

FERGUSON TOWNSHIP PLANNING COMMISSION
Regular Meeting Agenda
Monday, December 12, 2022, 6:00 PM

Hybrid Meeting

REMOTE PARTICIPANTS:

Join Zoom Meeting:

<https://us02web.zoom.us/j/83268113138>

Meeting ID: 832 6811 3138

[Zoom Access Instructions](#)

IN-PERSON PARTICIPANTS:

**Ferguson Township Municipal
Building**

**Main Meeting Room
3147 Research Drive
State College, PA**

I. CALL TO ORDER

II. CITIZENS INPUT

III. APPROVAL OF MINUTES

1. November 14, 2022, Regular Meeting Minutes

IV. NEW BUSINESS

1. MP Machinery and Testing at 2161 Sandy Drive Preliminary Land Development Plan

Kristina Bassett, Community Planner

Provided in the agenda is the MP Machinery and Testing Preliminary Land Development Plan, dated May 3, 2022, and last revised December 6, 2022. This land development plan is located at 2161 Sandy Drive (TP: 24-433-007-0000). The parcel is approximately 1.436 acres and is zoned Light Industry, Research and Development (IRD).

This plan proposes the construction of an 8,088 SF addition to the existing building. On April 5, 2022, the Board of Supervisors reviewed the parking analysis submitted to the Township on February 18, 2022, and approved three (3) additional parking spaces to be required for the proposed addition, resulting in 27 spaces shown on the land development plan with one loading zone space.

Staff has reviewed the resubmission and is recommending conditional approval of the plan. Provided with the agenda is a memorandum from the Community Planner dated December 07, 2022, describing the conditions.

Recommended Motion: Move that the Planning Commission recommend conditional approval to the Board of Supervisors for the MP Machinery Testing at 2161 Sandy Drive Preliminary Land Development Plan subject to the conditions described in the Community Planner's memorandum dated December 7, 2022.



Staff Recommendation: That the Planning Commission recommend conditional approval to the Board of Supervisors.

2. Request for Consideration of a Modification/Waiver

Jenna Wargo, Director of Planning & Zoning

On December 2, 2022, Judy Brooks requested a modification from Chapter 22 – 5C01.1.B.(2) – Off-Street Parking and Loading. This section of the ordinance includes the parking calculations for required parking spaces on a site.

Ms. Brooks has been operating her business, Hair Studio 111, at 111 N. Butz Street since 2008 and has experienced significant business growth. She is requesting to add an additional stylist chair to accommodate her growing business.

Currently, the parking requirement for personal service establishments is one (1) space per 200 square feet of net floor area or 2 parking spaces per customer chair, whichever is greater. With the additional chair, the applicant would be required to provide two (2) additional parking spaces on site. Ms. Brooks is proposing to utilize on-street parking that is located in front of her business to satisfy the requirements.

Staff has reviewed the request and is recommending the Planning Commission approve the request because on-street parking is provided directly in front of the business and the building footprint (occupancy) isn't changing.

Recommended Motion: Move that the Planning Commission recommend approval to the Board of Supervisors of the Request for Consideration of a Modification/Waiver of §22-5C01.1.B.(2) - Off-Street Parking and Loading requirements for Hair Studio 111.

Staff Recommendation: That the Planning Commission recommend approval to the Board of Supervisors.

V. COMMUNICATIONS TO THE COMMISSION

VI. OFFICIAL REPORTS AND CORRESPONDENCE

1. Board of Supervisors Report
2. CRPC Report
3. Land Development Plans

PLAN NAME	SUBMISSION DATE	REVIEW PERIOD	PLAN EXPIRATION
All Washed Up Auto Spa Preliminary Land Development Plan	September 12, 2022	Comments returned September 28, 2022	February 26, 2023

Farmstead View Preliminary Subdivision Plan	July 30, 2021	Conditionally Approved— June 21, 2022	February 25, 2023
Peace Center and Cemetery Preliminary Land Development Plan	May 18, ,2021	Second Review comments returned October 12, 2022	March 7, 2023
IMBT Preliminary Subdivision Plan	January 31, 2022	Conditionally Approved— September 6, 2022	February 6, 2023
1004 West College Ave Vertical Mixed-Use Building	March 14, 2022	Second Review comments returned October 5, 2022	February 25, 2023
MP Machinery Preliminary Land Development Plan	April 6, 2022	PC Review on December 12, 2022	February 8, 2023
Minor Subdivision /Replot of TP 4-433-007-0000 and 24-433-008-0000 at 2151 and 2161 Sandy Drive	August 30, 2022	Conditionally Approved— October 3, 2022 RECORDED 12/7/22	
Salvation Baptist Church Preliminary Land Development Plan	June 1, 2022	Conditionally Approved— November 1, 2022	January 30, 2023
125 East Pine Grove Road Preliminary Land Development Plan	October 12, 2022	Second Review Comments returned December 6, 2022	February 12, 2023
165 Volos Lane Minor Land Development Plan	June 3, 2022	Conditionally Approved— September 20, 2022	March 6, 2023
LeCrone Minor Subdivision Plan	October 21, 2022	Under Second Staff Review, comments due December 16, 2022	March 5, 2023

4. Staff Updates

VII. ADJOURNMENT

**FERGUSON TOWNSHIP PLANNING COMMISSION
REGULAR MEETING MINUTES
MONDAY, NOVEMBER 14, 2022
6:00 PM**

ATTENDANCE

The Planning Commission held its first meeting of the month on Monday, November 14, 2022, as a hybrid meeting. In attendance:

Commission:

Jerry Binney – Chair
Dr. Ellen Taricani – Vice Chair
Rob Crassweller - Secretary
Shannon Holliday
Bill Keough
Ralph Wheland

Staff:

Jenna Wargo – Director of Planning
Jeff Ressler - Zoning Administrator
Kristina Bassett – Community Planner

Others in attendance: Rhonda R. Demchak, Recording Secretary; Chris Schubert, Esq. on behalf of his client, AT&T

I. CALL TO ORDER

Mr. Binney called the Ferguson Township Planning Commission’s regular meeting to order on Monday, November 14, at 6:00 p.m. and it has been advertised in accordance with the PA Sunshine Act as a hybrid meeting.

Ms. Wargo took roll call, and the Planning Commission had a quorum.

II. CITIZEN INPUT

There were no comments.

III. APPROVAL OF MINUTES

Mr. Keough moved that the Planning Commission **approve** the October 24, 2022, Regular Meeting Minutes. Dr. Taricani seconded the motion. The motion passed unanimously

IV. NEW BUSINESS

1. ORDINANCE AMENDMENT REQUEST—CHAPTER 27, ZONING, SECTION 303, TRADITIONAL TOWN DEVELOPMENT AND SECTION 710, WIRELESS COMMUNICATIONS FACILITIES

Ms. Wargo reported on January 10, 2022, Chris Schubert, Esq. on behalf of his client, AT&T, submitted an application for a text amendment to Section 303—Traditional Town Development and Section 710—Wireless Communications Facilities. The Board of Supervisors referred the request to Planning Commission for further review.

Planning Commission received a presentation from the applicant at the February 14, 2022, meeting and worked with Staff on identifying all areas in the Township Code that would need to be amended as a result. That draft was reviewed by Planning Commission at the March 14, 2022, meeting and was recommended to the Board of Supervisors for consideration.

The Board of Supervisors chose to separate the text amendment request and focus on the amendments that were required for State compliance (Act 50) with the understanding that the text amendment request would be revisited after adoption. On November 1, 2022, the Board adopted the Small Wireless Facilities in the Right-of-Way amendments for compliance with Act 50.

Provided in the agenda is a draft amendment to §22-5B01—Design Standards, §27- 303—Traditional Town Development, §27-710—Wireless Communication Facilities, and District Quicks for the Rural Agricultural (RA), Agricultural Research (AR), Rural Residential (RR), General Commercial (C), Forest/Game Lands (FG), Industrial (I) and Light, Industry, Research and Development (IRD) zoning districts that was referred to the Board for their consideration in March. This draft amendment is based on research and peer review of other Pennsylvania Municipalities. Staff has also included the Staff Report that was completed for the initial review by Planning Commission. Staff is prepared to review the proposed amendments with Planning Commission.

Ms. Wargo noted that the Board of Supervisors had concerns with the buffer with regards to the monopoles and the zoning districts.

Ms. Wargo presented a PowerPoint presentation that covered the following:

1. What/Where are they
2. Examples
3. Engineering of Monopoles
4. Existing Vs. Proposed Ordinance
5. Conditional Use
6. Act 50
7. Questions

Ms. Wargo stated that the heaviest weight on the tower is at the top and the bottom 2/3 of the tower is engineered to withstand wind speeds and gusts of 85 mph.

Ms. Wargo reviewed what is existing and what is being proposed. Proposed are that monopoles are above ground; permit free standing telecommunication towers; added the TTD into the zoning districts, change in setbacks, buffers, and will be permitted by conditional use.

Ms. Wargo reviewed and discussed an example of a 200-foot pole outside the right of way for a Wireless Communication Facilities (WCF).

Chris Schubert, Esq. on behalf of his client, AT&T, expressed his concerns with having the setback more than 3,000 feet because the functionality won't be as good.

Mr. Keough stated that he would like to see an effort for technology to reach the western end of the Township sooner rather than later.

Mr. Binney inquired about testing in areas for certain needs. Mr. Schubert stated they perform test utilizing sophisticated software and also rely on customer feedback.

Mr. Schubert reviewed a slide of 700 MHz reliable coverage without proposed facility and pointed out where the proposed location of the facility will be.

Ms. Wargo reviewed another recommendation that came forward from the spring meeting and it was that the accessory structures must meet the zoning district requirements.

Ms. Holliday asked if it would impact the senior living facility that it is near. Mr. Schubert described that it would enhance the services.

Mr. Crassweller moved that the Planning Commission **recommend** approval to the Board of Supervisors of the draft ordinance amendment to the Board of Supervisors. Mr. Keough seconded the motion. The motion passed unanimously.

2. REVIEW OF THE 2022 STATE OF PLANNING REPORT

Ms. Bassett stated that The Pennsylvania Municipalities Planning Code (MPC) requires the Planning Commission to keep a full record of its business and annually make a written report to the governing body by March 1st of each year. This is an opportunity to provide the community and elected officials with a review of the activities and achievements from the previous year.

Ms. Bassett reviewed the report that was included in the agenda.

Mr. Binney suggested removing the titles of the Planning Commission members. Mr. Keough suggested adding dates of service to each member.

Mr. Keough noted that food trucks should be moved on page 55 of the agenda packet to chapter 16.

Mr. Crassweller pointed out that there are more bars than titles on the graph that is on page 56 of the agenda packet.

Mr. Keough suggested including projects that are in review status for 2023.

3. REVIEW AND APPROVAL OF THE 2023 PLANNING COMMISSION WORK PROGRAM

Ms. Bassett reviewed the draft 2023 Planning Commission Work Program for review that was included in the agenda packet.

Mr. Crassweller asked when the last traffic study presentation was. Mr. Binney stated that it would be a good idea to take a comprehensive look at Blue Course Drive and West College Avenue. Mr. Keough suggested having Ron Seybert attend a meeting to discuss the traffic pinch points. Mr. Crassweller suggested looking at the connectivity of the bike paths as well.

Mr. Keough stated that the alley issue needs to be addressed. Mr. Keough stated that growth in the Township needs to be addressed as well.

4. REVIEW AND APPROVAL OF THE 2023 PLANNING COMMISSION CALENDAR

Ms. Bassett stated that provided in the agenda is a draft 2023 Planning Commission Meeting Calendar for review.

Mr. Wheland stated that there are two meetings in November 2023 and it should only be one.

V. COMMUNICATIONS TO THE COMMISSION

Ms. Holliday reported that Pennsylvania Human Relations Commission (PHRC) will be holding a public session of the monthly Commission Meeting in State College on Monday, November 28th, 2022, at the State College Borough Hall. Ms. Holliday will email everyone the details.

Mr. Keough suggested to include Workforce Housing to the Planning Commission Workplan for 2023. Ms. Wargo reported that Workforce Housing Ordinance is only applicable to the Traditional Town Development which is the existing cottages, Pine Hall, and the Terrace Streetscape District.

Dr. Taricani has noticed that at the new building on West College Avenue the lane is extremely close to the sidewalk/building and stated it seems very dangerous.

VI. OFFICIAL REPORTS AND CORRESPONDENCES

A. Board of Supervisors

Ms. Wargo reported that the Board of Supervisors adopted the amendments to Chapter 27 Tower-Based Wireless Communications Facilities. The Board reviewed and approved the Salvation Baptist Church Preliminary Land Development Plan.

B. CRPC Meeting

Dr. Taricani reported they met last week and discussed the College Township biking situation. They discussed a 4-story building being construction on the corner of Burrowes and Foster. The removal of Hammond Building and the renovation of Sackett Building at PSU. Discussed the construction on North and South Atherton Streets.

C. Land Development Plans

Ms. Bassett compiled the following plans:

PLAN NAME	SUBMISSION DATE	REVIEW PERIOD	PLAN EXPIRATION
All Washed Up Auto Spa Preliminary Land Development Plan	September 12, 2022	Comments returned September 28, 2022	December 11, 2022
Farmstead View Preliminary Subdivision Plan	July 30, 2021	Conditionally Approved— June 21, 2022	February 25, 2023
Peace Center and Cemetery Preliminary Land Development Plan	May 18, 2021	Second Review comments returned October 12, 2022	December 15, 2022
IMBT Preliminary Subdivision Plan	January 31, 2022	Conditionally Approved— September 6, 2022	March 5, 2023
1004 West College Ave Vertical Mixed-Use Building	March 14, 2022	Second Review comments returned October 5, 2022	December 12, 2022
MP Machinery Preliminary Land Development Plan	April 6, 2022	Third Review Comments returned November 8, 2022	January 10, 2023
Minor Subdivision /Replot of TP 4-433-007-0000 and 24-433-008-0000 at 2151 and 2161 Sandy Drive	August 30, 2022	Conditionally Approved— October 3, 2022	January 1, 2023
Salvation Baptist Church Preliminary Land Development Plan	June 1, 2022	Conditionally Approved— November 1, 2022	January 30, 2023
125 East Pine Grove Road Preliminary Land Development Plan	October 12, 2022	First Review Comments returned October 27, 2022	January 9, 2023
165 Volos Lane Minor Land Development Plan	June 3, 2022	Conditionally Approved— September 20, 2022	December 19, 2022
LeCrone Minor Subdivision Plan	October 21, 2022	Comments Returned November 8, 2022	January 19, 2023

D. Staff Updates

Ms. Wargo reminded the Planning Commission that there is a Land Use Webinar on November 16th at noon. Ms. Bassett will email everyone the new zoom link.

VII. Adjournment

Dr. Taricani made a motion to **adjourn** the November 14, 2022, Planning Commission meeting at 7:48 p.m. Mr. Crassweller seconded the motion. The motion passed unanimously.

Respectfully Submitted,

Rob Crassweller, Secretary
 For the Planning Commission



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
 Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: Planning Commission

FROM: Kristina Bassett, Community Planner

DATE: February 7, 2022

SUBJECT: MP Machinery and Testing at 2161 Sandy Drive Preliminary Land Development Plan

PennTerra Engineering, Inc, on behalf of their client, has submitted the MP Machinery and Testing Preliminary Land Development Plan, dated May 3, 2022, last revised December 6, 2022. This land development plan is located at 2161 Sandy Drive. The parcel is 1.436 acres and zoned Light Industry, Research and Development (IRD).

The plan proposes the construction of an 8,088 SF addition to the existing 6,624 SF building. On April 5, 2022, the Board of Supervisors reviewed the parking analysis submitted to the Township on February 18, 2022, and approved three (3) additional parking spaces to be required for the proposed addition. A new total of 27 spaces are shown on the land development plan with one loading space.

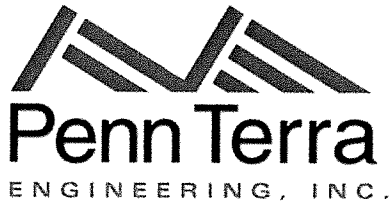
Staff has reviewed the the resubmission and is recommending conditional approval of the preliminary plan with the conditions as listed:

- *Execution of the SW Maintenance Agreement*
- *Any additional comments from most December 6, 2022 submission*

The comments below shall carry forward to the Final Plan submission:

- Prior to receiving final plan signatures, a GIS-compatible digital format of plans must be submitted to the township.
- Prior to receiving final plan signatures, the Development Sign must be returned to the Township
- Prior to receiving final plan signatures, Surety must be posted for all public improvements

Staff Recommendation: *That the Planning Commission recommend approval of the Preliminary MP Machinery and Testing at 2161 Sandy Drive Land Development Plan.*



Central Pennsylvania Office:
3075 Enterprise Drive
State College, PA 16801
814-231-8285
www.pennterra.com

December 6, 2022

Jenna Wargo- Director of Planning and Zoning
Ferguson Township
3147 Research Drive
State College, Pennsylvania 16801

RE: MP Machinery and Testing Preliminary Land Development Plan

Dear Jenna,

In regard to (4th) comments received, we offer the following responses:

Community Planner Comments (dated November 28, 2022)

1. A time extension must be submitted with any revised plan.
Enclosed is the Time Extension.
2. Prior to receiving final signature, all subdivision and land development plans must be submitted to the Township in digital format. The data shall be in a format readily compatible (i.e., without conversion) with the Township's geographical information system (GIS) software and shall provide a true and complete display of the subdivision or land development plan, in correct geographic location, configured in appropriate layers as specified by the Township. (Chapter 22, Section 304.6)
Acknowledged.

Zoning Officer Outstanding Comments (dated December 1, 2022)

2. A time extension must be submitted with any revised plan. (Chapter 22, Section 303)
See response to Community Planner Comment #1 above.
3. A digital copy of the plan in accordance with Township requirements must be provided to the Township prior to final plan signature. (Chapter 22, Section 307.7)
See response to Community Planner Comment #2 above.
4. Surety must be posted for all public improvements. (Chapter 22, Section 304)
Acknowledged.
5. The plan must be signed, all fees paid to the Township, and the plan recorded within the plan deadline.
Acknowledged.
7. The landscaping plan must graphically depict the location of all buffer yards and planting areas. (Chapter 27, Section 401.C.1.g). Comment partially addressed. Provide details of existing plantings
The existing plants are shown on Sheets 6 & 7. We additionally surveyed all trees 1" and greater in size.
8. The landscaping plan must graphically depict the distribution, mature height and spread of all required plant materials. The Official Township plant list shows the plant height and spread which is to be used for each plant species (Chapter 27, Section 707.5.B). Comment partially addressed. Need to have more detail on the existing plantings in the buffer yard.
The existing plants are shown on Sheet 6 & 7. We additionally surveyed all trees 1" and greater in size.

11. The existing landscaping is proposed to be used for the required buffer. The landscaping Ordinance in Chapter 22-516.8 provides the details for approving existing vegetation. Please provide the required plan that details the existing landscaping so that plan can be reviewed for compliance. Comment not addressed. Please provide details of the existing plantings so that the Township can determine if the existing plantings meet the buffer requirements.
The existing plants are shown on Sheet 6 & 7. The trees in the West Buffer Yard are being requested to be considered sufficient to meet and/or exceed the township Buffer Yard Planting Requirements. We have ADDED tree plantings to the existing south/residential side Buffer Yard to guarantee that the Township Buffer Yard requirements are exceeded.
13. The seal of the professional licensed engineer or registered landscape architect must be affixed to the plan. (Chapter 22, Section 401.C.1.k)
All signatures will be obtained prior to final plan approval.
14. A signed notarized statement by the owner certifying ownership of the property must be included on the plan. (Chapter 22, Section 401.C.1.i)
All signatures will be obtained prior to final plan approval.

Township Engineer Comments (dated November 29, 2022)

1. Include a reference in Note 7 to the current Stormwater Management Site Plan including the date prepared and last revised date. This note won't be complete until the SWMSP is approved. Partially resolved. Note 7.h should include a place to insert the plan date and last revision date of the SWMSP once it is approved. Partially resolved. 11-28-22 Update the last revision date of the SWMSP in the note once it is approved.
Will be updated once we have the approval from Scott Brown.
9. Please label the existing detail of Depressed Concrete Curb to be for handicap sidewalk ramp. Not resolved. The response indicates it is labeled, but the plan did not change. 11-28-22; not resolved. The response indicates it is labeled, but the label of the detail on sheet 10 did not change.
Updated. See Sheet 10; we added the (*)NOTE.
10. Please provide a detail for the depressed curb/gutter for driveway. Not resolved. I cannot locate a detail for depressed curb/gutter for the driveway on Sheet 9. 11-28-22; not resolved. The following items need corrected on both provided details for curb-gutter:
 - a. The depressed curb should specify 1 ¼", not ¼".
Updated. Refer to Sheet 10.
 - b. Since the gutter pan cross slope was labeled to match existing, the specified slope of ½" per foot should be removed.
Updated. Refer to Sheet 10.
 - c. Since the gutter pan width was labeled to match existing, the overall width of the curb and gutter should be removed.
Updated. Refer to Sheet 10.
11. Please provide a detail for the connection between the concrete curb/gutter and the driveway curb. Not resolved. I cannot locate a detail on Sheet 9. 11-2-22; not resolved. This requested detail is not on the plans. 11-28-22; not resolved. This requested detail is not on the plans. The detail would show how the driveway curb connects to the street curb in a monolithic manner.
Provided. Refer to the TRANSITION: EXTRUDED CURB TO STRAIGHT FACE CURB & GUTTER on Sheet 10.
12. The plan should include a reference to the minor subdivision plan that is currently in review including the recording location. This note cannot be completed until the minor subdivision plan is recorded. Partially resolved. The note needs completed once the minor subdivision plan is recorded.
Will be updated.

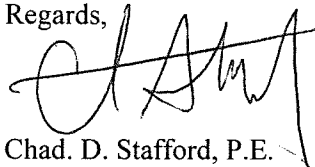
13. Note 1c and d will need updated after the minor subdivision and new deeds are recorded. Not resolved, pending recording of minor subdivision plan.
Will be updated.

Enclosed please find the following materials:

- Time extension
- Three copies of the updated plans.

Please consider to place the plan on the next available Township Planning Commission agenda- . If you have any questions, please don't hesitate to contact me. Thank you for your help and considerations.

Regards,



Chad. D. Stafford, P.E.
Senior Project Manager

Enclosures

cc: File No. 21316

December 6, 2022

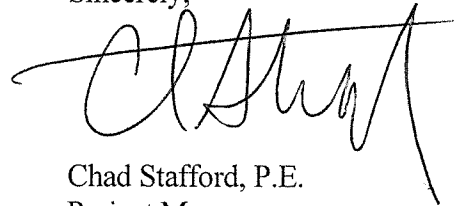
Jenna Wargo, AICP
Director of Planning and Zoning
Ferguson Township
3147 Research Drive
State College, Pennsylvania 16801

RE: MP Machinery & Testing Building Expansion at 2161 Sandy Drive
TIME EXTENSION

Dear Ms. Wargo,

In regard to the above-referenced plan, I, on behalf of my Client, provide Ferguson Township a TIME EXTENSION per Ferguson Township Ordinances Chapter 22, Section 303, is granted until March 6, 2023.

Sincerely,



Chad Stafford, P.E.
Project Manager

Cc: 21316

December 6, 2022

Via Email

Township of Ferguson
3147 Research Drive
State College, Pennsylvania 16801

Attn: Mr. Ronald Seybert, Township Engineer

**RE: MP Machinery Plan
Stormwater Management Site Plan Review**

Dear Ron,

We have completed our third Stormwater Management Site Plan review for MP Machinery. The applicant's Design Professional, Penn Terra Engineering, submitted the following information that serves as the basis of our review:

1. Stormwater Management Site Plan for MP Machinery and Testing at 2161 Sandy Drive State College, dated 2022-05-03 with revisions through August 15, 2022.
2. Preliminary Land Development Plan for MP Machinery and Testing at 2161 Sandy Drive State College, dated 2022-05-03, with revision through November 4, 2022.
3. Post Construction Stormwater Management Report for MP Machinery and Testing at 2161 Sandy Drive State College, dated 2022-05-03 with revisions through September 26, 2022.
4. Comment response letter dated November 9, 2022.

NTM has reviewed these documents for compliance with Township stormwater management ordinance (Chapter 26 of the Township Code). Our continuing comments follow in bold face text. All previously addressed comments have been removed from the letter.

1. 26-301. Update the Report and plans with the following information:

- a. Include the background information from the original approved Stormwater Plan for this property in the Stormwater Management Site Plan (SMSP) Report. Include all relevant back-up information from the original design report and plans that support the current design including but not limited to: drainage divides (including maps), impervious coverage, storm drain system design, etc.

Mr. Ronald Seybert

Page 2

December 6, 2022

September 20, 2022: Comment partially addressed. Include documentation more clearly identifying the total drainage area and conveyance system from the site to the regional basin. Also provide the storm drain conveyance system design documentation demonstrating system capacity from the site to the regional facility.

October 18, 2022: Comment partially addressed. Include discussion of safe conveyance from the site to the regional basin in the stormwater report. A narrative like that included in the response to the conveyance map in Appendix G, would be adequate. comments, including reference

December 6, 2022: Comment Addressed.

14. **26-702.** Note: Applicant to provide financial guarantee to Township for timely installation and proper construction of SWM controls.

September 20, 2022: Comment acknowledged. No additional response required.

15. **26-704.** Note: Developer required to execute maintenance agreement with Township per Section 704 once the Post Construction Stormwater Management Plan is approved.

September 20, 2022: Comment acknowledged. No additional response required.

Additional comments on October 18, 2022:

19. Include the site Inlet area map as a permanent part of the Stormwater Management Report.

December 6, 2022: Comment Addressed.

If you have any questions or require additional information, please feel free to contact me at 814-862-9191.

Sincerely,
NTM Engineering, Inc.



Scott A. Brown, PE, D.WRE
Senior Project Manager

cc: Ms. Jenna Wargo, Director of Planning and Zoning, Ferguson Township
Mr. Aaron Jolin, Stormwater Engineer, Ferguson Township
Mr. James Coslo, Centre County Conservation District

2022 12 06 MP Machinery SWM Review r4

MORTON BUILDINGS GENERAL SPECIFICATIONS

LAMINATED COLUMNS - NO. 1 OR BETTER SOUTHERN YELLOW PINE NAIL LAMINATED 3 MEMBER S4S COLUMNS NAILED 8" O.C. STAGGERED ON EACH SIDE WITH 4" NAILS.

ANCHORED ON CONCRETE - COLUMNS ARE ATTACHED TO CONCRETE BY USE OF 1/4" H.R. STEEL COLUMN SOCKETS. EACH SOCKET IS FASTENED TO THE CONCRETE BY (2) 1/2" DIA. x 6-1/2" THREADED RODS EMBEDDED 4-1/4" INTO THE CONCRETE WITH HILTI HIT HY-200 ADHESIVE. COLUMN IS FASTENED TO SOCKET BY (4) 1/2"x6" M. BOLTS & (8) 1/4"x2-1/2" POWER LAG WASHER HEAD YELLOW ZINC SCREWS.

TREATED LUMBER -- PRESSURE PRESERVATIVE TREATED LUMBER OTHER THAN LAMINATED COLUMNS ARE NO. 1 OR BETTER SOUTHERN YELLOW PINE AND CENTER MATCHED OR NOTCHED AND GROOVED OR S4S. PRESSURE TREATMENT TO GROUND CONTACT RETENTION WITH PRESERVATIVE TREATMENT COMPLYING WITH USE CATEGORY UC4B (AWPA OR ICC-ES) AND IN COMPLIANCE WITH USEPA GUIDELINES AND STANDARDS.

FRAMING LUMBER - SIDING NAILERS ARE 2x4 S4S OR 2x6 SPF NO. 2 OR BETTER SPACED APPROXIMATELY 36" O.C. WITH ALL JOINTS STAGGERED AT ATTACHMENT TO COLUMNS. ROOF PURLINS ARE 2x4 S4S NO. 2 OR BETTER ON EDGE SPACED APPROXIMATELY 24" O.C. ALL OTHER FRAMING LUMBER IS NO. 2 OR BETTER.

ROOF TRUSSES - FACTORY ASSEMBLED WITH 18 OR 20 GAUGE GALVANIZED STEEL TRUSS PLATES AS REQUIRED AND KILN DRIED LUMBER AS SPECIFIED, IN-PLANT QUALITY CONTROL INSPECTION IS CONDUCTED UNDER THE AUSPICES OF THE TPI INSPECTION BUREAU. TRUSSES ARE DESIGNED IN ACCORDANCE WITH CURRENT STANDARDS AND SPECIFICATIONS FOR THE STATED LOADING.

SIDING PANELS & ROOFING (FLUOROFLEX 1000™) - 0.019" MIN., G90 GALVANIZED OR AZ55 GALVALUME STEEL WITH AN ADDITIONAL BAKED-ON 70% PVDF FINISH WITH A NOMINAL 1 MIL. PAINT THICKNESS ON EXTERIOR.

TRIM - DIE-FORMED TRIM OF 0.017" MIN., G90 GALVANIZED OR AZ55 GALVALUME STEEL ON GABLES, RIDGES, CORNERS, BASE WINDOWS, AND DOORS WITH SAME FINISH AS ROOFING OR SIDING PANELS.

GUTTERS - 5" OR 6" K-STYLE, .030 HIGH TENSILE ALUMINUM GUTTER, 70% PVDF FINISH TO MATCH TRIM, ON BOTH SIDES OF THE BUILDING.
2x4 F1 F1 CNC 09/20

DESIGN AND EXPLANATORY NOTES

- 1.) ALL PLOT PLANS AND RELATED DETAILS SHALL BE PROVIDED BY OWNER UNLESS INCORPORATED AS PART OF THESE DRAWINGS.
- 2.) MORTON BUILDINGS GENERAL SPECIFICATIONS APPLY UNLESS INDICATED DIFFERENTLY ON SPECIFIC JOB DRAWINGS OR SUPPLEMENTAL INFORMATION.
- 3.) NO ONE MAY ALTER ANY ENGINEERING ITEM UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED / REGISTERED ENGINEER .
- 4.) ♦ THE PRECEDING SYMBOL IDENTIFIES ITEMS THROUGHOUT THE PLANS THAT ARE NOT PROVIDED BY MORTON BUILDINGS, INC. OR MORTON BUILDINGS' SUBCONTRACTORS AND ARE THE OWNER'S RESPONSIBILITY.

OFFICE:
CENTRE HALL, PA
JOB NO.
096-112555



SHEET INDEX	
SHEET#	DESCRIPTION
G1 OF G1	SPECIFICATIONS & SHEET INDEX
SF1 OF SF2	FOUNDATION PLAN & SECTIONS
SF2 OF SF2	FOUNDATION SECTIONS & DETAILS
S1 OF S7	COLUMN PLAN
S2 OF S7	TRUSS/BRACING PLAN & DETAILS
S3 OF S7	TRUSS DRAWINGS & DETAILS
S4 OF S7	ELEVATIONS
S5 OF S7	SECTIONS & DETAILS
S6 OF S7	SECTIONS & DETAILS
S7 OF S7	SECTIONS & DETAILS

CURRENT LUMBER SPECIFICATIONS (06-01-2013)		
SIZE	DESCRIPTION	BENDING VALUE Fb
2x4	NO. 2 SPF	1313 PSI
2x4	NO. 1 SYP	1500 PSI
2x4	2100F MSR SPF	2100 PSI
2x6	NO. 2 SPF	1138 PSI
2x6	NO. 1 SYP	1380 PSI
2x6	2100F MSR SPF	2100 PSI
2x6	2400 MSR SYP	2400 PSI
2x8	NO. 1 SYP	1250 PSI
2x8	2400 MSR SYP	2400 PSI
2x10	NO. 1 SYP	1050 PSI
2x10	2400 MSR SYP	2400 PSI
2x12	NO. 1 SYP	1000 PSI
2x12	2250F MSR SYP	2250 PSI
1 1/2"x1 1/4"	LAMINATED VENEER LUMBER	2800 PSI
3 1/2"x1 1/2"	GLU-LAM	1650 PSI
5 1/4"x1 1/2"	GLU-LAM	2400 PSI
5 1/4"x1 1/2"	GLU-LAM	2400 PSI

BUILDING DESIGN CRITERIA	
CONSTRUCTION TYPE	VB
RISK CATEGORY	II
ROOF SNOW LOAD *	31 PSF
GROUND SNOW LOAD	40 PSF
WIND SPEED (Vult)	115 MPH
WIND SPEED (Vdes)	89 MPH
FLOOR LOAD	125 PSF
DESIGN ELEVATION	1200 FT

***ROOF SNOW LOAD CALCULATIONS**

- Pf = 0.7 x Ce x I x Pg x Ct
- Ce = SNOW EXPOSURE FACTOR = 1.0
- I = IMPORTANCE FACTOR = 1.0
- Pg = GROUND SNOW LOAD = 40 PSF
- Ct = THERMAL FACTOR = 1.1
- Pf = 0.7 x 1.0 x 1.0 x 40 x 1.1 = 30.80 PSF
- Cs = ROOF SLOPE FACTOR = 1.00
- Ps = Pf x Cs = 30.80 x 1.00 = 30.80 PSF

I HEREBY CERTIFY THAT THE STRUCTURAL DESIGN FOR THIS BUILDING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED/REGISTERED PROFESSIONAL ENGINEER.

MICHAEL L. McCORMICK, P.E.
mimccormick@alliedesignpa.com
DATE: 3/11/2022 REG.#

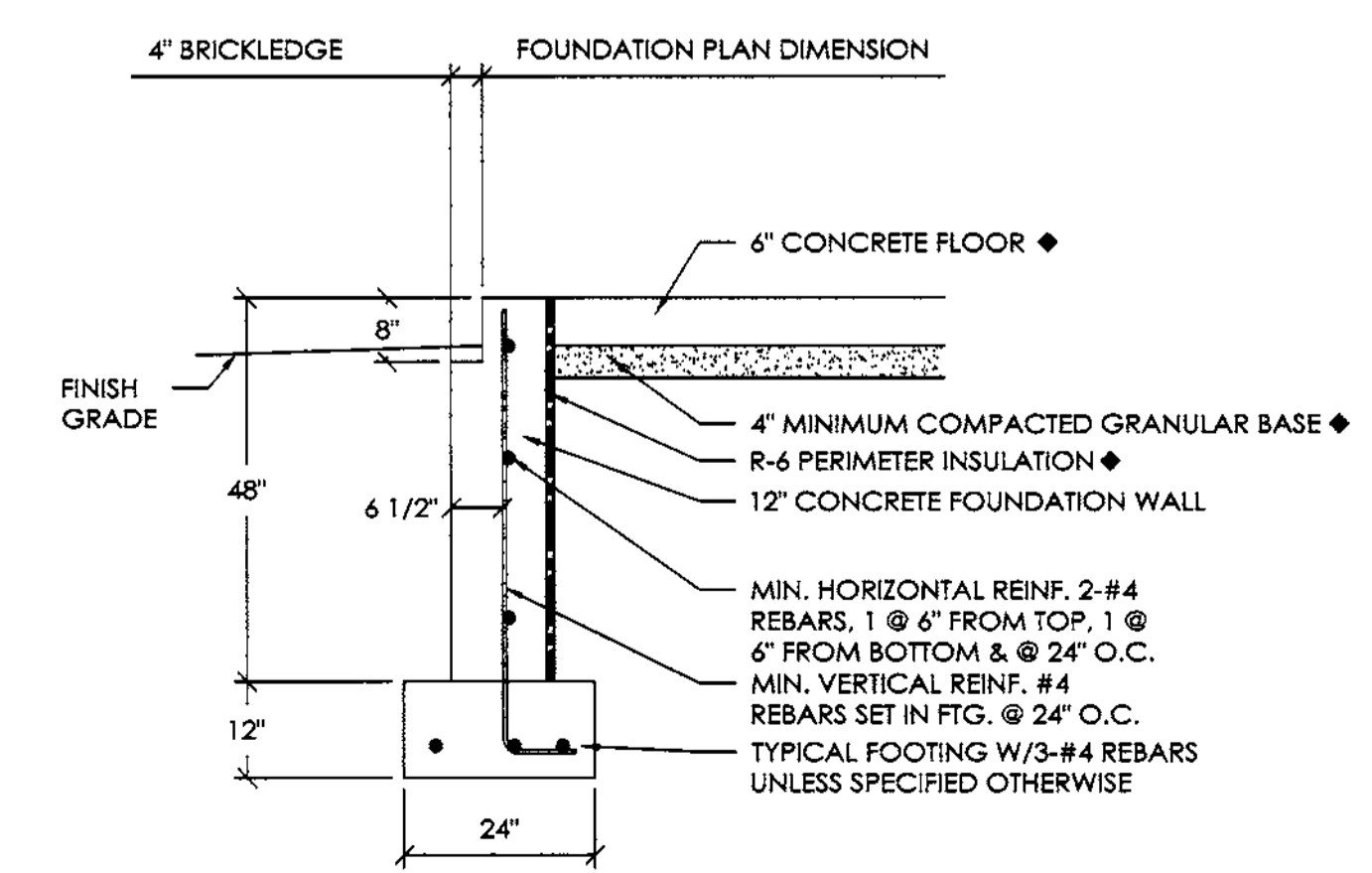
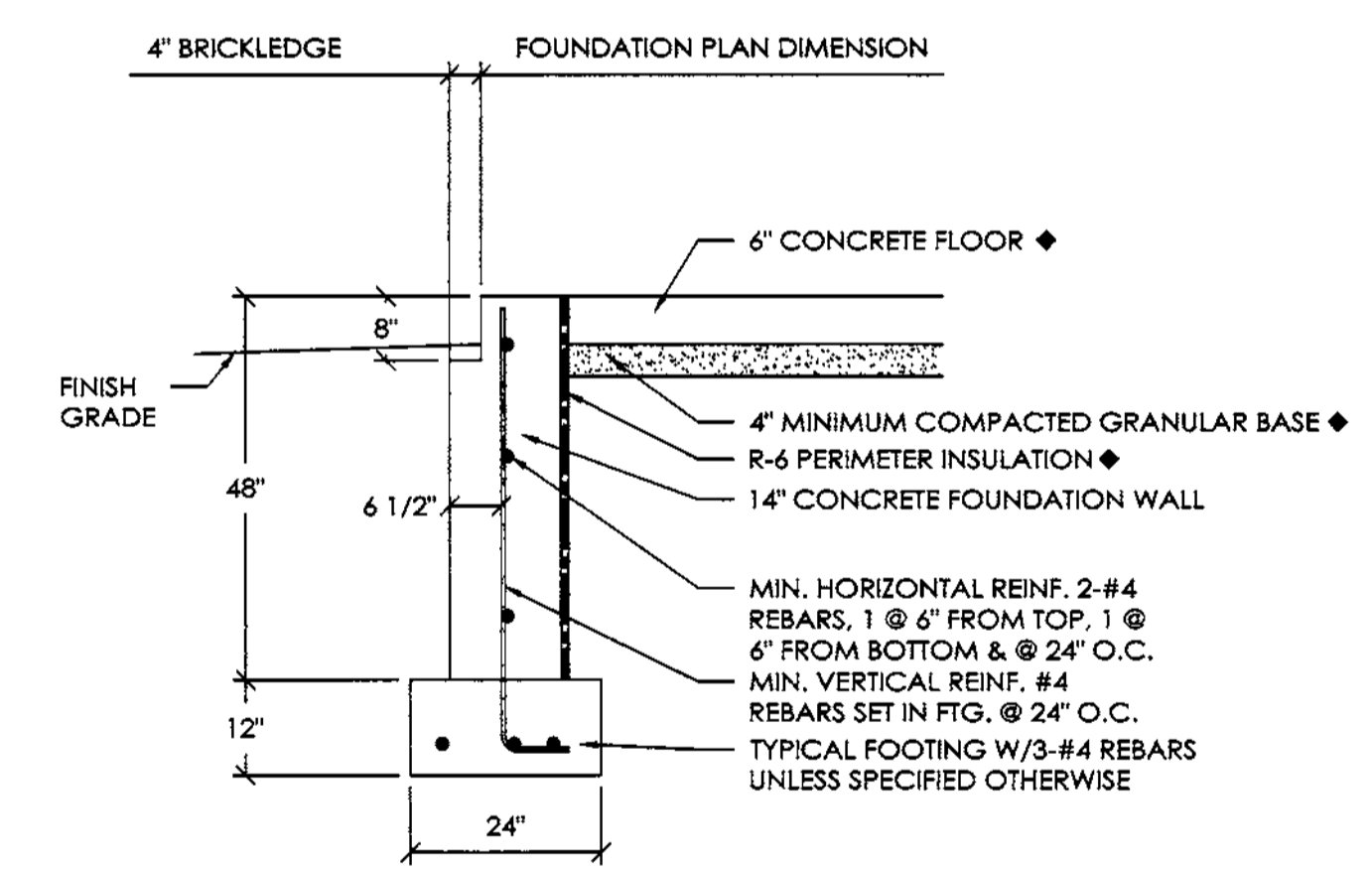
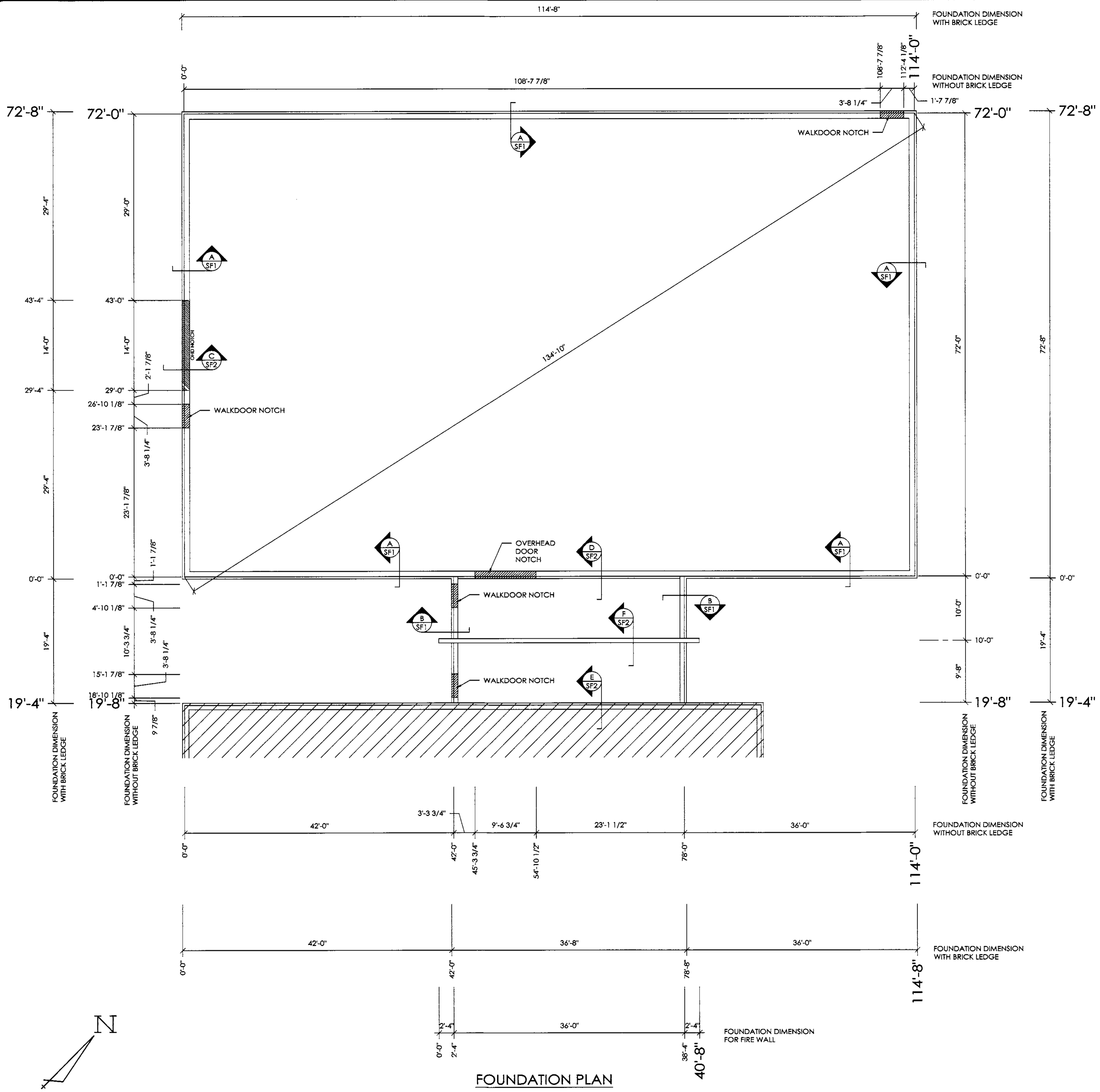
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SCALE: AS NOTED
SHEET NO: G1 OF G1

MIKE MANAHAN
STATE COLLEGE, PA
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AL FRAM ILLC # PA0044001
PHONE NUMBER: 809-263-1105

DESIGN AND EXPLANATORY NOTES

- 1.) FOOTINGS ARE DESIGNED FOR A 2000 PSF SOIL BEARING CAPACITY. LOCAL CONDITIONS MAY REQUIRE MODIFICATIONS.
- 2.) CONCRETE FLOOR NOTES:
 - a. 3500 PSI, 5 1/2 BAG MIX CONCRETE
 - b. SLOPE GRADE AWAY FROM BUILDING @ 1" PER FOOT FOR A MINIMUM DISTANCE OF 10' PLUS OVERHANG WIDTH
 - c. PLACE A MINIMUM 6 MIL POLYETHYLENE VAPOR RETARDER OVER A COMPACTED GRANULAR BASE AND DIRECTLY BELOW THE CONCRETE FLOOR
 - d. CONTRACTION JOINTS UNIFORMLY SPACED 18' O.C. OR LESS
- 3.) CONCRETE FOUNDATION NOTES:
 - a. CONCRETE & REINFORCING BAR SPECIFICATIONS:
 - 4000 PSI
 - GRADE 60, DEFORMED REINFORCING BARS
 - b. VERTICAL REINFORCING:
 - HOOK VERTICAL REINFORCING 8" MINIMUM IN FOOTING
 - SPLICE LENGTH SHALL BE 12" MINIMUM
 - COVER SHALL BE 2 1/2" MINIMUM
 - c. HORIZONTAL REINFORCING:
 - HORIZONTAL REINFORCING SHALL BE CONTINUOUS OR PROPERLY SPLICE AROUND ALL CORNERS
 - SPLICE LENGTH SHALL BE 12" MINIMUM
 - COVER SHALL BE 3" MINIMUM
- 4.) NOTCH WALL DOUBLE THE THICKNESS OF THE INTERIOR FLOOR PLUS THE HEIGHT OF THE WALL ABOVE THE FLOOR (IF APPLICABLE). NOTCH WALL 8" DEEP AT DOOR OPENING.

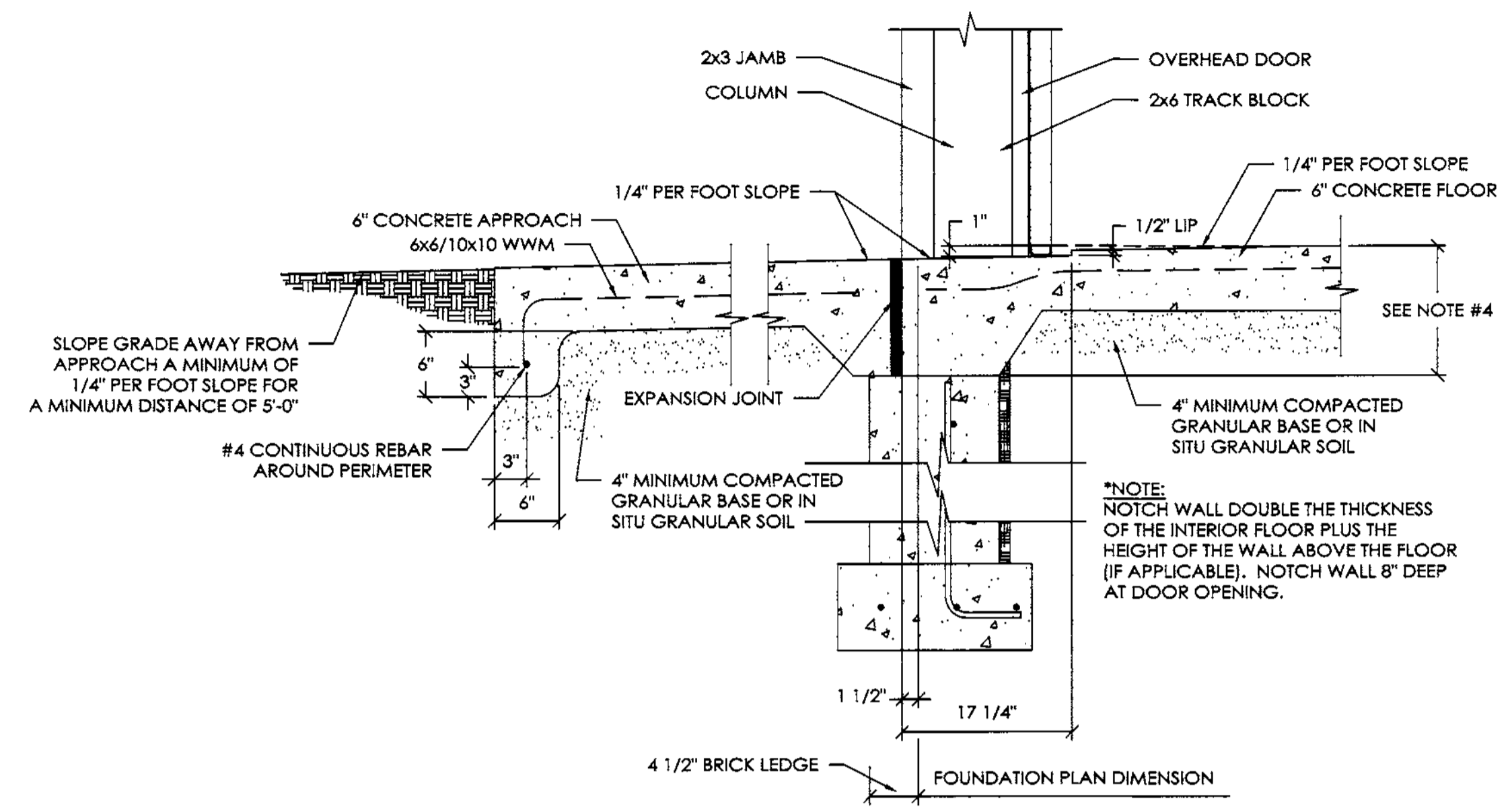


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 100 S. PERSHING P.O. BOX 110 WORTON, PA 16150
 ALLIANCE # 000046001 PHONE NUMBER: 809-265-4105

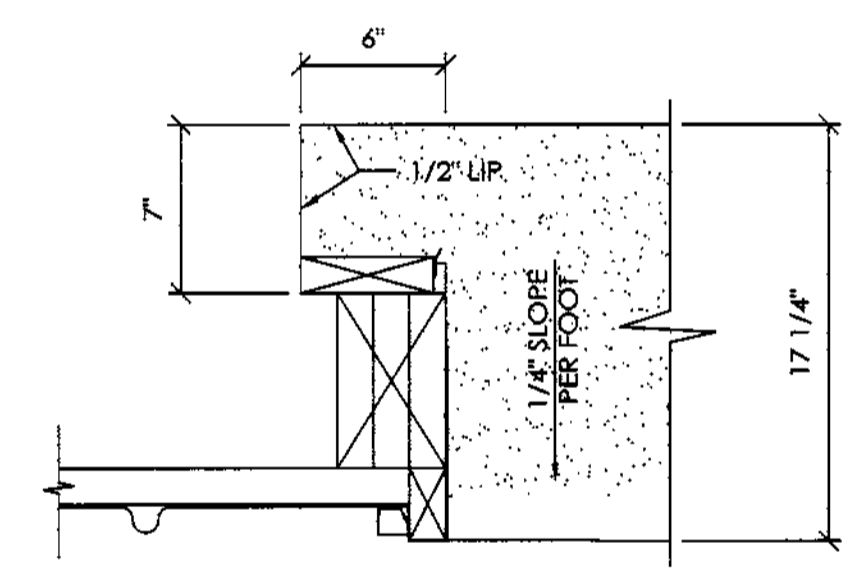
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REVISED DATE:	----
REVISED DATE:	----



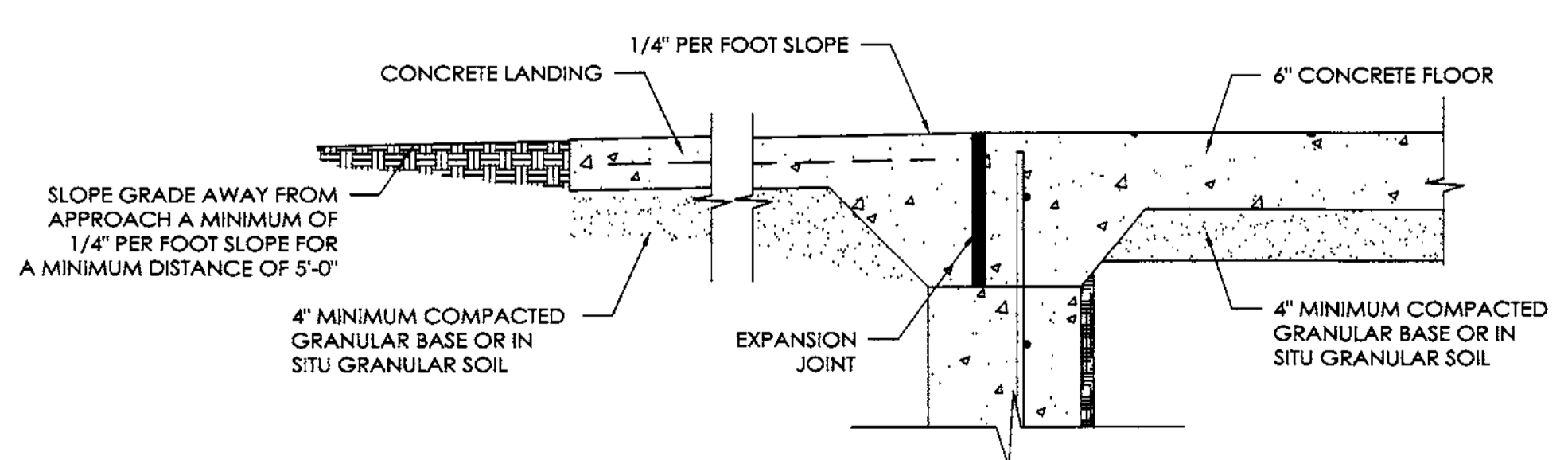
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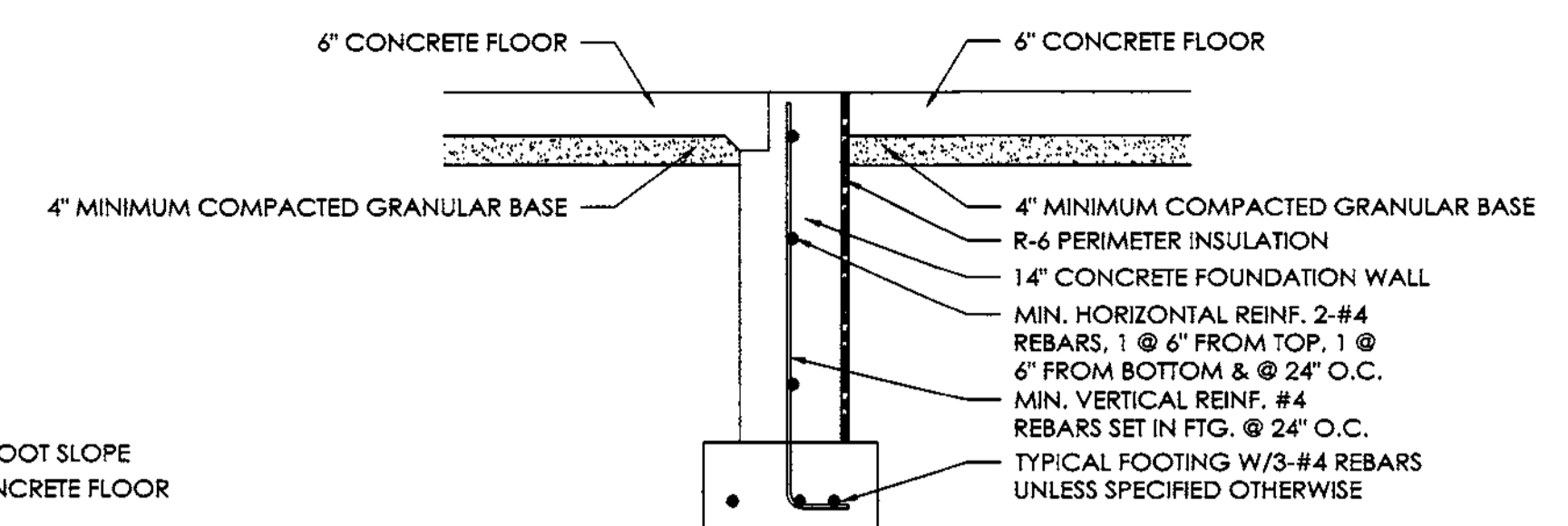
OVERHEAD DOOR CONCRETE APPROACH SECTION C
SCALE: 1" = 1'-0"



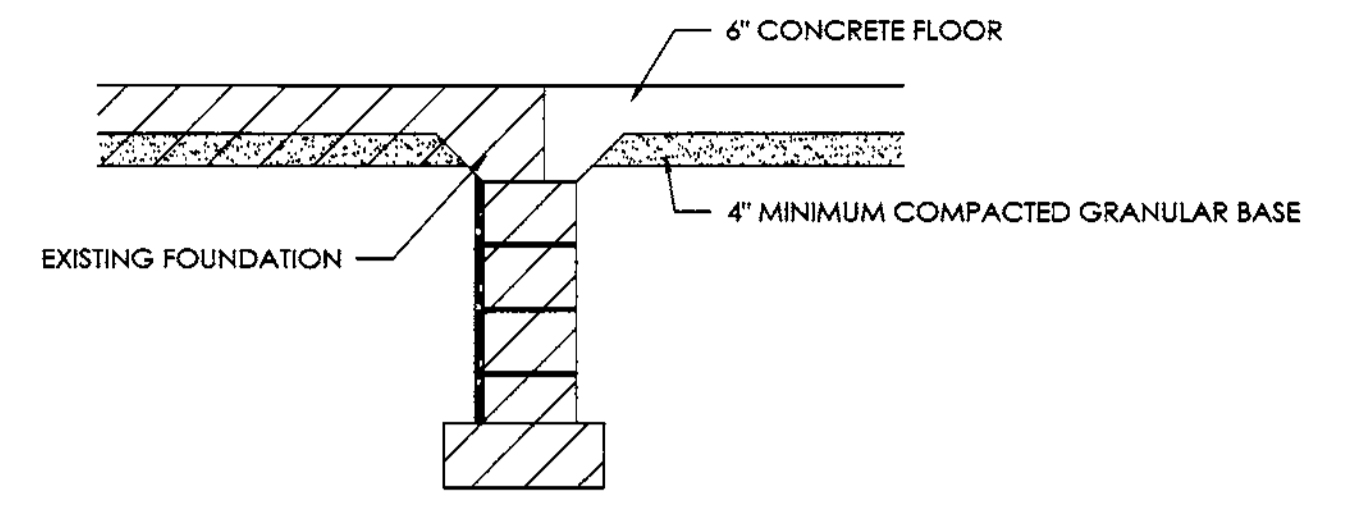
OVERHEAD DOOR CONCRETE JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



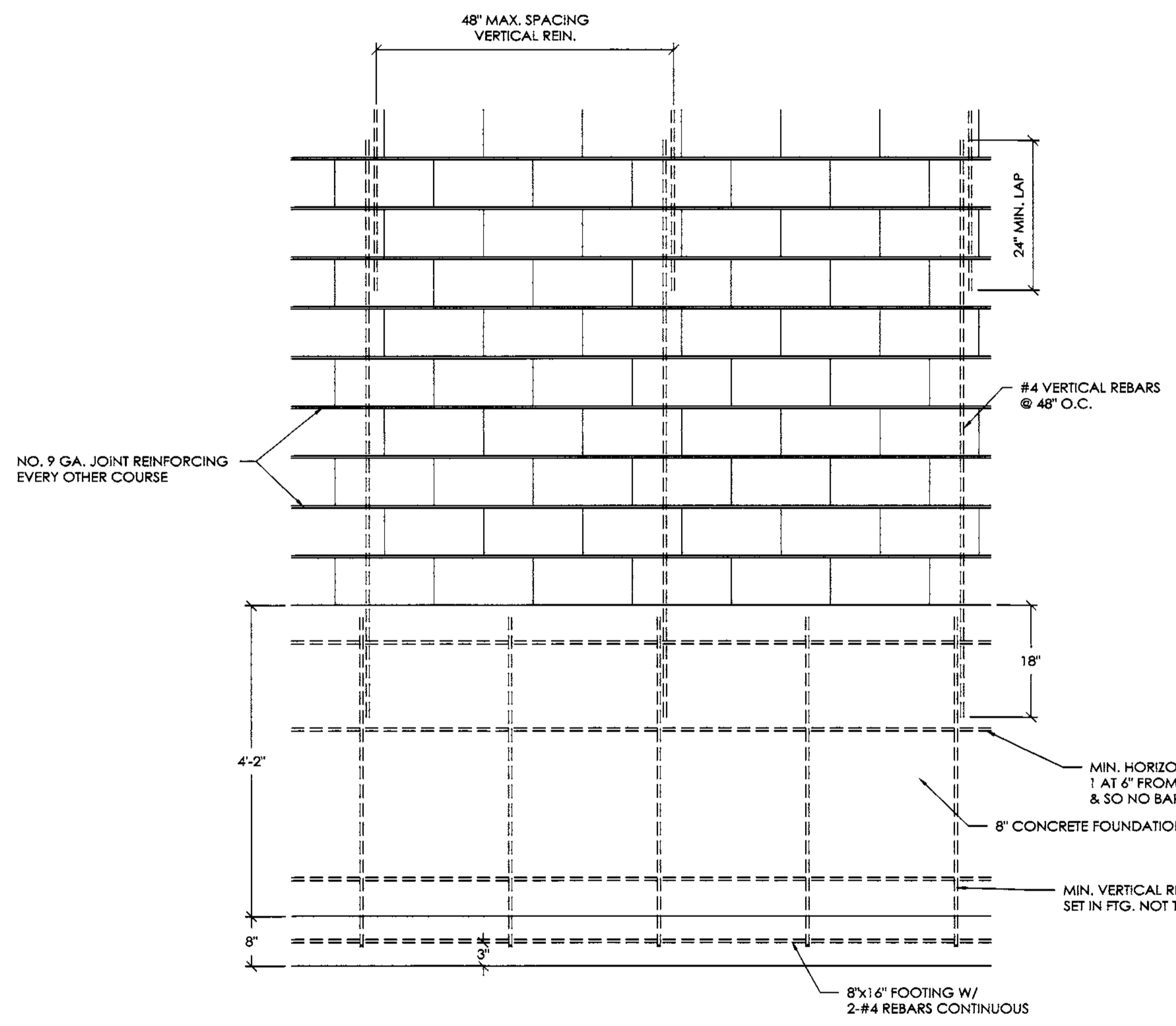
LANDING & THRESHOLD DETAIL FOR FIBERSTEEL WALKDOOR
SCALE: 1" = 1'-0"



FOUNDATION SECTION D
SCALE: 1/2" = 1'-0"

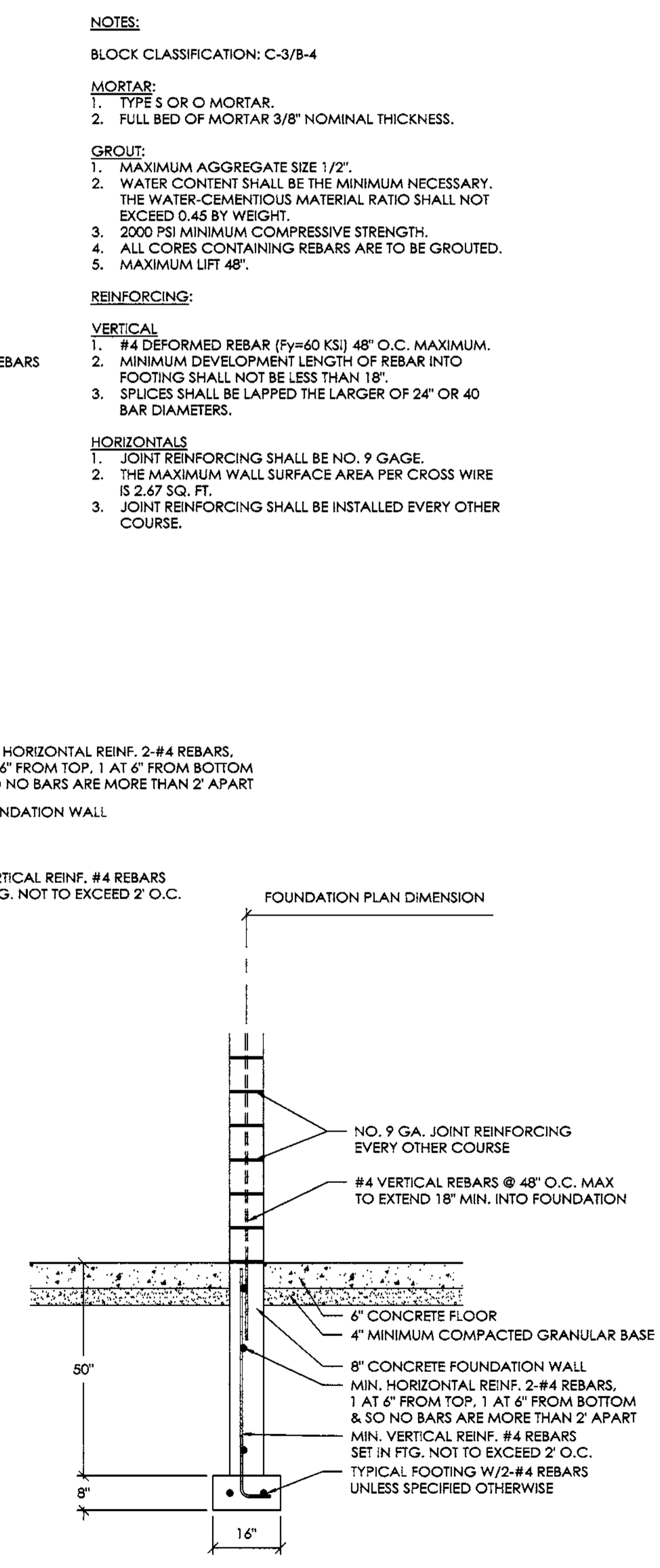


FOUNDATION SECTION E
SCALE: 1/2" = 1'-0"



ELEVATION

CMU FIREWALL DETAILS
SCALE: 3/4" = 1'-0" 3 HOUR FIRE RESISTIVE WALL PER UL #U907

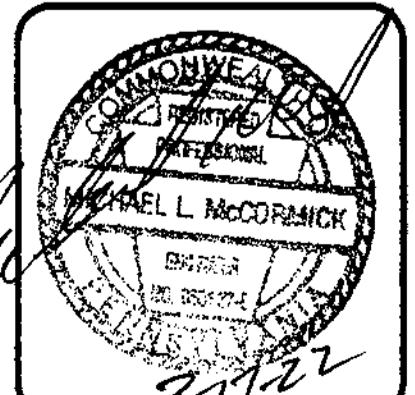


FOUNDATION SECTION F
SCALE: 1/2" = 1'-0"

- NOTES:**
BLOCK CLASSIFICATION: C-3/B-4
- MORTAR:**
1. TYPE S OR O MORTAR.
2. FULL BED OF MORTAR 3/8" NOMINAL THICKNESS.
- GROUT:**
1. MAXIMUM AGGREGATE SIZE 1/2".
2. WATER CONTENT SHALL BE THE MINIMUM NECESSARY. THE WATER-CEMENTIOUS MATERIAL RATIO SHALL NOT EXCEED 0.45 BY WEIGHT.
3. 2000 PSI MINIMUM COMPRESSIVE STRENGTH.
4. ALL CORES CONTAINING REBARS ARE TO BE GROUTED.
5. MAXIMUM LIFT 48".
- REINFORCING:**
- VERTICAL**
1. #4 DEFORMED REBAR (F_y=60 KSI) 48" O.C. MAXIMUM.
2. MINIMUM DEVELOPMENT LENGTH OF REBAR INTO FOOTING SHALL NOT BE LESS THAN 18".
3. SPLICES SHALL BE LAPPED THE LARGER OF 24" OR 40 BAR DIAMETERS.
- HORIZONTALS**
1. JOINT REINFORCING SHALL BE NO. 9 GAGE.
2. THE MAXIMUM WALL SURFACE AREA PER CROSS WIRE IS 2.67 SQ. FT.
3. JOINT REINFORCING SHALL BE INSTALLED EVERY OTHER COURSE.

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ALPHA INSTITUTE # PA0004608
PHONE NUMBER: 309-263-4105

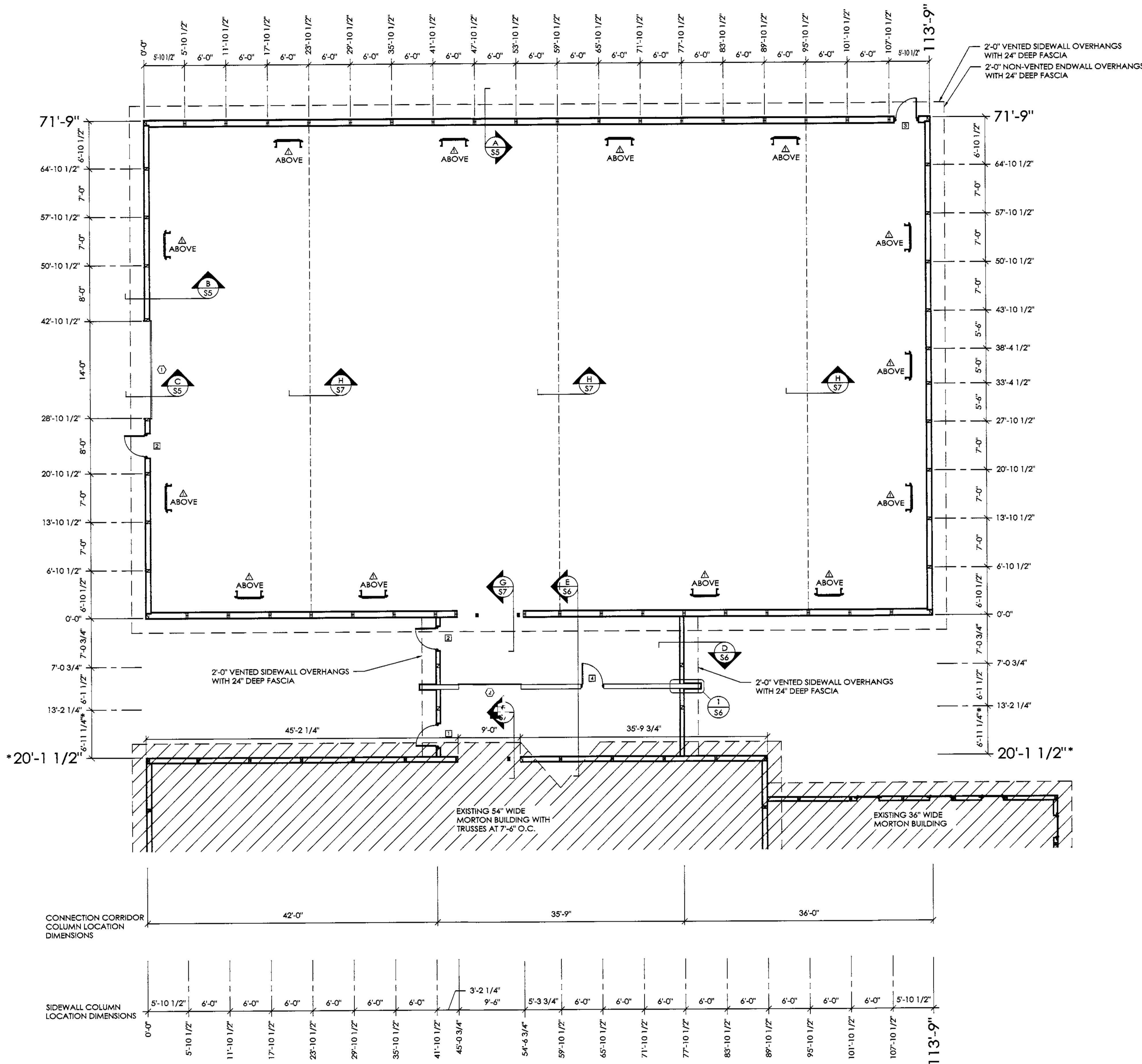
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REVISED DATE:	---
REVISED DATE:	---
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DESIGN AND EXPLANATORY NOTES

1.) * - INDICATES DIMENSIONS ARE TAKEN FROM THE OUTSIDE FACE OF THE EXISTING BUILDING NAILERS.

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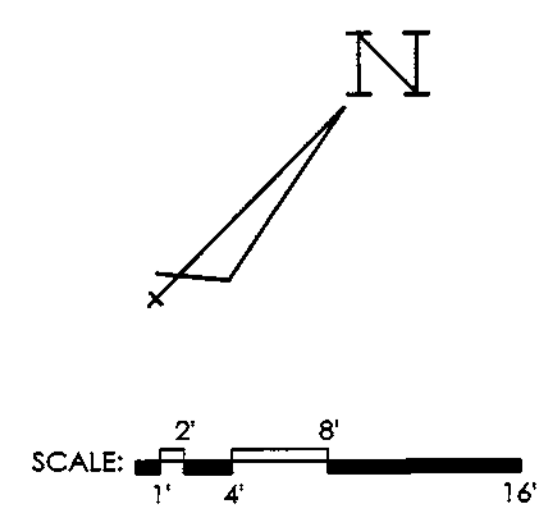
ROUGH OPENING SCHEDULE

UNIT SYMBOL FROM LEGEND	WIDTH	HEIGHT
1	38 1/4"	81"
2	38 1/4"	81"
3	38 1/4"	81"
4	38 1/4"	81"
△	40 1/4"	60 1/4"

COLUMN PLAN LEGEND

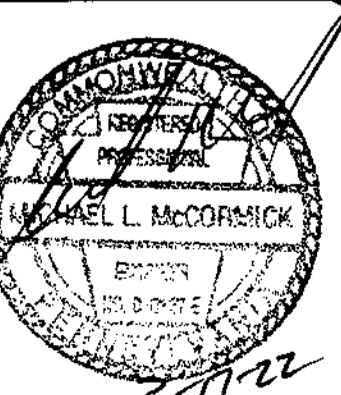
- - 4-2x6 LAMINATED COLUMN LOCATION
- ▣ - 3-2x8 LAMINATED COLUMN LOCATION
- ▤ - 3-2x10 LAMINATED COLUMN LOCATION
- - EXISTING COLUMN LOCATION
- ⊠ - 3068 9-LITE TEMPERED GLASS IN PLAIN FLAT LEAF FIBERSTEEL WALKDOOR, OUT SWING, RIGHT HINGE WITH KEYED LEVER LOCKSET, CLOSER
- ⊡ - (2) 3068 9-LITE TEMPERED GLASS IN PLAIN FLAT LEAF FIBERSTEEL WALKDOORS, OUT SWING, LEFT HINGE WITH KEYED LEVER LOCKSET, CLOSER
- ⊢ - 3068 PLAIN FLAT LEAF FIBERSTEEL WALKDOORS, OUT SWING, LEFT HINGE WITH KEYED LEVER LOCKSET, CLOSER
- ⊣ - 3068 PLAIN FLAT LEAF FIBERSTEEL WALKDOORS, IN SWING, LEFT HINGE WITH KEYED LEVER LOCKSET, CLOSER
- △ - (13) 3450 MB FIXED WINDOWS
- ⊙ - 14'-2"x16'-1" OVERHEAD DOOR WITH PREPARE FOR HI-LIFT TRACK
- ⊚ - 9'-0"x10'-0" COIL-UP DOOR (3 HOUR FIRE RATED WITH FUSIBLE LINK)
- (6) 30x30 ATTIC ACCESS PANELS (VERIFY LOCATION)
- SNOW RETAINERS
- ALL STEEL FASTENED WITH STAINLESS STEEL SCREWS

COLUMN PLAN



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 P.E. # 020044001
 PHONE NUMBER: 815-263-1105

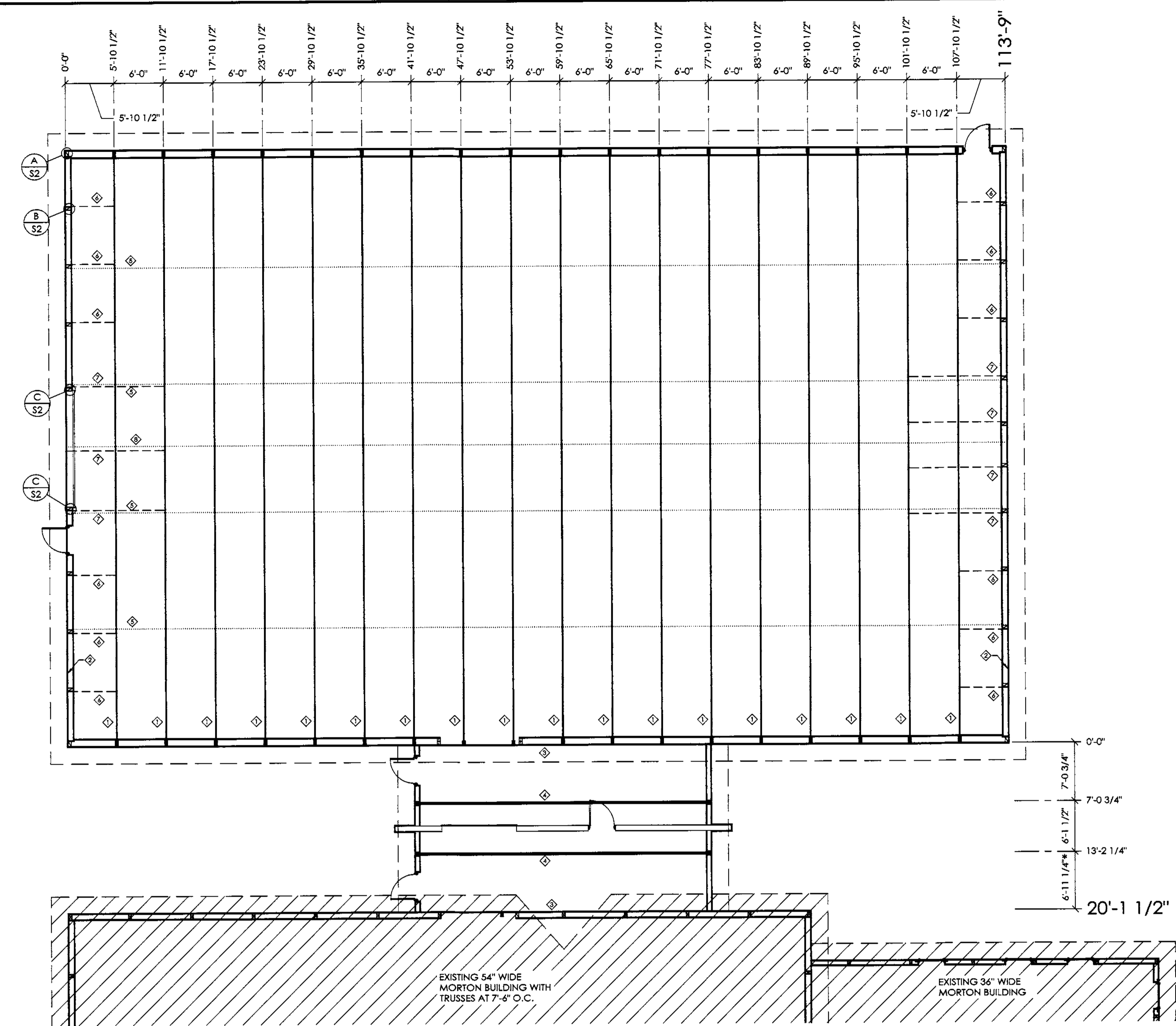
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SCALE: AS NOTED
 SHEET NO: S1 OF: S7

DESIGN AND EXPLANATORY NOTES

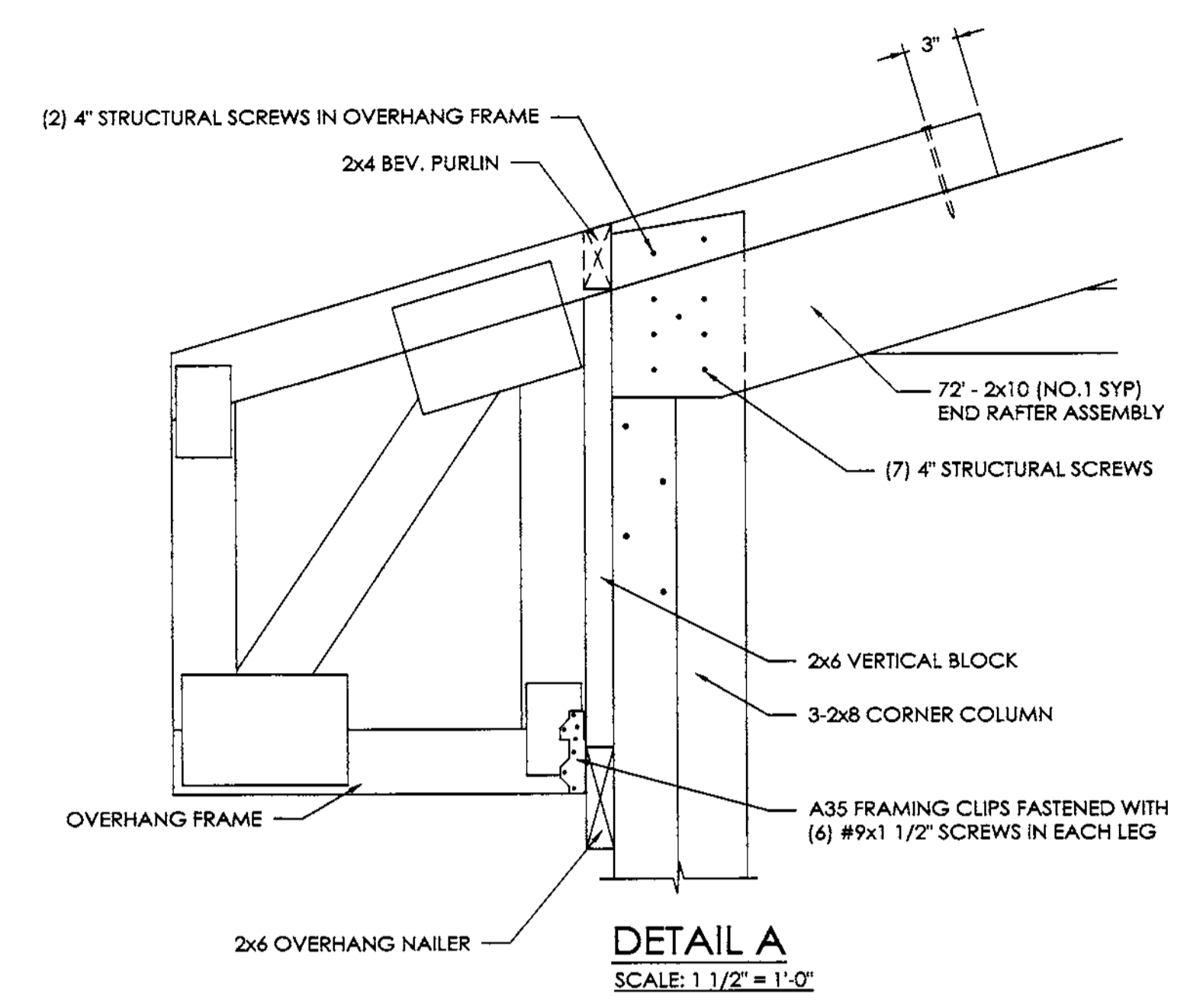
1.) * - INDICATES DIMENSIONS ARE TAKEN FROM THE OUTSIDE FACE OF THE EXISTING BUILDING NAILERS.



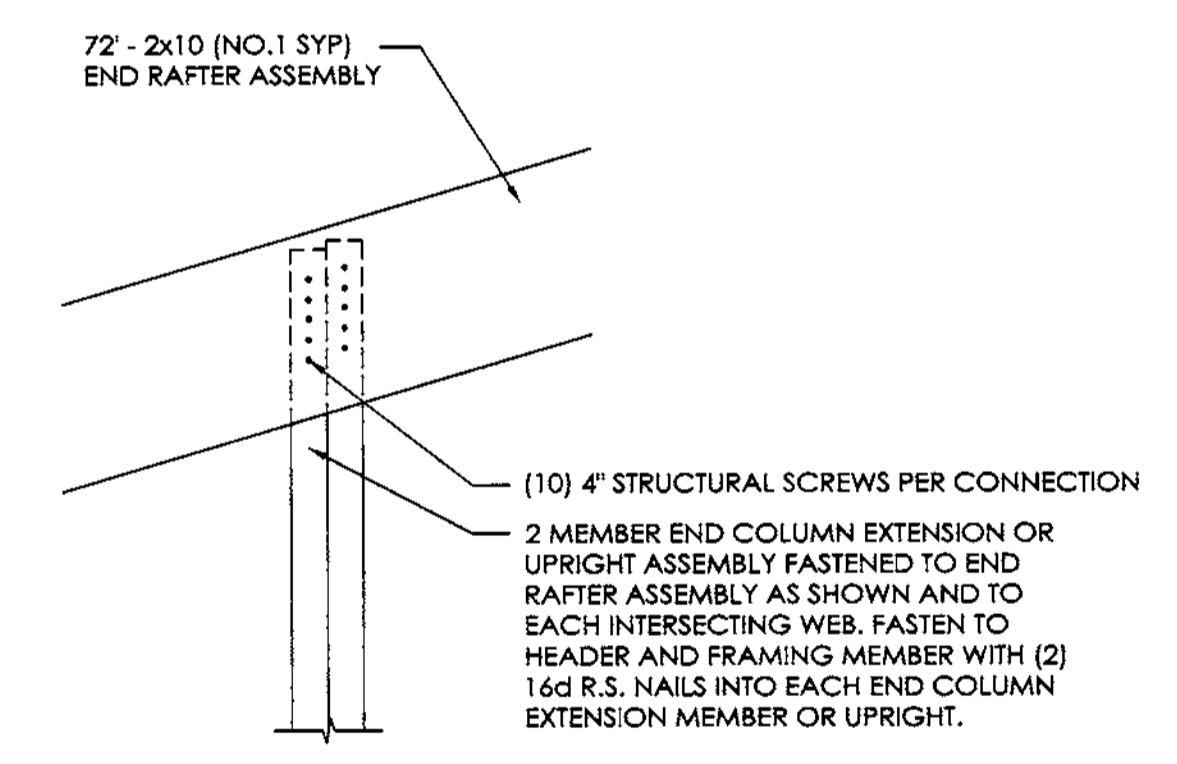
TRUSS/BRACING PLAN

TRUSS/BRACING PLAN LEGEND

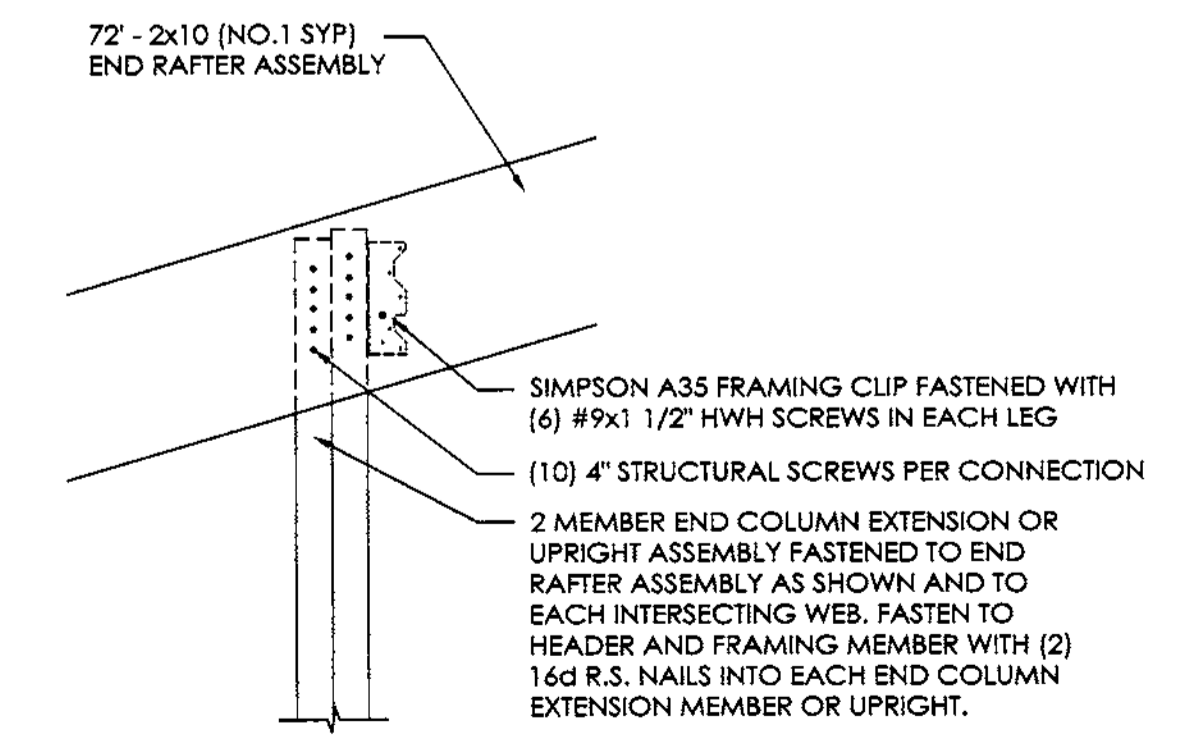
- ◆ - 72' 2090-S1 S.C. TRUSS
- ◆ - 72' END RAFTER ASSEMBLY
- ◆ - 36' 2090-S1 S.C. TRUSS
- ◆ - DOUBLE 36' 2090-S1 S.C. TRUSS
- ◆ - 2x4 TRUSS TIES
- ◆ - 2x6 DIAGONAL END BRACES (TO EXTEND TO FIRST TRUSS IN FROM ENDWALL)
- ◆ - 2x6 DIAGONAL X-BRACING (TO EXTEND TO SECOND TRUSS IN FROM ENDWALL)
- ◆ - 2x6 FLAT TRUSS TIE CENTERED IN BUILDING



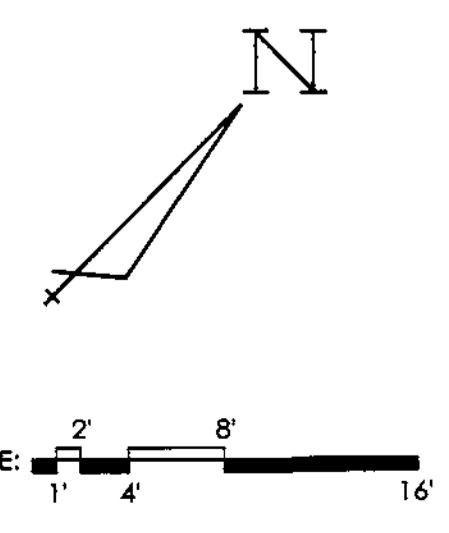
DETAIL A
SCALE: 1 1/2" = 1'-0"



DETAIL B
SCALE: 1 1/2" = 1'-0"



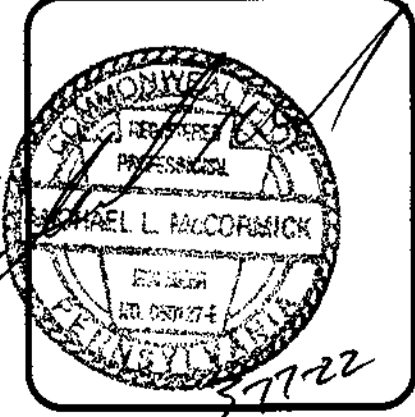
DETAIL C
SCALE: 1 1/2" = 1'-0"



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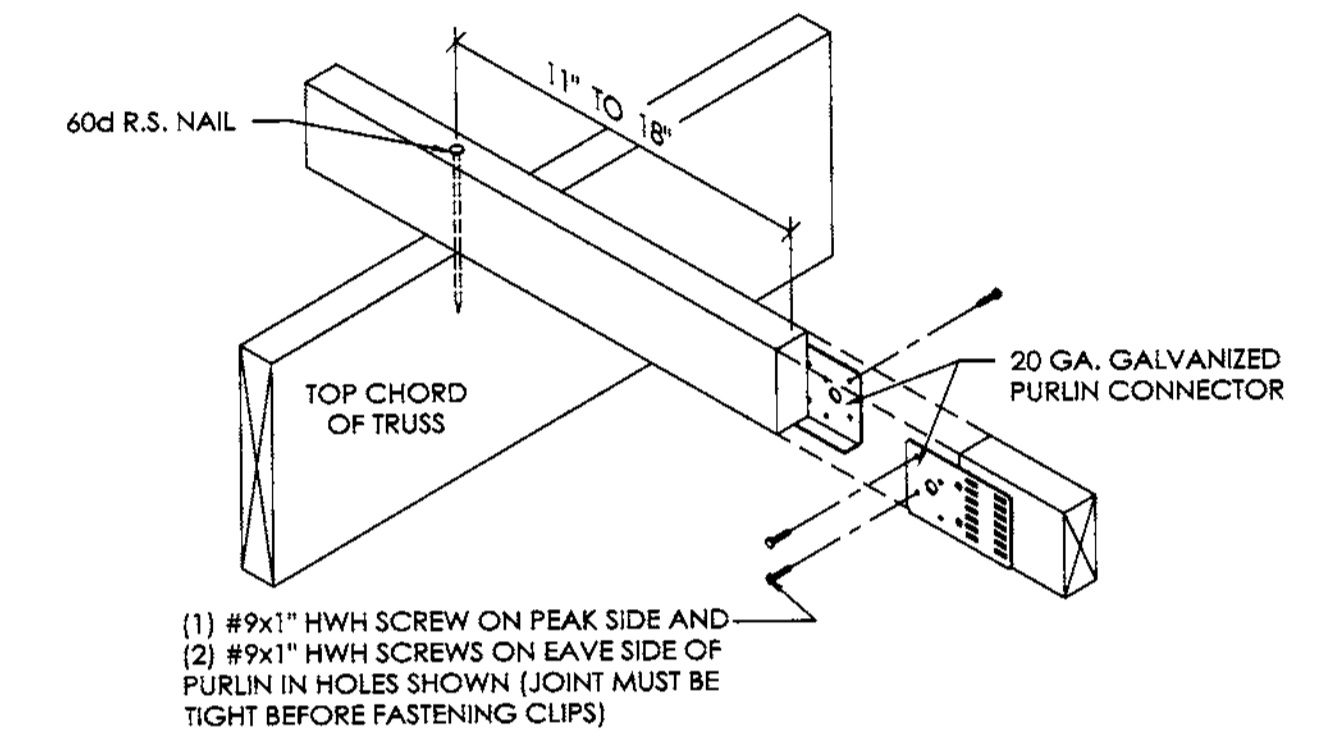
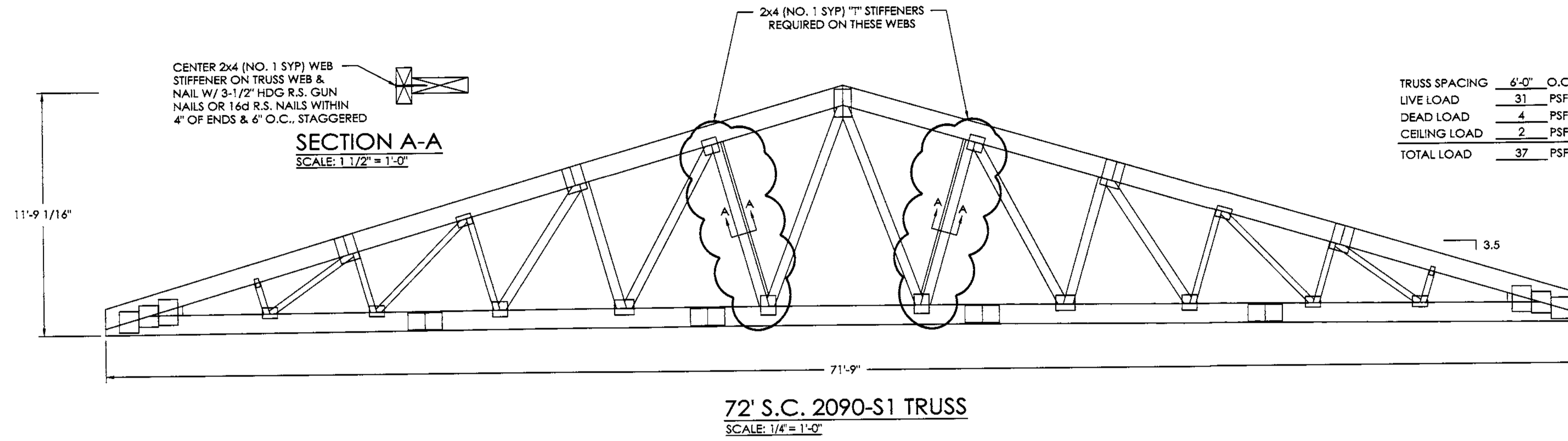


DESIGN AND EXPLANATORY NOTES

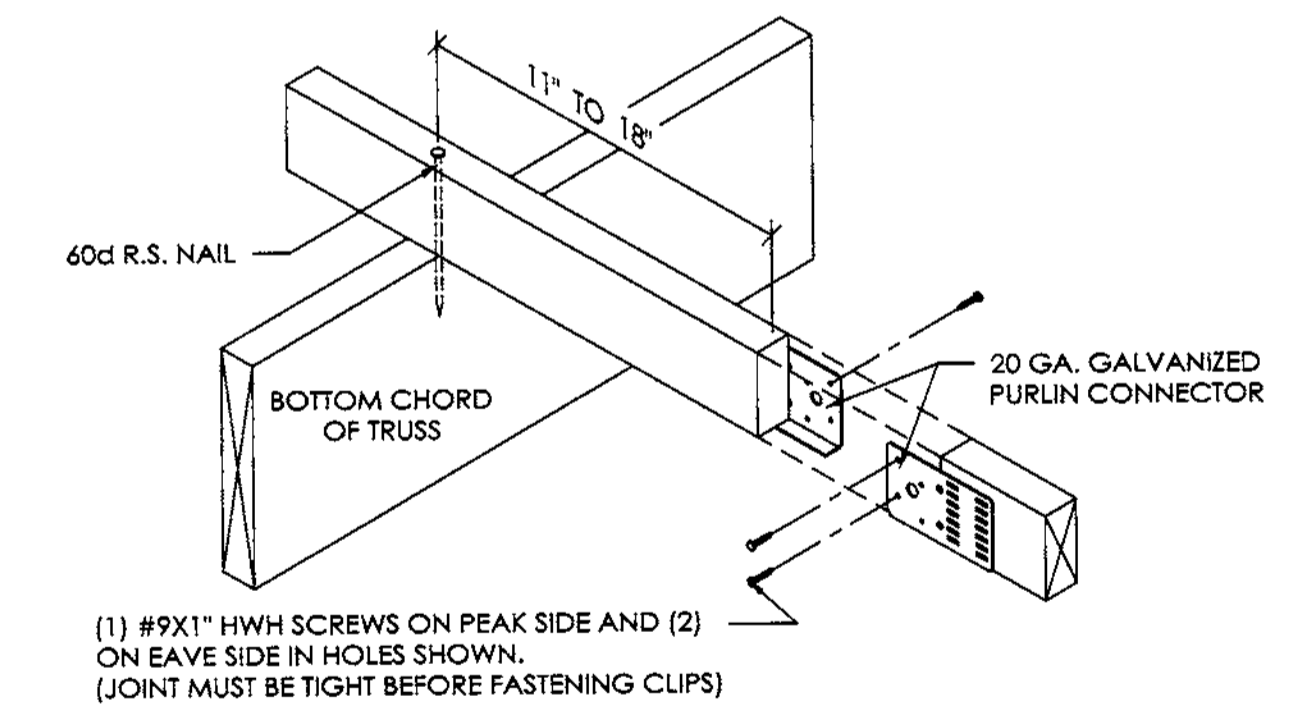
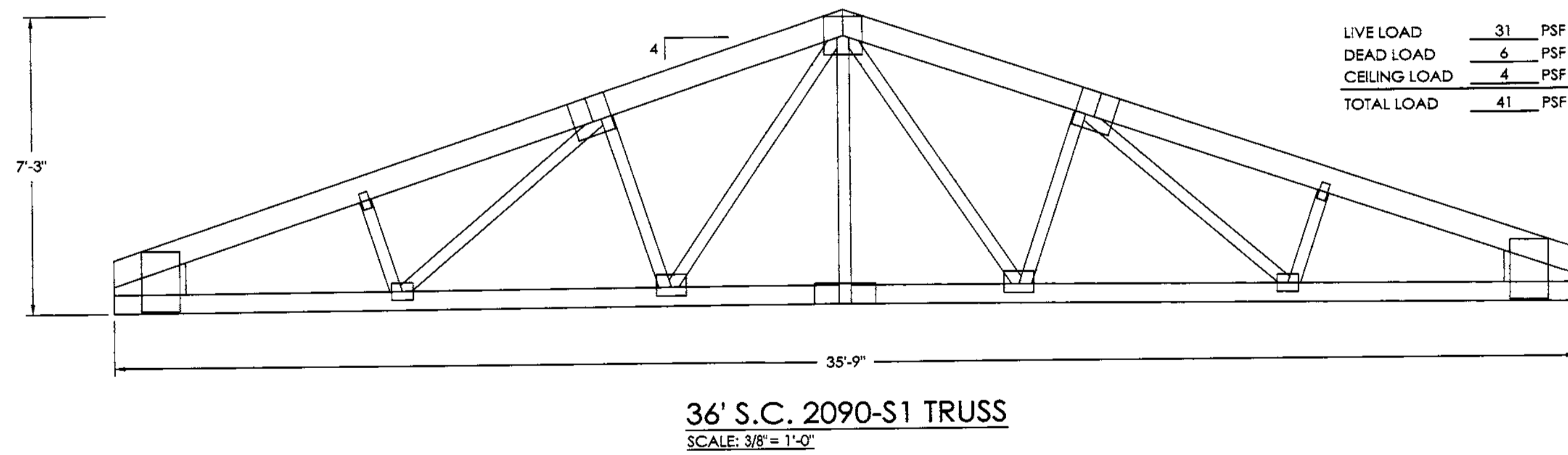
1.) FOR TRUSSES USED AS A DOUBLE MEMBER TRUSS ASSEMBLY WHERE NOTED ON THE TRUSS/BRACING PLAN ON SHEET S2, FASTEN TRUSSES TOGETHER FROM EACH SIDE WITH 0.131" DIA. x 2-3/4" R.S. GUN NAILS @ 8" O.C. STAGGERED ALONG TOP CHORD AND WEB MEMBERS, AND 24" O.C. ALONG LOWER CHORD.

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WEB STIFFENER DETAIL



2x4 BUTTED PURLIN DETAIL
(PURLIN CONNECTED WITH 60D R.S. NAIL)
SCALE: 1 1/2" = 1'-0"

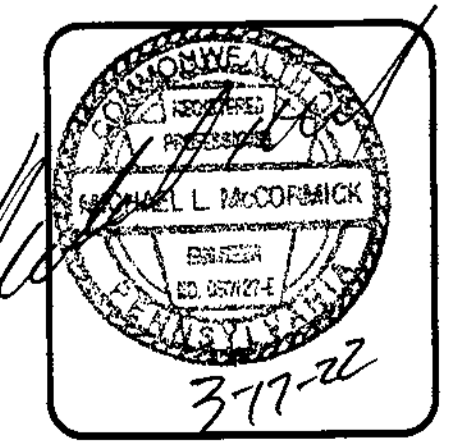


2x4 TRUSS TIE DETAIL
SCALE: 1/2" = 1'-0"

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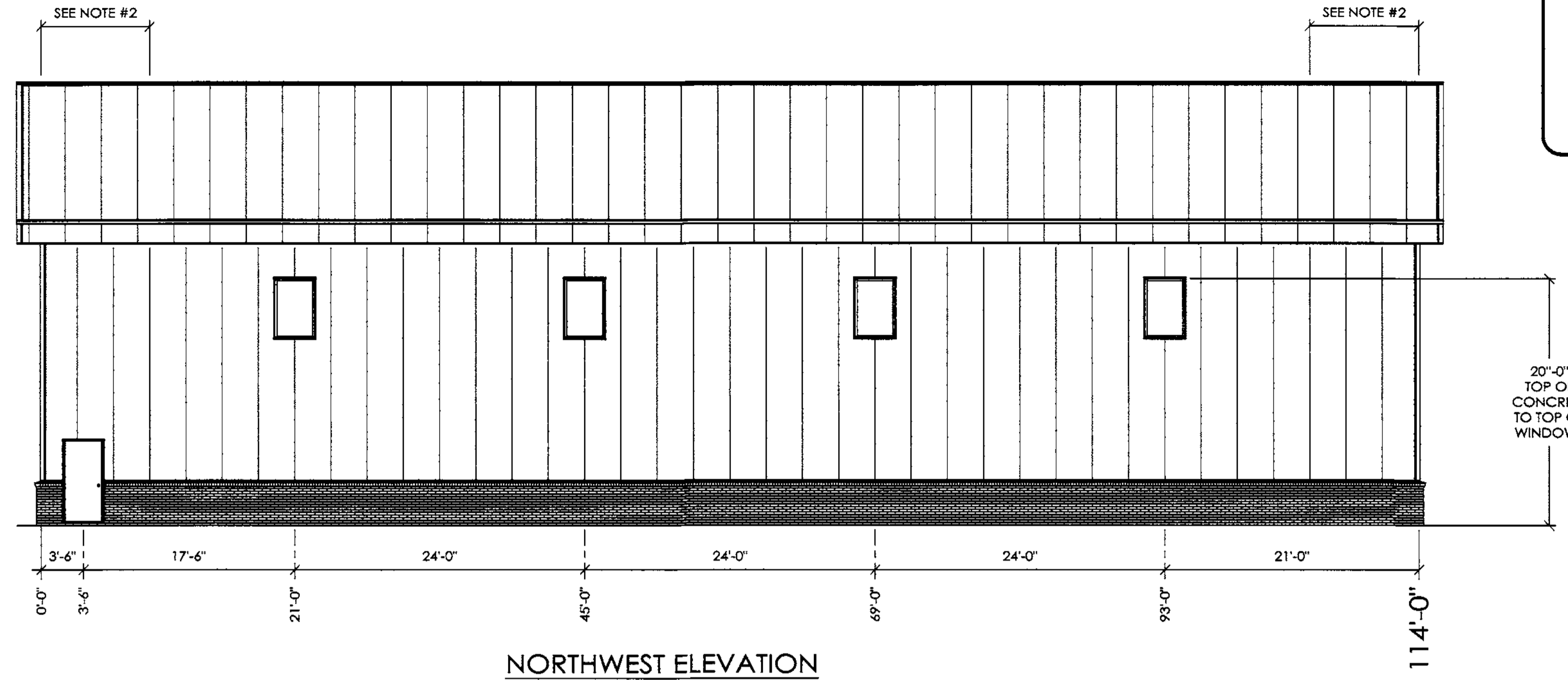


SCALE: AS NOTED
SHEET NO: S3 OF S7

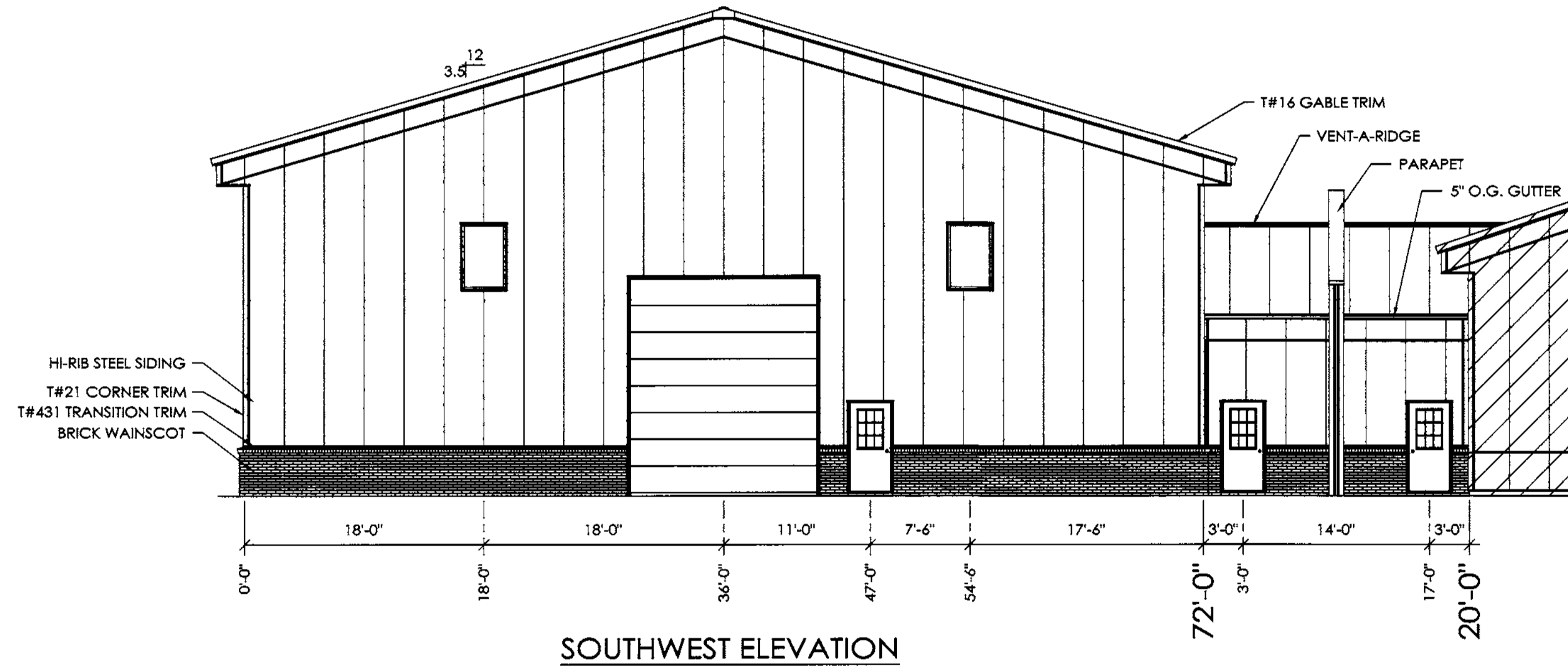
DESIGN AND EXPLANATORY NOTES

- 1.) EXTERIOR DOOR AND WINDOW LOCATIONS ARE TAKEN FROM THE EXTERIOR FACE OF THE NAILERS AND ARE TO THE CENTER OF THE DOOR AND WINDOW UNITS. VERIFY ALL DOOR AND WINDOW LOCATIONS WITH THE OWNER.
- 2.) * - STITCH SCREW ROOF STEEL LAP RIBS 9 L.F. FROM EACH ENDWALL W/ #9x1" S.S.I.D. SCREWS W/ WASHERS. SEE SHEET S8 FOR DETAILS.

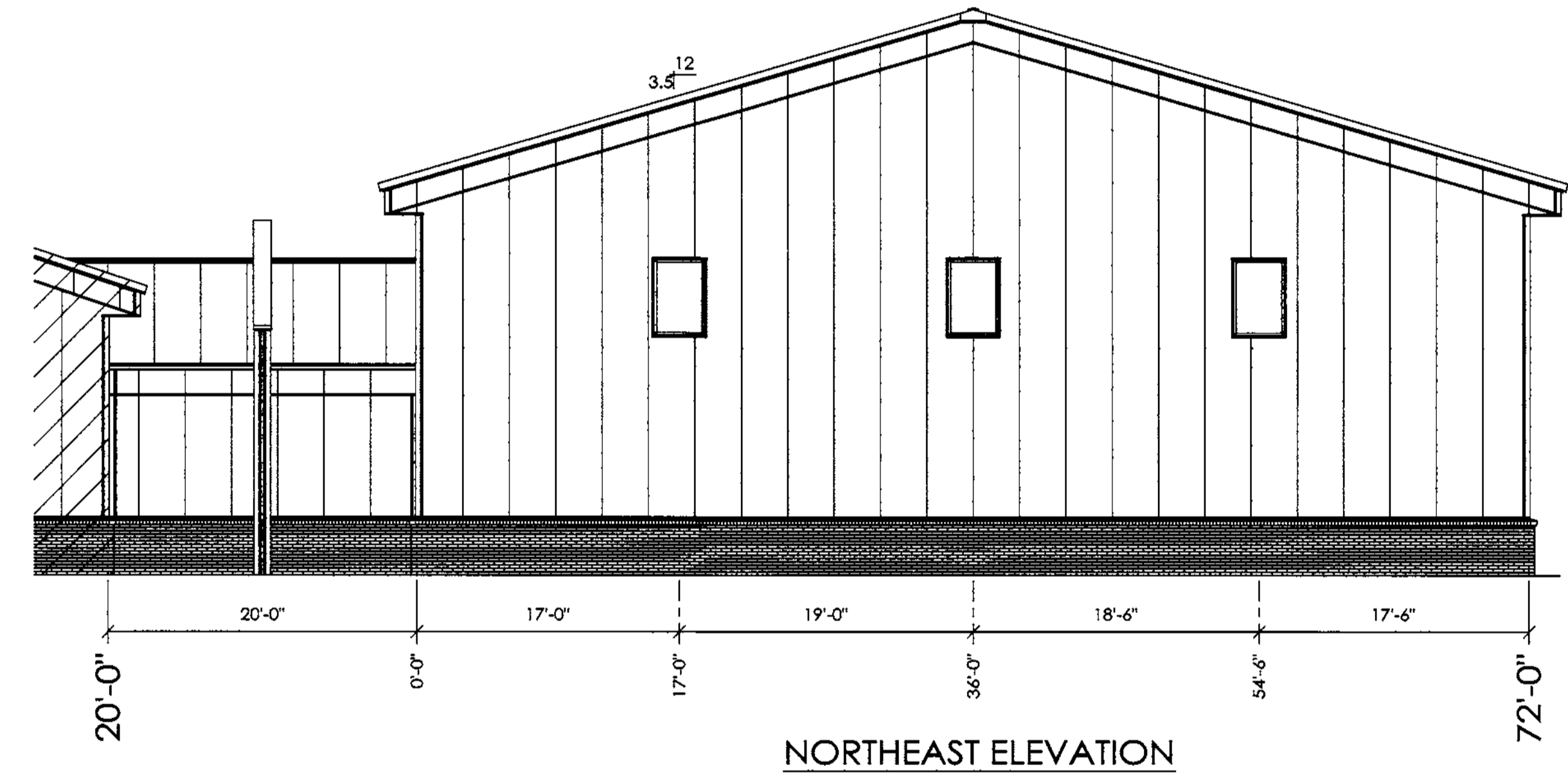
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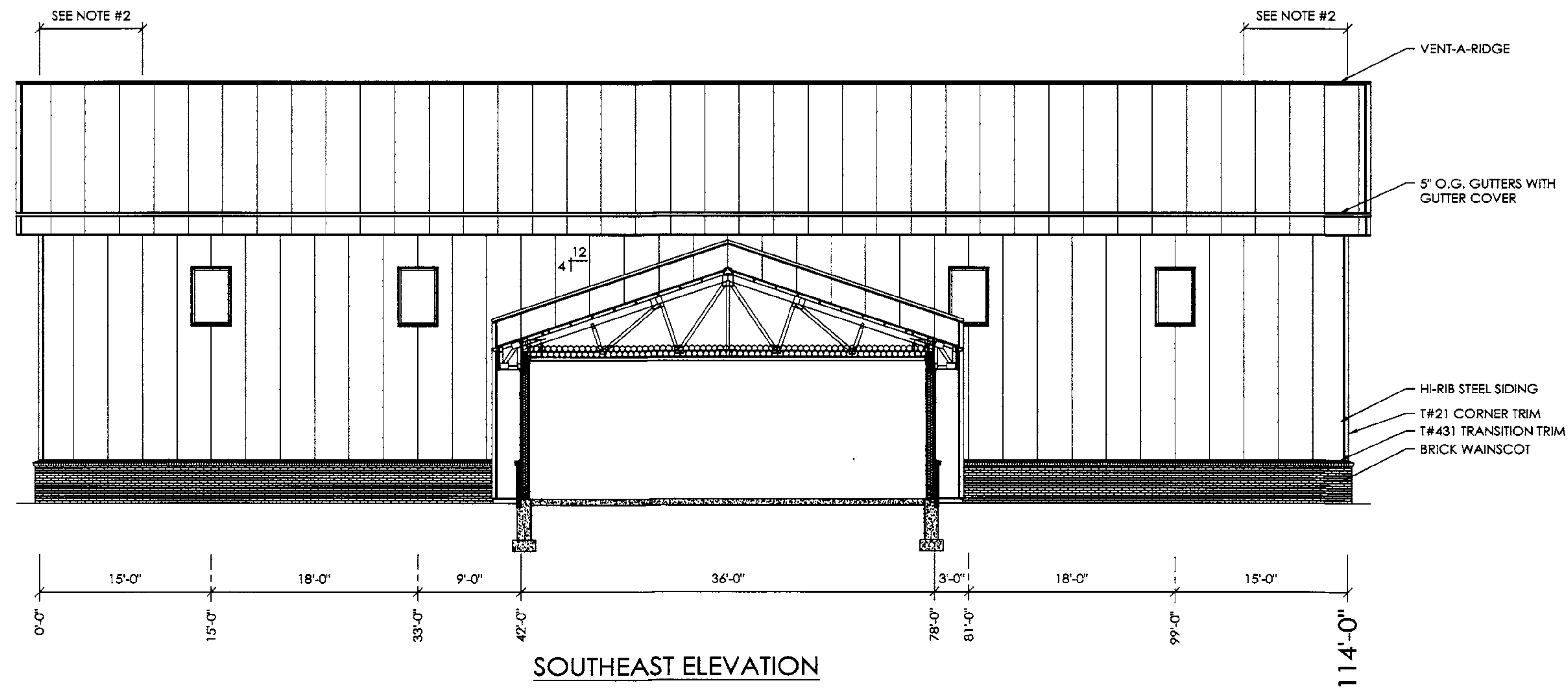
NORTHWEST ELEVATION



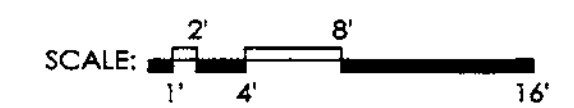
SOUTHWEST ELEVATION



NORTHEAST ELEVATION



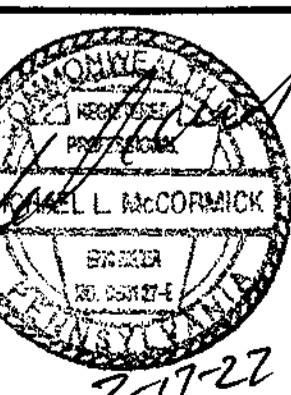
SOUTHEAST ELEVATION



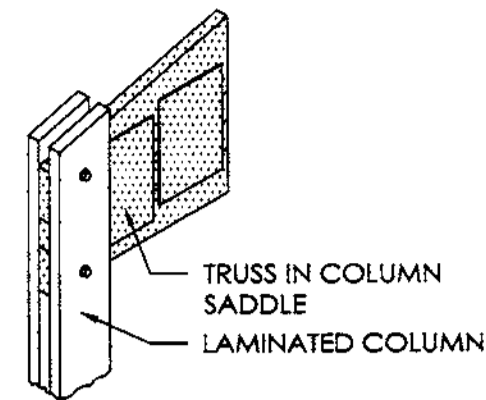
MIKE MANAHAN
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ALLIED DESIGN ARCHITECTURE & ENGINEERING GROUP, P.C.
100 S. PERSHING P.O. BOX 110, MORTON, IL 61550
ALPHA LICENSE # PA00044001
PHONE NUMBER: 309-263-4105

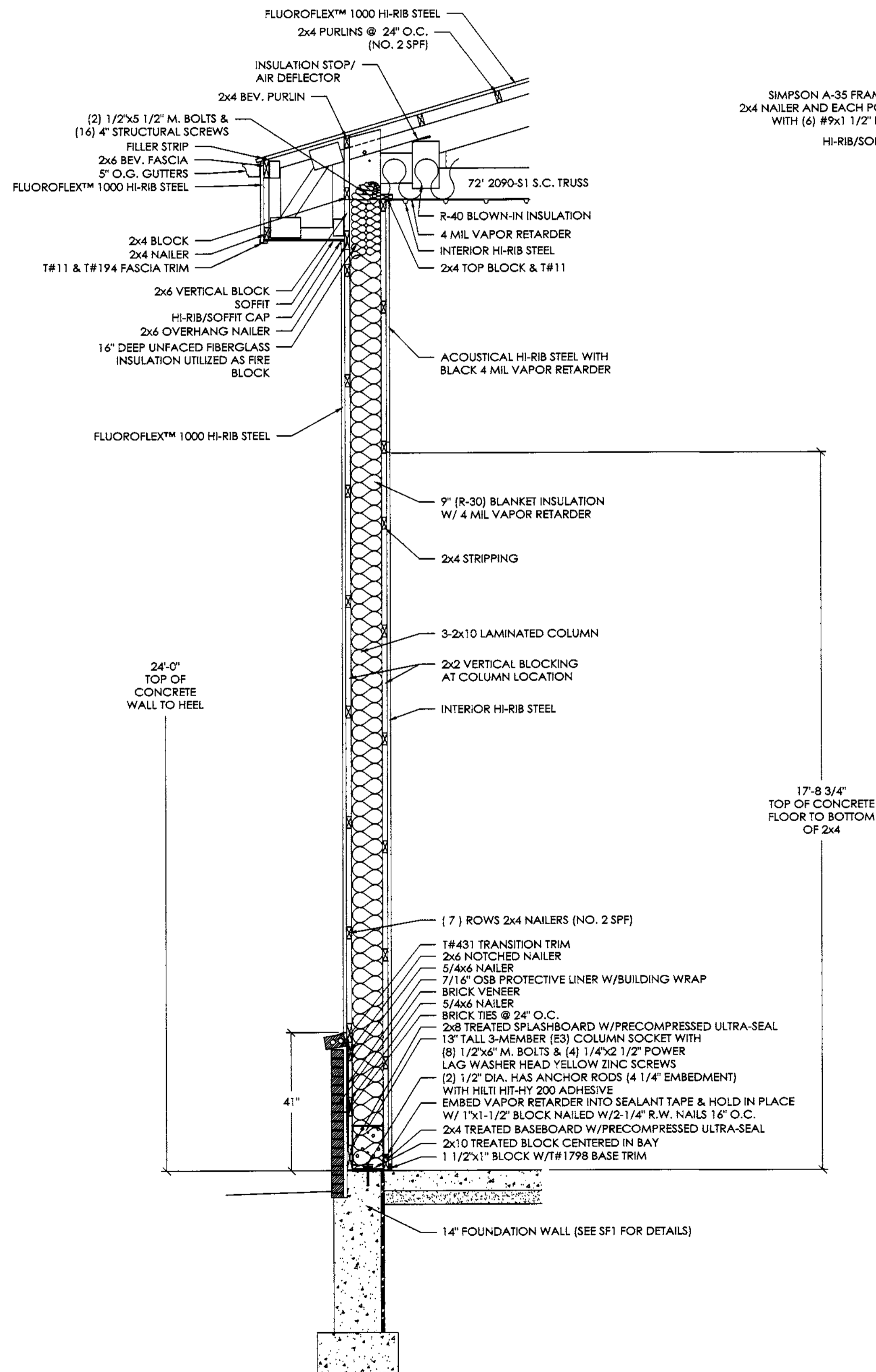
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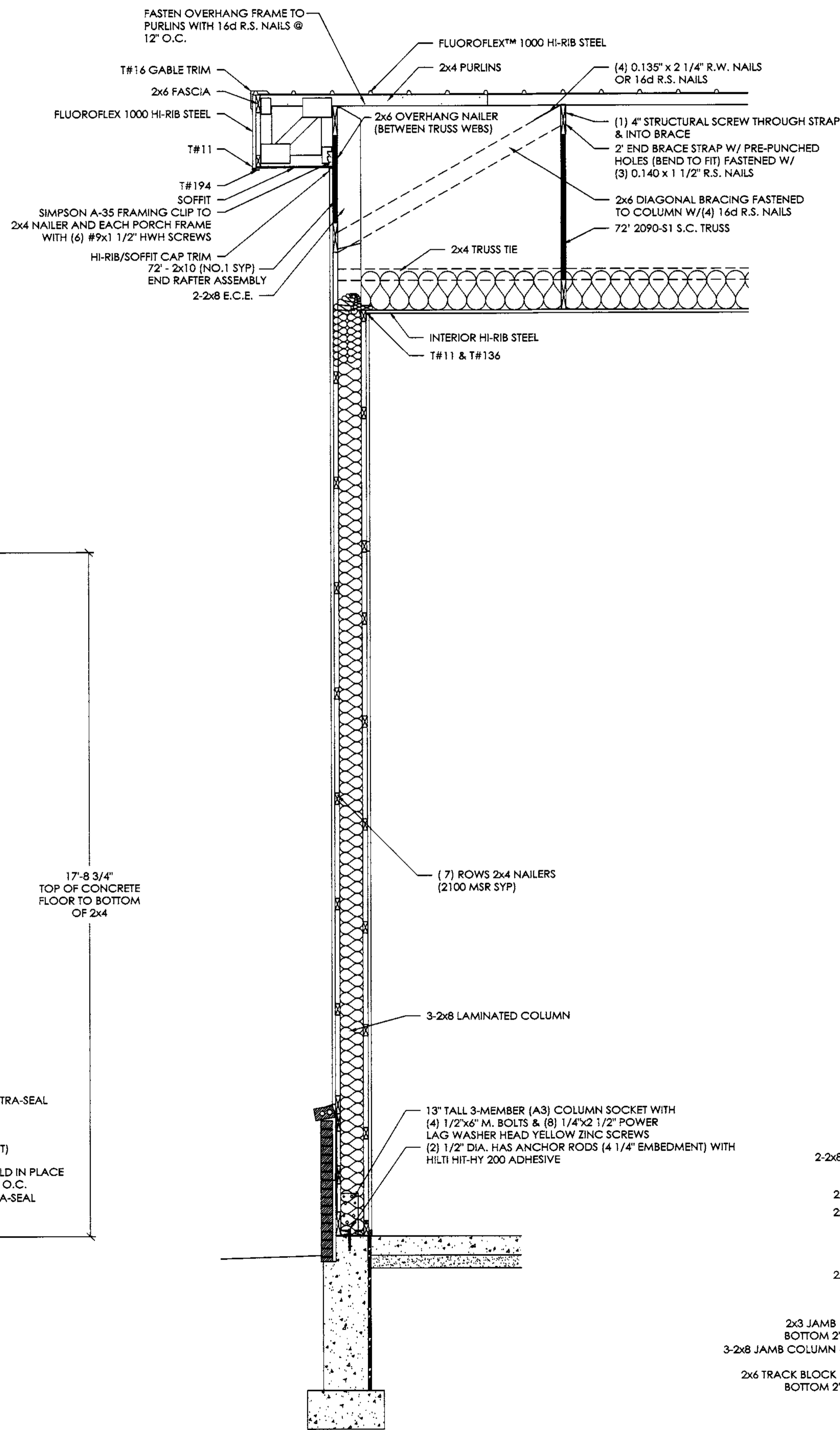
SCALE: AS NOTED
SHEET NO: S4 OF S7



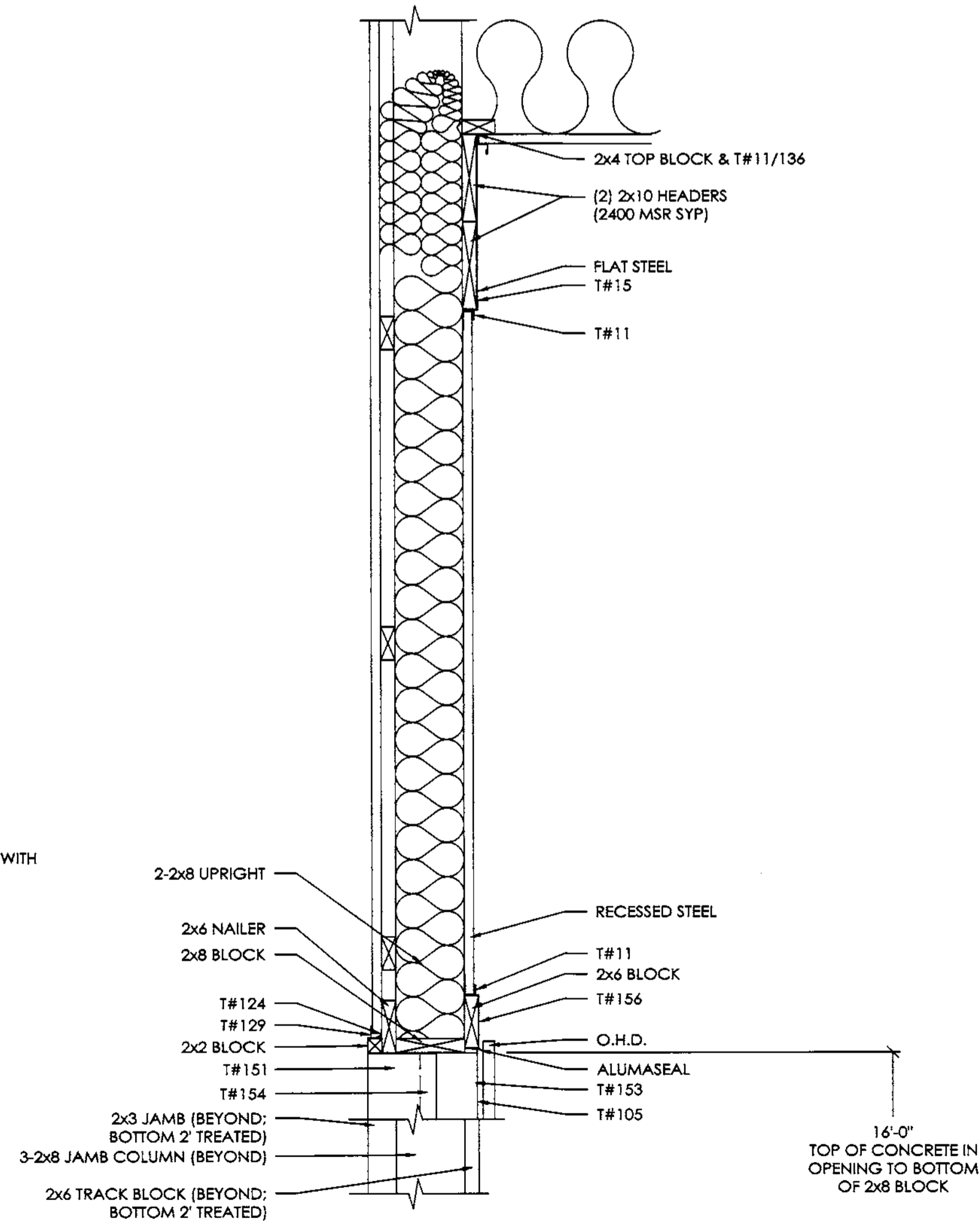
TRUSS SADDLE ISOMETRIC



SIDEWALL SECTION A
SCALE: 1/2" = 1'-0"



ENDWALL SECTION B
SCALE: 1/2" = 1'-0"



OHD HEADER SECTION C
SCALE: 1" = 1'-0"

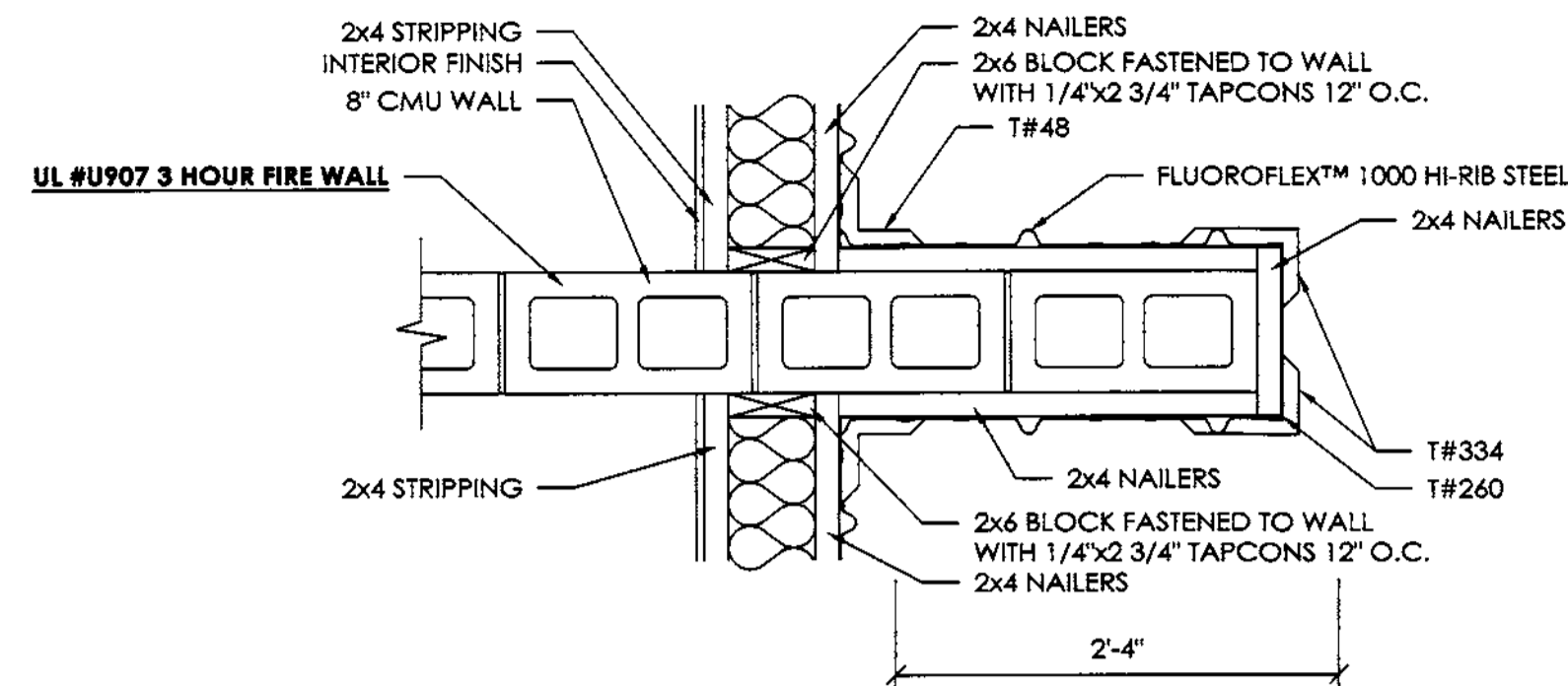
HEADER MEMBER	UPRIGHT	JAMB COLUMN
EA. 2x10	6	6

- NOTES:
1. NUMBERS ABOVE ARE 4" STRUCTURAL SCREWS REQUIRED PER CONNECTION.
2. PRE-DRILL HEADERS AS REQUIRED TO PREVENT SPLITTING.
3. IF NUMBER OF SCREWS REQUIRED FOR HEADER TO JAMB COLUMN CONNECTION IS EXCESSIVE TO CAUSE SPLITTING, THE EXCESS SCREWS MAY BE INSTALLED IN HEADER SUPPORT BLOCKING.

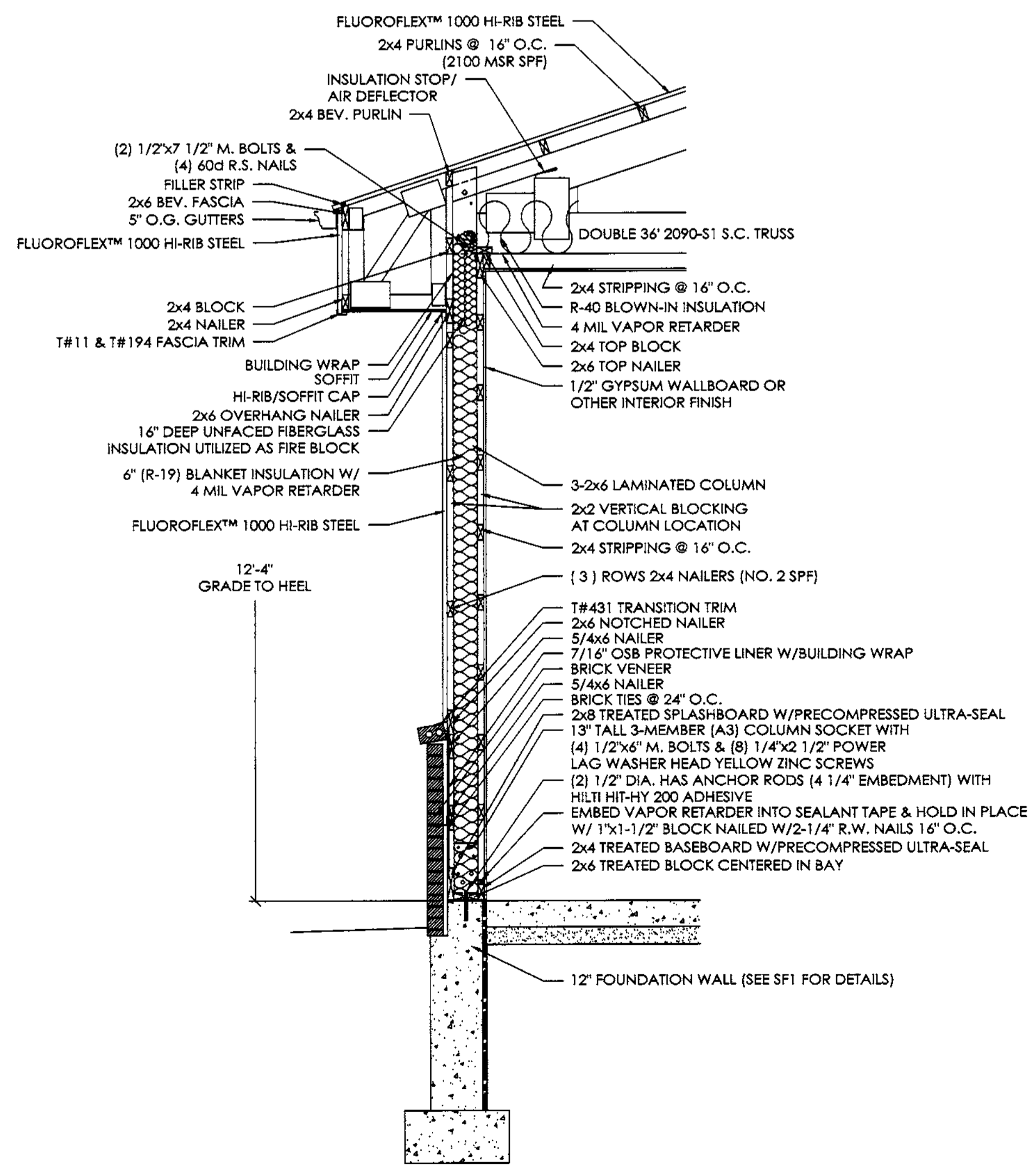
MIKE MANAHAN
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PA
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100 S. PERSHING - P.O. BOX 110 - MORTON, IL 61550
AL FRAM BUS P AD004400L
PHONE NUMBER: 309-263-4105

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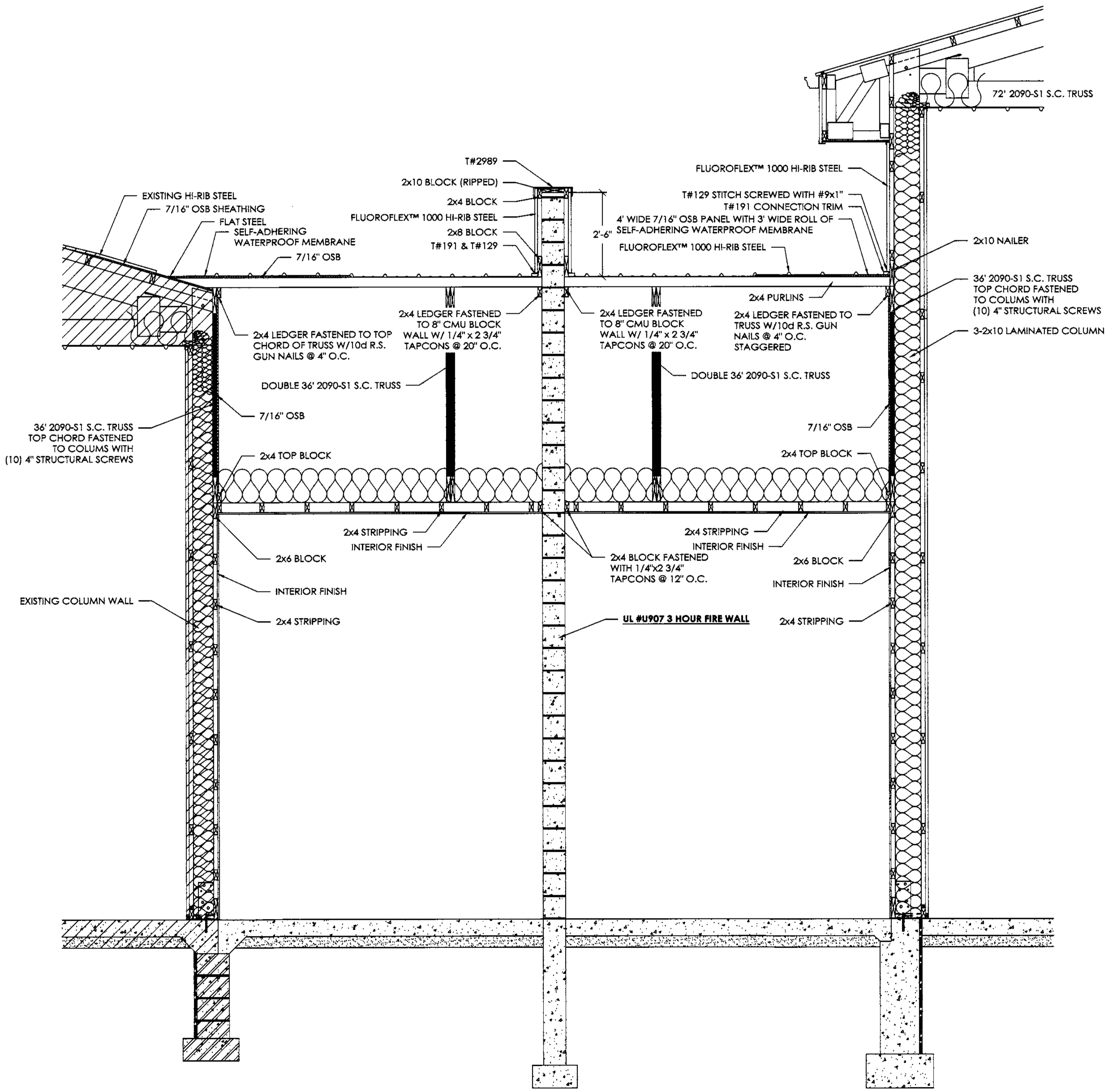




DETAIL #1
SCALE: 1 1/2" = 1'-0"



SIDEWALL SECTION D
SCALE: 1/2" = 1'-0"

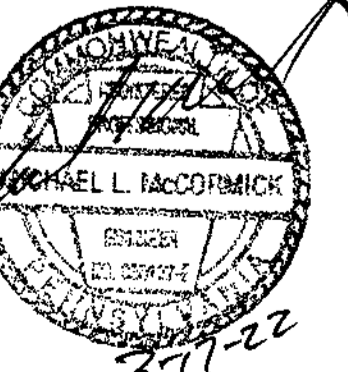


SIDEWALL SECTION E
SCALE: 1/2" = 1'-0"

MIKE MANAHAN
STATE COLLEGE, PA

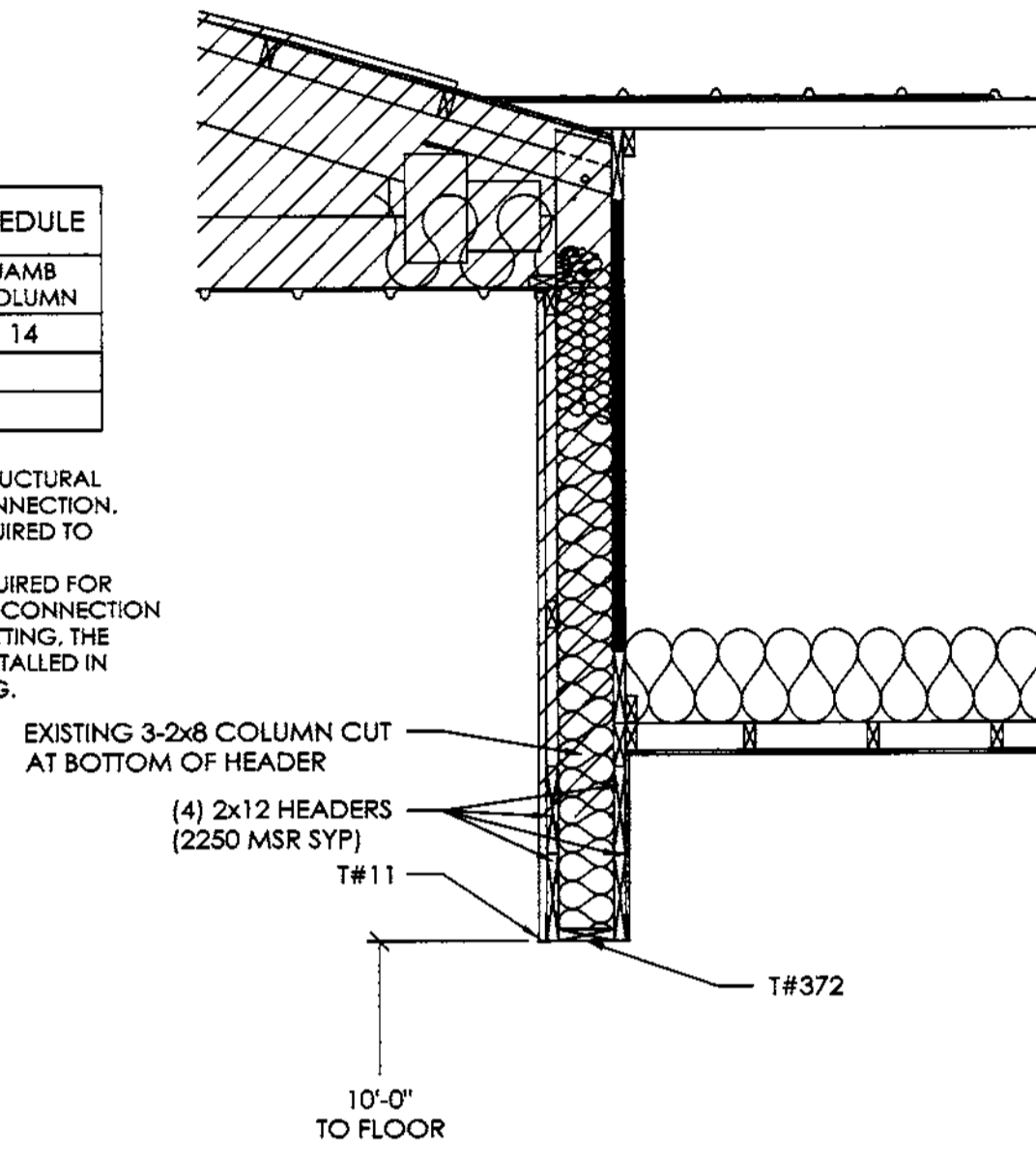
PA **ALLIED DESIGN ARCHITECTURE & ENGINEERING GROUP, P.C.**
100 S. PERSHING P.O. BOX 110 MORTON, L. 61550
ALFRED LISC: PAJ0044008
PHONE NUMBER: 309-263-4105

DRAWN BY:	RKS
DATE:	1/17/2022
CHECKED BY:	V. DE VERA
DATE:	3/11/2022
REVISED DATE:	---
REVISED DATE:	---
REVISED DATE:	---

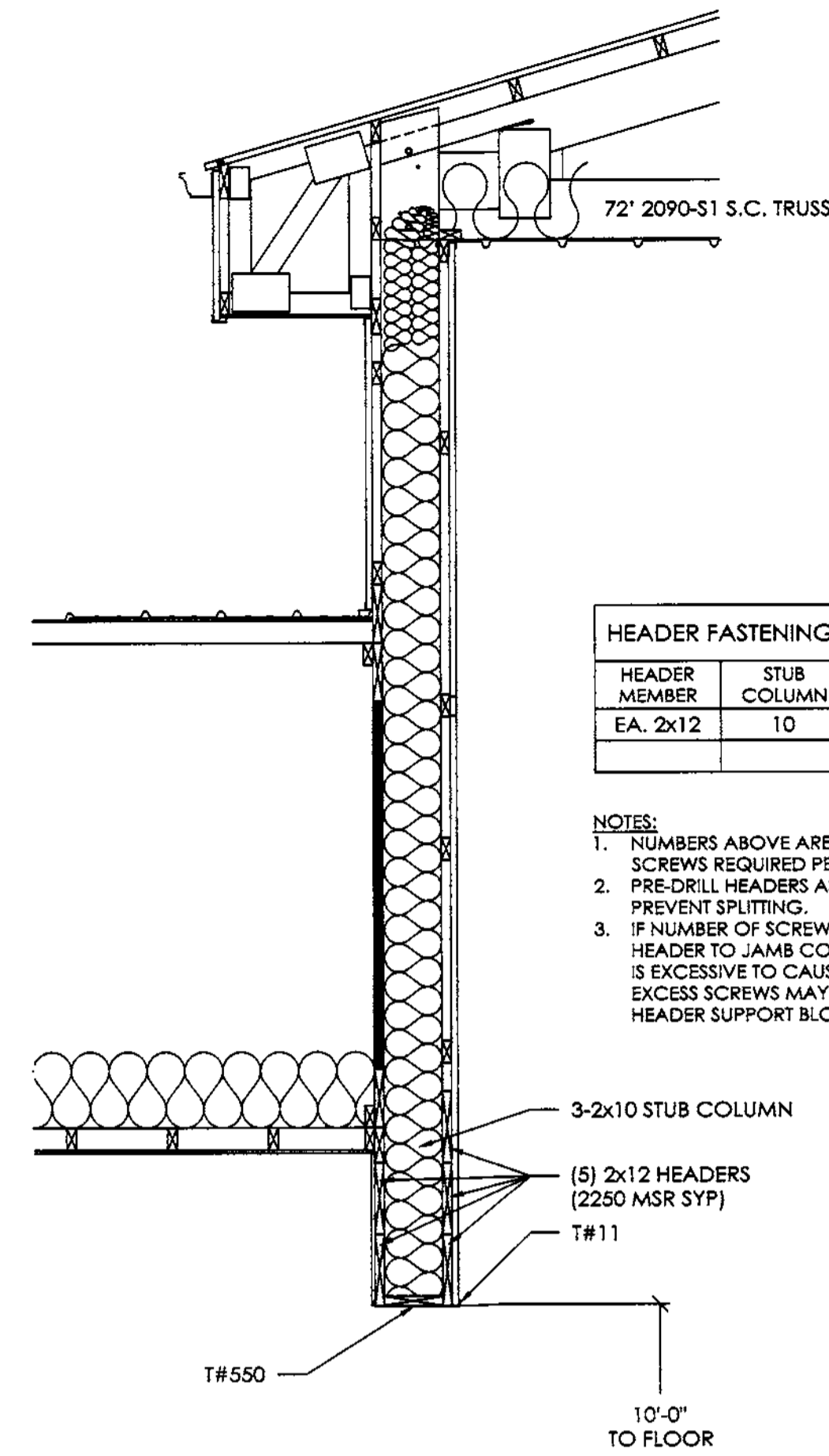


HEADER MEMBER	STUB COLUMN	JAMB COLUMN
EA. 2x12	14	14

- NOTES:
- NUMBERS ABOVE ARE 4" STRUCTURAL SCREWS REQUIRED PER CONNECTION.
 - PRE-DRILL HEADERS AS REQUIRED TO PREVENT SPLITTING.
 - IF NUMBER OF SCREWS REQUIRED FOR HEADER TO JAMB COLUMN CONNECTION IS EXCESSIVE TO CAUSE SPLITTING, THE EXCESS SCREWS MAY BE INSTALLED IN HEADER SUPPORT BLOCKING.



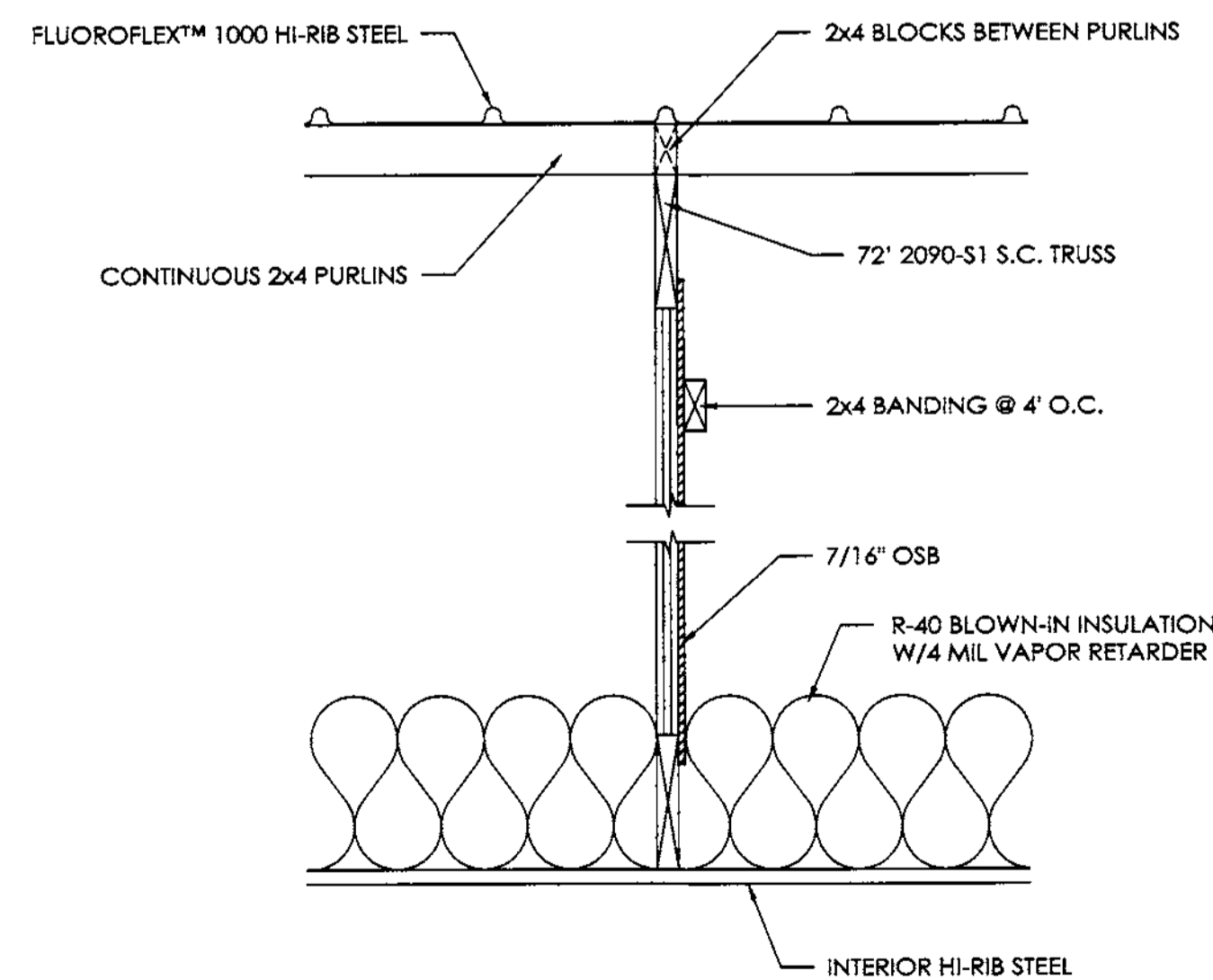
SIDEWALL SECTION F
SCALE: 1/2" = 1'-0"



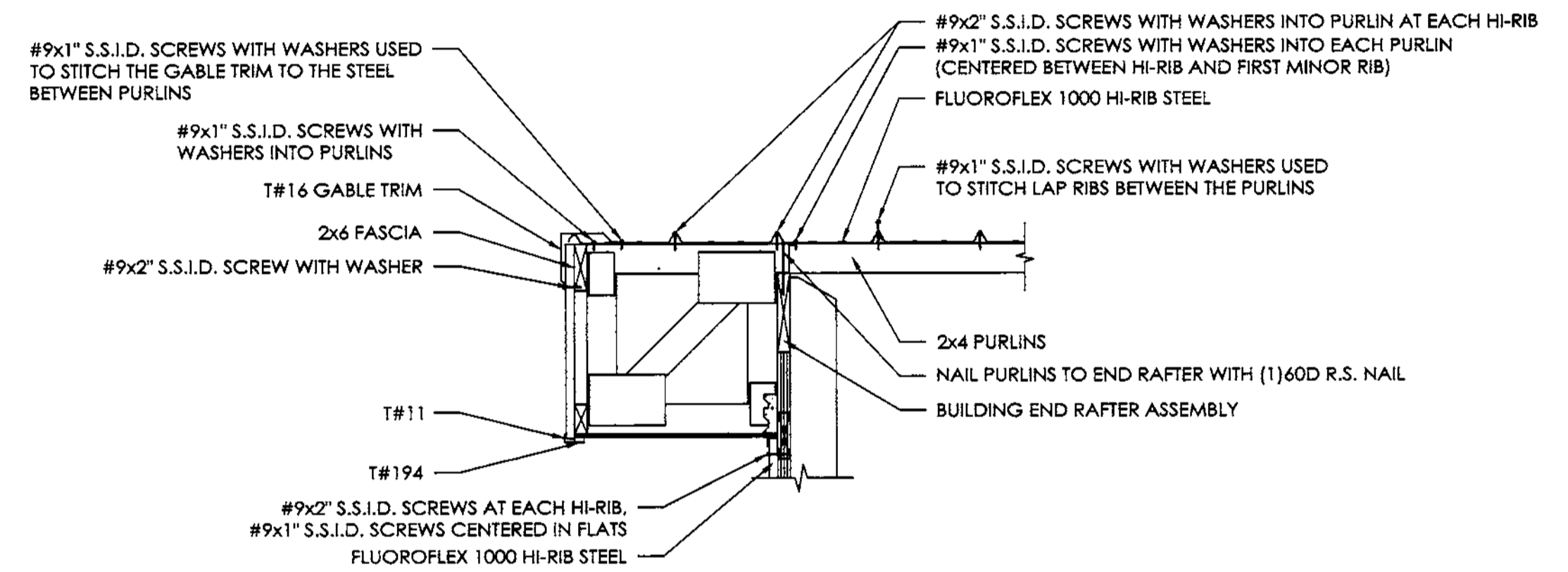
HEADER MEMBER	STUB COLUMN	JAMB COLUMN
EA. 2x12	10	14

- NOTES:
- NUMBERS ABOVE ARE 4" STRUCTURAL SCREWS REQUIRED PER CONNECTION.
 - PRE-DRILL HEADERS AS REQUIRED TO PREVENT SPLITTING.
 - IF NUMBER OF SCREWS REQUIRED FOR HEADER TO JAMB COLUMN CONNECTION IS EXCESSIVE TO CAUSE SPLITTING, THE EXCESS SCREWS MAY BE INSTALLED IN HEADER SUPPORT BLOCKING.

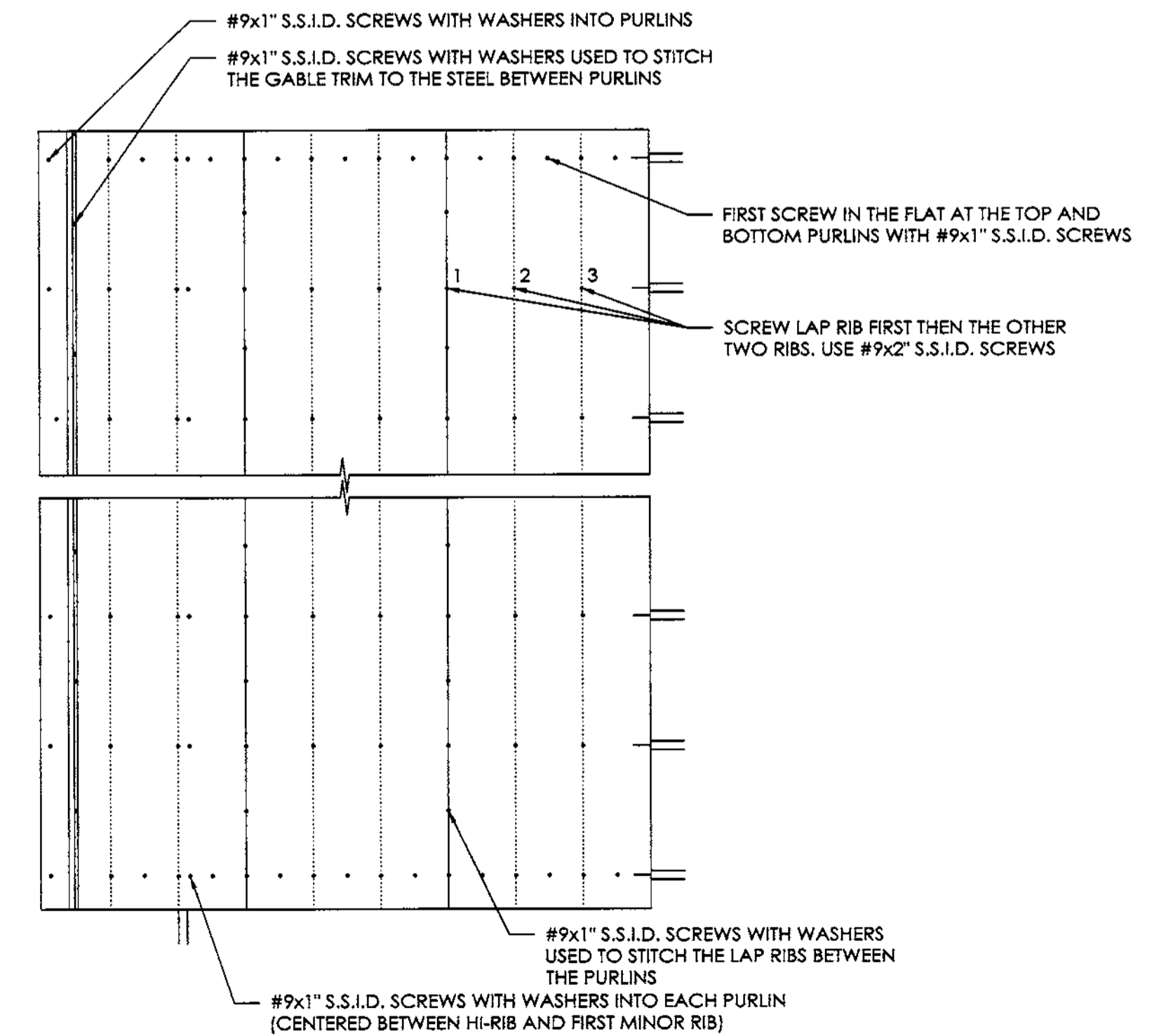
SIDEWALL SECTION G
SCALE: 1/2" = 1'-0"



ATTIC DRAFT STOP SECTION H
SCALE: 1" = 1'-0"



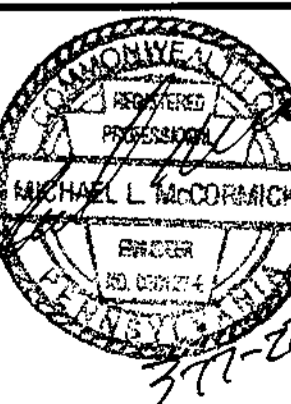
STITCHED ROOF STEEL ATTACHMENT DETAIL
SCALE: 1/2" = 1'-0"



MIKE MANAHAN
STATE COLLEGE, PA

ALLIED DESIGN ARCHITECTURE & ENGINEERING GROUP, P.C.
100 S. PERSHING P.O. BOX 110 MORTON, IL 61550
AL FRAM LISC # FAJ004400L
PHONE NUMBER: 309-263-4105

DRAWN BY:	RKS
DATE:	11/17/2022
CHECKED BY:	V. DE VERA
DATE:	3/11/2022
REVISED DATE:	---
REVISED DATE:	---
REVISED DATE:	---



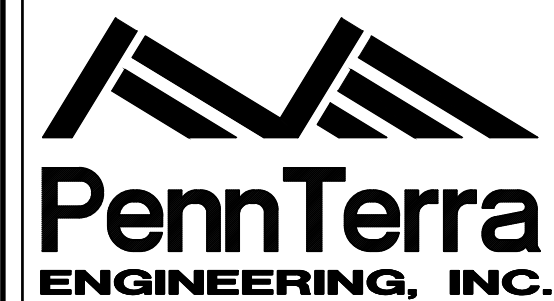
MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE

PRELIMINARY LAND DEVELOPMENT PLANS

FERGUSON TOWNSHIP * CENTRE COUNTY * PENNSYLVANIA

MAY 3, 2022

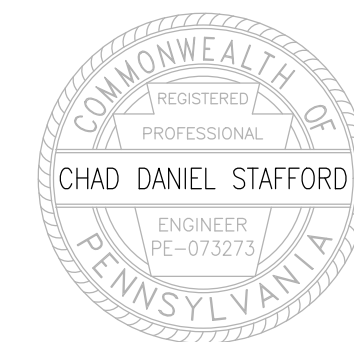
LAST REVISED: DECEMBER 6, 2022



**CENTRAL PENNSYLVANIA
REGION OFFICE:**
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

**LANCASTER
REGION OFFICE:**
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
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11	BUILDING FLOOR PLAN AND ELEVATIONS
ES-1	EROSION AND SEDIMENTATION CONTROL PLAN
ES-2	EROSION AND SEDIMENTATION CONTROL DETAILS
ES-3	EROSION AND SEDIMENTATION CONTROL NARRATIVE

ACT 287 UTILITY INFORMATION (SERIAL NUMBER: 20212443211)

- SANITARY SEWER**
UNIVERSITY AREA JOINT AUTHORITY
1576 SPRING VALLEY ROAD
STATE COLLEGE, PA 16801
PHONE: (814) 238-9662
- PUBLIC WATER**
STATE COLLEGE BOROUGH WATER AUTHORITY
1201 WEST BRANCH ROAD
STATE COLLEGE, PA 16801
PHONE: (814) 238-6766
- NATURAL GAS**
COLUMBIA GAS OF PENNSYLVANIA
2550 CAROLEAN INDUSTRIAL DRIVE
STATE COLLEGE, PA 16801
PHONE: (814) 238-6775
- ELECTRIC**
WEST PENN POWER COMPANY
2800 EAST COLLEGE AVENUE
STATE COLLEGE, PA 16801
PHONE: (814) 237-5721
- TELEPHONE**
VERIZON
224 SOUTH ALLEN STREET
STATE COLLEGE, PA 16801
PHONE: (814) 231-6511
- CABLE TELEVISION**
COMCAST
60 DECIBEL ROAD
STATE COLLEGE, PA 16801
PHONE: (800) 992-3515
- PUBLIC STORMWATER**
FERGUSON TOWNSHIP
3147 RESEARCH DRIVE
STATE COLLEGE, PA 16801
PHONE: (814) 238-4651

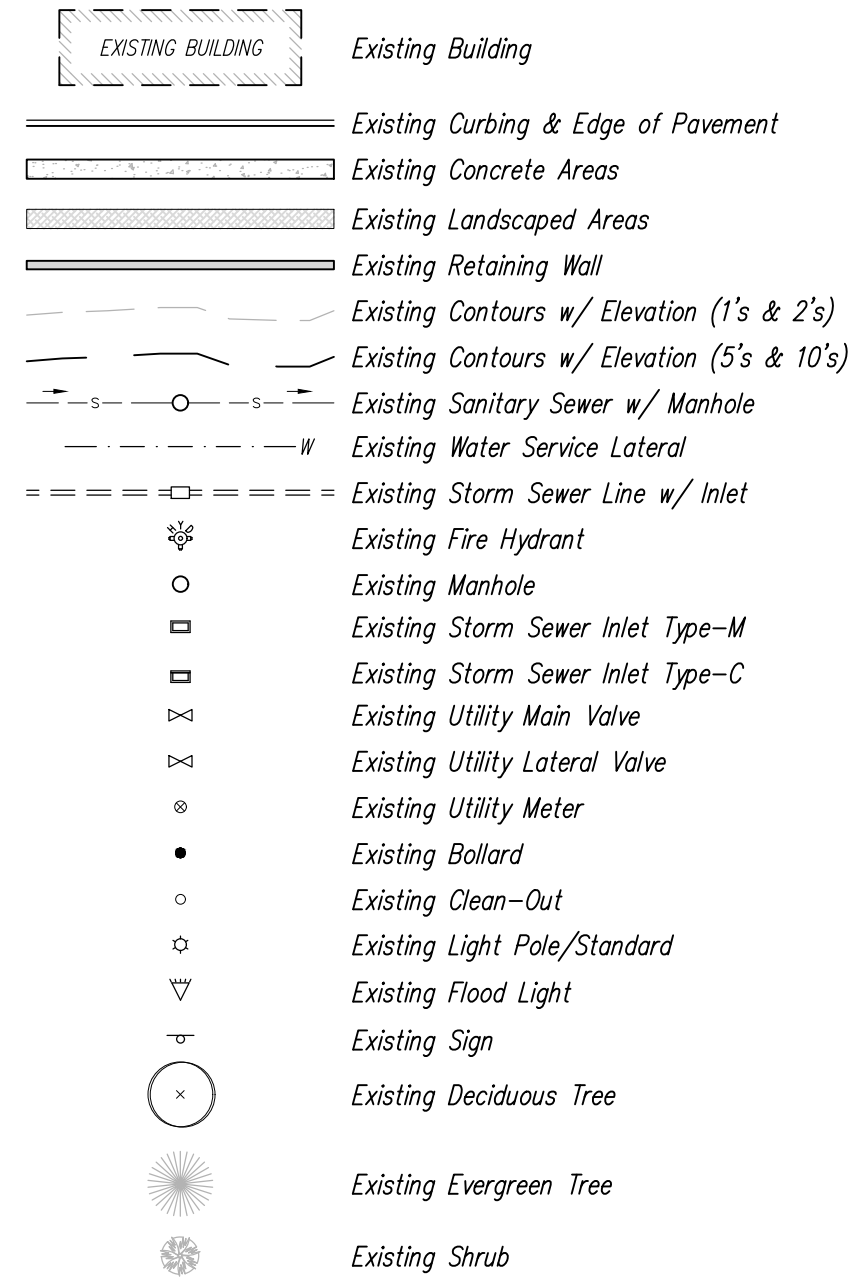


BEFORE YOU DIG ANYWHERE IN
PENNSYLVANIA 1 CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY

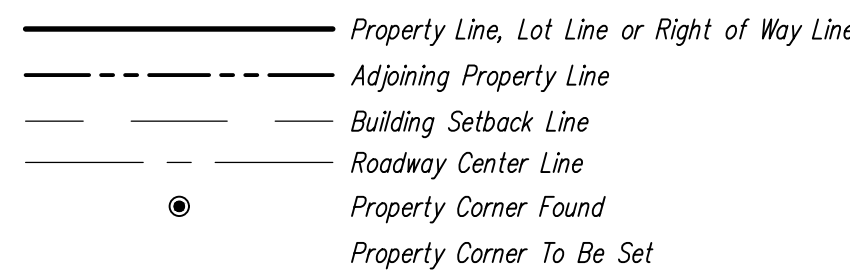
GENERAL SITE DEMOLITION NOTES

- The Contractor is responsible for obtaining all local and state permits required for demolition work unless other arrangements are coordinated with the owner.
- The Contractor shall indemnify and hold harmless the Owner and/or architect and engineer for any and all injuries and/or damages to personnel, equipment and/or existing facilities in the demolition and construction described in the plans and specifications.
- Existing conditions as depicted on these plans are general and illustrative in nature and do not include mechanical, electrical and miscellaneous structures. It is the responsibility of the Contractor to examine the site and be familiar with existing conditions prior to bidding on the demolition work for this project. If conditions encountered during examination are significantly different than those shown, the Contractor shall notify the architect and engineer immediately. All existing utilities not to be removed or abandoned are to remain operational at all times. Appropriate existing utilities shall remain in service until replacement/relocated utilities are operational.
- Existing above and below ground structures within the limits of new construction noted to be removed shall be razed unless noted otherwise in this construction set, architectural plans and/or project specifications. This includes foundation slabs, walls, and footings.
- Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify Pa One Call 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
- All demolition waste and construction debris shall be removed by the Contractor and disposed of in a state approved waste site and in accordance to all local and state codes and permit requirements.
- All utility removal, relocation, cutting, capping and/or abandonment shall be coordinated with the appropriate utility company.
- The burning of cleared material and debris shall not be allowed without approval from owner and appropriate governing agency.
- Erosion and sedimentation control measures around areas of demolition shall be installed prior to initiation of demolition activities. Refer to plan and details for site specific information including tree protection details, if necessary.
- Asbestos or hazardous materials, if found on site, shall be removed by a licensed hazardous materials Contractor. Contractor shall notify Owner immediately if hazardous materials are encountered.
- Contractor shall protect all corner pins, monuments, property corners, and benchmarks during demolition activities. If disturbed, Contractor shall have disturbed items reset by a licensed surveyor at no additional cost to the Owner.
- Contractor shall adhere to all local, state, federal, and OSHA regulations operating demolition equipment around utilities.
- Contractor shall provide and maintain traffic control measures in accordance with the PennDOT standards, and as required by local agencies working in and/or along streets, roads, highways, etc. It shall be the Contractor's responsibility to obtain approval and coordinate with local and/or state agencies regarding the need, extent, and limitations associated with installing and maintaining traffic control measures.
- Contractor shall protect at all times adjacent structures and items from damage due to demolition activities.
- Contractor shall coordinate existing facilities utility disconnects with the Owner prior to anticipated demolition of structures.
- Contractor shall refer to Construction Plans for other pertinent information where applicable.
- Contractor shall replace or repair to Owner's satisfaction all curb, utilities, sidewalks, landscaping, etc. damaged during construction that are not indicated to be removed.
- Contractor shall be responsible for all costs and work required to adjust existing and proposed utilities and appurtenances to finish grades within the limit of work.
- All paving to be removed shall be sawcut to provide a sharp clean edge. All sidewalks to be removed shall be sawcut at the nearest joint. Existing pavement shall be removed as required for new curb, walkway, or utility construction.
- Contractor shall verify the location of manholes, inlets valves, etc. Contractor shall test pit existing utilities as deemed necessary within the limits of construction to determine the exact location and depth as required. Report any discrepancies from that indicated on the plan to the architect and engineer. All existing utilities shall be retained unless marked otherwise, and appurtenances shall be adjusted to final grade. Damage to existing conditions and utilities to remain shall be repaired as required to the Owner's satisfaction at the expense of the Contractor.
- Contractor shall coordinate with utilities companies on installation, relocation or replacement of electrical, phone, gas and cable services.
- The Contractor shall contact PA One Call system @ 1-800-242-1776 at least three (3) days before construction activities.

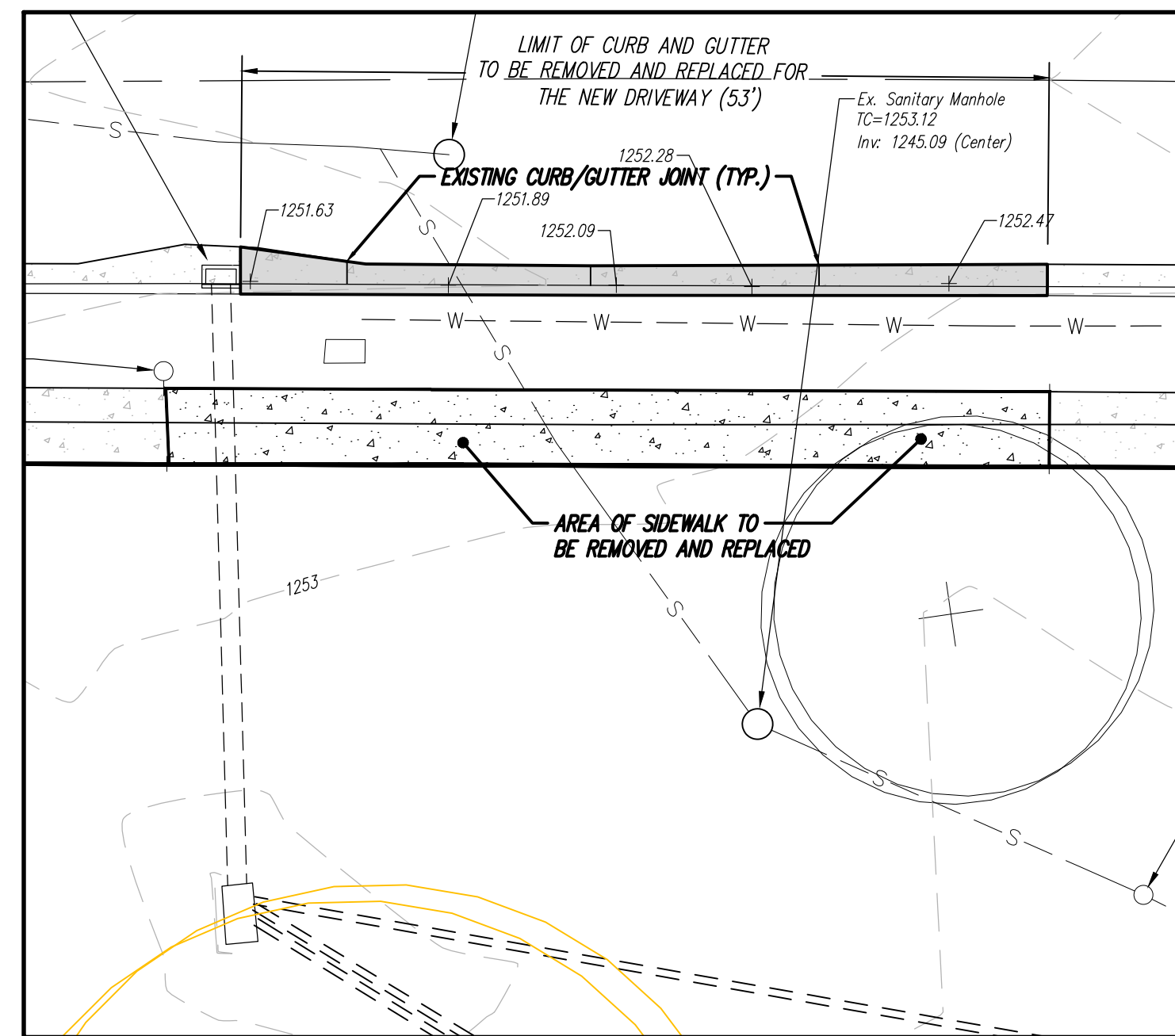
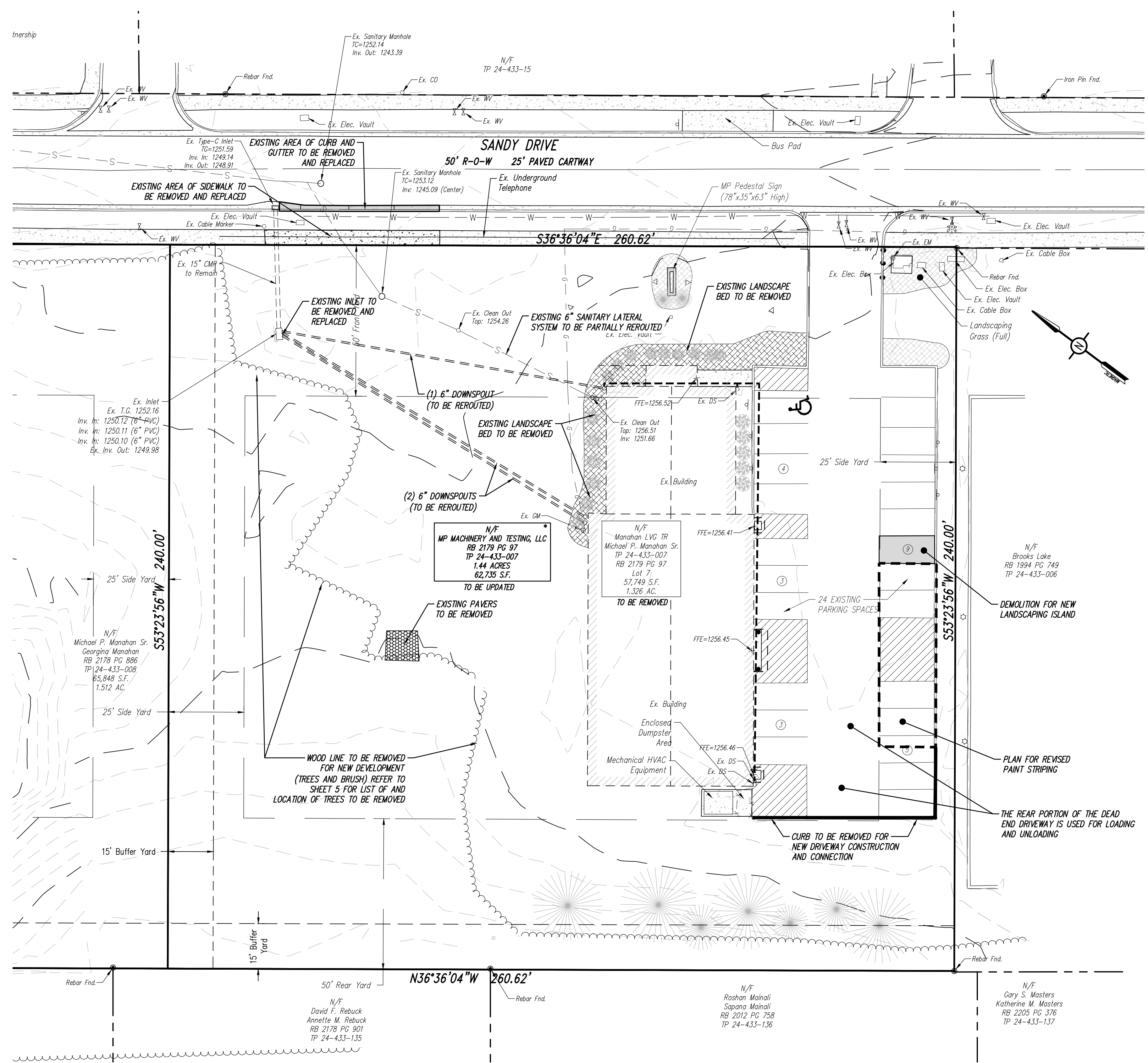
EXISTING FEATURES LEGEND



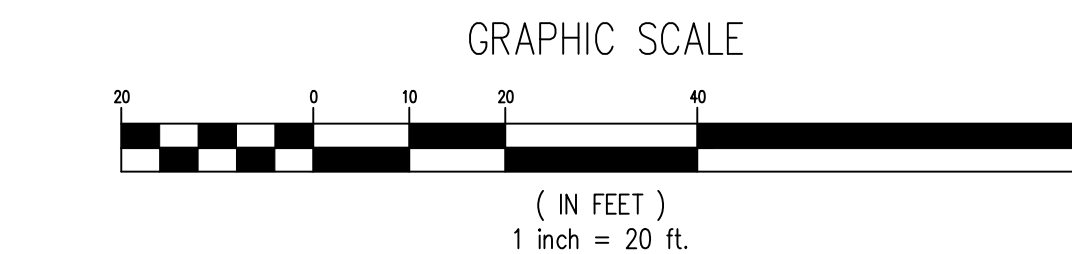
SURVEY FEATURES LEGEND



STORMWATER DOWNSPOUT NOTE:
 LOCATION OF THREE (3) 6" DIA. PLASTIC DOWNSPOUTS/ROOF DRAINS INTERPOLATED FROM 1997 'PROPOSED SITE PLAN' AND FIELD SURVEY CONDITIONS.



EXISTING PLANNED DRIVEWAY ENLARGEMENT AREA
 1" = 10'



***NOTE:**
 LOT 24-433-007 DEPICTED AND IDENTIFIED AS A PLANNED SUBDIVISION LOT TO ADD 4,800 S.F. FROM TP 24-433-008; A SUBDIVISION CURRENTLY UNDER REVIEW.

PennTerra ENGINEERING INC.
 CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 Fax: 814-237-2308

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CHAD DANIEL STAFFORD
 REGISTERED PROFESSIONAL ENGINEER
 PENNSYLVANIA
 NEVIN L. GROVE
 REGISTERED PROFESSIONAL LAND SURVEYOR
 PENNSYLVANIA

Designer	MJA
Draftsman	MJA
Proj Manager	CDS
Surveyor	XXX
Perimeter Ck.	XXX
Book	XXX Pg. XXX
File	2318 - 2 - EX COND.
Layout	EXISTING CONDITIONS

12-4-22	REVISED PER COMMENTS
11-4-22	REVISED PER COMMENTS
10-5-22	REVISED PER COMMENTS
8-15-22	REVISED PER COMMENTS
7-28-22	REVISED PER COMMENTS + NEW LOT MAILING EXTENSION
Date	Description
	REVISIONS

MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE

FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

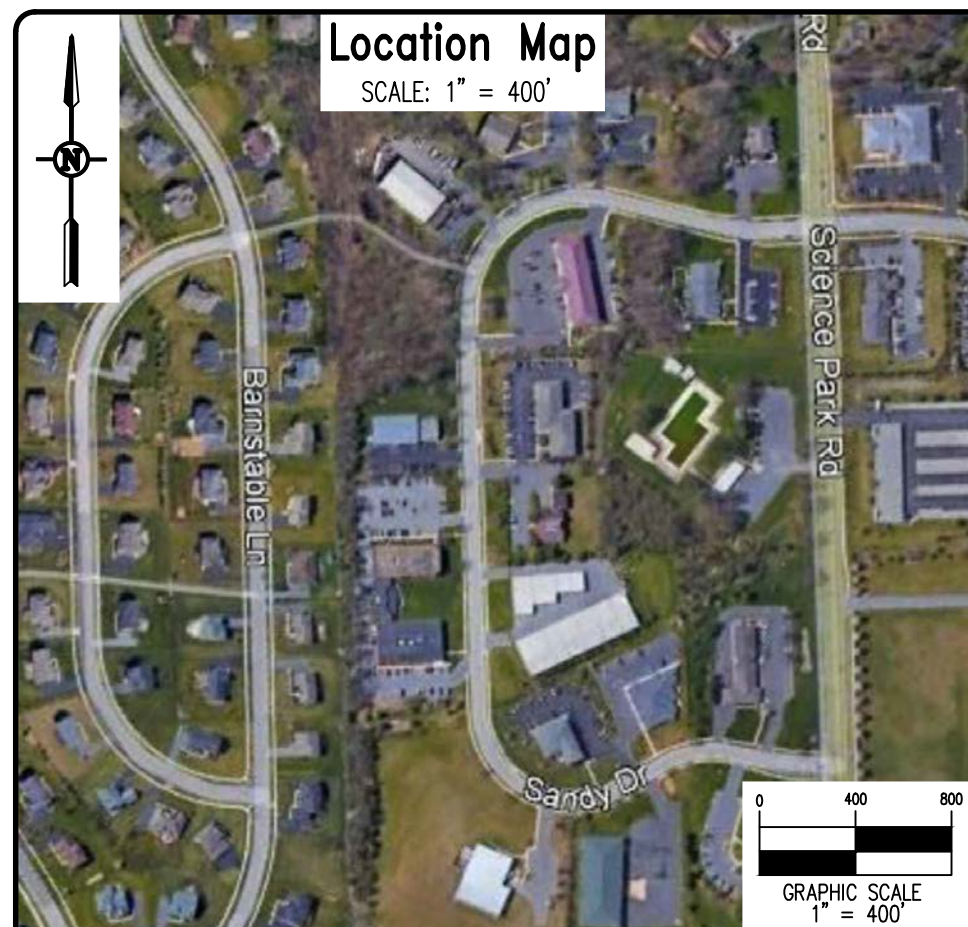
PRELIMINARY LAND DEVELOPMENT PLANS

EXISTING CONDITIONS AND DEMOLITION PLAN

PROJECT NO.	21316
DATE	MAY 3, 2022
SCALE	1" = 20'
SHEET NO.	2



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA 1 CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY



PROJECT NOTES

- 1. GENERAL SITE INFORMATION
a. Tax Parcel: 24-433-007-0000-
b. Address: 2161 Sandy Drive, State College, Ferguson Township, Pennsylvania
c. Owner/Developer: The Michael P. Manahan Sr. and Georgina Manahan Living Trust
d. Deed: TO BE UPDATED
2. AREA & BULK ZONING DATA
a. ZONING DISTRICT: Light Industrial, Research and Development (RD)
b. USE: Existing & Proposed- Research, Development, Engineering and/or Testing Laboratory
c. Area & Bulk Category 2
d. MINIMUM LOT SIZE: *20,000 square feet
ACTUAL LOT AREAS: 62,549 SF = 1.436 ACRES
e. LOT WIDTH MINIMUM: 100'
260.42' ACTUAL WIDTH
f. MINIMUM LOT WIDTH AT STREET: 100'
260.42' ACTUAL WIDTH AT STREET
g. YARD SETBACKS (AREA & BULK CATEGORY 2)
FRONT- 50'
SIDE (EACH)- 25'
REAR- 50'
BUFFER YARD- 15' (per Ferguson Township Zoning Officer) - REAR & WEST PROPERTY LINES
h. HEIGHT = 45' MAXIMUM
i. COVERAGE
Development Site Total Area (Tax Parcel 24-433-007-0000-) = 62,549 square feet
60% Allowable Impervious Coverage = 37,529 square feet
Impervious Coverage Total = 34,698 square feet (55.5%)
j. PARKING
On April 5, 2022, the Board of Supervisors of Ferguson Township reviewed the parking analysis/study submitted to the Township on February 18, 2022, and approved of three (3) additional parking spaces to be required on site for the 8,088 SF addition. This will result in 27 spaces being included on the land development plan as submitted.
k. Required Loading Zone Spaces: 1
l. Provided Loading Zone Spaces: Multiple/ entire rear driveway shall be considered LOADING SPACE.
3. GENERAL UTILITY & ACT 287 INFORMATION:
PA Once Call Serial No.: 20220041395
a. Sewage: University Area Joint Authority (UAJA), 1576 Spring Valley Road State College, PA 16801, 814-238-5361
b. Water: State College Borough Water Authority (SCBWA), 1201 West Branch Road, State College, PA 16801, 814-238-6766
c. Gas: Columbia Gas of Pennsylvania, 2550 Coraean Industrial Drive, State College, PA 16801, 814-278-5840
d. Electric: West Penn Power, 2800 East College Avenue, State College, PA 16801, 814-231-5355
e. Telephone: Verizon, 224 South Allen Street, State College, PA 16801, 814-231-6511
f. Cable TV: Comcast, 1155 Benner Pike, State College, PA 16801, 814-238-5050
g. Township Roads and Public Stormwater: Ferguson Township, 3147 Research Drive, State College, PA 16801, 814-238-4651
h. Contours shown are taken from survey data collected in the field.
i. Stormwater will be conveyed to an existing regional stormwater basin known as Tax Parcel 24-433-24.
For additional information, refer to:
a. "Stormwater Management Plan" prepared by PennTerra Engineering, Inc., dated March 22, 1996.
b. "Soil Erosion and Sedimentation Control Plan", (Approved October 17, 2022) prepared by PennTerra Engineering, Inc., dated October 5, 2022.
c. "The Greenleaf Manor PRD - Master Plan", dated March 7, 1995, last revised Feb. 5, 1996, and on record at the Ferguson Township Municipal Building.
d. "Greenleaf Manor P.R.D., Findings of Fact and Terms and Conditions" dated December 13, 2004
e. Hydrogeologic Assessment of Sinkholes" dated January 29, 1996, prepared by Meiser & Earl Hydrogeologists
f. "Phase 1 Final P.R.D. Plans" dated March 22, 1996, prepared by PennTerra Engineering, Inc.
g. "Proposed Site Plan for MPM Research and Consulting", dated March 21, 1997, PB 54 PG 7, Recorded June 25, 1997.
h. The MP Machinery and Testing Land Development Plans and the Stormwater Management Plans currently under review.
i. Plan Dated May 3, 2022, Last Revised October 5, 2022.
j. The MP Machinery and Testing Land Development Plans and Stormwater Management Plans approved December 6, 2022.
k. "Construction Plans Edwards Park Subdivision Phase 1", dated September 11, 1989, PB 41 PG 61-62.
l. MP Machinery Minor Subdivision Plan - "Subdivision/Replot of TP 24-433-008-0000, and 24-433-008-0000 at 2151 and 2161 Sandy Drive" as recorded at the Centre County Recorder's of Deeds at PB _____ PG _____
8. As-Built drawings of the stormwater facilities will be prepared in accordance with the Ferguson Township Stormwater Management Ordinance, upon completion of project construction as required.
9. All utilities are approximate. Contractor to contact PA One Call and servicing utility company prior to any construction operations.
10. Contractor to verify building dimensions and all utility entry/exit locations; including downspouts on Architectural drawings prior to any construction operations.
11. Stormwater pipes and sumps, etc. running through the lot are the responsibility of the Owner/Developer- MP Machinery & Testing, LLC.
12. Roof Leaders/Drains on the proposed building SHALL flow into the appropriate Stormwater Collection/Conveyance Facility as specifically detailed.
13. LANDSCAPING BED NOTE: The Owner shall install Landscaping Beds as shown for the purpose of installing grasses and shrubs.
14. The Trees at the property SHALL BE PRESERVED to the limits as shown.
15. All Trees and Shrubs shall be planted in accordance with the "Guide to Planting in Ferguson Township".
16. The application for a Zoning Permit was made to Ferguson Township on May 3, 2022.
17. There are NO sinkholes, depressions, water courses and/or floodplains on the Land Development Tract; Tax Parcel 24-433-007-0000-.
18. A copy of the approved Stormwater Management Site Plan must be on site at all times during construction.
19. A Driveway Permit is required prior to issuance of a Zoning Permit.
20. A Pre-Job Meeting is required with Ferguson prior to work starting.
21. This Record Plan conforms with the Plan receiving final approval by Ferguson Township Board of Supervisors on _____ All improvements are or will be installed in accordance with such Plan in manner and time so specified therein.

PROJECT DEVELOPMENT NARRATIVE:
MP Machinery and Testing, located at Tax Parcel 24-433-007-0000- and at 2161 Sandy Drive, State College, Ferguson Township, Centre County, Pennsylvania, is planning to add on to its existing building to provide additional material storage (for testing operations) and testing areas with an 8,088 square feet addition to the existing building.

- The following data describes MP Machinery and Testing and the current and planned use of the existing building and the new building addition:
- Briefly explain/classify the need for the Building Addition. Is it just additional Laboratory or storage/material space? It is for both lab and for storage. We will initially need about 70% for storage and 30% for lab.
- Will the Building addition result in additional employees? No.
- Explain the Breezeway connecting the buildings? That 20 feet Breezeway is critical for access and delivery as well as to meet Fire Wall requirements.
- MP Machinery & Testing is a business where you really do not have too many "visitors"? MP has had one or two visitors per year over the past 25 years, as customers do not come to this location. Rather, MP travels from this location to its customers.
- How many employees does MP Machinery & Testing have currently? MP Machinery and Testing has six employees, and has never had more than five over the past 25 years. Due to plans for the intended Building Expansion, MP Machinery has hired their maximum number of employees, over to be eight.
- Work Hours: Are 7:30 am to 4:40 pm.
Dr. Manahan has supplied some additional data to consider as the development of the planned Building Addition and site improvements are designed. That data follows:
- Solely for the sake of convenience, MP proposes a few additional parking spaces by the new addition.
- MP needs a driveway in the back of the building for 18 wheelers to drive through. There is a high bay door in the rear of the new building, and they need to take deliveries there.

PROPOSED FEATURES LEGEND

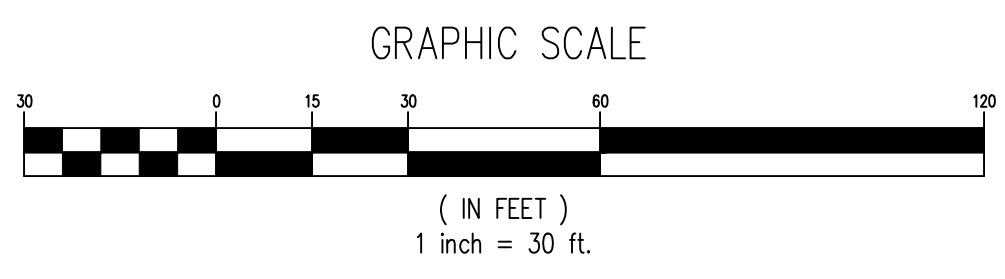
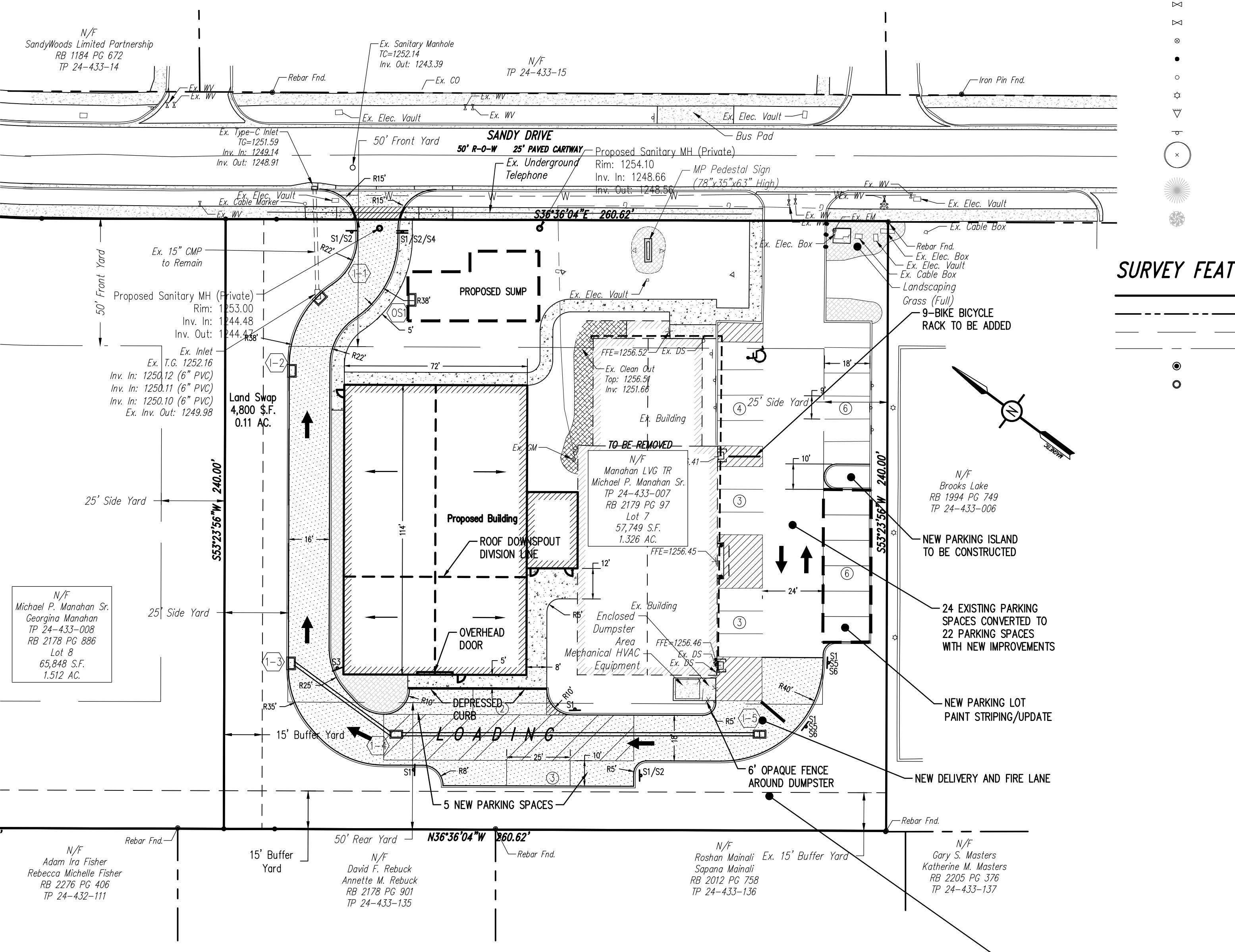
- PROPOSED BUILDING
PROPOSED CURBING & EDGE OF PAVEMENT
PROPOSED CONCRETE AREAS
PROPOSED BITUMINOUS PAVEMENT AREAS
PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)
PROPOSED PARKING STALL COUNT

EXISTING FEATURES LEGEND

- Existing Building
Existing Curbing & Edge of Pavement
Existing Concrete Areas
Existing Landscaped Areas
Existing Retaining Wall
Existing Contours w/ Elevation (1's & 2's)
Existing Contours w/ Elevation (5's & 10's)
Existing Sanitary Sewer w/ Manhole
Existing Water Service Lateral
Existing Storm Sewer Line w/ Inlet
Existing Fire Hydrant
Existing Manhole
Existing Storm Sewer Inlet Type-M
Existing Storm Sewer Inlet Type-C
Existing Utility Main Valve
Existing Utility Lateral Valve
Existing Utility Meter
Existing Bollard
Existing Clean-Out
Existing Light Pole/Standard
Existing Flood Light
Existing Sign
Existing Deciduous Tree
Existing Evergreen Tree
Existing Shrub

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
Adjoining Property Line
Building Setback Line
Roadway Center Line
Property Corner Found
Property Corner To Be Set



N/F
MP MACHINERY AND TESTING, LLC
RB 2179 PG 97
TP 24-433-007
1.44 ACRES
02,735 S.F.
TO BE UPDATED

*NOTE:
LOT 24-433-007 DEPICTED AND IDENTIFIED AS A PLANNED SUBDIVISION LOT TO ADD 4,800 S.F. FROM TP 24-433-008; A SUBDIVISION CURRENTLY APPROVED AND TO BE RECORDED.

Owner's Certification

State of _____
County of _____
On this the _____ day of _____, 20____,
personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

witness my hand and seal, this date _____
Notary Public Commission Expires _____

Township Planning Commission

Ferguson Township Planning Commission Approved
Chair _____ Date _____
Secretary _____ Date _____

Township Supervisors

Ferguson Township Supervisors Approved
Chair _____ Date _____
Secretary _____ Date _____

Township Engineer Certification

I, _____ have reviewed and hereby certify that the plan meets all engineering design standards and criteria of the Ferguson Township Code of Ordinances.

Design Engineer Certification

I, _____ hereby certify that this land development meets all design requirements of the Subdivision and Land Development Ordinance, Zoning Ordinance and all other applicable Chapters of Ferguson Township Code.

Professional Land Surveyor Certification

I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.
Signature _____ Date _____

Fire Chief Certification

I have reviewed and hereby certify that the location of Fire Lanes and Fire Hydrants shown on this plan are adequate.
Fire Chief _____ Date _____

Recorder's Stamp Here

PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308
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CHAD DANIEL STAFFORD
NEVIN L. GROVE
Professional Land Surveyor

Table with columns: Designer (MJA), Draftsman (MJA), Proj Manager (CDS), Surveyor (XXX), Perimeter Ck., Book (XXX Pg. XXX), File (2136 - 3 - RECORD), Layout (RECORD).

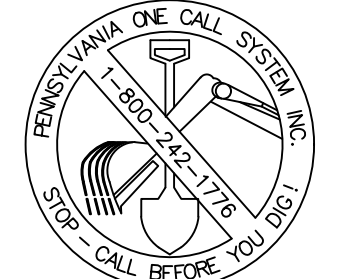
Table with columns: Date, Description, REVISIONS. Includes entries for 12-14-22, 11-14-22, 10-5-22, 8-15-22, 7-28-22.

MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE
FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLANS

RECORD PLAN

Table with columns: PROJECT NO. (21316), DATE (MAY 3, 2022), SCALE (1" = 30'), SHEET NO. (3).



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA 1 CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY

STORMWATER MANAGEMENT NOTES

- 1. All site work shall be done in accordance with the plans prepared by PennTerra Engineering, Inc., the current requirements of the governing municipality, the applicable sections of the PennDOT standard specifications for roadway construction, and all other pertinent federal and state laws.
2. The Contractor shall comply at all times with applicable federal, state and local laws, provisions, and policies governing safety and health, including the federal construction safety act, as amended.
3. The Contractor shall be responsible for examining the areas and conditions under which the project is to be constructed prior to the submission of a bid. Submission of a bid to be constructed to mean the Contractor has reviewed the site and is familiar with conditions and constraints of the site.
4. Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify pa one call 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
5. An as-built drawing of new utility services shall be prepared by the Contractor and submitted to the Owner upon completion of the project.
6. All storm pipe shall be as noted. All joints shall be watertight.
7. Contractor shall refer to other plans within this construction set for other pertinent information.
8. Contractor shall have a licensed professional submit as-built drawings/documentation (including verification of infiltration testing) of the stormwater management facilities prepared in accordance with chapter 26 of the governing municipality's code of ordinances, A Record Set (As-Built) Package, including all supporting documentation as required in accordance 26-402.3.D(4), shall be provided at the completion of the project. A narrative and photographic documentation for critical stages of construction and for the infiltration surface prior to placement of filter fabric/stone must also be submitted to the governing municipality.

AS-BUILT NOTES:

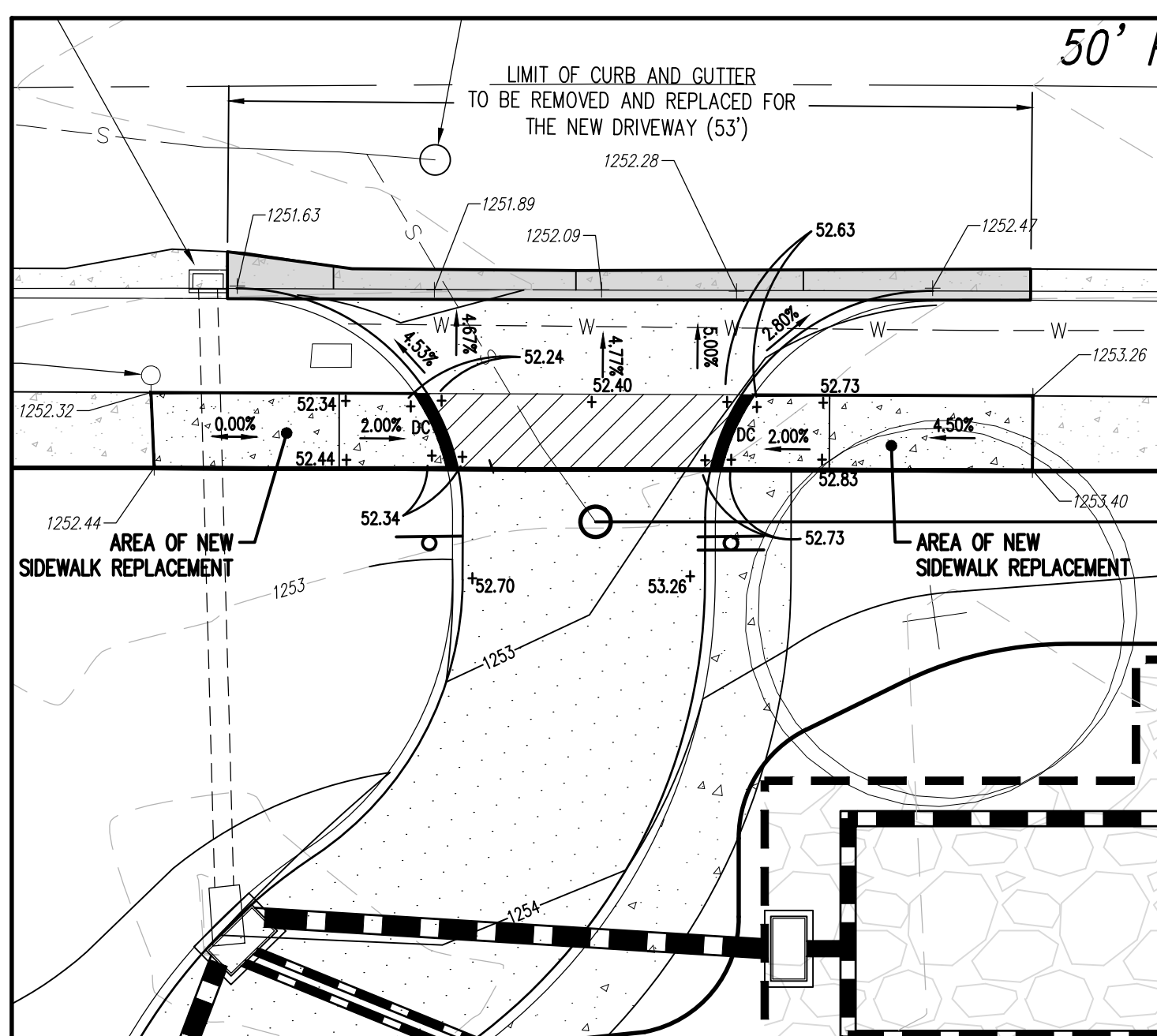
- 1. Certification of the stormwater as-built plan by a licensed professional of the stormwater facilities specified under the section labeled "Critical Stages of Construction" is required.
2. The licensed professional responsible for certifying the stormwater as-built plan shall be selected prior to starting earth disturbance activities on the project.
3. The licensed professional responsible for certifying the stormwater as-built plan shall be present for all "Critical Stages of Construction."
4. A pre-construction meeting between the contractor, township, owner, and licensed professional responsible for certifying the stormwater as-built plan is required to ensure all "Critical Stages of Construction" are reviewed, acknowledged and milestones established to ensure the licensed professional is present onsite during the "Critical Stages of Construction." The location of infiltration tests performed during construction shall be documented on the as-built plans. Any modifications to the approved plan must be submitted to the Township for review prior to construction. The developer must provide the township with the as-built package for all stormwater facilities prior to occupancy or the release of the surety bond.

CRITICAL STAGES OF CONSTRUCTION:

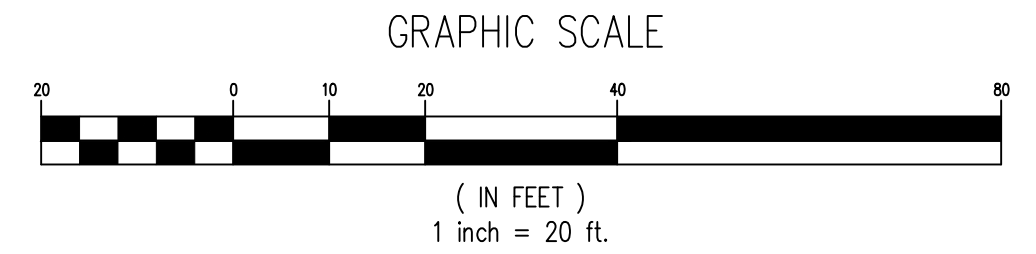
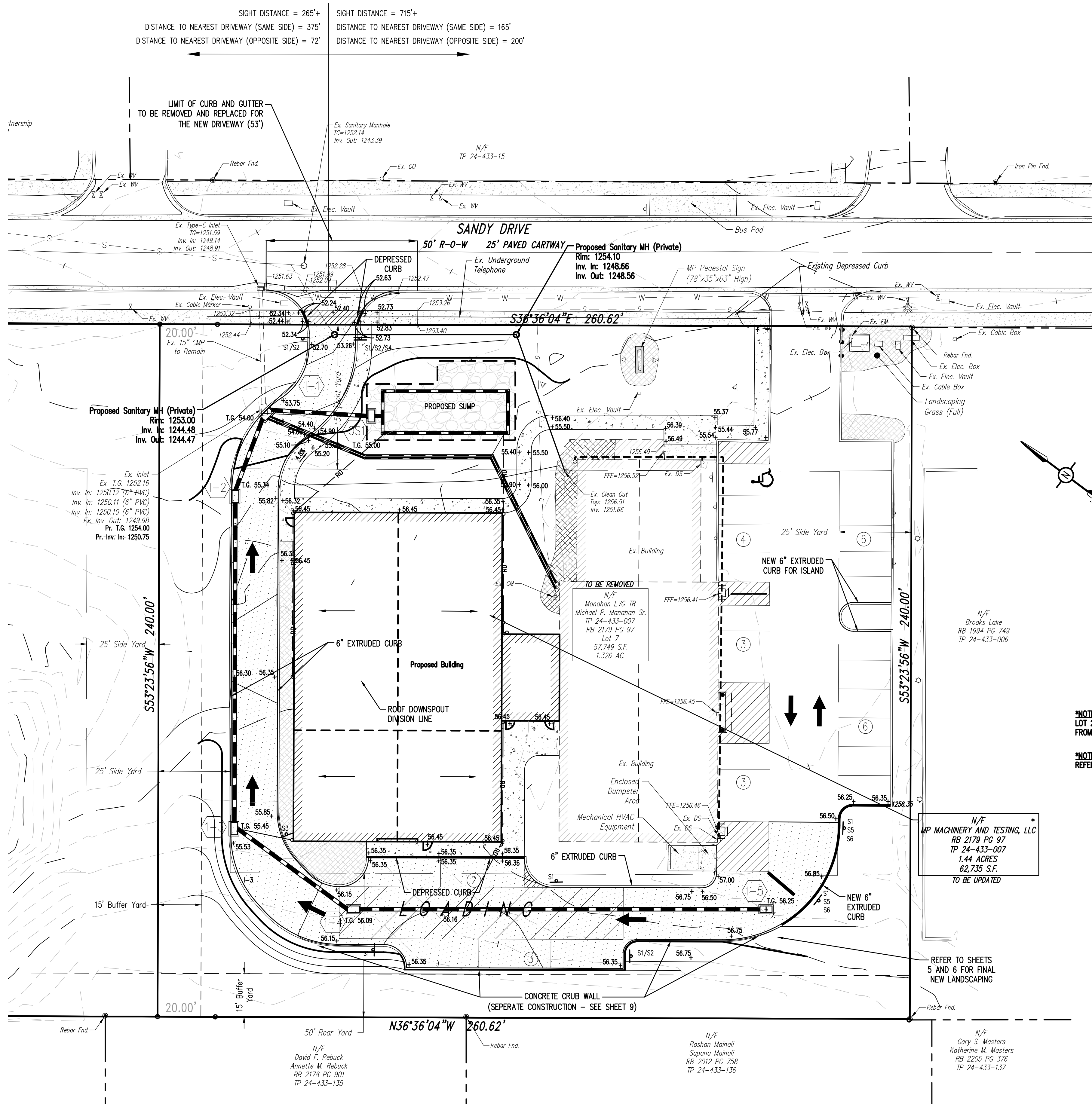
Critical Stages of Construction are parts of the construction sequence of the Land Development Plan which require certification and construction oversight of stormwater facilities by the licensed professional responsible for certification of the certified stormwater as-built plan. At least two weeks in advance of construction, the contractor shall schedule a coordination meeting with the licensed professional to review the critical stages and establish a schedule for inspections/verifications of all critical stages. At the discretion of the licensed professional, the contractor may provide photo documentation of the installation of certain items in lieu of the licensed professional being present. The critical stages for each Post Construction Stormwater Best Management Practice are as follows:

GRADING NOTES

- 1. The project benchmark is a sanitary sewer manhole, located at the northern most end of Sheetz Drive. Elev. = 768.16.
2. All existing trees, vegetation, pavements, concrete foundations, structures and organic topsoil shall be stripped and removed from new construction areas unless noted otherwise.
3. All areas not paved shall be sodded, topsoiled, seeded, mulched or landscaped unless otherwise noted in the construction plans, site specifications or instructed by the Owner.
4. The Contractor shall refer to the geotechnical report prior to initiation of any earthwork activity. Refer to the Geotechnical Report "Geotechnical Engineering Study - Reedsville Property - Sheetz Drive, PA - HCEA Project No. T22081 by Hillis Carnes Engineering Associates, Inc., June 30, 2022.
5. The maximum slope within all the handicapped parking spaces shall be 2.00% in any direction.
6. The maximum slope for all on-site sidewalks shall be 4.50% with a maximum cross slope of 2.00% and curb ramps shall have a maximum slope of 8.30%.
7. Proposed spot elevation are to bottom of curb unless noted otherwise.
8. The Contractor shall notify assigned inspection agency before any retaining wall construction. Retaining walls shall be constructed per the project specification approved building permit and certified by the assigned inspection agency.
9. All fill material brought on to the job by the Contractor must comply with all applicable D.E.P. regulations regarding clean fill.
10. All areas disturbed during construction, not designated to receive paving or mulch, shall be fine graded, topsoiled, & seeded unless otherwise noted in the construction drawings, site specifications or instructed by the Owner.
11. The Contractor shall notify Owner's testing agency before any placement and compaction of fills on the site. Fill areas shall be prepared and compacted per the project specifications and certified by the Owner's testing agency. Contractor shall be responsible for removal, retesting, and replacement of fills not meeting the specifications. The Contractor is also responsible for all expenses associated with replacement of fills not meeting the specifications.
12. The Contractor shall notify assigned inspection agency before any retaining wall construction. Retaining walls shall be constructed per the project specification approved building permit and certified by the assigned inspection agency.



DRIVEWAY ENTRANCE ENLARGEMENT 1" = 10'



EXISTING FEATURES LEGEND

- EXISTING BUILDING Existing Building
EXISTING CURBING & EDGE OF PAVEMENT Existing Curbing & Edge of Pavement
EXISTING CONCRETE AREAS Existing Concrete Areas
EXISTING LANDSCAPED AREAS Existing Landscaped Areas
EXISTING RETAINING WALL Existing Retaining Wall
1109 Existing Contours w/ Elevation (1's & 2's)
1110 Existing Contours w/ Elevation (5's & 10's)
Existing Sanitary Sewer w/ Manhole
Existing Water Service Lateral
Existing Storm Sewer Line w/ Inlet
Existing Fire Hydrant
Existing Manhole
Existing Storm Sewer Inlet Type-M
Existing Storm Sewer Inlet Type-C
Existing Utility Main Valve
Existing Utility Lateral Valve
Existing Utility Meter
Existing Ballard
Existing Clean-Out
Existing Light Pole/Standard
Existing Flood Light
Existing Sign
Existing Deciduous Tree
Existing Evergreen Tree
Existing Shrub

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
Adjoining Property Line
Building Setback Line
Roadway Center Line
Property Corner Found
Property Corner To Be Set

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING PROPOSED BUILDING
PROPOSED CURBING & EDGE OF PAVEMENT PROPOSED CURBING & EDGE OF PAVEMENT
PROPOSED CONCRETE AREAS PROPOSED CONCRETE AREAS
PROPOSED BITUMINOUS PAVEMENT AREAS PROPOSED BITUMINOUS PAVEMENT AREAS
1109 PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
1110 PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
+99.87 PROPOSED SPOT ELEVATION
2.0% PROPOSED GRADE SLOPE
RD PROPOSED STORM SEWER W/ TYPE C INLET
PROPOSED STORM SEWER ROOF DRAIN
PROPOSED STORM SEWER INLET - TYPE M
PROPOSED STORM SEWER INLET - TYPE C
PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)
S2 PROPOSED SIGN W/ LABEL

NOTE: LOT 24-433-007 DEPICTED AND IDENTIFIED AS A PLANNED SUBDIVISION LOT TO ADD 4,800 S.F. FROM TP 24-433-008; A SUBDIVISION CURRENTLY UNDER REVIEW.

NOTE: REFER TO SHEET 3 FOR ADDITIONAL CONSTRUCTION DIMENSIONS

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LANCASTER REGION OFFICE: 3904 B ABEL DRIVE COLUMBIA, PA 17512 PH: 717-522-5031 Fax: 717-522-5046
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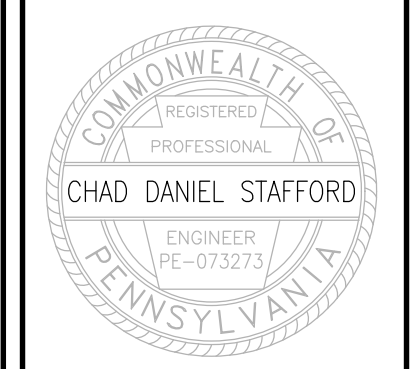


Table with columns for Role and Name: Designer MJA, Draftsman MJA, Proj Manager CDS, Surveyor XXX, Perimeter Ck., Book XXX Pg. XXX, File 2136 - 4 - GRADING, Layout GRADING.

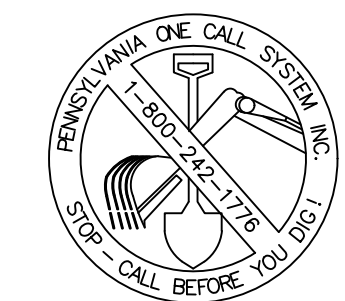
Table with columns for Date, Description, and Revisions: 12-14-22 REVISED PER COMMENTS, 11-14-22 REVISED PER COMMENTS, 10-15-22 REVISED PER COMMENTS, 8-15-22 REVISED PER COMMENTS, 7-28-22 REVISED PER COMMENTS + NEW LOT MAINTEN. EXTENSION.

MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE

FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLANS
GRADING & DEVELOPMENT PLAN

Table with project details: PROJECT NO. 21316, DATE MAY 3, 2022, SCALE 1" = 20', SHEET NO. 4.



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NO.	COMMON NAME	BOTANICAL NAME	CALIPER
1	RED OAK	QUERCUS RUBRA	12"
2	RED MAPLE	ACER RUBRUM	12"
3	RED MAPLE	ACER RUBRUM	12"
4	RED MAPLE	ACER RUBRUM	12"
5	EAST ASIAN CHERRY	PRUNUS SERRULATA	10"
6	RED MAPLE	ACER RUBRUM	9"
7	RED MAPLE	ACER RUBRUM	8"
8	RED MAPLE	ACER RUBRUM	9"
9	RED MAPLE	ACER RUBRUM	8"
10	RED MAPLE	ACER RUBRUM	8"
11	RED MAPLE	ACER RUBRUM	8"
12	RED MAPLE	ACER RUBRUM	9"
13	RED MAPLE	ACER RUBRUM	9"
14	RED MAPLE	ACER RUBRUM	10"
15	RED MAPLE	ACER RUBRUM	10"
16	WHITE PINE	PINUS STROBUS	10"
17	WHITE PINE	PINUS STROBUS	8"
18	WHITE PINE	PINUS STROBUS	6"
19	WHITE PINE	PINUS STROBUS	14"
20	EAST ASIAN CHERRY	PRUNUS SERRULATA	9"
21	WHITE PINE	PINUS STROBUS	12"
22	WHITE PINE	PINUS STROBUS	9"
23	BLACK CHERRY	PRUNUS SEROTINA	14"
24	BLACK CHERRY	PRUNUS SEROTINA	9"
25	BLACK CHERRY	PRUNUS SEROTINA	8"
26	BLACK CHERRY	PRUNUS SEROTINA	8"
27	BLACK CHERRY	PRUNUS SEROTINA	7"
28	BLACK CHERRY	PRUNUS SEROTINA	6"
29	BLACK CHERRY	PRUNUS SEROTINA	7"
30	BLACK CHERRY	PRUNUS SEROTINA	14"
31	BLACK CHERRY	PRUNUS SEROTINA	14"
32	BLACK CHERRY	PRUNUS SEROTINA	8"
33	BLACK CHERRY	PRUNUS SEROTINA	9"
34	BLACK CHERRY	PRUNUS SEROTINA	11"
35	BLACK CHERRY	PRUNUS SEROTINA	8"
36	BLACK CHERRY	PRUNUS SEROTINA	7"
37	BLACK CHERRY	PRUNUS SEROTINA	8"
38	BLACK CHERRY	PRUNUS SEROTINA	7"
39	BLACK CHERRY	PRUNUS SEROTINA	10"
40	RED OAK	QUERCUS RUBRA	15"
41	RED OAK	QUERCUS RUBRA	20"
42	RED OAK	QUERCUS RUBRA	17"
43	RED OAK	QUERCUS RUBRA	27"
44	RED OAK	QUERCUS RUBRA	24"
45	RED OAK	QUERCUS RUBRA	22"
46	RED OAK	QUERCUS RUBRA	22"
47	RED OAK	QUERCUS RUBRA	27"
48	SUGAR MAPLE	ACER SACCHARUM	8"
49	RED MAPLE	ACER RUBRUM	7"
50	RED MAPLE	ACER RUBRUM	14"
51	RED MAPLE	ACER RUBRUM	14"
52	RED MAPLE	ACER RUBRUM	14"
53	RED MAPLE	ACER RUBRUM	7"
54	RED MAPLE	ACER RUBRUM	7"
55	RED MAPLE	ACER RUBRUM	7"
56	RED MAPLE	ACER RUBRUM	7"
57	WHITE OAK	QUERCUS ALBA	7"
58	BEECH	FAGUS	8"
59	BLACK WALNUT	JUGLANS NIGRA	12"
60	ASH	FRAXINUS	7"
61	ASH	FRAXINUS	7"
62	ASPEN	POPULUS TREMULOIDES	10"
63	ASPEN	POPULUS TREMULOIDES	12"
64	ASPEN	POPULUS TREMULOIDES	15"
65	ASPEN	POPULUS TREMULOIDES	6"
66	ASPEN	POPULUS TREMULOIDES	7"
67	ASPEN	POPULUS TREMULOIDES	16"
68	ASPEN	POPULUS TREMULOIDES	6"
69	ASPEN	POPULUS TREMULOIDES	7"
70	BLACK CHERRY	PRUNUS SEROTINA	2"
71	RED MAPLE	ACER RUBRUM	4"
72	BLACK CHERRY	PRUNUS SEROTINA	5"
73	BLACK CHERRY	PRUNUS SEROTINA	2"
74	BLACK CHERRY	PRUNUS SEROTINA	3"
75	RED MAPLE	ACER RUBRUM	4"
76	BLACK CHERRY	PRUNUS SEROTINA	4"
77	ASH	FRAXINUS	2"
78	RED MAPLE	ACER RUBRUM	3"
79	RED MAPLE	ACER RUBRUM	3"
80	RED MAPLE	ACER RUBRUM	4"
81	BLACK CHERRY	PRUNUS SEROTINA	1"
82	BLACK CHERRY	PRUNUS SEROTINA	2"
83	BLACK CHERRY	PRUNUS SEROTINA	2"
84	BLACK CHERRY	PRUNUS SEROTINA	1"
85	RED MAPLE	ACER RUBRUM	3"
86	RED MAPLE	ACER RUBRUM	1"
87	RED MAPLE	ACER RUBRUM	2"
88	RED MAPLE	ACER RUBRUM	2"
89	RED MAPLE	ACER RUBRUM	3"
90	ASH	FRAXINUS	4"
91	ASH	FRAXINUS	2"
92	BLACK CHERRY	PRUNUS SEROTINA	4"
93	RED MAPLE	ACER RUBRUM	3"
94	RED MAPLE	ACER RUBRUM	1"
95	BLACK CHERRY	PRUNUS SEROTINA	3"
96	ASH	FRAXINUS	2"
97	RED MAPLE	ACER RUBRUM	2"
98	RED MAPLE	ACER RUBRUM	1"
99	RED MAPLE	ACER RUBRUM	2"
100	RED MAPLE	ACER RUBRUM	3"
101	BLACK CHERRY	PRUNUS SEROTINA	3"
102	RED MAPLE	ACER RUBRUM	3"
103	BLACK CHERRY	PRUNUS SEROTINA	3"



BUFFER YARD PHOTO 1



BUFFER YARD PHOTO 2



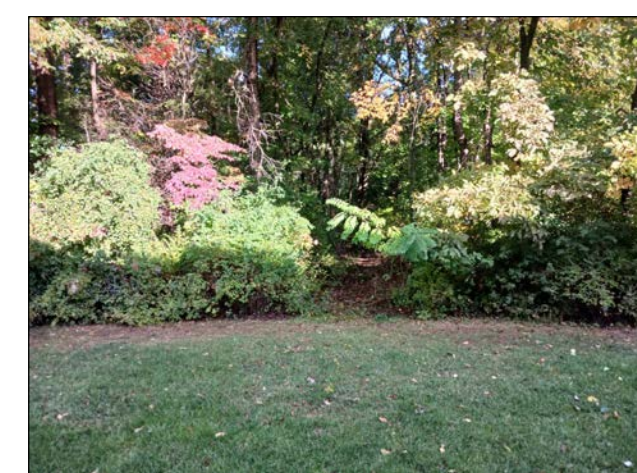
BUFFER YARD PHOTO 3



BUFFER YARD PHOTO 4



BUFFER YARD PHOTO 5



BUFFER YARD PHOTO 6



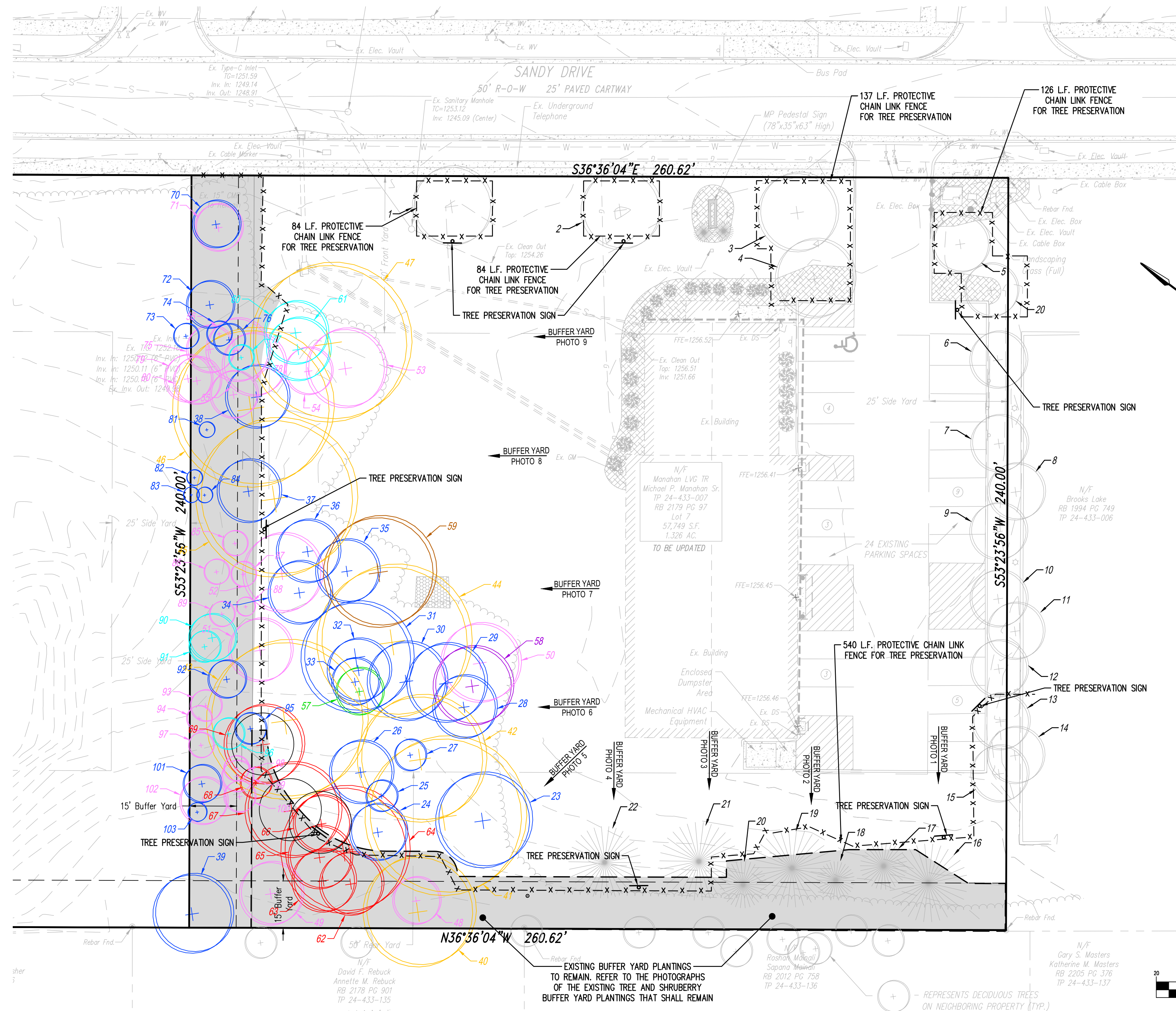
BUFFER YARD PHOTO 7



BUFFER YARD PHOTO 8



BUFFER YARD PHOTO 9

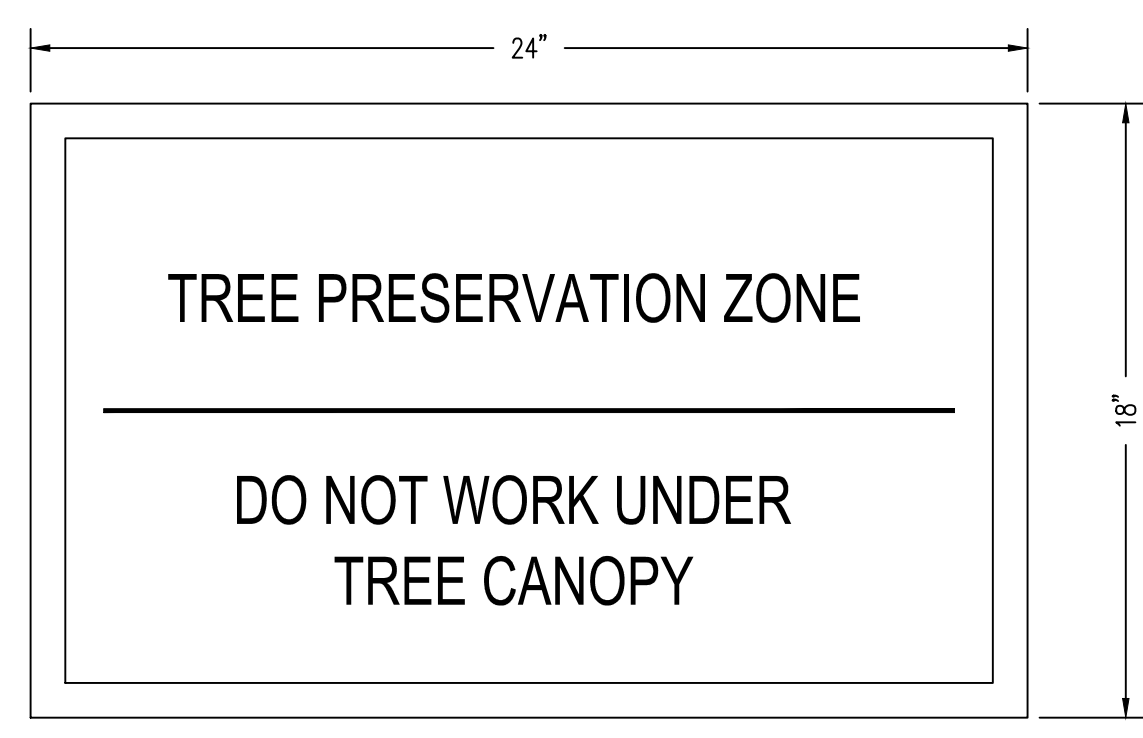


LANDSCAPE NOTE:
ALL TREES AND SHRUBS SHALL BE PLANTED IN ACCORDANCE WITH THE 'GUIDE TO PLANTING IN FERGUSON TOWNSHIP'.

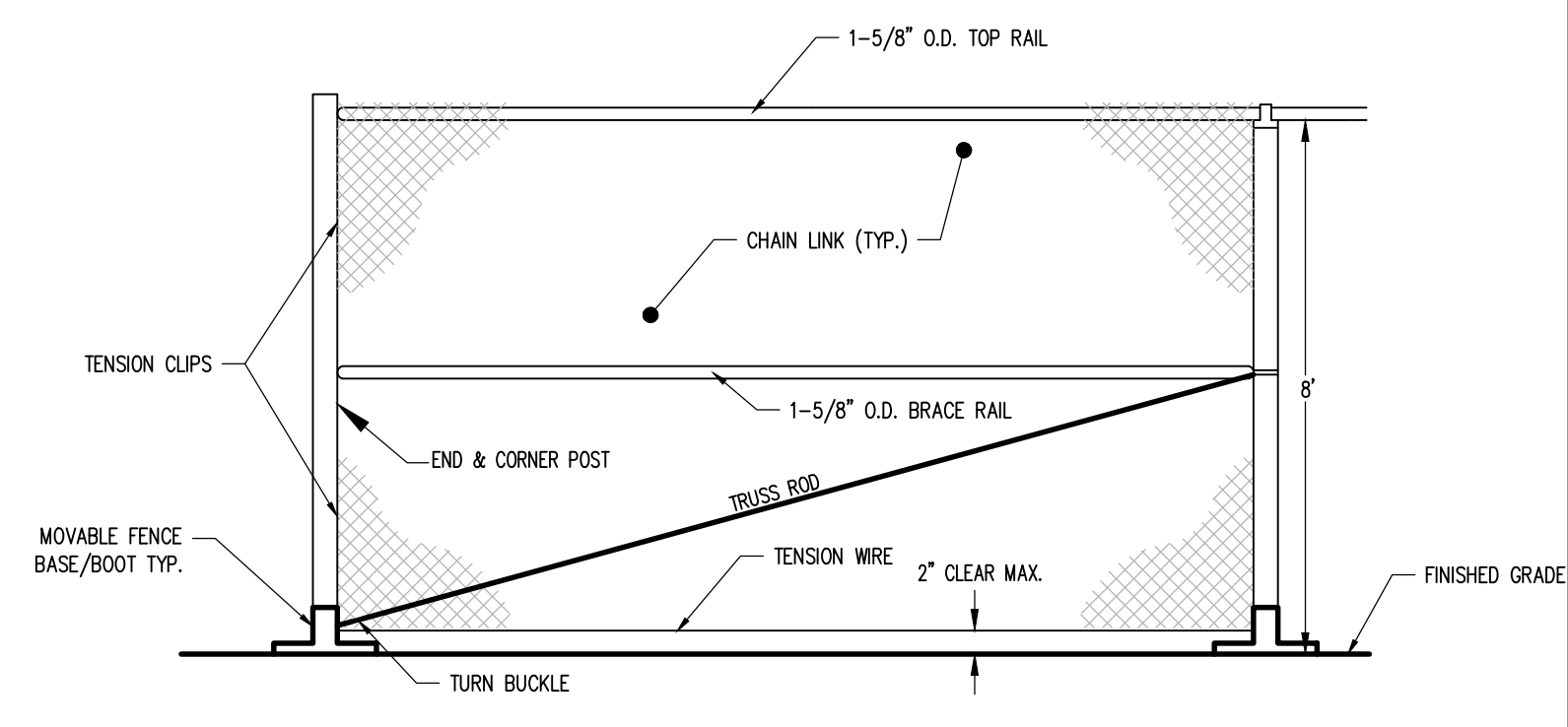
PROTECTIVE TREE NOTES:
1. PROPOSED 8' PROTECTIVE CHAINLINK FENCES SHALL BE INSTALLED PRIOR TO ANY AND ALL EARTH DISTURBANCE. THE FENCE MAY BE REMOVED ONLY AFTER CONSTRUCTION IS COMPLETED AND THE TOWNSHIP ARBORIST HAS PROVIDED WRITTEN ACKNOWLEDGEMENT THAT THE FENCE CAN BE REMOVED.
2. THE TREES AT THE PROPERTY SHALL BE PRESERVED AS SHOWN
3. UPON APPROVAL OF ANY PERMIT SUBJECT TO THIS ORDINANCE, AND PRIOR TO ANY CONSTRUCTION, OR EARTH DISTURBANCE ON THE SITE, A PRECONSTRUCTION CONFERENCE SHALL BE HELD ON THE SITE BETWEEN THE TOWNSHIP ARBORIST AND THE APPLICANT.
4. THE CONTRACTOR SHALL HIRE AN ARBORIST TO OVERSEE THE PROTECTION, PRESERVATION AND RAISING AND LIFTING CANOPIES BEFORE CONSTRUCTION ACTIVITIES BEGIN. THE HIRED ARBORIST SHALL COORDINATE ALL ACTIVITIES WITH THE TOWNSHIP AUTHORITIES.

- EXISTING FEATURES LEGEND**
- Existing Building
 - Existing Curbing & Edge of Pavement
 - Existing Concrete Areas
 - Existing Landscaped Areas
 - Existing Retaining Wall
 - Existing Contours w/ Elevation (1's & 2's)
 - Existing Contours w/ Elevation (5's & 10's)
 - Existing Sanitary Sewer w/ Manhole
 - Existing Water Service Lateral
 - Existing Storm Sewer Line w/ Inlet
 - Existing Fire Hydrant
 - Existing Manhole
 - Existing Storm Sewer Inlet Type-M
 - Existing Storm Sewer Inlet Type-C
 - Existing Utility Main Valve
 - Existing Utility Lateral Valve
 - Existing Utility Meter
 - Existing Ballard
 - Existing Clean-Out
 - Existing Light Pole/Standard
 - Existing Flood Light
 - Existing Sign
 - Existing Deciduous Tree
 - Existing Evergreen Tree
 - Existing Shrub

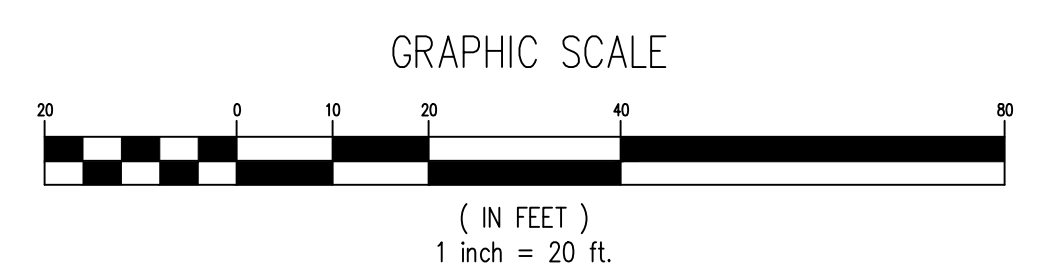
- SURVEY FEATURES LEGEND**
- Property Line, Lot Line or Right of Way Line
 - Adjoining Property Line
 - Building Setback Line
 - Roadway Center Line
 - Property Corner Found
 - Property Corner To Be Set
 - TREE PRESERVATION SIGN



TREE PRESERVATION SIGN DETAIL NOT TO SCALE



(TEMPORARY) PROTECTIVE CHAIN LINK FENCE DETAIL NOT TO SCALE

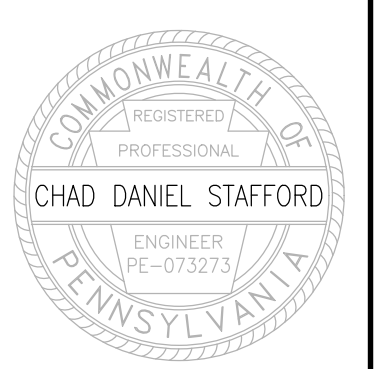


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Designer	MJA
Draftsman	MJA
Proj Manager	CDS
Surveyor	XXX
Perimeter Ck.	
Book	XXX Pg. XXX
File	21316 - 5 - TREE PLAN
Layout	TREE PLAN

11-4-22	REVISED PER COMMENTS
11-4-22	REVISED PER COMMENTS
10-5-22	REVISED PER COMMENTS
9-15-22	REVISED PER COMMENTS
7-28-22	REVISED PER COMMENTS + NEW LOT MAILING EXTENSION
Date	Description
REVISIONS	

MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE

FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLANS

EXISTING TREE PLAN AND TREE PRESERVATION PLAN

PROJECT NO.	21316
DATE	MAY 3, 2022
SCALE	1" = 20'
SHEET NO.	5

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COMMONWEALTH OF PENNSYLVANIA
 REGISTERED PROFESSIONAL ENGINEER
 CHAD DANIEL STAFFORD
 PE-073373

Designer	MJA
Draftsman	MJA
Proj Manager	CDS
Surveyor	XXX
Perimeter Ck.	
Book	XXX Pg. XXX
File	21316 - 6 - LANDSCAPE
Layout	LANDSCAPE

Date	Description	Revisions
11-4-22	REVISED PER COMMENTS	
11-4-22	REVISED PER COMMENTS	
10-5-22	REVISED PER COMMENTS	
8-15-22	REVISED PER COMMENTS	
7-28-22	REVISED PER COMMENTS + NEW LOT MAILING EXTENSION	

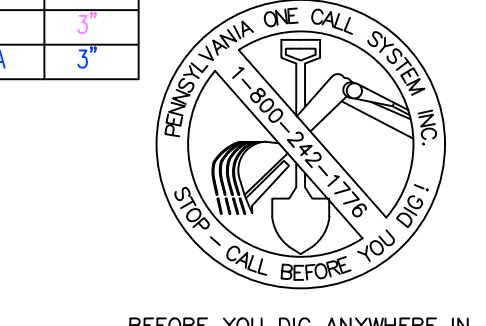
MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE

FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLANS

LANDSCAPE PLAN

PROJECT NO.	21316
DATE	MAY 3, 2022
SCALE	1" = 20'
SHEET NO.	6



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA 1 CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Landscaped Areas
- Existing Retaining Wall
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Service Lateral
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- Existing Storm Sewer Inlet Type-M
- Existing Storm Sewer Inlet Type-C
- Existing Utility Main Valve
- Existing Utility Lateral Valve
- Existing Utility Meter
- Existing Bollard
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Flood Light
- Existing Sign
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Roadway Center Line
- Property Corner Found
- Property Corner To Be Set

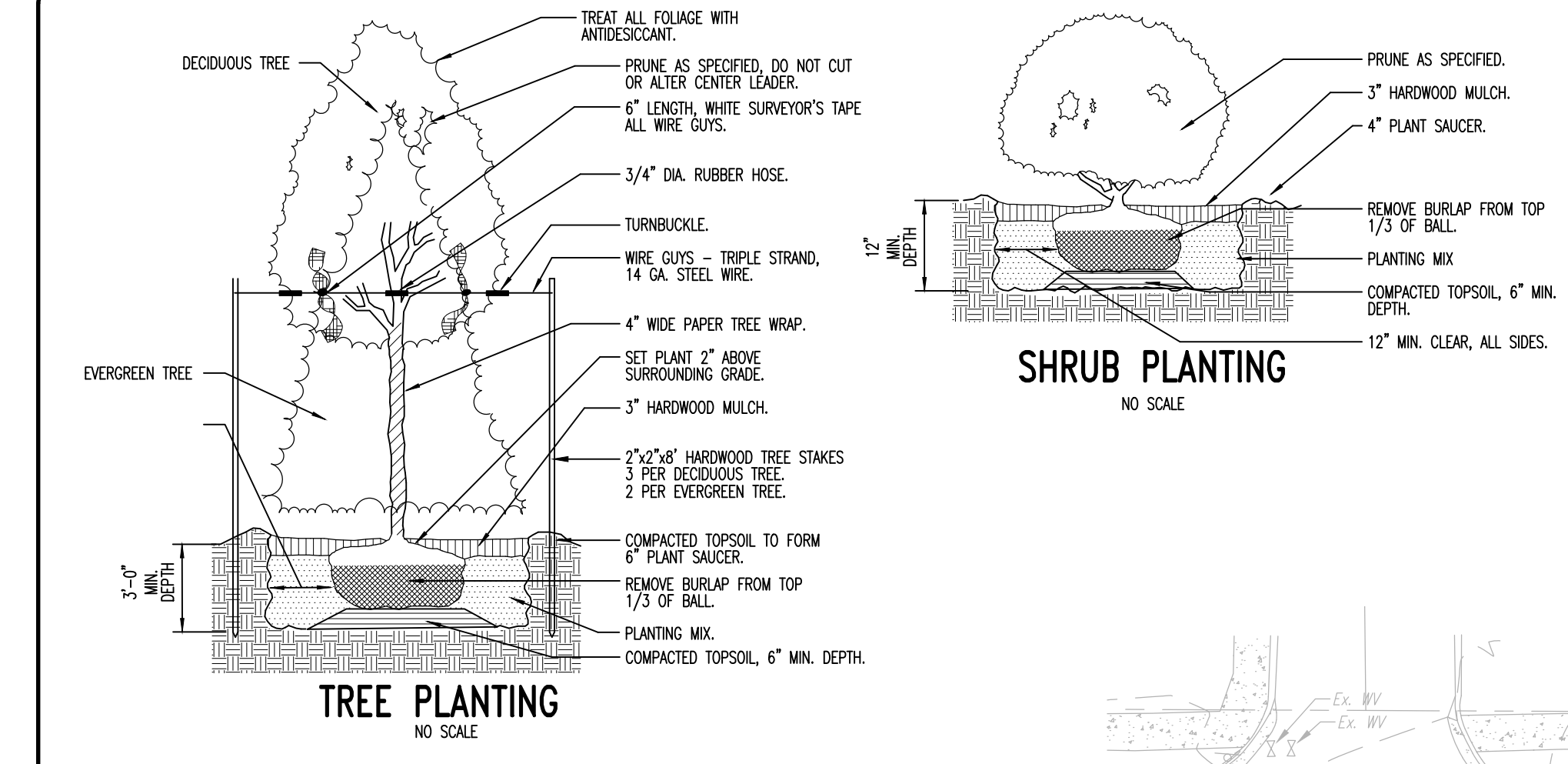
PLANTING SCHEDULE

SYMBOL	KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE	MATURE HT.	MATURE SPREAD
CANOPY TREES							
	S-1	1	RED MAPLE	ACER RUBRUM	2 1/2" CAL.	40'-60'	40'
	S-2	6	ASPEN	POPULUS TREMULOIDES	2 1/2" CAL.	40'-60'	30'
UNDERSTORY / EVERGREEN TREES							
	E-1	32	EASTERN WHITE PINE	PINE STROBUS	6' HT.	50'-80'	20'-40'

NOTE:
 ALL TREES AND SHRUBS SHALL BE PLANTED IN ACCORDANCE WITH THE 'GUIDE TO PLANTING IN FERGUSON TOWNSHIP'.

LANDSCAPING NOTES:

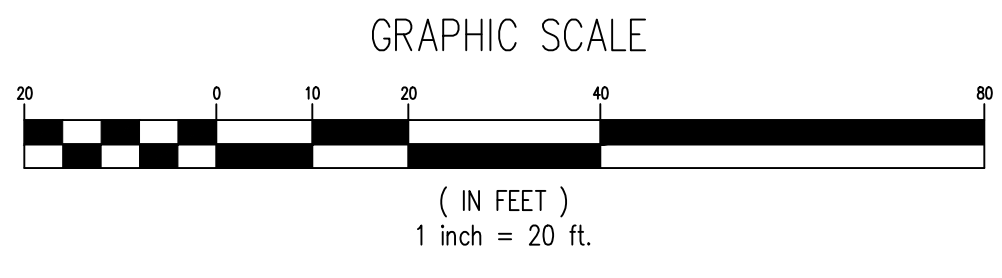
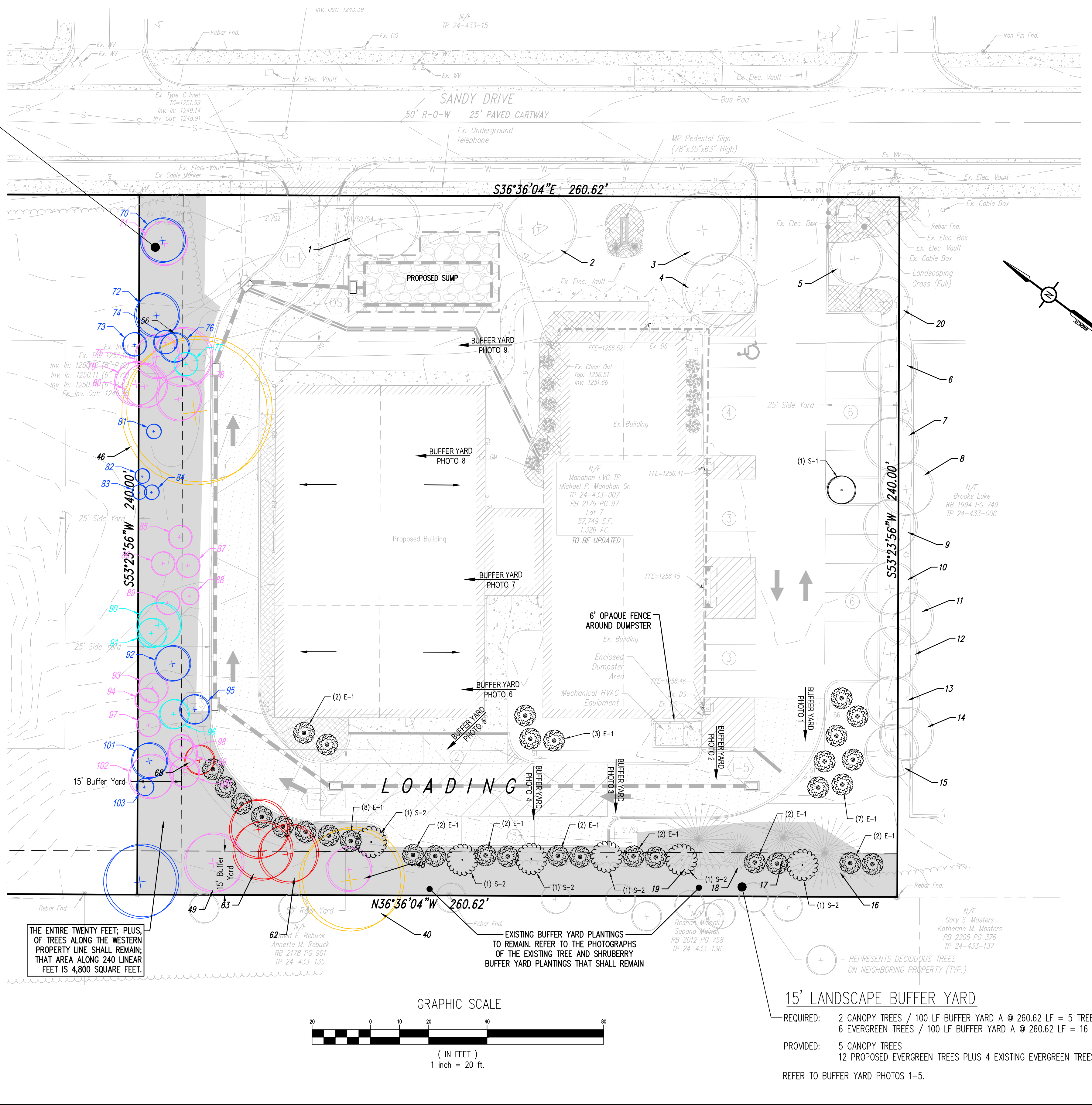
- ALL PLANTS SHALL BE MULCHED WITH 3-4" OF SHREDDED HARDWOOD BARK MULCH, WELL-AGED AND DARK BLACK IN COLOR.
- INDIVIDUAL TREES NOT INCLUDED IN A CONTINUOUS BED ARE TO BE MULCHED AT THEIR BASE OVER A 4" DIAMETER CIRCLE.
- ALL GROUP SHRUB PLANTINGS SHALL BE MULCHED IN CONTINUOUS BEDS ENCOMPASSING ALL OF THE PLANTS.
- QUANTITIES OF PLANT MATERIALS NOTED ON THE PLANTING SCHEDULE ARE TO BE VERIFIED WITH QUANTITIES SHOWN ON THE PLAN WHICH WILL HAVE PRIORITY.
- SUBSTITUTIONS OF ANY PLANT MATERIAL SHALL BE APPROVED BY FERGUSON TOWNSHIP AND THE OWNER PRIOR TO PLANTING.
- ALL UNPAVED AREAS ON THE SITE NOT PLANTED WITH TREES AND/OR SHRUBS ARE TO BE PERMANENTLY SEEDED WITH A HARDY PERENNIAL GRASS SEED MIXTURE AFTER FINE GRADING IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR MUST PROVIDE A ONE-YEAR GUARANTEE ON ALL PLANT MATERIAL TO INCLUDE THE REPLACEMENT OF THE PLANTS AND INSTALLATION OF THOSE PLANTS WHICH DO NOT SURVIVE THE YEAR FOLLOWING ACCEPTANCE OF LANDSCAPING BY THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL KEEP ALL NEW PLANTINGS WATERED OVER THE COURSE OF THE PROJECT & GUARANTEE PERIOD. THE OWNER SHALL PROVIDE A WATERING SOURCE ON SITE FOR THIS PURPOSE. THE LAWN AREAS SHALL BE WATERED BY THE CONTRACTOR UPON INSTALLATION.
- ALL DISTRIBUTED AREAS NOT PROPOSED FOR PAVING SHALL HAVE 6" OF TOPSOIL SPREAD UNIFORMLY TO THE PROPOSED FINISH GRADE.



15' LANDSCAPE BUFFER YARD

REQUIRED: 2 CANOPY TREES / 100 LF BUFFER YARD A @ 240.00 LF = 5 TREES
 6 EVERGREEN TREES / 100 LF BUFFER YARD A @ 240.00 LF = 15 TREES

REFER TO BUFFER YARD PHOTOS 6-10 AND THE 'EXISTING TREES TO REMAIN LIST' TO SEE THAT EXISTING TREES MEET AND EXCEED BUFFER YARD REQUIREMENTS



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LIGHTING FIXTURE SCHEDULE

TAG	MANUFACTURER & SERIES	DESCRIPTION	PERFORMANCE				MOUNTING		COMMENTS
			LIGHT SOURCE	VOLTAGE (V)	LUMINAIRE WATTS (W)	DELIVERED LUMENS (LM)	COLOR TEMP (K)	TYPE	
LF-E	LITHONIA : WDGE1-P1-40K-80CRI-VW-MVOLT	9"W x 8"H x 5.5"D ARCHITECTURAL EXTERIOR WALL PACK (SMALL) WITH BLACK FINISH, P1 PACKAGE WITH VISUAL COMFORT WIDE DISTRIBUTION.	LED	MVOLT	10.0W	1,229	4,000	9'-0" AFF	5 PROPOSED
LF-F	LITHONIA: WDGE3-P1-40K-70CRI-R2-MVOLT	18"W x 9"H x 8"D ARCHITECTURAL EXTERIOR WALL PACK (LARGE) WITH BLACK FINISH, P1 PACKAGE WITH R2 (TYPE 2) DISTRIBUTION.	LED	MVOLT	52.0W	7,649	4,000	15'-0" AFF	3 PROPOSED
LF-R	LUMARK - MHWL250MT	EXISTING WALL PACK	M.H.	120V	250W	16,400	4,000	EXISTING BUILDING 15'-0" AFF	2 EXISTING
LF-S	GE - SBF017MA	EXISTING BUILDING FLOOD	M.H.	120V	175W	10,350	4,000	EXISTING GROUND	2 EXISTING
LF-T	LUMARK - YM70	EXISTING SIGN FLOOD	M.H.	120V	70W	3,400	4,000	EXISTING GROUND	2 EXISTING

NOTES:

EXISTING FEATURES LEGEND


- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Landscaped Areas
- Existing Retaining Wall
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Service Lateral
- Existing Storm Sewer Line w/ Inlet
- Existing Fire Hydrant
- Existing Manhole
- Existing Storm Sewer Inlet Type-M
- Existing Storm Sewer Inlet Type-C

- Existing Utility Main Valve
- Existing Utility Lateral Valve
- Existing Utility Meter
- Existing Ballast
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Flood Light
- Existing Sign
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Roadway Center Line
- Property Corner Found
- Property Corner To Be Set

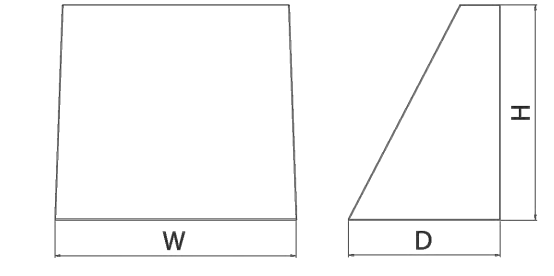
NOTE:
ALL SIGHT LIGHTING EXISTING AND PROPOSED SHALL BE PRIMARILY BUILDING WALL PACKS; MOUNTED AT DIMENSION "AFF" (ABOVE FINISH FLOOR)




WDGE1 LED
Architectural Wall Sconce

DLG
DLC
E100
E100

Specifications
Depth: 5.5"
Height: 8"
Width: 9"
Weight: 9 lbs (without options)

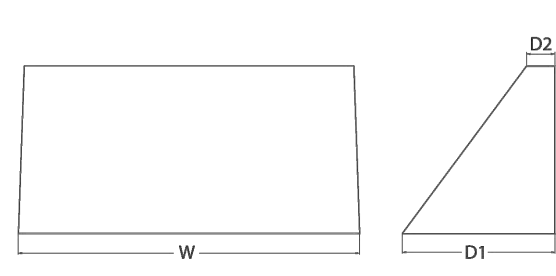




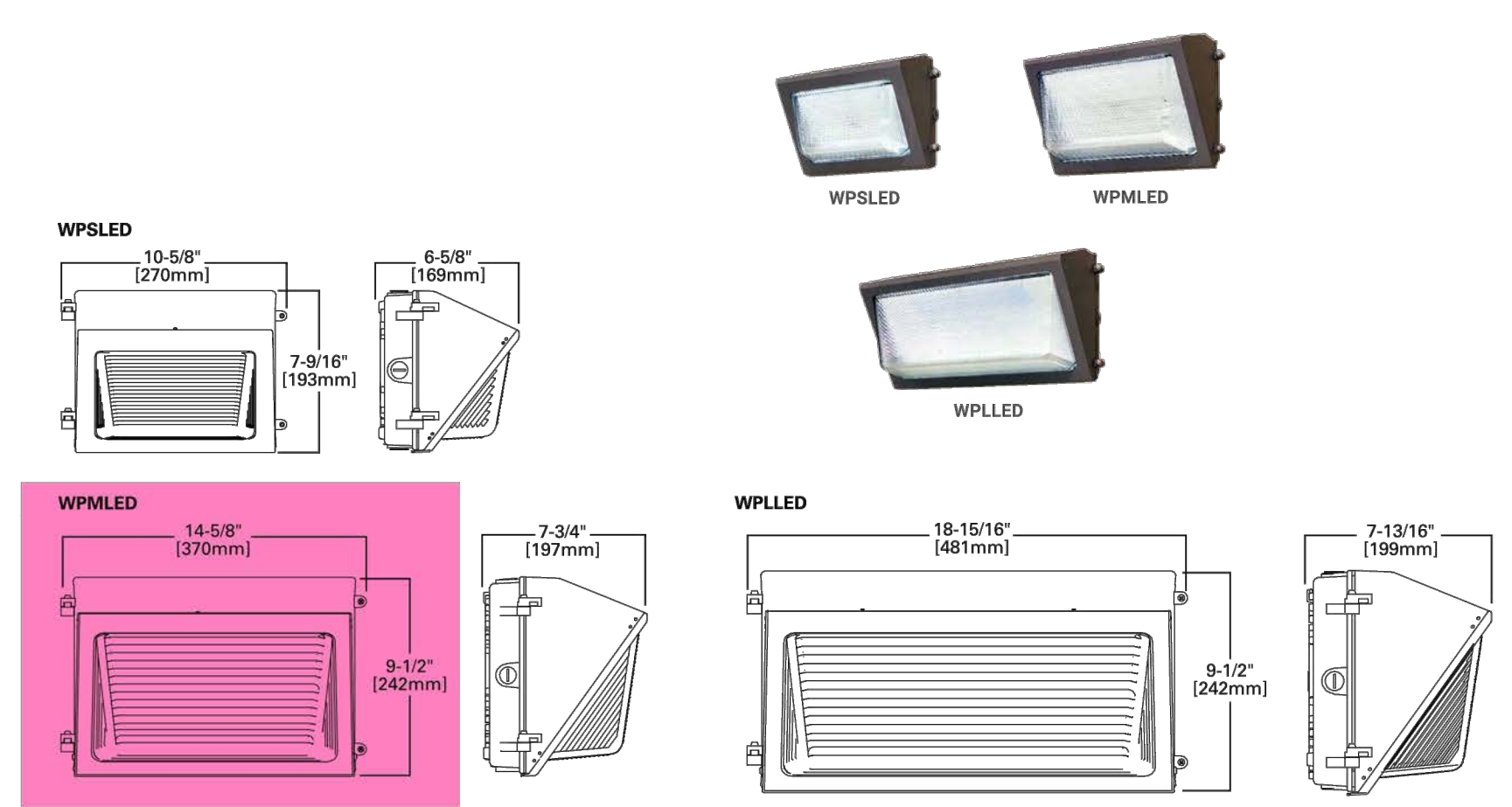
WDGE3 LED
Architectural Wall Sconce

DLG
DLC
E100
E100
Buy American

Specifications
Depth (D1): 8"
Depth (D2): 1.5"
Height: 9"
Width: 18"
Weight: 19.5 lbs (without options)



PROPOSED WALL PACK LIGHTS



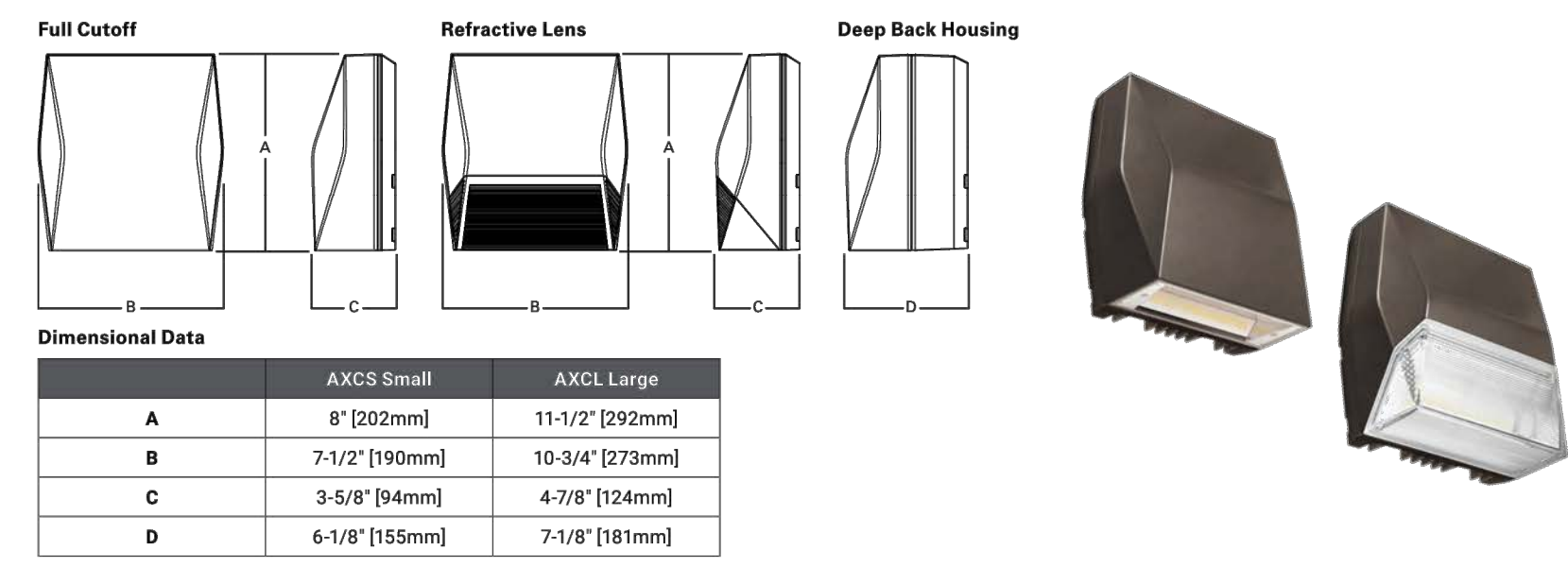
WPSLED: 10-5/8" [270mm] x 7-9/16" [193mm]

WPMLED: 6-5/8" [169mm] x 7-3/4" [197mm]

WPLLED: 14-5/8" [370mm] x 9-1/2" [242mm]

WPLLED: 18-15/16" [481mm] x 9-1/2" [242mm]

EXISTING WALL PACK LIGHTS



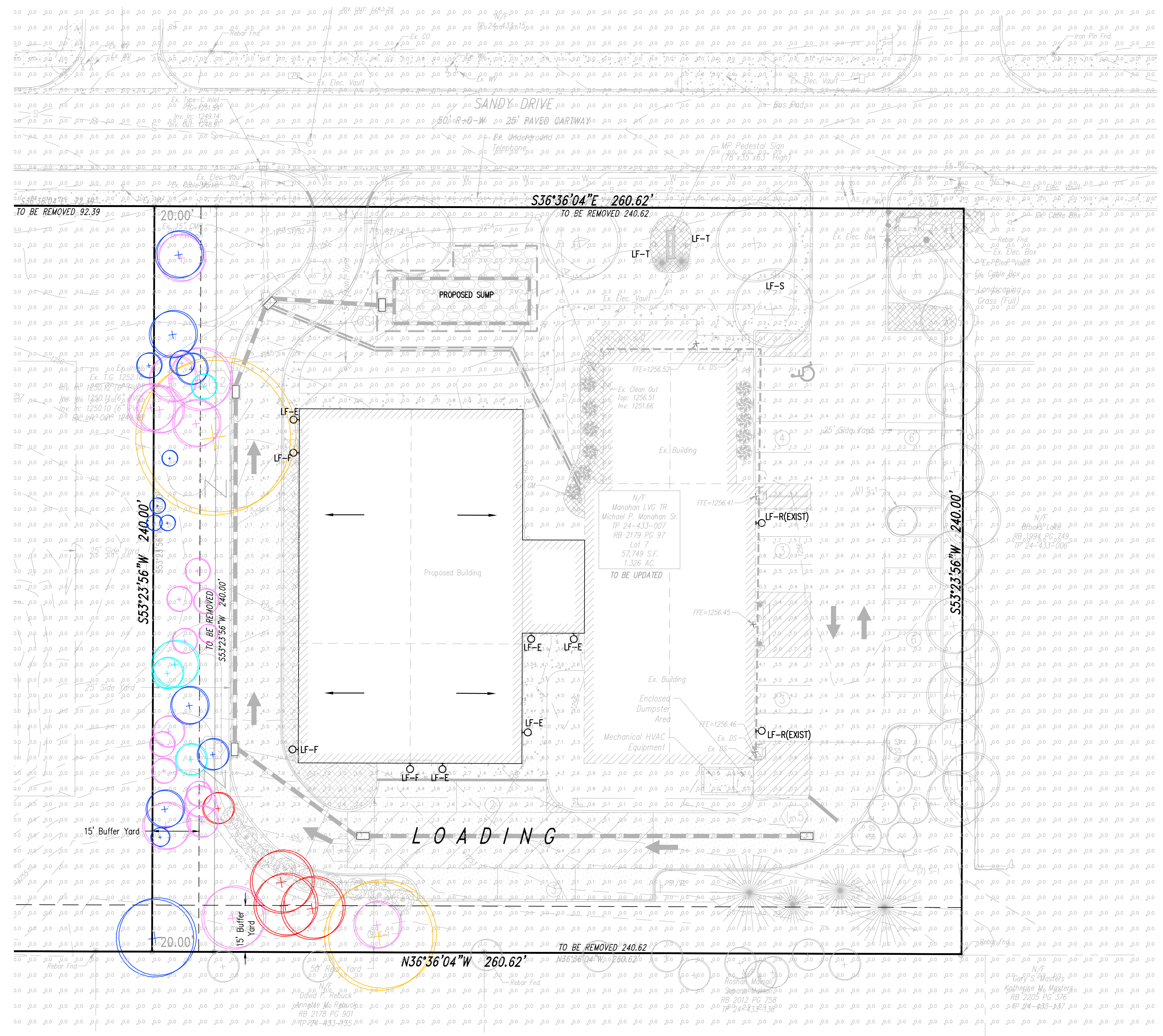
Full Cutoff

Reflective Lens

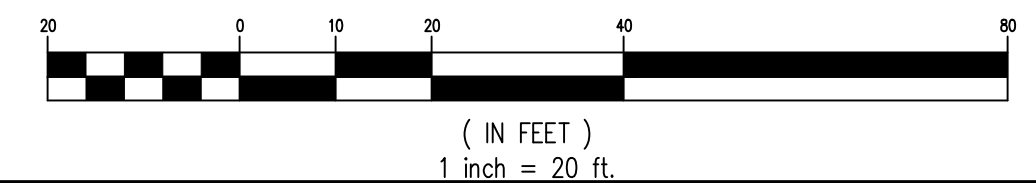
Deep Back Housing

Dimensional Data	AXCS Small	AXCL Large
A	8" [202mm]	11-1/2" [292mm]
B	7-1/2" [190mm]	10-3/4" [273mm]
C	3-5/8" [94mm]	4-7/8" [124mm]
D	6-1/8" [155mm]	7-1/8" [181mm]

EXISTING WALL PACK LIGHTS



GRAPHIC SCALE



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Draftsman	MJA
Proj Manager	CDS
Surveyor	XXXX
Perimeter Ck.	
Book	XXX Pg XXX
File	2136 - 7 - LIGHTING
Layout	LIGHTING

Date	Description
11-4-22	REVISED PER COMMENTS
11-4-22	REVISED PER COMMENTS
10-5-22	REVISED PER COMMENTS
8-15-22	REVISED PER COMMENTS
7-28-22	REVISED PER COMMENTS + NEW LOT MAILING EXTENSION

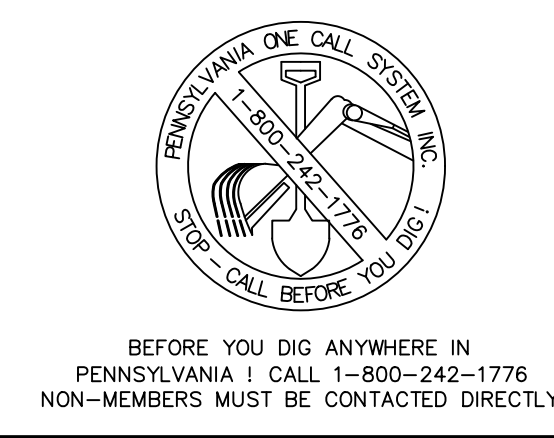
MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE

FERCUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLANS

LIGHTING PLAN

PROJECT NO.	21316
DATE	MAY 3, 2022
SCALE	1" = 20'
SHEET NO.	7

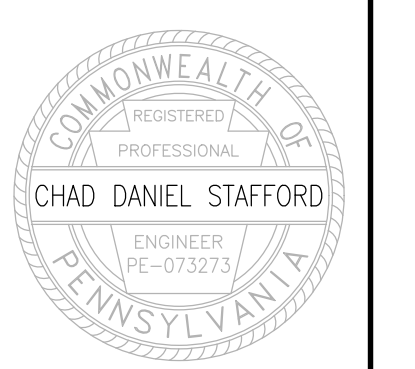


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 Draftsman: MJA
 Proj Manager: CDS
 Surveyor: XXX
 Perimeter Ck:
 Book: XXX Pg: XXX
 File: 21316 - 8 - SITE CROSS SECTIONS
 Layout: SITE CROSS SECTIONS

Date	Description
12-4-22	REVISED PER COMMENTS
11-4-22	REVISED PER COMMENTS
10-5-22	REVISED PER COMMENTS
8-15-22	REVISED PER COMMENTS
7-28-22	REVISED PER COMMENTS + NEW LOT MEASUREMENT

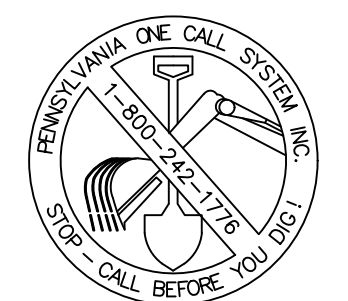
**MP MACHINERY AND
 TESTING AT 2161 SANDY
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FERCUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

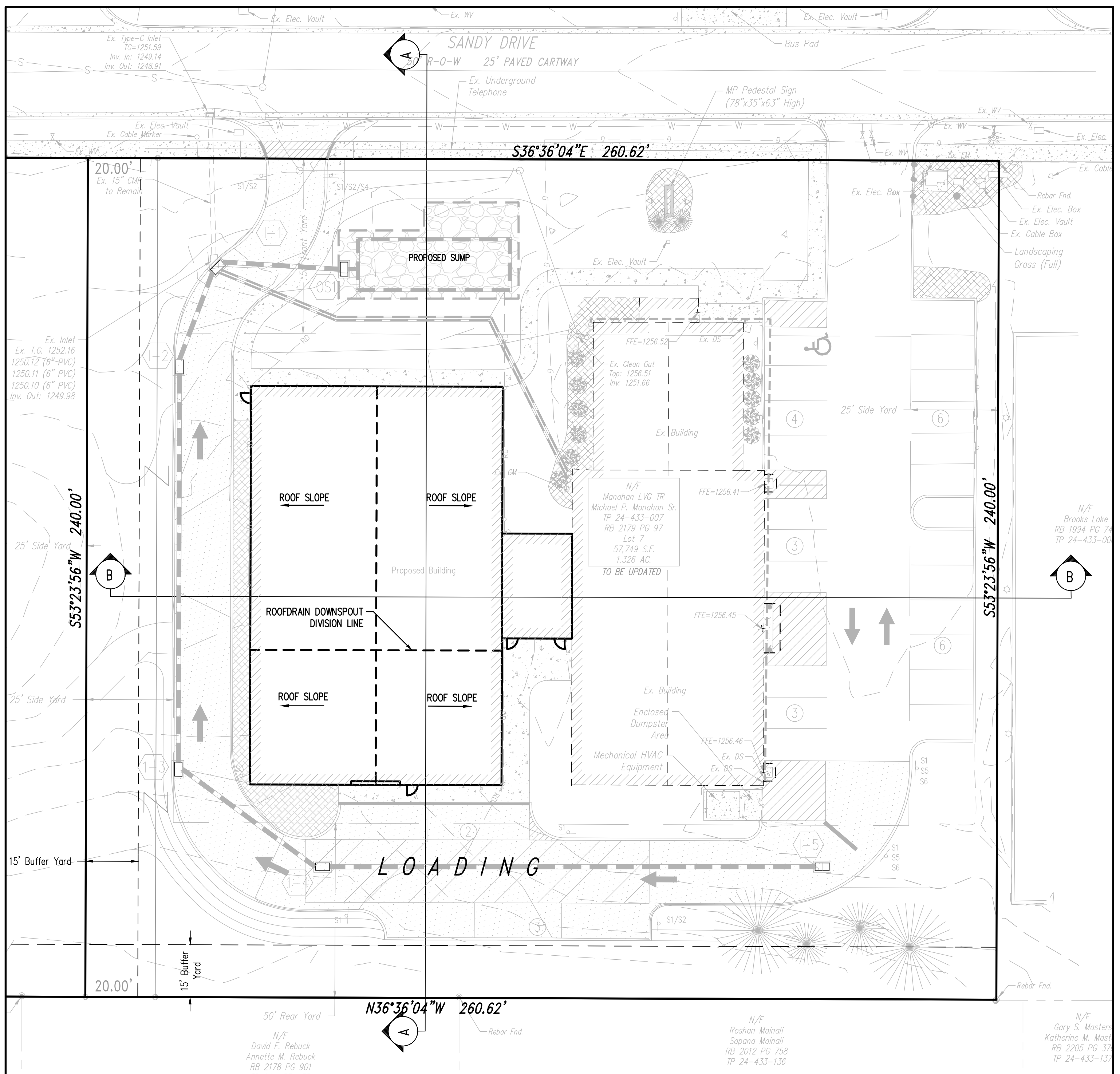
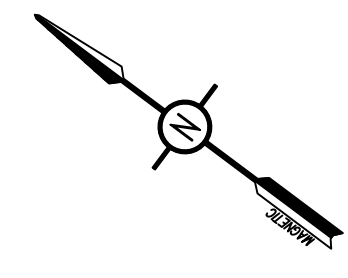
**PRELIMINARY LAND
 DEVELOPMENT PLANS**

**SITE CROSS
 SECTIONS PLAN**

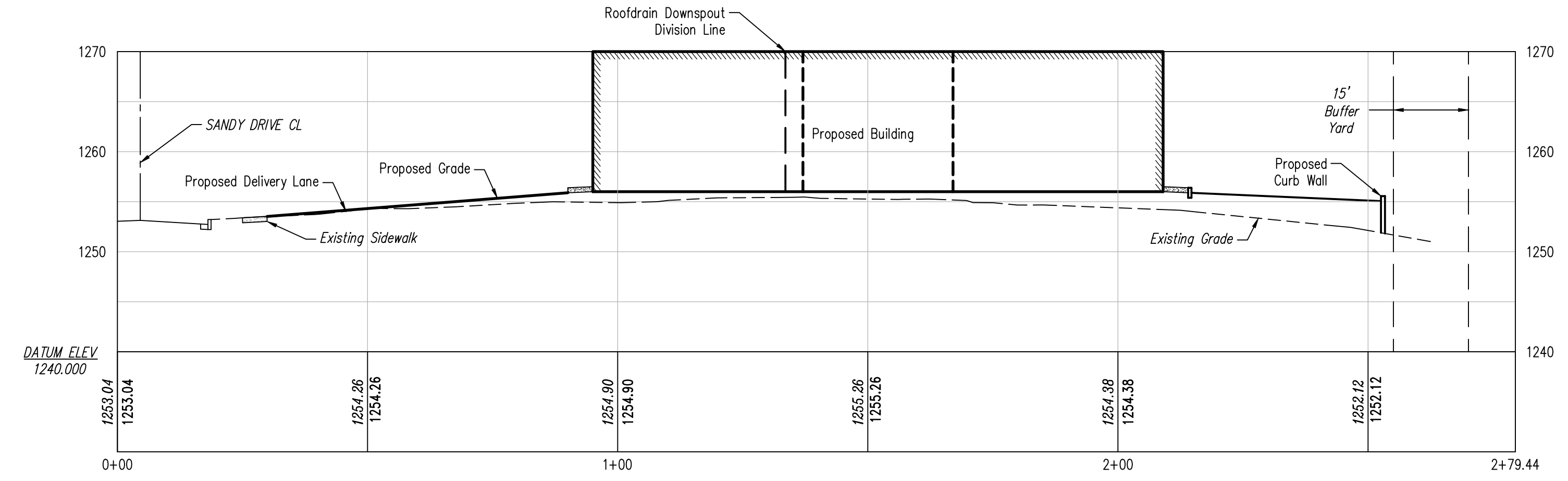
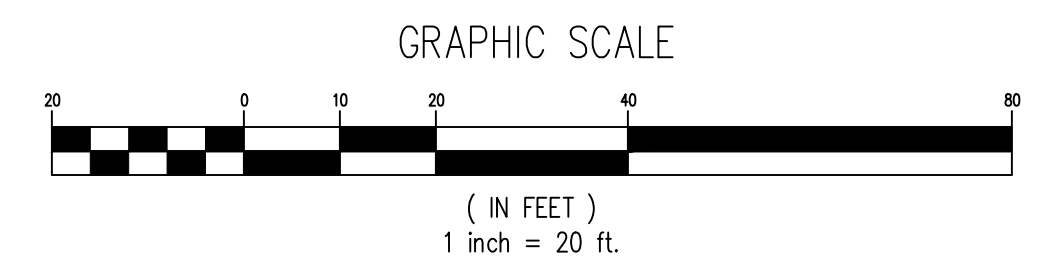
PROJECT NO.
21316
 DATE
MAY 3, 2022
 SCALE SHEET NO.
AS SHOWN 8



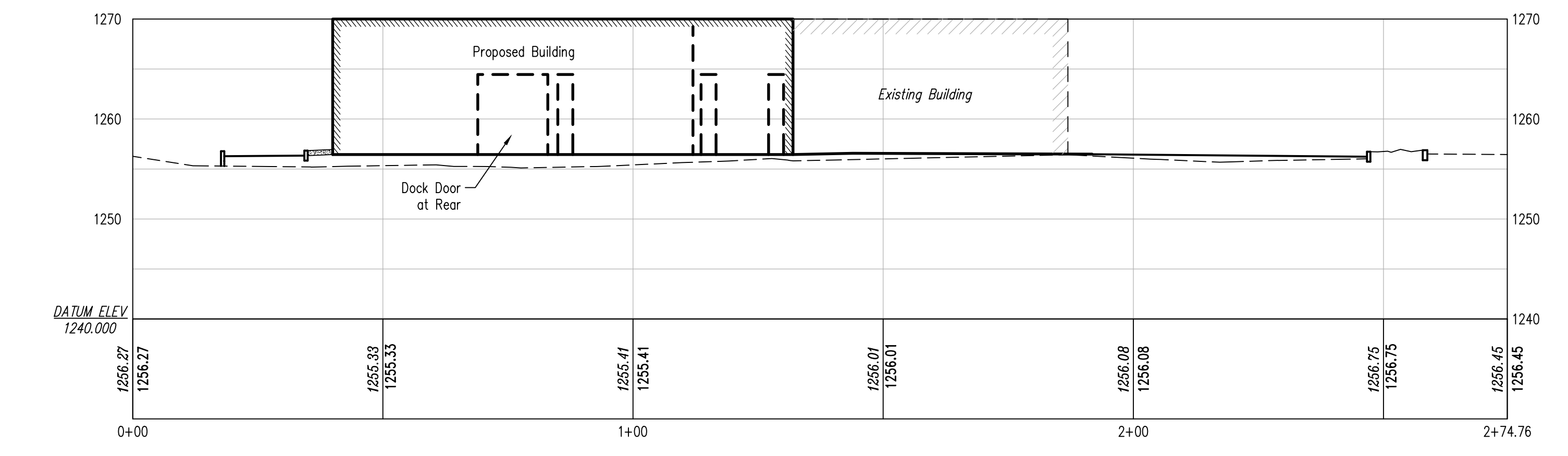
BEFORE YOU DIG ANYWHERE IN
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 NON-MEMBERS MUST BE CONTACTED DIRECTLY



BUILDING SITE PLAN
 SCALE: 1" = 20'



CROSS SECTION A-A
 HORIZ: 1"=20'
 VERT: 1"=5'



CROSS SECTION B-B
 HORIZ: 1"=20'
 VERT: 1"=5'

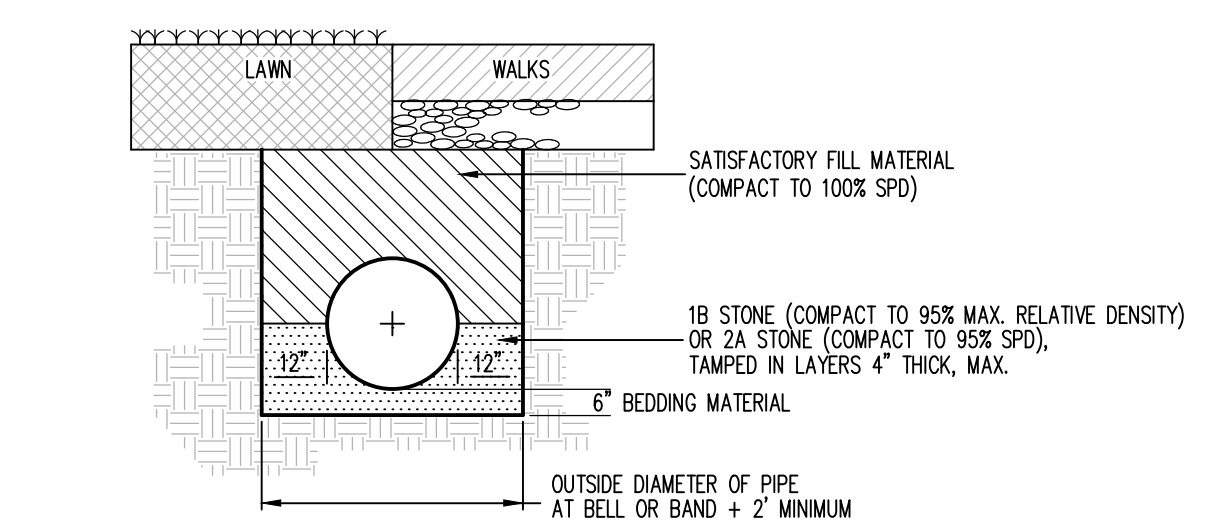
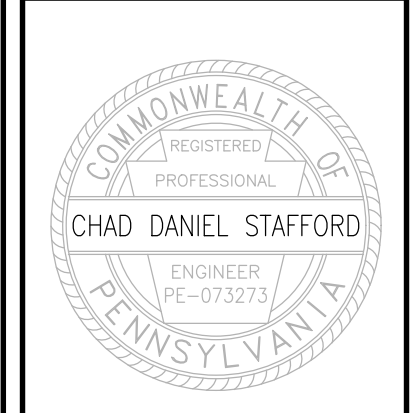
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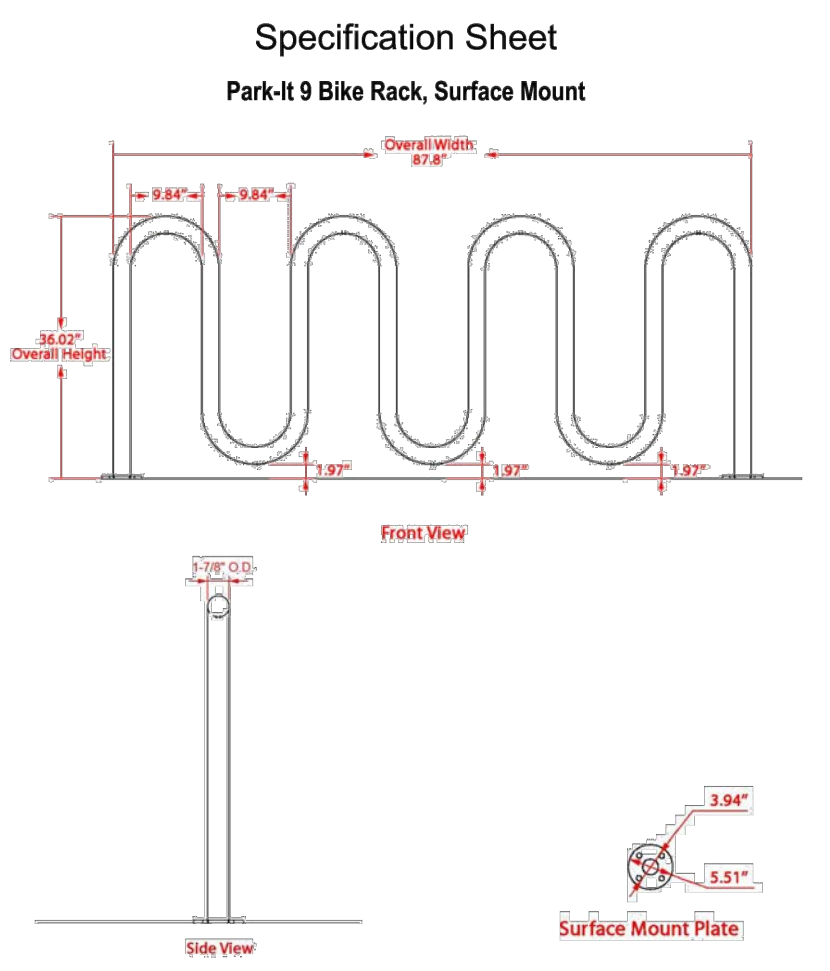
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- NOTES:**
- EXCAVATE THE TRENCH TO THE WIDTH OF THE OUTSIDE DIAMETER OF THE PIPE + 2" AND CREATE AN APPROPRIATE BEDDING 6" DEEP.
 - AT UNPAVED AREAS SUITABLE MATERIAL MAY BE UTILIZED THE ENTIRE DEPTH OF TRENCH (LESS 6" TOPSOIL). PLACEMENT AND COMPACTION TO BE AS NOTED FOR PAVED AREAS.
 - ALL STORM SEWER PIPE IS TO BE HIGH-DENSITY POLYETHYLENE (HDPE) AND HAVE A SMOOTH LINED INTERIOR WITH WATER-TIGHT JOINTS.
 - SATISFACTORY FILL MATERIAL: SOILS MEETING ASTM D2487 SOIL CLASSIFICATION GROUPS SM, SC, SW, SC, SM, AND CL WITH LIQUID LIMIT NOT GREATER THAN 35, OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER; WITHIN 3% OF OPTIMUM MOISTURE CONTENT. (INCLUDES 2A)
 - PLACE SATISFACTORY FILL MATERIAL IN LAYERS 8" THICK MAX. COMPACT TO 100% SPD.
 - OWNER WILL ENGAGE A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM FIELD QUALITY ASSURANCE TESTING. NOTIFY TESTING AGENCY AT LEAST 48 HOURS PRIOR TO FILL PLACEMENT ACTIVITIES. ALLOW TESTING AGENCY TO INSPECT AND TEST SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS.

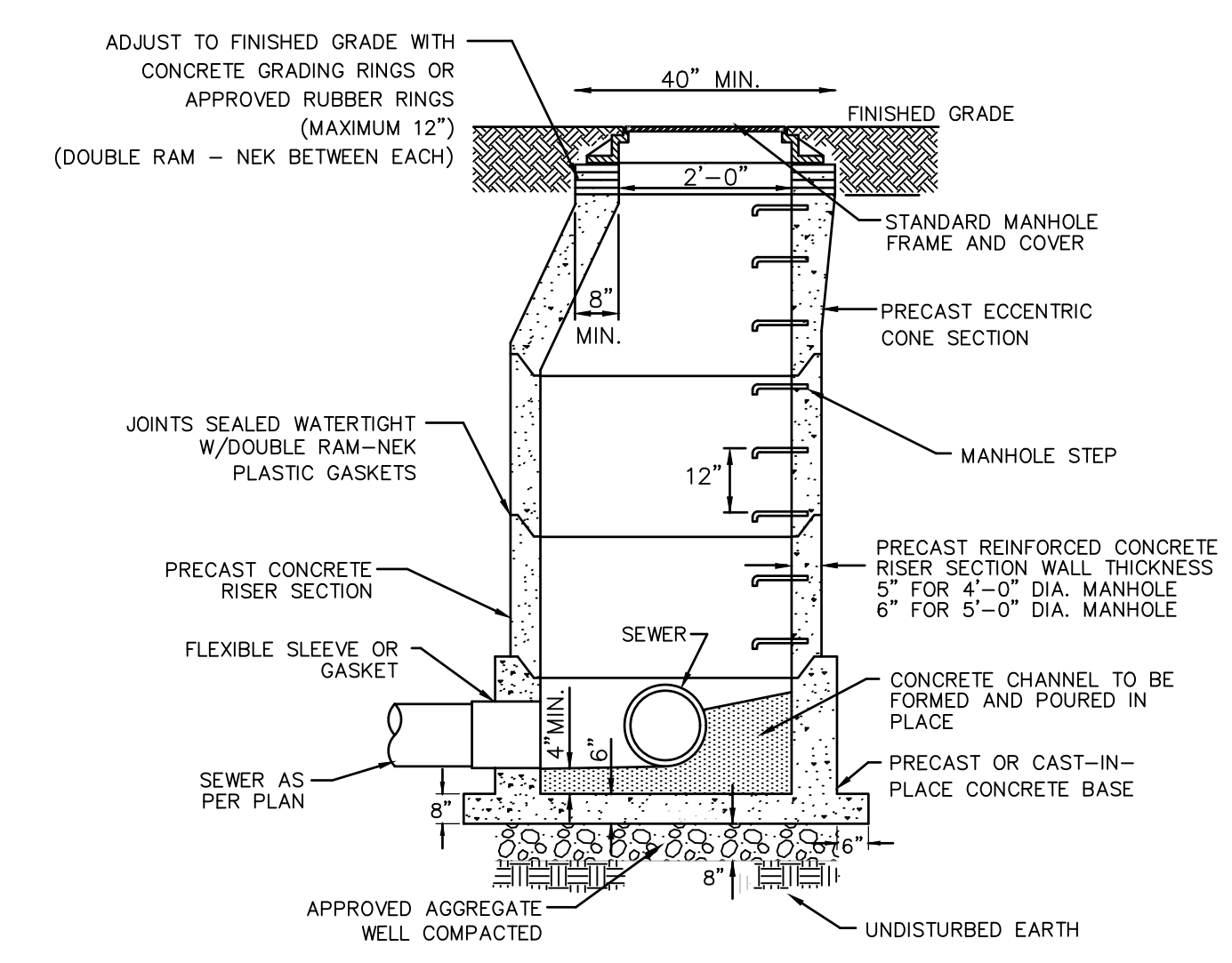
STORMSEWER (HDPE) INSTALLATION
 NOT TO SCALE



Material	Finish	Dimensions	Weight
Steel tubing	Galvanized PLUS clear coat finish	87.8" w x 36.02" h Footprint: 90.94" w x 36.02" h	70 lbs.

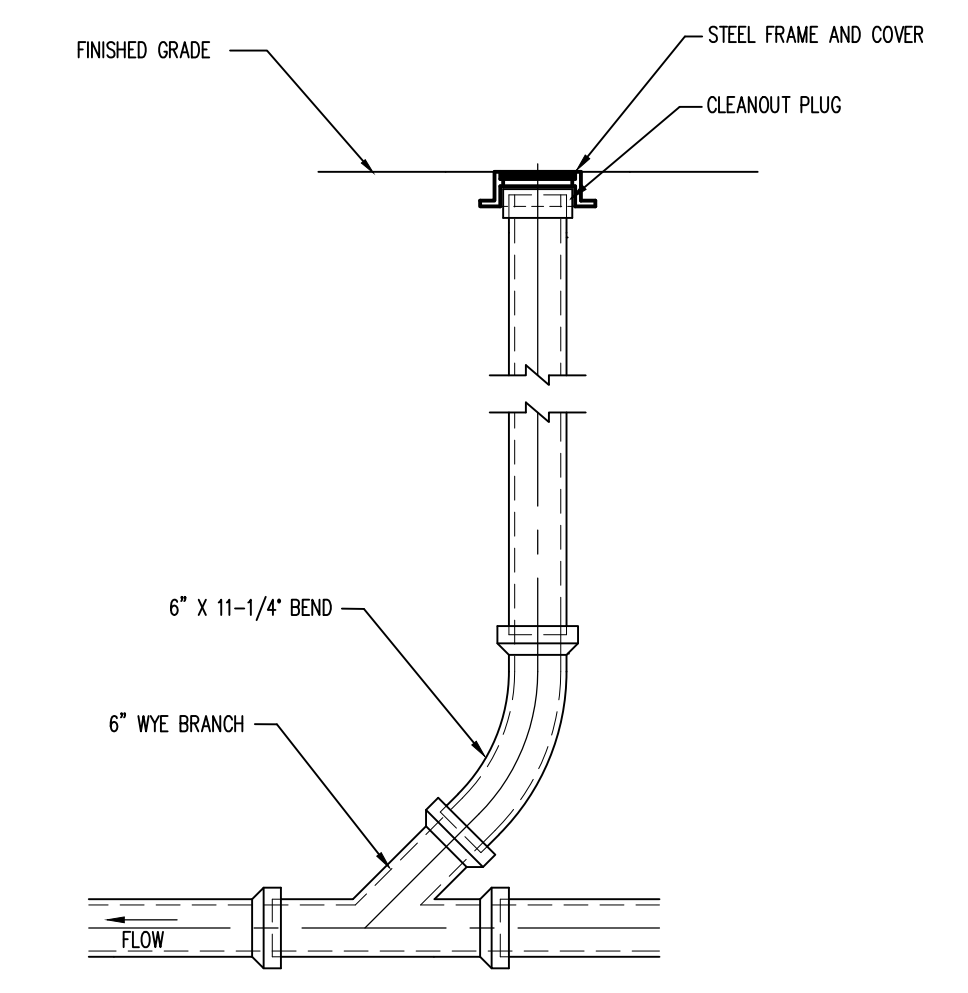
Type of Mount: Surface mount
 Size of Tubing: 1-7/8" O.D. x 11-gauge

BIKE RACK DETAIL
 NOT TO SCALE

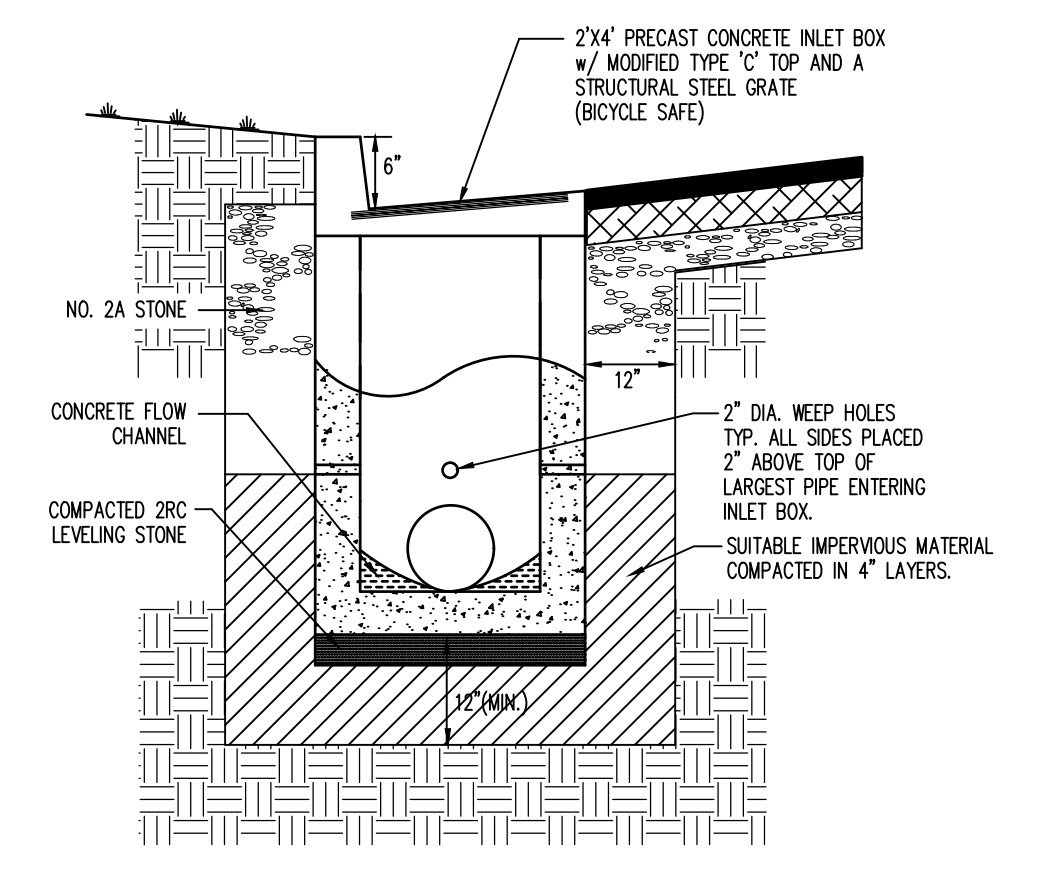


SANITARY SEWER MANHOLE
 NOT TO SCALE

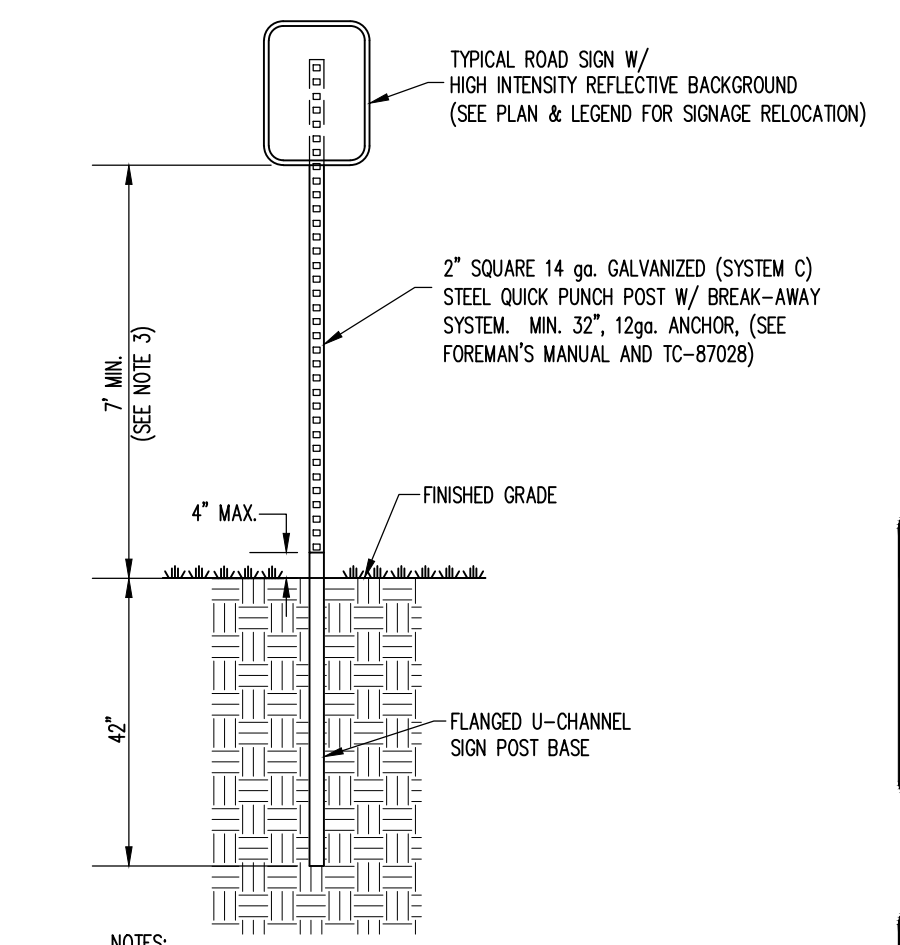
- NOTES:**
- MANHOLES SHALL CONFORM TO ASTM C-478.
 - THE ENTIRE OUTER SURFACE OF THE MANHOLE SHALL BE COATED WITH 2 COATS BITUMASTIC.
 - WATERTIGHT COVERS SHALL BE THE TYPICAL OF THE STANDARD OF THE AUTHORITY.
 - MANHOLE SECTION HEIGHTS SHALL BE THE TYPICAL OF THE STANDARD OF THE AUTHORITY.



6" SANITARY SEWER CLEAN-OUT DETAIL
 NOT TO SCALE

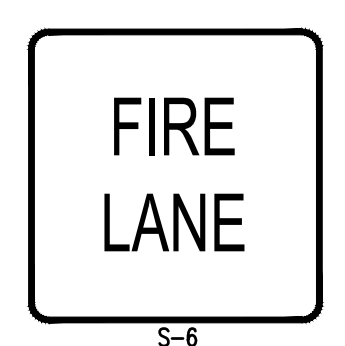
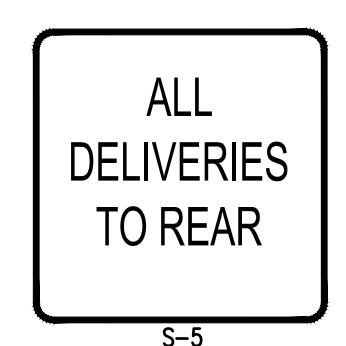
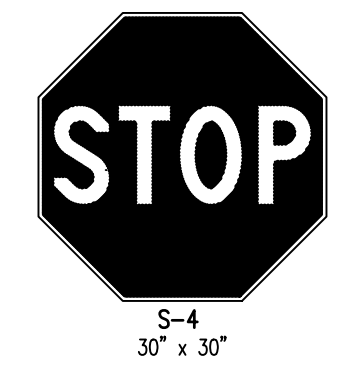


MODIFIED TYPE 'C' PRECAST CONCRETE INLET
 NOT TO SCALE



- NOTES:**
- MOUNT SIGN AT RIGHT ANGLE TO DIRECTION OF TRAFFIC FLOW.
 - PROVIDE A MINIMUM CLEARANCE OF ONE FOOT FROM FACE OF CURB.

SIGN POST DETAIL
 NOT TO SCALE



SIGN DETAILS
 NOT TO SCALE

Designer	MJA
Draftsman	MJA
Proj Manager	CDS
Surveyor	XXX
Perimeter Ck.	
Book	XXX Pg. XXX
File	2136 - 9 - GENERAL CONSTRUCTION DETAILS
Layout	DETAILS

Date	Description
12-4-22	REVISED PER COMMENTS
11-4-22	REVISED PER COMMENTS
10-5-22	REVISED PER COMMENTS
8-15-22	REVISED PER COMMENTS
7-28-22	REVISED PER COMMENTS + NEW LOT MAILING EXTENSION
Date	Description
	REVISIONS

MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE

PERCUSSION TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLANS

SITE CONSTRUCTION DETAILS

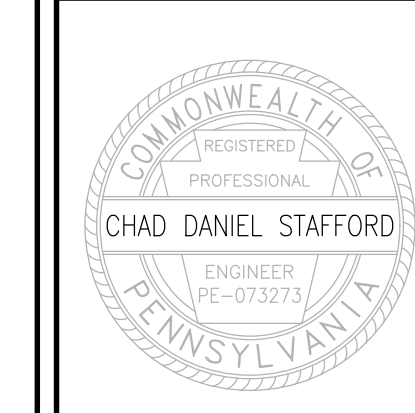
PROJECT NO.	21316
DATE	MAY 3, 2022
SCALE	N.T.S.
SHEET NO.	9

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 Draftsman: MJA
 Proj Manager: CDS
 Surveyor: XXX
 Perimeter: CK
 Book: XXX Pg: XXX
 File: 21316 - 10 - GENERAL CONSTRUCTION DETAILS
 Layout: DETAILS

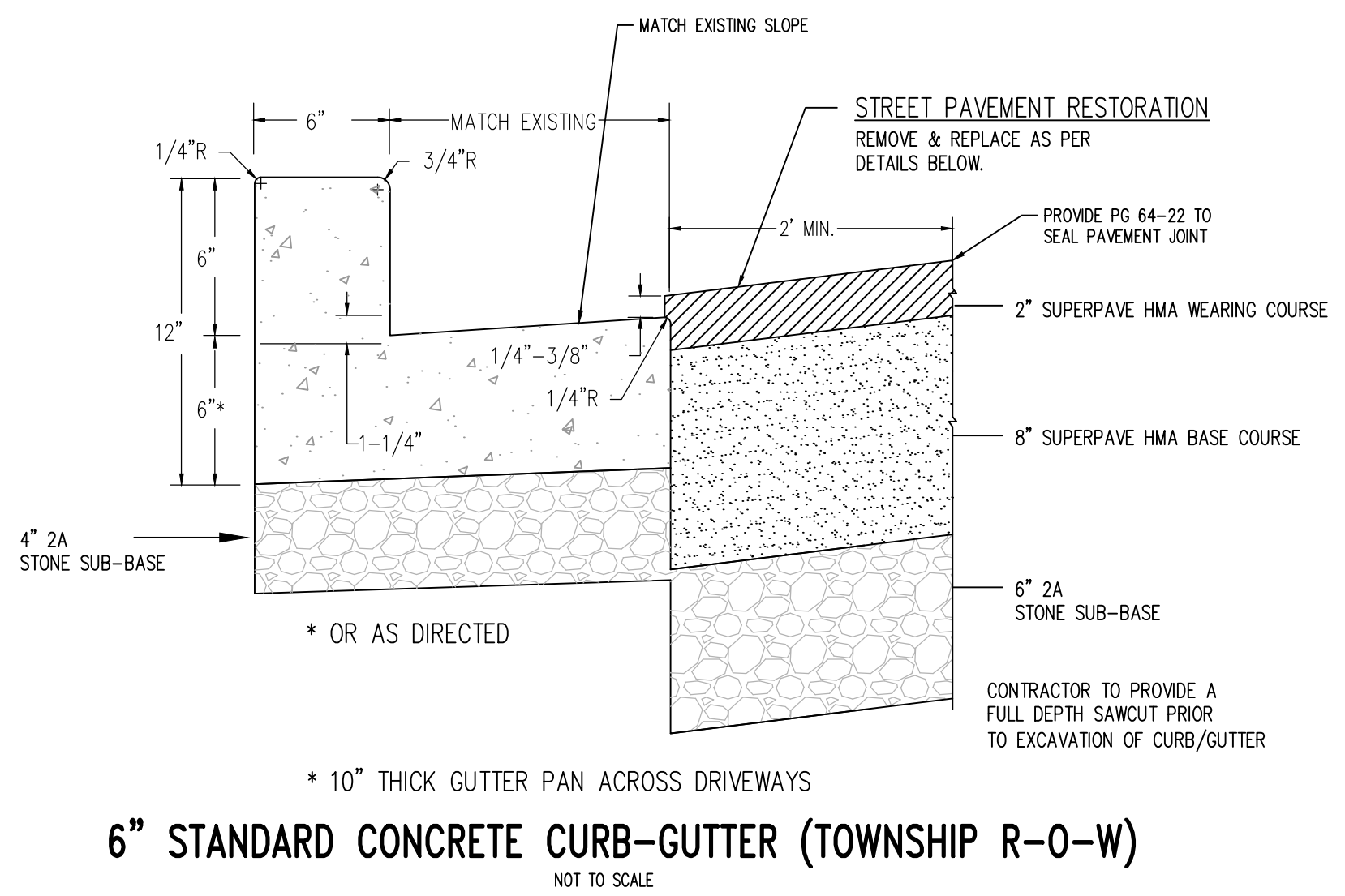
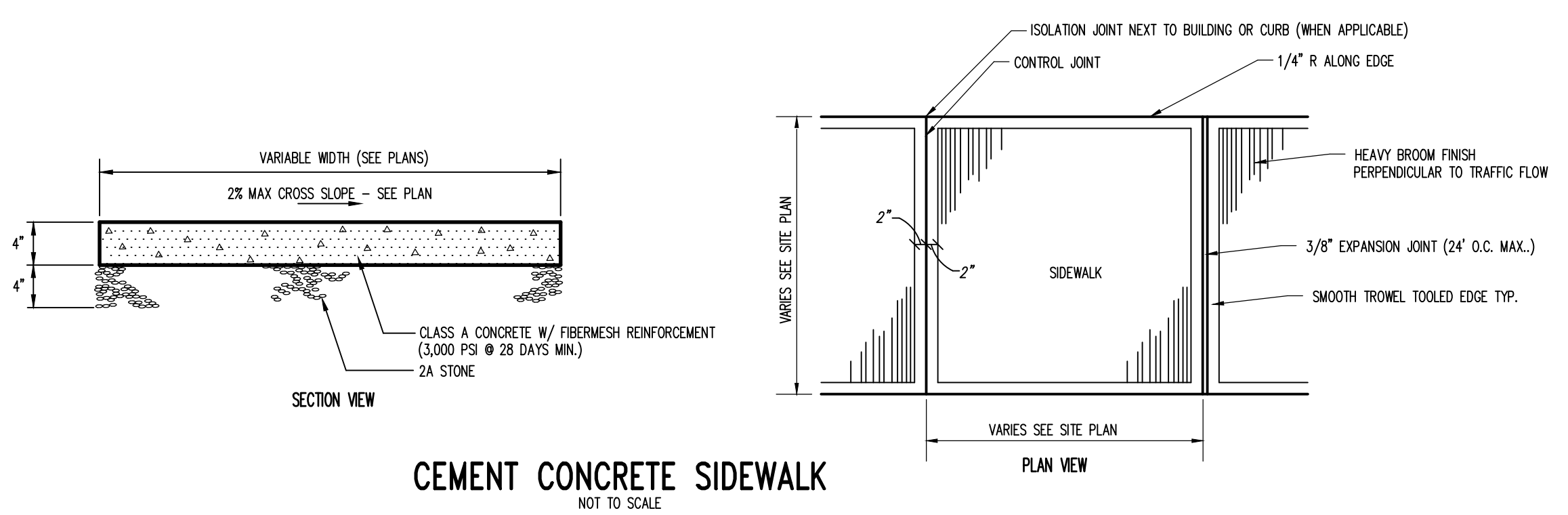
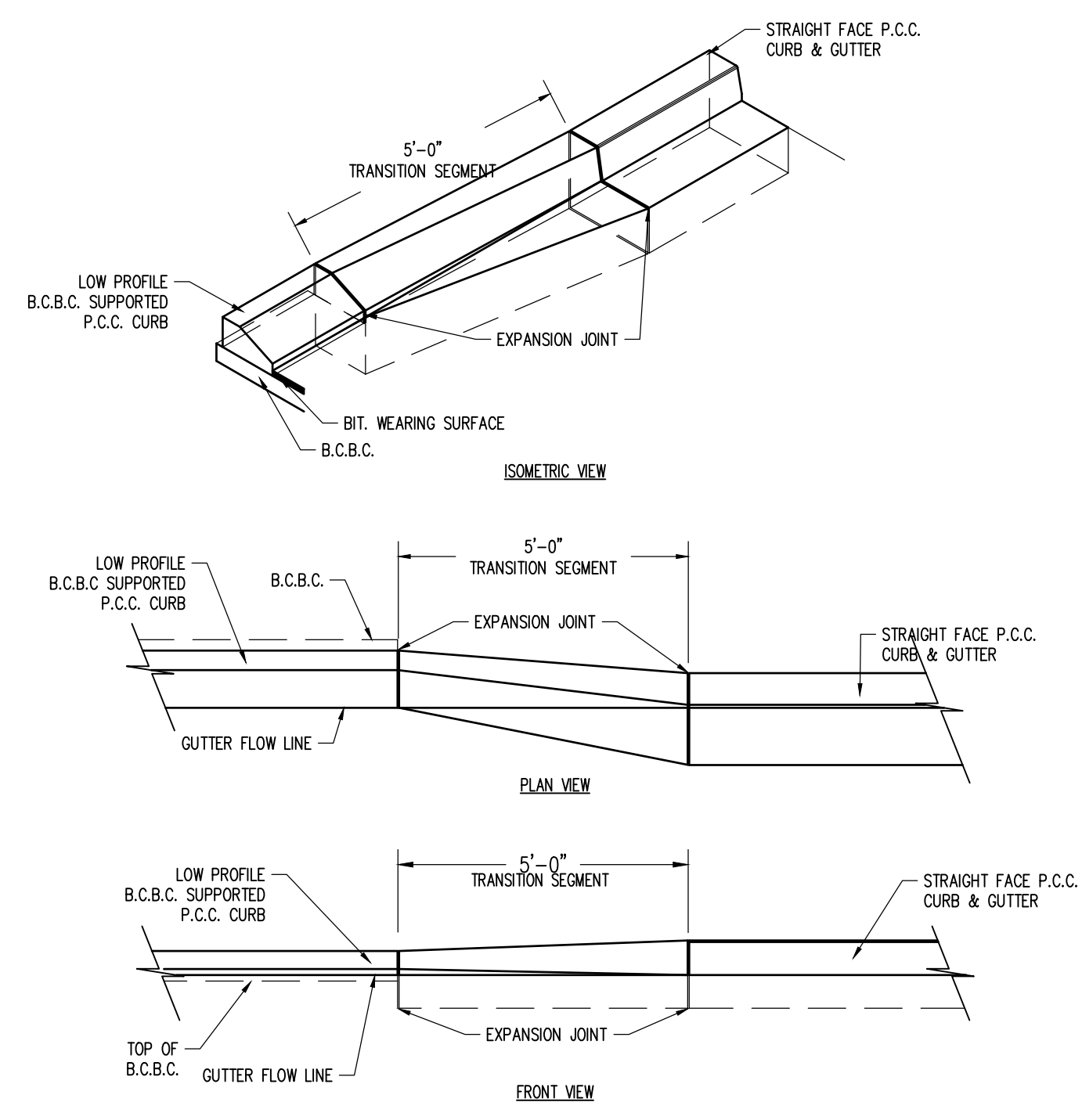
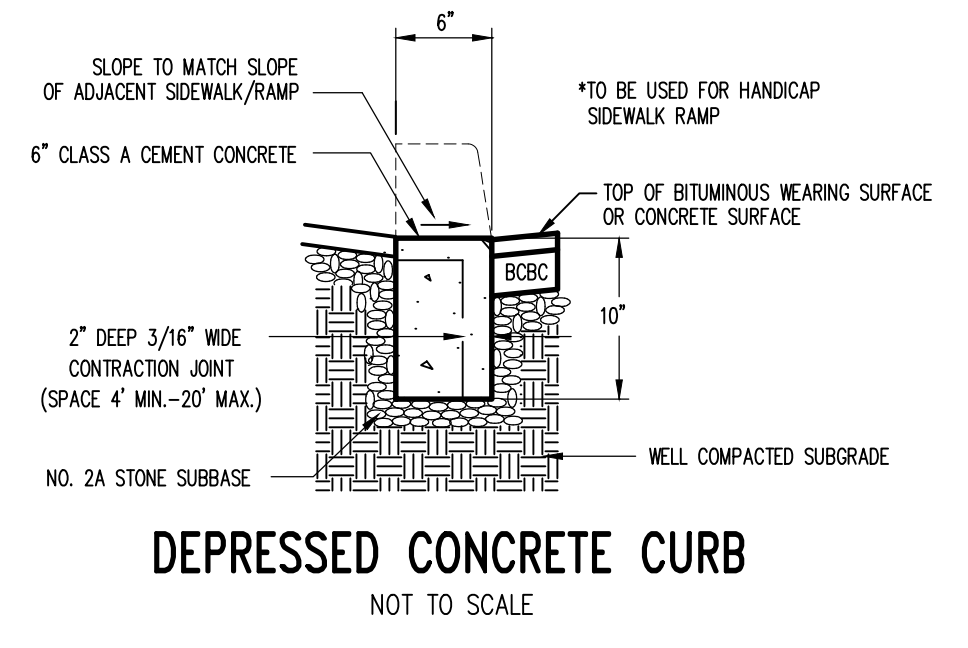
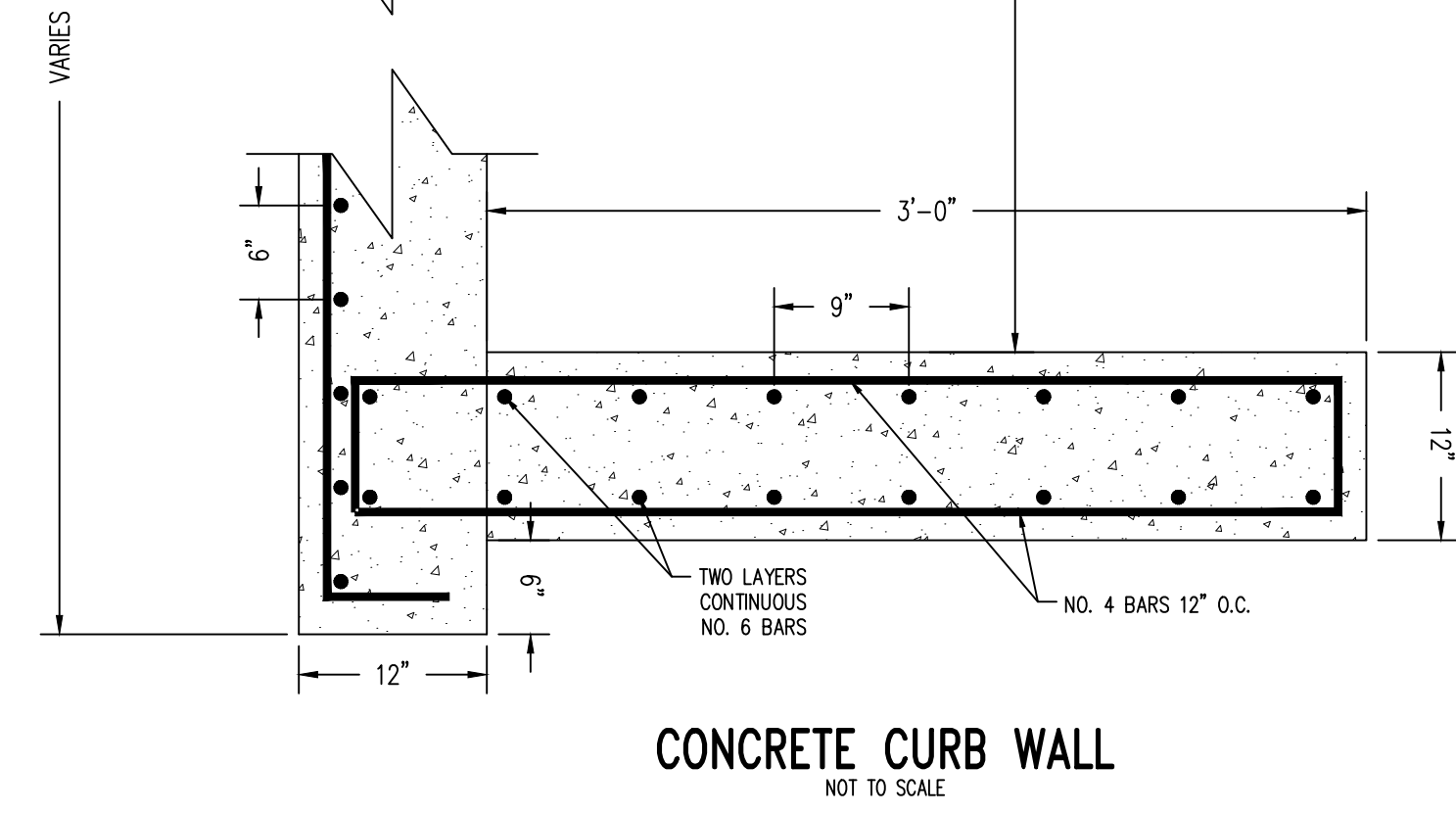
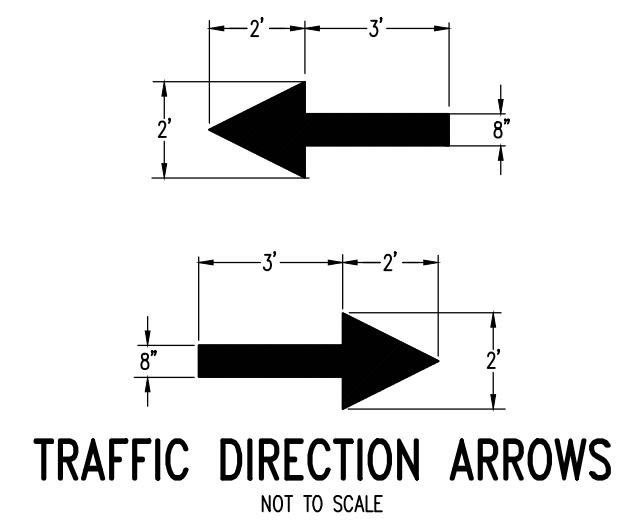
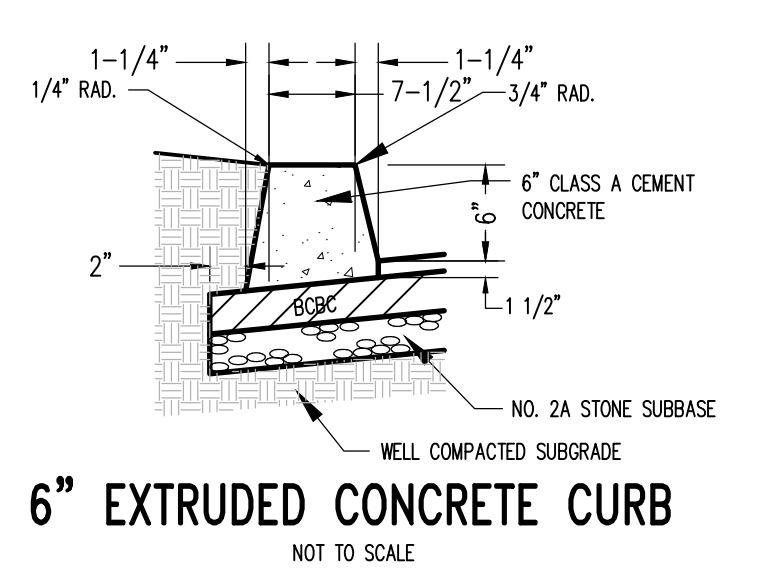
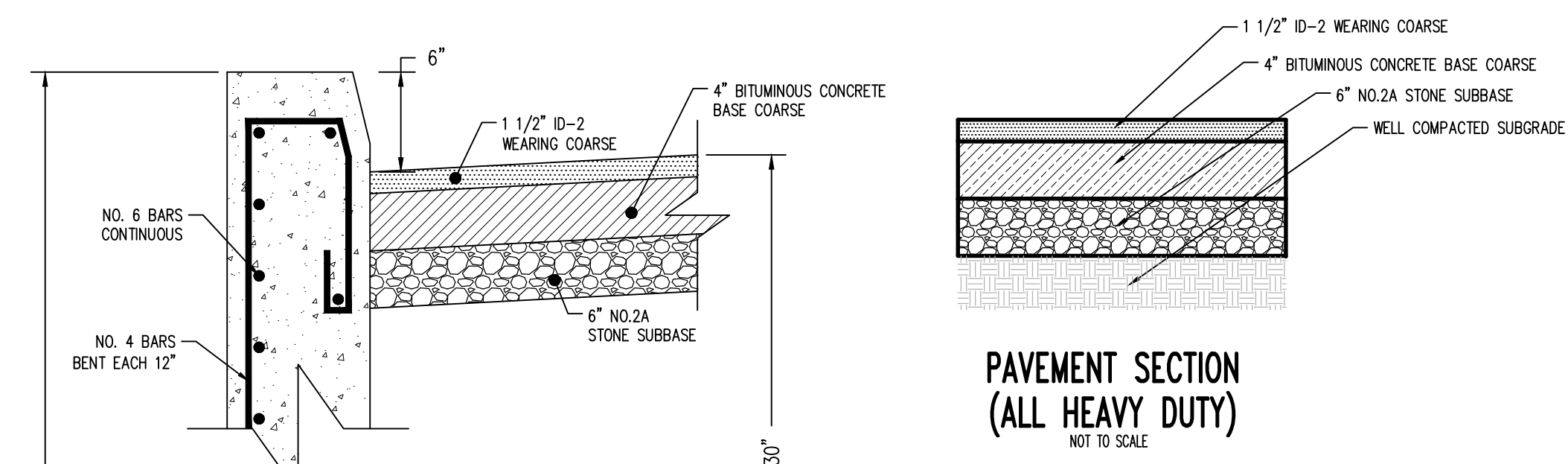
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12-4-22	REVISED PER COMMENTS	WJA
11-4-22	REVISED PER COMMENTS	WJA
10-5-22	REVISED PER COMMENTS	WJA
8-15-22	REVISED PER COMMENTS	WJA
7-28-22	REVISED PER COMMENTS + NEW LOT MATERIAL EXTENSION	WJA

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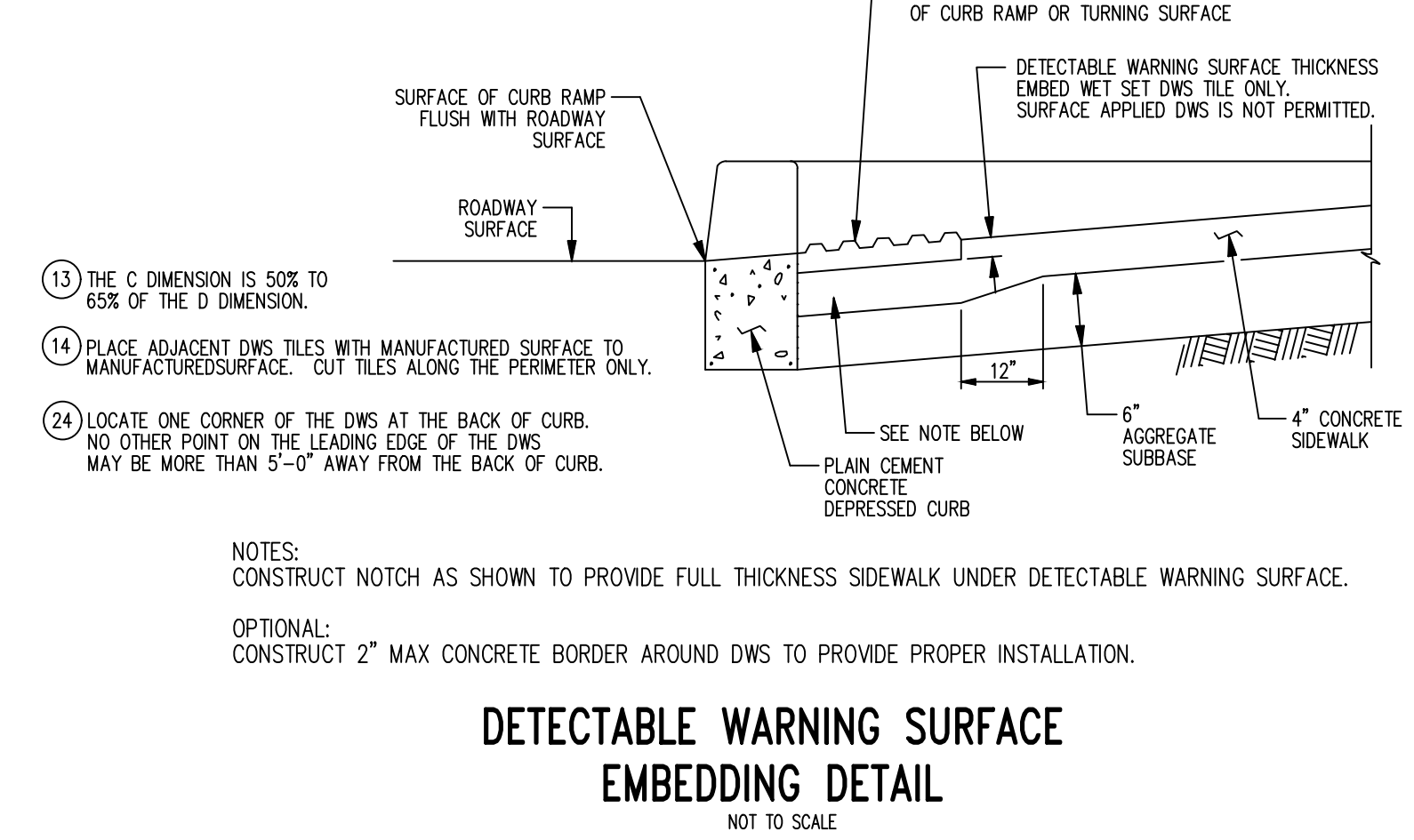
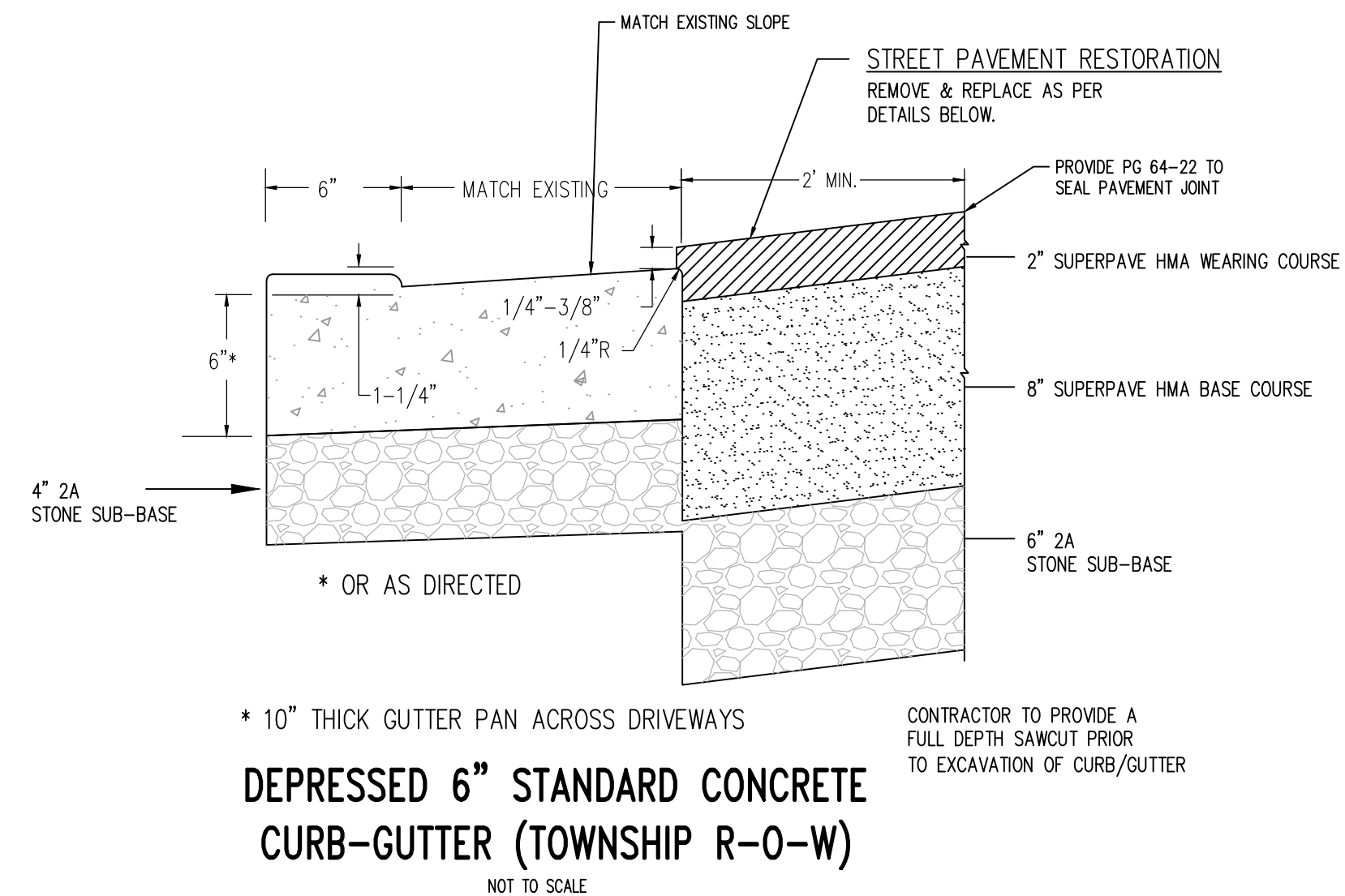
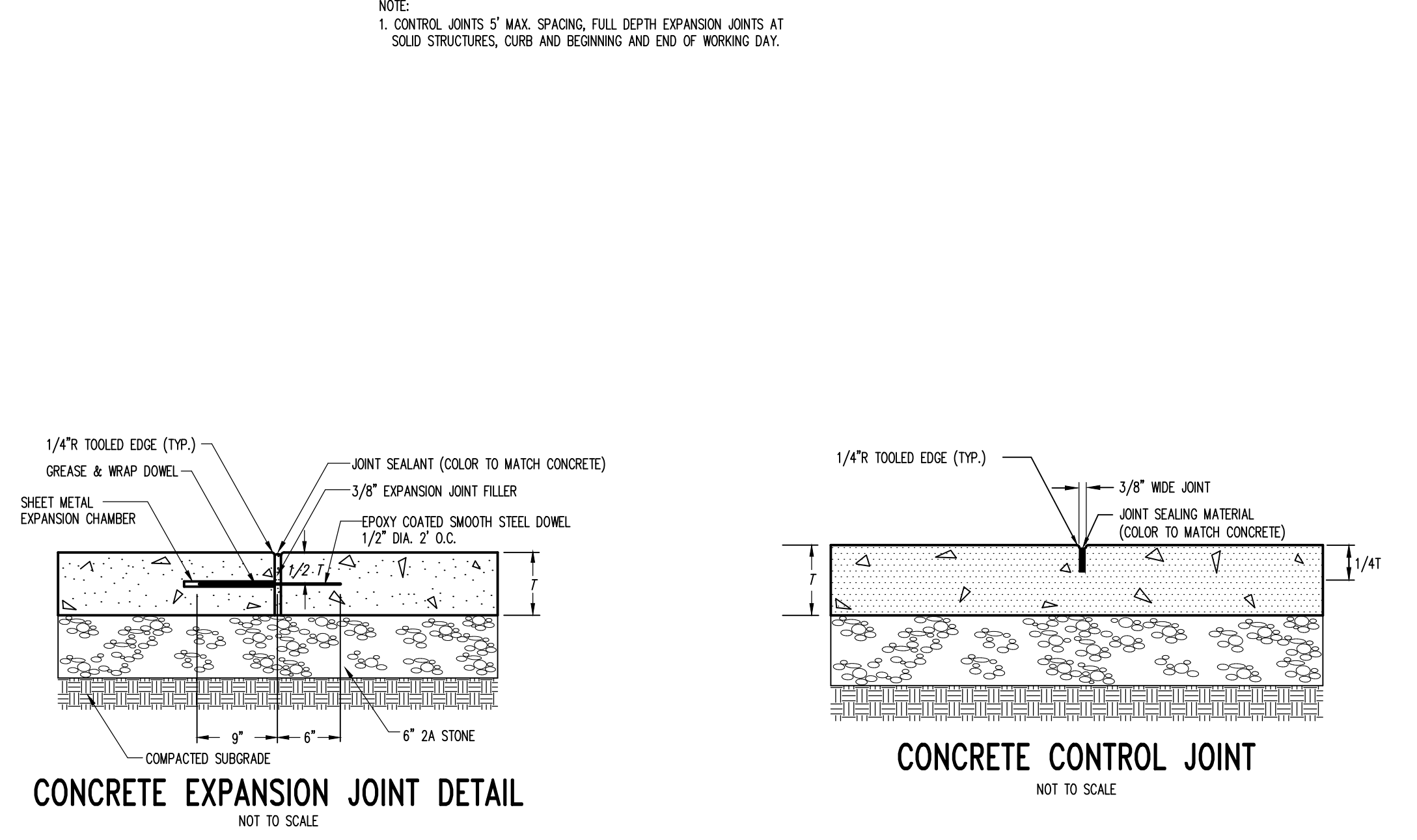
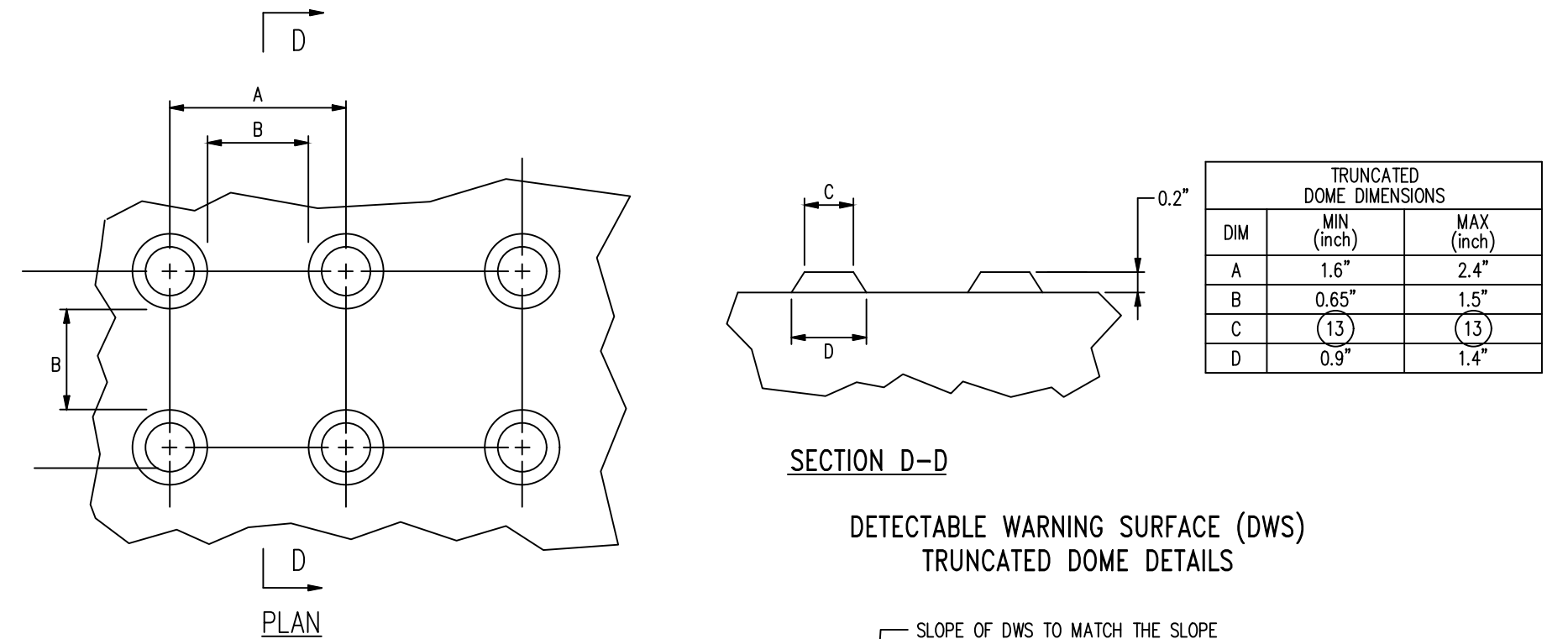
PRELIMINARY LAND DEVELOPMENT PLANS

GENERAL CONSTRUCTION DETAILS - DETAILS

PROJECT NO:
21316
 DATE:
MAY 3, 2022
 SCALE: **N.T.S.** SHEET NO.: **10**



TRANSITION: EXTRUDED CURB TO STRAIGHT FACE CURB & GUTTER
 NOT TO SCALE
 P05013



CONCRETE EXPANSION JOINT DETAIL
 NOT TO SCALE

**DEPRESSED 6\"/>
 NOT TO SCALE**

DETECTABLE WARNING SURFACE EMBEDDING DETAIL
 NOT TO SCALE

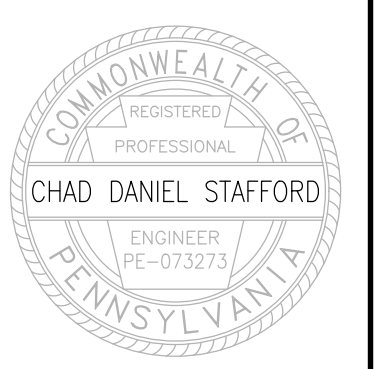
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PennTerra ENGINEERING INC.
 CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 Fax: 814-237-2308

LANCASTER REGION OFFICE:
 3904 B ABEL DRIVE
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Designer: MJA
 Draftsman: MJA
 Proj Manager: CDS
 Surveyor: XXX
 Perimeter: Ck
 Book: XXX Pg: XXX
 File: 2136 - 11 - FLOOR PLAN
 Layout: FLOOR PLAN

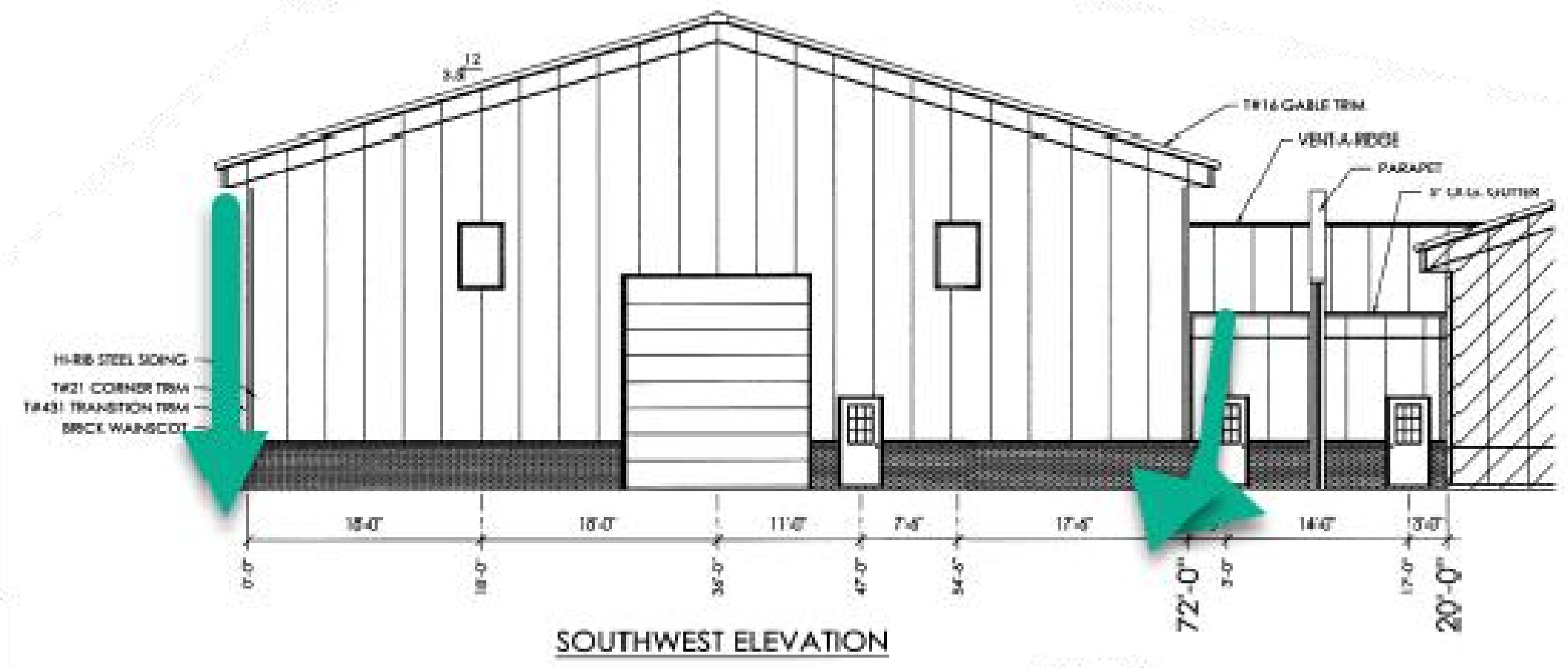
Date	Description
12-4-22	REVISED PER COMMENTS
11-4-22	REVISED PER COMMENTS
10-5-22	REVISED PER COMMENTS
8-15-22	REVISED PER COMMENTS
7-28-22	REVISED PER COMMENTS + NEW LOT MATERIAL EXTENSION

MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE

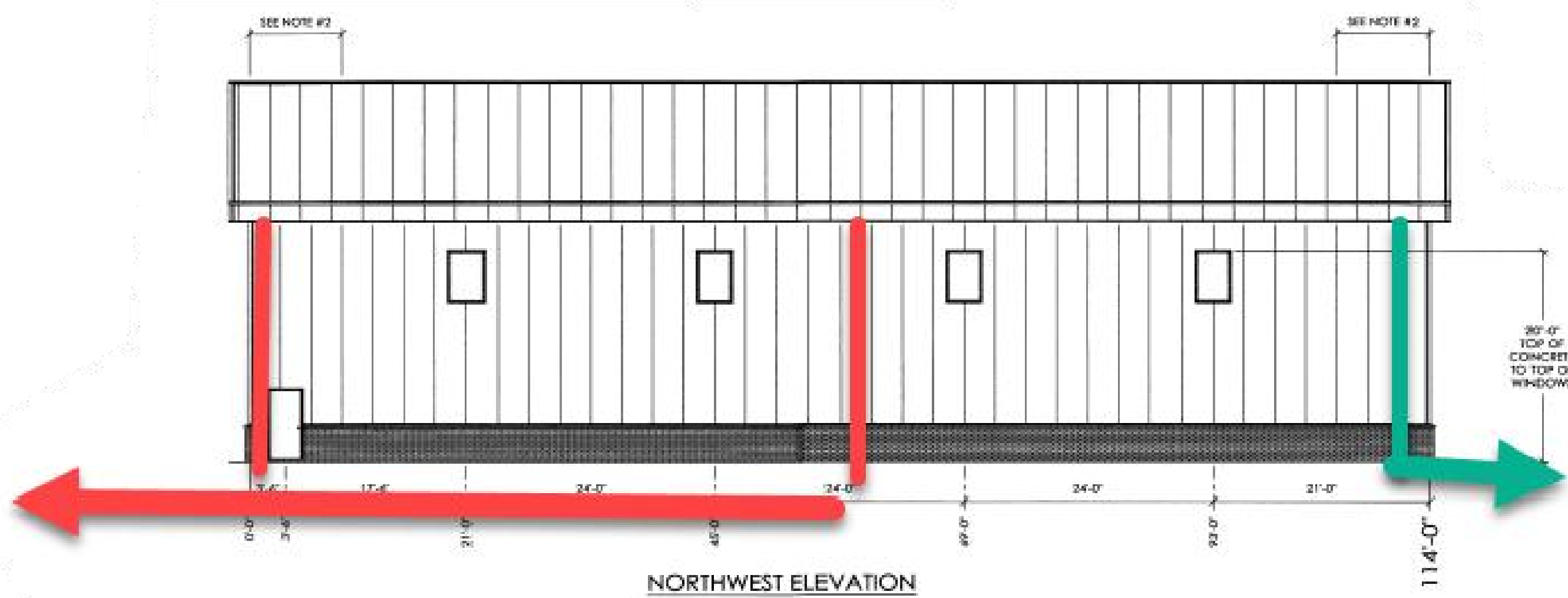
FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLANS

PROJECT NO.	21316
DATE	MAY 3, 2022
SCALE	N.T.S.
SHEET NO.	11

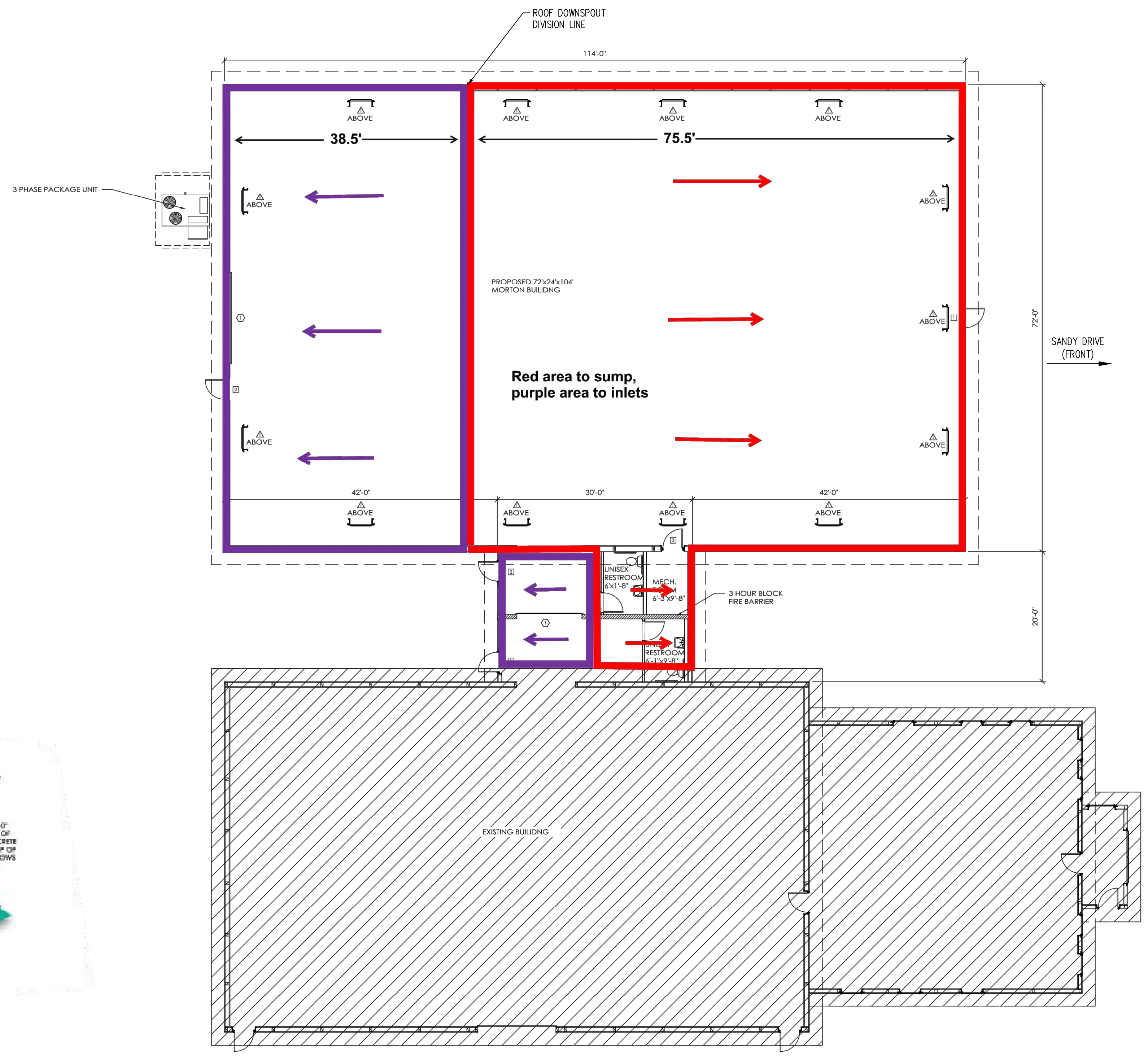


SOUTHWEST ELEVATION



NORTHWEST ELEVATION

BUILDING ADDITION ELEVATIONS
 NOT TO SCALE



EXISTING FLOOR PLAN AND BUILDING ADDITION
 NOT TO SCALE

STORMWATER MANAGEMENT NOTES

- 1. All site work shall be done in accordance with the plans prepared by PennTerra Engineering, Inc. the current requirements of the governing municipality, the applicable sections of the PennDOT standard specifications for roadway construction, and all other pertinent federal and state laws.
2. The Contractor shall comply at all times with applicable federal, state and local laws, provisions, and policies governing safety and health, including the federal construction safety act, as amended.
3. The Contractor shall be responsible for examining the areas and conditions under which the project is to be constructed prior to the submission of a bid. Submission of a bid to be constructed to mean the Contractor has reviewed the site and is familiar with conditions and constraints of the site.
4. Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify pa one call 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
5. An as-built drawing of new utility services shall be prepared by the Contractor and submitted to the Owner upon completion of the project.
6. All storm pipe shall be as noted. All joints shall be watertight.
7. Contractor shall refer to other plans within this construction set for other pertinent information.
8. Contractor shall have a licensed professional submit as-built drawings/documentation (including verification of infiltration testing) of the stormwater management facilities prepared in accordance with chapter 26 of the governing municipality's code of ordinances. A Record Set (As-Built) Package, including all supporting documentation as required in accordance 26-402.3.D(4), shall be provided at the completion of the project. A narrative and photographic documentation for critical stages of construction and for the infiltration surface prior to placement of filter fabric/stone must also be submitted to the governing municipality.

AS-BUILT NOTES:

- 1. Certification of the stormwater as-built plan by a licensed professional of the stormwater facilities specified under the section labeled "Critical Stages of Construction" is required.
2. The licensed professional responsible for certifying the stormwater as-built plan shall be selected prior to starting earth disturbance activities on the project.
3. The licensed professional responsible for certifying the stormwater as-built plan shall be present for all "Critical Stages of Construction."
4. A pre-construction meeting between the contractor, township, owner, and licensed professional responsible for certifying the stormwater as-built plan is required to ensure all "Critical Stages of Construction" are reviewed, acknowledged and milestones established to ensure the licensed professional is present onsite during the "Critical Stages of Construction." The location of infiltration tests performed during construction shall be documented on the as-built plans. Any modifications to the approved plan must be submitted to the Township for review prior to construction. The developer must provide the township with the as-built package for all stormwater facilities prior to occupancy or the release of the surety bond.

CRITICAL STAGES OF CONSTRUCTION:

Critical Stages of Construction are parts of the construction sequence of the Land Development Plan which require certification and construction oversight of stormwater facilities by the licensed professional responsible for certification of the certified stormwater as-built plan. At least two weeks in advance of construction, the contractor shall schedule a coordination meeting with the licensed professional to review the critical stages and establish a schedule for inspections/verifications of all critical stages. At the discretion of the licensed professional, the contractor may provide photo documentation of the installation of certain items in lieu of the licensed professional being present. The critical stages for each Post Construction Stormwater Best Management Practice are as follows:

UNDERGROUND INFILTRATION SUMP

- 1. In order to protect the underground infiltration sump bottom from compaction, equipment shall not be permitted to operate within the sump when the floor is less than 36" from subgrade elevation. A typical infiltration facility bottom excavation detail has been provided on the plans for construction. Alternatively, the contractor may develop their own plan and methods for bottom excavation. The contractor must review the proposed plan/methods with the licensed professional during the coordination meeting.
2. A typical rock over excavation detail has been provided on the plans. Once subgrade of the infiltration sump has been reached, the contractor shall request the licensed professional review the subgrade to determine if rock over excavation is needed.
3. As-built surveys are required prior to any backfill within the underground infiltration sump. The contractor must notify the licensed professional prior to backfilling in order verify elevations and geometry.
4. The contractor must notify the licensed professional of the installation of the outlet structure, outfall pipe and anti-seep collars prior to backfill to ensure installation has been completed in accordance with the approved plan.

GRATE INLET SKIMMER BOXES

- 1. Verification that the Grate Inlet Skimmer Boxes have been installed in the locations shown on the plan is required (1-1, 1-2, 1-3, 1-4, 1-5).

NATURALLY OCCURRING GEOLOGIC FORMATIONS/SOIL CONDITIONS:

There are no known naturally occurring geologic formations or soil conditions that pose the potential for pollution during construction. If a sinkhole is encountered due to karst topography, the sinkhole shall be repaired as specified on the sinkhole repair detail and/or a geotechnical engineer must be contacted for proper repair procedures.

PERMANENT SEEDING

Permanent Seeding shall consist of the following:

Table with 2 columns: Item, Rate. Item 1: Seed Mixture Consists of: 50% Poa pratensis (Kentucky Bluegrass), 30% Festuca rubra (Creeping Red Fescue), 20% Lolium perenne L. (Perennial Rye). Rate: 102 lbs. / acre. Item 2: Mulch. Rate: 3 tons / acre.

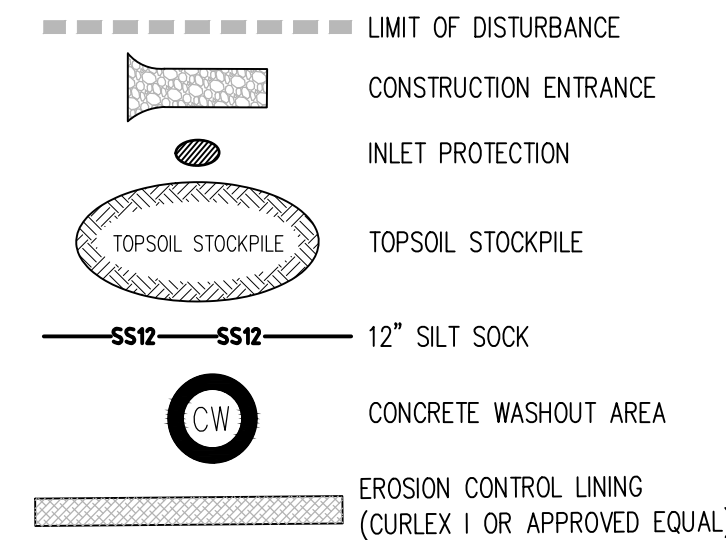
GRADING NOTES

- 1. The project benchmark is a sanitary sewer manhole, located at the northern most end of Sheet Drive. Elev. = 768.16.
2. All existing trees, vegetation, pavements, concrete foundations, structures and organic topsoil shall be stripped and removed from new construction areas unless noted otherwise.
3. All areas not paved shall be sodded, topsoiled, seeded, mulched or landscaped unless otherwise noted in the construction plans, site specifications or instructed by the Owner.
4. Contractor shall refer to the geotechnical report prior to initiation of any earthwork activity. Refer to the Geotechnical Report "Geotechnical Engineering Study - Reedsville Property - Sheetz Drive, PA - HCEA Project No. 122021" by Hillis Carnes Engineering Associates, Inc., June 30, 2022.
5. The maximum slope within all the handicapped parking spaces shall be 2.00% in any direction.
6. The maximum slope for all on-site sidewalks shall be 4.90% with a maximum cross slope of 2.00% and curb ramps shall have a maximum slope of 8.30%.
7. Proposed spot elevation are to bottom of curb unless noted otherwise.
8. The Contractor shall notify assigned inspection agency before any retaining wall construction. Retaining walls shall be constructed per the project specification approved building permit and certified by the assigned inspection agency.
9. All fill material brought on to the job by the Contractor must comply with all applicable D.E.P. regulations regarding clean fill.
10. All areas disturbed during construction, not designated to receive paving or mulch, shall be fine graded, topsoiled, & seeded unless otherwise noted in the construction drawings, site specifications or instructed by the Owner.
11. The Contractor shall notify Owner's testing agency before any placement and compaction of fills on the site. Fill areas shall be prepared and compacted per the project specifications and certified by the Owner's testing agency. Contractor shall be responsible for removal, retesting, and replacement of fills not meeting the specifications. The Contractor is also responsible for all expenses associated with replacement of fills not meeting the specifications.
12. The Contractor shall notify assigned inspection agency before any retaining wall construction. Retaining walls shall be constructed per the project specification approved building permit and certified by the assigned inspection agency.

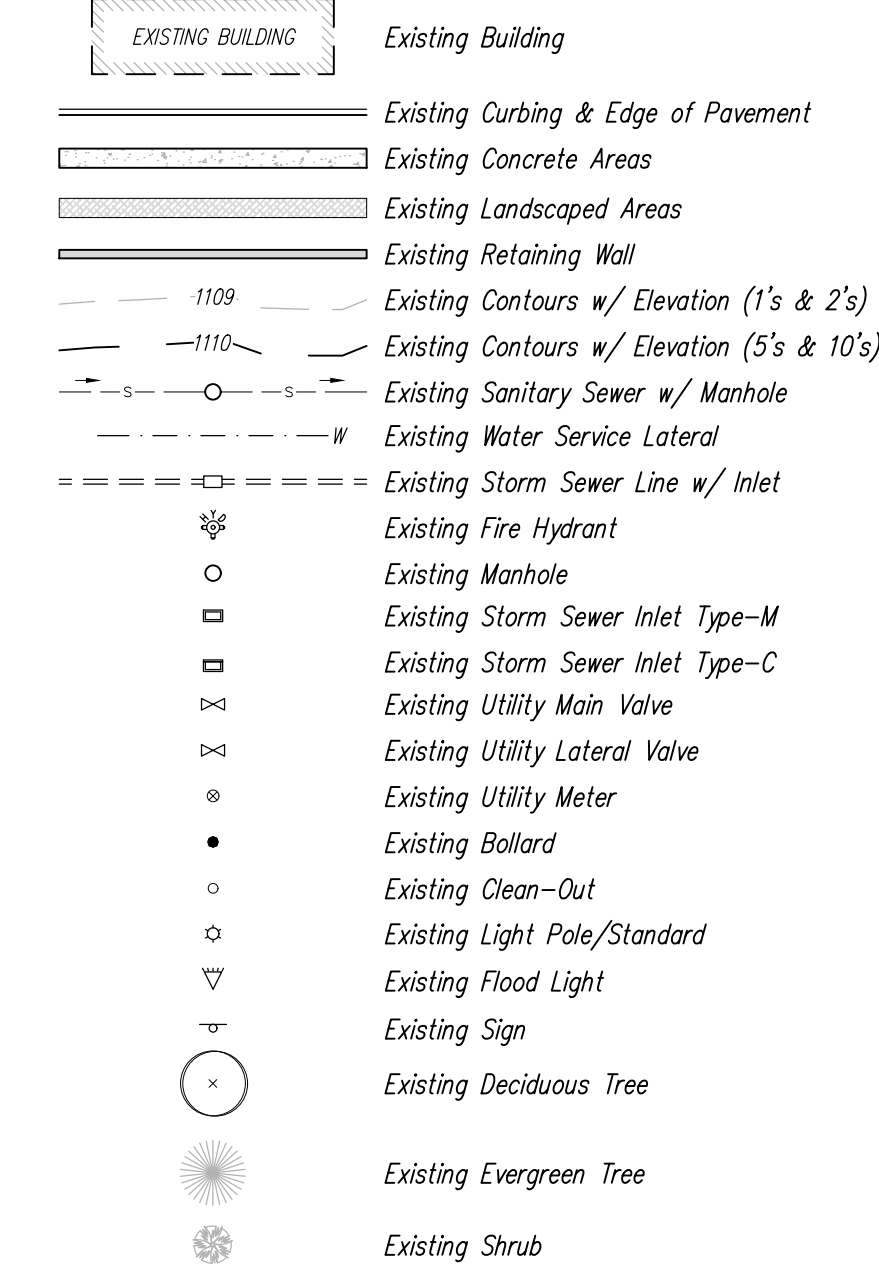
SOILS LEGEND

Soil cover on the site consists of: HuB - Hubersburg silt loam, 3%-8% Slopes

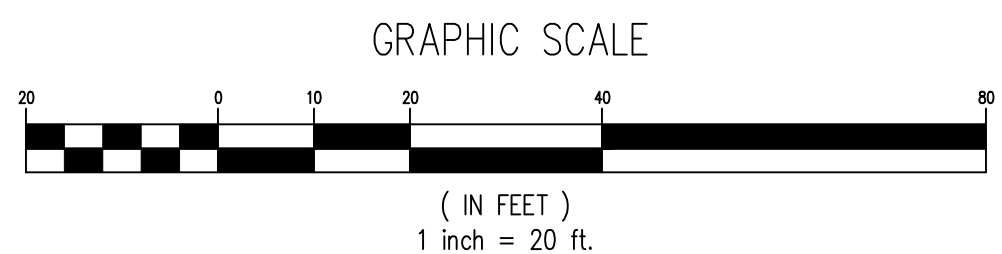
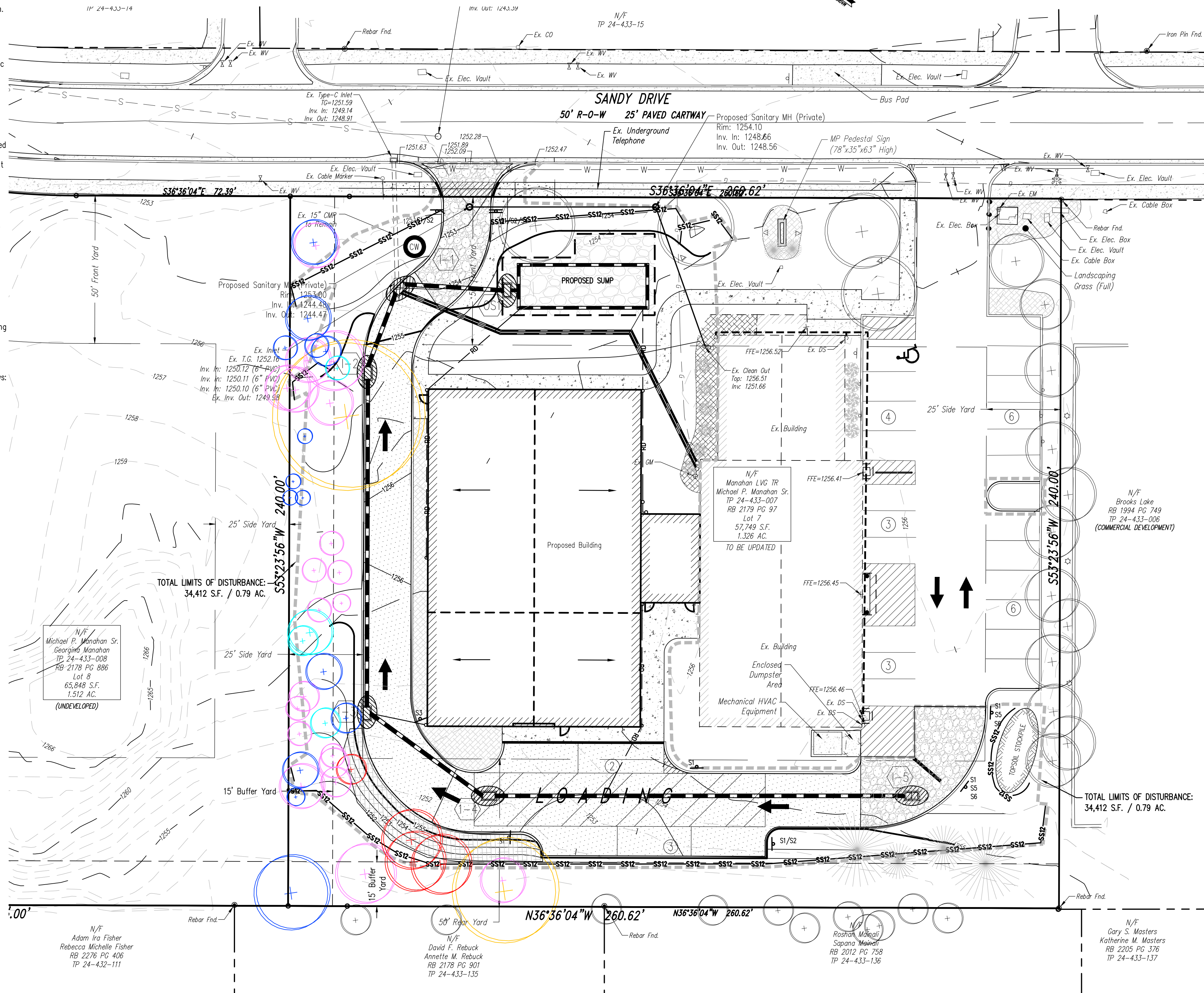
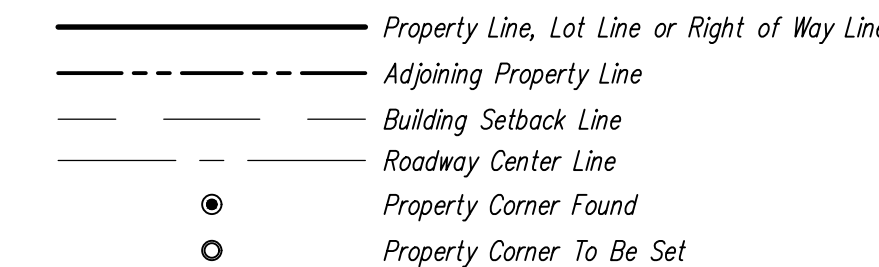
EROSION & SEDIMENTATION CONTROL LEGEND



EXISTING FEATURES LEGEND



SURVEY FEATURES LEGEND



PennTerra ENGINEERING INC. CENTRAL PENNSYLVANIA REGION OFFICE: 3075 ENTERPRISE DRIVE SUITE 100 STATE COLLEGE, PA 16801 PH: 814-231-8285 Fax: 814-237-2308

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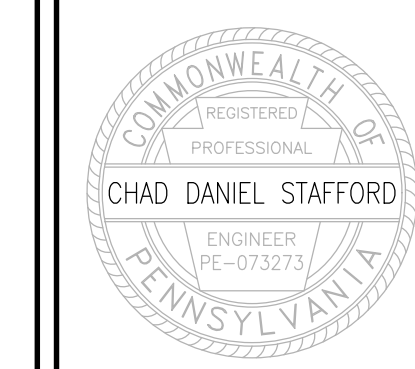


Table with 2 columns: Role, Name. Designer: MJA, Draftsman: MJA, Proj Manager: CDS, Surveyor: XXX, Perimeter Ck: XXX, Book: XXX Pg: XXX, File: 21316 - ES-1, Layout: ES-1

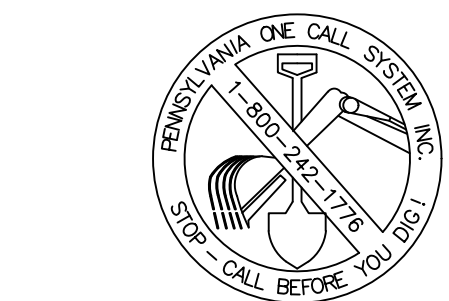
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MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE

FERCUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PANS EROSION AND SEDIMENTATION CONTROL PLAN

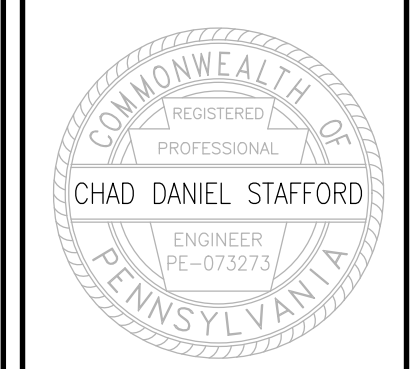
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BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA I CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY

PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
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SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308
LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
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Designer: M.J.A.
Draftsman: M.J.A.
Proj Manager: C.D.S.
Surveyor: XXXX
Perimeter Ck:
Book: XXX Pg. XXX
File: 2026 - ES-2
Layout: ES-2

Date	Description	REVISIONS
12-14-22	REVISED PER COMMENTS WJA	
11-14-22	REVISED PER COMMENTS WJA	
10-5-22	REVISED PER COMMENTS WJA	
8-15-22	REVISED PER COMMENTS WJA	
7-28-22	REVISED PER COMMENTS + NEW LOT MAILING EXTENSION	

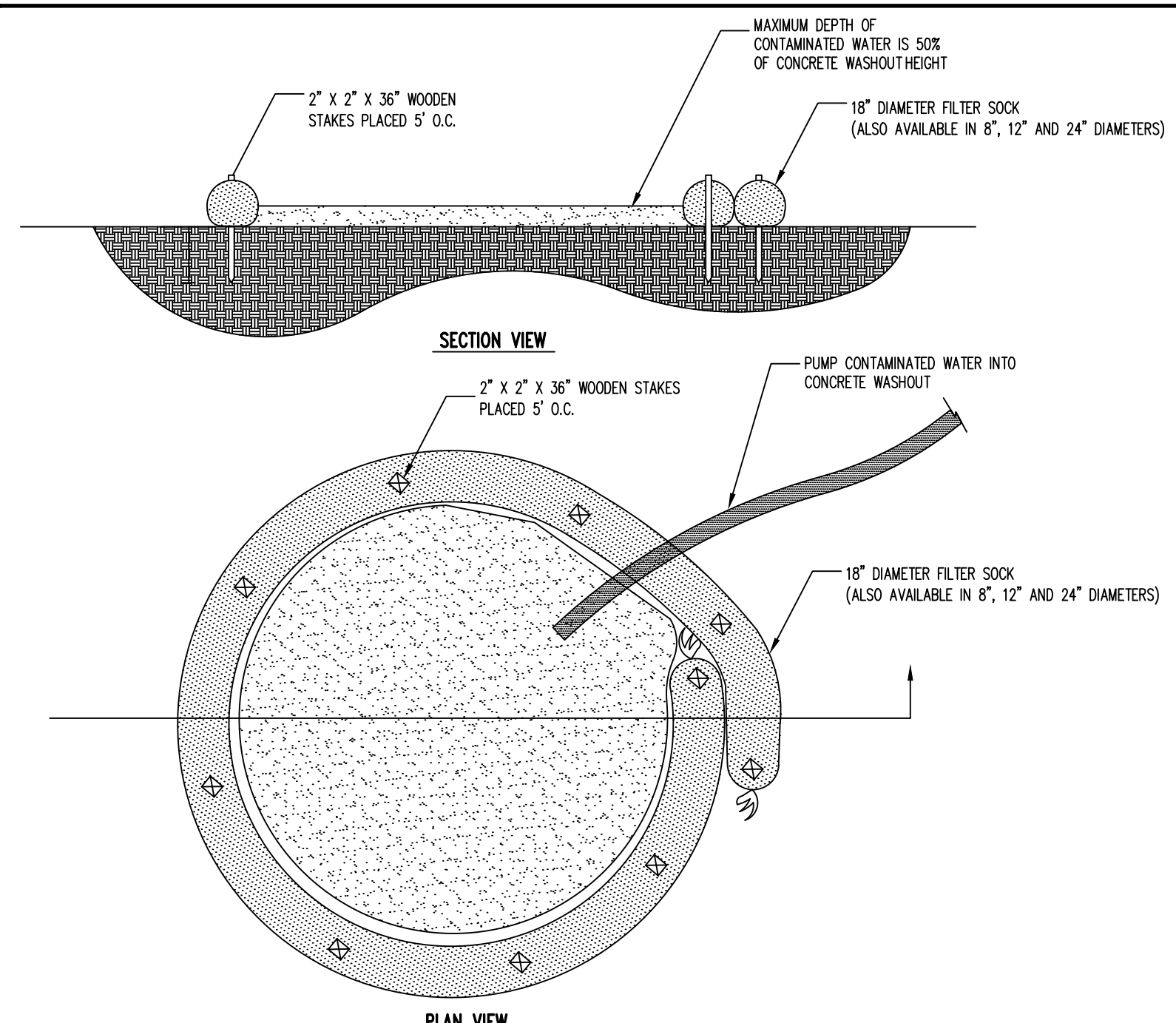
MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE

FERCUSION TOWNSHIP CENTRE COUNTY PENNSYLVANIA

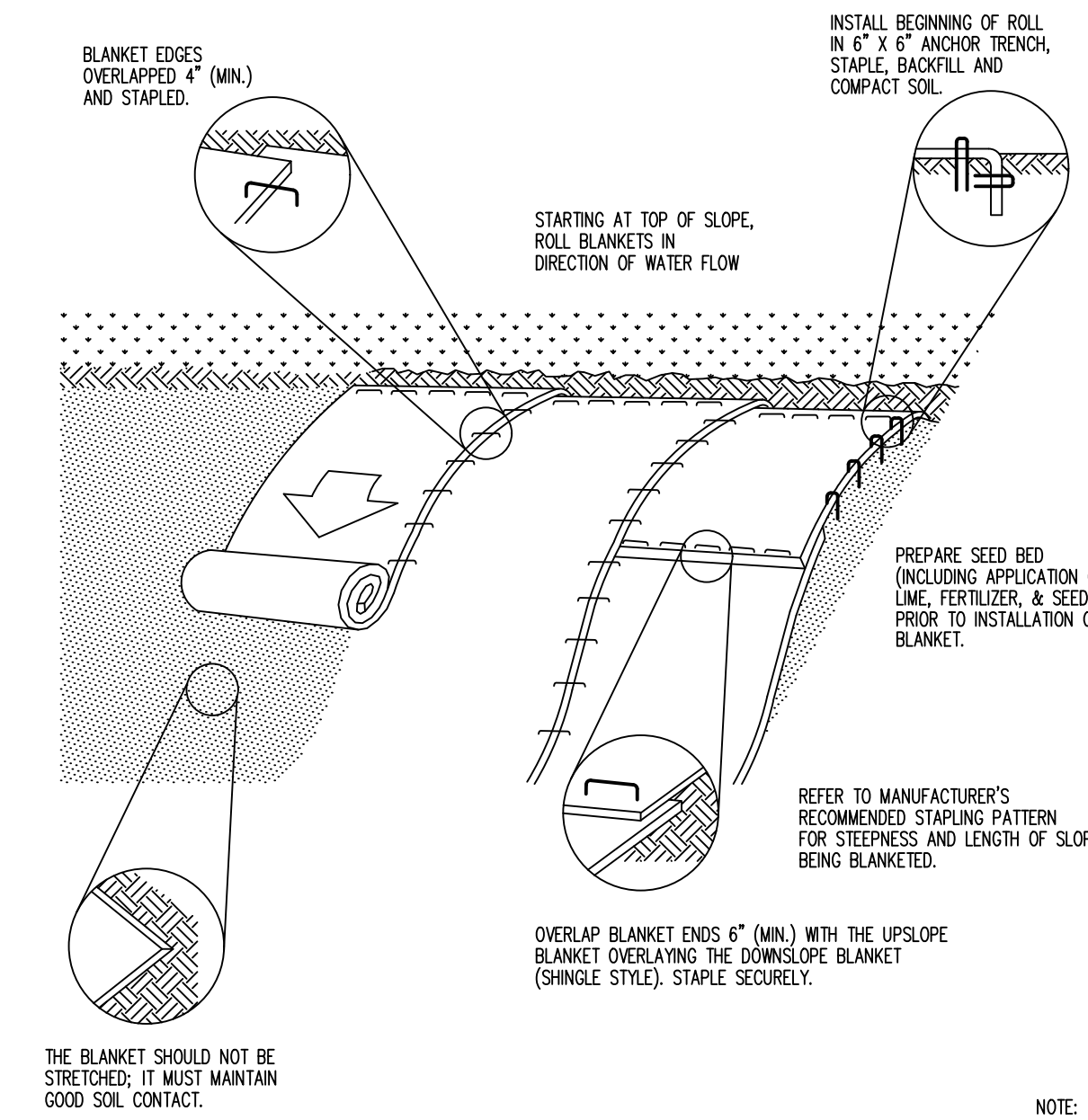
PRELIMINARY/FINAL LAND DEVELOPMENT PANS

EROSION AND SEDIMENTATION CONTROL DETAILS

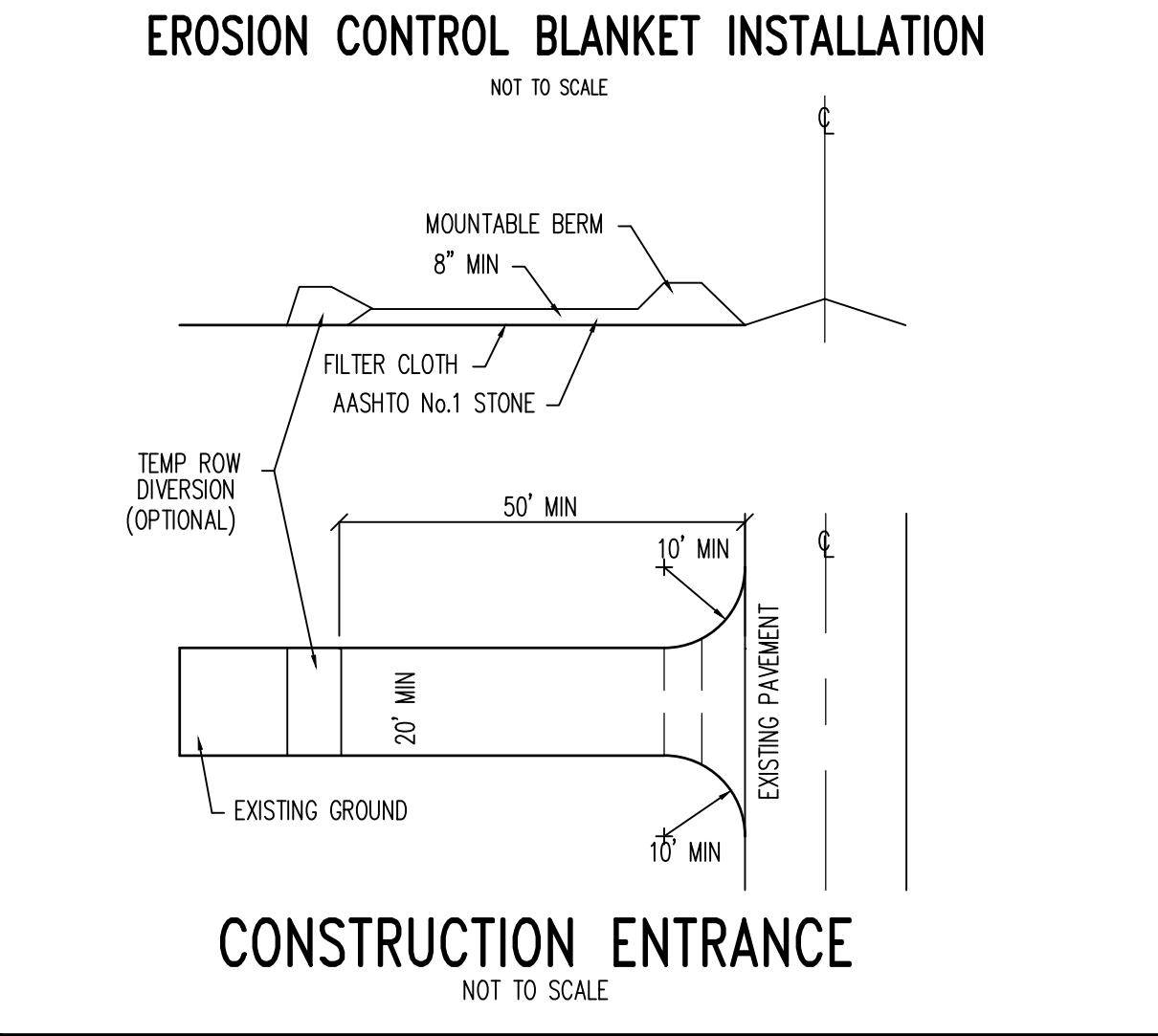
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DATE	MAY 3, 2022
SCALE	N.T.S.
SHEET NO.	ES2



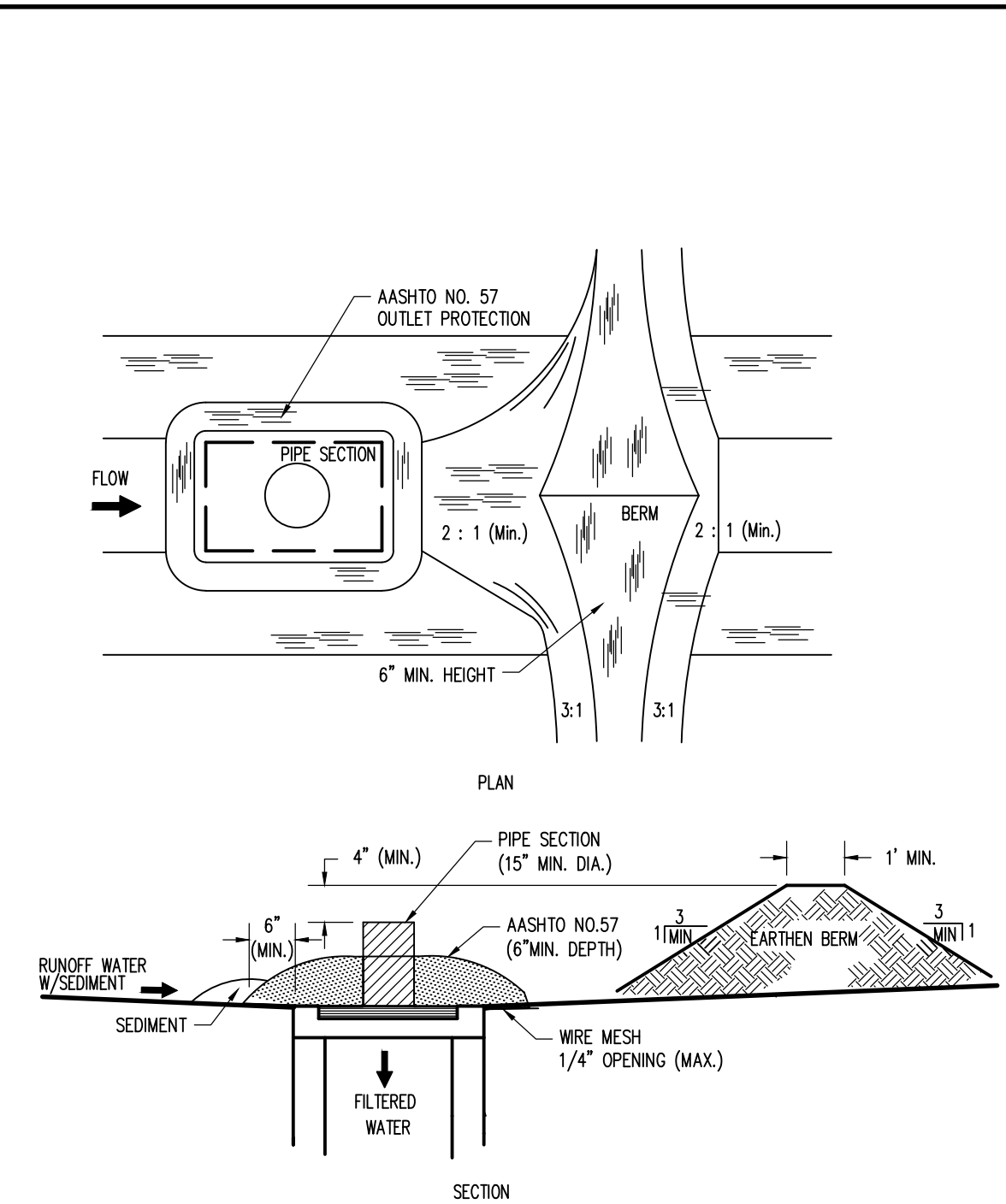
CONCRETE WASHOUT AREA
NOT TO SCALE



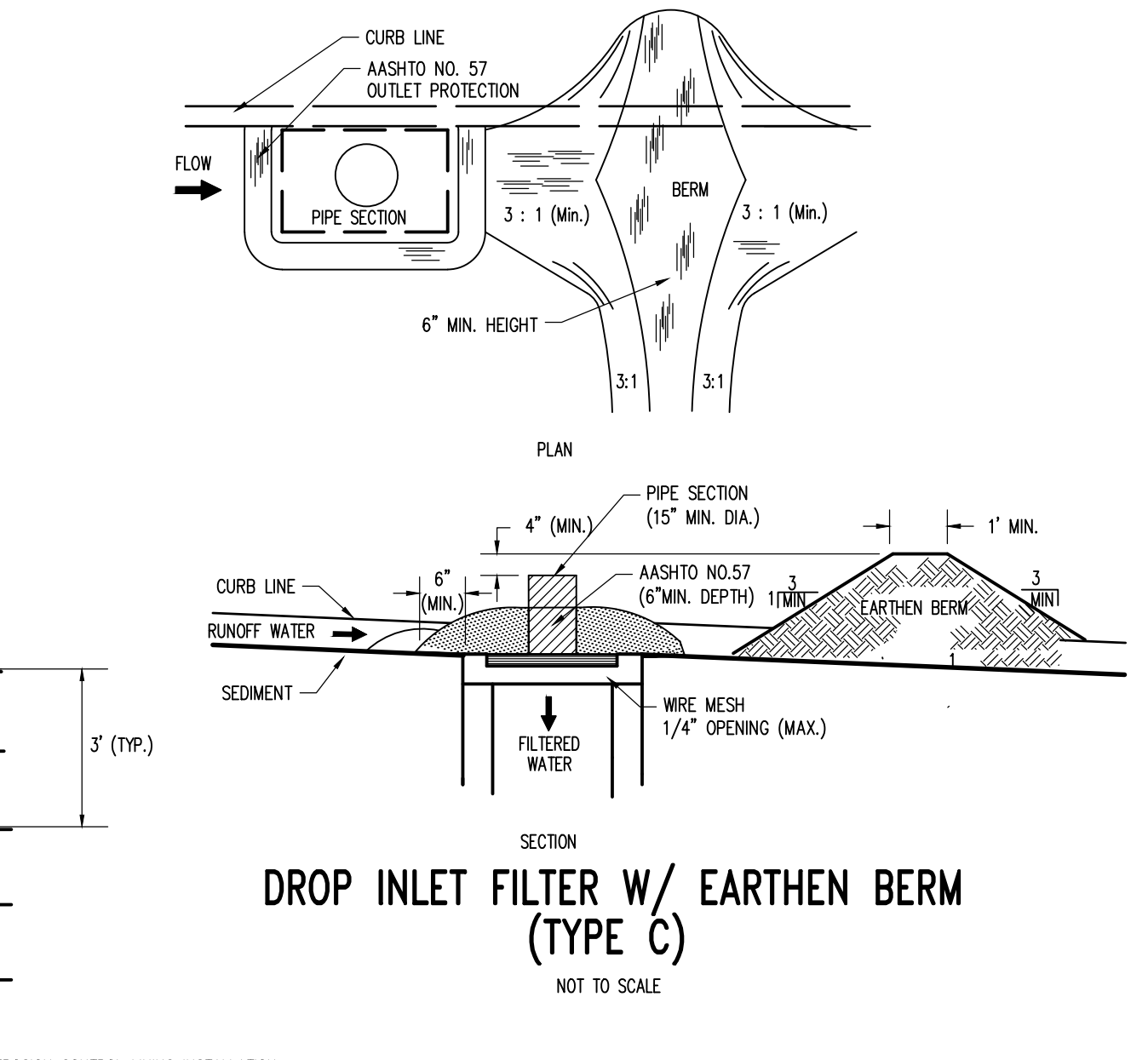
EROSION CONTROL BLANKET INSTALLATION
NOT TO SCALE



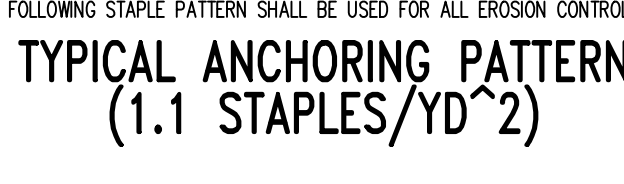
CONSTRUCTION ENTRANCE
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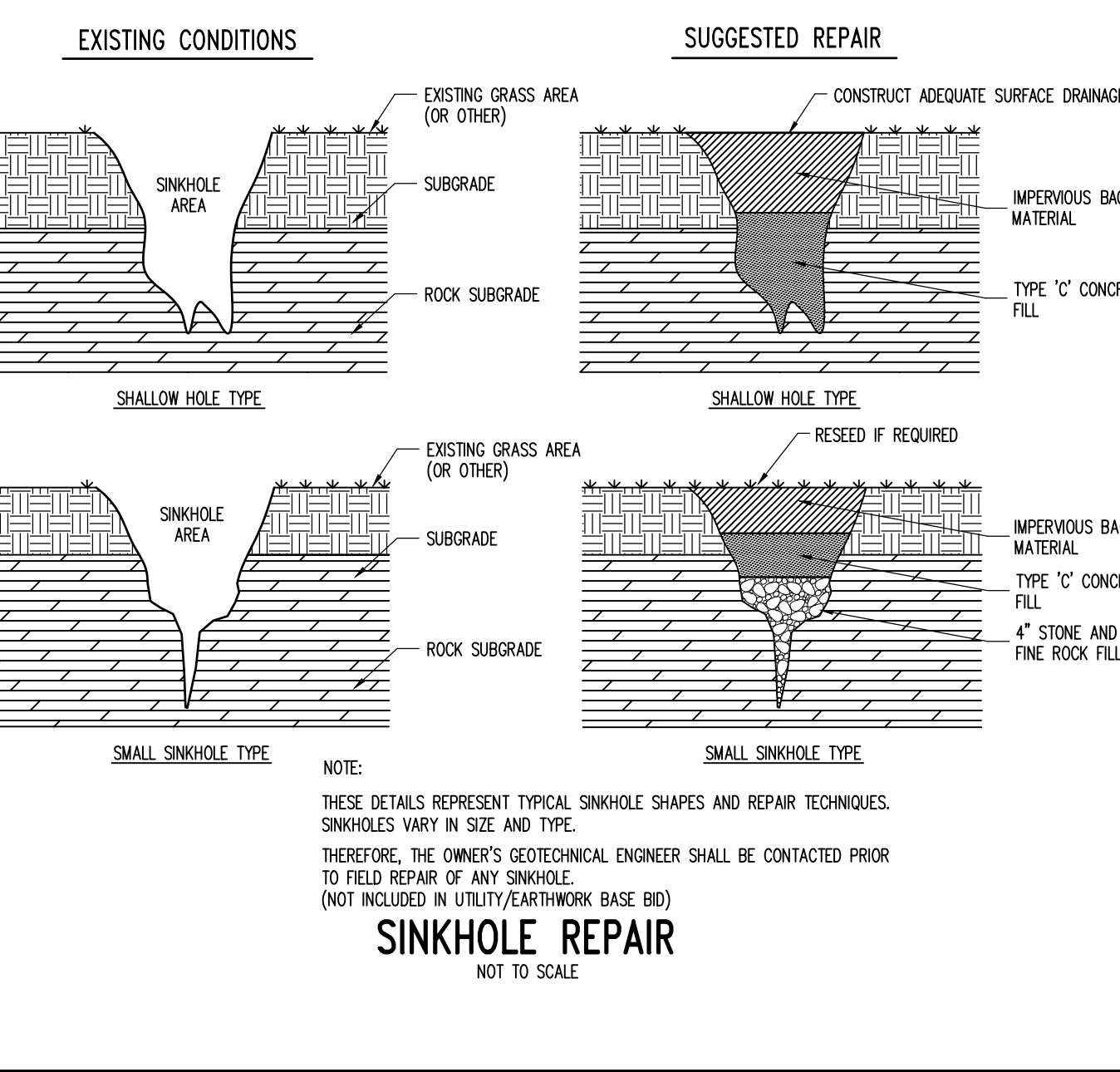
DROP INLET FILTER W/ EARTHEN BERM (TYPE M)
NOT TO SCALE



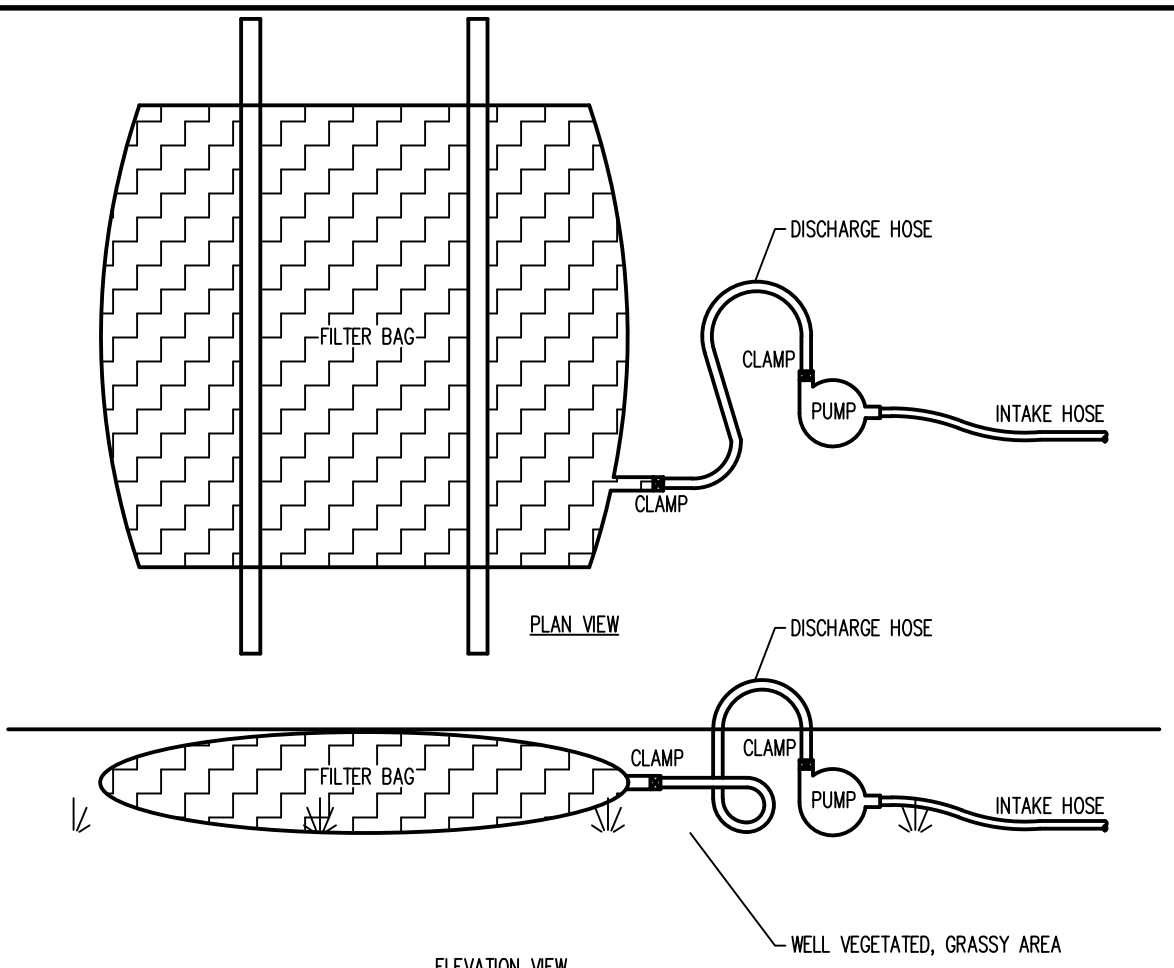
DROP INLET FILTER W/ EARTHEN BERM (TYPE C)
NOT TO SCALE



TYPICAL ANCHORING PATTERN (1.1 STAPLES/YD^2)



SINKHOLE REPAIR
NOT TO SCALE

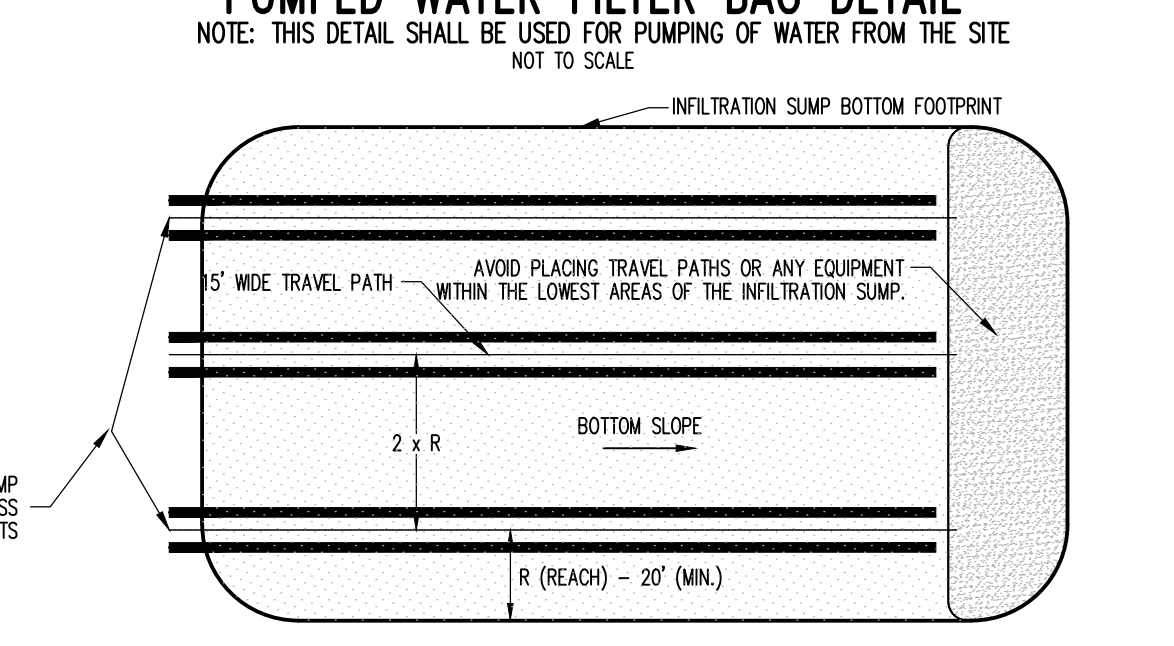


PUMPED WATER FILTER BAG DETAIL
NOTE: THIS DETAIL SHALL BE USED FOR PUMPING OF WATER FROM THE SITE
NOT TO SCALE

Low volume filter bags shall be made from non-woven geotextile material sewn with high strength, double stitched "J" type seams. They shall be capable of trapping particles larger than 150 microns. High volume filter bags shall be made from woven geotextiles that meet the following standards

Property	Test Method	Minimum Standard
Avg. Wide Width Strength	ASTM D-4884	60 lb/in
Grab Tensile	ASTM D-4632	205 lb
Puncture	ASTM D-4833	110 lb
Mullen Burst	ASTM D-3786	350 psi
UV Resistance	ASTM D-4355	70%
AOS % Retained	ASTM D-4751	80 Sieve

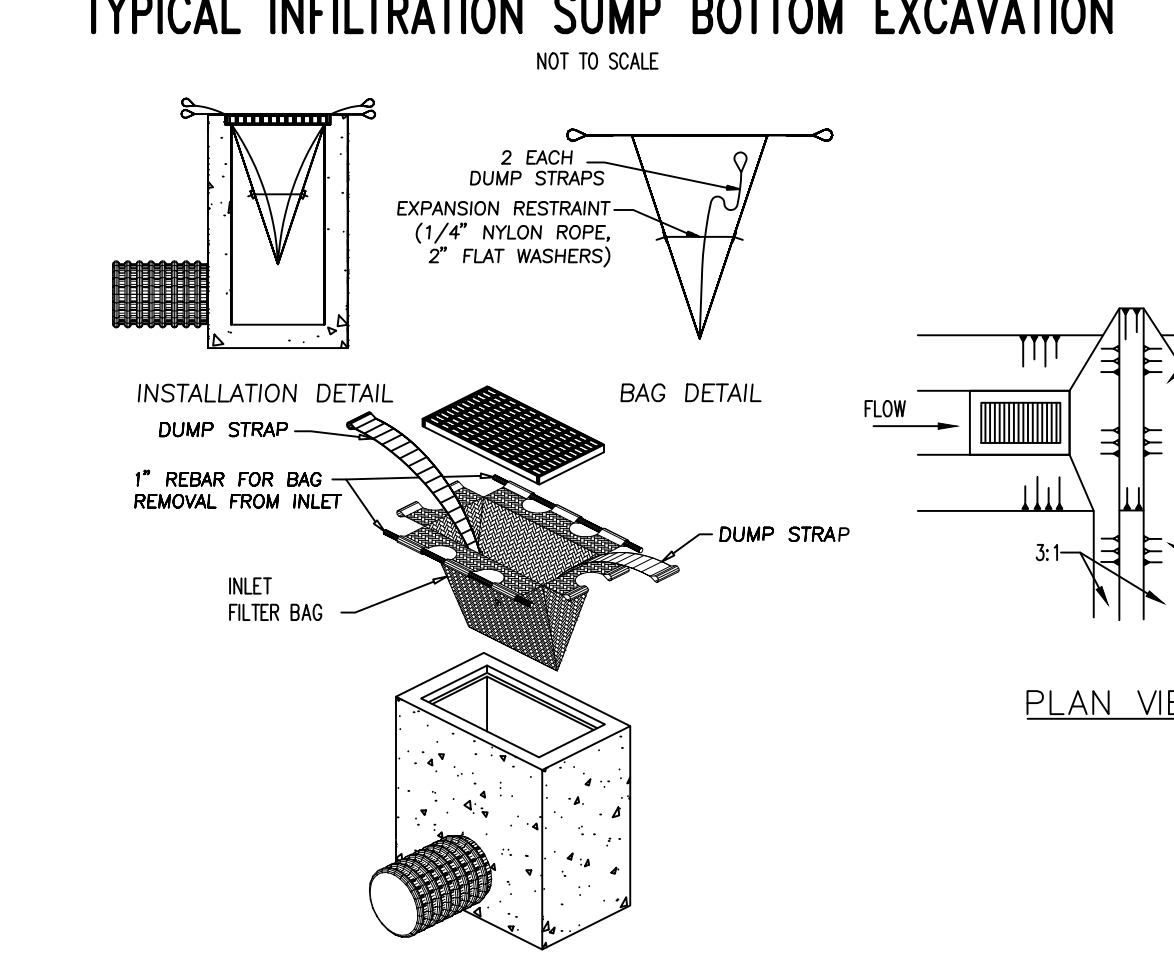
Notes:
1. A suitable means of accessing the bag with machinery required for disposal purposes shall be provided. Filter bags shall be replaced when they become 2/3 full of sediment. Spare bags shall be kept available for replacement of those that have failed or are filled. Bags shall be placed on slopes greater than 5%. For slopes exceeding 5%, clean rock or other non-erodible and non-polluting material may be placed under the bag to reduce slope steepness.
2. Bags shall be located in well-vegetated (grass) area, and discharge onto stable, erosion resistant areas. Where this is not possible, a geotextile underlayment and flow path shall be provided. Bags may be placed on filter stone to increase discharge capacity. Bags shall not be placed on slopes greater than 5%. For slopes exceeding 5%, clean rock or other non-erodible and non-polluting material may be placed under the bag to reduce slope steepness.
3. No downslope sediment barrier is required for most installations. Compost berm or compost filter sock shall be installed below bags located in H2 or E4 watersheds, within 50 feet of any receiving surface water or where grassy area is not available.



TYPICAL INFILTRATION SUMP BOTTOM EXCAVATION
NOT TO SCALE

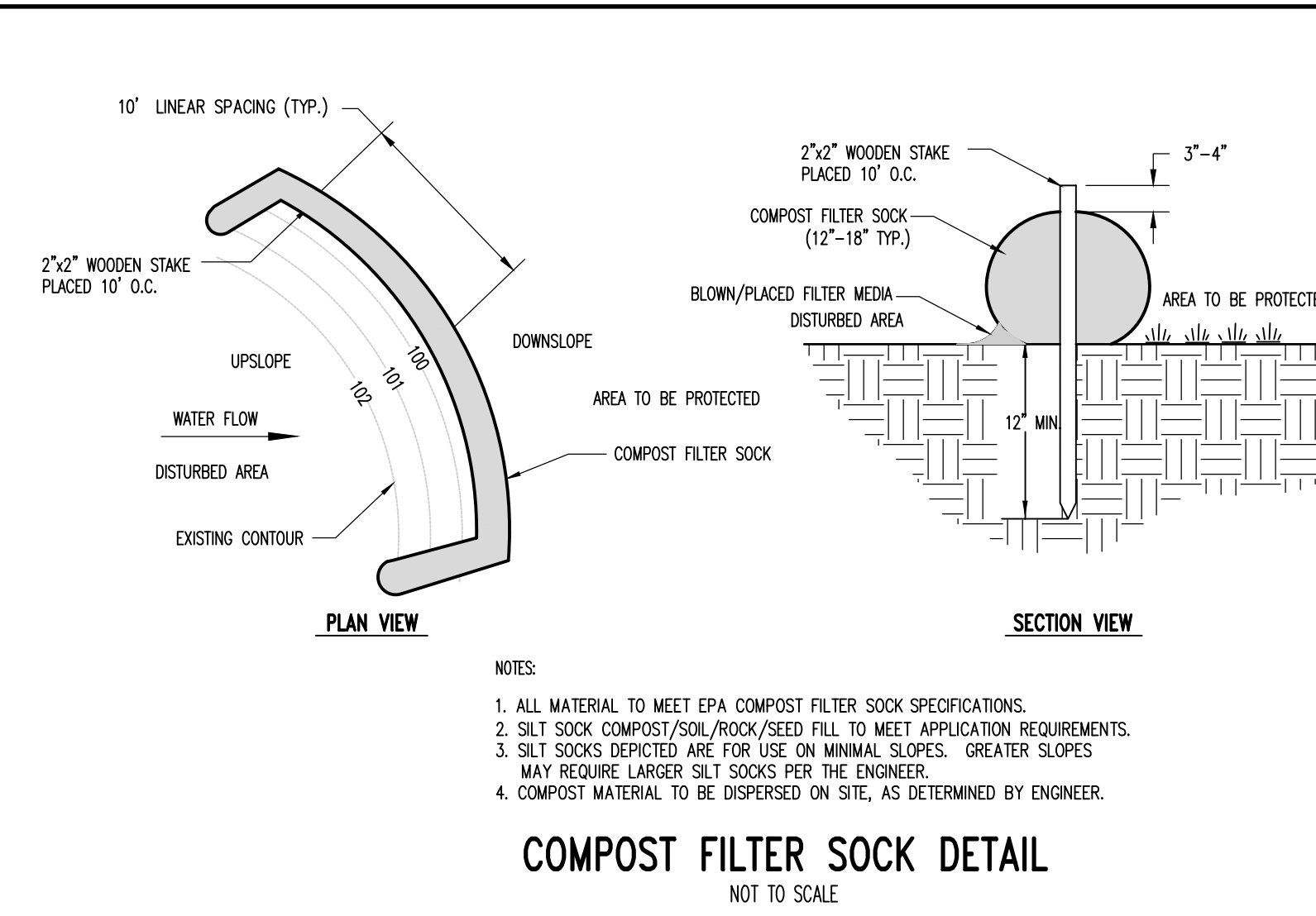
THIS DETAIL REPRESENTS A TYPICAL INFILTRATION SUMP BOTTOM EXCAVATION TECHNIQUE. EACH INFILTRATION SUMP VARIES WITH GEOMETRY AND OTHER VARIOUS PHYSICAL FEATURES. THE CONTRACTOR MUST DEVELOP AN INFILTRATION SUMP BOTTOM EXCAVATION PLAN AND CONSULT WITH THE SITE ENGINEER PRIOR TO COMMENCING THE INFILTRATION SUMP BOTTOM EXCAVATION.

NOTES:
1. ALL EQUIPMENT MOBILIZATION AND MANEUVERS MUST BE LIMITED TO THE TRAVEL PATH LOCATIONS. THE CONTRACTOR SHALL LOCATE AND CLEARLY POST ALL TRAVEL PATHS IN THE FIELD.
2. TRAVEL PATH LOCATIONS SHALL BE SELECTED BASED UPON EQUIPMENT REACH CAPABILITY AND INFILTRATION SUMP GEOMETRY. TRAVEL PATH LOCATIONS SHOULD BE SELECTED SUCH THAT THEY PARALLEL THE LONGEST SIDE OF THE INFILTRATION SUMP.
3. TRAVEL PATH SPACING SHALL VARY WITH EQUIPMENT REACH CAPABILITY. REACH CAPABILITY SHOULD BE A MINIMUM OF 20 FEET.
4. MATERIAL SHALL BE REMOVED FROM THE TRAVEL PATH LOCATIONS WORKING TOWARD THE INFILTRATION SUMP ACCESS POINTS. ONCE MATERIAL IS REMOVED FROM EACH TRAVEL PATH LOCATION AND FINAL GRADE IS ACHIEVED, ALL EQUIPMENT SHALL BE PROHIBITED FROM THESE LOCATIONS.



INLET FILTER BAG (TYPE M)
NOT TO SCALE

INLET FILTER BAG NOTES:
FILTER BAG SHOULD TRAP PARTICLES LARGER THAN 150 MICRONS. WHEREVER FILTER BAGS ARE USED THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS. INLET FILTER BAGS SHOULD BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. FILTER BAGS SHOULD BE CLEANED AND/OR REPLACED WHEN BAG IS 1/2 FULL DAMAGED FILTER BAGS SHOULD BE REPLACED. NEEDED REPAIRS SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION.



COMPOST FILTER SOCK DETAIL
NOT TO SCALE

NOTES:
1. ALL MATERIAL TO MEET EPA COMPOST FILTER SOCK SPECIFICATIONS.
2. SILT SOCK COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
3. SILT SOCKS DEPICTED ARE FOR USE ON MINIMAL SLOPES. GREATER SLOPES MAY REQUIRE LARGER SILT SOCKS PER THE ENGINEER.
4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 30"	12" 18" 24" 30"	12" 18" 24" 30"	12" 18" 24" 30"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years

Two-Ply Systems

Inner Containment Netting	HDPE biaxial net
	Continuously wound
	Fusion-welded junctures
	3/4"x3/4" Max. aperture size

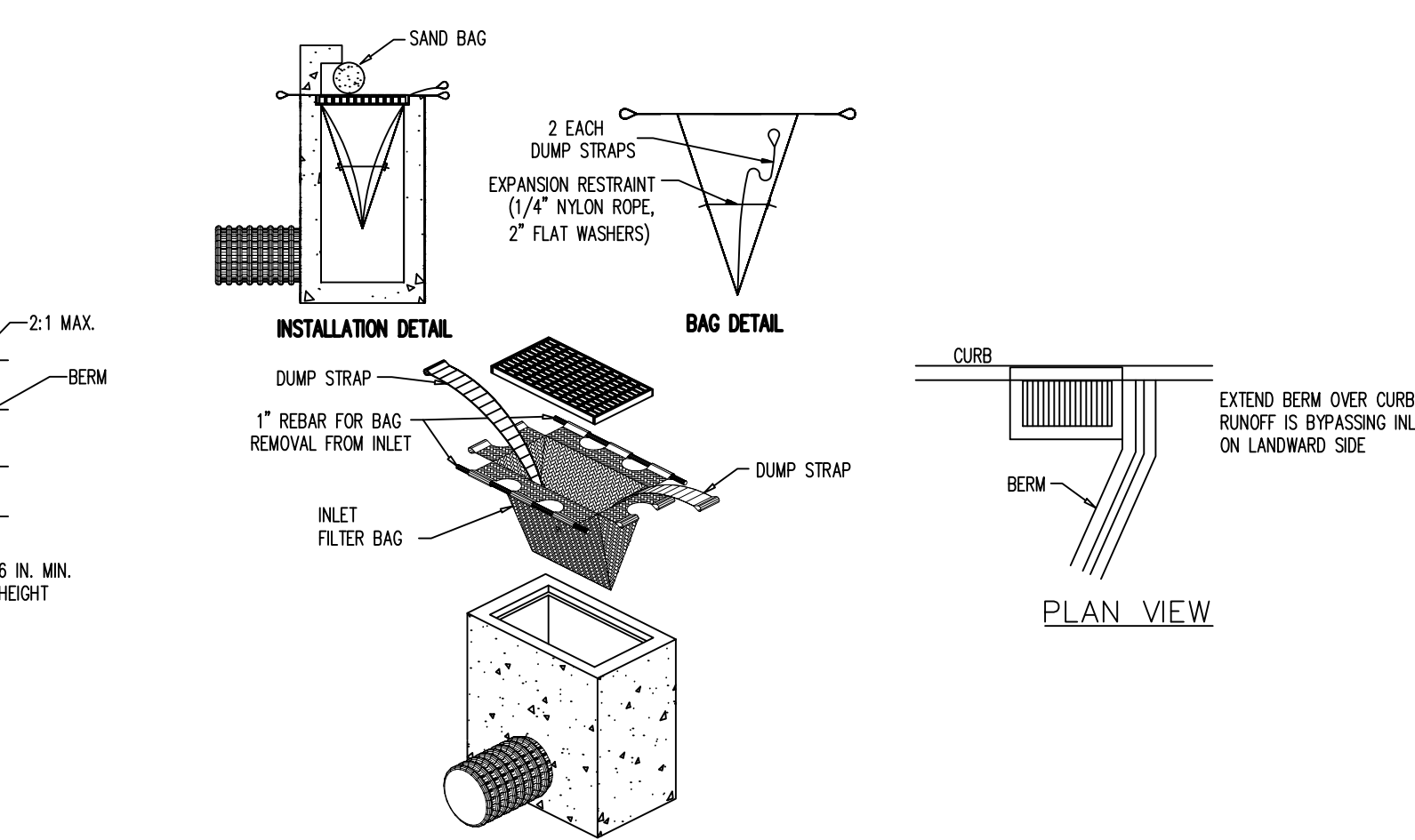
Outer Filtration Mesh

Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch)
3/16" Max. aperture size

Sock fabrics composed of burlap may be used on projects lasting 6 months or less.

Organic Matter Content	25%-100% (dry weight basis)
Organic Partion	Fibrous and elongated
pH	5.5-8.5
Moisture Content	30%-60%
Particle Size	30% - 50% pass through 3/8" sieve
Soluble Salt Concentration	5.0 ds/m (mmhos/cm) Maximum

COMPOST FILTER SOCK TABLE
NOT TO SCALE



INLET FILTER BAG (TYPE C)
NOT TO SCALE

INLET FILTER BAG NOTES:
FILTER BAG SHOULD TRAP PARTICLES LARGER THAN 150 MICRONS. WHEREVER FILTER BAGS ARE USED THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS. INLET FILTER BAGS SHOULD BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. FILTER BAGS SHOULD BE CLEANED AND/OR REPLACED WHEN BAG IS 1/2 FULL DAMAGED FILTER BAGS SHOULD BE REPLACED. NEEDED REPAIRS SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION.

Standard Erosion and Sedimentation Control Plan Notes:

- 1. All earth disturbances, including clearing and grubbing as well as cuts and fills shall be done in accordance with the approved E&S plan.
2. At least 7 days prior to starting any earth disturbance activities...
3. At least 3 days prior to starting any earth disturbance activities...
14. Until the site is stabilized, all erosion and sediment BMPs shall be maintained properly.

General Construction Notes:

- 1.) All water pumped from the site must be pumped through a pumped water filter bag as specified on the Erosion and Sedimentation Control Details Sheet.
2.) All temporary seeding shall be done within 72 hours of the completion of disturbances for all areas requiring vegetative cover.

Staging of Earthmoving Activities Construction Sequence

All earth disturbance activities shall proceed in accordance with the following staging of earthmoving activities. Each stage shall be completed before a subsequent stage is initiated.

- A. Field mark/locate the limits of disturbance as shown on the Erosion and Sedimentation Control Plan (E&SCP).
B. Install both of the rock construction entrances for the site, as shown on the E&SCP.
C. Install all silt sock as shown on the E&SCP.
D. Strip the topsoil from the site construction area and place the topsoil at the location shown on the E&SCP.

Temporary Control Measures

Temporary control measures will be implemented to ensure that erosion is minimized and that sediment is retained during construction. The rock construction entrance will be provided at the site entrance to prevent tracking of sediment from the site.

Temporary seeding on all disturbed areas shall be done immediately after grading is finished and shall consist of the following:

Table with 2 columns: Item and Rate. Includes Agricultural grade limestone (1 ton / acre), Fertilizer (500 lbs. / acre), Annual ryegrass (40 lbs. / acre), and Mulch (3 tons / acre).

Permanent Control Measures

Permanent control measures include the infiltration sump, grate inlet skimmer boxes, and seeding / landscaping. Seeding specifications are for graded or cleared areas where permanent vegetative cover is needed.

Soil Enhancements: It is recommended that site specific soil testing be performed. Lieu of soil test recommendations, use the following schedule:

- 1) Acceptable - Apply 6 tons per acre Dolomitic Limestone (240 lbs/ 1000 s.f.) and 1000 lbs/acre 10-20-20 fertilizer (25 lbs/ 1000 s.f.) before seeding.
2) Topsoil Placement - Topsoil shall be placed at a minimum 4" in depth over disturbed vegetated areas.

Permanent Seeding shall consist of the following:

Table with 2 columns: Item and Rate. Includes Seed Mixture (102 lbs./acre), Mulch (straw) (3 tons/ acre), and a note about mulching.

- 1.) Tracking: The process of cutting mulch into the soil via equipment that runs on tracks, is employed primarily on slopes 3:1 or steeper.
2.) Mulch Nettings: Staple lightweight biodegradable paper, plastic or cotton netting over the mulch according to the manufacturer's recommendations.

Maintenance Program

During construction, the contractor will be responsible for maintenance and repair of all erosion and sedimentation control facilities. These facilities should be inspected daily and after every runoff event greater than 0.25".

Construction Entrance:

- a. The entrance shall be maintained in a condition that will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measure used to trap sediment.

Topsoil Stockpile:

- a. The topsoil stockpile shall be seeded with the temporary seeding mixture to ensure proper stabilization. Any additional topsoil spread at these locations shall also be seeded with the temporary seeding mixture.

Permanent Seeding:

- a. If the vegetative cover is not established uniformly by the third mowing, the contractor shall reapply topsoil if necessary and seed and mulch as needed to provide adequate cover.

Inlet Protection:

- a. Inlet filter bags should be inspected on a weekly basis and after each runoff event. Needed repairs should be initiated immediately after the inspection.
b. Filter bags should be cleaned and/or replaced when the bag is 1/2 full. Damaged bags should be replaced.

Silt socks:

- a. The Contractor shall maintain the socks in a functional condition at all times and it shall be routinely inspected.
b. Where the sock requires repair, it will be routinely repaired.
c. The contractor shall remove sediment collected at the base of the sock when they reach 1/2 of the exposed height of the sock.

Pumped Water Filter Bag:

- a. The contractor shall maintain the filter bag in a functional condition at all times and routinely inspect and repair as required.
b. Filter bags shall be replaced when they become 1/2 full and spare bags shall be kept available for replacement of failed or filled filter bags.

Recycling and Disposal of Materials

The operator shall remove from the site, recycle, or dispose of all building materials and wastes in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1 et seq., and 287.1 et seq.

Wastes generated during the construction of this project shall be recycled if at all possible. Any materials that cannot be recycled or reused shall be disposed of at a Pennsylvania Department of Environmental Protection approved landfill.

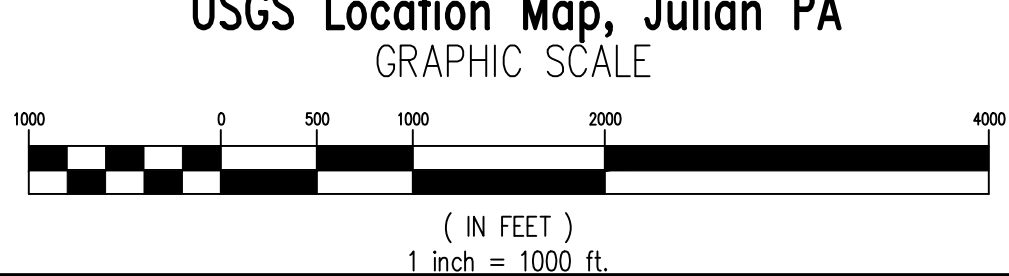
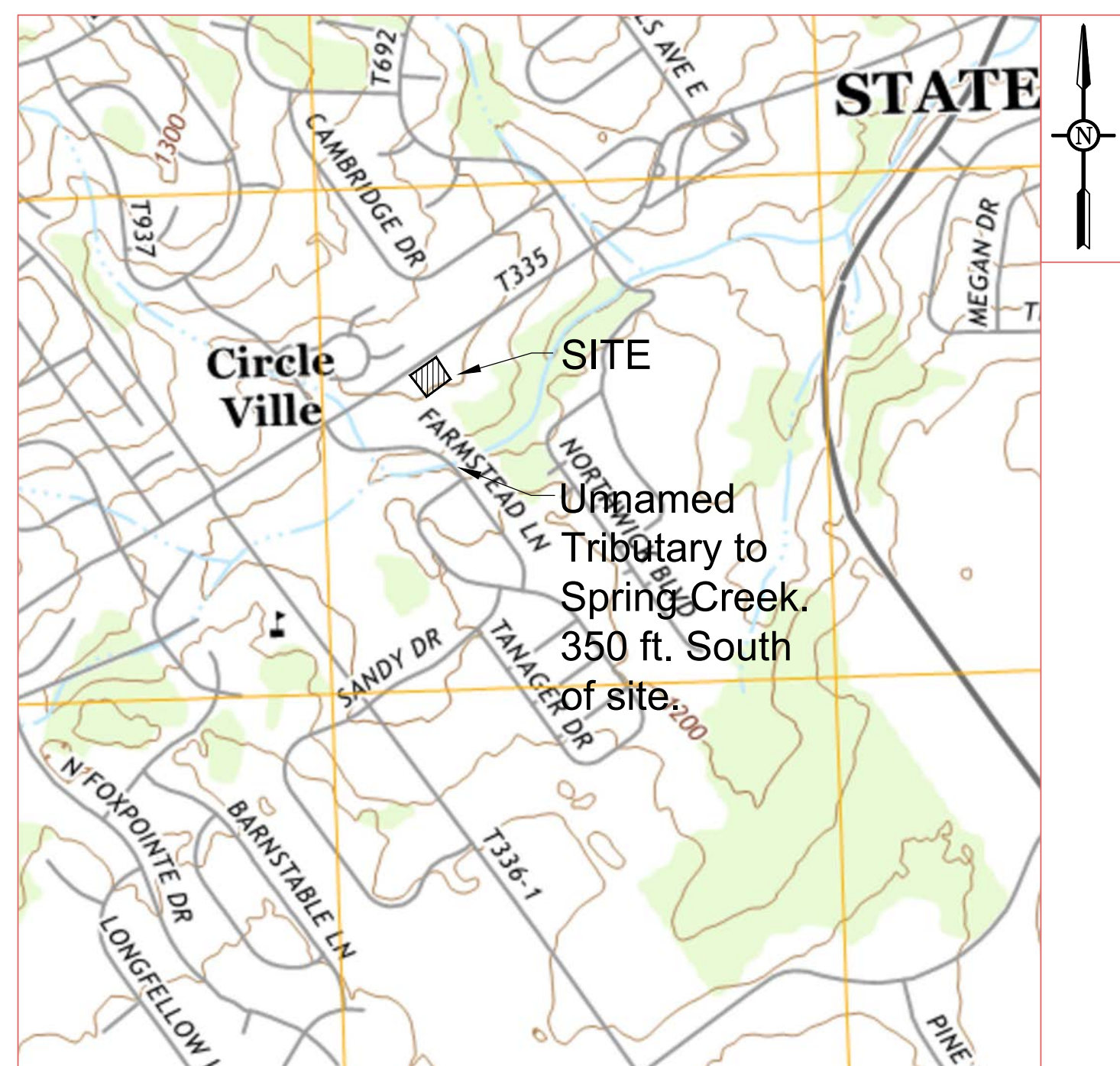
Responsibilities for Fill Materials

The contractor is responsible to use environmental due diligence to ensure any fill material required to be imported to or exported from the site qualifies as Clean Fill.

Clean Fill is defined as: Uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and is recognizable as such.

Environmental due diligence: Investigative techniques, including, but not limited to, visual property inspections, electronic data base searches, review of property ownership, review of property use history, Sanborn maps, environmental questionnaires, transaction screens, analytical testing, environmental assessments or audits.

Fill material that does not qualify as clean fill is regulated fill. Regulated fill is waste and must be managed in accordance with the Department's municipal or residual waste regulations based on 25 Pa. Code Chapters 287 Residual Waste management or 271 Municipal Waste Management, whichever is applicable.



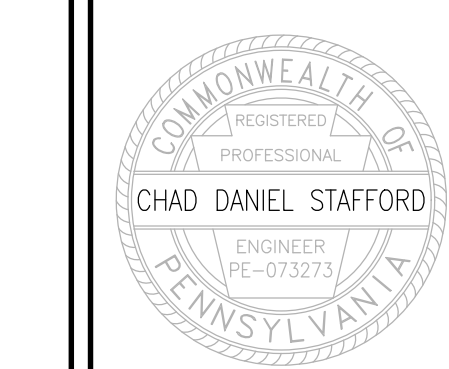
Penn Terra ENGINEERING INC. CENTRAL PENNSYLVANIA REGION OFFICE: 3075 ENTERPRISE DRIVE SUITE 100 STATE COLLEGE, PA 16801

LANCASTER REGION OFFICE: 3904 B ABEL DRIVE COLUMBIA, PA 17512 PH: 717-522-5031 Fax: 717-522-5046

WWW.PENNTERRA.COM

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Revision table with columns: No., Date, Description. Includes entries for 12-4-22, 11-4-22, 10-5-22, 8-15-22, 7-28-22.

Table with columns: No., Date, Description. Includes entries for 12-4-22, 11-4-22, 10-5-22, 8-15-22, 7-28-22.

MP MACHINERY AND TESTING AT 2161 SANDY DRIVE, STATE COLLEGE

FERCUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PANS EROSION AND SEDIMENTATION CONTROL NARRATIVE

PROJECT NO. 21316 DATE MAY 3, 2022 SCALE N.T.S. SHEET NO. ES3



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
 Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: Planning Commission

FROM: Kristina Bassett, Community Planner

DATE: February 7, 2022

SUBJECT: Consideration of a Modification/Waiver

On December 2, 2022, Judy Brooks requested a modification from Chapter 22 – 5C01.1.B.(2) – Off-Street Parking and Loading. This section of the ordinance includes the parking calculations for required parking spaces on a site.

Ms. Brooks has been operating her business, Hair Studio 111, at 111 N. Butz Street since 2008 and has experienced significant business growth. She is looking to add an additional stylist chair to accommodate her growing business.

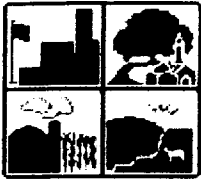
Currently, the parking requirement for personal service establishments is one (1) space per 200 square feet of net floor area or 2 parking spaces per customer chair, whichever is greater. With the additional stylist chair, the applicant would be required to provide two (2) additional parking spaces on site. Ms. Brooks is proposing to utilize on-street parking that is located in front of her business to satisfy the requirements.

Staff has reviewed the request and is recommending the Planning Commission approve the request because on-street parking is provided directly in front of the business and the building footprint (occupancy) isn't changing

Staff Recommendation: *That the Planning Commission recommend approval of the Request for Consideration of a Modification of §22- 5C01.1.B.(2) - Off-Street Parking and Loading requirements for Hair Studio 111.*

Recommended Motion: *Move that the Planning Commission recommend approval to the Board of Supervisors of the Request for Consideration of a Modification/Waiver of §22-5C01.1.B.(2) - Off-Street Parking and Loading requirements for Hair Studio 111.*

DEC 07 2022



APPLICATION FOR CONSIDERATION OF A MODIFICATION

Ferguson Township, Centre County

Submittal Date: 12-2-2022

A fee of \$50.00 is required at the time of submitting this application.

The undersigned hereby applies for approval of a modification/waiver, submitted herewith and described below:

Applicant Information

Judy Brooks - Hair Studio 111
Name

111 N. Butz St. State College, 16801
Street Address City Zip

(814) 280-3258
Phone Number

Property/Plan Information

NA
Plan Name

Plan Number Plan Date

Project Location Parcel Number

Name of Property Owner(s)

Street Address City Zip

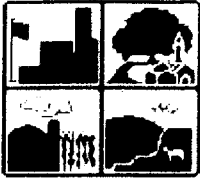
Application Type:

- Subdivision
- Terraced Streetscape District (TSD)
- Land Development
- Traditional Town Development (TSD) District

Modification/Waiver Request Information

Specific Section(s) of the Subdivision and Land Development Ordinance or Design Standards for which a Modification/Waiver is requested:

5c OFF-Street Parking and Loading
22-501



APPLICATION FOR CONSIDERATION OF A MODIFICATION
Ferguson Township, Centre County

State any proposed alternative(s) to the requirement:

I'm proposing to use on street parking directly in front of the salon to satisfy the 2 extra spots required to add a third chair to my salon.

Please state in full, the grounds and facts of the unreasonableness or hardship the Ferguson Township Subdivision and Land Development Ordinance has placed on the property.

Hair Studio III was established in 2008. At that time I requested a variance to allow me to lease a parking space from the neighboring Insurance Office (now owned by Mike Karstetter). The variance was granted to allow me to have 2 stylist chairs. The expenses of the business have increased immensely. I'm asking to put in a third chair to allow myself to work longer hours. We currently work in shifts and opposite days.

*If necessary, please continue with your hardship specification on another page.

cont'd.

The undersigned hereby represents that, to the best of their knowledge and belief, all information listed above is true, correct, and complete.

Signature Judy Brooks

Date 12.7.22

-For Office Use Only-

Date Received: _____ By: _____

Date Paid: _____ Check No.: _____ Amount: _____

Advertisement Dates: _____ Planning Commission Review Date: _____

Board of Supervisors Meeting Date: _____

Obviously I could generate more income if I added a third chair. Trying to maintain a small business in this day and time is almost impossible.

There is 2 hour parking in front of the business on both sides of N. Butz Street. I'm asking to be able to utilize those as my 2 parking spaces required for adding a third chair.

Thank you for your time,
Judy Brooks

Ferguson Township
3147 Research Drive
State College, PA 16801
814-238-4651
814-238-3454 (fax)
www.twp.ferguson.pa.us

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Receipt No. 00021287

12/02/2022 11:45 AM

Hair Studio 111

01 Zoning Permit /MODIFICATION AP P @ 111 N BUTZ	50.00
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Check # 5724	
Receipt Total	50.00
Payment Total	50.00

Thank you!

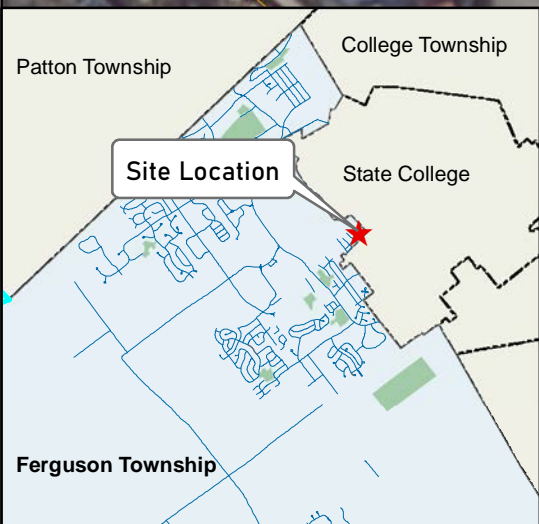


111 N. Butz Street

Grass Alley

N. Butz Street

SR 26
West College Avenue



Patton Township

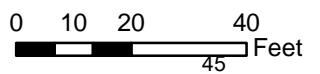
College Township

Site Location

State College

Ferguson Township

Location Map
Hair Studio 111 - Consideration of a Modification/Waiver



2023 FERGUSON TOWNSHIP MEETING CALENDAR

JANUARY						
S	M	T	W	R	F	S
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				
<i>New Years Day, MLK Day</i>						

FEBRUARY						
S	M	T	W	R	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28				
<i>President's Day</i>						

MARCH						
S	M	T	W	R	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
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26	27	28	29	30	31	

APRIL						
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23	24	25	26	27	28	29
30						

MAY						
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14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			
<i>Memorial Day</i>						

JUNE						
S	M	T	W	R	F	S
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	
<i>Juneteenth</i>						

JULY						
S	M	T	W	R	F	S
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9	10	11	12	13	14	15
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23	24	25	26	27	28	29
30	31					
<i>Independence Day</i>						

AUGUST						
S	M	T	W	R	F	S
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
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27	28	29	30	31		

SEPTEMBER						
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3	4	5	6	7	8	9
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17	18	19	20	21	22	23
24	25	26	27	28	29	30
<i>Labor Day</i>						

OCTOBER						
S	M	T	W	R	F	S
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29	30	31				

NOVEMBER						
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12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		
<i>Veterans Day, Thanksgiving Day</i>						

DECEMBER						
S	M	T	W	R	F	S
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						
<i>Christmas Day</i>						

	Holiday
	Planning Commission 6 PM