

**FERGUSON TOWNSHIP PLANNING COMMISSION**  
**Regular Meeting Agenda**  
**Monday, February 13, 2023, 6:00 PM**

**Hybrid Meeting**

**REMOTE PARTICIPANTS:**

**Join Zoom Meeting:**

<https://us02web.zoom.us/j/81456701356>

**Meeting ID: 814 5670 1356**

[Zoom Access Instructions](#)

**IN-PERSON PARTICIPANTS:**

**Ferguson Township Municipal  
Building**

**Main Meeting Room  
3147 Research Drive  
State College, PA**

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**I. CALL TO ORDER**

**II. CITIZENS INPUT**

**III. APPROVAL OF MINUTES**

1. January 23, 2023, Regular Meeting Minutes

**IV. OLD BUSINESS**

**1. MP Machinery and Testing at 2161 Sandy Drive, State College  
Final Land Development Plan**

*Kristina Bassett, Community Planner*

Provided with the agenda is the MP Machinery and Testing Final Land Development Plan, dated January 24, 2023. The land development plan is located at 2161 Sandy Drive (TP: 24-433-007-0000). The parcel is approximately 1.436 acres and is zoned Light Industry, Research and Development (IRD).

This plan proposes the construction of an 8,088 SF addition to the existing building. On January 3, 2023, the Board of Supervisors reviewed and conditionally approved the preliminary land development plan.

Staff have reviewed the submission and is recommending approval with conditions. Provided with the agenda is a memorandum from the Planning Director dated February 8, 2023, describing the conditions.

**Recommended Motion:** Move that the Planning Commission recommend approval with conditions to the Board of Supervisors for the MP Machinery and Testing at 2161 Sandy Drive Final Land Development Plan subject to the conditions described in the Planning Director's memorandum dated February 8, 2023.

**Staff Recommendation:** That the Planning Commission recommend approval with conditions to the Board of Supervisors.



**V. NEW BUSINESS**

**1. Request for Consideration of a Modification/Waiver**

*Jenna Wargo, Director of Planning & Zoning*

On February 2, 2023, M. Todd Giddings requested a waiver from Chapter 22-5C01.1.B.—Off-Street Parking and Loading. This section of the ordinance includes the parking calculations for required parking spaces on a site.

Mr. Giddings has requested a change in use zoning permit at the building located at 3049 Enterprise Drive (TP: 24-004-070Q-0000) for his tenant, Integrated Bodywork School of Massage Therapy. This change in use results in the need for one additional parking space on site. The approved land development plan for this site includes 34 parking spaces and the change in use would require Mr. Giddings to provide 35 parking spaces.

Mr. Giddings operates his business out of this building and Bodywork School of Massage Therapy has been operating at this site for the last 7 years. Mr. Giddings hasn't experienced the parking lot full at any point in time during those 7 years and is requesting a waiver from the one additional parking space to be provided.

Staff have reviewed the request and is recommending approval to the Planning Commission.

**Recommended motion:** Move that the Planning Commission recommend approval of the Application for a Waiver to the Board of Supervisors for 3049 Enterprise Drive.

**Staff Recommendation:** That the Planning Commission recommend approval.

**VI. COMMUNICATIONS TO THE COMMISSION**

**VII. OFFICIAL REPORTS AND CORRESPONDENCE**

1. Board of Supervisors Report
2. CRPC Report
3. Land Development Plans

PLAN NAME	SUBMISSION DATE	REVIEW PERIOD	PLAN EXPIRATION
All Washed Up Auto Spa Preliminary Land Development Plan	September 12, 2022	First Review Comments returned September 29, 2022	February 26, 2023
Farmstead View Preliminary Subdivision Plan	July 30, 2021	Conditionally Approved— June 21, 2022	June 21, 2027
Peace Center and Cemetery Preliminary Land Development Plan	May 18, 2021	Second Review comments returned October 12, 2022	March 7, 2023
IMBT Preliminary Subdivision Plan	January 31, 2022	Conditionally Approved— September 6, 2022	September 6, 2027
1004 West College Ave Vertical Mixed-Use Building	March 14, 2022	Third Submission Received	May 3, 2023

<b>MP Machinery Final Land Development Plan</b>	January 26, 2023	First Review comments returned February 8, 2023	April 26, 2023
<b>Salvation Baptist Church Preliminary Land Development Plan</b>	June 1, 2022	<b>Conditionally Approved— November 1, 2022</b>	November 1, 2027
<b>125 East Pine Grove Road Preliminary Land Development Plan</b>	October 12, 2022	Second Review Comments returned December 5, 2022	May 7, 2023
<b>165 Volos Lane Minor Land Development Plan</b>	June 3, 2022	<b>Conditionally Approved— September 20, 2022</b>	September 20, 2027
<b>LeCrone Minor Subdivision Plan</b>		Recorded	
<b>1900 Circleville Road</b>	January 3, 2023	Staff First Review Comments returned January 20, 2023	April 3, 2023
<b>LeCrone Preliminary Land Development Plan</b>	February 1, 2023	First Review comments due February 16, 2023	May 2, 2023

4. Staff Updates

**VIII. ADJOURNMENT**

**FERGUSON TOWNSHIP PLANNING COMMISSION  
REGULAR MEETING MINUTES  
MONDAY, JANUARY 23, 2023  
6:00 PM**

**ATTENDANCE**

The Planning Commission held its first meeting of the month on Monday, January 23, 2023, as a hybrid meeting. In attendance:

**Commission:**

Jerry Binney – Chair  
Dr. Ellen Taricani – Vice Chair  
Rob Crassweller - Secretary  
Jennifer Eccleston  
Bill Keough  
Lewis Steinberg  
Ralph Wheland  
Qian Zhang

**Staff:**

Jenna Wargo – Director of Planning  
Jeff Ressler - Zoning Administrator  
Kristina Bassett – Community Planner

Others in attendance: Rhonda R. Demchak, Recording Secretary; Christine Bailey, Ferguson Township Resident; Wes Glebe, Ferguson Township Resident; Jimmy Chiomento, Ferguson Township Resident; Collin Wildstein, Ferguson Township Resident

**I. CALL TO ORDER**

Mr. Binney called the Ferguson Township Planning Commission’s regular meeting to order on Monday, January 23, 2023, at 6:00 p.m. and it has been advertised in accordance with the PA Sunshine Act as a hybrid meeting.

Ms. Wargo took roll call, and the Planning Commission had a quorum.

**II. CITIZEN INPUT**

There were no comments.

**III. APPROVAL OF MINUTES**

Dr. Taricani moved that the Planning Commission **approve** the January 9, 2023, Organizational Meeting Minutes. Mr. Crassweller seconded the motion. The motion passed unanimously.

Mr. Keough moved that the Planning Commission **approve** the January 9, 2023, Regular Meeting Minutes. Mr. Steinberg seconded the motion. The motion passed unanimously.

**IV. OLD BUSINESS**

**1. ORDINANCE AMENDMENT – WIRELESS COMMUNICATION FACILITIES**

Ms. Wargo noted that provided in the agenda is a draft amendment to §22-5B01— Design Standards, §27- 303—Traditional Town Development, §27-710—Wireless Communication Facilities, and District Quicks for the Rural Agricultural (RA), Rural Residential (RR), Agricultural Research (AR), Forest/Game Lands (FG), General Commercial (C), Industrial (I) and Light, Industry, Research and Development (IRD) zoning districts.

At the January 17, 2023, regular meeting of the Ferguson Township Board of Supervisors, the Board authorized staff to advertise a public hearing to adopt the



ordinance amendment.

Staff was able to determine the feasibility of building a tower greater than 200FT and due to costs and additional Federal Aviation Administration (FAA) requirements for towers over 200FT, the draft amendment has been updated to only permit wireless communication towers up to 200FT. Additionally, after further review with the Zoning Officer, staff updated the quickviews to include this use as an accessory use in these zoning districts. Staff is prepared to review the updated draft with the Planning Commission and answer any questions the Commission may have.

Ms. Wargo reviewed D.4 of the ordinance that started on page 11 of the agenda packet.

Mr. Keough asked if there are any towers in the Township that are over 200 feet. Ms. Wargo reviewed slides of all existing towers in Ferguson Township.

Ms. Wargo reported that they will not overbuild on the height if they do not need to because the cost is not worth it. Mr. Ressler stated he hasn't seen a tower on a building yet but has seen antennas.

Mr. Keough expressed concerns about the western end of the Township because there needs to be service. Mr. Keough would be flexible to the idea of higher towers in the RR and RA in the western end. Mr. Ressler reviewed the Design Regulations that discuss the non-tower-based WCF.

Mr. Keough moved that the Planning Commission **recommend** adoption of the ordinance amendments to the Board of Supervisors for the Wireless Communication Facilities a presented on January 23, 2023. Mr. Wheland seconded the motion. The motion passed unanimously.

## **V. COMMUNICATIONS TO THE COMMISSION**

Mr. Keough reported that a citizen emailed him regarding the reduction of parking in Pine Grove Mills through the Township email system prior to the last meeting, but he never received it until a few days ago. Mr. Keough is going to meet with the Assistant Township Manager regarding the delay.

## **VI. OFFICIAL REPORTS AND CORRESPONDENCES**

### **A. Board of Supervisors**

Ms. Wargo reported Chair Binney presented the State of Planning Report, the Board conditionally approved the LeCrone-West College Avenue Replot, approved two minor Modification/Waiver for 125 East Pine Grove Road and Mackin Engineering presented to the Board the Terraced Streetscape District (TSD) Rewrite Update. The public sessions for the TSD Rewrite will be held on February 22<sup>nd</sup>, March 9, and March 15<sup>th</sup>.

### **B. CRPC Meeting**

Dr. Taricani reported that their meeting will be in February.

### **C. Land Development Plans**

Ms. Bassett reviewed the following plans:

PLAN NAME	SUBMISSION DATE	REVIEW PERIOD	PLAN EXPIRATION
All Washed Up Auto Spa Preliminary Land Development Plan	September 12, 2022	First Review Comments returned September 29, 2022	February 26, 2023
Farmstead View Preliminary Subdivision Plan	July 30, 2021	Conditionally Approved— June 21, 2022	February 25, 2023
Peace Center and Cemetery Preliminary Land Development Plan	May 18, 2021	Second Review comments returned October 12, 2022	March 7, 2023
IMBT Preliminary Subdivision Plan	January 31, 2022	Conditionally Approved— September 6, 2022	February 6, 2023
1004 West College Ave Vertical Mixed-Use Building	March 14, 2022	Second Review comments returned October 5, 2022	February 27, 2023
MP Machinery Preliminary Land Development Plan	April 6, 2022	Conditionally Approved -- January 3, 2023	February 8, 2023
Minor Subdivision /Replot of TP 4-433-007-0000 and 24-433-008-0000 at 2151 and 2161 Sandy Drive		Recorded	
Salvation Baptist Church Preliminary Land Development Plan	June 1, 2022	Conditionally Approved— November 1, 2022	January 30, 2023
125 East Pine Grove Road Preliminary Land Development Plan	October 12, 2022	Second Review Comments returned December 5, 2022	February 12, 2023
165 Volos Lane Minor Land Development Plan	June 3, 2022	Conditionally Approved— September 20, 2022	March 6, 2023
LeCrone Minor Subdivision Plan	October 21, 2022	Conditionally Approved— January 17, 2023	March 5, 2023
1900 Circleville Road	January 3, 2023	Staff First Review Comments returned January 20, 2023	April 3, 2023

#### D. Staff Updates

There were no updates.

Mr. Keough discussed the article called Zoning Practice that was included in the agenda packet. Mr. Keough expressed concerns about private student housing after the buildings age out. Mr. Keough suggested adding language to existing ordinances to allow for conversions in living space.

#### VII. Adjournment

Mr. Keough made a motion to **adjourn** the January 23, 2023, Planning Commission meeting at 6:50 p.m. Mr. Crassweller seconded the motion. The motion passed unanimously.

Respectfully Submitted,

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Rob Crassweller, Secretary  
For the Planning Commission



## Interoffice Memorandum

**TO:** Planning Commission

**FROM:** Jenna Wargo, AICP  
Director of Planning & Zoning

**DATE:** February 8, 2023

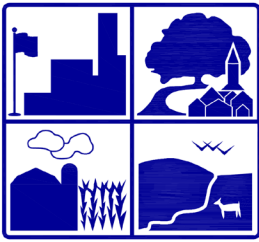
**SUBJECT:** MP Machinery and Testing Preliminary Land Development Plan

Provided with the agenda is the MP Machinery and Testing Final Land Development Plan, dated January 24, 2023. The land development plan is located at 2161 Sandy Drive (TP: 24-433-007-0000). The parcel is approximately 1.436 acres and is zoned Light Industry, Research and Development (IRD).

This plan proposes the construction of an 8,088 SF addition to the existing building. On January 3, 2023, the Board of Supervisors reviewed and conditionally approved the preliminary land development plan.

Township Staff have reviewed the submission and is recommending approval with conditions as attached to this memorandum.

**LF:** 1963-1-5Qa



# TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801  
Telephone: 814-238-4651 • Fax: 814-238-3454  
[www.twp.ferguson.pa.us](http://www.twp.ferguson.pa.us)

**February 8, 2023**

Chad Stafford  
Penn Terra Engineering, Inc.  
3075 Enterprise Drive, Suite 100  
State College, PA 16801

**RE: MP Machinery and Testing Final Land Development Plan—1<sup>st</sup> Review**

Dear Mr. Stafford,

Thank you for submitting the MP Machinery and Testing Final Land Development Plan, dated, January 24, 2023, for our review. The submission has been reviewed by staff and agencies as required by the Township's Code of Ordinances.

Outstanding comments from staff are minimal and this plan will be on the Planning Commission's agenda for the February 13, 2023, regular meeting, followed by the Board of Supervisors on February 21, 2023, for approval with conditions.

Should you have any additional questions, please contact me at [jwargo@twp.ferguson.pa.us](mailto:jwargo@twp.ferguson.pa.us) or 570-452-5102.

Sincerely,

Jenna Wargo, AICP  
Director of Planning & Zoning

**cc:** Kristina Bassett, Community Planner  
**LF:** 1963-1-5Qa

**TO: Jenna Wargo, Director of Planning and Zoning**

**FROM:** Kristina Bassett, Community Planner

**DATE:** February 3, 2023

**SUBJECT:** MP Machinery and Testing at 2161 Sandy Drive Final Land Development Plan

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After reviewing the “MP Machinery and Testing at 2161 Sandy Drive, State College Final Land Development Plan”, dated January 24, 2023, I find the plan consistent with the approved preliminary plan. Should a revised submission be submitted a time extension must be submitted with the revised plan. (Chapter 22, Section 303)

Prior to receiving final signatures, all subdivision and land development plans must be submitted to the Township in digital format (CADD files). The data shall be in a format readily compatible (i.e., without conversion) with the Township's geographical information system (GIS) software and shall provide a true and complete display of the subdivision or land development plan, in correct geographic location, configured in appropriate layers as specified by the Township. (Chapter 22, Section 304.6)

The Development Review Sign must be removed after Board approval, but prior to plan signatures.

**TO:** Kristina Bassett, Community Planner

**FROM:** Jeffrey Ressler, Zoning Administrator

**DATE:** February 7, 2023

**SUBJECT: MPM Machinery and Testing Final Land Development Plan 1<sup>st</sup> Review**

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1. A time extension must be submitted with any revised plan. (Chapter 22, Section 303)
  2. A digital copy of the plan in accordance with Township requirements must be provided to the Township prior to final plan signature. (Chapter 22, Section 307.7)
  3. Surety must be posted for all public improvements. (Chapter 22, Section 304)
  4. The plan must be signed, all fees paid to the Township, and the plan recorded within the plan deadline.
  5. A signed notarized statement by the owner certifying ownership of the property must be included on the plan. (Chapter 22, Section 401.C.1.i)
  6. Completed signature blocks as required in [Chapter 22, Section 401] must be included on the Record Plan. (Chapter 22, Section 401)



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## TOWNSHIP OF FERGUSON

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[www.twp.ferguson.pa.us](http://www.twp.ferguson.pa.us)

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TO: Jenna Wargo, Planning Director  
FROM: Ron Seybert, Township Engineer  
DATE: January 31, 2023  
SUBJECT: MP Machinery and Testing Final LD Plan  
Initial Review (ES-436)

As requested, I have reviewed the *'MP Machinery and Testing at 2161 Sandy Drive, State College Preliminary Land Development Plan'* prepared by PennTerra Engineering, Inc. and dated January 24, 2023, for conformity to the Township Subdivision and Land Development Ordinance (Chapter 22) and consistency with the approved preliminary plan.

This plan is consistent with the approved preliminary plan. I have no comments on the submitted final plan. Once the owner and designer signatures are secured, I will sign the plan.

Copy: Scott Brown, NTM Engineering

**From:** [Maginnis, Larry](#)  
**To:** [Wargo, Jenna](#)  
**Subject:** RE: MP Machinery Final Land Development Plan  
**Date:** Wednesday, February 8, 2023 8:59:15 AM  
**Attachments:** [image001.png](#)

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Hello Jenna,

It appears all of my comments and issues were addressed by Chad with the 7<sup>th</sup> submittal. Nothing has changed therefore I do not have any additional comments at this time. Thank you, Larry.

## Larry Maginnis

Township Arborist  
3147 Research Drive  
State College, Pa. 16801  
(814) 238-4651

[www.twp.ferguson.pa.us](http://www.twp.ferguson.pa.us)

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**From:** Wargo, Jenna <[jwargo@twp.ferguson.pa.us](mailto:jwargo@twp.ferguson.pa.us)>  
**Sent:** Tuesday, February 7, 2023 10:53 PM  
**To:** Maginnis, Larry <[lmaginnis@twp.ferguson.pa.us](mailto:lmaginnis@twp.ferguson.pa.us)>  
**Subject:** RE: MP Machinery Final Land Development Plan

Larry—

I hope you had a good break. I wanted to reach out to remind you about this plan review deadline approaching this Thursday. I haven't received anything from McDill or Jacobson either.

If you have any questions, please don't hesitate to ask.

Thank you.

## Jenna Wargo, AICP

Director of Planning & Zoning

| pronouns: (she/her/hers) |

[Township of Ferguson](#)  
[3147 Research Drive](#)  
[State College, PA 16801](#)  
**P:** (814) 238-4651  
**C:** (570) 452-5102

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**From:** Wargo, Jenna  
**Sent:** Thursday, January 26, 2023 3:31 PM  
**To:** Bassett, Kristina <[kbassett@twp.ferguson.pa.us](mailto:kbassett@twp.ferguson.pa.us)>; Ressler, Jeff <[jressler@twp.ferguson.pa.us](mailto:jressler@twp.ferguson.pa.us)>; Seybert, Ron <[rseybert@twp.ferguson.pa.us](mailto:rseybert@twp.ferguson.pa.us)>; Maginnis, Larry <[lmaginnis@twp.ferguson.pa.us](mailto:lmaginnis@twp.ferguson.pa.us)>; Scott Brown <[SBrown@ntmeng.com](mailto:SBrown@ntmeng.com)>; Dupuis, Betsy <[BDupuis@babstcalland.com](mailto:BDupuis@babstcalland.com)>; Boeckel, Mark <[mboeckel@crcog.net](mailto:mboeckel@crcog.net)>; Christopher D. Schnure <[cgschnure@centrecountypa.gov](mailto:cdschnure@centrecountypa.gov)>; McDill, Marc



<[mmcdill@twp.ferguson.pa.us](mailto:mmcdill@twp.ferguson.pa.us)>; Jacobson, Mike <[mjacobson@twp.ferguson.pa.us](mailto:mjacobson@twp.ferguson.pa.us)>; Shawn Kauffman <[skuffman@centreregionema.com](mailto:skuffman@centreregionema.com)>; Jim Nguyen <[JNguyen@ntmeng.com](mailto:JNguyen@ntmeng.com)>; Mato, Shelly <[smato@crcog.net](mailto:smato@crcog.net)>

**Cc:** Martin, Centrice <[cmartin@twp.ferguson.pa.us](mailto:cmartin@twp.ferguson.pa.us)>

**Subject:** MP Machinery Final Land Development Plan

Good afternoon—

Please see the link below for the MP Machinery Final Land Development Plan submission.

Please have your review comments back by February 9, 2023, and please reference ES#436 in all correspondence.

[MP Machinery Final Land Development Plan](#)

If you have any additional questions, please don't hesitate to ask.

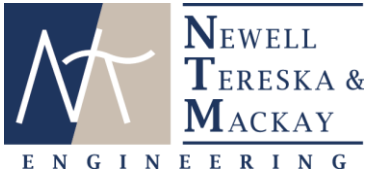
Thank you.

**Jenna Wargo, AICP**

Director of Planning & Zoning

| pronouns: (she/her/hers) |

[Township of Ferguson](#)  
[3147 Research Drive](#)  
[State College, PA 16801](#)  
**P:** (814) 238-4651  
**C:** (570) 452-5102



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**NTM Engineering, Inc.**  
341 Science Park Road, Suite 203  
State College, PA 16803  
814-862-9191

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January 31, 2023

Township of Ferguson  
3147 Research Drive  
State College, Pennsylvania 16801

Attn: Ms. Jenna Wargo, AICP, Director of Planning and Zoning

**RE: MP Machinery Plan  
Stormwater Management Review ES#436**

Dear Jenna,

We have completed our review of the Final Land Development Plan for MP Machinery and Testing at 2161 Sandy Drive, State College. The applicant's Design Professional, PennTerra Engineering, Inc., submitted the following information that serves as the basis of our review:

1. MP Machinery and Testing at 2161 Sandy Drive, State College, Final Land Development Plans, dated January 24, 2023.

The stormwater management elements shown on the Final Land Development Plan are consistent with the approved Stormwater Management Site Plan for the site. We have no comments.

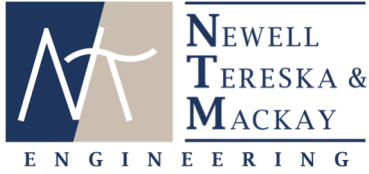
If you have any questions or require additional information, please feel free to contact me at 814-862-9191.

Sincerely,  
**NTM Engineering, Inc.**

Scott A. Brown, PE  
Senior Professional

cc: Mr. Ronald Seybert, Township Engineer, Ferguson Township

2023 01 30 MP Machinery SWM Review r1.docx



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**NTM Engineering, Inc.**  
341 Science Park Road, Suite 203  
State College, PA 16803  
814-862-9191

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January 30, 2023

Township of Ferguson  
3147 Research Drive  
State College, Pennsylvania 16801

Attn: Ms. Jenna Wargo, AICP, Director of Planning and Zoning

**RE: MP Machinery Plan  
Lighting Plan Review ES#436**

Dear Jenna,

We have completed our final lighting review for the MP Machinery and Testing at 2161 Sandy Drive, State College. The applicant's Design Professional, PennTerra Engineering, Inc., submitted the following information that serves as the basis of our review:

1. MP Machinery and Testing at 2161 Sandy Drive, State College, Final Land Development Plans, dated January 24, 2023.

The lighting shown in the Final Land Development Plan is consistent with what was submitted on the Preliminary Land Development Plan. All proposed lighting fixtures are consistent with the Township's lighting ordinance.

If you have any questions or require additional information, please feel free to contact me at 814-862-9191.

Sincerely,  
**NTM Engineering, Inc.**

James T. Nguyen, PE  
Engineer

cc: Mr. Ronald Seybert, Township Engineer, Ferguson Township  
Mr. Jeffrey Ressler, Zoning Administrator, Ferguson Township

2023 01 30 MP Machinery Lighting Review r5.docx

# CRPA Centre Regional Planning Agency

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2643 Gateway Drive, Suite #4 • State College, PA 16801 • Phone (814)  
231-3050 • [www.crcog.net](http://www.crcog.net)

## MEMORANDUM

**Date:** February 7, 2023

**To:** Jenna Wargo, AICP  
Ferguson Township Planning Director

**From:** Mark Boeckel, AICP  
Principal Planner

**RE: MP Machinery and Testing ES#436 Final Land Development Plan – Centre Regional Planning Agency Review**

The Centre Regional Planning Agency (CRPA) received the MP Machinery and Testing Final Land Development Plan on January 26, 2023. This review is intended to fulfill the requirements of the Centre Region's Agreement of Relationship (dated March 16, 1982) with the Centre County Planning Commission, relative to the provisions of the Pennsylvania Municipalities Planning Code.

The Plan proposes the development of an 8,088 sq. ft. building addition to an existing structure on Tax Parcel 24-433-,007-,0000-.

**Based on our review, the CRPA finds that the proposed land development plan is consistent with the 2013 Centre Region Comprehensive Plan Update.**

**The CRPA offers the following advisory comments for your consideration:**

1. On Sheet #3, along the proposed exit drive, there is a note for "Land Swap." This is likely from a previously recorded subdivision plan and should be removed from this plan.

If you have any questions regarding the supplied comments, please contact the CRPA at (814) 231-3050.



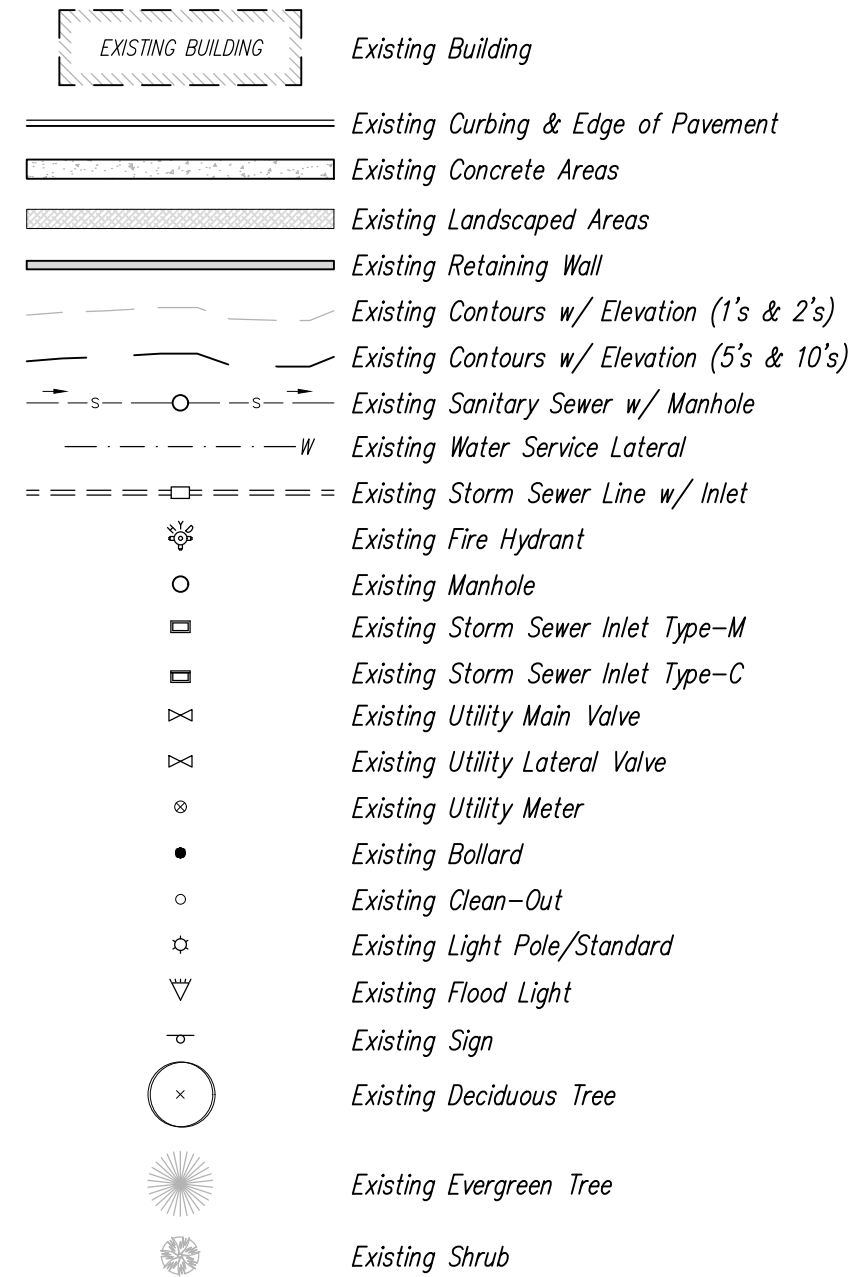




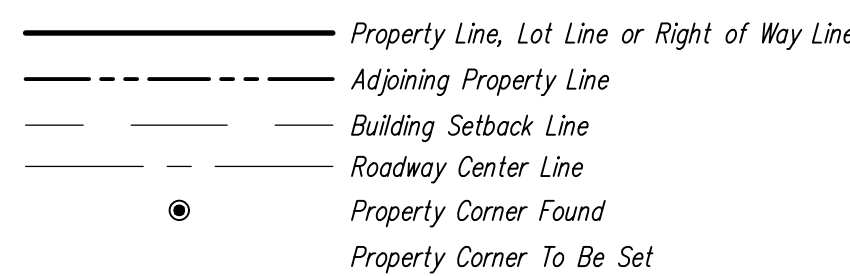
GENERAL SITE DEMOLITION NOTES

- 1. The Contractor is responsible for obtaining all local and state permits required for demolition work unless other arrangements are coordinated with the owner.
2. The Contractor shall indemnify and hold harmless the Owner and/or architect and engineer for any and all injuries and/or damages to personnel, equipment and/or existing facilities in the demolition and construction described in the plans and specifications.
3. Existing conditions as depicted on these plans are general and illustrative in nature and do not include mechanical, electrical and miscellaneous structures. It is the responsibility of the Contractor to examine the site and be familiar with existing conditions prior to bidding on the demolition work for this project. If conditions encountered during examination are significantly different than those shown, the Contractor shall notify the architect and engineer immediately. All existing utilities not to be removed or abandoned are to remain operational at all times. Appropriate existing utilities shall remain in service until replacement/relocated utilities are operational.
4. Existing above and below ground structures within the limits of new construction noted to be removed shall be razed unless noted otherwise in this construction set, architectural plans and/or project specifications. This includes foundation slabs, walls, and footings.
5. Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify Pa One Call 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
6. All demolition waste and construction debris shall be removed by the Contractor and disposed of in a state approved waste site and in accordance to all local and state codes and permit requirements.
7. All utility removal, relocation, cutting, capping and/or abandonment shall be coordinated with the appropriate utility company.
8. The burning of cleared material and debris shall not be allowed without approval from owner and appropriate governing agency.
9. Erosion and sedimentation control measures around areas of demolition shall be installed prior to initiation of demolition activities. Refer to plan and details for site specific information including tree protection details, if necessary.
10. Asbestos or hazardous materials, if found on site, shall be removed by a licensed hazardous materials Contractor. Contractor shall notify Owner immediately if hazardous materials are encountered.
11. Contractor shall protect all corner pins, monuments, property corners, and benchmarks during demolition activities. If disturbed, Contractor shall have disturbed items reset by a licensed surveyor at no additional cost to the Owner.
12. Contractor shall provide and maintain traffic control measures in accordance with the PennDOT standards, and as required by local agencies working in and/or along streets, roads, highways, etc. It shall be the Contractor's responsibility to obtain approval and coordinate with local and/or state agencies regarding the need, extent, and limitations associated with installing and maintaining traffic control measures.
13. Contractor shall protect at all times adjacent structures and items from damage due to demolition activities.
14. Contractor shall coordinate existing facilities utility disconnects with the Owner prior to anticipated demolition of structures.
15. Contractor shall refer to Construction Plans for other pertinent information where applicable.
16. Contractor shall replace or repair to Owner's satisfaction all curb, utilities, sidewalks, landscaping, etc. damaged during construction that are not indicated to be removed.
17. Contractor shall be responsible for all costs and work required to adjust existing and proposed utilities and appurtenances to finish grades within the limit of work.
18. All paving to be removed shall be sawcut to provide a sharp clean edge. All sidewalks to be removed shall be sawcut at the nearest joint. Existing pavement shall be removed as required for new curb, walkway, or utility construction.
19. Contractor shall verify the location of manholes, inlets valves, etc. Contractor shall test pit existing utilities as deemed necessary within the limits of construction to determine the exact location and depth as required. Report any discrepancies from that indicated on the plan to the architect and engineer. All existing utilities shall be retained unless marked otherwise, and appurtenances shall be adjusted to final grade. Damage to existing conditions and utilities to remain shall be repaired as required to the Owner's satisfaction at the expense of the Contractor.
20. Contractor shall coordinate with utilities companies on installation, relocation or replacement of electrical, phone, gas and cable services.
21. The Contractor shall contact PA One Call system @ 1-800-242-1776 at least three (3) days before construction activities.

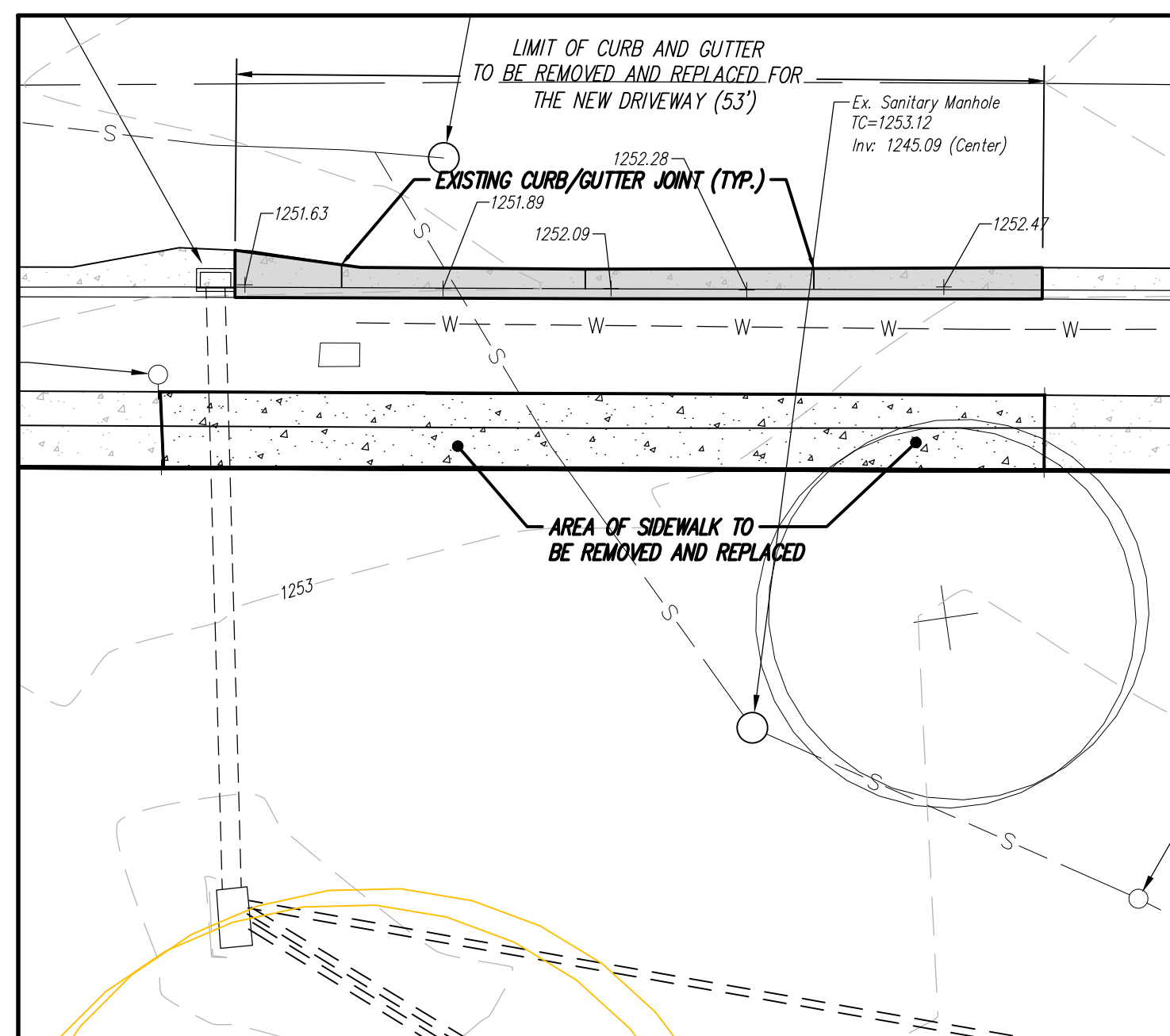
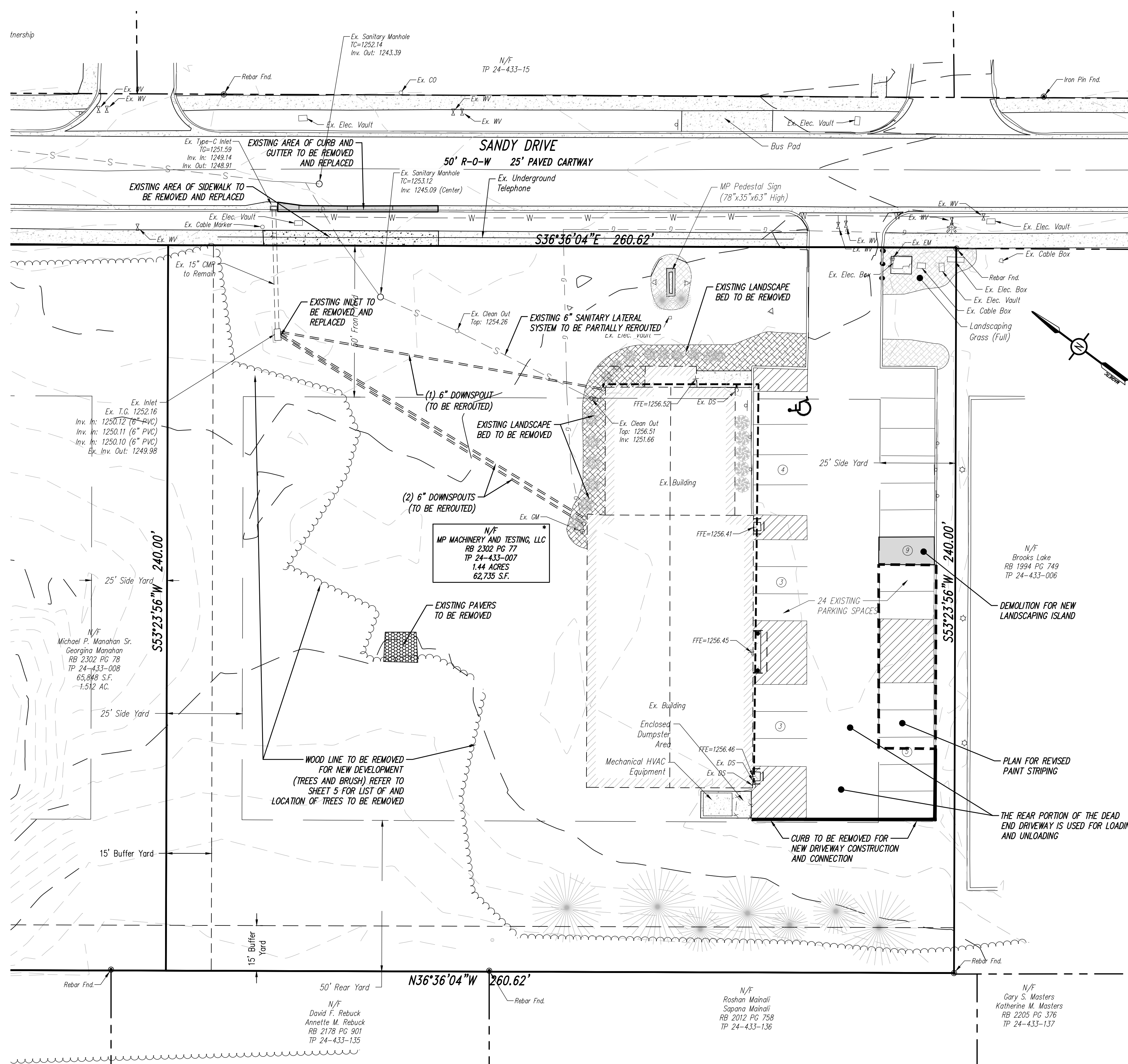
EXISTING FEATURES LEGEND



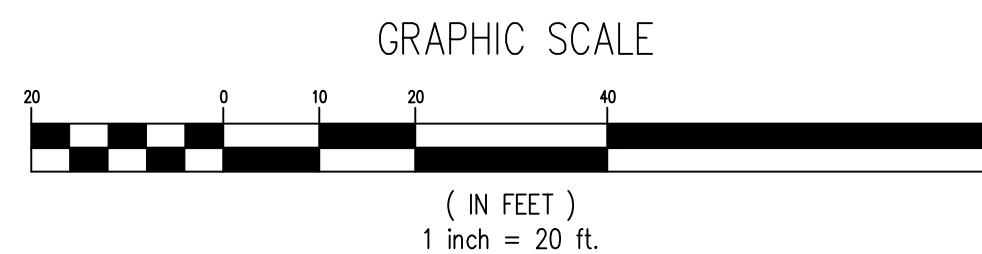
SURVEY FEATURES LEGEND



STORMWATER DOWNSPOUT NOTE: LOCATION OF THREE (3) 6" DIA. PLASTIC DOWNSPOUTS/ROOF DRAINS INTERPOLATED FROM 1997 'PROPOSED SITE PLAN' AND FIELD SURVEY CONDITIONS.



EXISTING PLANNED DRIVEWAY ENLARGEMENT AREA 1" = 10'



PennTerra Engineering Inc. CENTRAL PENNSYLVANIA REGION OFFICE: 3075 ENTERPRISE DRIVE SUITE 100 STATE COLLEGE, PA 16801 PH: 814-231-8285 Fax: 814-237-2308 LANCASTER REGION OFFICE: 3904 B ABEL DRIVE COLUMBIA, PA 17512 PH: 717-522-5031 Fax: 717-522-5046

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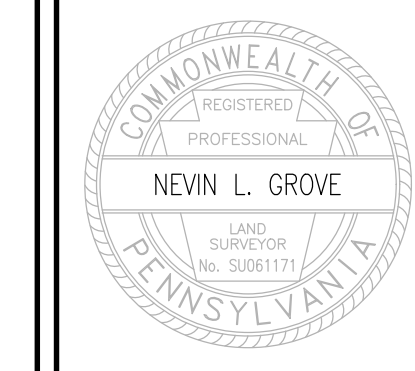
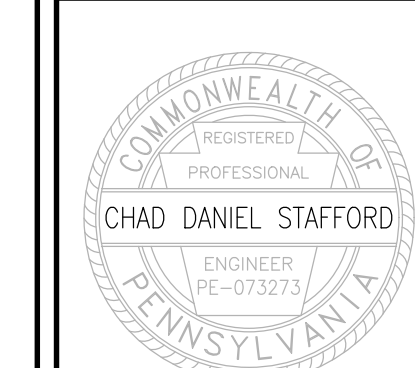


Table with 2 columns: Field, Value. Designer: MJA, Draftsman: MJA, Proj Manager: CDS, Surveyor: XXX, Perimeter Ck: XXX, Book: XXX, Pg: XXX, File: 2316 - FINL - 2 - EX COND, Layout: EXISTING CONDITIONS

Table with 2 columns: Date, Description. Multiple rows for revisions.

MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE

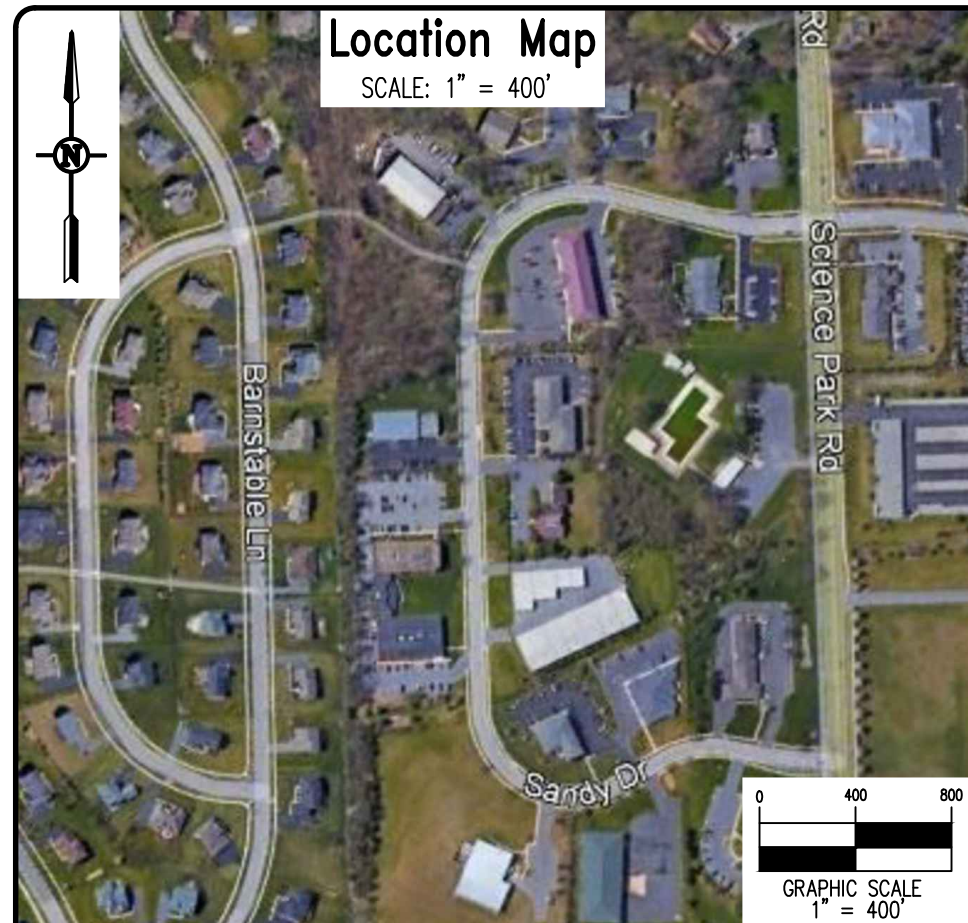
FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

FINAL LAND DEVELOPMENT PLANS EXISTING CONDITIONS AND DEMOLITION PLAN

Table with 2 columns: Field, Value. PROJECT NO: 21316, DATE: JANUARY 24, 2023, SCALE: 1" = 20', SHEET NO: 2

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA I CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY





PROJECT NOTES

- 1. GENERAL SITE INFORMATION
a. Tax Parcel: 24-433-007-0000-
b. Address: 2161 Sandy Drive, State College, Ferguson Township, Pennsylvania
c. Owner/Developer: The Michael P. Manahan Sr. and Georgina Manahan Living Trust
d. Deed:
2. AREA & BULK ZONING DATA
a. ZONING DISTRICT: Light Industrial, Research and Development (RD)
b. USE: Existing & Proposed- Research, Development, Engineering and/or Testing Laboratory
c. Area & Bulk Category 2
d. MINIMUM LOT SIZE: \*20,000 square feet
ACTUAL LOT AREAS: 62,549 SF = 1.436 ACRES
e. LOT WIDTH MINIMUM: 100'
260.42' ACTUAL WIDTH
f. MINIMUM LOT WIDTH AT STREET: 100'
260.42' ACTUAL WIDTH AT STREET
g. YARD SETBACKS (AREA & BULK CATEGORY 2)
FRONT- 50'
SIDE (EACH)- 25'
REAR- 50'
BUFFER YARD- 15' (per Ferguson Township Zoning Officer) - REAR & WEST PROPERTY LINES
h. HEIGHT = 45' MAXIMUM
i. COVERAGE
Development Site Total Area (Tax Parcel 24-433-077-0000-) = 62,549 square feet
60% Allowable Impervious Coverage = 37,529 square feet
Impervious Coverage Total = 34,698 square feet (55.5%)
j. PARKING
On April 5, 2022, the Board of Supervisors of Ferguson Township reviewed the parking analysis/study submitted to the Township on February 18, 2022, and approved of three (3) additional parking spaces to be required on site for the 8,088 SF addition. This will result in 27 spaces being included on the land development plan as submitted.
k. Required Loading Zone Spaces: 1
l. Provided Loading Zone Spaces: Multiple/ entire rear driveway shall be considered LOADING SPACE.
3. GENERAL UTILITY & ACT 287 INFORMATION:
PA Once Call Serial No.: 20220041395
a. Sewage: University Area Joint Authority (UAJA), 1576 Spring Valley Road State College, PA 16801, 814-238-5361
b. Water: State College Borough Water Authority (SCBWA), 1201 West Branch Road, State College, PA 16801, 814-238-6766
c. Gas: Columbia Gas of Pennsylvania, 2550 Coraean Industrial Drive, State College, PA 16801, 814-278-5840
d. Electric: West Penn Power, 2800 East College Avenue, State College, PA 16801, 814-231-5355
e. Telephone: Verizon, 224 South Allen Street, State College, PA 16801, 814-231-6511
f. Cable TV: Comcast, 1155 Benner Pike, State College, PA 16801, 814-238-5050
g. Township Roads and Public Stormwater: Ferguson Township, 3147 Research Drive, State College, PA 16801, 814-238-4651
h. Contours shown are taken from survey data collected in the field.
i. Stormwater will be conveyed to an existing regional stormwater basin known as Tax Parcel 24-433-24.
For additional information, refer to:
a. "Stormwater Management Plan" prepared by PennTerra Engineering, Inc., dated March 22, 1996.
b. "Soil Erosion and Sedimentation Control Plan", (Approved October 17, 2022) prepared by PennTerra Engineering, Inc., dated October 5, 2022.
c. "The Greenleaf Manor PRD - Master Plan", dated March 7, 1995, last revised Feb. 5, 1996, and on record at the Ferguson Township Municipal Building.
d. "Greenleaf Manor P.R.D., Findings of Fact and Terms and Conditions" dated December 13, 2004
e. Hydrogeologic Assessment of Sinkholes" dated January 29, 1996, prepared by Meiser & Earl Hydrogeologists
f. "Phase 1 Final P.R.D. Plans" dated March 22, 1996, prepared by PennTerra Engineering, Inc.
g. "Proposed Site Plan for MPM Research and Consulting", dated March 21, 1997, PB 54 PG 7, Recorded June 25, 1997.
h. "MP Machinery and Testing at 2161 Sandy Drive State College Preliminary/Final Stormwater Management Site Plan dated May 3, 2022, and last revised August 15, 2022, recorded in RB 2179 PG 97 and MP Machinery and Testing at 2161 Sandy Drive State College Post Construction Stormwater Management Report dated May 3, 2022 and last revised September 26, 2022.
i. "Construction Plans Edwards Park Subdivision Phase 1", dated September 11, 1989, PB 41 PG 61-62.
j. "MP Machinery Minor Subdivision Plan - 'Subdivision/Replot of TP 24-433-008-0000, and 24-433-008-0000 at 2151 and 2161 Sandy Drive' as recorded at the Centre County Recorder's of Deeds at PB 98 PG 38.
k. "MP Machinery and Testing at 2161 Sandy Drive State College Preliminary Land Development Plans" dated May 3, 2022, Last Revised January 13, 2023, conditionally approved January 3, 2023.
8. As-Built drawings of the stormwater facilities will be prepared in accordance with the Ferguson Township Stormwater Management Ordinance, upon completion of project construction as required.
9. All utilities are approximate. Contractor to contact PA One Call and servicing utility company prior to any construction operations.
10. Contractor to verify building dimensions and all utility entry/exit locations, including downspouts on Architectural drawings prior to any construction operations.
11. Stormwater pipes and sumps, etc. running through the lot are the responsibility of the Owner/Developer- MP Machinery & Testing, LLC.
12. Roof Leaders/Drains on the proposed building SHALL flow into the appropriate Stormwater Collection/Conveyance Facility as specifically detailed.
13. LANDSCAPING BED NOTE: The Owner shall install Landscaping Beds as shown for the purpose of installing grasses and shrubs.
14. The Trees of the property SHALL BE PRESERVED to the limits as shown.
15. All Trees and Shrubs shall be planted in accordance with the 'Guide to Planting in Ferguson Township'.
16. The application for a Zoning Permit was made to Ferguson Township on May 3, 2022.
17. There are NO sinkholes, depressions, water courses and/or floodplains on the Land Development Tract; Tax Parcel 24-433-007-0000-.
18. A copy of the approved Stormwater Management Site Plan must be on site at all times during construction.
19. A Driveway Permit is required prior to issuance of a Zoning Permit.
20. A Pre-Job Meeting is required with Ferguson prior to work starting.
21. This Record Plan conforms with the Plan receiving final approval by Ferguson Township Board of Supervisors on [blank] and all improvements are or will be installed in accordance with such Plan in manner and time so specified therein.

PROJECT DEVELOPMENT NARRATIVE:
MP Machinery and Testing, located at Tax Parcel 24-433-007-000- and at 2161 Sandy Drive, State College, Ferguson Township, Centre County, Pennsylvania, is planning to add on to its existing building to provide additional material storage (for testing operations) and testing areas with an 8,088 square feet addition to the existing building.

- The following data describes MP Machinery and Testing and the current and planned use of the existing building and the new building addition:
• Briefly explain/classify the need for the Building Addition. Is it just additional Laboratory or storage/material space? It is for both lab and for storage. We will initially need about 70% for storage and 30% for lab.
• Will the Building addition result in additional employees? No.
• Explain the Driveway connecting the buildings? That 20 feet Driveway is critical for access and delivery as well as to meet Fire Wall requirements.
• MP Machinery & Testing is a business where you really do not have too many 'visitors'? MP has had one or two visitors per year over the past 25 years, as customers do not come to this location. Rather, MP travels from this location to its customers.
• How many employees does MP Machinery & Testing have currently? MP Machinery and Testing has six employees, and has never had more than five over the past 25 years. Due to plans for the intended Building Expansion, MP Machinery has hired their maximum number of employees, ever to be eight.
• Work Hours: Are 7:30 am to 4:40 pm.

Dr. Manahan has supplied some additional data to consider as the development of the planned Building Addition and site improvements are designed. That data follows:
• Safety for the sake of convenience, MP proposes a few additional parking spaces by the new addition.
• MP needs a driveway in the back of the building for 18 wheelers to drive through. There is a high bay door in the rear of the new building, and they need to take deliveries there.

PROPOSED FEATURES LEGEND

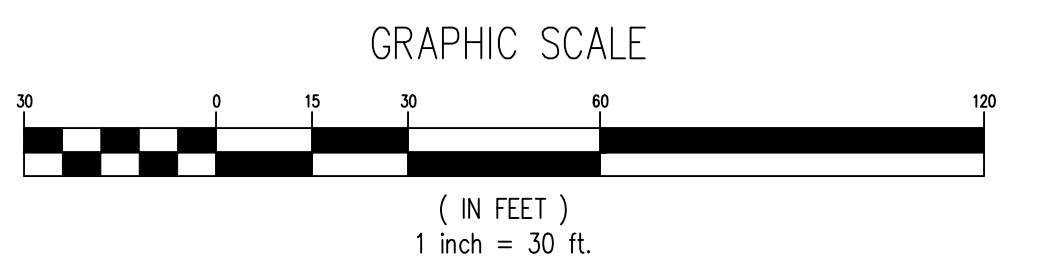
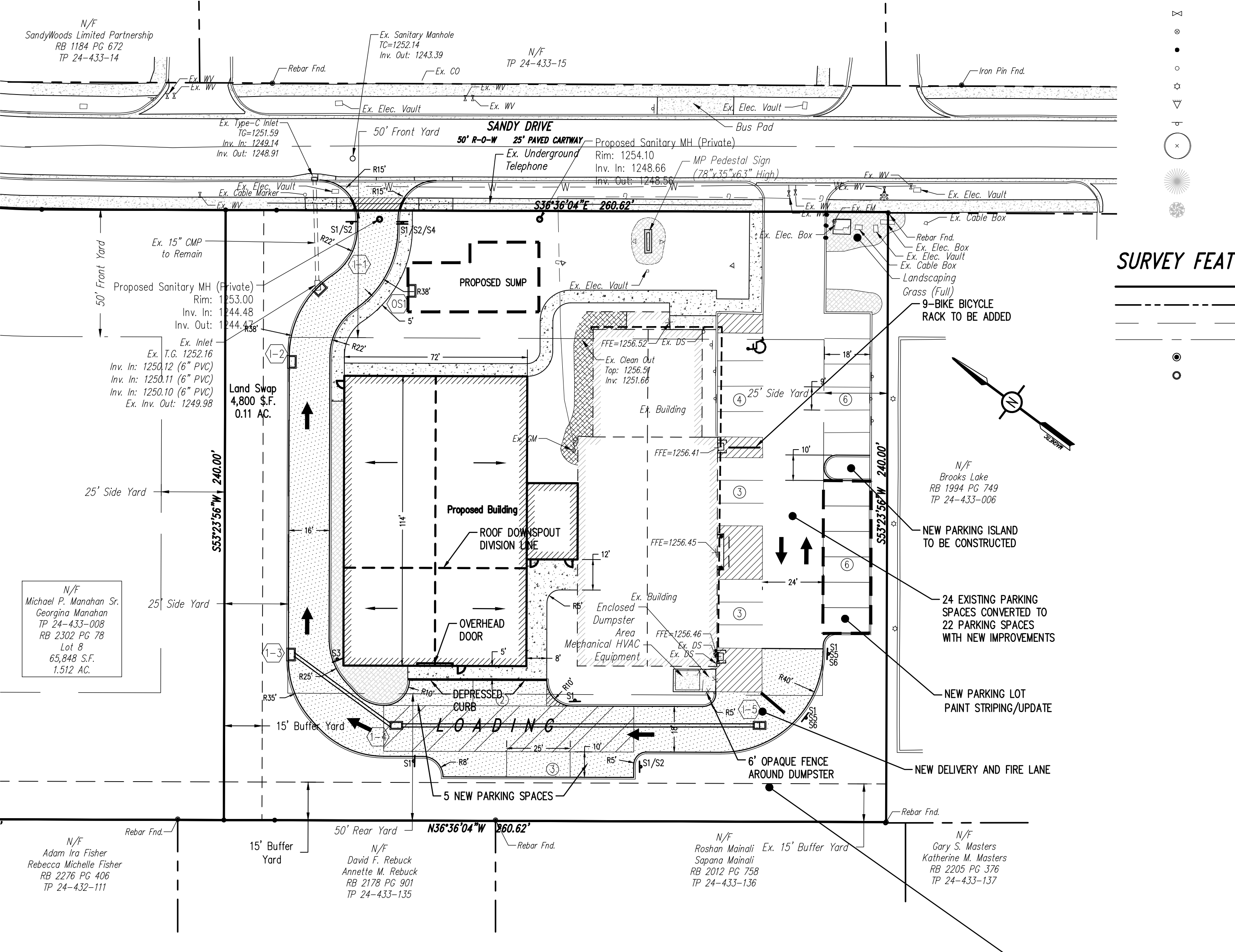
- PROPOSED BUILDING
PROPOSED CURBING & EDGE OF PAVEMENT
PROPOSED CONCRETE AREAS
PROPOSED BITUMINOUS PAVEMENT AREAS
PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)
PROPOSED PARKING STALL COUNT

EXISTING FEATURES LEGEND

- Existing Building
Existing Curbing & Edge of Pavement
Existing Concrete Areas
Existing Landscaped Areas
Existing Retaining Wall
Existing Contours w/ Elevation (1's & 2's)
Existing Contours w/ Elevation (5's & 10's)
Existing Sanitary Sewer w/ Manhole
Existing Water Service Lateral
Existing Storm Sewer Line w/ Inlet
Existing Fire Hydrant
Existing Manhole
Existing Storm Sewer Inlet Type-M
Existing Storm Sewer Inlet Type-C
Existing Utility Main Valve
Existing Utility Lateral Valve
Existing Utility Meter
Existing Bollard
Existing Clean-Out
Existing Light Pole/Standard
Existing Flood Light
Existing Sign
Existing Deciduous Tree
Existing Evergreen Tree
Existing Shrub

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
Adjoining Property Line
Building Setback Line
Roadway Center Line
Property Corner Found
Property Corner To Be Set



N/F
MP MACHINERY AND TESTING, LLC
RB 2302 PG 77
TP 24-433-007
1.44 ACRES
62,735 S.F.

Owner's Certification

State of \_\_\_\_\_
County of \_\_\_\_\_
On this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_,
personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

witness my hand and seal, this date \_\_\_\_\_

Notary Public Commission Expires \_\_\_\_\_

Township Planning Commission

Ferguson Township Planning Commission Approved

Chair Date

Secretary Date

Township Supervisors

Ferguson Township Supervisors Approved

Chair Date

Secretary Date

Township Engineer Certification

I, \_\_\_\_\_ have reviewed and hereby certify that the plan meets all engineering design standards and criteria of the Ferguson Township Code of Ordinances.

Design Engineer Certification

I, \_\_\_\_\_ hereby certify that this land development meets all design requirements of the Subdivision and Land Development Ordinance, Zoning Ordinance and all other applicable Chapters of Ferguson Township Code.

Professional Land Surveyor Certification

I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

Fire Chief Certification

I have reviewed and hereby certify that the location of Fire Lanes and Fire Hydrants shown on this plan are adequate.

Fire Chief Date

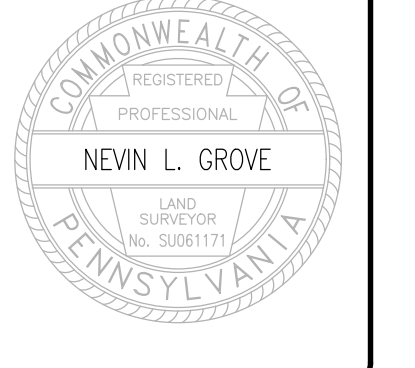
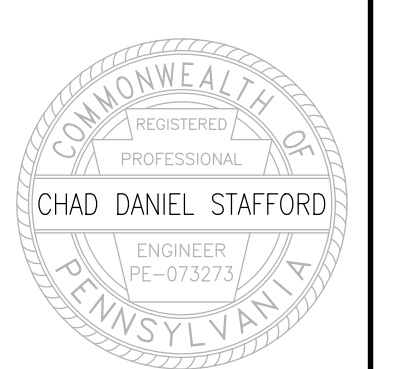
Recorder's Stamp Here

PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
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STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
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Designer: MJA
Draftsman: MJA
Proj Manager: CDS
Surveyor: XXXX
Perimeter Ck:
Book: XXX Pg: XXX
File: 2136 - FINAL - 3 - RECORD
Layout: RECORD

Table with 2 columns: Date, Description. Header: REVISIONS.

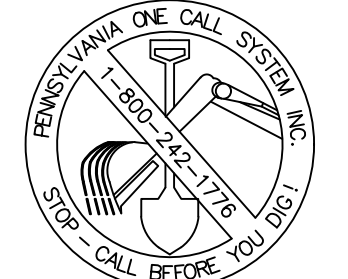
MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE

FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

FINAL LAND DEVELOPMENT PLANS

RECORD PLAN

PROJECT NO. 21316
DATE JANUARY 24, 2023
SCALE 1" = 30' SHEET NO. 3



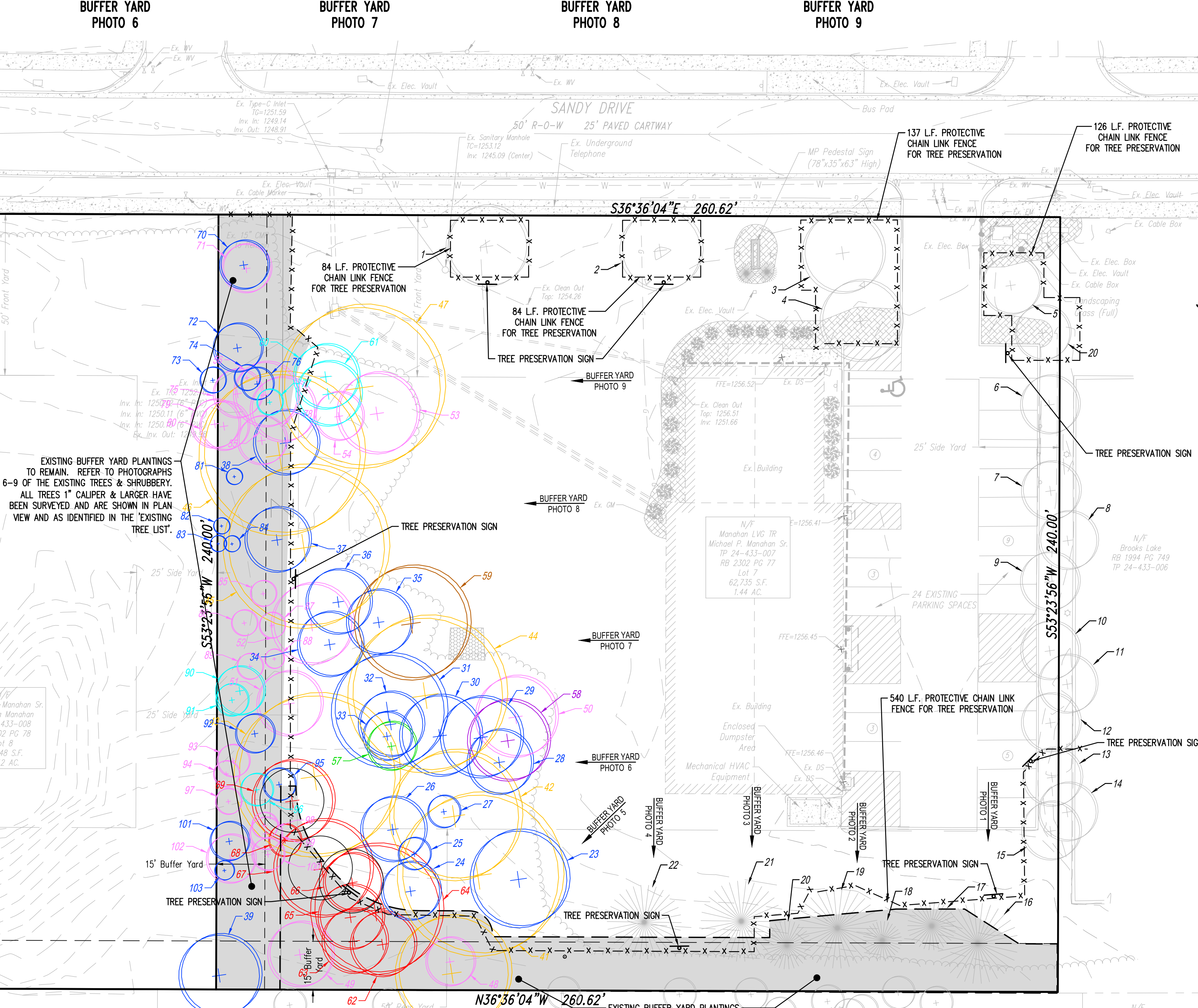
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA 1 CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY.







NO.	COMMON NAME	BOTANICAL NAME	CALIPER
1	RED OAK	QUERCUS RUBRA	12"
2	RED MAPLE	ACER RUBRUM	12"
3	RED MAPLE	ACER RUBRUM	12"
4	RED MAPLE	ACER RUBRUM	12"
5	EAST ASIAN CHERRY	PRUNUS SERRULATA	10"
6	RED MAPLE	ACER RUBRUM	9"
7	RED MAPLE	ACER RUBRUM	8"
8	RED MAPLE	ACER RUBRUM	9"
9	RED MAPLE	ACER RUBRUM	8"
10	RED MAPLE	ACER RUBRUM	8"
11	RED MAPLE	ACER RUBRUM	8"
12	RED MAPLE	ACER RUBRUM	9"
13	RED MAPLE	ACER RUBRUM	9"
14	RED MAPLE	ACER RUBRUM	10"
15	RED MAPLE	ACER RUBRUM	10"
16	WHITE PINE	PINUS STROBUS	10"
17	WHITE PINE	PINUS STROBUS	8"
18	WHITE PINE	PINUS STROBUS	6"
19	WHITE PINE	PINUS STROBUS	14"
20	EAST ASIAN CHERRY	PRUNUS SERRULATA	9"
21	WHITE PINE	PINUS STROBUS	12"
22	WHITE PINE	PINUS STROBUS	9"
23	BLACK CHERRY	PRUNUS SEROTINA	14"
24	BLACK CHERRY	PRUNUS SEROTINA	9"
25	BLACK CHERRY	PRUNUS SEROTINA	8"
26	BLACK CHERRY	PRUNUS SEROTINA	8"
27	BLACK CHERRY	PRUNUS SEROTINA	7"
28	BLACK CHERRY	PRUNUS SEROTINA	6"
29	BLACK CHERRY	PRUNUS SEROTINA	7"
30	BLACK CHERRY	PRUNUS SEROTINA	14"
31	BLACK CHERRY	PRUNUS SEROTINA	14"
32	BLACK CHERRY	PRUNUS SEROTINA	8"
33	BLACK CHERRY	PRUNUS SEROTINA	9"
34	BLACK CHERRY	PRUNUS SEROTINA	11"
35	BLACK CHERRY	PRUNUS SEROTINA	8"
36	BLACK CHERRY	PRUNUS SEROTINA	7"
37	BLACK CHERRY	PRUNUS SEROTINA	8"
38	BLACK CHERRY	PRUNUS SEROTINA	7"
39	BLACK CHERRY	PRUNUS SEROTINA	10"
40	RED OAK	QUERCUS RUBRA	15"
41	RED OAK	QUERCUS RUBRA	20"
42	RED OAK	QUERCUS RUBRA	17"
43	RED OAK	QUERCUS RUBRA	27"
44	RED OAK	QUERCUS RUBRA	24"
45	RED OAK	QUERCUS RUBRA	22"
46	RED OAK	QUERCUS RUBRA	22"
47	RED OAK	QUERCUS RUBRA	27"
48	SUGAR MAPLE	ACER SACCHARUM	8"
49	RED MAPLE	ACER RUBRUM	7"
50	RED MAPLE	ACER RUBRUM	14"
51	RED MAPLE	ACER RUBRUM	14"
52	RED MAPLE	ACER RUBRUM	14"
53	RED MAPLE	ACER RUBRUM	7"
54	RED MAPLE	ACER RUBRUM	7"
55	RED MAPLE	ACER RUBRUM	7"
56	RED MAPLE	ACER RUBRUM	7"
57	WHITE OAK	QUERCUS ALBA	7"
58	BEECH	FAGUS	8"
59	BLACK WALNUT	JUGLANS NIGRA	12"
60	ASH	FRAXINUS	7"
61	ASH	FRAXINUS	7"
62	ASPEN	POPULUS TREMULOIDES	10"
63	ASPEN	POPULUS TREMULOIDES	12"
64	ASPEN	POPULUS TREMULOIDES	15"
65	ASPEN	POPULUS TREMULOIDES	6"
66	ASPEN	POPULUS TREMULOIDES	7"
67	ASPEN	POPULUS TREMULOIDES	16"
68	ASPEN	POPULUS TREMULOIDES	6"
69	ASPEN	POPULUS TREMULOIDES	7"
70	BLACK CHERRY	PRUNUS SEROTINA	2"
71	RED MAPLE	ACER RUBRUM	4"
72	BLACK CHERRY	PRUNUS SEROTINA	5"
73	BLACK CHERRY	PRUNUS SEROTINA	2"
74	BLACK CHERRY	PRUNUS SEROTINA	3"
75	RED MAPLE	ACER RUBRUM	4"
76	BLACK CHERRY	PRUNUS SEROTINA	4"
77	ASH	FRAXINUS	2"
78	RED MAPLE	ACER RUBRUM	3"
79	RED MAPLE	ACER RUBRUM	3"
80	RED MAPLE	ACER RUBRUM	4"
81	BLACK CHERRY	PRUNUS SEROTINA	1"
82	BLACK CHERRY	PRUNUS SEROTINA	2"
83	BLACK CHERRY	PRUNUS SEROTINA	2"
84	BLACK CHERRY	PRUNUS SEROTINA	1"
85	RED MAPLE	ACER RUBRUM	3"
86	RED MAPLE	ACER RUBRUM	1"
87	RED MAPLE	ACER RUBRUM	2"
88	RED MAPLE	ACER RUBRUM	2"
89	RED MAPLE	ACER RUBRUM	3"
90	ASH	FRAXINUS	4"
91	ASH	FRAXINUS	2"
92	BLACK CHERRY	PRUNUS SEROTINA	4"
93	RED MAPLE	ACER RUBRUM	3"
94	RED MAPLE	ACER RUBRUM	1"
95	BLACK CHERRY	PRUNUS SEROTINA	3"
96	ASH	FRAXINUS	2"
97	RED MAPLE	ACER RUBRUM	2"
98	RED MAPLE	ACER RUBRUM	1"
99	RED MAPLE	ACER RUBRUM	2"
100	RED MAPLE	ACER RUBRUM	3"
101	BLACK CHERRY	PRUNUS SEROTINA	3"
102	RED MAPLE	ACER RUBRUM	3"
103	BLACK CHERRY	PRUNUS SEROTINA	3"



**LANDSCAPE NOTE:**  
ALL TREES AND SHRUBS SHALL BE PLANTED IN ACCORDANCE WITH THE 'GUIDE TO PLANTING IN FERGUSON TOWNSHIP'.

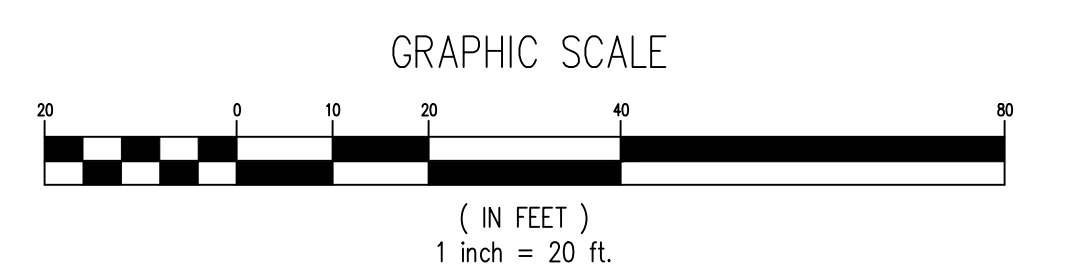
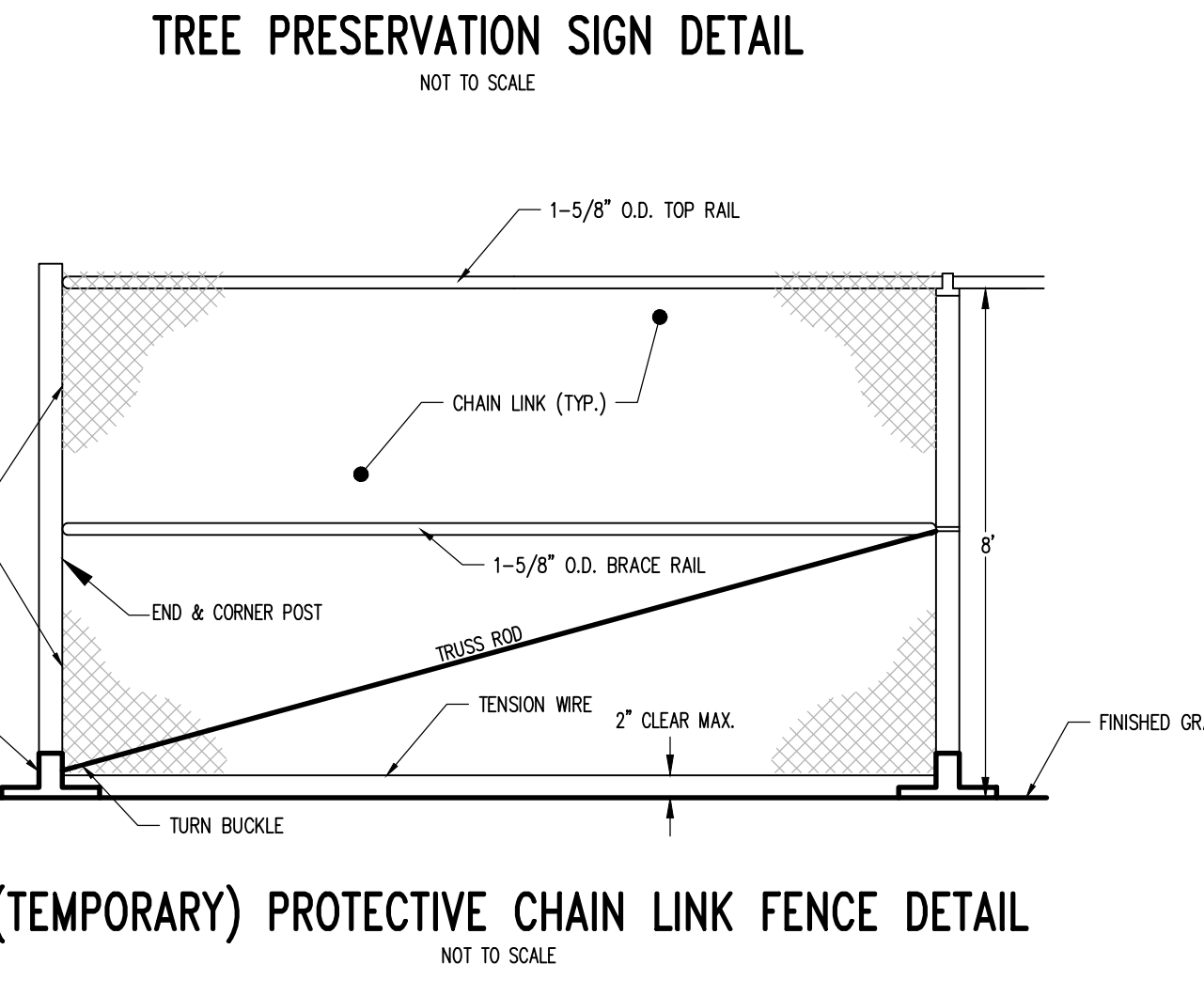
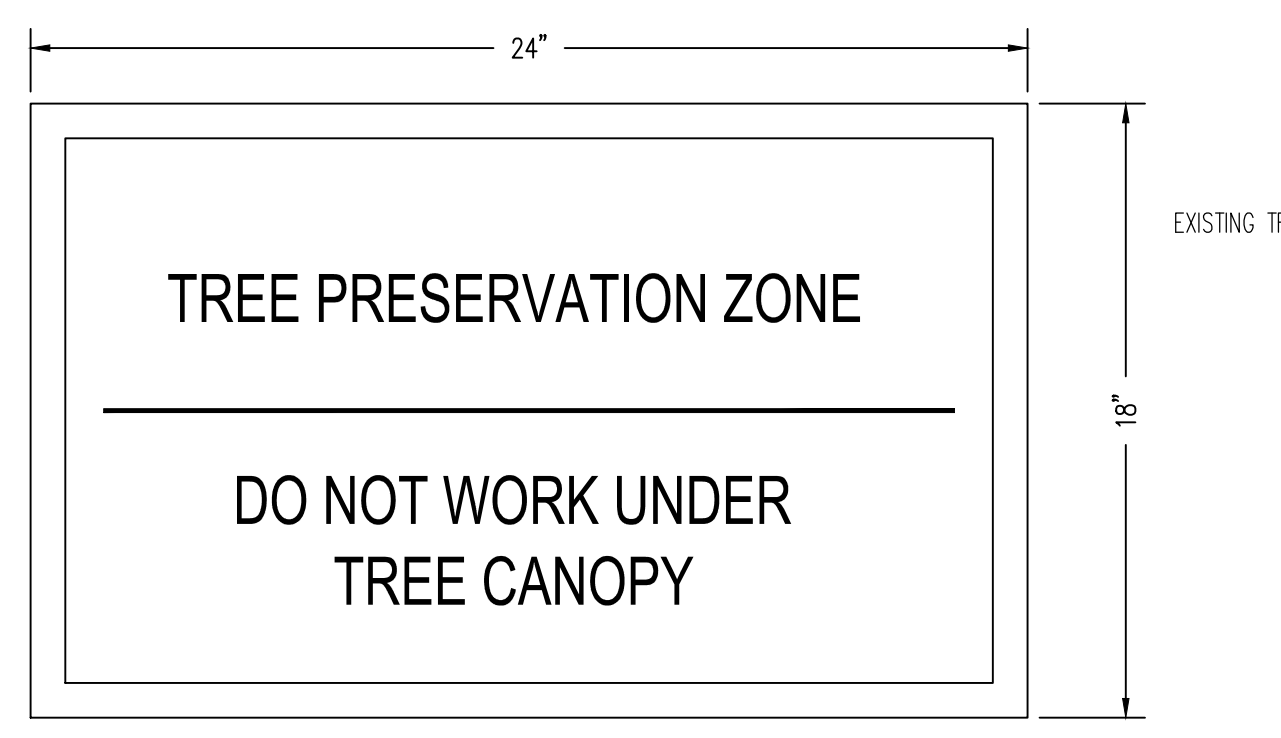
**PROTECTIVE TREE NOTES:**  
1. PROPOSED 6' PROTECTIVE CHAINLINK FENCES SHALL BE INSTALLED PRIOR TO ANY AND ALL EARTH DISTURBANCE. THE FENCE MAY BE REMOVED ONLY AFTER CONSTRUCTION IS COMPLETED AND THE TOWNSHIP ARBORIST HAS PROVIDED WRITTEN ACKNOWLEDGEMENT THAT THE FENCE CAN BE REMOVED.  
2. THE TREES AT THE PROPERTY SHALL BE PRESERVED AS SHOWN  
3. UPON APPROVAL OF ANY PERMIT SUBJECT TO THIS ORDINANCE, AND PRIOR TO ANY CONSTRUCTION, OR EARTH DISTURBANCE ON THE SITE, A PRECONSTRUCTION CONFERENCE SHALL BE HELD ON THE SITE BETWEEN THE TOWNSHIP ARBORIST AND THE APPLICANT.  
4. THE CONTRACTOR SHALL HIRE AN ARBORIST TO OVERSEE THE PROTECTION, PRESERVATION AND RAISING AND LIFTING CANOPIES BEFORE CONSTRUCTION ACTIVITIES BEGIN. THE HIRED ARBORIST SHALL COORDINATE ALL ACTIVITIES WITH THE TOWNSHIP AUTHORITIES.

### EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Landscaped Areas
- Existing Retaining Wall
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Service Lateral
- Existing Storm Sewer Line w/ Inlet
- Existing Fire Hydrant
- Existing Manhole
- Existing Storm Sewer Inlet Type-M
- Existing Storm Sewer Inlet Type-C
- Existing Utility Main Valve
- Existing Utility Lateral Valve
- Existing Utility Meter
- Existing Ballard
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Flood Light
- Existing Sign
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

### SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Roadway Center Line
- Property Corner Found
- Property Corner To Be Set
- TREE PRESERVATION SIGN



**NOTE:**  
THE HIGHLIGHTED TREES (GREY BOXES) IN THE ABOVE TABLE SHALL BE REMOVED IN ORDER TO DEVELOP THE MP MACHINERY & TESTING LAND DEVELOPMENT AS DESIGNED. 40 OF THE 69 TREES WITH 6" CALIPER AND LARGER WILL BE REMOVED.

**TREE PRESERVATION NOTE:**  
THE DEVELOPER SHALL REMOVE 40 OF THE 69 TREES WITH 6" CALIPER AND LARGER, AS IDENTIFIED IN THE EXISTING TREE LIST (TABLE). 40 OF 69 TREES IS 58% OF THE TREES REMOVED. 42% OF THE TREES WILL REMAIN. THIS INCLUDES THE BUFFER YARD TO THE RESIDENTIAL NEIGHBORHOOD TO THE REAR. REFER TO THE NOTE AND PHOTOGRAPHS OF THE EXISTING BUFFER YARD. ALSO, THE ENTIRE TWENTY FEET OF TREES ALONG THE WESTERN PROPERTY LINE SHALL REMAIN; THAT AREA ALONG 240 LINEAR FEET IS 4,800 SQUARE FEET.

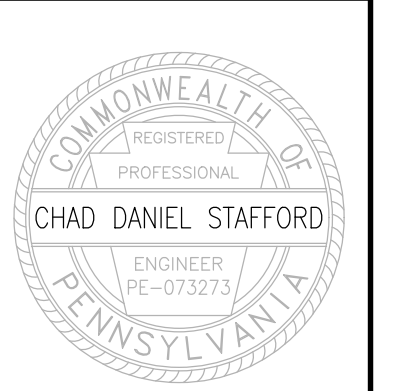
EXISTING BUFFER YARD PLANTINGS TO REMAIN. REFER TO THE PHOTOGRAPHS (1-5) OF THE EXISTING TREE AND SHRUBBERY. NOTE THAT ADDITIONAL TREES SHALL BE PLANTED TO MEET OR EXCEED THE TOWNSHIP BUFFER YARD REQUIREMENTS. SEE SHEET 6 FOR THAT DETAIL.

**PennTerra ENGINEERING INC.**  
CENTRAL PENNSYLVANIA REGION OFFICE:  
3075 ENTERPRISE DRIVE  
SUITE 100  
STATE COLLEGE, PA 16801  
PH: 814-231-8285  
Fax: 814-237-2308

**LANCASTER REGION OFFICE:**  
3904 B ABEL DRIVE  
COLUMBIA, PA 17512  
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Draftsman	MJA
Proj Manager	CDS
Surveyor	XXX
Perimeter Ck.	
Book	XXX Pg. XXX
File	2136 - FINAL - 5 - TREE PLAN
Project	MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE
Date	
Description	
REVISIONS	

**MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE**

FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

**FINAL LAND DEVELOPMENT PLANS**

**EXISTING TREE PLAN AND TREE PRESERVATION PLAN**

PROJECT NO. 21316  
DATE JANUARY 24, 2023  
SCALE 1" = 20'  
SHEET NO. 5

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**COMMONWEALTH OF PENNSYLVANIA**  
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 CHAD DANIEL STAFFORD  
 ENGINEER  
 PE-073373

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 File: 21316 - FINAL - 6 - LANDSCAPE  
 Layout: LANDSCAPE PLAN

Date: \_\_\_\_\_ Description: \_\_\_\_\_  
 REVISIONS

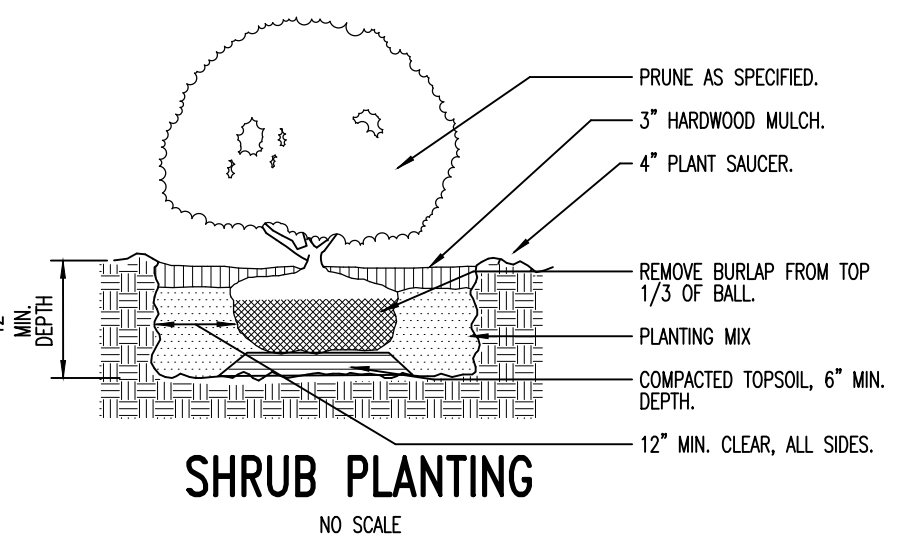
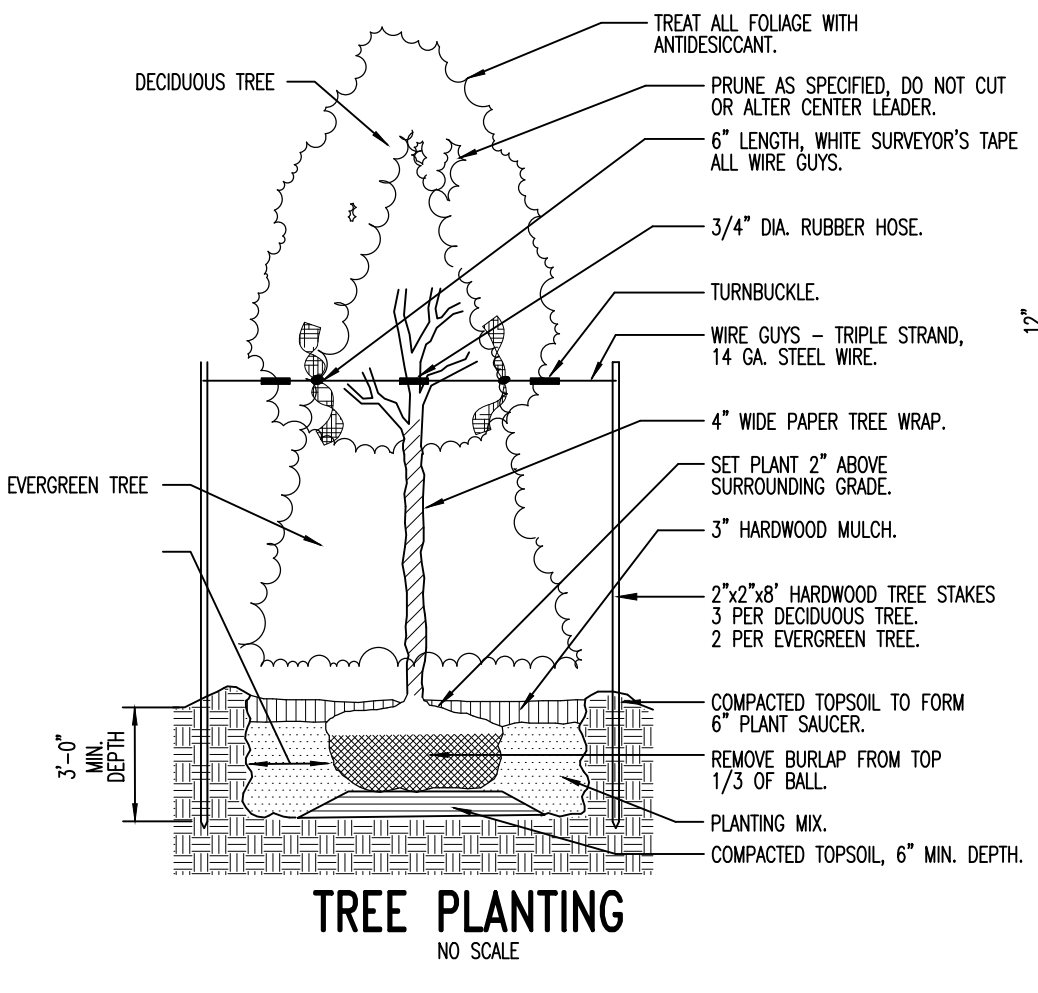
**MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE**

FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

**FINAL LAND DEVELOPMENT PLANS**

**LANDSCAPE PLAN**

PROJECT NO. 21316  
 DATE: JANUARY 24, 2023  
 SCALE: 1" = 20'  
 SHEET NO. 6



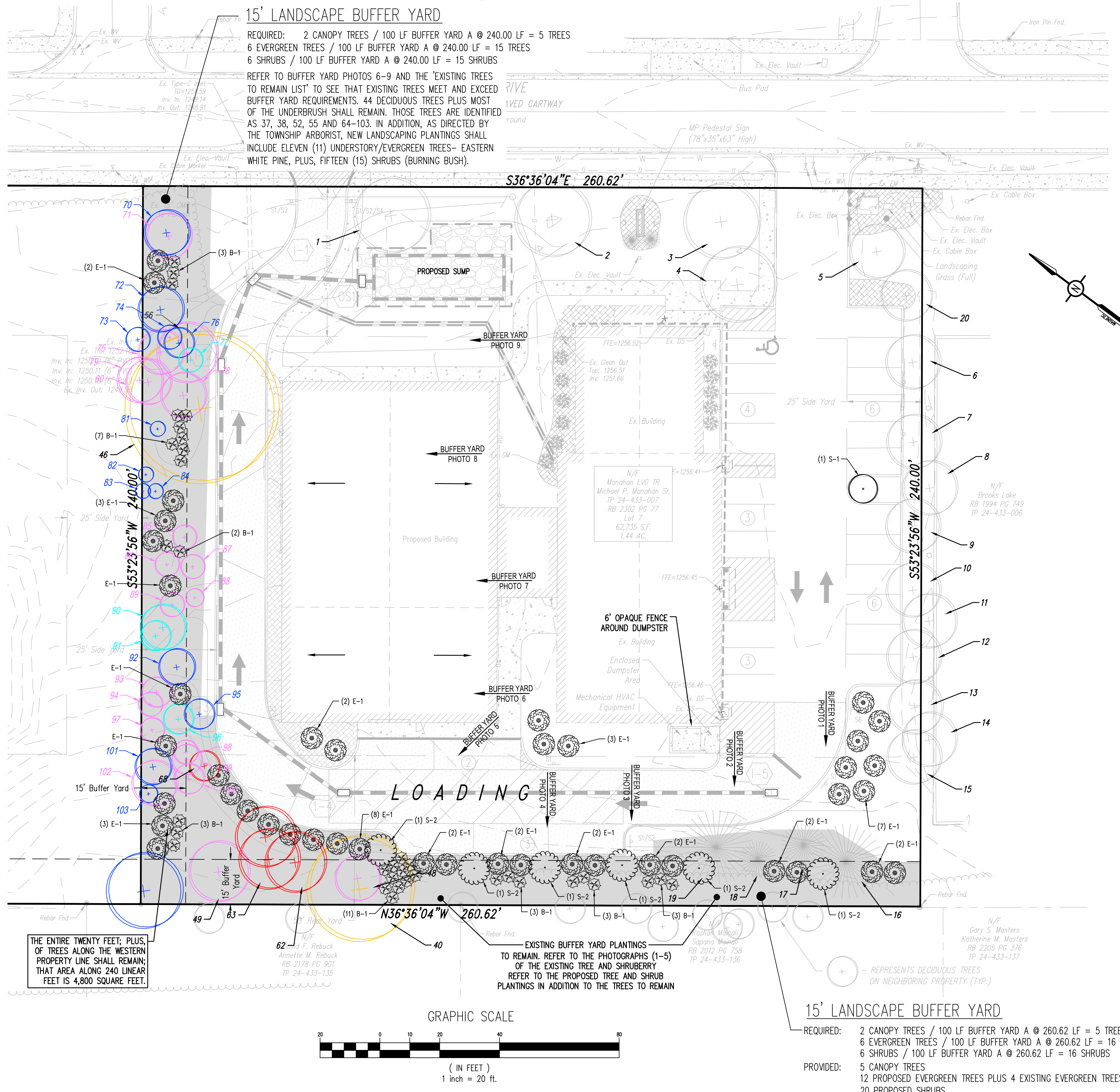
- LANDSCAPING NOTES:**
- ALL PLANTS SHALL BE MULCHED WITH 3-4" OF SHREDDED HARDWOOD BARK MULCH, WELL-AGED AND DARK BLACK IN COLOR.
  - INDIVIDUAL TREES NOT INCLUDED IN A CONTINUOUS BED ARE TO BE MULCHED AT THEIR BASE OVER A 4" DIAMETER CIRCLE.
  - ALL GROUP SHRUB PLANTINGS SHALL BE MULCHED IN CONTINUOUS BEDS ENCOMPASSING ALL OF THE PLANTS.
  - QUANTITIES OF PLANT MATERIALS NOTED ON THE PLANTING SCHEDULE ARE TO BE VERIFIED WITH QUANTITIES SHOWN ON THE PLAN WHICH WILL HAVE PRIORITY.
  - SUBSTITUTIONS OF ANY PLANT MATERIAL SHALL BE APPROVED BY FERGUSON TOWNSHIP AND THE OWNER PRIOR TO PLANTING.
  - ALL UNPAVED AREAS ON THE SITE NOT PLANTED WITH TREES AND/OR SHRUBS ARE TO BE PERMANENTLY SEEDED WITH A HARDY PERENNIAL GRASS SEED MIXTURE AFTER FINE GRADING IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS UNLESS OTHERWISE NOTED.
  - THE LANDSCAPE CONTRACTOR MUST PROVIDE A ONE-YEAR GUARANTEE ON ALL PLANT MATERIAL TO INCLUDE THE REPLACEMENT OF THE PLANTS AND INSTALLATION OF THOSE PLANTS WHICH DO NOT SURVIVE THE YEAR FOLLOWING ACCEPTANCE OF LANDSCAPING BY THE OWNER.
  - THE LANDSCAPE CONTRACTOR SHALL KEEP ALL NEW PLANTINGS WATERED OVER THE COURSE OF THE PROJECT & GUARANTEE PERIOD. THE OWNER SHALL PROVIDE A WATERING SOURCE ON SITE FOR THIS PURPOSE. THE LAWN AREAS SHALL BE WATERED BY THE CONTRACTOR UPON INSTALLATION.
  - ALL DISTRIBUTED AREAS NOT PROPOSED FOR PAVING SHALL HAVE 6" OF TOPSOIL SPREAD UNIFORMLY TO THE PROPOSED FINISH GRADE.

**PLANTING SCHEDULE**

SYMBOL	KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE	MATURE HT.	MATURE SPREAD
<b>CANOPY TREES</b>							
(Symbol)	S-1	1	RED MAPLE	ACER RUBRUM	2 1/2" CAL.	40'-60'	40'
(Symbol)	S-2	6	ASPEN	POPULUS TREMULOIDES	2 1/2" CAL.	40'-60'	30'
<b>UNDERSTORY / EVERGREEN TREES</b>							
(Symbol)	E-1	43	EASTERN WHITE PINE	PINE STROBUS	6' HT.	50'-80'	20'-40'
<b>SHRUBS</b>							
(Symbol)	B-1	35	PJM RHODODENDRON	RHODODENDRON PJM	4'-6' HT.	6'	12'

- EXISTING FEATURES LEGEND**
- Existing Building
  - Existing Curbing & Edge of Pavement
  - Existing Concrete Areas
  - Existing Landscaped Areas
  - Existing Retaining Wall
  - Existing Contours w/ Elevation (1's & 2's)
  - Existing Contours w/ Elevation (5's & 10's)
  - Existing Sanitary Sewer w/ Manhole
  - Existing Water Service Lateral
  - Existing Storm Sewer Line w/ Inlet
  - Existing Fire Hydrant
  - Existing Manhole
  - Existing Storm Sewer Inlet Type-M
  - Existing Storm Sewer Inlet Type-C
  - Existing Utility Main Valve
  - Existing Utility Lateral Valve
  - Existing Utility Meter
  - Existing Bollard
  - Existing Clean-Out
  - Existing Light Pole/Standard
  - Existing Flood Light
  - Existing Sign
  - Existing Deciduous Tree
  - Existing Evergreen Tree
  - Existing Shrub

- SURVEY FEATURES LEGEND**
- Property Line, Lot Line or Right of Way Line
  - Adjoining Property Line
  - Building Setback Line
  - Roadway Center Line
  - Property Corner Found
  - Property Corner To Be Set



THE ENTIRE TWENTY FEET, PLUS OF TREES ALONG THE WESTERN PROPERTY LINE SHALL REMAIN; THAT AREA ALONG 240 LINEAR FEET IS 4,800 SQUARE FEET.

EXISTING BUFFER YARD PLANTINGS TO REMAIN. REFER TO THE PHOTOGRAPHS (1-5) OF THE EXISTING TREE AND SHRUBBERY. REFER TO THE PROPOSED TREE AND SHRUB PLANTINGS IN ADDITION TO THE TREES TO REMAIN

**15' LANDSCAPE BUFFER YARD**

REQUIRED: 2 CANOPY TREES / 100 LF BUFFER YARD A @ 260.62 LF = 5 TREES  
 6 EVERGREEN TREES / 100 LF BUFFER YARD A @ 260.62 LF = 16 TREES  
 6 SHRUBS / 100 LF BUFFER YARD A @ 260.62 LF = 16 SHRUBS

PROVIDED: 5 CANOPY TREES  
 12 PROPOSED EVERGREEN TREES PLUS 4 EXISTING EVERGREEN TREES: 16 TOTAL  
 20 PROPOSED SHRUBS

REFER TO BUFFER YARD PHOTOS 1-5.

**EXISTING TREES TO REMAIN LIST**

NO.	COMMON NAME	BOTANICAL NAME	CALIPER
1	RED OAK	QUERCUS RUBRA	12"
2	RED MAPLE	ACER RUBRUM	12"
3	RED MAPLE	ACER RUBRUM	12"
5	EAST ASIAN CHERRY	PRUNUS SERRULATA	10"
6	RED MAPLE	ACER RUBRUM	9"
7	RED MAPLE	ACER RUBRUM	8"
8	RED MAPLE	ACER RUBRUM	9"
9	RED MAPLE	ACER RUBRUM	8"
10	RED MAPLE	ACER RUBRUM	8"
11	RED MAPLE	ACER RUBRUM	8"
12	RED MAPLE	ACER RUBRUM	9"
13	RED MAPLE	ACER RUBRUM	9"
14	RED MAPLE	ACER RUBRUM	10"
15	RED MAPLE	PINUS STROBUS	10"
16	WHITE PINE	PINUS STROBUS	10"
17	WHITE PINE	PINUS STROBUS	8"
18	WHITE PINE	PINUS STROBUS	6"
19	WHITE PINE	PINUS STROBUS	14"
20	EAST ASIAN CHERRY	PRUNUS SERRULATA	9"
39	BLACK CHERRY	PRUNUS SEROTINA	10"
40	RED OAK	QUERCUS RUBRA	15"
46	RED OAK	QUERCUS RUBRA	22"
48	SUGAR MAPLE	ACER SACCHARUM	6"
49	RED MAPLE	ACER RUBRUM	7"
56	RED MAPLE	ACER RUBRUM	7"
62	ASPEN	POPULUS TREMULOIDES	10"
63	ASPEN	POPULUS TREMULOIDES	12"
65	ASPEN	POPULUS TREMULOIDES	6"
68	ASPEN	POPULUS TREMULOIDES	6"
70	BLACK CHERRY	PRUNUS SEROTINA	2"
72	BLACK CHERRY	PRUNUS SEROTINA	5"
73	BLACK CHERRY	PRUNUS SEROTINA	2"
74	BLACK CHERRY	PRUNUS SEROTINA	3"
75	RED MAPLE	ACER RUBRUM	4"
76	BLACK CHERRY	PRUNUS SEROTINA	4"
77	ASH	FRAXINUS	2"
78	RED MAPLE	ACER RUBRUM	3"
79	RED MAPLE	ACER RUBRUM	4"
80	RED MAPLE	ACER RUBRUM	4"
81	BLACK CHERRY	PRUNUS SEROTINA	1"
82	BLACK CHERRY	PRUNUS SEROTINA	2"
83	BLACK CHERRY	PRUNUS SEROTINA	2"
84	BLACK CHERRY	PRUNUS SEROTINA	1"
85	RED MAPLE	ACER RUBRUM	3"
86	RED MAPLE	ACER RUBRUM	1"
87	RED MAPLE	ACER RUBRUM	2"
88	RED MAPLE	ACER RUBRUM	2"
89	RED MAPLE	ACER RUBRUM	3"
90	ASH	FRAXINUS	4"
91	ASH	FRAXINUS	2"
92	BLACK CHERRY	PRUNUS SEROTINA	4"
93	RED MAPLE	ACER RUBRUM	3"
94	RED MAPLE	ACER RUBRUM	1"
95	BLACK CHERRY	PRUNUS SEROTINA	3"
96	ASH	FRAXINUS	2"
97	RED MAPLE	ACER RUBRUM	2"
98	RED MAPLE	ACER RUBRUM	1"
99	RED MAPLE	ACER RUBRUM	2"
100	RED MAPLE	ACER RUBRUM	2"
101	BLACK CHERRY	PRUNUS SEROTINA	3"
102	RED MAPLE	ACER RUBRUM	3"
103	BLACK CHERRY	PRUNUS SEROTINA	3"



**LIGHTING FIXTURE SCHEDULE**

TAG	MANUFACTURER & SERIES	DESCRIPTION	PERFORMANCE				MOUNTING		COMMENTS
			LIGHT SOURCE	VOLTAGE (V)	LUMINAIRE WATTS (W)	DELIVERED LUMENS (LM)	COLOR TEMP (K)	TYPE	
LF-E	LITHONIA : WDGE1-P1-40K-80CRI-VW-MVOLT	9"W x 8"H x 5.5"D ARCHITECTURAL EXTERIOR WALL PACK (SMALL) WITH BLACK FINISH, P1 PACKAGE WITH VISUAL COMFORT WIDE DISTRIBUTION.	LED	MVOLT	10.0W	1,229	4,000	9'-0" AFF	5 PROPOSED
LF-F	LITHONIA: WDGE3-P1-40K-70CRI-R2-MVOLT	18"W x 9"H x 8"D ARCHITECTURAL EXTERIOR WALL PACK (LARGE) WITH BLACK FINISH, P1 PACKAGE WITH R2 (TYPE 2) DISTRIBUTION.	LED	MVOLT	52.0W	7,649	4,000	15'-0" AFF	3 PROPOSED
LF-R	LUMARK - MHWL250MT	EXISTING WALL PACK	M.H.	120V	250W	16,400	4,000	EXISTING BUILDING 15'-0" AFF	2 EXISTING
LF-S	GE - SBF017MA	EXISTING BUILDING FLOOD	M.H.	120V	175W	10,350	4,000	EXISTING GROUND	2 EXISTING
LF-T	LUMARK - YM70	EXISTING SIGN FLOOD	M.H.	120V	70W	3,400	4,000	EXISTING GROUND	2 EXISTING

NOTES:

**EXISTING FEATURES LEGEND**

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Landscaped Areas
- Existing Retaining Wall
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Service Lateral
- Existing Storm Sewer Line w/ Inlet
- Existing Fire Hydrant
- Existing Manhole
- Existing Storm Sewer Inlet Type-M
- Existing Storm Sewer Inlet Type-C


- Existing Utility Main Valve
- Existing Utility Lateral Valve
- Existing Utility Meter
- Existing Ballast
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Flood Light
- Existing Sign
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

**SURVEY FEATURES LEGEND**

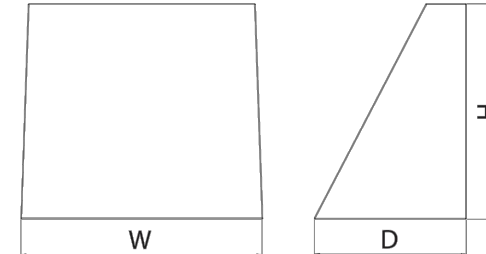
- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Roadway Center Line
- Property Corner Found
- Property Corner To Be Set

**NOTE:**  
ALL SIGHT LIGHTING EXISTING AND PROPOSED SHALL BE PRIMARILY BUILDING WALL PACKS; MOUNTED AT DIMENSION "AFF" (ABOVE FINISH FLOOR)


**WDGE1 LED**  
Architectural Wall Sconce



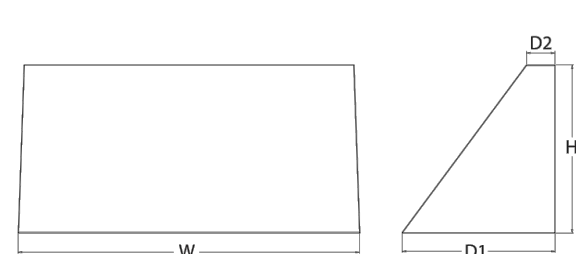
**Specifications**  
Depth: 5.5"  
Height: 8"  
Width: 9"  
Weight: 9 lbs (without options)




**WDGE3 LED**  
Architectural Wall Sconce



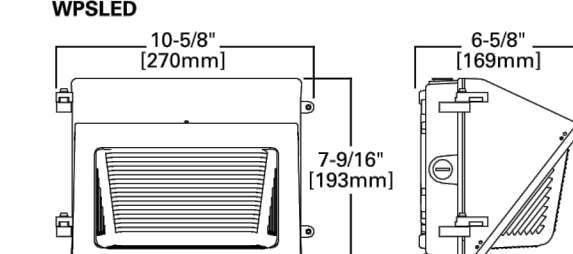
**Specifications**  
Depth (D1): 8"  
Depth (D2): 1.5"  
Height: 9"  
Width: 18"  
Weight: 19.5 lbs (without options)



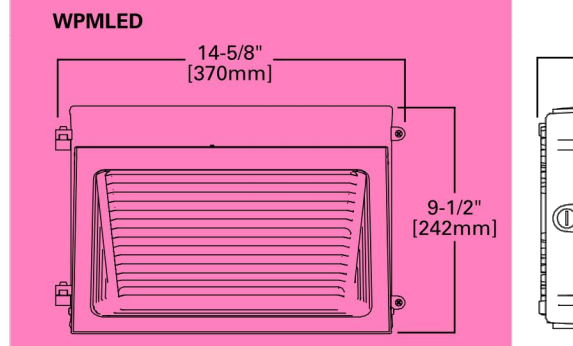
**PROPOSED WALL PACK LIGHTS**



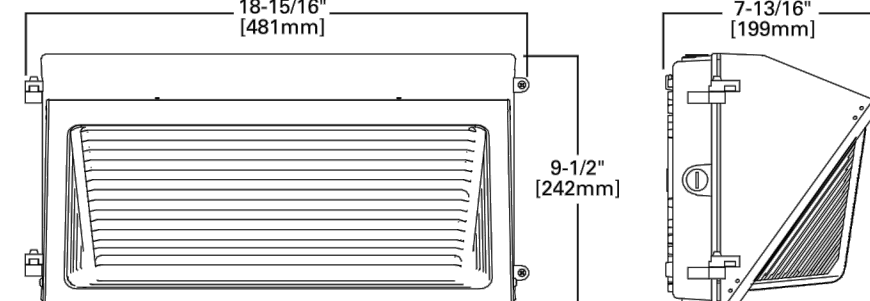
**WPSLED**  
10-5/8" [270mm]  
6-5/8" [169mm]  
7-9/16" [193mm]



**WPMLED**  
14-5/8" [370mm]  
7-3/4" [197mm]  
9-1/2" [242mm]

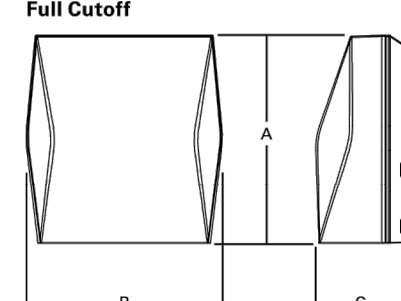


**WPLLED**  
18-15/16" [481mm]  
7-13/16" [199mm]  
9-1/2" [242mm]

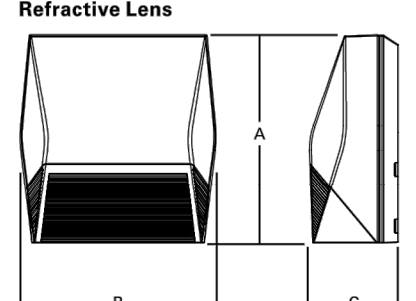


**EXISTING WALL PACK LIGHTS**

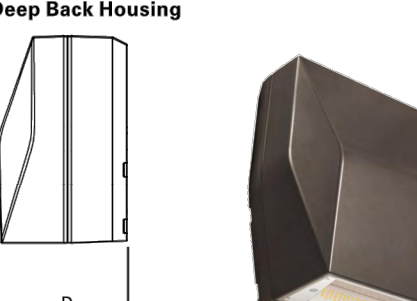
**Full Cutoff**




**Refractive Lens**



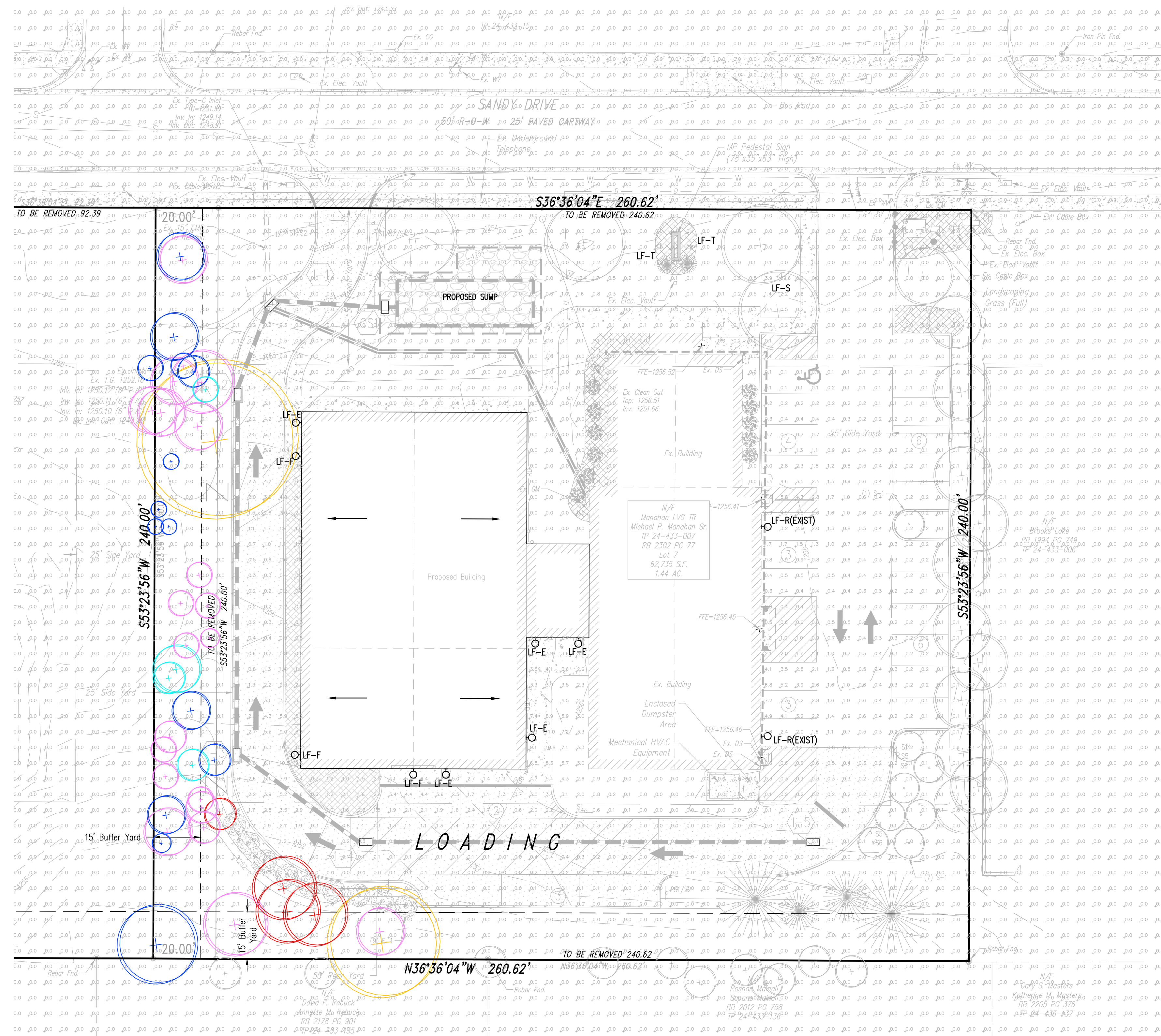
**Deep Back Housing**



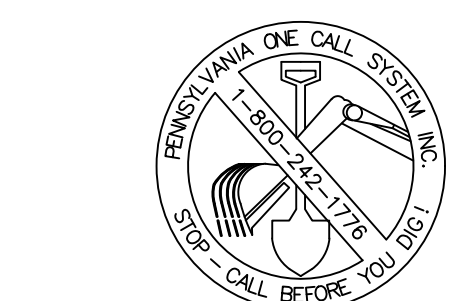
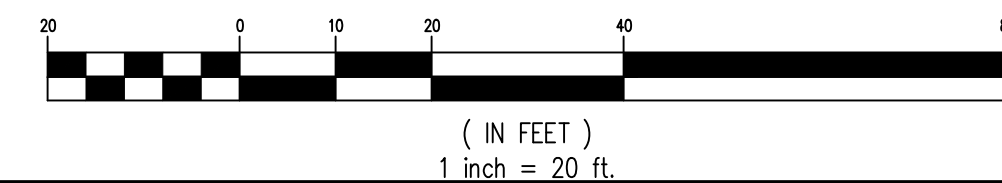


Dimensional Data	AXCS Small	AXCL Large
A	8" [202mm]	11-1/2" [292mm]
B	7-1/2" [190mm]	10-3/4" [273mm]
C	3-5/8" [94mm]	4-7/8" [124mm]
D	6-1/8" [155mm]	7-1/8" [181mm]

**EXISTING WALL PACK LIGHTS**



**GRAPHIC SCALE**

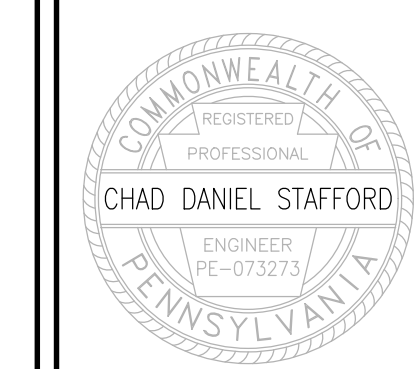


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File	2136 - FINAL - 7 - LIGHTING
Layout	LIGHTING PLAN

Date	Description

**MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE**

FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

**FINAL LAND DEVELOPMENT PLANS**

**LIGHTING PLAN**

PROJECT NO.	21316
DATE	JANUARY 24, 2023
SCALE	1" = 20'
SHEET NO.	7

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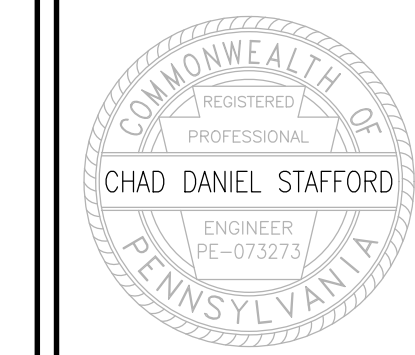


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Book: XXX Pg: XXX  
File: 21316 - FINAL - 8 - SITE CROSS SECTIONS  
Layout: SITE CROSS SECTIONS PLAN

Date	Description
	REVISIONS

**MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE**

FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

FINAL LAND DEVELOPMENT PLANS

SITE CROSS SECTIONS PLAN

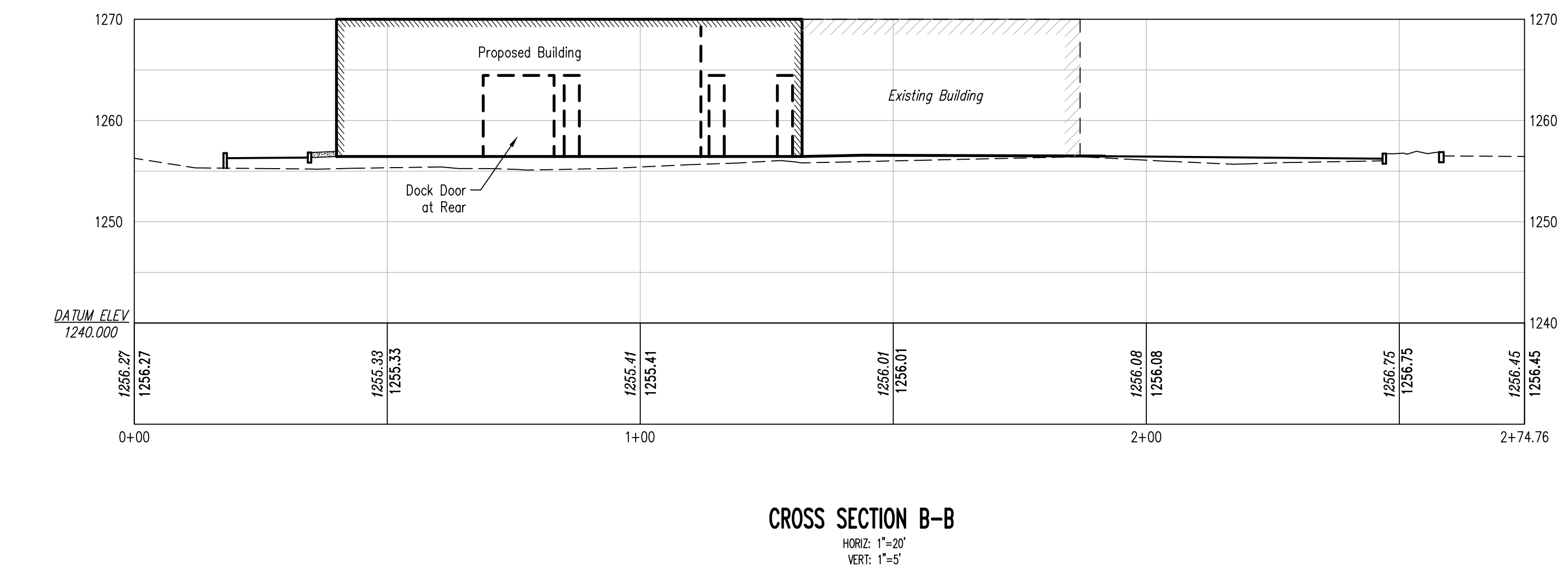
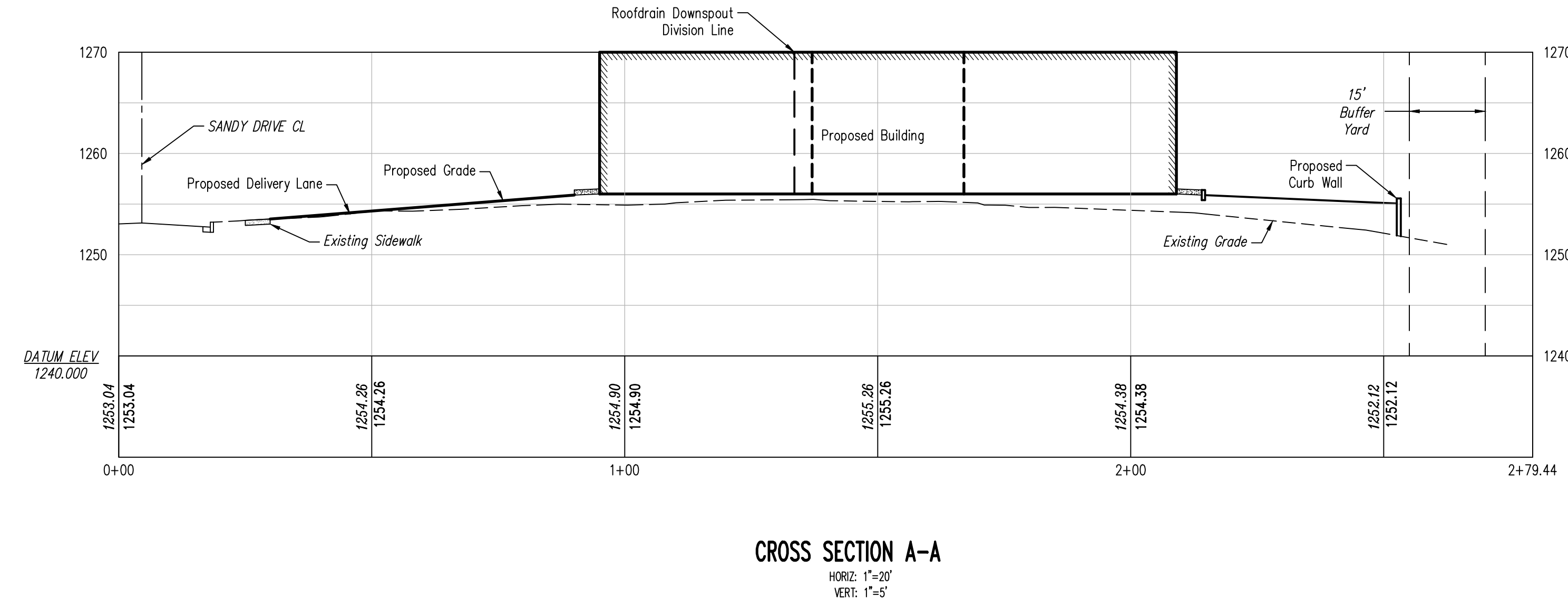
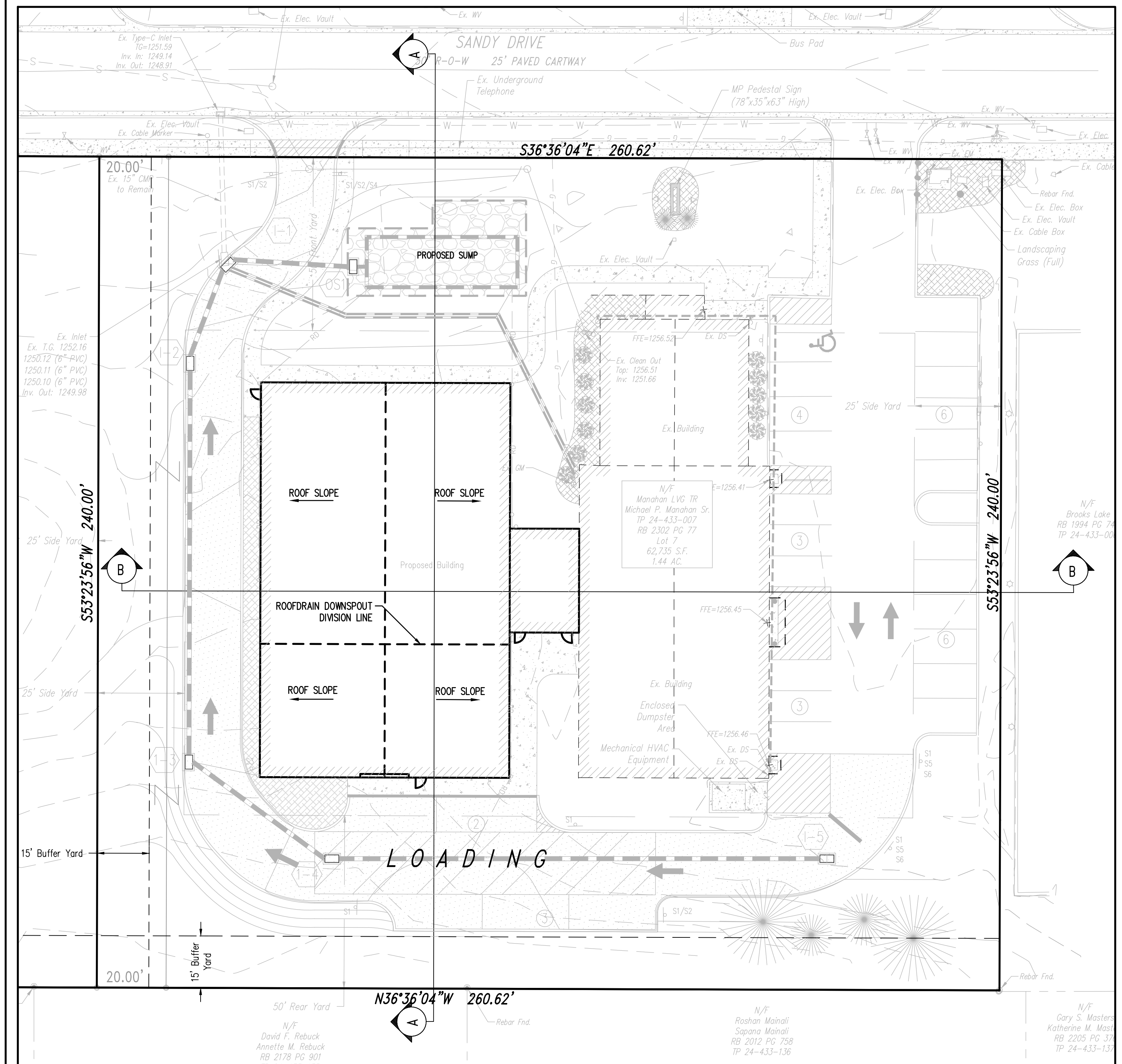
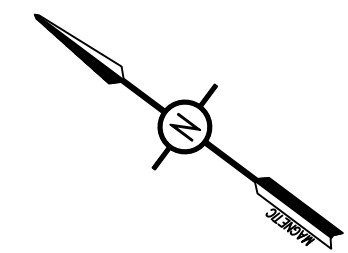
PROJECT NO.  
**21316**

DATE  
**JANUARY 24, 2023**

SCALE SHEET NO.  
**AS SHOWN 8**



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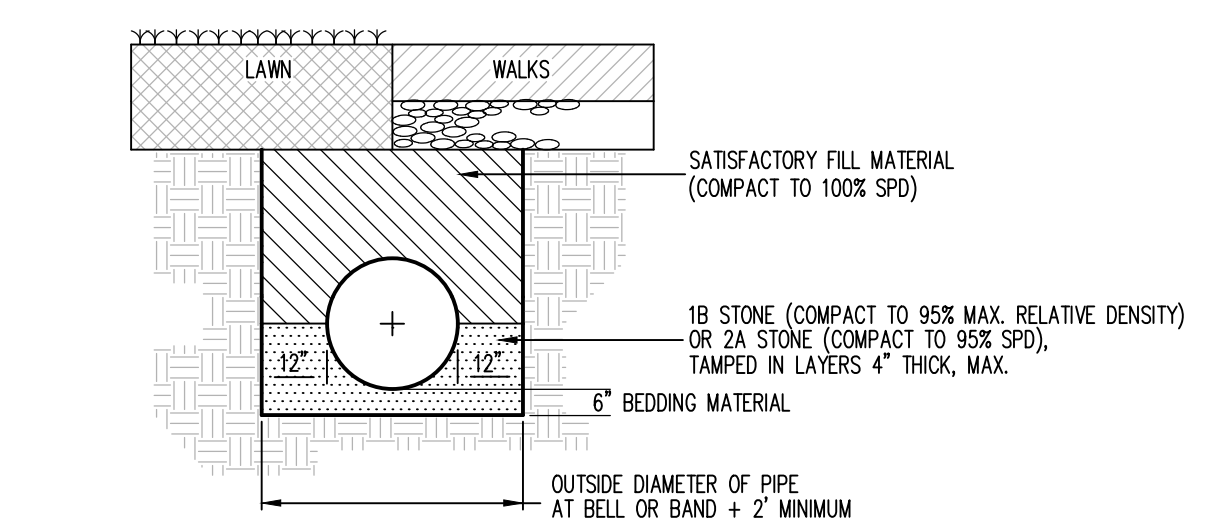
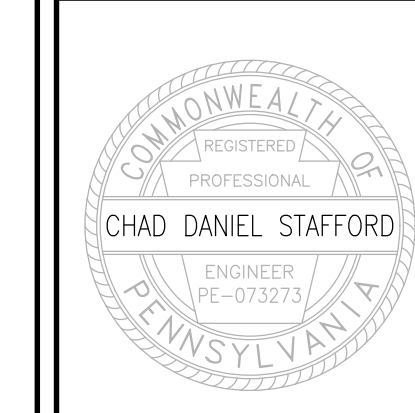


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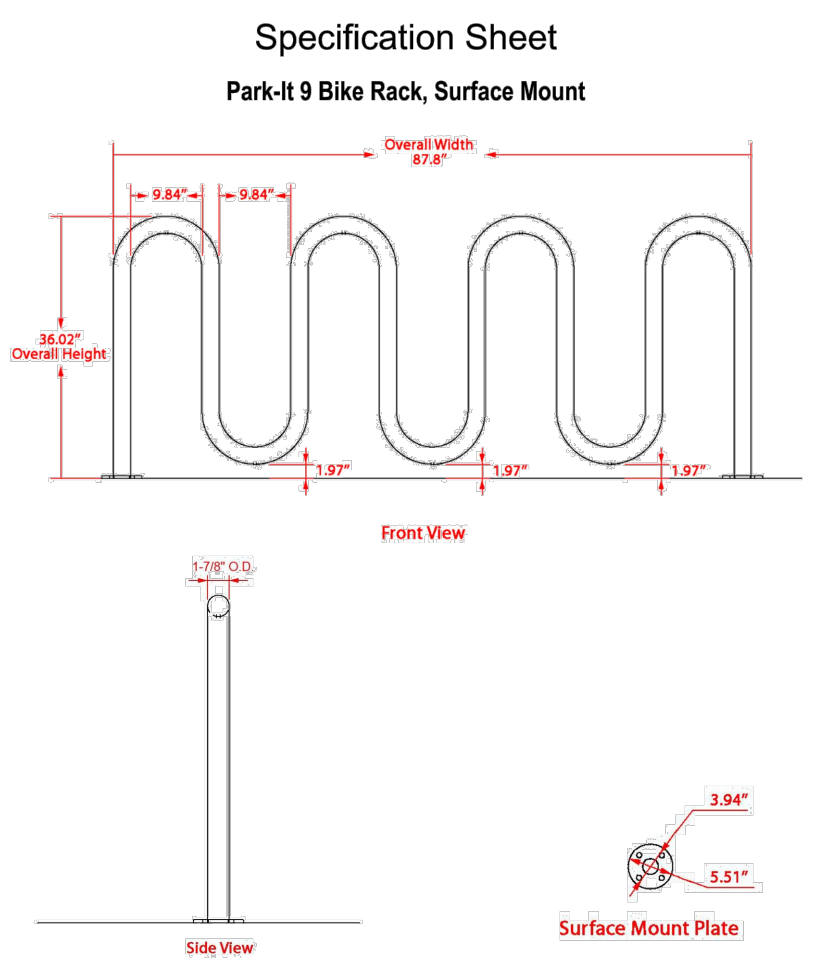
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- NOTES:**
- EXCAVATE THE TRENCH TO THE WIDTH OF THE OUTSIDE DIAMETER OF THE PIPE + 2" AND CREATE AN APPROPRIATE BEDDING 6" DEEP.
  - AT UNPAVED AREAS SUITABLE MATERIAL MAY BE UTILIZED THE ENTIRE DEPTH OF TRENCH (LESS 6" TOPSOIL). PLACEMENT AND COMPACTION TO BE AS NOTED FOR PAVED AREAS.
  - ALL STORM SEWER PIPE IS TO BE HIGH-DENSITY POLYETHYLENE (HDPE) AND HAVE A SMOOTH LINED INTERIOR WITH WATER-TIGHT JOINTS.
  - SATISFACTORY FILL MATERIAL: SOILS MEETING ASTM D2487 SOIL CLASSIFICATION GROUPS SM, SC, SH, SW, SC, SH, AND CL WITH LIQUID LIMIT NOT GREATER THAN 35, OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER; WITHIN 3% OF OPTIMUM MOISTURE CONTENT. (INCLUDES 2A)
  - PLACE SATISFACTORY FILL MATERIAL IN LAYERS 8" THICK MAX. COMPACT TO 100% SPD.
  - OWNER WILL ENGAGE A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM FIELD QUALITY ASSURANCE TESTING. NOTIFY TESTING AGENCY AT LEAST 48 HOURS PRIOR TO FILL PLACEMENT ACTIVITIES. ALLOW TESTING AGENCY TO INSPECT AND TEST SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS.

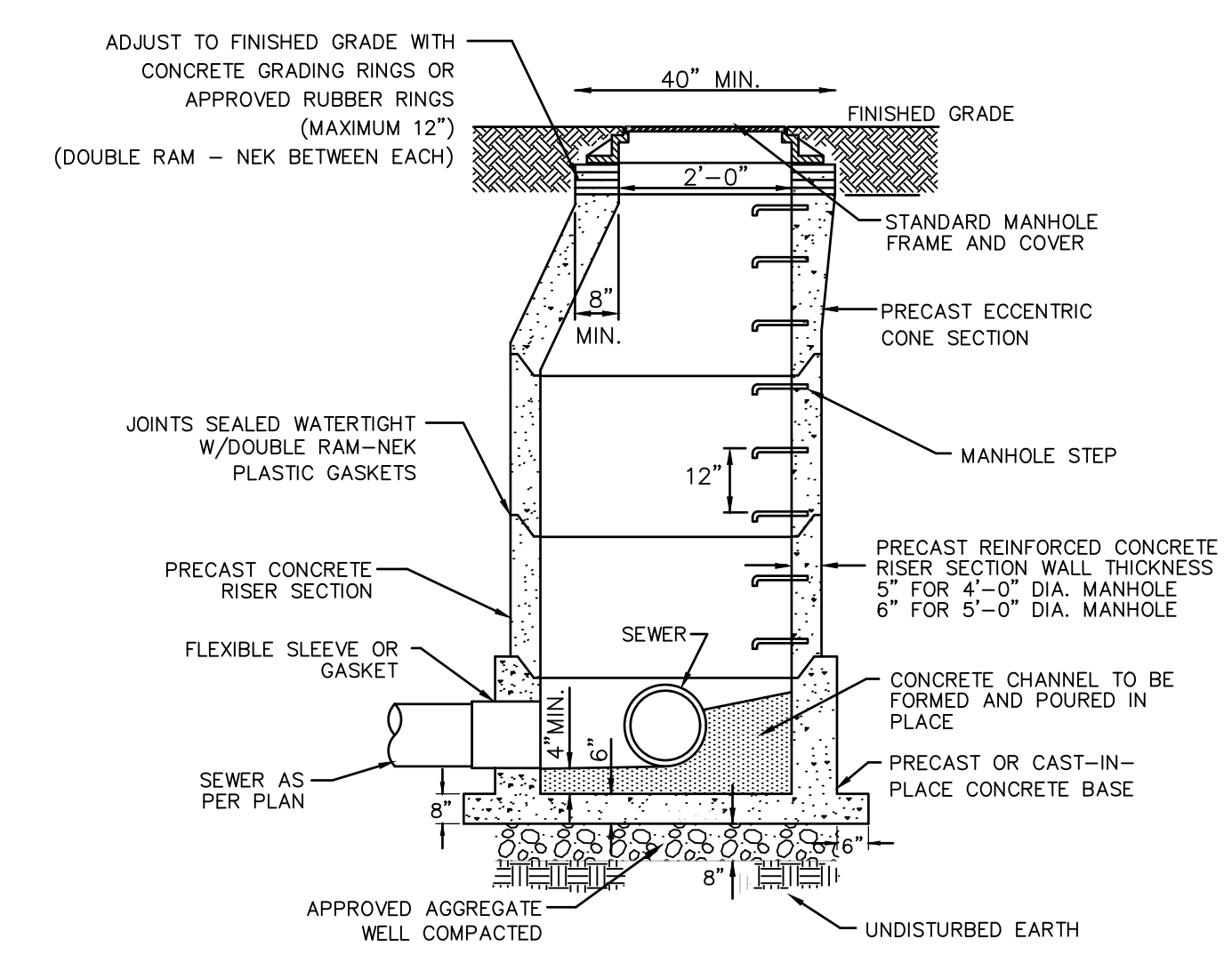
**STORMSEWER (HDPE) INSTALLATION**  
 NOT TO SCALE



Material	Finish	Dimensions	Weight
Steel tubing	Galvanized PLUS clear coat finish	87.8" w x 36.02" h Footprint: 90.94" w x 36.02" h	70 lbs.

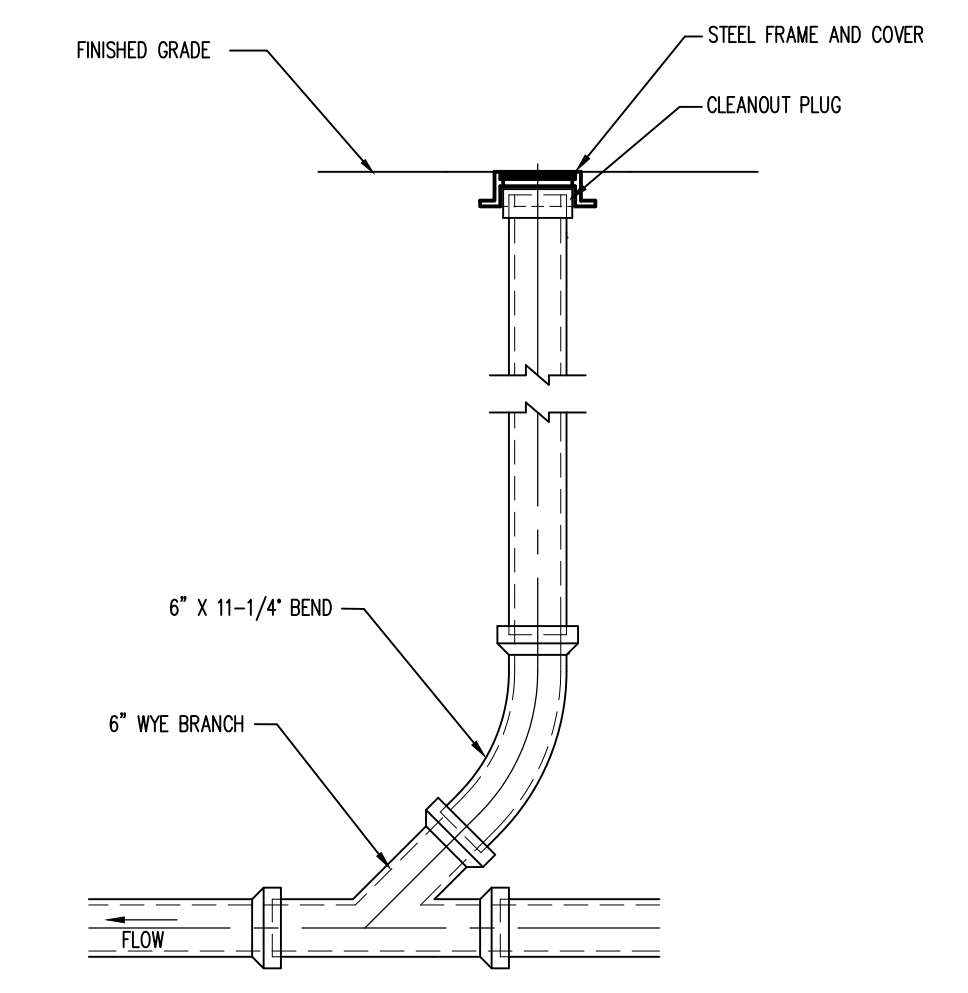
Type of Mount: Surface mount  
 Size of Tubing: 1-7/8" O.D. x 11-gauge

**BIKE RACK DETAIL**  
 NOT TO SCALE

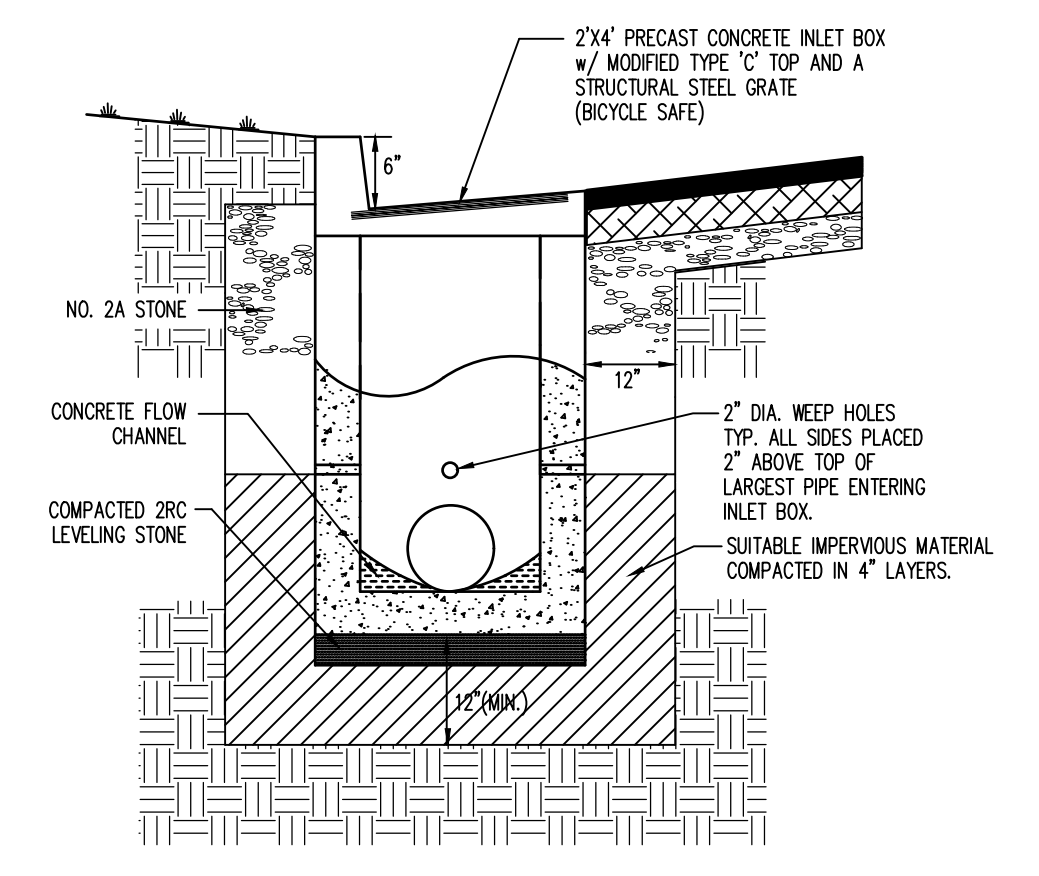


**SANITARY SEWER MANHOLE**  
 NOT TO SCALE

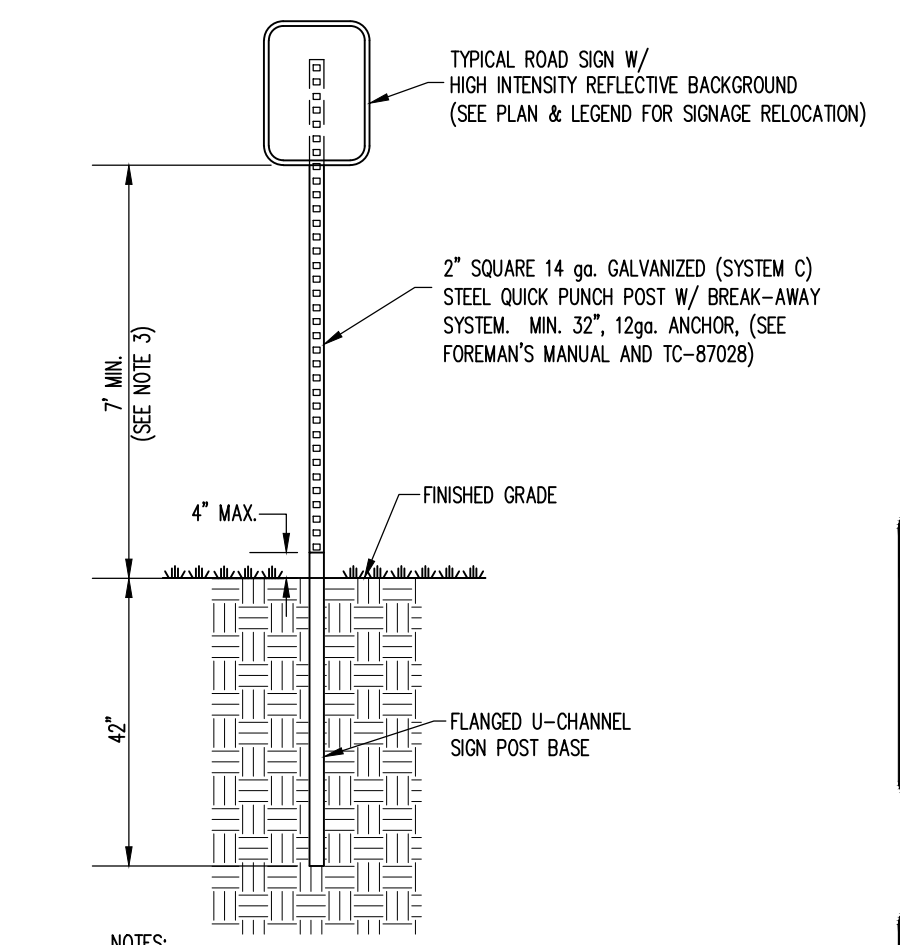
- NOTES:**
- MANHOLES SHALL CONFORM TO ASTM C-478.
  - THE ENTIRE OUTER SURFACE OF THE MANHOLE SHALL BE COATED WITH 2 COATS BITUMASTIC.
  - WATERTIGHT COVERS SHALL BE THE TYPICAL OF THE STANDARD OF THE AUTHORITY.
  - MANHOLE SECTION HEIGHTS SHALL BE THE TYPICAL OF THE STANDARD OF THE AUTHORITY.



**6" SANITARY SEWER CLEAN-OUT DETAIL**  
 NOT TO SCALE

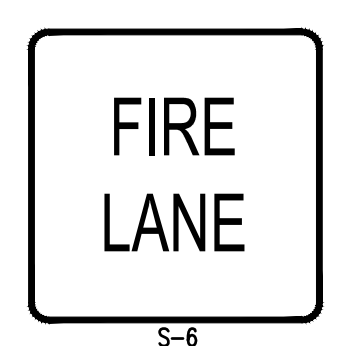
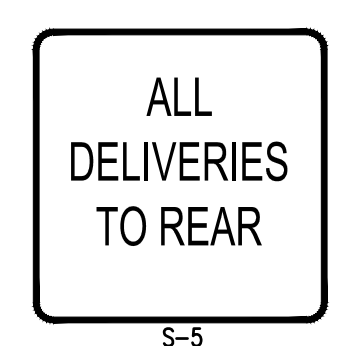
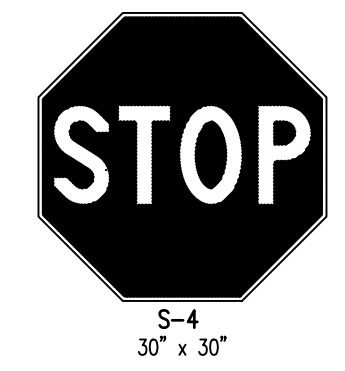


**MODIFIED TYPE 'C' PRECAST CONCRETE INLET**  
 NOT TO SCALE



- NOTES:**
- MOUNT SIGN AT RIGHT ANGLE TO DIRECTION OF TRAFFIC FLOW.
  - PROVIDE A MINIMUM CLEARANCE OF ONE FOOT FROM FACE OF CURB.

**SIGN POST DETAIL**  
 NOT TO SCALE



**SIGN DETAILS**  
 NOT TO SCALE

Designer	MJA
Draftsman	MJA
Proj Manager	CDS
Surveyor	XXX
Perimeter Ck.	
Book	XXX Pg. XXX
FILE - FINAL - 9 - GENERAL CONSTRUCTION DETAILS	
Layout	SITE CONSTRUCTION DETAILS

Date	Description
	REVISIONS

**MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE**

FERGUSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

**FINAL LAND DEVELOPMENT PLANS**

**SITE CONSTRUCTION DETAILS**

PROJECT NO.	21316
DATE	JANUARY 24, 2023
SCALE	N.T.S.
SHEET NO.	9

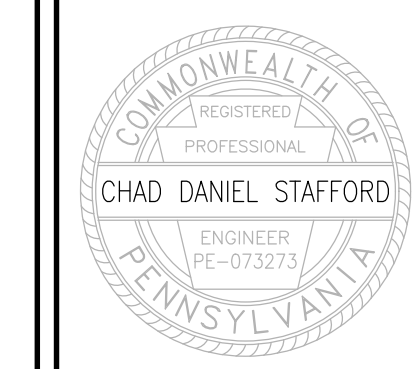




**PennTerra ENGINEERING INC.**  
**CENTRAL PENNSYLVANIA REGION OFFICE:**  
 3075 ENTERPRISE DRIVE  
 SUITE 100  
 STATE COLLEGE, PA 16801  
 PH: 814-231-8285  
 Fax: 814-237-2308  
**LANCASTER REGION OFFICE:**  
 3904 B ABEL DRIVE  
 COLUMBIA, PA 17512  
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 Fax: 717-522-5046

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Designer: MJA  
 Draftsman: MJA  
 Proj Manager: CDS  
 Surveyor: XXX  
 Perimeter: CK  
 Book: XXX Pg. XXX  
 File: 21316 - FINAL - 11 - FLOOR PLAN

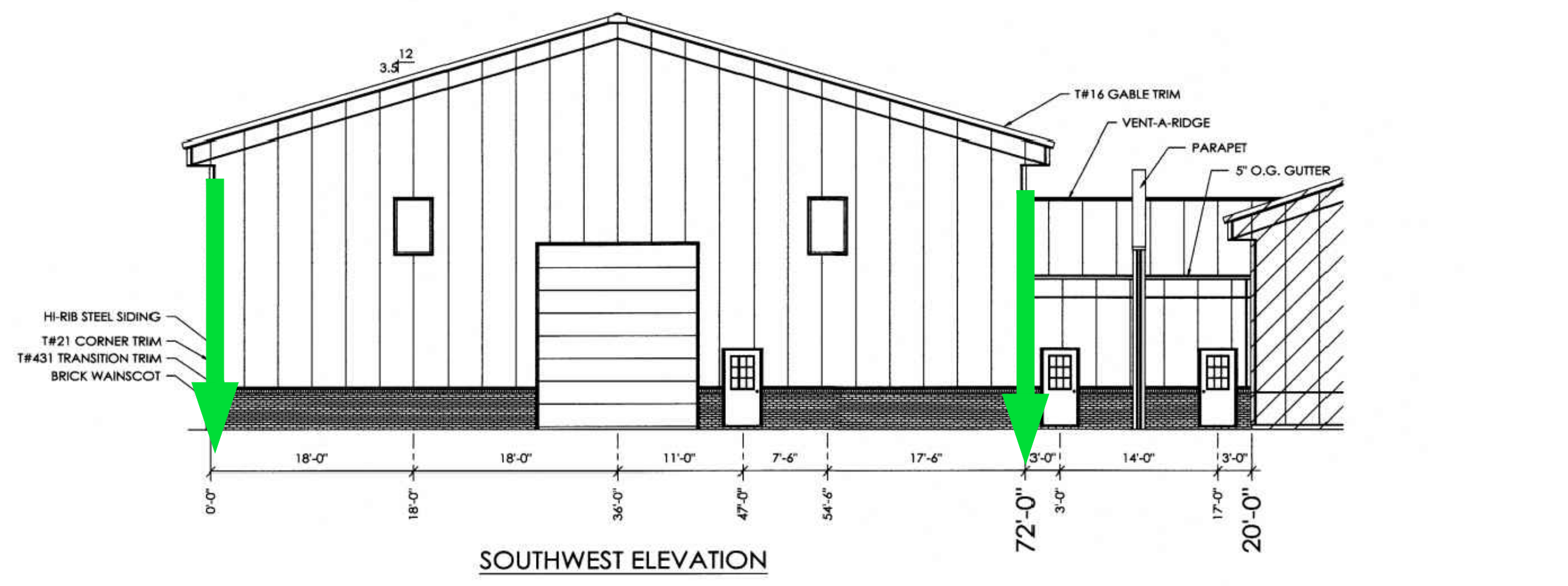
Date	Description
	REVISIONS

**MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE**

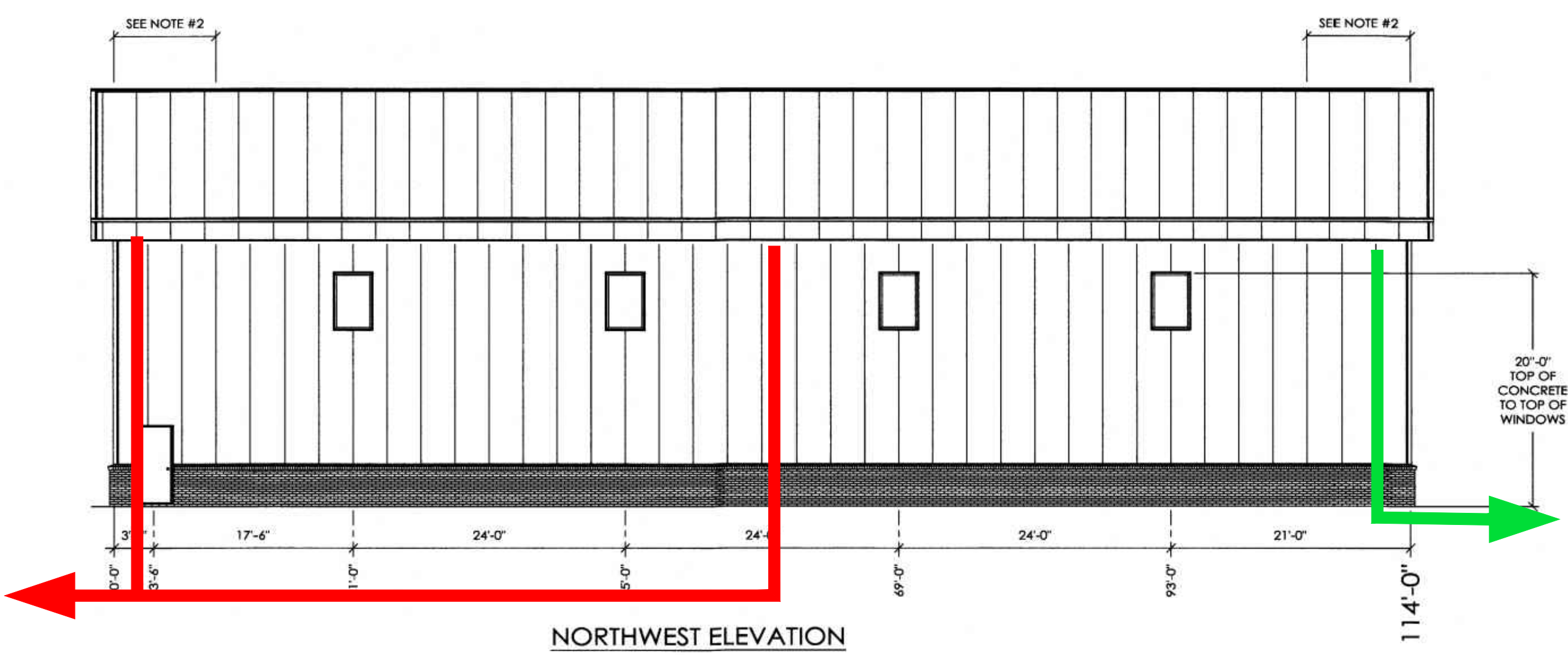
FERGUSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

**BUILDING FLOOR PLAN AND ELEVATIONS**

PROJECT NO.  
 21316  
 DATE  
 JANUARY 24, 2023  
 SCALE SHEET NO.  
 N.T.S. **11**

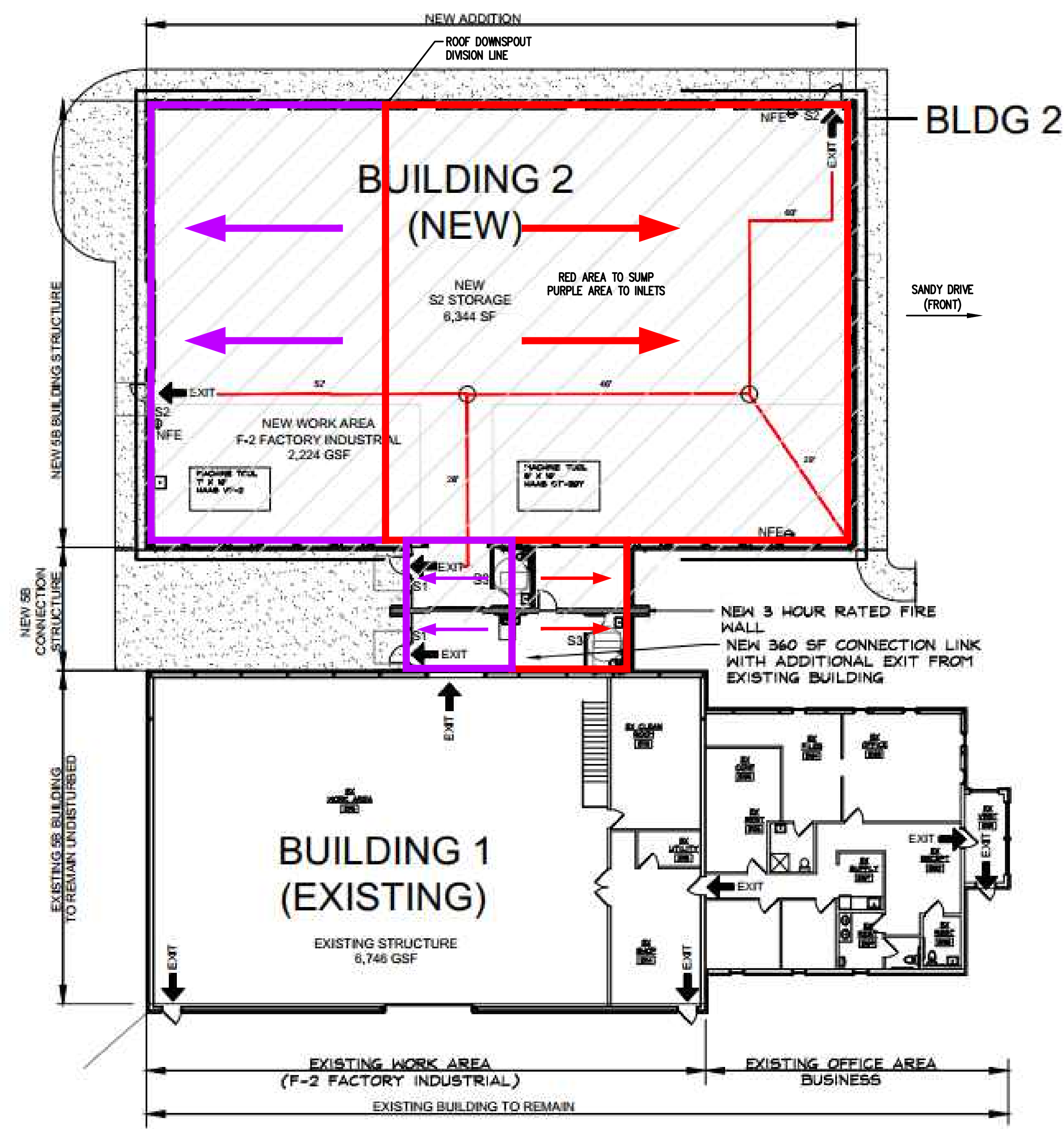


**SOUTHWEST ELEVATION**



**NORTHWEST ELEVATION**

**BUILDING ADDITION ELEVATIONS**  
 NOT TO SCALE



**EXISTING FLOOR PLAN AND BUILDING ADDITION**  
 NOT TO SCALE

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STORMWATER MANAGEMENT NOTES

- 1. All site work shall be done in accordance with the plans prepared by PennTerra Engineering, Inc. the current requirements of the governing municipality, the applicable sections of the PennDOT standard specifications for roadway construction, and all other pertinent federal and state laws.
2. The Contractor shall comply at all times with applicable federal, state and local laws, provisions, and policies governing safety and health, including the federal construction safety act, as amended.
3. The Contractor shall be responsible for examining the areas and conditions under which the project is to be constructed prior to the submission of a bid. Submission of a bid to be constructed to mean the Contractor has reviewed the site and is familiar with conditions and constraints of the site.
4. Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify pa one call 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
5. An as-built drawing of new utility services shall be prepared by the Contractor and submitted to the Owner upon completion of the project.
6. All storm pipe shall be as noted. All joints shall be watertight.
7. Contractor shall refer to other plans within this construction set for other pertinent information.
8. Contractor shall have a licensed professional submit as-built drawings/documentation (including verification of infiltration testing) of the stormwater management facilities prepared in accordance with chapter 26 of the governing municipality's code of ordinances. A Record Set (As-Built) Package, including all supporting documentation as required in accordance 26-402.3.D(4), shall be provided at the completion of the project. A narrative and photographic documentation for critical stages of construction and for the infiltration surface prior to placement of filter fabric/stones must also be submitted to the governing municipality.

AS-BUILT NOTES:

- 1. Certification of the stormwater as-built plan by a licensed professional of the stormwater facilities specified under the section labeled "Critical Stages of Construction" is required.
2. The licensed professional responsible for certifying the stormwater as-built plan shall be selected prior to starting earth disturbance activities on the project.
3. The licensed professional responsible for certifying the stormwater as-built plan shall be present for all "Critical Stages of Construction."
4. A pre-construction meeting between the contractor, township, owner, and licensed professional responsible for certifying the stormwater as-built plan is required to ensure all "Critical Stages of Construction" are reviewed, acknowledged and milestones established to ensure the licensed professional is present onsite during the "Critical Stages of Construction." The location of infiltration tests performed during construction shall be documented on the as-built plans. Any modifications to the approved plan must be submitted to the Township for review prior to construction. The developer must provide the township with the as-built package for all stormwater facilities prior to occupancy or the release of the surety bond.

CRITICAL STAGES OF CONSTRUCTION:

Critical Stages of Construction are parts of the construction sequence of the Land Development Plan which require certification and construction oversight of stormwater facilities by the licensed professional responsible for certification of the certified stormwater as-built plan. At least two weeks in advance of construction, the contractor shall schedule a coordination meeting with the licensed professional to review the critical stages and establish a schedule for inspections/verifications of all critical stages. At the discretion of the licensed professional, the contractor may provide photo documentation of the installation of certain items in lieu of the licensed professional being present. The critical stages for each Post Construction Stormwater Best Management Practice are as follows:

UNDERGROUND INFILTRATION SUMP

- 1. In order to protect the underground infiltration sump bottom from compaction, equipment shall not be permitted to operate within the sump when the floor is less than 36" from subgrade elevation. A typical infiltration facility bottom excavation detail has been provided on the plans for construction. Alternatively, the contractor may develop their own plan and methods for bottom excavation. The contractor must review the proposed plan/methods with the licensed professional during the coordination meeting.
2. A typical rock over excavation detail has been provided on the plans. Once subgrade of the infiltration sump has been reached, the contractor shall request the licensed professional review the subgrade to determine if rock over excavation is needed.
3. As-built surveys are required prior to any backfill within the underground infiltration sump. The contractor must notify the licensed professional prior to backfilling in order verify elevations and geometry.
4. The contractor must notify the licensed professional of the installation of the outlet structure, outfall pipe and anti-seep collars prior to backfill to ensure installation has been completed in accordance with the approved plan.

GRATE INLET SKIMMER BOXES

- 1. Verification that the Grate Inlet Skimmer Boxes have been installed in the locations shown on the plan is required (1-1, 1-2, 1-3, 1-4, 1-5).

NATURALLY OCCURRING GEOLOGIC FORMATIONS/SOIL CONDITIONS:

There are no known naturally occurring geologic formations or soil conditions that pose the potential for pollution during construction. If a sinkhole is encountered due to karst topography, the sinkhole shall be repaired as specified on the sinkhole repair detail and/or a geotechnical engineer must be contacted for proper repair procedures.

PERMANENT SEEDING

Permanent Seeding shall consist of the following:

- Item Rate
1. Seed Mixture Consists of: 102 lbs. / acre
50% Poa pratensis (Kentucky Bluegrass)
30% Festuca rubra (Creeping Red Fescue)
20% Lolium perenne L. (Perennial Rye)
2. Mulch 3 tons / acre

GRADING NOTES

- 1. The project benchmark is a sanitary sewer manhole, located at the northern most end of Sheet Drive. Elev. = 768.16.
2. All existing trees, vegetation, pavements, concrete foundations, structures and organic topsoil shall be stripped and removed from new construction areas unless noted otherwise.
3. All areas not paved shall be sodded, topsoiled, seeded, mulched or landscaped unless otherwise noted in the construction plans, site specifications or instructed by the Owner.
4. Contractor shall refer to the geotechnical report prior to initiation of any earthwork activity. Refer to the Geotechnical Report "Geotechnical Engineering Study - Reedsville Property - Sheet Drive, PA - HCEA Project No. 122021 by Hills Cornes Engineering Associates, Inc., June 30, 2022.
5. The maximum slope within all the handicapped parking spaces shall be 2.00% in any direction.
6. The maximum slope for all on-site sidewalks shall be 4.90% with a maximum cross slope of 2.00% and curb ramps shall have a maximum slope of 8.30%.
7. Proposed spot elevation are to bottom of curb unless noted otherwise.
8. The Contractor shall notify assigned inspection agency before any retaining wall construction. Retaining walls shall be constructed per the project specification approved building permit and certified by the assigned inspection agency.
9. All fill material brought on to the job by the Contractor must comply with all applicable D.E.P. regulations regarding clean fill.
10. All areas disturbed during construction, not designated to receive paving or mulch, shall be fine graded, topsoiled, & seeded unless otherwise noted in the construction drawings, site specifications or instructed by the Owner.
11. The Contractor shall notify Owner's testing agency before any placement and compaction of fills on the site. Fill areas shall be prepared and compacted per the project specifications and certified by the Owner's testing agency. Contractor shall be responsible for removal, retesting, and replacement of fills not meeting the specifications. The Contractor is also responsible for all expenses associated with replacement of fills not meeting the specifications.
12. The Contractor shall notify assigned inspection agency before any retaining wall construction. Retaining walls shall be constructed per the project specification approved building permit and certified by the assigned inspection agency.

SOILS LEGEND

Soil cover on the site consists of:
HuB - Hubersburg silt loam, 3%-8% Slopes

EROSION & SEDIMENTATION CONTROL LEGEND

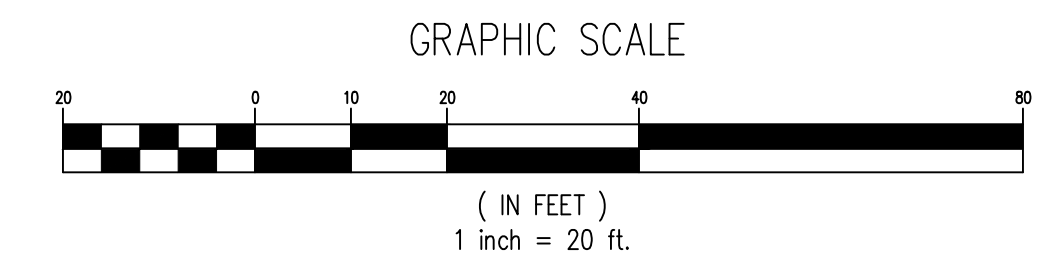
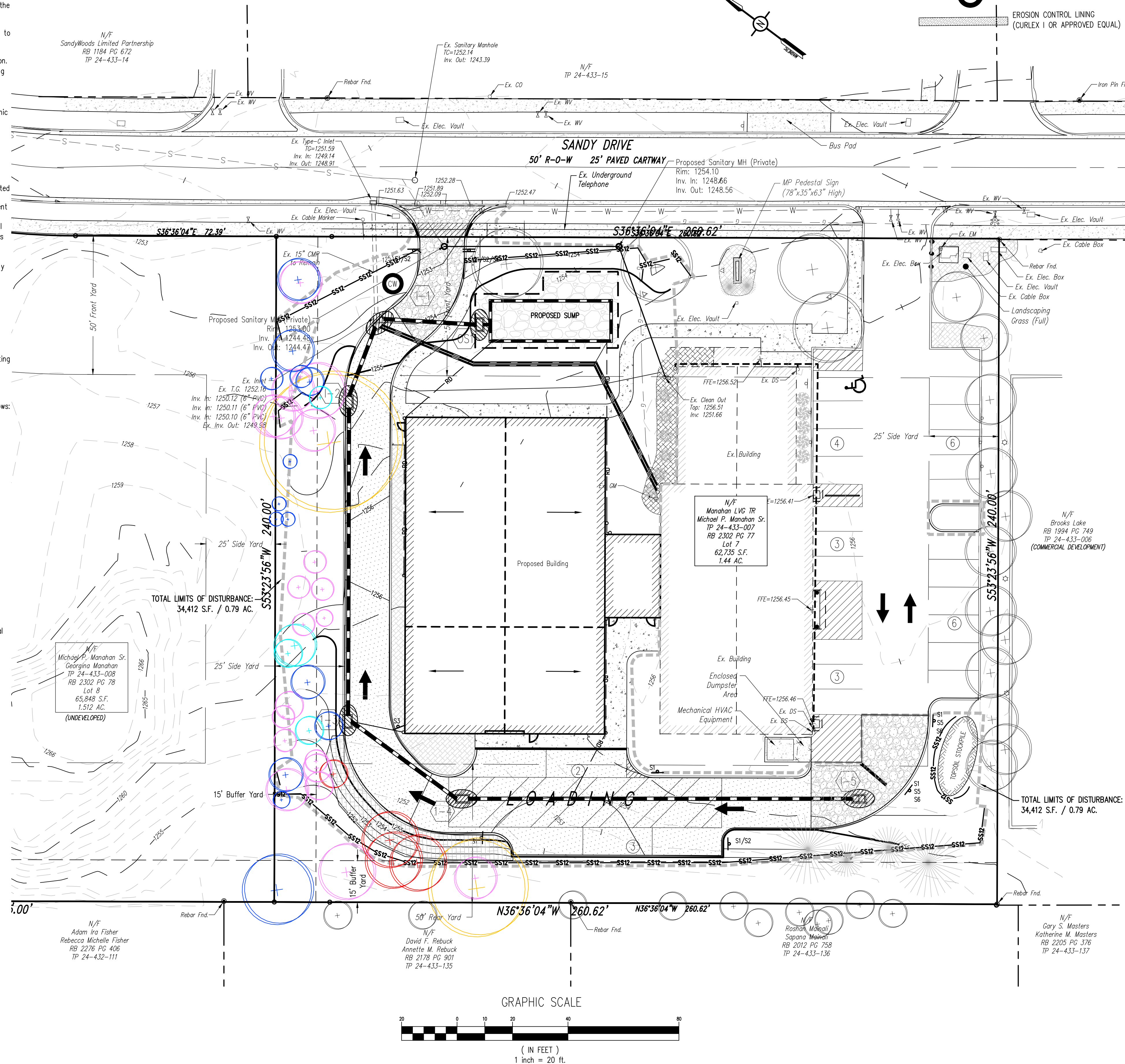
- LIMIT OF DISTURBANCE
CONSTRUCTION ENTRANCE
INLET PROTECTION
TOPSOIL STOCKPILE
12" SILT SOCK
CONCRETE WASHOUT AREA
EROSION CONTROL LINING (CURLEX 1 OR APPROVED EQUAL)

EXISTING FEATURES LEGEND

- Existing Building
Existing Curbing & Edge of Pavement
Existing Concrete Areas
Existing Landscaped Areas
Existing Retaining Wall
Existing Contours w/ Elevation (1's & 2's)
Existing Contours w/ Elevation (5's & 10's)
Existing Sanitary Sewer w/ Manhole
Existing Water Service Lateral
Existing Storm Sewer Line w/ Inlet
Existing Fire Hydrant
Existing Manhole
Existing Storm Sewer Inlet Type-M
Existing Storm Sewer Inlet Type-C
Existing Utility Main Valve
Existing Utility Lateral Valve
Existing Utility Meter
Existing Ballard
Existing Clean-Out
Existing Light Pole/Standard
Existing Flood Light
Existing Sign
Existing Deciduous Tree
Existing Evergreen Tree
Existing Shrub

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
Adjoining Property Line
Building Setback Line
Ex. Cable Box
Landscaping Grass (Full)
Property Corner Found
Property Corner To Be Set



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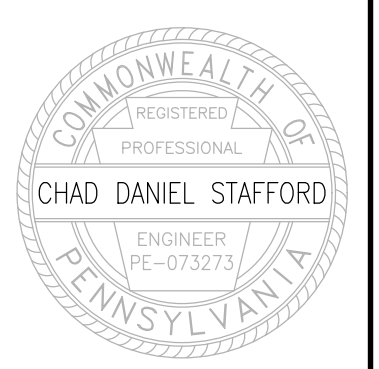


Table with 2 columns: Role and Name. Designer: M.J.A., Draftsman: M.J.A., Proj Manager: CDS, Surveyor: XXXX, Perimeter Ck., Book: XXX Pg. XXX, File: 21316 - FINAL - ES-1

Table with 2 columns: Date and Description. Title: EROSION AND SEDIMENTATION CONTROL PLAN. Includes a section for REVISIONS.

MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE

FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA PRELIMINARY/FINAL LAND DEVELOPMENT PANS

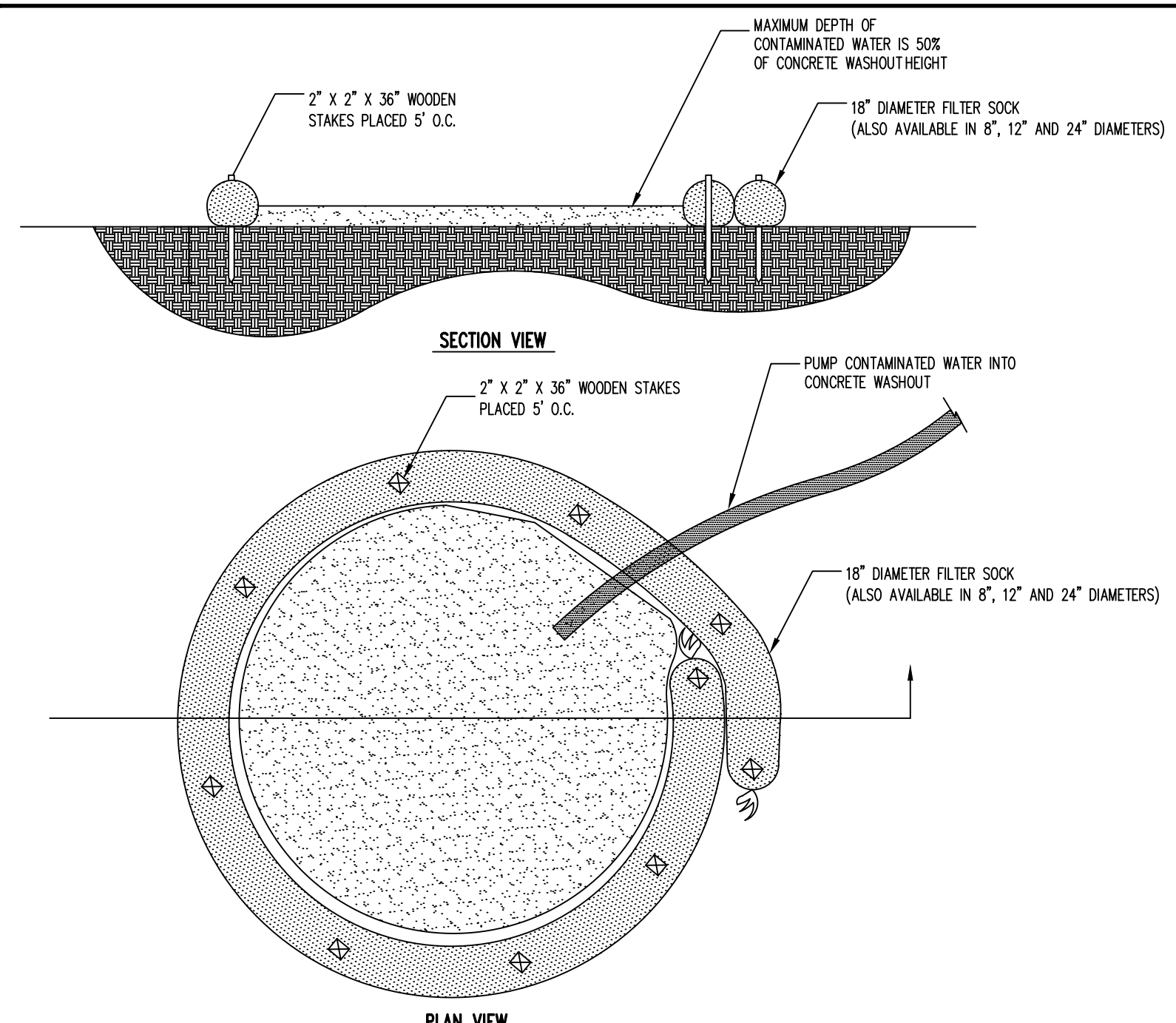
EROSION AND SEDIMENTATION CONTROL PLAN

PROJECT NO. 21316 DATE JANUARY 24, 2023 SCALE 1" = 20' SHEET NO. ES1



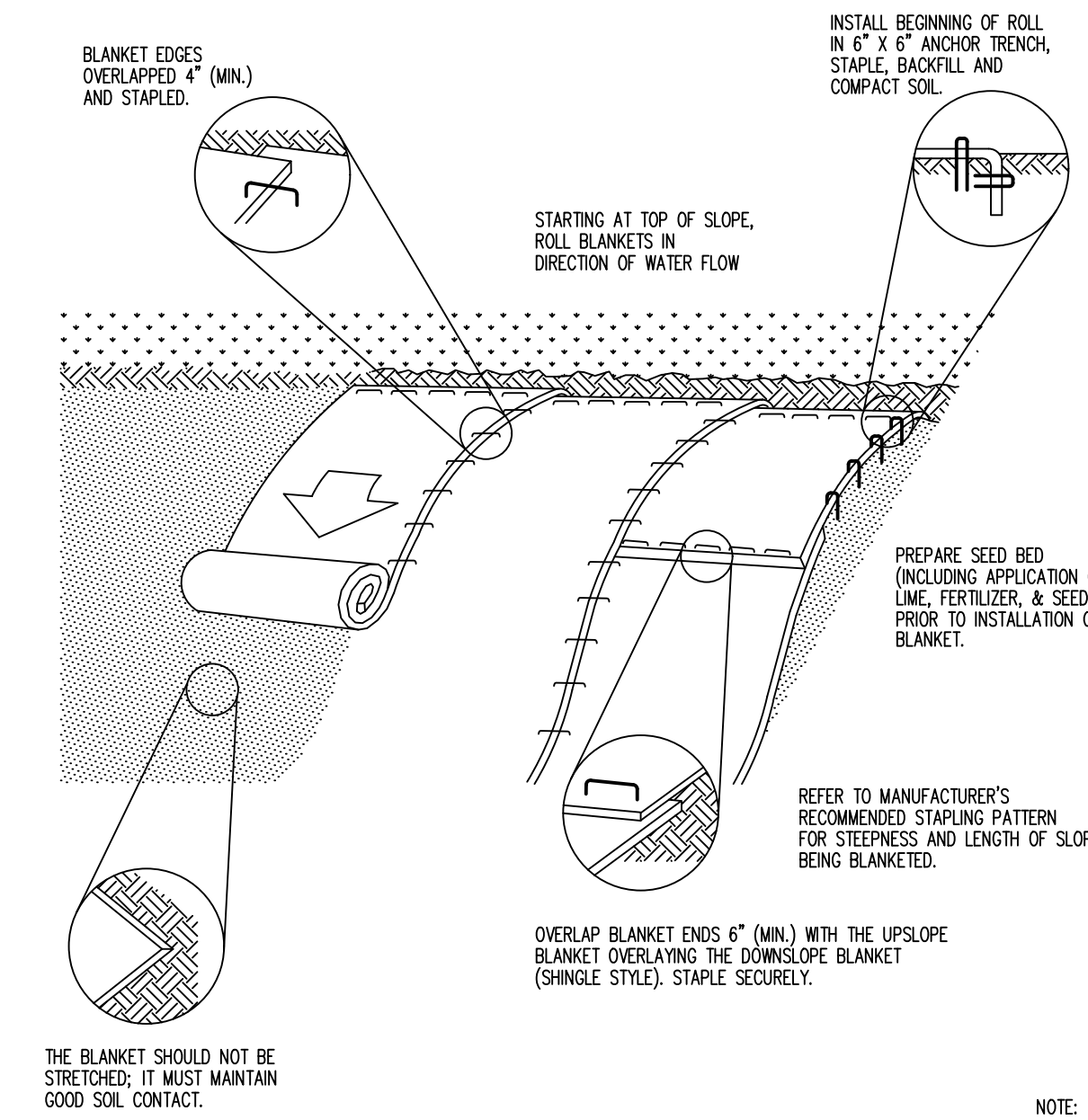
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA I CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY





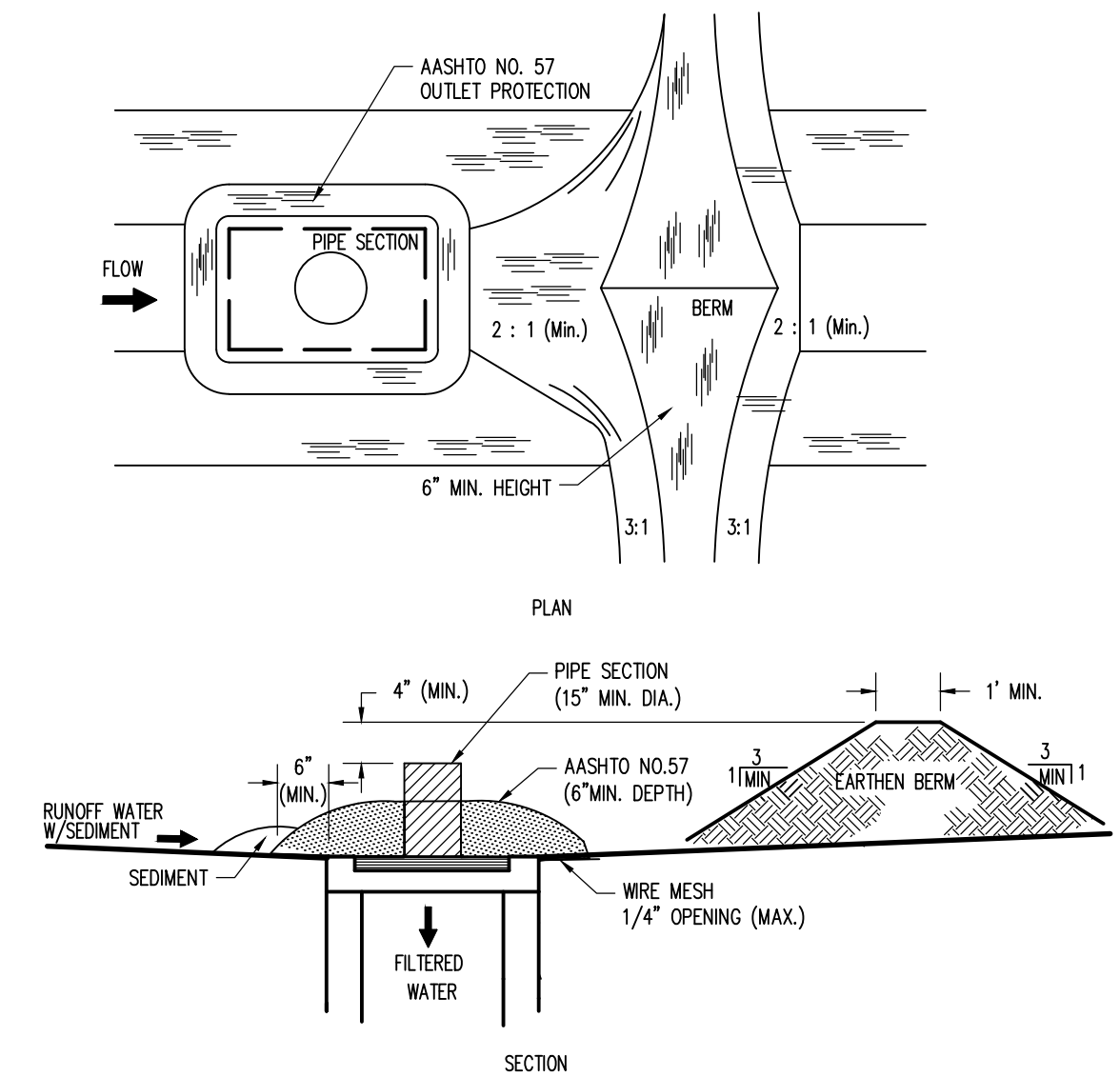
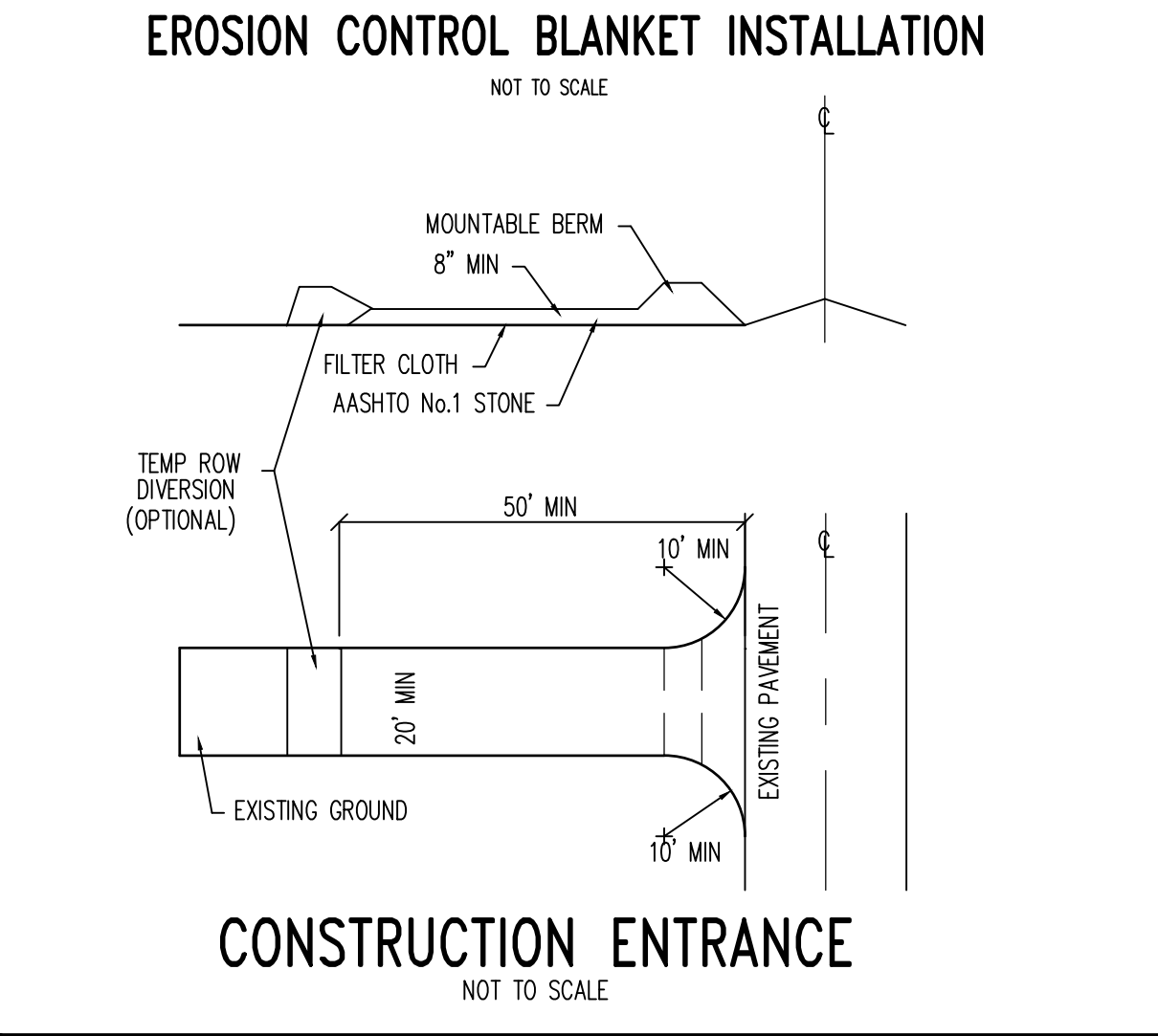
**CONCRETE WASHOUT AREA**  
NOT TO SCALE

NOTES:  
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.  
2. CONCRETE WASHOUT MAY BE STACKED IN A PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT AND STABILITY.  
3. CONCRETE WASHOUT MAY BE DIRECT SEED AT THE TIME OF INSTALLATION.  
4. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE FILTER SOCKS.

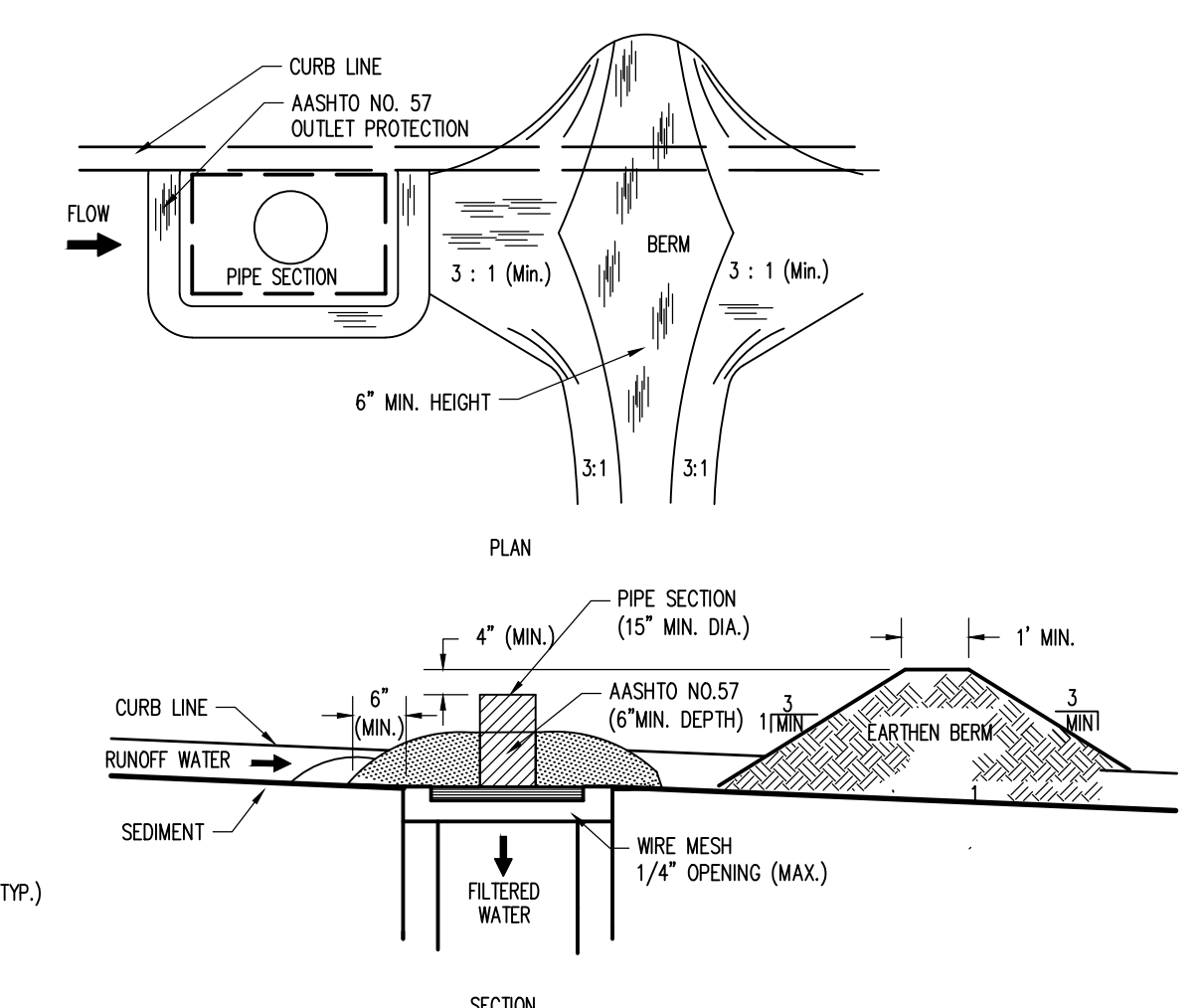


**EROSION CONTROL BLANKET INSTALLATION**  
NOT TO SCALE

NOTES:  
1. Seed and soil amendments shall be applied according to the rates in the plan drawings prior to installing the blanket.  
2. Provide anchor trench at toe of slope in similar fashion as at top of slope.  
3. Slope surface shall be free of rocks, clods, sticks, and grass.  
4. Blanket shall have good continuous contact with underlying soil throughout entire length. Lay blanket loosely and stake or staple to maintain direct contact with soil. Do not stretch blanket.  
5. The blanket shall be stapled in accordance with the manufacturer's recommendations.  
6. Blanketed areas shall be inspected weekly and after each runoff event until perennial vegetation is established to a minimum uniform 70% coverage throughout the blanketed area. Damaged or displaced blankets shall be restored or replaced within 4 calendar days.

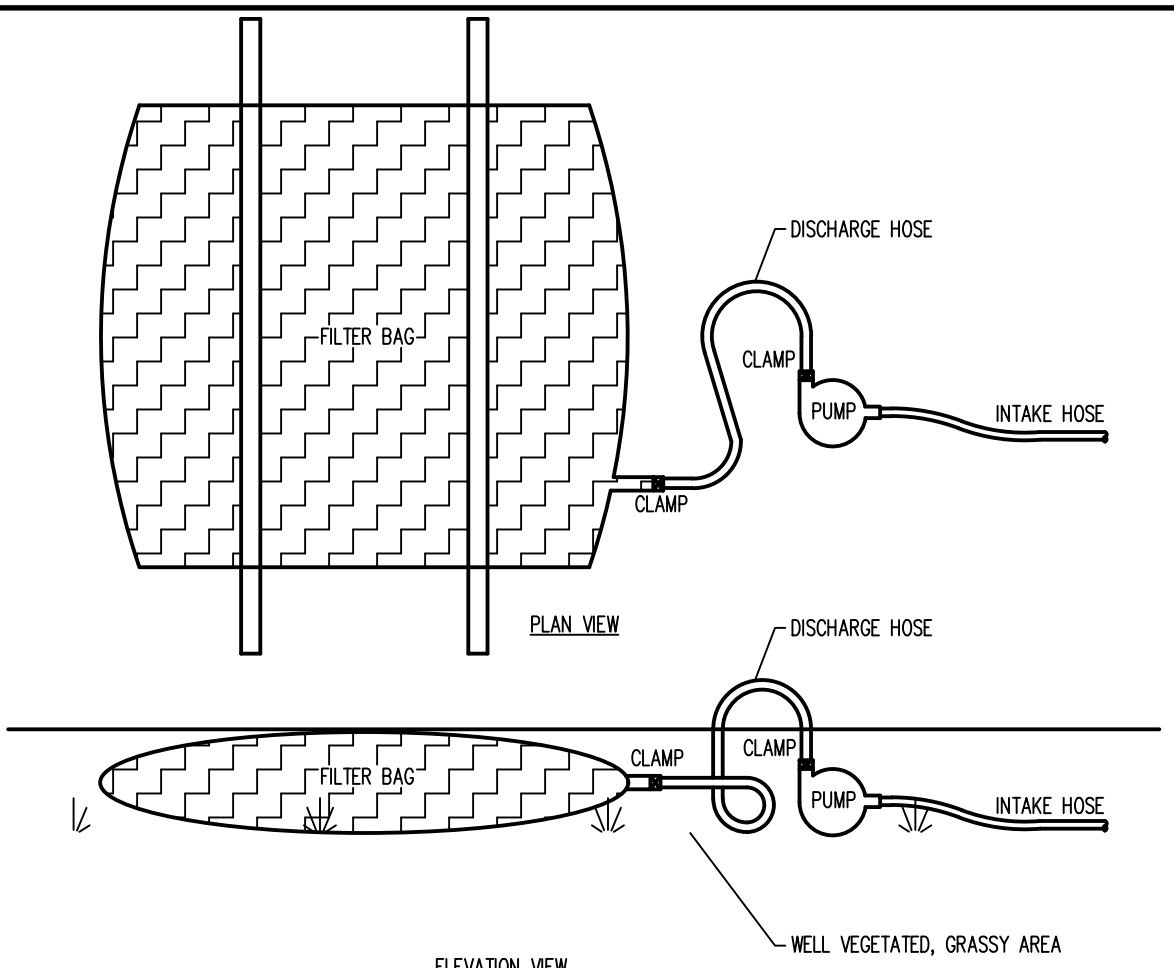
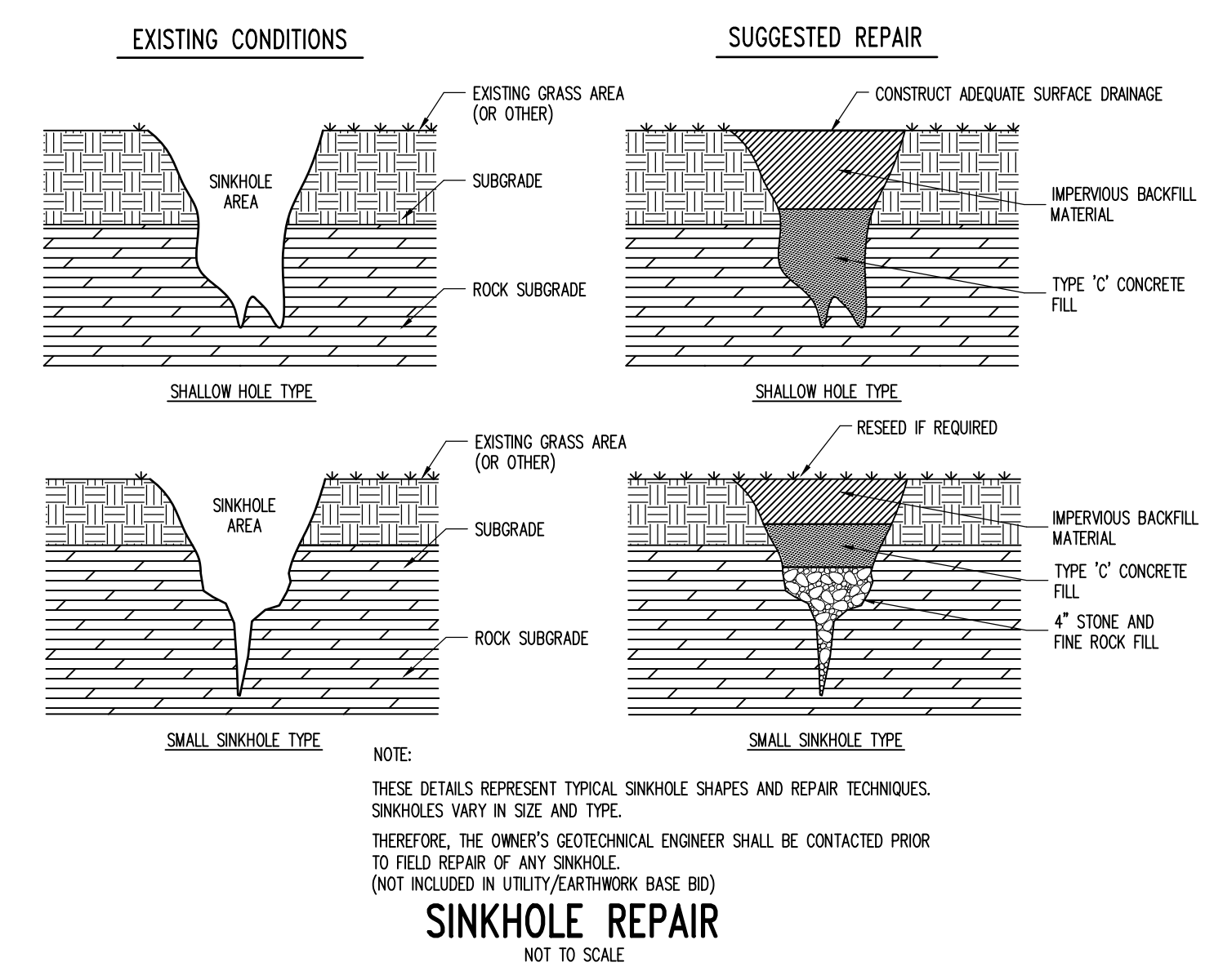
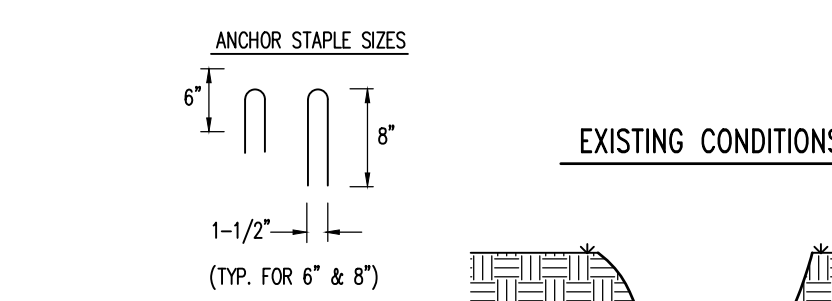


**DROP INLET FILTER W/ EARTHEN BERM (TYPE M)**  
NOT TO SCALE



**DROP INLET FILTER W/ EARTHEN BERM (TYPE C)**  
NOT TO SCALE

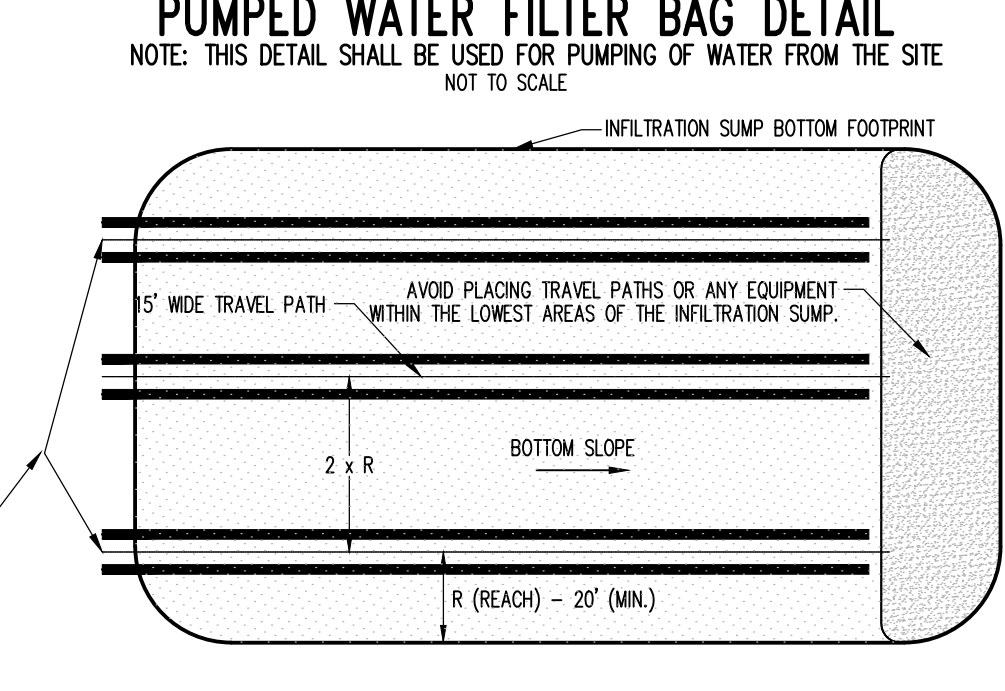
**TYPICAL ANCHORING PATTERN (1.1 STAPLES/YD<sup>2</sup>)**



**PUMPED WATER FILTER BAG DETAIL**  
NOTE: THIS DETAIL SHALL BE USED FOR PUMPING OF WATER FROM THE SITE  
NOT TO SCALE

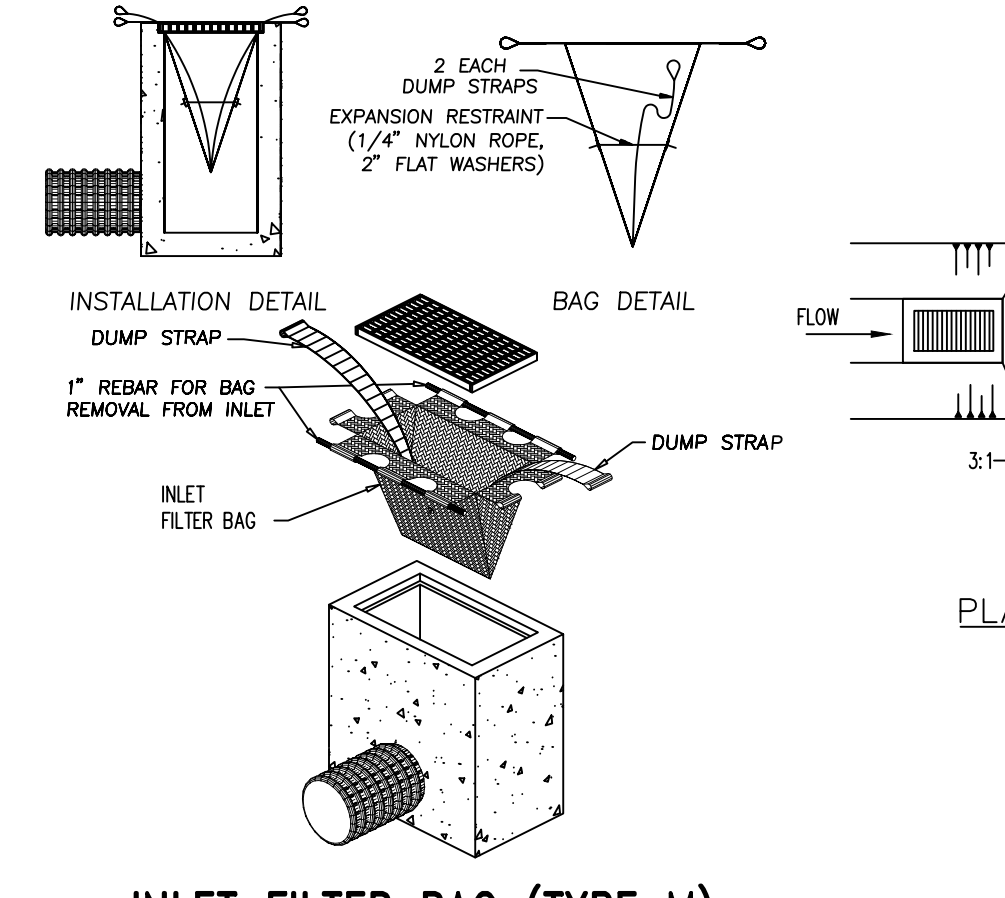
Property	Test Method	Minimum Standard
Avg. Wide Width Strength	ASTM D-4884	60 lb/in
Grab Tensile	ASTM D-4632	205 lb
Puncture	ASTM D-4833	110 lb
Mullen Burst	ASTM D-3786	350 psi
UV Resistance	ASTM D-4355	70%
AOS % Retained	ASTM D-4751	80 Sieve

Notes:  
1. A suitable means of accessing the bag with machinery required for disposal purposes shall be provided. Filter bags shall be replaced when they become 2/3 full of sediment. Spare bags shall be kept available for replacement of those that have failed or are filled. Bags shall be placed on straps to facilitate removal unless bags come with lifting straps already attached.  
2. Bags shall be located in well-vegetated (grass) area, and discharge onto stable, erosion resistant areas. Where this is not possible, a geotextile underlayment and flow path shall be provided. Bags may be placed on filter stone to increase discharge capacity. Bags shall not be placed on slopes greater than 5%. For slopes exceeding 5%, clean rock or other non-erodible and non-polluting material may be placed under the bag to reduce slope steepness.  
3. No downslope sediment barrier is required for most installations. Compost berm or compost filter sock shall be installed below bags located in H2O or EV watersheds, within 50 feet of any receiving surface water or where grassy area is not available.



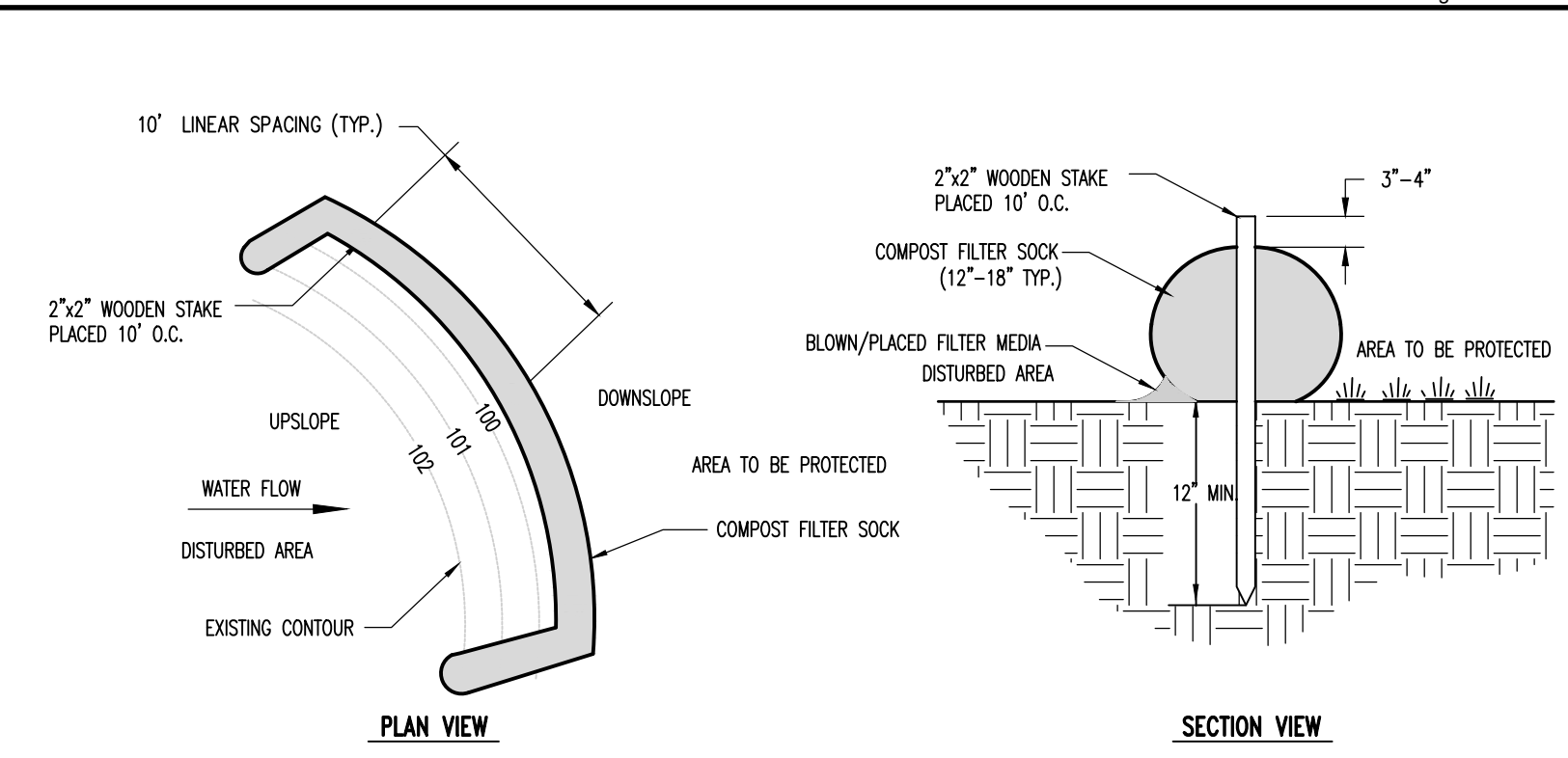
THIS DETAIL REPRESENTS A TYPICAL INFILTRATION SUMP BOTTOM EXCAVATION TECHNIQUE. EACH INFILTRATION SUMP VARIES WITH GEOMETRY AND OTHER VARIOUS PHYSICAL FEATURES. THE CONTRACTOR MUST DEVELOP A INFILTRATION SUMP BOTTOM EXCAVATION PLAN AND CONSULT WITH THE SITE ENGINEER PRIOR TO COMMENCING THE INFILTRATION SUMP BOTTOM EXCAVATION.  
NOTES:  
1. ALL EQUIPMENT MOBILIZATION AND MANEUVERS MUST BE LIMITED TO THE TRAVEL PATH LOCATIONS. THE CONTRACTOR SHALL LOCATE AND CLEARLY POST ALL TRAVEL PATHS IN THE FIELD.  
2. TRAVEL PATH LOCATIONS SHALL BE SELECTED BASED UPON EQUIPMENT REACH CAPABILITY AND INFILTRATION SUMP GEOMETRY. TRAVEL PATH LOCATIONS SHOULD BE SELECTED SUCH THAT THEY PARALLEL THE LONGEST SIDE OF THE INFILTRATION SUMP.  
3. TRAVEL PATH SPACING SHALL VARY WITH EQUIPMENT REACH CAPABILITY. REACH CAPABILITY SHOULD BE A MINIMUM OF 20 FEET.  
4. MATERIAL SHALL BE REMOVED FROM THE TRAVEL PATH LOCATIONS WORKING TOWARD THE INFILTRATION SUMP ACCESS POINTS. ONCE MATERIAL IS REMOVED FROM EACH TRAVEL PATH LOCATION AND FINAL GRADE IS ACHIEVED, ALL EQUIPMENT SHALL BE PROHIBITED FROM THESE LOCATIONS.

**TYPICAL INFILTRATION SUMP BOTTOM EXCAVATION**  
NOT TO SCALE



**INLET FILTER BAG (TYPE M)**  
NOT TO SCALE

INLET FILTER BAG NOTES:  
FILTER BAG SHOULD TRAP PARTICLES LARGER THAN 150 MICRONS. WHEREVER FILTER BAGS ARE USED THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS.  
INLET FILTER BAGS SHOULD BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT.  
FILTER BAGS SHOULD BE CLEANED AND/OR REPLACED WHEN BAG IS 1/2 FULL DAMAGED FILTER BAGS SHOULD BE REPLACED.  
NEEDED REPAIRS SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION.



**COMPOST FILTER SOCK DETAIL**  
NOT TO SCALE

TABLE 4.1  
Compost Sock Fabric Minimum Specifications

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18"	12" 18"	12" 18"	12" 18"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength	26 psi	26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years

Two-Ply Systems

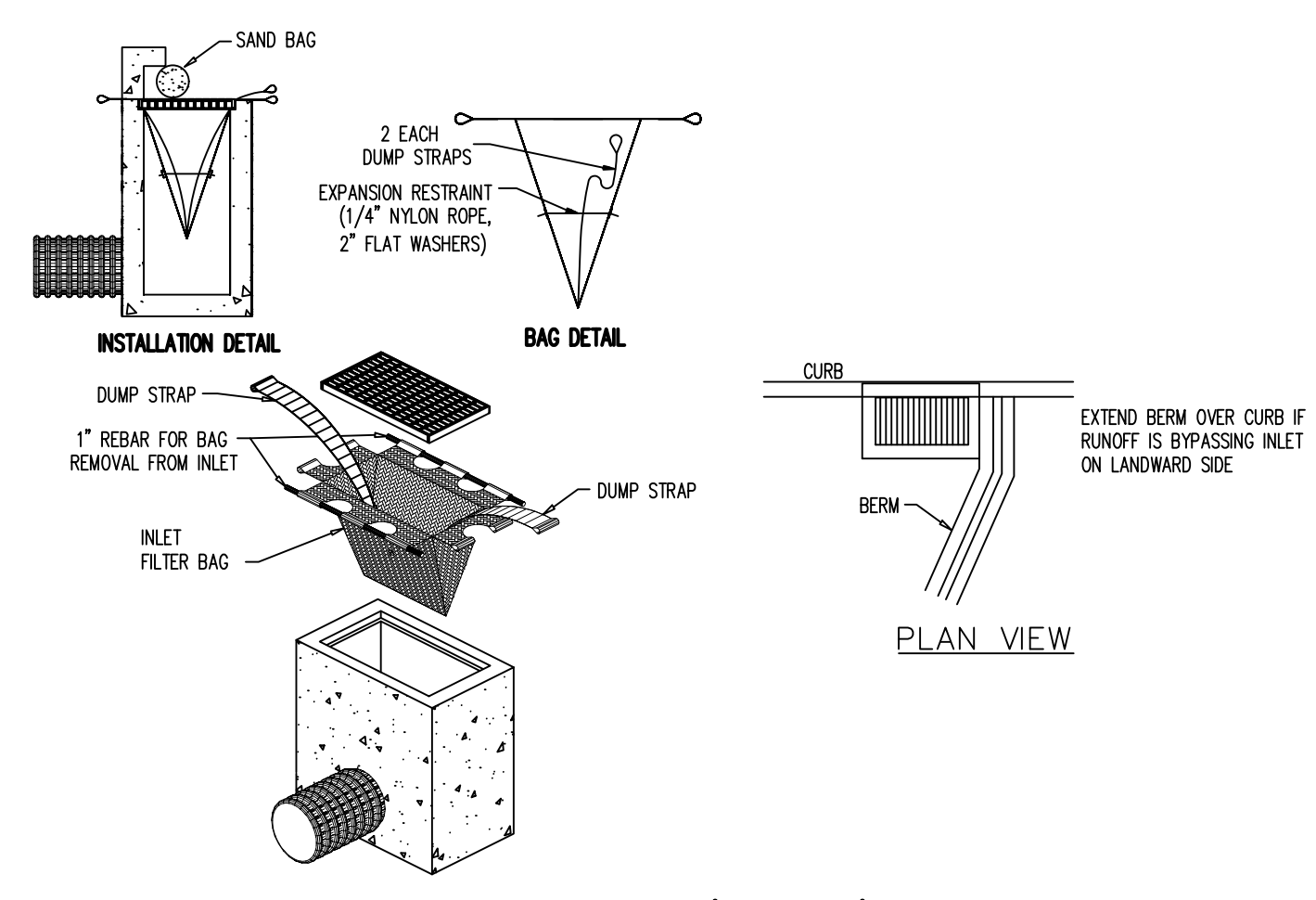
Inner Containment Netting	HDPE biaxial net
	Continuously wound
	Fusion-welded junctures
	3/4"x3/4" Max. aperture size
Outer Filtration Mesh	Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch)
	3/16" Max. aperture size

Sock fabrics composed of burlap may be used on projects lasting 6 months or less.

TABLE 4.2  
Compost Standards

Organic Matter Content	25%-100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5-8.5
Moisture Content	30%-60%
Particle Size	30% - 50% pass through 3/8" sieve
Soluble Salt Concentration	5.0 ds/m (mmhos/cm) Maximum

**COMPOST FILTER SOCK TABLE**  
NOT TO SCALE



**INLET FILTER BAG (TYPE C)**  
NOT TO SCALE

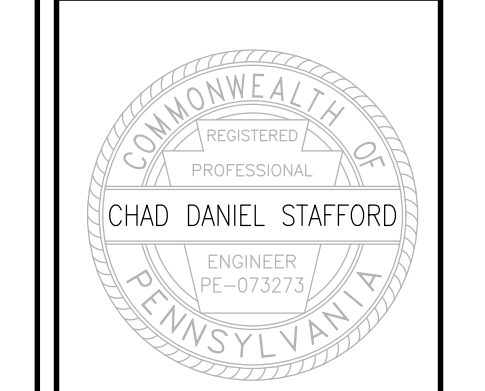
INLET FILTER BAG NOTES:  
FILTER BAG SHOULD TRAP PARTICLES LARGER THAN 150 MICRONS. WHEREVER FILTER BAGS ARE USED THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS.  
INLET FILTER BAGS SHOULD BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT.  
FILTER BAGS SHOULD BE CLEANED AND/OR REPLACED WHEN BAG IS 1/2 FULL DAMAGED FILTER BAGS SHOULD BE REPLACED.  
NEEDED REPAIRS SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION.

**PennTerra ENGINEERING INC.**  
CENTRAL PENNSYLVANIA REGION OFFICE:  
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SUITE 100  
STATE COLLEGE, PA 16801  
PH: 814-231-8285  
Fax: 814-237-2308

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WWW.PENNTERRA.COM

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Designer: MJA  
Draftsman: MJA  
Proj Manager: CDS  
Surveyor: XXXX  
Perimeter: CK  
Book: XXX Pg. XXX  
File: 2308 - FNL - ES-2

EROSION AND SEDIMENTATION CONTROL DETAILS

Date: \_\_\_\_\_  
Description: \_\_\_\_\_  
REVISIONS

MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE

FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PANS

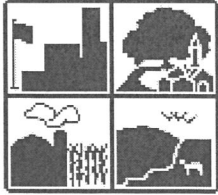
EROSION AND SEDIMENTATION CONTROL DETAILS

PROJECT NO. 21316  
DATE: JANUARY 24, 2023  
SCALE: N.T.S. SHEET NO. ES2









**APPLICATION FOR CONSIDERATION OF A MODIFICATION**  
Ferguson Township, Centre County

Submittal Date: 2/8/2023

*A fee of \$50.00 is required at the time of submitting this application.*

The undersigned hereby applies for approval of a modification/waiver, submitted herewith and described below:

**Applicant Information**

**M. Todd Giddings**

Name

**780 Beaver Branch Road Pennsylvania Furnace 16865**

Street Address

City

Zip

**814-571-0956**

Phone Number

**Property/Plan Information**

**Site Plan**

Plan Name

**E8583**

**Jan 10, 1986**

Plan Number

Plan Date

**Cato Industrial Park**

**24-004-,070Q,0000**

Project Location

Parcel Number

**M. Todd Giddings**

Name of Property Owner(s)

**780 Beaver Branch Road Pennsylvania Furnace 16865**

Street Address

City

Zip

Application Type:

Subdivision

Terraced Streetscape District (TSD)

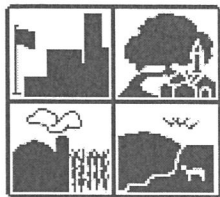
Land Development

Traditional Town Development (TSD) District

**Modification/Waiver Request Information**

Specific Section(s) of the Subdivision and Land Development Ordinance or Design Standards for which a Modification/Waiver is requested:

The approved land development plan for this site shows that there are 34 parking spaces on this site. The change in use by the tenant Integrated Bodywork School of Massage Therapy has resulted in a calculated number of parking spaces required to be 35.



# APPLICATION FOR CONSIDERATION OF A MODIFICATION

Ferguson Township, Centre County

State any proposed alternative(s) to the requirement:

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Please state in full, the grounds and facts of the unreasonableness or hardship the Ferguson Township Subdivision and Land Development Ordinance has placed on the property. Based on my personal weekday observations of the number of occupied and unoccupied parking spaces on this property over the past 7 years of occupancy by the Integrated Bodywork School of Massage Therapy, the 34 parking spaces were never full. Anywhere from a few (2 or 3) to several (5 to 7) spaces were always available. All of the students enrolled in the Integrated Bodywork School of Massage Therapy do not attend class every day and at the same time. Some have part-time day-jobs elsewhere. Therefore the parking space formula in the Ferguson Township Subdivision and Land Development Ordinance has caused an unreasonable number of parking spaces to be required for this property.

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\*If necessary, please continue with your hardship specification on another page.

The undersigned hereby represents that, to the best of their knowledge and belief, all information listed above is true, correct, and complete.

M. Todd Giddings  
Signature

2/8/2023  
Date

**-For Office Use Only-**

Date Received: \_\_\_\_\_ By: \_\_\_\_\_

Date Paid: \_\_\_\_\_ Check No.: \_\_\_\_\_ Amount: \_\_\_\_\_

Advertisement Dates: \_\_\_\_\_ Planning Commission Review Date: \_\_\_\_\_

Board of Supervisors Meeting Date: \_\_\_\_\_