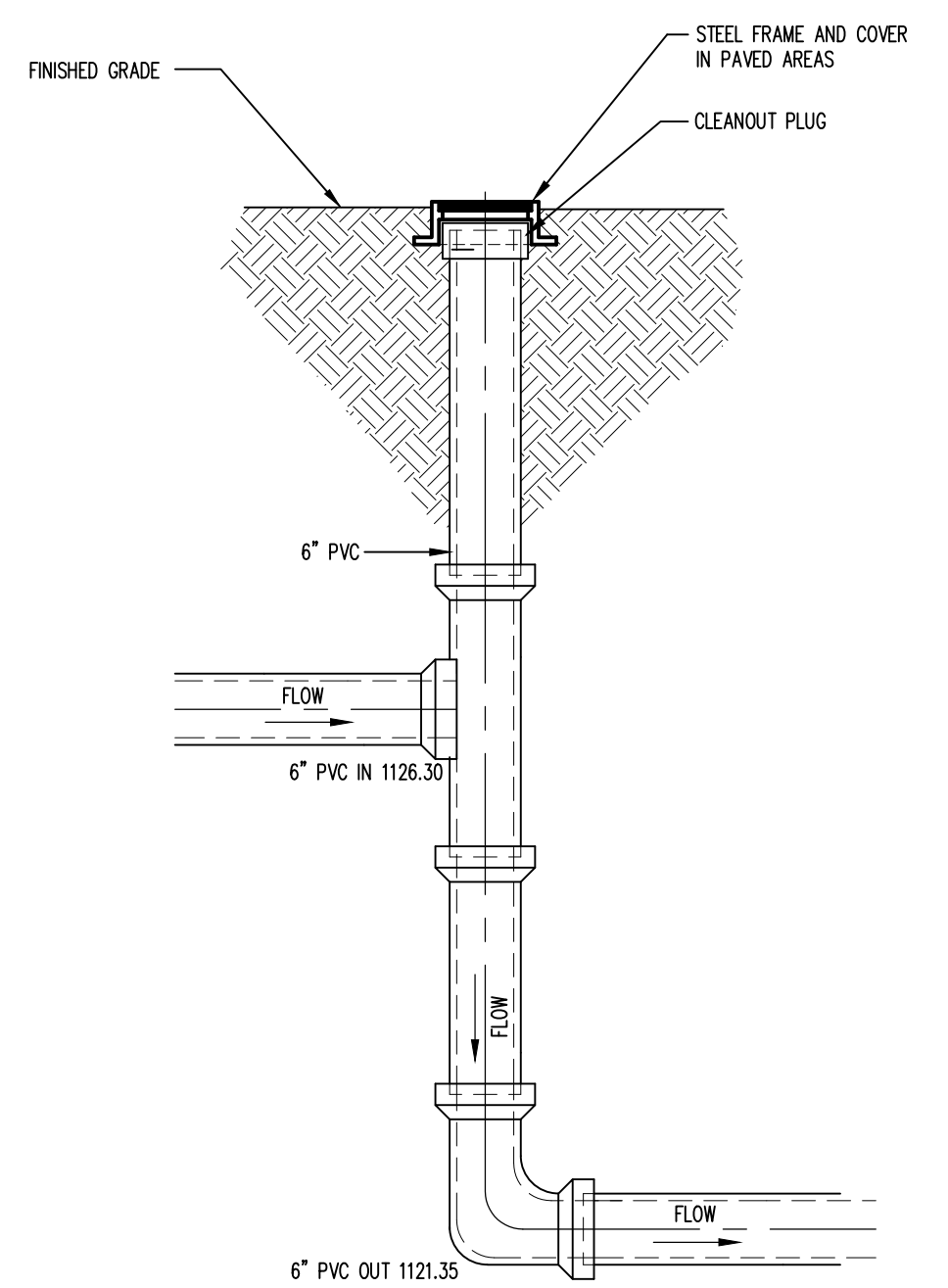
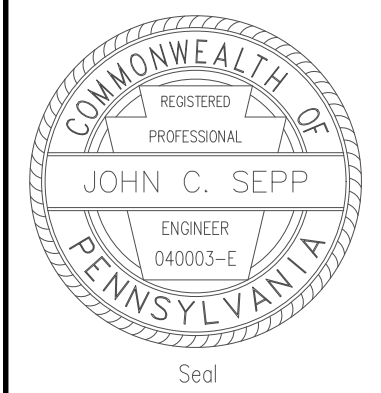
KING WEALTH STRATEGIES
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY/FINAL
LAND DEVELOPMENT
PLAN

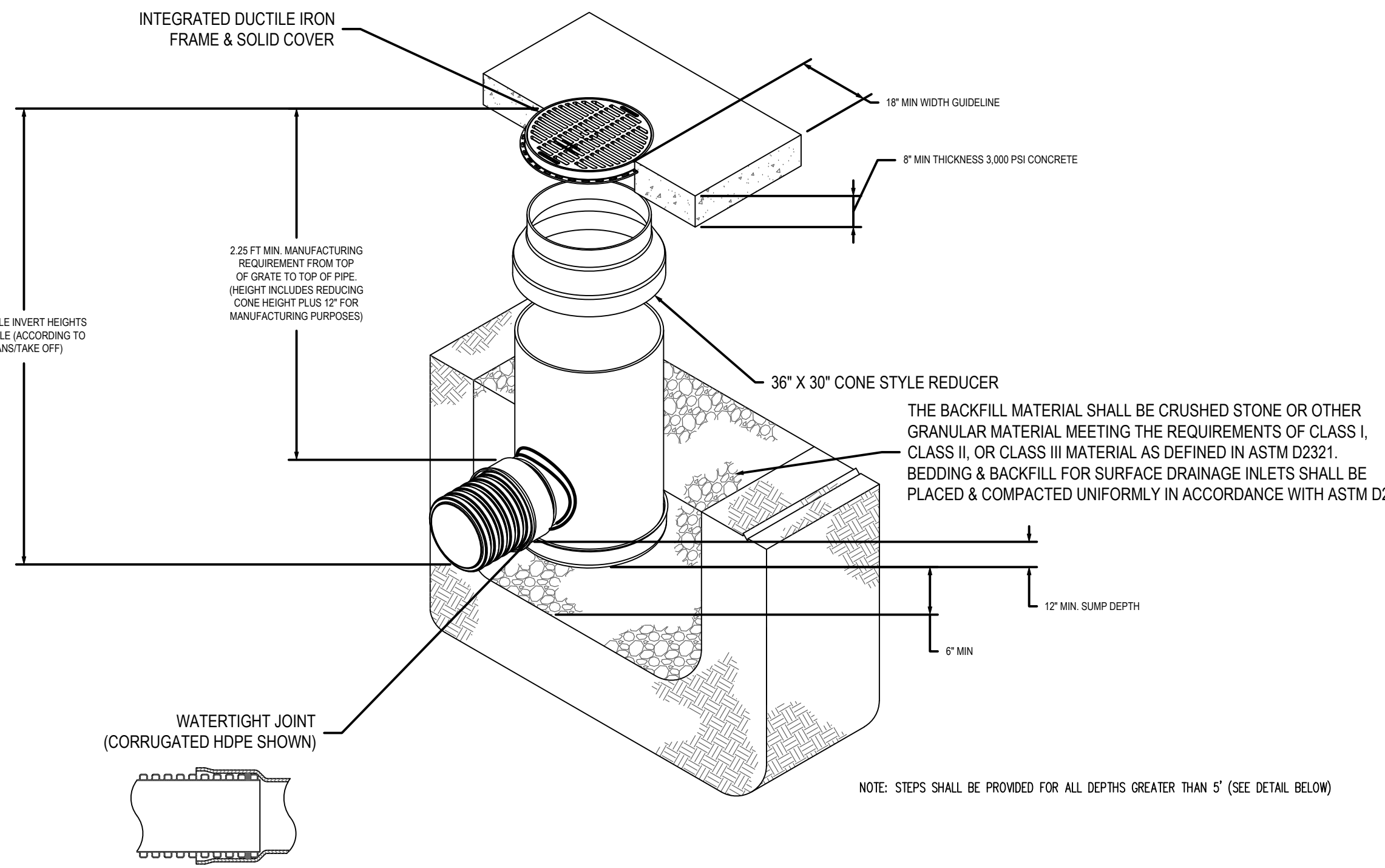
DETAILS

PROJECT NO.	17228
DATE	JUNE 26, 2018
SCALE	1"=10'
SHEET NO.	11 OF 12

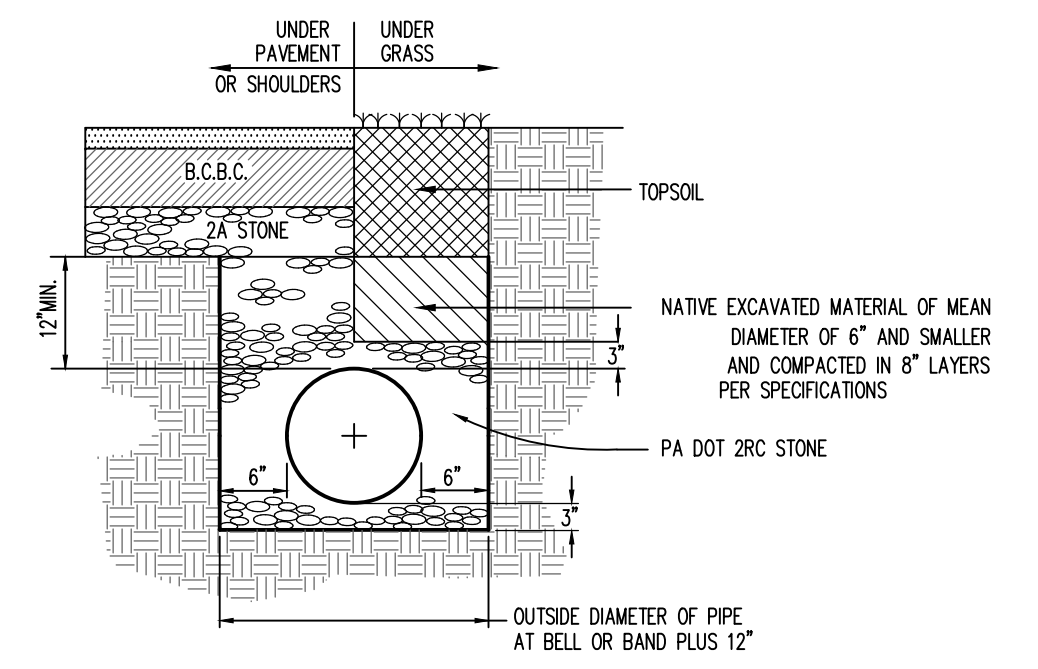
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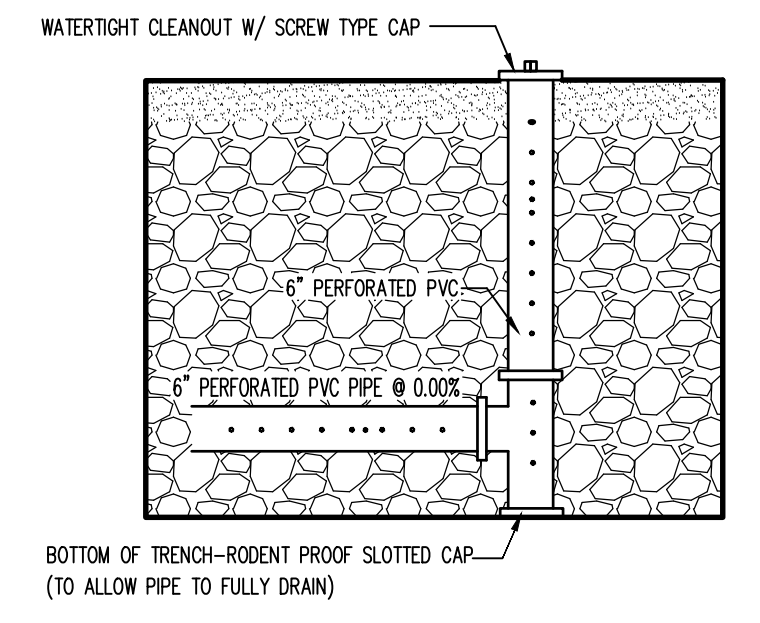
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 NOT TO SCALE



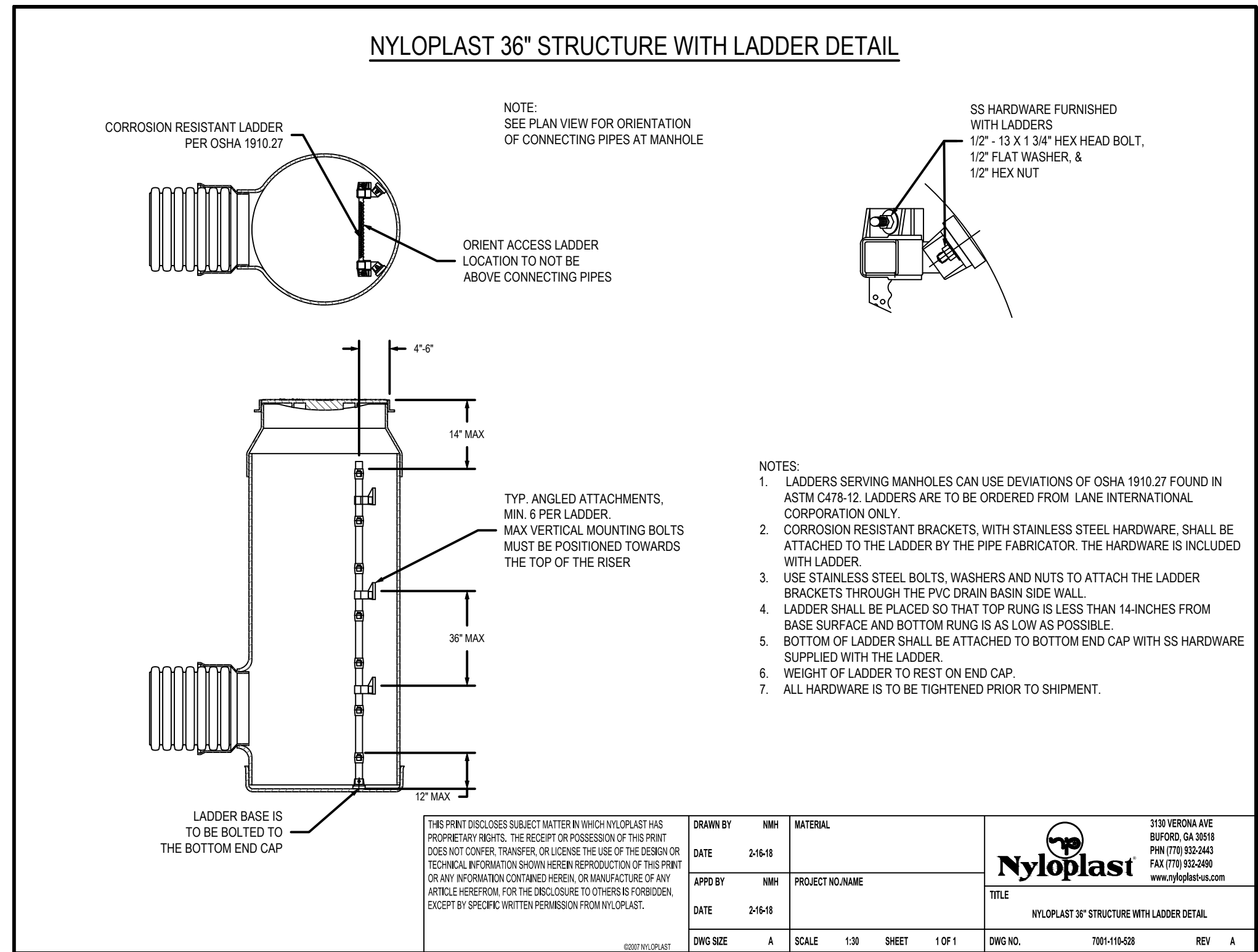
BASIN ACCESS MANHOLE
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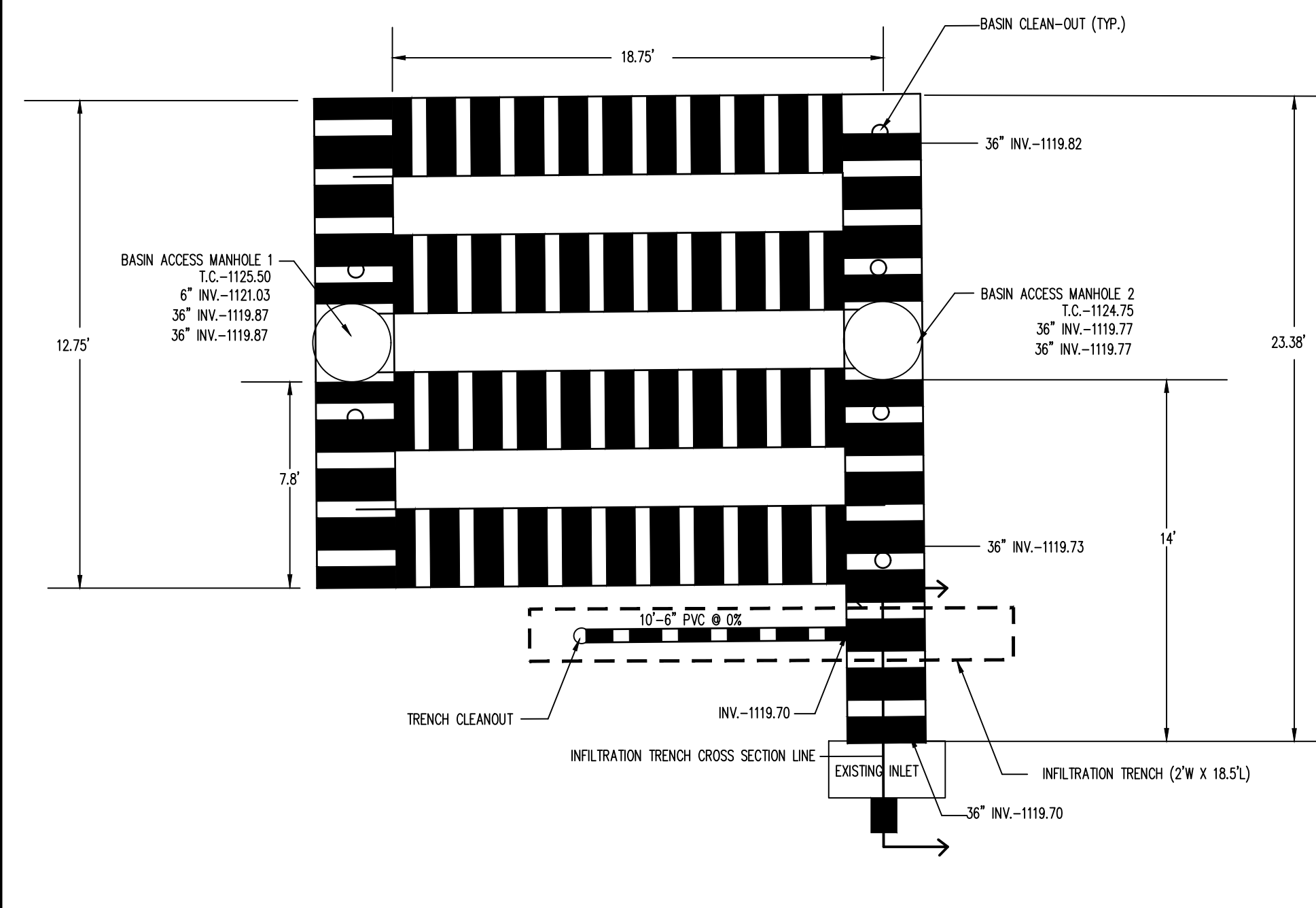
STORMSEWER INSTALLATION
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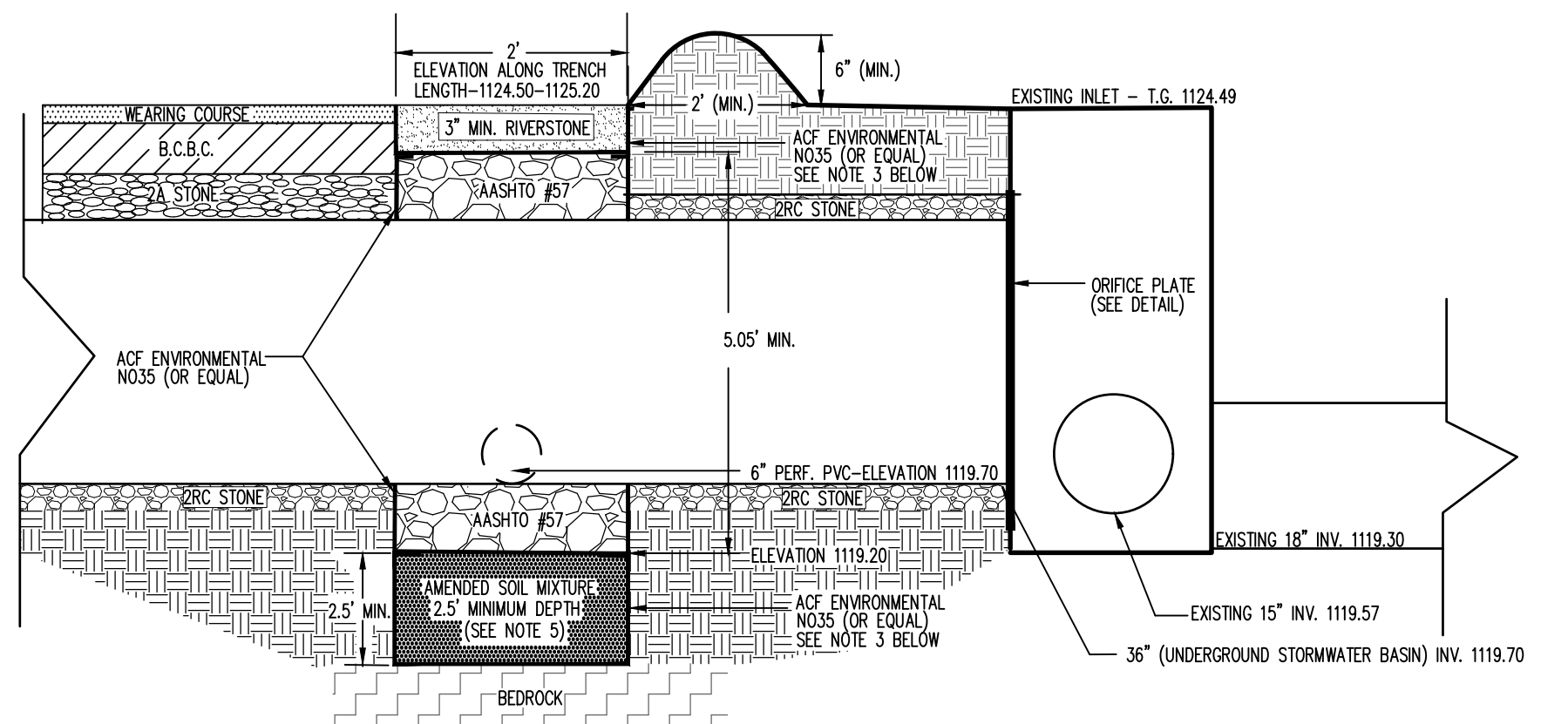
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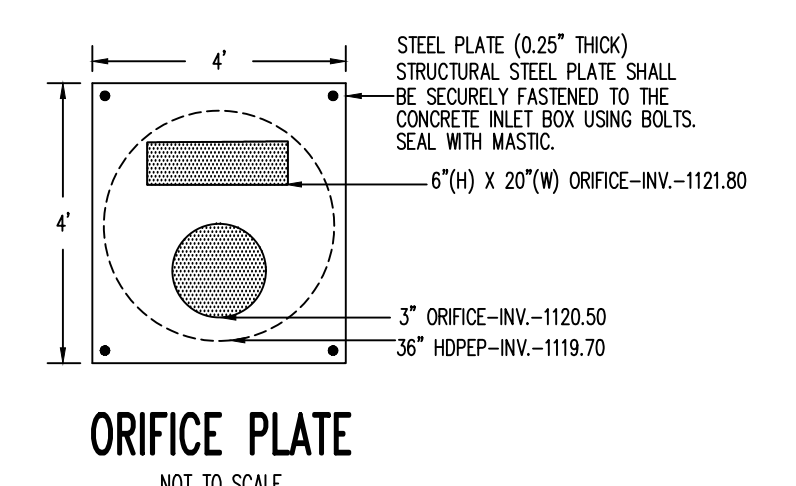
BASIN ACCESS WITH MANHOLE LADDER DETAIL
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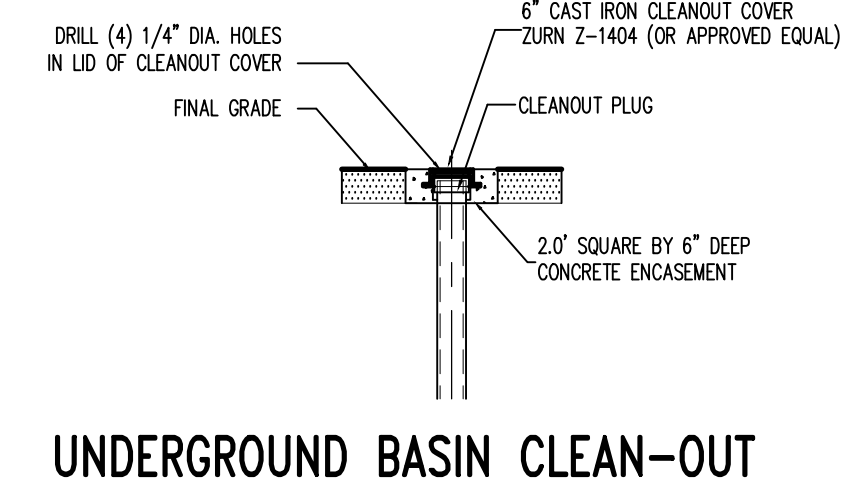
UNDERGROUND STORMWATER BASIN-PLAN VIEW
 NOT TO SCALE



INFILTRATION TRENCH CROSS SECTION
 NOT TO SCALE



ORIFICE PLATE
 NOT TO SCALE



UNDERGROUND BASIN CLEAN-OUT
 NOT TO SCALE

Designer	MAT
Draftsman	MJA
Proj/Manager	MAT
Surveyor	BRK
Perimeter Ck.	
Book	527 Pg 2
File	12 - SWM-DETAILS
Layout	DETAILS

4-3-19	PER TOWNSHIP COMMENTS
MJA	PER CLIENT COMMENTS
3-18-19	PER TOWNSHIP COMMENTS
MJA	PER CLIENT COMMENTS
1-2-19	PER TOWNSHIP COMMENTS
MJA	PER CLIENT COMMENTS
11-30-18	PER TOWNSHIP COMMENTS
MJA	PER CLIENT COMMENTS
Date	Description
	REVISIONS

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 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

STORMWATER MANAGEMENT DETAILS

PROJECT NO.	17228
DATE	JUNE 26, 2018
SCALE	1"=10'
SHEET NO.	12 of 12

§ 22-513. Public Use and Service Areas. [Ord. 374, 1/10/1989; as added by Ord. 376, 1/10/1989, § 1; as amended by Ord. 402, 9/12/1989, § 12; by Ord. 839, 11/15/2004, § 2; and by Ord. 945, 2/7/2011, §§ 1, 2; and by Ord. 990, 8/18/2014, § 6]

1. Public Spaces.

- A. In reviewing subdivision plans, the Township Planning Commission, Board of Supervisors and Township staff shall consider whether community facilities, including schools in the area, are adequate to serve the needs of the additional dwellings proposed by the subdivision, and shall make such report thereon as its deems necessary in the public interest, to the State College Area School Board.
- B. Subdividers shall give earnest consideration to the desirability of providing or reserving areas for facilities normally required in residential neighborhoods, including churches, libraries, schools and other public buildings; parks, play-grounds and playfields. Area provided or reserved for such community facilities should be adequate to provide for building sites, landscaping and off-street parking as appropriate to the use proposed. Prior to the preparation of plans, subdividers of large tracts should review minimum standards for suitability and desirability of various community facilities applicable to the tract being subdivided with the Township staff, the staff of the Centre Region Parks and Recreation Department and the Ferguson Township Planning Commission.
- C. Unity. It is desirable for the intended parkland to be in several well-placed, adequately sized areas within the Township, so that it can accommodate the anticipated uses, rather than to have numerous useless small pieces. Unless the proposed parkland is four acres or larger, or can be combined with another piece of parkland for a minimum of four acres, the Township should consider requiring fee-in-lieu of parkland. The Centre Region Parks and Recreation Department policy on acceptance of maintenance of parkland requires parks to be equal to or larger than four acres.

2. Parks and Recreational Facilities.

- A. The purpose of this section is to ensure that adequate parks and recreational facilities are provided to meet the needs of residents as these needs are generated by new subdivision and land development activity.

B. The provisions of this section shall apply to all developments with either single or multiple family dwellings.

(1) Lots established for farm use in the RA or RR Zoning Districts will not be assessed a fee for any of the one or more dwelling units that could be established on the farm lot. However, should a lot established for farm use carry further subdivision rights, any residential lots subdivided from the farm lot will be assessed the appropriate fee as a condition of approval at the time of any such subdivision.

(2) In mixed-use development and/or mixed-use structures, where a combination of residential and non-residential units is proposed, the fee-in-lieu will be applicable to all proposed residential units and shall be assessed as a condition of final plan approval.

C. The amount of parkland to be dedicated in each development shall be determined by applying the following formula to the total acreage of the development:

Total average number of people per dwelling unit (2.54 people per unit) x .024 acres per person x 65% (developable acreage)

The subdivider or developer shall place a note on each subdivision plan or land development plan which is subject to dedication of parkland that shall read as follows:

"No more than _____ [insert number] dwelling units may be constructed on the land which is the subject of this subdivision plan [land development plan] unless additional land is dedicated to the Township of Ferguson for parkland and/or the Board of Supervisors accepts an additional fee-in-lieu of dedication of parkland. The land shown on this plan as parkland, consisting of ____ acres shall be deeded to Ferguson Township by a deed of general warranty, free and clear of all liens and encumbrances. Said land shall be available for Ferguson Township use consistent with its ordinances and regulations with no restriction, except that the purpose of the conveyance shall be for public park and recreation uses."

D. The Township will officially accept the parkland at the time of final plan approval provided the land meets the criteria set forth in Subsection 2F. At such time, a general warranty deed free from all encumbrances shall be recorded for the

dedicated land and it shall contain the following restrictive clause:

"This land was dedicated to the Township of Ferguson for perpetual public park purposes pursuant to the Township of Ferguson Subdivision Ordinance."

- E. The Township or its designee shall be responsible for maintaining all dedicated and accepted areas. Formation of and cooperation with homeowners associations or similar organizations for purposes of maintenance shall be encouraged, but the responsibility of seeing that the work is done shall remain with the Township.
- F. The Board of Supervisors shall determine if the land is acceptable for dedication based on the following and any other relevant criteria:
 - (1) **Access.** The dedicated land must be readily accessible to all development residents that it is intended to serve. The dedicated land shall abut a public street and shall have a minimum frontage of 50 feet or shall adjoin and become part of an already existing park area which is accessible from a public street. If appropriate, access to the park from other parts of the neighborhood shall be provided through twenty-foot access easements with ten-foot wide paved walkways.
 - (2) **Location.** The parkland shall be located, to the extent possible, so that it equally serves all residents of the development, but in all events the land shall be accessible to those it is designated to serve. In some instances, the Township may require that the parkland be placed in a location where it may be combined with existing parkland from an adjacent development. In determining the location, reference should be made to the Township's Recreation, Parks and Open Space Plan to determine if there are proposed parkland locations in the vicinity of the site.
 - (3) **Shape.** The majority of the parkland shall have a length to width ratio of no more than 2 1/2 to one. The shape shall be suitable to accommodate those park activities appropriate to the location and needs of the residents. Yards, court areas, setbacks, and other open areas required by zoning and other regulations are not to be included as part of the acreage to be dedicated.

- (4) **Soils, Floodplain and Stormwater Facility.** Soil shall be suitable for the intended park uses. No parkland may be located on or within any drainageway, wetland area, steep slope area or stormwater detention basin, with the exception that up to 25% of the total parkland may be located within a floodplain with approval of the Board of Supervisors.
- (5) **Slope.** The majority of the park shall have a slope of no more than 4%, and the average slope of the park, as measured perpendicular to the contour lines, shall not exceed 8%.
- (6) **Size.** The minimum parcel size shall be no less than four acres.
- (7) **Utilities.**
 - (a) The major piece(s) of dedicated land are to be accessible to, but not crossed above the surface by, a public street(s), telephone, power, fuel, water and sewer lines, etc. If any of these facilities are placed underground, no part of them or their supportive equipment shall protrude above ground level within an active play area. When parkland is to be dedicated to the Township, utilities such as water, sewer, and electric shall be extended to the parkland. The location of the utility extensions shall be approved by the Township.

G. Pedestrian and Bicycle Paths. Pedestrian and bicycle paths may be accepted as parkland if they meet all the following conditions:

- (1) The minimum width of the parkland right-of-way or easement shall be 20 feet.
- (2) The pedestrian and bicycle paths shall have logical beginning and ending points that provide appropriate means of access to a park or other facilities residents of the development are likely to use.
- (3) The cost of improving the pedestrian or bicycle path shall be paid by the developer in order to accommodate its intended use. This shall not be considered as a credit towards a fee-in-lieu of land dedication.

(4) The provisions of subparagraphs (3), "Shape," and (5), "Slope" must still be met by the development.

H. The developer shall be responsible for complying with the provisions of the Ferguson Township Stormwater Management Ordinance [Chapter 26]. The stormwater management site plan submitted to the Township for the subject development must provide mechanisms to ensure effective stormwater management for the dedicated parkland property.

I. **Fee in Lieu of Dedication.**

(1) The payment of fee-in-lieu of land dedication shall be in accordance with the requirements of Article V, § 503(11) of the Pennsylvania Municipalities Planning Code (Act 247), as amended, 53 P.S. § 10503(11). The fee-in-lieu of parkland shall be used to enhance public recreation areas which will directly or indirectly benefit future inhabitants of the development or subdivision providing the fee.

(2) If it is determined that there is not land suitable for dedication, or that the subdivision is too small to allow for a suitable amount of land for dedication, or that it is not practical to dedicate land, or that there already exists an adequate amount of parkland and recreational facilities, or the location of parkland within the proposed subdivision is not consistent with the adopted Ferguson Township Recreation Parks and Open Space Plan, a fee-in-lieu shall be considered by the developer. Such determination shall be made at the preliminary plan stage. The parkland fee per person shall be established by resolution of the Board of Supervisors.

(3) After receiving the recommendation of Ferguson Township staff, the Centre Regional Planning Agency, the Ferguson Township Planning Commission, and the Centre Region Parks and Recreation Agency, the Ferguson Township Board of Supervisors may determine that a fee-in-lieu would be more beneficial to the Township residents than a land dedication for parkland. The following procedure shall be utilized to determine the appropriate fee-in-lieu:

(a) As part of the plan approval process, the Township Manager, under the direction of the Board of Supervisors, shall send written notice to the

developer that the Board has determined a fee-in-lieu would be more beneficial to the Township's residents than the dedication of parkland.

(b) Neighborhood/Community Park Fee-in-Lieu.

The fee-in-lieu payment shall be determined using the following procedure:

1) Formula for determining fee in lieu of dedication:

$$D \times 2.54 \text{ person/d.u.} \times \text{Parkland Fee/person} = \text{Parkland Fee - in - Lieu}$$

D = Number of Dwelling Units

Parkland Fee/person = Fee established by Resolution of the Board

- J. The Board of Supervisors may, at its option, and with the developer's agreement, require the dedication of some land and the payment of a fee-in-lieu of dedication for the balance. This will be determined based on existing parkland being located adjacent to the proposed subdivision or land development plan and the desire to expand the existing parkland.
- K. The Board of Supervisors may establish by resolution a fee to be paid in addition to the dedication of land to fund the costs of preparing a park master plan or to update an existing park master plan.

RECEIVED APR 03 2019

April 3, 2019

Dave Pribulka, Ferguson Township Manager
3147 Research Drive
State College, PA 16801

Re: Resignation Letter – Ferguson Township Planning & Zoning Director

Dave:

I am writing this letter to inform you that I am tendering my resignation as the Ferguson Township Planning & Zoning Director effective on Friday, May 10, 2019. I have been offered and accepted the position of Centre County Director of Planning & Community Development and will begin on May 13, 2019.

For the past 3 ½ years, I have served in this capacity and feel that I have accomplished many planning tasks that have enhanced the Ferguson Township community. This position also gave me the distinct pleasure of working with the Board of Supervisors, many officials and ABC volunteers that strengthened my knowledge of what their experience has been in dealing with growth and development while, establishing parameters to preserve farmland and environmentally sensitive areas throughout the Township. The Ferguson Township Planning staff have been integral to the delivery of planning services and I have no doubt that they will assist in the creation of a seamless transition for the new Planning & Zoning Director

Thank you for your cooperation and full support of Township-wide planning endeavors throughout your tenure as Township Manager. You have always provided timely assistance, direction and guidance with Township projects.

Sincerely,

A handwritten signature in blue ink, appearing to read "Raymond J. Stolinas, Jr.", written over a horizontal line.

Raymond J. Stolinas, Jr., AICP

RJS

cc: Angela Kalke, Human Resources Administrator



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801

Telephone: 814-238-4651 • Fax: 814-238-3454

www.twp.ferguson.pa.us

Planning & Zoning Director's Report April 22, 2019

1. On April 9, 2019, the Planning & Zoning Director, Community Planner, Zoning Administrator and Township Manager met with representatives of the State College Borough Water Authority and Gwin, Dobson & Foreman to discuss the Subdivision, Land Development and Conditional Use Applications for the proposed Nixon-Kocher Water Treatment Plant proposed on T.P.# 24-003-,007K,0000-.
2. On April 10, 2019, the Community Planner attended and moderated the Pine Grove Mills Small Area Plan Steering Committee Meeting to discuss plan goals, objectives and actions, potential options for establishing a Neighborhood Organization, and upcoming meeting milestones. The next SAP Steering Committee meeting is scheduled for Wednesday, May 1st at 6:00 p.m.
3. On April 10, 2019, the Planning & Zoning Director attended the monthly meeting of the Centre County Housing & Land Trust at College Township in addition to the Ferguson Township Neighborhood Association Open Forum in the Ferguson Township Main Meeting Room.
4. On April 15, 2019, the Planning & Zoning Director, Zoning Administrator, Community Planner, Township Engineer and Township Manager participated in a meeting with Derek Anderson, Residential Housing, LLC, Charles Suhr, Esq., Joe, Green, Esq., Nick Schaefer, Trans Associates and Michael Pratt, Keller Engineers to discuss the Pine Hall Transportation Impact Study, draft Workforce Housing Agreement and draft Terms & Conditions.
5. On April 15, 2019, the Planning & Zoning Director, Zoning Administrator, Community Planner and Township Manager met with Bill Long and Alex Sahakian of Highland Holding regarding a proposed alteration plan at T.P. #24-002A,056-,0000- and #24-002A,057-,0000- on West College Ave. as a proposed restaurant, brewpub and hotel.
6. On April 17, 2019, the Planning & Zoning Director attended the CBICC ABC Essentials: "Embracing All Perspectives" (presented by Doug Shontz & Kevin Kassab).
7. On April 18, 2019, the Planning & Zoning Director attended a staff meeting to discuss the Township properties at T.P. #24-007-,044B,0000- and #24-007-,044-,0000- for the potential consideration of the Board of Supervisors to transfer/sell to the PA Department of Conservation and Natural Resources into the Rothrock State Forest.

Upcoming Board of Supervisors Agenda Items (5/6/19):

- TBD

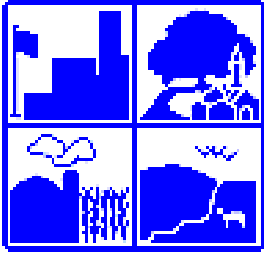
Recent BOS Actions Summary (4/15/19 Regular Meeting):

- Input from several citizens regarding permitted uses and land development of the Islamic Society on West College Avenue.
- Special Reports – UAJA
- Review of the Suburban Park Master Plan
- Intergovernmental Solar PPA Committee Appointee
- 2019 Watershed Cleanup Day Proclamation
- Resolution – Disposition of Public Records

- Letter of support for ClearWater Conservancy's pursuit of a Commonwealth Finance Authority grant to acquire a conservation easement on Windy Hill Farm
- Centre Region Refuse and Recycling Contract
- Pine Grove Mills Farmers Market Request for Support
- Acceptance of Mr. Buckland's Resignation from the Board of Supervisors

Upcoming Zoning Hearing Board Agenda (4/23/19):

- No Scheduled Hearing



TOWNSHIP OF FERGUSON

3147 Research Drive, State College, Pennsylvania 16801
Telephone: 814-238-4651 Fax: 814-238-3454

TO: Ferguson Township Planning Commission

FROM: Lindsay K. Schoch, Community Planner
Raymond J. Stolinas, AICP, Planning & Zoning Director

DATE: April 17, 2019

SUBJECT: Active Plans in the Township

In an effort to keep the Planning Commission and Board of Supervisors up-to-date on pending proposals and applications, staff is providing a list of Active Plans and other Projects in the Township.

Currently, the Township has four (4) Active Plans and (1) Proposed Concept Plan.

Hummel Subdivision/Subdivision of Tax Parcel 24-7-14E: Penn Terra Engineering, Inc. on behalf of the owner, Martha S. Hummel submitted a plan to subdivide tax parcel 24-007-,014E into three (3) lots. Proposed Lot 1 being 52,613 square feet (1.208 acres); proposed Lot 2 being 63,069 square feet (1.448 acres); and proposed Lot 3 being the remaining 51,451 square feet (1.181 acres). This plan was formally withdrawn in May of 2018 and is now resubmitted under new ownership. Plan is currently being reviewed by staff, comments are due back on April 4. Plan Expiration is June 18, 2019. Additionally, Lot #1 and #2 will be served by individual lateral or main UAJA connections off of S.R. 45 and the remaining Lot #3 will retain on-lot septic. The Ferguson Township SEO checked the existing system and designated a reserve system location for the existing on-lot facility. A Sewage Facilities Planning Module will need to be executed by the Ferguson Township Planning Commission Chairperson and Zoning Administrator. The Planning Commission had an opportunity to review and comment upon the initial submission of this plan at the April 8 meeting. Their major concerns were the requirement for a fee-in-lieu of parkland and the process of the plan being resubmitted after it was withdrawn in 2018. Staff has included the PC comments into the plan review comment letter and sent to the Engineer. Plan Expiration is June 18, 2019.

Harner Farm Proposed Concept Plan: The Planning Commission held a Pre-Application Conference with Aspen Whitehall Partners, LLC, Aspen Route 26 Partners, LLC, Penn Terra Engineers, and representatives from Sheetz on Tuesday, December 4, 2018. The proposal is for approximately 27 acres encompassing the southeastern portion of the Harner Farm. The developer is proposing a 6,077 square foot Sheetz convenience store, a multi-use building with retail on the first floor and apartments on the second floor, and a 36-lot residential subdivision. The Planning Commission had the opportunity to make comments and ask questions but did not have major concerns about the project as it is proposed in the Concept Plan. A Traffic Scoping Meeting was held on December 19, 2018 at which time the Township Engineer, Consulting Traffic Engineer and Community Planner met with PennDOT, PennTerra, Wooster Engineers, and Aspen Route 26 Partners to discuss the scoping application. The Scoping Application has been amended and resubmitted for signatures. The Scoping Application must be approved and signed prior to the Traffic Impact Study being conducted. The Concept Plan was presented to the Board of Supervisors on January 21, 2019, at which time the Board was able to give comments and feedback on the proposed Plan. The Planning and Zoning Director prepared a letter to Justin Mandel, giving an overview of the input from both the Planning Commission and the Board of Supervisors. Staff met with Penn Terra and

representatives from Sheetz on January 30 to discuss the proposed Plans and ordinance requirements. Staff met with McCormick Taylor, PennDOT, PennTerra, Wooster Engineers, and Aspen Route 26 Partners to discuss the modifications to the traffic scoping application. A Concept Master Plan was also discussed and will be considered for planning purposes at this time. The scoping application is currently being circulated for signatures. Staff anticipates the subdivision plan and land development plan be submitted in April. ***A Land Use questionnaire for the NPDES Permit was submitted, staff responded and answered questions related to consistency with the zoning regulations, date of Comprehensive Plan adoption and other pending planning and zoning requirements.***

King Wealth Strategies Land Development Plan: This Plan, submitted on June 26, 2018 by Penn Terra Engineering, Inc. on behalf of the owners/applicants, Laura and Thomas King, is proposing a conversion of the existing residential rental property located at 222 Blue Course Drive to their financial planning business office. Tax Parcel 24-12-12 contains .369 acres and is zoned General Commercial and lies within the Corridor Overlay. The existing building is 2,800 square feet with 1,400 on both the first floor and the basement. Prior to the submission of the plan, five (5) variances were approved by the Zoning Hearing Board. They are as follows: Reduction of the required parking spaces by 2 spaces; Reduction of the 50' front parking setback by 34'; Reduction of the 15' flexible buffer yard by 7.5'; Reduction of the 75' required minimum distance between driveway entrances by 15'; and Reduction of the 18' required parking stall length by 2'. The Planning Commission made its initial review and comment on the Plan at its July 9, 2018 meeting. The applicant is requesting a variance and two appeals. The Variance (granted) for relief from Section 27-206, Yard Requirements and the Appeals (***withdrawn***) for the interpretation of Section 27-206 and Chapter 26, Stormwater. The Plan was resubmitted to staff for review along with a request for consideration of a modification from Chapter 22, Subdivision and Land Development. The request for modification is relief from Chapter 22, Part 5, Section 22-510.2.C Grading, which states: "in all cases, the bottom of the excavations or fills shall be a minimum of five feet from the property line of developed lots. The Applicant ***officially withdrew*** the modification request and is working on changes to the site plans to meet the requirements of the ordinance. ***Plans have been placed on the April 22 Planning Commission Agenda for recommendation to the Board of Supervisors. Plan Expiration July 8, 2019.***

Pine Hall Traditional Town Development General Master Plan: On February 21, 2018 Residential Housing Development, LLC submitted a General Master Plan for the Pine Hall TTD. A Master Plan currently exists for Pine Hall, but Residential Housing Development, LLC has a different vision, therefore is proposing a new General Master Plan. The Plan was at a stay until decisions were made from both the Zoning Hearing Board concerning the validity challenge and the Court of Common Pleas concerning the procedural challenge—both decisions have been denied and since, appealed by Circleville Partners. Staff submitted initial plan comments to the developer on Friday, March 30, 2018. The Board of Supervisors reviewed the Plan and made initial comments at its April 16, 2018 meeting and the Planning Commission reviewed and made initial comments at its April 23, 2018 meeting. Staff met with the Pine Hall Development Team to discuss initial comments. A Joint Public Work Session with the Board of Supervisors and Planning Commission was held on June 5, 2018. The Pine Hall Design Team submitted a summary of the meeting to staff. Trans Associates submitted the Traffic Impact Study to staff on Monday, July 30, 2018 for review. The General Master Plan was formally submitted to staff for review on August 1, 2018, which started the 90-day review period for the Board of Supervisors to consider approval of the Plan. The Planning Commission reviewed the proposed plan on Monday, August 27, 2018 and had minimal comments and some public comment. Staff has prepared a schedule to move the Plan forward. The traffic study is under review, terms and conditions and agreements are being prepared in preparation for a Public Hearing. Circleville Partners appealed the decision of the Zoning Hearing Board (to the Court of Common Pleas) and the Court of Common Pleas decision (to the Commonwealth Court). Plan review comments were submitted to the developer on September 19, 2018. Staff had a meeting with the Design Team on October 2, 2018 to discuss the various agreements, terms and conditions, and other items. On October 30, 2018, the plan was resubmitted to staff, reviewed, and

comment letter was sent to the developer and their team on November 14, 2018. The traffic impact study is still in discussions and the developer's transportation engineer is reviewing township comments. Traffic Impact Study is still undergoing review. At this time, the majority of the comments are addressed. The proposed Terms and Conditions are being reviewed internally by staff. The developer reviewed and made comments on the proposed workforce housing agreement; staff is currently considering their comments. Plan Expiration is April 8, 2019. Terms and Conditions are now in the hands of the developer. Staff conducted a meeting to discuss the Draft Workforce Housing Agreement on Friday, March 29. **A time extension was submitted. Staff met with the Developer on Monday, April 15 and discussed the Traffic Impact Study, Terms and Conditions and Workforce Housing. A tentative schedule to move the Plan forward was discussed. Plan Expiration is July 8, 2019.**

Ferguson Township Public Works Building Land Development Plan: Keller Engineers, Inc. submitted plans, on behalf of the Ferguson Township Public Works Department, on February 7, 2019. The new facility will encompass approximately 13,000 ft.² that will house offices, vehicle repair bays and vehicle fueling island with canopy. Also included with the proposed plans are paved parking and truck court, sidewalks, an employee patio and landscaping. New utility connections and stormwater management facilities will also be furnished with the new building. Access will be from the upper existing driveway off Research Drive. Stormwater will be handled through several existing swales and detention basins that will be enhanced by meadow and additional landscaping. The Planning Commission had the opportunity to review the Plan and have their questions answered by the Public Works Director. Planning Commission comments will be incorporated into the Plan Review Comment Letter and once all plan comments are received, they will be sent to Keller Engineers. Plan Review Comments have been sent to Keller Engineers, Inc. for their review and response. Keller Engineers, the Public Works Director and the Planning & Zoning Director presented the proposed plan and outstanding items to the Board of Supervisors on Monday, April 1. **Plan Expiration is May 8, 2019. No Update.**

FERGUSON TOWNSHIP PLANNING COMMISSION
REGULAR MEETING AGENDA
Monday, April 8, 2019
6:00 PM

I. ATTENDANCE

The Planning Commission held its 1st regular meeting of the month on Monday, April 8, 2019, at the Ferguson Township Municipal Building. In attendance were:

Commission:

Lisa Strickland, Chairperson
Bill Keough, Vice Chairperson
Rob Crassweller, Secretary
Ralph Wheland
Erik Scott
Jeremie Thompson
Shannon Holliday, Alternate
Jerry Binney, absent

Staff:

Ray Stolinis, Director of Zoning & Planning
Lindsay Schoch, Community Planner
Jeff Ressler, Zoning Administrator

Others in attendance: Faith Norris, Recording Secretary; Chad Stafford-Penn Terra Engineering; Asil Al Rawahi, Layali Al Horeem, Jason A. Thompson.

II. CALL TO ORDER

Ms. Strickland called the meeting to order at 6:03 p.m.

III. CITIZENS INPUT – None.

IV. HUMMEL SUBDIVISION PLAN

Mr. Stolinis reviewed the proposed plan in detail as provided with the visual presentation. Proposed Lots #1 and #2 will access the proposed UAJA sewer laterals off of S.R. 45 and the remaining Lot #3 will continue to be serviced by an existing tested in-ground septic system. Proposed use is residential. Ownership and parks within walking distance were discussed.

Mr. Keough requested clarification on whether the subdivision applicant is responsible for fee-in-lieu for parkland. Ms. Schoch responded that they would be responsible, unless a waiver was requested through the Board of Township Supervisors. Discussion followed on fee-in-lieu waiver clarification and modification requests that were received in April 2018 for Ch. 22-Public Use and Service Area. Mr. Stolinis noted that there is no residual land except for the site with the septic system for any consideration of parkland. The developer would need to request the waiver. Mr. Keough inquired as to what triggers the fee-in-lieu assessment. Ms. Schoch responded with what is in the ordinance for all developments that involve single or multi-family dwellings. The exception are farm lots in the Rural Agricultural and Rural Residential zoning districts that are not assessed a fee. A detailed discussion followed.

Mr. Stafford asked for the cost of the fee-in-lieu. Ms. Schoch noted it would depend on the number of dwelling units on the lot and gave further details. Discussion followed on the waiver that was previously requested by Mr. Stafford's client. Mr. Stafford asked if the residual lot was included with the cost. Ms. Schoch stated she will look into it to clarify the inclusion of the Lot #3. He further discussed the history of the property's ownership and the lots' development. Discussion followed on the potential dwelling units, lot lines and access. Mr. Stafford noted he would like to make the same waiver request on behalf of the client to the Ferguson Board of Supervisors.

It was clarified that this meeting is the initial review of the plan and we are starting over from what was submitted three years ago.

Following discussion, Mr. Stolinas asked for a vote on the Sewage Facilities Planning Module that will need approval prior to being approved by the Board of Supervisors.

Mr. Keough moved that the Planning commission **authorize** the Planning Commission Chairperson and Zoning Administrator sign “Part J. Planning Agency Review” of the Sewage Facilities Planning Module of the Hummel Subdivision. Mr. Wheland seconded the motion. The motion passed unanimously.

Discussion followed on the reasoning behind the initial withdrawal of the plan, the process, SALDO, cost and lot restrictions. A request was made to place fee-in-lieu on the agenda for the next meeting and details referenced. Comments are due by Friday.

V. CONSENT AGENDA – None.

VI. PLANNING DIRECTOR REPORT

Mr. Stolinas answered questions from the report provided.

Item #6 – Rt 45. Clarification was made for Mr. Wheland on details of the purchase inquiry of the Fleck subdivision and lot configurations of the 26 acres that centered on access. He noted the discussion revolved around what can be done today vs. after the SALDO in response to Mr. Keough’s question.

Item #14. Update on meeting with PA Bureau of Forestry and the Friends of Rothrock State Forest. A DCNR C2P2 Grant Application will be submitted for the first phase of the Musser Gap Trail System. Details followed on expansion of over 7 miles of new trail and cost including in-kind donation.

Item #18. Update on meeting regarding “Equestrian Uses” (EU) with Tony Warren. Review of property, facility and progress with the uses in the table noted as permitted if 50 acres or over. However, similar to Mr. Warren’s EU example of 18 acres, 10 acres and over can be applied as a conditional use in the proposed ordinance. Review of process for Board of Supervisors approval followed that Mr. Stolinas noted mainly for stormwater.

Item #17 - Foxpointe update. Mr. Stolinas reviewed the meeting he had with Paradigm Properties and Tyler Bennington representing the HOA. Paradigm Properties are attempting to incorporate all of the parcels and determine what properties are outside of the Foxpointe subdivision to establish HOA properties. A detail discussion followed.

VII. ACTIVE PLANS UPDATE

Ms. Schoch updated the Commission on the Hummel Subdivision escrow fees; the land development for Sheetz - Harner Farm subdivision is expected in the next few weeks and the traffic study is underway. Mr. Keough inquired about the details of the traffic study results/impact and if it will be reviewed at the same time as the land development plan submission. Ms. Schoch and Mr. Stolinas responded with details on the study that is looking at the scope of the entire property and its parameters for the first phase. Mr. Stolinas noted the developer is two years out for the development proposal on the other side of Whitehall Road.

Ms. Schoch continued the update with King Wealth Strategies as provided with the report. A recommendation is forthcoming at the next meeting.

Pine Hall conditions were submitted to the developer and a meeting is scheduled for next week to discuss the terms and conditions. Mr. Keough discussed appeals in detail with Mr. Stolinas. Mr. Scott updated the PC members on a discussion he had with the developer regarding the action sports parks that are being proposed and their features. Mr. Scott clarified there are two proposed parks and noted locations (Highpoint Park and Pine Hall Town Center) for the skate park and mountain bike trail.

Update on Ferguson Township Public Works Building and LDP. Awaiting resubmission of plans from the engineering firm to the Township. Some discussion on stormwater. A cost discussion followed.

Mr. Scott did an update on Songbird Sanctuary from the Ferguson Parks & Recreation Committee Meeting held today. Discussion at the Parks meeting was on tree plantings, bike trails, keep the park as passive as possible, drainage, parking and a sidewalk for access and proposed route. Discussion on the perimeter of the bike trail and concern to keep the trails to a minimum.

Ms. Strickland inquired about sign/billboard permissions for Harner Farms. Mr. Stolinas stated staff is looking into the concern for the sign that is bigger than what the ordinance permits.

VIII. CENTRE REGION PLANNING COMMISSION REPORT

Mr. Thompson attended the April 1st Joint TLU Committee and CRPC Meeting. Highlighted topics: lighting/illumination in Harris Township - details on backlit gas station canopies; CHIP program – removal of the nutrient management plan with UAJA that eliminates double work; State of the Housing Report – being replaced with a project that addresses opportunities for workforce and residential housing in our region this year; 2018 CRPC Annual Report – available online – noteworthy is that Ferguson Township ranks 2nd in growth in population between 2010 – 2017 – other projects noted in the report. The next CRPC joint meeting with the Planning Commission will be on May 2nd at the new start time of 7:00 p.m. The next joint meeting with TLU Committee will be in the fall.

Mr. Thompson referred to Marcella Bell at CRPA for anyone requesting hard copies of the 2018 CRPC Annual Report.

IX. ZONING/SALDO UPDATE

Mr. Stolinas reported on the worksession with the Board of Supervisors regarding map changes, non-commercial keeping of livestock, built-in incentives for the ordinance for green infrastructure; and QuickViews changes – in process for refinement. Discussion followed on lot size for keeping of livestock. Mr. Stolinas reviewed a tentative agenda for the April 22nd PC meeting with EPD revised comments, WRRP pre-application meeting for Centre Parks & Rec, and King Wealth Strategies.

Mr. Keough noted from today's Park meeting of a joint meeting for April 22nd between the Parks Committee and Planning Commission regarding parkland. Mr. Stolinas noted that the Planning Commission would resume following the joint meeting.

Further discussion followed on QuickViews and keeping of livestock for accessory uses/primary uses, compatibility, adding Office Commercial District, lot correction and how to approach minor

subdivision process. Mr. Keough noted his concern for cost for the minor subdivision process and gave examples.

Ms. Strickland noted her concerns on QuickViews regarding clarification of non-commercial keeping of livestock that is an accessory use permitted in categories 1, 2 and 4 and noted acreage.

X. PINE GROVE MILLS – SMALL AREA PLAN

Mr. Stolinias stated a Steering Committee Meeting will be held this Wednesday evening (April 10th). Ms. Schoch will be attending in Mr. Stolinias's place due to an HOA meeting he will be attending at the same time. Mr. May is coordinating a person on each themed objective. Ms. Strickland noted that Mr. May had sent out information for review prior to the meeting.

XI. APPROVAL OF REGULAR MEETING MINUTES: MARCH 11, 2019

Mr. Thompson noted a correction on page 4, under CRPC report: April meeting was on Monday the 1st; Mr. Wheland noted a change on page 3 in reference to a question that he did not ask.

A motion was made by Mr. Wheland and seconded by Mr. Thompson to approve the regular meeting minutes with corrections. The motion was passed unanimously.

XII. ADJOURNMENT

There being no other business for the Planning Commission, Ms. Strickland adjourned the meeting at 7:30 p.m.

Respectfully Submitted,

Rob Crassweller, Secretary
For the Planning Commission

FERGUSON TOWNSHIP PLANNING COMMISSION
REGULAR MEETING MINUTES
Monday, March 11, 2019
6:00 PM

I. ATTENDANCE

The Planning Commission held its 1st regular meeting of the month on Monday, March 11, 2019, at the Ferguson Township Municipal Building. In attendance were:

Commission:

Lisa Strickland, Chairperson
Bill Keough, Vice Chairperson
Ralph Wheland
Erik Scott
Jeremie Thompson
Jerry Binney
Shannon Holliday, Alternate
Rob Crassweller, Secretary, absent

Staff:

Ray Stolinas, Director of Zoning & Planning
Lindsay Schoch, Community Planner
Jeff Ressler, Zoning Administrator

Others in attendance were: Alainea Miller, Recording Secretary; Kevin Abbey, Land Conservation Manager and Suzy Yetter, Conservation Projects Coordinator, Scotia Young Forest Initiative - Clearwater Conservancy; Noah Tabacchi, Scotia Young Forest Initiative; Diane Albright; and Linda Esposito.

II. CALL TO ORDER

Ms. Strickland called the meeting to order at 6:00 p.m.

III. CITIZEN INPUT

None

IV. SCOTIA YOUNG FOREST INITIATIVE - CLEARWATER CONSERVANCY

As a result of the presentation given at the February 4, 2019, Ferguson Township Board of Supervisors meeting, it was suggested that the Scotia Young Forest Initiative be presented at a future Planning Commission meeting. Kevin Abbey introduced himself as the Clearwater Conservancy Land Conservation Manager, and Suzy Yetter, the Clearwater Conservancy Conservation Projects Coordinator. Both provided a handout and sideshow presentation on the National Fish and Wild Life Foundation funded project (land areas around or in the Scotia Barrens). Mr. Abbey and Ms. Yetter explained the history and importance of the Scotia Barrens, discussed building a management plan that fits your personal goals for your land, described actions that create and sustain young forest wildlife habitat, and other opportunities for making the most out of natural spots.

After the presentation, they identified on a map and answered questions related to the background of the Braver Branch Gorge area and Natural Heritage Site. The Beaver Branch Gorge was identified as a Natural Heritage site in the 2002 Centre County Natural Heritage Inventory. The discussion concluded with the Ferguson Township Planning Commission giving feedback to assist them in the projects planning stages.

V. FERGUSON TOWNSHIP ZONING AND SUBDIVISION AND LAND DEVELOPMENT ORDINANCE REVISIONS

Carolyn Yagle, Environmental Planning and Design attended several previous meetings to discuss facets of both the zoning and subdivision ordinance revisions. Ms. Yagle provided the Planning Commission with revisions to the QuickView charts and tables. Mr. Stolinas presented the new QuickViews; however, input was given to assist Ms. Yagle with the lot setbacks, minimum and maximum lot sizes, and appropriate accessory uses.

Mr. Stolinas presented the new area and bulk categories of use in the Rural Agriculture table:

- 1) Agriculture and Conservation Activities
- 2) Non-residential Uses
- 3) Dwellings: Single-family Detached on 50 acres as a primary use, single-family semi-detached, two-family dwellings, seasonal dwellings and small personal care homes.
- 4) Utility and Communication Facilities

Mr. Stolinas discussed the graphics on the QuickViews including the rows showing each designated lot size, building set back size with front, side, and rear for the various area and bulk categories. The categories differ depending upon lot size. Thursday evening March 14, 2019, the Board of Supervisors, the consultant and Planning & Zoning staff are meeting to review the information and set an ordinance adoption schedule. Mr. Stolinas invited the Planning Commission to give feedback on the revised QuickViews.

Mr. Keough inquired whether a home owner in the R1 district could rent out a home. Also, Mr. Wheland pointed out short term rental is listed; however, there is no indicated length for the time to rent. Mr. Ressler indicated the zoning ordinance does not distinguish between rentals and owner occupied.

Mr. Keough asked what the difference is between R-1B, Suburban Single-Family Residential, compared to R1, Single-Family Residential. Mr. Ressler reported the lot size in R-1B is larger. Mr. Ressler felt the lot sizes are correct which would not affect the non-confirming lot sizes. Mr. Stolinas discussed that increasing the impervious coverage would increase the need of the larger stormwater facilities.

Mr. Keough felt that the Industrial District should include a Research and Development component. Mr. Stolinas reported the Industrial Zoning District Purpose statement was orientated toward heavy industrial equipment with manufacturing and production type uses. Research can be found within the IRD in Mr. Stolinas' observations.

Under General Commercial, Principle Uses, the second column includes the Portable Well Water Pump Stations (Conditional Use). Mr. Keough asked if this is allowed with well head protection. A suggestion is to remove the word "Well" to clarify it is a Pump Station with no "Well" attached.

Mr. Keough suggested that in the R4 Multi-Family Residential District, there could be an Accessory Use listed as a "Commissary" within apartment building supplying everyday convenience items. He further explained this could be a convenience for residents in long-term senior living as well. Mr. Thompson felt that similar items offered at a coffee stand or bar could be useful in a building. Mr. Scott's point of view was that a small retail store may

not do well in this type of setting, which would only provide service to 800-1000 people. Ms. Strickland questioned if a commissary would fall under an accessory use category.

Mr. Stolinas responded to PC member's question on Places of Assembly as the Neighborhood, Community, and Regional definitions of these terms. Mr. Stolinas confirmed that Place of Assembly Neighborhood classification is within the surrounding the community, Neighborhood is one or more adjacent areas, and Regional is multiple communities. Mr. Ressler replied the numbers for sizes of Places of Assembly were identified within the current zoning regulations but will not in be the revised regulations. Mr. Stolinas said Mr. Ressler will review applications for Places of Assembly to determine the size on the applications.

Mr. Stolinas agreed to review an inconsistency on outdoor recreational activities in agricultural and conservation areas. Mr. Wheland felt the ordinance uses that were created protected the property owners if game commission diversified their lands. Mr. Wheland stated that solar and/or wind power should be permitted as Conditional Uses in the RA areas after the discussion on ground mounted solar systems as a permitted use.

Ms. Strickland and Mr. Stolinas agreed that land use tables in category 4, the 2-acre lot in R1 needs clarified when comparing the drafts. Ms. Strickland felt 2 acres could be a small garden plot or a pocket park less than 4 acres. Mr. Keough felt Centre Region Parks and Recreation's job was to maintain parks not the township or an HOA.

In the R1 District, Ms. Strickland inquired if "P" could be permitted and designated in the R1 under categories 1 and 4 Farmer's Markets. A suggestion is to have the board look at the categories. Ms. Strickland, in E graphic of side yard in the principle use, questioned how to look at the size of diagram. Mr. Ressler said the 5 categories are shown in the example aren't literal to the numbers. Mr. Ressler felt the diagram should be labeled of the 5 examples with the overall sizes not dimensions. Ms. Strickland felt each chart should be labeled for setback accessory vs. a primary structure. For example, R1 in R2 in single- family dwelling, 10-foot side yard with a principle use with a 10-feet shed on all sides. A suggestion is to add a note to it explaining the diagram. Ms. Strickland felt owners wanted more flexibility with some options on the lots.

VI. CONSENT AGENDA

A. REVISED HARNER FARM CONCEPT PLAN AND GENERAL COMMENTS

Planning Commission members received the latest Harner Farm Concept Plan (included in the meeting packet handout with the questions introduced at the prior Planning Commission and Board of Supervisors meetings along with the Concept Plan). Ms. Schoch anticipates a formal land development and subdivision plan be submitted in the near future. On Tuesday, March 12, 2019, the Harner Farm traffic scoping application will be reviewed.

The approval of the Consent Agenda was motioned by Mr. Keough and seconded by Mr. Thompson. The motion passed 6-0.

VII. PLANNING DIRECTOR REPORT

Mr. Stolinas gave a presentation with Mr. Keough at the CBICC, titled "The Future's Blueprint" on Thursday, February 28, 2019. During the presentation, Mr. Stolinas reviewed the existing

Ferguson Township's ABC'S and keyed in on the functions of the Zoning Hearing Board and Planning Commission. Mr. Stolinas gave an overview on the requirements under the PA Municipalities Planning Code and the Ferguson Township Home Rule Charter. Mr. Keough gave his perspective on being a former township supervisor and current views on being a Planning Commission member.

VIII. ACTIVE PLANS UPDATE

Ms. Schoch reported Harner Farm Traffic Scoping Application will be reviewed tomorrow.

Ms. Schoch reported that she is working on the Pine Hall proposed Terms and Conditions and Workforce Housing Agreement. On Friday March 15, 2019, staff will be reviewing the draft Terms and Conditions with the Township Solicitor prior to forwarding revisions back to Residential Housing, LLC.

Ms. Schoch reported the Mobility Study open house was tonight. The concept images and comment card will be available on the Township Website. Interested parties will have the ability to fill out the comment card online.

IX. CENTRE REGION PLANNING COMMISSION REPORT

Marcella Bell, previous Ferguson Township PZ/PW Administrative Assistant is now the new Office Manager at the CRPA Offices.

Mr. Thompson reported that on April 1, 2019, the Centre Regional Planning Commission met at the Council of Governments Office. Centre MPO presented background information, and the MPO's responsibilities. The presentation can be viewed on C-Net, Facebook, and Twitter.

After the presentation, a discussion was held on the long-range transportation plan. Mr. Thompson reported the Patton Township Planning representative shared concerns on the traffic on Science Park Road, the need for a traffic signal on Sandy Ridge Drive, cut-through path and biking challenges on Circleville Road, the traffic issues on Park Hills, and how the Pine Hall project may affect upcoming construction projects.

After the discussion, Mr. Thompson gave an update on the upcoming construction projects: Valley Vista turning lanes will be finished this summer.

I-99 and I-80 will extend to the westbound off-ramp, embankment removal, and lighting installed at the intersection.

Atherton Street construction started today. Aaron Drive to Big Hollow will be paved and a culvert is being constructed. After each section, paving will be completed. On Tuesday April 12, 2019, at 12:15 p.m. the Transportation & Land Use Committee Meeting will be held at the Council of Governments office.

X. ZONING AND SALDO UPDATE

No Update.

XI. PINE GROVE MILLS SMALL AREA PLAN

Mr. Stolinas reported that the PGM SAP Steering Committee will discuss the status of Ferguson's Townships management and ownership of two parcels off of S.R. 26 on the top of the ridge toward Huntingdon. The purpose of the discussion is to recommend enhancing the properties or conveying the land to Department of Conservation and Natural Resources. Mr. Stolinas reported the trees, some which are diseased and, in some cases, deceased, consist mainly of hemlock. Mark Potter, from PA Bureau of Forestry and Lance King, the Ferguson Township Arborist, will be in attendance for this discussion.

Mr. Wheland raised the question regarding the township's liability with the dead hemlocks too close to the road. He stated that the township has previously given 30-day notice to land owners to remove trees that are hazardous to the public's health, safety and welfare.

XII. APPROVAL OF REGULAR MEETING MINUTES FEBRUARY 25, 2019

A motion was made by Mr. Keough and seconded by Mr. Wheland to approve the regular meeting minutes as presented. The motion was passed unanimously.

XIII. ADJOURNMENT

There being no other business for the Planning Commission, Ms. Strickland adjourned the meeting at 8:02 p.m.

Respectfully Submitted,

Rob Crassweller, Secretary
For the Planning Commission