

FERGUSON TOWNSHIP PLANNING COMMISSION
Regular Meeting Agenda
Monday, October 24, 2022, 6:00 PM

Hybrid Meeting

REMOTE PARTICIPANTS:

Join Zoom Meeting:

<https://us02web.zoom.us/j/83268113138>

Meeting ID: 832 6811 3138

[Zoom Access Instructions](#)

IN-PERSON PARTICIPANTS:

**Ferguson Township Municipal
Building**

**Main Meeting Room
3147 Research Drive
State College, PA**

I. CALL TO ORDER

II. CITIZENS INPUT

III. APPROVAL OF MINUTES

1. September 26, 2022, Regular Meeting Minutes

IV. NEW BUSINESS

1. Salvation Baptist Church Preliminary Land Development Plan

Kristina Bassett, Community Planner

On June 1, 2022, Lichty Engineering submitted, a Preliminary Land Development Plan on behalf of their client, The Salvation Baptist Church. Salvation Baptist Church, formerly known as The Russian Church of Christ, is located at 3645 West College Avenue (TP: 24-004-,078-,0000-). This parcel is approximately 60.61 acres and is zoned Rural Agricultural (RA) and Corridor Overlay (COD).

This land development plan proposes a fellowship hall and garage, totaling 13,626 SF. At the time of the original land development plan, a fellowship hall and garage was proposed adjacent to the church and was never constructed. Since it has been more than five (5) years since the last approved land development plan, a new plan is required.

Staff has reviewed the 4th resubmission of the preliminary land development plan and is recommending conditional approval subject to the conditions described in the Community Planner memorandum, dated October 20, 2022.

Recommended Motion: Move that the Planning Commission recommend conditional approval of the Salvation Baptist Preliminary Land Development Plan to the Board of Supervisors subject to the conditions described in the Community Planner memorandum dated October 20, 2022.



Visit the Township's Web Site www.twp.ferguson.pa.us and sign up for *Notify Me!* to receive email notices about Township Information.

Staff Recommendation: That the Planning Commission recommend conditional approval to the Board of Supervisors.

2. College Township Pedestrian Facilities Master Plan Review

Kristina Bassett, Community Planner

College Township has submitted *Walkable College Township, a Pedestrian Facilities Master Plan for Ferguson Township's review and comment.*

Included in the agenda is a memorandum from Lindsay Schoch, AICP, College Township Principal Planner, that includes a link below to review the master plan and survey to submit comments:

<https://pedestrian-facilities-master-plan-college-township.hub.arcgis.com/>

Recommended Motion: No action is required.

Staff Recommendation: Review the Pedestrian Facilities Master Plan and provide comments to staff.

V. COMMUNICATIONS TO THE COMMISSION

1. Update on Cecil Irvin Park Grant

Staff received a request to provide a brief update on the Cecil Irvin Park State Grant that the Township recently applied for. On September 6, 2022, the Pennsylvania Department of Conservation and Natural Resources (DCNR) opened an application period for a supplemental fall funding round. As a result of this opportunity, Staff proposed to apply for this grant for the construction of Cecil Irvin Park—Phase II, a vital, urgent need providing connectivity throughout the Pine Grove Mills Village area. Additionally, this park features climate action affirmative Green Infrastructure via native seed mixes and pervious paving, additional walking paths and alternative amenities suggested as a result of a 2021 review process by the Pine Grove Mills Small Area Plan Committee. Amenities include dual walking loops, ADA accessible pathways, benches, parking, and a pavilion providing access to recreation of all.

VI. OFFICIAL REPORTS AND CORRESPONDENCE

1. Board of Supervisors Report
2. CRPC Report

3. Land Development Plans

PLAN NAME	SUBMISSION DATE	REVIEW PERIOD	PLAN EXPIRATION
All Washed Up Auto Spa Preliminary Land Development Plan	September 12, 2022	Comments returned September 28, 2022	December 11, 2022
Farmstead View Preliminary Subdivision Plan	July, 30, 2021	Conditions of approval returned June 27, 2022	August 24, 2022 (Conditional Approval by BOS on June 21, 2022)
Peace Center and Cemetery Preliminary Land Development Plan	May 18, ,2021	Second Review comments returned October 12, 2022	January 31, 2023
Fusion Japanese Steakhouse		WITHDRAWN	
IMBT Preliminary Subdivision Plan	January 31, 2022	Conditions of approval returned September 7, 2022	November 2, 2022 (Conditional Approval by BOS on September 6, 2022)
1004 West College Ave Vertical Mixed-Use Building	March 14, 2022	Second Review comments returned October 5, 2022	December 12, 2022
MP Machinery Preliminary Land Development Plan	April 6, 2022	Under Staff's Third Review. Comments due October 27, 2022	November 30, 2022
Minor Subdivision /Replot of TP 4-433-007-0000 and 24-433-008-0000 at 2151 and 2161 Sandy Drive	August 30, 2022	Conditions of approval returned October 5, 2022	November 29, 2022 (Conditional Approval by BOS on October 3, 2022)
Salvation Baptist Church Preliminary Land Development Plan	June 1, 2022	PC Review 10/24/2022 (BOS 11/1/2022)	November 7, 2022
125 East Pine Grove Road Preliminary Land Development Plan	October 12, 2022	Under Staff's First Review. Comments due October 26, 2022	January 10, 2023

4. Staff Updates

VII. ADJOURNMENT

**FERGUSON TOWNSHIP PLANNING COMMISSION
REGULAR MEETING MINUTES
MONDAY, SEPTEMBER 26, 2022
6:00 PM**

ATTENDANCE

The Planning Commission held its second meeting of the month on Monday, September 26, 2022, as a hybrid meeting. In attendance:

Commission:

Jerry Binney – Chair
Rob Crassweller - Secretary
Shannon Holliday
Bill Keough
Lisa Rittenhouse
Dr. Ellen Taricani – Vice Chair
Ralph Wheland
Qian Zhang - Alternate

Staff:

Jeff Ressler - Zoning Administrator
Kristina Bassett – Community Planner

Others in attendance: Rhonda R. Demchak, Recording Secretary

I. CALL TO ORDER

Mr. Binney called the Ferguson Township Planning Commission’s regular meeting to order on Monday, September 26, at 6:00 p.m. and it has been advertised in accordance with the PA Sunshine Act as a hybrid meeting.

Ms. Bassett took roll call, and the Planning Commission had a quorum.

II. CITIZEN INPUT

There were no comments.

III. APPROVAL OF MINUTES

Mr. Wheland moved that the Planning Commission **approve** the September 12, 2022, Regular Meeting Minutes. Dr. Taricani seconded the motion.

Mr. Keough asked if the Township should start indicating on the minutes who was present in the room and who attended virtually to ensure the minutes are being accurately recorded. Dr. Taricani suggested adding a letter beside the name of the Planning Commission members.

The motion passed unanimously.

IV. NEW BUSINESS

1. Subdivision/Replot of TP 24-433-007-0000 and 24-433-008-0000 at 2151 and 2161 Sandy Drive

Ms. Bassett reported Penn Terra Engineering, Inc. submitted on behalf of their client, the ‘Subdivision/Replot of TP 24-433-007-0000 and 24-433-008-0000 at 2151 and 2161 Sandy Drive’ Minor Subdivision Plan. This plan proposes the adjustment of the lot line between the two parcels to add an additional 4,800 SF to TP 24-433-007-0000. No new lots are being created with this submission.

Since this is a minor subdivision plan, it will proceed as a Preliminary/Final submission that will be reviewed once by the Planning Commission and the Board of Supervisors for approval.

Mr. Keough asked which line was being moved. Ms. Bassett and Mr. Ressler reviewed the map that was included in the agenda packet

Mr. Wheland moved that the Planning Commission recommend **approval** to the Board of Supervisors of the Subdivision/Replot of TP 24-433-007-0000 and 24-433-008-0000 at 2151 and 2161 Sandy Drive. Mr. Crassweller seconded the motion. The motion passed unanimously.

Mr. Keough suggested using laser lights to indicate a location on a map. Ms. Bassett will ensure they will be available in the future.

V. COMMUNICATIONS TO THE COMMISSION

Please let Ms. Bassett or Ms. Wargo know if you will be attending the October 11th Terraced Streetscape Zoning District Design Charrette session for the Terrace Streetscape District.

VI. OFFICIAL REPORTS AND CORRESPONDENCES

A. Board of Supervisors

Ms. Bassett noted that 165 Volos Lane Minor Land Development Plan was approved by the Board of Supervisors and ACT 50 was approved for a public hearing.

B. CRPC Meeting

Dr. Taricani reported that they did not meet.

C. Land Development Plans

Ms. Bassett reviewed the following:

- a. Farmstead All Washed Up Carwash – First Staff Review
- b. Farmstead View Preliminary Subdivision – Awaiting Response to fifth review
- c. Peace Center and Cemetery Preliminary Land Development Plan – Second Submission under staff review
- d. Fusion Japanese Steakhouse – Awaiting Response to first review
- e. IMBT Preliminary Subdivision Plan– Conditionally approved on September 6, 2022
- f. West College Avenue Vertical Mixed-Use Preliminary Land Development Plan – Second Submission under staff review
- g. MP Machinery Preliminary Land Development Plan –Second staff review
- h. Minor Subdivision of 2161 and 2151 Sandy Drive – PC review on September 26, 2022
- i. Salvation Baptist Church – Second Submission under staff review
- j. 165 Volos Lane (296 W. Pine Grove Road) Minor Land Development Plan– Approved by the BOS on September 20, 2022

Mr. Keough expressed concerns with the alley situation on the IMBT Preliminary Subdivision Plan. Ms. Bassett stated that it won't be addressed until the Land Development Plan is submitted. Mr. Keough suggested adding

expiration dates to the plans. Ms. Bassett will start adding the dates to future agendas.

D. Staff Updates

Ms. Basset reported that on October 11th from 6:00 a.m. – 8:00 p.m. there will be a Terraced Streetscape Zoning District Design Charrette session for the Terrace Streetscape District.

Ms. Bassett reported that the new Ordinance Enforcement Officer will start on October 3rd.

Mr. Binney asked for an update on the Whitehall Road Regional Park. Mr. Keough reported as a member of the Park Authority that it is moving along but with a few problems. The problems are related to digging because of rain, permitting issues, and big rocks. Mr. Keough will get an update soon to be shared.

VII. Adjournment

Mr. Crassweller made a motion to **adjourn** the September 26, 2022, Planning Commission meeting at 6:25 p.m. Mr. Keough seconded the motion. The motion passed unanimously.

Respectfully Submitted,

Rob Crassweller, Secretary
For the Planning Commission



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: Planning Commission

FROM: Kristina Bassett, Community Planner

DATE: September 22, 2022

SUBJECT: **Salvation Baptist Church Preliminary Baptist Church**

On June 1, 2022, Lichty Engineering submitted, a Preliminary Land Development Plan on behalf of their client, The Salvation Baptist Church. Salvation Baptist Church, formerly known as The Russian Church of Christ, is located at 3645 West College Avenue (TP: 24-004-,078-,0000-). This parcel is approximately 60.61 acres and is zoned Rural Agricultural (RA) and Corridor Overlay (COD).

This land development plan proposes a fellowship hall and garage, totaling 13,626 SF. At the time of the original land development plan, a fellowship hall and garage was proposed adjacent to the church and was never constructed. Since it has been more than five (5) years since the last approved land development plan, a new plan is required.

Staff has reviewed the 4th resubmission of the preliminary land development plan and is recommending conditional approval subject to the following conditions:

1. A study should be completed to determine the actual floodplain limits.
2. Riparian Buffer needs to be shown on the plan.
3. A notarized statement by the owner certifying ownership of the property must be included on the plan.
4. Add the drainage easement designation to the Riparian Overlay Zoning District label on the Stormwater Plan. (Same as LDP).

Recommended Motion: Move that the Planning Commission recommend conditional approval of the Salvation Baptist Preliminary Land Development Plan to the Board of Supervisors subject to the conditions described above.



TOWNSHIP OF FERGUSON

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www.twp.ferguson.pa.us

October 19, 2022

Joseph E. Lichy, P.E.
687 Berkshire Drive
State College, PA 16803

RE: Salvation Baptist Church Preliminary Land Development Plan—4th Review

Dear Mr. Lichy,

Thank you for resubmitting the Salvation Baptist Church Preliminary Land Development Plan, dated, February 9, 2022, last revised October 13, 2022, for our review. The submission has been reviewed by staff and agencies as required by the Township's Code of Ordinances.

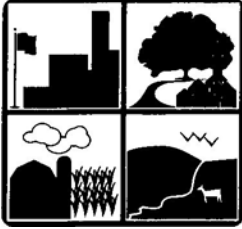
Please review and respond to the following comments and resubmit at your earliest convenience. Feel free to contact staff with any questions.

Should you have any additional questions, please contact me at jwargo@twp.ferguson.pa.us or 570-452-5102.

Sincerely,

Jenna Wargo, AICP
Director of Planning & Zoning

cc: Kristina Bassett, Community Planner
LF: 1978-3-2B



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: Kristina Bassett, Community Planner

FROM: Jeffrey Ressler, Zoning Administrator

DATE: October 18, 2022

SUBJECT: Salvation Baptist Church Preliminary Plan 4th Review

2. Reference to and the conditions of the Variance granted June 28, 2017 need to be listed on the plan. Conditions include a waterways encroachment permit. **Comment addressed.**
3. Floodplains, as defined by the Township Zoning Ordinance [Chapter 271 must be included on the plan. (Chapter 22, Section 401.1.A.2.c.ii) Floodplain is Zone A. A study should be completed to determine the actual floodplain limits. **Comment not addressed. Riparian Buffer also needs to be shown on the plan.**
16. A signed notarized statement by the owner certifying ownership of the property must be included on the plan. (Chapter 22, Section 401 C.I .1) **Comment Remains.**



NTM Engineering, Inc.
341 Science Park Road, Suite 203
State College, PA 16803
814-862-9191

October 18, 2022

Via Email

Township of Ferguson
3147 Research Drive
State College, Pennsylvania 16801

Attn: Mr. Ronald Seybert, Township Engineer

**RE: Salvation Baptist Church Plan
Stormwater Management Site Plan Review**

Dear Ron,

We have completed our initial stormwater management review for the Salvation Russian Baptist Church Plan. The applicant's Design Professional, Lichty Engineering, submitted the following information that serves as the basis of our review:

1. Salvation Baptist Church Stormwater Management Plan Update with revisions through October 13, 2022. (5 sheets)
2. Salvation Baptist Church 2022 Land Development Plan Update Stormwater Management Report Dated August 2022 with revisions through October 14, 2022..
3. Salvation Baptist Church Land Development Plan Sheets LD-1 and LD-2 last revised October 13, 2022.
4. Comment response letter dated October 14, 2022.

NTM has reviewed these documents for compliance with the Township stormwater management ordinance (Chapter 26 of the Township Code. Our continuing comments are provided in bold text below.

4. **26-308.1.A.** Provide a drainage easement for the drainageway traversing the property.

September 19, 2022: Comment not addressed. Easement not clearly identified on Stormwater Management Plan.

October 18, 2022: Comment partially addressed. Add the drainage easement designation to the Riparian Overlay Zoning District label on the Stormwater plan. This same revision should be made on the Land Development Plan.

7. **26-402.** Provide a complete and separate Stormwater Management Site Plan Report and Stormwater Management Site Plan Drawings meeting the requirements of Section 26-402

documenting the site stormwater management design. Provide analysis based on Township Standards outlined in Chapter 26 of the Township Code.

September 19, 2022: Comment partially addressed. E&S Plans and details are to be part of the Land Development Plan and not part of the Stormwater Management Site Plan. The PCSM Plans include a significant amount of duplicate information already on the Stormwater Plans. All proposed stormwater management elements required by Township Ordinance should be clearly shown and detailed on the stormwater management site plan. Add a complete Operation and Maintenance matrix to the Stormwater Management Site Plan.

October 18, 2022: Comment addressed.

8. **26-402.** Plans and details for all existing stormwater management facilities must be included on the plan based on as-built information.

September 19, 2022: Clearly identify all as-built information on the plan and include as-built details for Basin 1.

October 18, 2022: Comment addressed.

10. **26-402.** Provide detail of the inlet filter on the plans. The inlet filter must filter oil and petroleum as well as sediment since the site is in a well head protection area.

September 19, 2022: The permanent inlet detail is currently included on the E&S and PCSM plans. When consolidating information ensure that the detail is included as part of the complete Stormwater Management Site Plan.

October 18, 2022: Comment addressed.

11. **26-402.** Provide details of the restoration process (including how any compacted soils are to be restored), and final planting materials and details proposed for the restoration area. Restoration methods consistent with PADEP BMP 6.7.2, Landscape Restoration, and BMP 6.7.3, Soil Amendment and Restoration should be applied to be consistent with the runoff curve number used for this area in the post development analysis.

September 19, 2022: Comment partially addressed. Revise Note 10 on Sheet 3 to indicate that all areas of soil compaction to be renovated to a depth of 6 inches or to the depth of compaction whichever is greater.

October 18, 2022: Comment addressed.

Mr. Ronald Seybert

Page 3

October 18, 2022

12. **26-402.** Erosion and Sedimentation Control Plan to reference the Stormwater Management Site Plan Drawings and Report.

September 19, 2022: Comment partially addressed. The E&S plans are to be included with the site plan. Update the reference to indicate same. Also include the latest revisions date in the reference.

October 18, 2022: Comment addressed.

13. 26-402. Reference to the Stormwater Management Site Plan Report and E&S Plans to be included on Stormwater Management Site Plan Drawings.

September 19, 2022: Comment partially addressed. Include most recent revision date in the reference.

October 18, 2022: Comment addressed.

14. 26-402. Reference to the Stormwater Management Site Plan Drawings and E&S Plan to be included in the Stormwater Management Site Plan Report.

September 19, 2022: Comment not addressed. Also, include reference to the appropriate drawing set when referencing individual drawings in the narrative.

October 18, 2022: Comment addressed.

15. **26-702** Declaration of Stormwater and Access Maintenance Easement for Privately Owned Stormwater Facilities to be executed and recorded by the Owner prior to final approval of the Stormwater Management Site Plan.

September 19, 2022: Applicants response acknowledged. No further response required.

Additional Comments at September 19, 2022:

16. Include documentation identifying the capture volume, recharge volume, and water quality volume per the Township Ordinance. Include demonstration that these values are being met.

October 18, 2022: Comment addressed.

17. Stormwater Management Plan Sheet SW-1. Update the Stormwater Management Plan Set List of Plan Sheet: Delete the Land Development List of Drawings from this sheet. Delete the Planning Commission and Board of Supervisors signature block.

October 18, 2022: Comment addressed.

Mr. Ronald Seybert

Page 4

October 18, 2022

18. Delete the Township Reviewer and Design Engineer Certification blocks from Sheet SW-2.

October 18, 2022: Comment addressed.

19. Include the BMP Operation and Maintenance matrix on the Stormwater Management Site Plan. The matrix should match the information in the Stormwater Report.

October 18, 2022: Comment addressed.

20. On Sheet SW-23 identify the capture depth below the first orifice.

October 18, 2022: Comment addressed.

21. Identify Critical Stages of Construction on the Stormwater Management Plans.

October 18, 2022: Comment addressed.

If you have any questions or require additional information, please feel free to contact me at 814-862-9191.

Sincerely,

NTM Engineering, Inc.



Scott A. Brown, PE, D.WRE

Senior Project Manager

ec: Ms. Jenna Wargo, AICP, Director of Planning and Zoning, Ferguson Township
Mr. James Coslo, Centre County Conservation District

2022 10 18 Salvation Baptist Church r3



LOCATION MAP
SOURCE: PEMA 22001930 PAN
SCALE: 1"=400'

SALVATION BAPTIST CHURCH

**3645 WEST COLLEGE AVENUE
STATE COLLEGE, PA 16801**

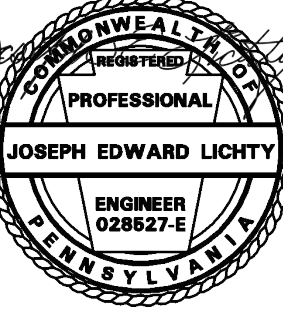
LAND DEVELOPMENT PLAN UPDATE

ORIGINAL ZONING PERMIT APPLICATION DATE: 02/09/2022

PROJECT NARRATIVE

SALVATION BAPTIST CHURCH, AKA RUSSIAN CHURCH OF CHRIST, HAS OPERATED A CHURCH AT 3645 WEST COLLEGE AVENUE SINCE 2003. AT THE TIME OF THE ORIGINAL LAND DEVELOPMENT PLAN, A FELLOWSHIP HALL WAS SHOWN NEXT TO THE CHURCH, BUT THE BUILDING WAS NEVER CONSTRUCTED. SINCE IT HAS BEEN MORE THAN 5-YEARS SINCE THE LAST APPROVED LAND DEVELOPMENT PLAN, THIS LAND DEVELOPMENT PLAN UPDATE IS REQUIRED. A STORMWATER MANAGEMENT PLAN HAS BEEN INCLUDED SINCE NEW FACILITIES WERE NEEDED TO MEET CURRENT PADES' WATER QUALITY REQUIREMENTS. THERE WILL BE NO CHANGE TO THE EXTERIOR LIGHTING EXCEPT FOR SHIELDED LUMINAIRES AT THE DOORS OF THE PROPOSED BUILDINGS. CONSEQUENTLY NO REVISED LIGHTING PLAN IS INCLUDED. IN ADDITION, NO NEW LANDSCAPE PLANTING IS PROPOSED EXCEPT LANDSCAPING NEXT TO THE BUILDINGS. SO NO LANDSCAPE PLAN IS INCLUDED. A VARIANCE FROM BUFFER YARD REQUIREMENTS WAS GRANTED TO THE CHURCH IN 2005 BY THE ZONING HEARING BOARD. AS PART OF THIS UPDATE, THE CHURCH REQUESTS THAT THE VARIANCE BE EXTENDED. PARKING FOR THE CHURCH WAS ADDRESSED DURING THE ORIGINAL PLANNING. TWO HUNDRED TWENTY-FIVE SPACES ARE PROVIDED WITH TWELVE HANDICAPPED SPACES PROVIDED. A TOTAL OF 233 SPACES ARE PROVIDED. 12 HANDICAPPED AND 211 REGULAR SPACES. TEMPORARY AND PERMANENT BICYCLE PARKING IS ALSO PROVIDED PER THE ORDINANCE. WORK PROPOSED AT THE SITE IN THIS UPDATE INCLUDE A FELLOWSHIP HALL AND A NEW GARAGE TOTALING 13,626-SF OF BUILDING COVERAGE. THE STRUCTURES ARE TO BE BUILT DURING 2022 AND 2023. AN NPDES PERMIT FOR DISCHARGE OF RUNOFF FROM CONSTRUCTION ACTIVITIES HAS BEEN APPLIED FOR. THIS PERMIT INCLUDES EROSION AND SEDIMENTATION CONTROL AND STORMWATER MANAGEMENT PLANS. THE SITE IS CURRENTLY SERVED BY UAJA FOR SEWAGE AND SCBWA FOR WATER.

LAND DEVELOPMENT PLAN LIST OF PLAN SHEETS	
SHEET	TITLE
LD-1	LAND DEVELOPMENT PLAN - COVER
LD-2	LAND DEVELOPMENT PLAN - PLAN
TP-1	TREE SURVEY AND PROTECTION PLAN
LS-1	LANDSCAPE PLAN
LT-1	LIGHTING PLAN
ES-1	NPDES EROSION AND SEDIMENTATION CONTROL PLAN - PLAN SHEET
ES-2	NPDES EROSION AND SEDIMENTATION CONTROL PLAN - DETAILS SHEET
AR-1	FELLOWSHIP HALL FLOOR PLAN
AR-2	FELLOWSHIP HALL ELEVATIONS
AR-3	NEW GARAGE FLOOR PLAN
AR-4	NEW GARAGE ELEVATIONS



DRAWN BY: JEL 02/09/2022	SOURCE: Survey
REVISIONS: 08/09/2022 10/13/2022 10/19/2022	SCALE: 1"=50'
ORIGINAL DATE OF ZONING PERMIT APPLICATION: 02/09/2022	

ACT 172 UTILITY LIST

- CABLE - COMCAST CABLE COMMUNICATIONS (814)238-4651
- ELECTRIC - WEST PENN POWER (888)544-4877
- SEWER - UNIVERSITY AREA JOINT AUTHORITY (814)238-5361
- TELEPHONE - VERIZON PENNSYLVANIA LLC
- WATER - STATE COLLEGE BOROUGH WATER AUTHORITY (814)238-6766



GENERAL INFORMATION

PROPERTY OWNER:
 RUSSIAN CHURCH OF CHRIST
 3485 WEST COLLEGE AVE.
 STATE COLLEGE, PA 16803
 DEED BOOK 1960, PAGE 0005
 TAX PARCEL 24-004-078-0000

MUNICIPALITY: FERGUSON TWP. COUNTY: CENTRE
 PARCEL/PROJECT AREA: 25.01-AC TOTAL DISTURBED AREA: 3.65-AC
 LATITUDE/LONGITUDE (CENTER OF PROPERTY): 40°45'10.21"N 77°52'23.57"W
 USGS QUADRANGLE MAP: JULIAN, PA AND STATE COLLEGE, PA
 ORIGINAL LAND DEVELOPMENT PLAN: PLAT BOOK 70, PG 3 (10/27/2003)
 SECOND PLAN RECORDING: PLAT BOOK 75, PG 12.76 (11/19/2005)

BUILDING COVERAGE
 EX. BUILDING COVERAGE: 19,338-SF, 0.444-AC, 1.79%
 NEW BUILDING COVERAGE: 15,108-SF, 0.347-AC, 1.39%
 PROPOSED TOTAL BUILDING COVERAGE: 34,443-SF, 0.791-AC, 3.16%

IMPERVIOUS COVER
 EX. IMPERVIOUS COVER: 120,443-SF, 2.705-AC, 11.86%
 PROPOSED TOTAL IMPERVIOUS COVER: 139,300-SF, 3.195-AC, 12.79%

EXISTING LAND USE: CHURCH ON AGRICULTURAL LANDS. LAND USE IS TO REMAIN THE SAME AFTER NEW DEVELOPMENT.

TAX ID NUMBER:
 24-004-078-0000-
 DEED REFERENCE
 RB 1360, P 0005

ZONING INFORMATION
 ZONING DISTRICT: RA - RURAL AGRICULTURE WITH CORRIDORE OVERLAY DIST.
 MINIMUM SETBACK
 FRONT YARD: 50'
 REAR YARD: 75'
 SIDE YARD: 50'
 MAX. BUILDING AREA: 30%
 MAX. IMPERVIOUS COVER: 30%
 MAX. BUILDING HEIGHT: 45'
 MIN. LOT WIDTH: 60'

RECEIVING WATERS: SLAG CADDEN RUN
 CHAPTER 93: CWF, MF EXISTING: HQ-CWF, MF (PFBC)
 WETLANDS DESIGNATION: NOT PRESENT ON SITE
 SEWAGE DISPOSAL: UNIVERSITY AREA JOINT AUTHORITY
 WATER SOURCE: STATE COLLEGE BOROUGH WATER AUTHORITY

PROFESSIONAL ENGINEER'S CERTIFICATIONS ZONING AND SUBDIVISION AND LAND DEVELOPMENT

I, JOSEPH E. LICHTY, PE, HEREBY CERTIFY THAT THIS PLAN MEETS ALL THE DESIGN REQUIREMENTS OF THE SUBDIVISION AND LAND DEVELOPMENT AND ZONING ORDINANCES OF FERGUSON TOWNSHIP.

 JOSEPH E. LICHTY, PE 10/19/2022
 DATE

STORMWATER MANAGEMENT

I, JOSEPH E. LICHTY, PE, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE FERGUSON TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

 JOSEPH E. LICHTY, PE 10/19/2022
 DATE

OWNERSHIP ACKNOWLEDGEMENT AND STORMWATER ACCEPTANCE

I, VITALY MASLOV, HEREBY CERTIFY THAT I HAVE BEEN APPOINTED BY THE RUSSIAN CHURCH OF CHRIST, AKA SALVATION BAPTIST CHURCH, TO REPRESENT THEIR INTERESTS IN THIS LAND DEVELOPMENT PLAN. I FURTHER CERTIFY THAT THE CHURCH OWNS THE LAND SHOWN ON THE PLAN. THIS CAN BE FOUND AT CENTRE COUNTY RECORDER'S OFFICE IN RB 1360, P 0005. THERE ARE NO OFFERS OF LAND OR FACILITY DEDICATION INCLUDED IN THIS SUBMISSION. THE CHURCH, AS OWNERS, ACKNOWLEDGE THAT THEY ARE RESPONSIBLE FOR MAINTENANCE OF THIS PROPERTY IN ACCORDANCE WITH THE ORDINANCES OF FERGUSON TOWNSHIP. THE STORMWATER MANAGEMENT FACILITIES DEPICTED BY THE PLAN ARE PERMANENT AND WILL BE REMOVED ONLY AFTER APPROVAL OF REVISED PLANS BY FERGUSON TOWNSHIP. THE STORMWATER MANAGEMENT SYSTEM SHALL BE MAINTAINED IN ACCORDANCE WITH THE OWNERSHIP AND MAINTENANCE PLAN.

VITALY MASLOV, CHURCH PROJECT MGR. DATE _____

NOTARY SEAL

SWORN BEFORE ME THIS _____ DAY OF _____, 2022.

NOTARY PUBLIC

TOWNSHIP APPROVALS

FERGUSON TOWNSHIP PLANNING COMMISSION

 DATE CHAIR DATE

 DATE SECRETARY DATE

FERGUSON TOWNSHIP BOARD OF SUPERVISORS

 DATE CHAIR DATE

 DATE SECRETARY DATE

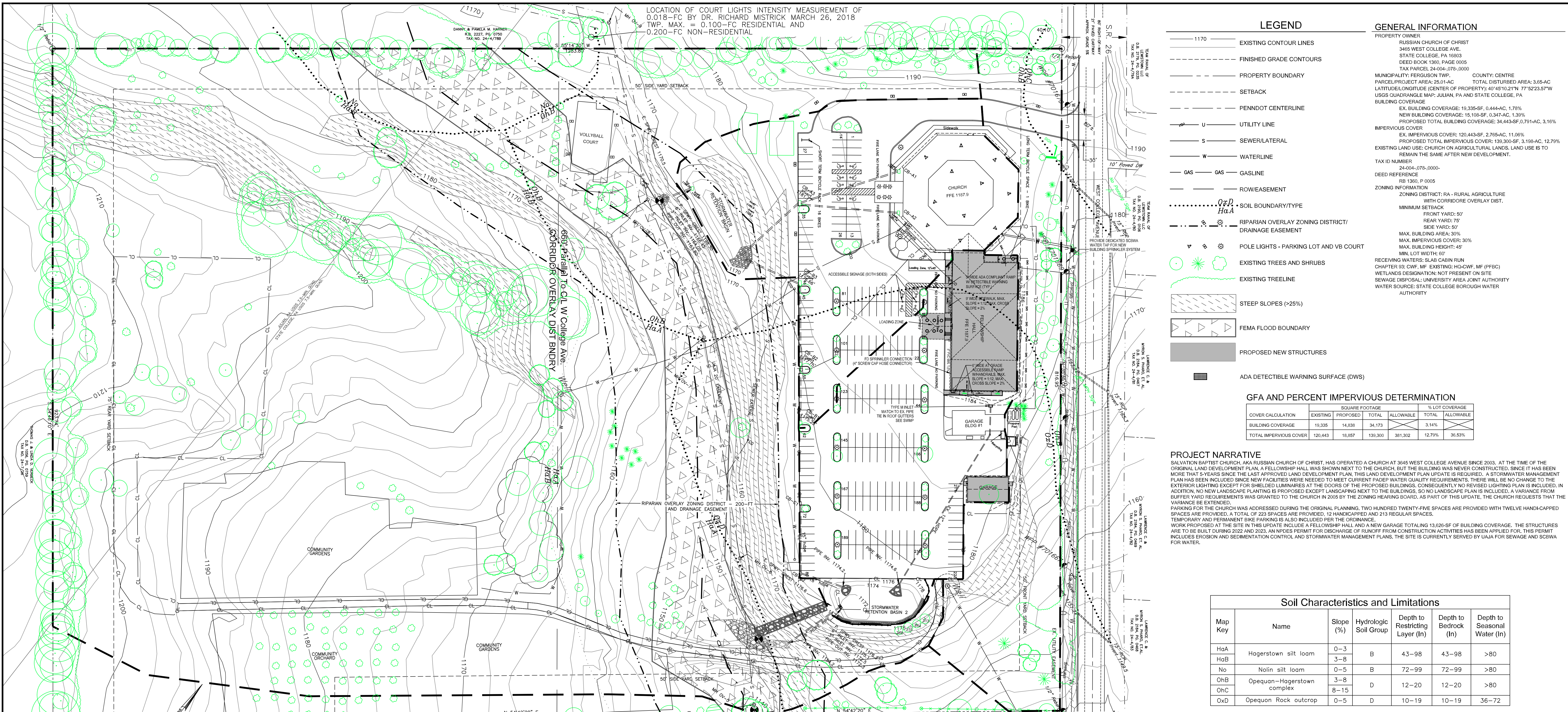
FIRE CHIEF

 DATE

TOWNSHIP REVIEWER CERTIFICATION

I, _____ HAVE REVIEWED AND HEREBY CERTIFY THIS PLAN MEETS ALL THE ENGINEERING DESIGN STANDARDS AND CRITERIA OF THE FERGUSON TOWNSHIP CODE OF ORDINANCES.

SIGNED _____ DATE _____



LEGEND

- 1170 EXISTING CONTOUR LINES
- FINISHED GRADE CONTOURS
- PROPERTY BOUNDARY
- SETBACK
- PENNDOT CENTERLINE
- UTILITY LINE
- SEWER/LATERAL
- WATERLINE
- GAS GASLINE
- ROW/EASEMENT
- SOIL BOUNDARY TYPE
- RIPARIAN OVERLAY ZONING DISTRICT/
DRAINAGE EASEMENT
- POLE LIGHTS - PARKING LOT AND VB COURT
- EXISTING TREES AND SHRUBS
- EXISTING TREELINE
- STEEP SLOPES (>25%)
- FEMA FLOOD BOUNDARY
- PROPOSED NEW STRUCTURES
- ADA DETECTIBLE WARNING SURFACE (DWS)

GENERAL INFORMATION

PROPERTY OWNER
RUSSIAN CHURCH OF CHRIST
3645 WEST COLLEGE AVE.
STATE COLLEGE, PA 16803
DEED BOOK 1360, PAGE 0005
TAX PARCEL 24-004-078-0000

MUNICIPALITY: FERGUSON TWP. COUNTY: CENTRE
PARCEL PROJECT AREA: 25.01 AC. TOTAL DISTURBED AREA: 3.65 AC
LATITUDE/LONGITUDE (CENTER OF PROPERTY): 40°49'21.71"N 77°52'23.57"W
USGS QUADRANGLE MAP: JULIAN, PA AND STATE COLLEGE, PA

BUILDING COVERAGE
EX. BUILDING COVERAGE: 19,335-SF, 0.444-AC, 1.78%
NEW BUILDING COVERAGE: 15,109-SF, 0.347-AC, 1.39%
PROPOSED TOTAL BUILDING COVERAGE: 34,443-SF, 0.791-AC, 3.16%

IMPERVIOUS COVER
EX. IMPERVIOUS COVER: 120,443-SF, 2.765-AC, 11.06%
PROPOSED TOTAL IMPERVIOUS COVER: 139,300-SF, 3.199-AC, 12.79%

EXISTING LAND USE: CHURCH ON AGRICULTURAL LANDS. LAND USE IS TO REMAIN THE SAME AFTER NEW DEVELOPMENT.

TAX ID NUMBER
24-004-078-0000

DEED REFERENCE
RB 1360, P. 0005

ZONING INFORMATION
ZONING DISTRICT: RA - RURAL AGRICULTURE
WITH CORRIDOR OVERLAY DIST.
MINIMUM SETBACK
FRONT YARD: 50'
REAR YARD: 75'
SIDE YARD: 50'

MAX. BUILDING AREA: 30%
MAX. IMPERVIOUS COVER: 30%
MAX. BUILDING HEIGHT: 40'
MIN. LOT WIDTH: 60'

RECEIVING WATERS: SLAB CABIN RUN
CHAPTER 930 CWP. MF. EXISTING HO-C/WF. MF (PFBC)
WETLANDS DESIGNATION: NOT PRESENT ON SITE
SEWAGE DISPOSAL: UNIVERSITY AREA JOINT AUTHORITY
WATER SOURCE: STATE COLLEGE BOROUGH WATER AUTHORITY

GFA AND PERCENT IMPERVIOUS DETERMINATION

COVER CALCULATION	SQUARE FOOTAGE		TOTAL ALLOWABLE	TOTAL ALLOWABLE
	EXISTING	PROPOSED		
BUILDING COVERAGE	19,335	14,836	34,173	3.14%
TOTAL IMPERVIOUS COVER	120,443	18,857	139,300	12.79%
			381,302	36.53%

PROJECT NARRATIVE
SALVATION BAPTIST CHURCH, AKA RUSSIAN CHURCH OF CHRIST, HAS OPERATED A CHURCH AT 3645 WEST COLLEGE AVENUE SINCE 2003. AT THE TIME OF THE ORIGINAL LAND DEVELOPMENT PLAN, A FELLOWSHIP HALL WAS SHOWN NEXT TO THE CHURCH. THIS BUILDING WAS NEVER CONSTRUCTED. SINCE IT HAS BEEN MORE THAN 20 YEARS SINCE THE LAST APPROVED LAND DEVELOPMENT PLAN, THIS LAND DEVELOPMENT PLAN UPDATE IS REQUIRED. A STORMWATER MANAGEMENT PLAN HAS BEEN INCLUDED SINCE NEW FACILITIES WERE NEEDED TO MEET CURRENT FLOOD WATER QUALITY REQUIREMENTS. THERE WILL BE NO CHANGE TO THE EXISTING EXTERIOR LIGHTING EXCEPT FOR SHIELDED LUMINAIRES AT THE DOORS OF THE PROPOSED BUILDINGS. CONSEQUENTLY NO REVISED LIGHTING PLAN IS INCLUDED. IN ADDITION, NO NEW LANDSCAPE PLANTING IS PROPOSED EXCEPT LANDSCAPING NEXT TO THE BUILDINGS. SO NO LANDSCAPE PLAN IS INCLUDED. A VARIANCE FROM BUFFER YARD REQUIREMENTS WAS GRANTED TO THE CHURCH IN 2005 BY THE ZONING HEARING BOARD. AS PART OF THIS UPDATE, THE CHURCH REQUESTS THAT THE VARIANCE BE EXTENDED. PARKING FOR THE CHURCH WAS ADDRESSED DURING THE ORIGINAL PLANNING. TWO HUNDRED TWENTY-FIVE SPACES ARE PROVIDED WITH TWELVE HANDICAPPED SPACES ARE PROVIDED. A TOTAL OF 223 SPACES ARE PROVIDED. 12 HANDICAPPED AND 213 REGULAR SPACES. TEMPORARY AND PERMANENT BIKE PARKING IS ALSO INCLUDED PER THE ORDINANCE. WORK PROPOSED AT THE SITE IN THIS UPDATE INCLUDES A FELLOWSHIP HALL AND A NEW GARAGE TOTALING 13,936-SF OF BUILDING COVERAGE. THE STRUCTURES ARE TO BE BUILT DURING 2022 AND 2023. AN NPDES PERMIT FOR DISCHARGE OF RUNOFF FROM CONSTRUCTION ACTIVITIES HAS BEEN APPLIED FOR. THIS PERMIT INCLUDES EROSION AND SEDIMENTATION CONTROL AND STORMWATER MANAGEMENT PLANS. THE SITE IS CURRENTLY SERVED BY UAJA FOR SEWAGE AND SCBWA FOR WATER.

Soil Characteristics and Limitations

Map Key	Name	Slope (%)	Hydrologic Soil Group	Depth to Restricting Layer (in)	Depth to Bedrock (in)	Depth to Seasonal Water (in)
HgA	Hagerstown silt loam	0-3	B	43-98	43-98	>80
HgB	Hagerstown silt loam	3-8	B	43-98	43-98	>80
No	Nolin silt loam	0-5	B	72-99	72-99	>80
OhB	Opequan-Hagerstown complex	3-8	D	12-20	12-20	>80
OhC	Opequan-Hagerstown complex	8-15	D	12-20	12-20	>80
OxD	Opequan Rock outcrop	0-5	D	10-19	10-19	36-72

- NOTES:**
- EXISTING CONDITIONS PROVIDED ON THIS PLAN ARE BASED ON A SURVEY BY GREGORY A. SHUFRAH, PLS DATED 2006. TOPOGRAPHY IS BASED ON PA UDAR DATA DATED 2006. THE SEWER LINE BUILT ACROSS THE PROPERTY TO THE HARNER PROPERTY LOCATION WAS PROVIDED BY UNIT-TECH, INC. BASED ON AS-BUILT DRAWINGS.
 - THE FOLLOWING FEATURES ARE NOT PRESENT IN THE IMMEDIATE VICINITY OF THE PROPOSED DISTURBED AREA: SINKHOLES AND RAILROADS.
 - ALL PROPOSED DEVELOPMENT IS TO REMAIN PRIVATE PROPERTY.
 - THE FOLLOWING ITEMS REQUIRED FOR PRELIMINARY AND FINAL PLANS ARE NOT APPLICABLE TO THIS PROJECT: WALKWAYS BETWEEN LOTS, STREET LIGHTS, PUBLIC USE LANDS AND INSTALLED MONUMENTS.
 - THE LANDSCAPE PLAN DOES NOT CHANGE WITH THIS UPDATE AND A LANDSCAPE PLAN IS NOT INCLUDED IN THIS SUBMISSION.
 - THE LIGHTING PLAN DOES NOT CHANGE WITH THIS UPDATE AND A LIGHTING PLAN IS NOT INCLUDED IN THIS SUBMISSION. THE LIGHT INTENSITY FOR THE VOLLEYBALL COURT LIGHTS WAS MEASURED AT THE NEARBY PROPERTY BOUNDARY IN 2018 AND FOUND TO BE MUCH BELOW THE LEVEL REQUIRED BY THE TOWNSHIP.
 - NO TREES OR SHRUBS SHALL BE PLANTED IN THE STORMWATER MANAGEMENT AREAS UNLESS APPROVED BY THE TOWNSHIP. TREES AND SHRUBS WHICH VOLUNTEER IN THESE AREAS SHALL BE REMOVED AS QUICKLY AS POSSIBLE.
 - THE FELLOWSHIP HALL SHALL PROVIDE FIRE SUPPRESSION BY SPRINKLER SYSTEM SIMILAR TO THE SYSTEM PROVIDED IN THE EXISTING CHURCH. THE FELLOWSHIP HALL SHALL PROVIDE A SEPARATE SCBWA WATER TAP FOR THE FIRE SUPPRESSION. A STAND PIPE CONNECTION SHALL BE PROVIDED FOR FIRE DEPARTMENT CONNECTION TO THE SPRINKLER SYSTEM.
 - ON AUGUST 18, 2005, THE FERGUSON TOWNSHIP ZONING HEARING BOARD APPROVED A VARIANCE FROM THE BUFFER YARD REQUIREMENT IN THE CORRIDOR OVERLAY DISTRICT AND BUFFER YARD ORDINANCES. AS PART OF THIS SUBMISSION, SALVATION BAPTIST CHURCH REQUESTS AN EXTENSION OF THAT VARIANCE.
 - THERE ARE NO ACTIVE SINKHOLES ON THE PROPERTY.
 - THE DRAINAGEWAY THAT DRENCHES THE PROPERTY NORTH TO SOUTH IS SHOWN BY THE FEMA FLOODPLAIN AND EXISTING CONTOUR LINES AND IS IN CLOSE PROXIMITY TO THE UAJA SEWER MAIN. IT IS NOT SHOWN BY A STREAM SYMBOL BECAUSE IT IS AN EPHEMERAL STREAM. ONLY FLOWING DURING EXTREME PRECIPITATION EVENTS.
 - TREES WITH GREATER THAN 6-IN. CALIPER ARE NUMBERED ON THE PLAN. EACH OF THOSE TREES IS IDENTIFIED ON THE TREE SURVEY AND PROTECTION PLAN (TP-1). THERE ARE NO TREES WITHIN THE STREET RIGHT-OF-WAY.
 - ADA IDENTIFIED FACILITIES SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT AND THE MOST RECENT PUBLISHED STANDARDS.
 - ALL PARKING AND LOADING AREAS ARE SURFACED WITH ASPHALT OR CONCRETE WITH NO SLP SURFACE. NO NEW PAVEMENT IS PROPOSED FOR THIS UPDATE.
 - ON SEPTEMBER 26, 2017, THE FERGUSON TOWNSHIP ZONING HEARING BOARD APPROVED A VARIANCE FROM THE FLOODPLAIN REGULATIONS AND 50 FOOT RIPARIAN BUFFER IN ORDER TO ESTABLISH A DRIVEWAY WITH CULVERTS THAT CROSS THE FLOODPLAIN TO THE BACK HALF OF THE PROPERTY AND TO ESTABLISH A VOLLEYBALL COURT WITH LIGHT STANDARDS WITHIN THE FLOODPLAIN. THE VARIANCE INCLUDED A REQUIREMENT TO OBTAIN A WATERWAYS ENCROACHMENT PERMIT FOR THE DRIVEWAY CROSSING. GP#0714219-003 WAS ISSUED BY THE CENTRE COUNTY CONSERVATION DISTRICT JULY 2, 2019.
 - A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW", BEFORE DRIVEWAY ACCESS TO THE STATE HIGHWAY IS PERMITTED.
 - THE FLOODPLAIN LIMITS SHOWN ON THIS PLAN WERE DETERMINED BASED ON ELEVATIONS ESTABLISHED BY A DETAILED STUDY CONDUCTED IN 2017 DURING THE ZONING HEARING BOARD REVIEW FOR DEVELOPMENT WITHIN THE FLOODPLAIN. (SEE ITEM 15).
 - THE RIPARIAN ZONE SHOWN ON THE PLAN IS BASED ON SEC. 27-213 RIPARIAN BUFFER ZONE (EXCEPT DEFINITION OF 100-FEET ON EITHER SIDE OF A STREAM, SINCE THE EXISTING SWALE HAS NO DEFINED BED AND BANKS AND DOES NOT FLOW EXCEPT DURING STORM EVENTS). THE RIPARIAN ZONE IS SHOWN AS 100-FEET ON EITHER SIDE OF THE CENTERLINE OF THE SWALE.
 - THE SWALE RUNNING THROUGH THE PROPERTY WAS DESIGNATED BY PADEP AS NON-JURISDICTIONAL WATER IN A WATER OBSTRUCTION AND INSPECTION REPORT DATED 02/27/2022.

BUILDING ADDRESSES:

- STREET ADDRESS 3645 WEST COLLEGE AVENUE
- BUILDING IDENTIFIERS:**
A - CHURCH
B - FELLOWSHIP HALL
C - GARAGE BUILDING #1
D - GARAGE BUILDING #2
- EACH BUILDING SHALL HAVE THE BUILDING ID AFFIXED TO AN EXTERIOR WALL FACING THE PARKING LOT. LETTERS SHALL BE 6" TALL OR LARGER. LETTERING SHALL BE IN THE FORM "3645 A."

PARKING SPACE CALCULATIONS

SECTION 22-5021.8.4.D - 1 SPACES/5 SEATS X 550 SEATS = 110 SPACES
HANDICAPPED SPACES: 1 PER 25 SPACES = 4 SPACES
REQUIRED SPACES: 110 REGULAR PLUS 4 HANDICAPPED = 114 TOTAL SPACES
NUMBER PROVIDED: 211 REGULAR PLUS 12 HANDICAPPED = 223 TOTAL SPACES

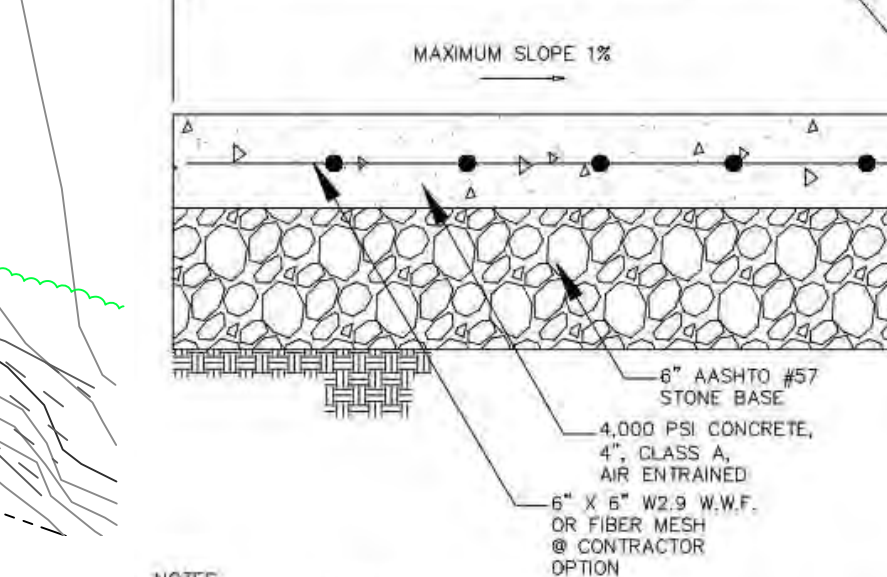
BICYCLE SPACE CALCULATIONS

SECTION 22-5020; TEMPORARY SPACES 2 IN X 50 SEATS = 11 SPACES
PERMANENT SPACES: 1 PER 20 EMPLOYEES; NEED 1 SPACE
REQUIRED SPACES: 11 TEMPORARY PLUS 1 PERMANENT = 12 TOTAL SPACES
NUMBER PROVIDED: 1 TEMPORARY PLUS 1 PERMANENT = 2 TOTAL SPACES
ONE 16-BIKE RACK WILL BE PROVIDED IN THE PARKING LOT, ELIMINATING TWO PRIOR AUTO PARKING SPACES. THE EMPLOYEE PERMANENT PARKING SPACE WILL BE PROVIDED ON THE BACK COVERED PORCH AREA OF THE FELLOWSHIP HALL.

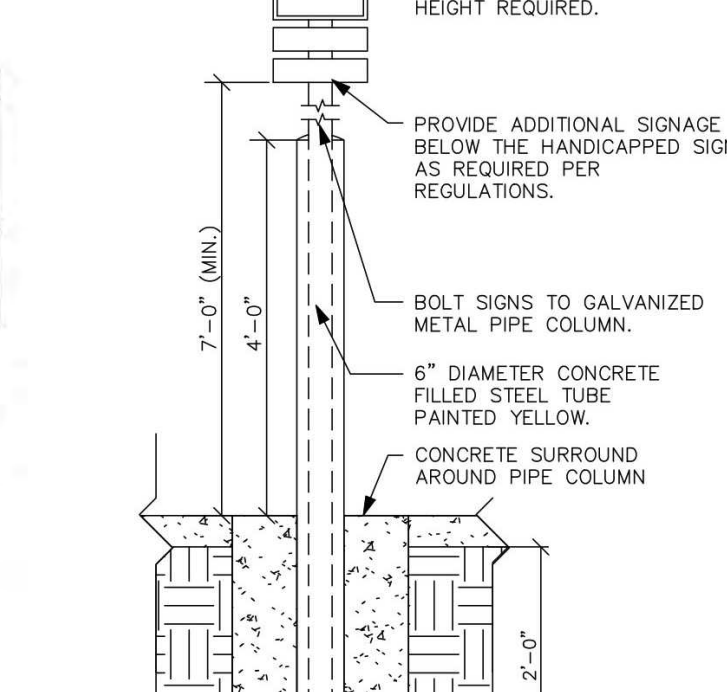
GRAPHIC SCALE



CONCRETE SIDEWALK SECTION DETAIL



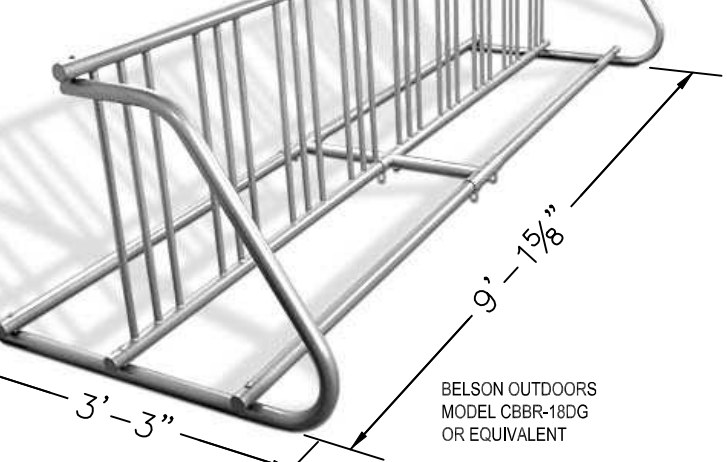
ACCESSIBLE SIGNAGE DETAIL



ACCESSIBLE PARKING SIGNS

NO SCALE

16 BIKE BICYCLE RACK

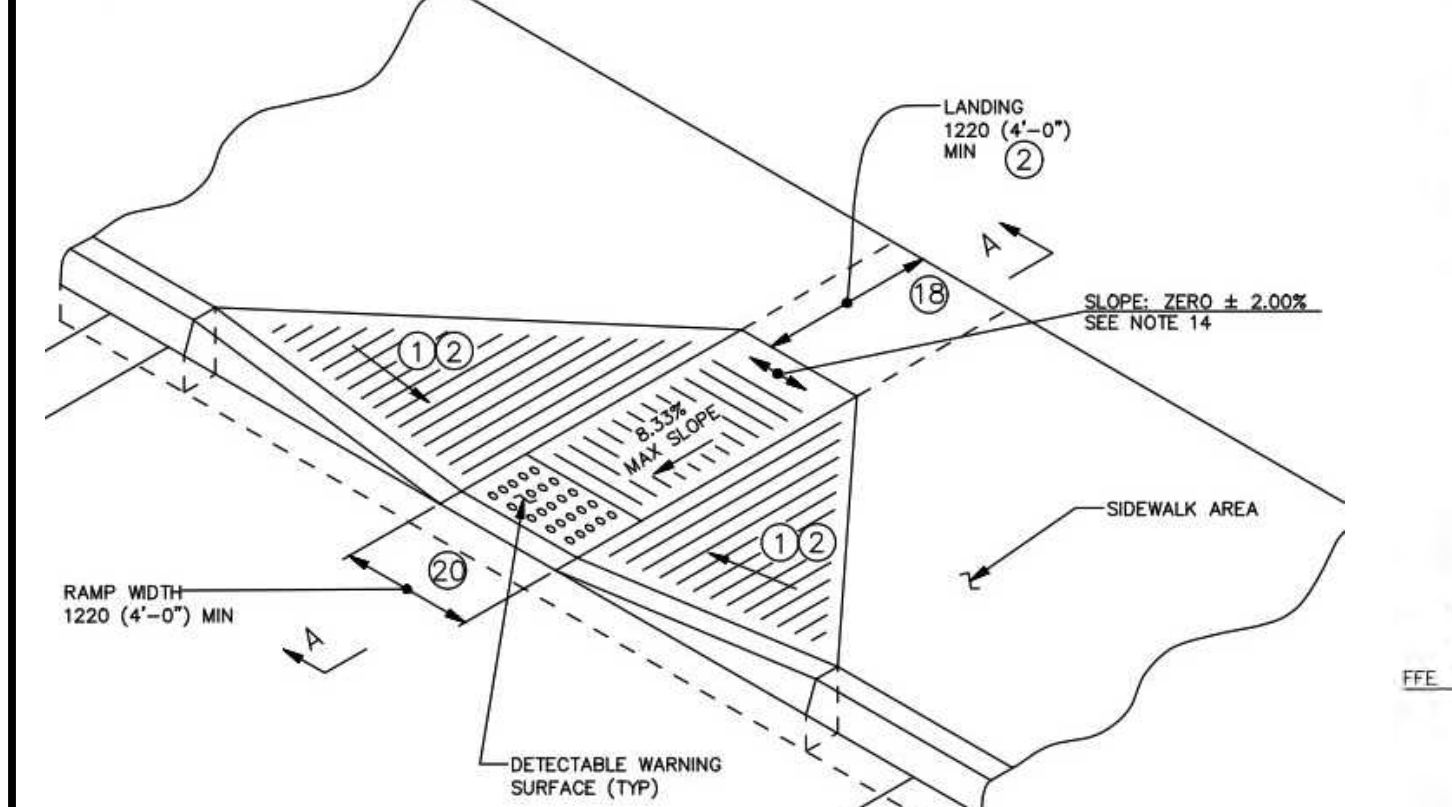


FRONT SIGN



Historical Property Land Use

All lands on the property as well as the adjacent surrounding properties, have been historically utilized for agricultural purposes. This property has been used as a church property since the existing church was constructed in 2003. Historic and new residences dot the adjacent properties in the rural agricultural zoning.

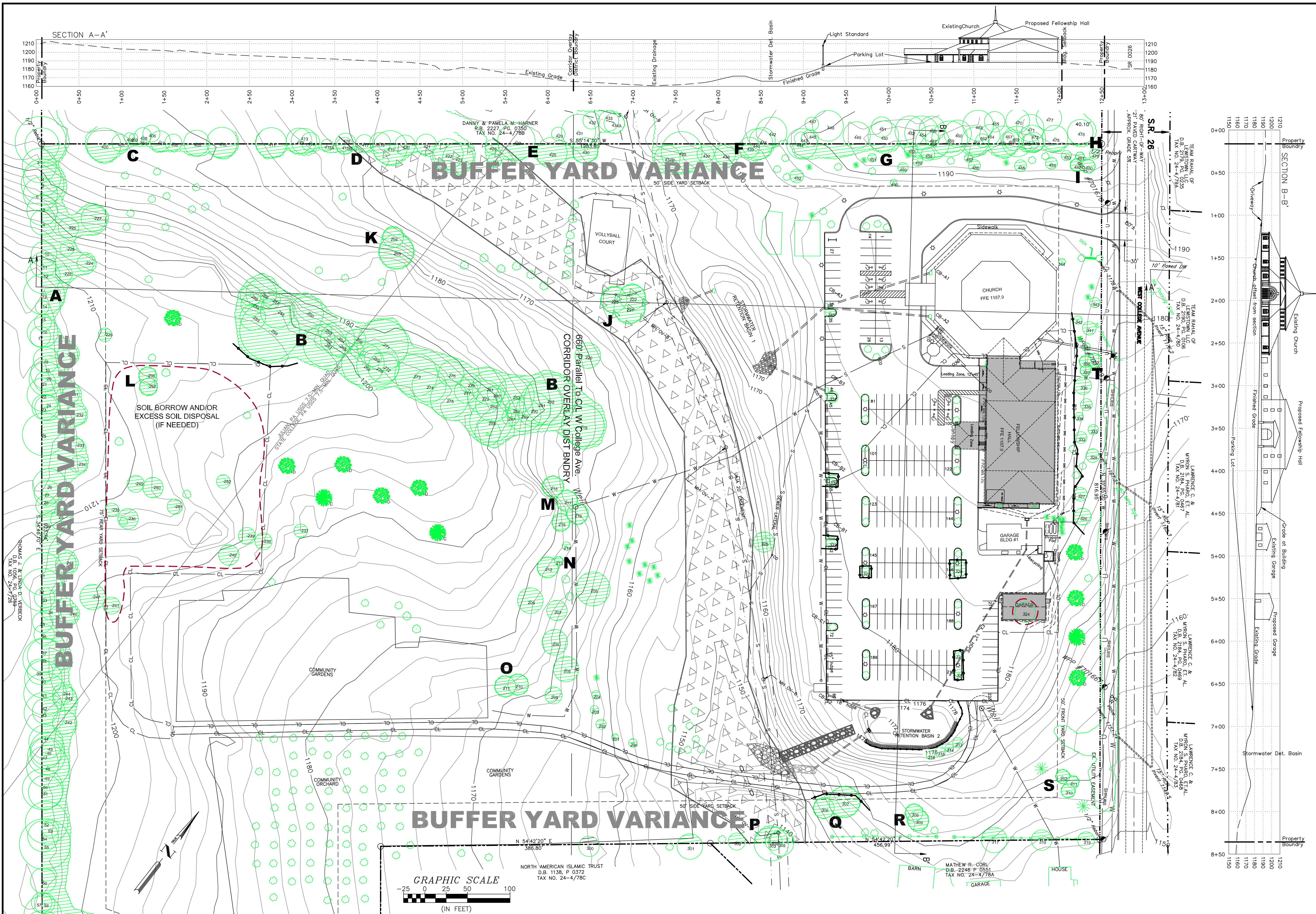


TYPE 1 CURB RAMP

NO SCALE

CONCRETE SIDEWALK HEADER DETAIL

NO SCALE



LEGEND

- 1170 EXISTING CONTOURS
- 1184 FINISHED CONTOURS
- CL CL CL CONSTRUCTION WORK LIMIT
- EX. TREE W/ 6" OR GREATER CALIPER
- INDIVIDUAL CANOPY CALCULATION TREE
- TREE GROUP CANOPY LIMITS
- EX. TREE W/ <6" CALIPER
- EXISTING TREES TO BE REMOVED
- TREE PROTECTION FENCE
- TREES TO BE PLANTED
- FEMA FLOOD BOUNDARY
- SEWER AND EASEMENTS
- WATER LINE
- UTILITY LINE/POLL
- PROPERTY BOUNDARY
- RIGHT OF WAY
- SETBACK LINE
- PROPOSED NEW CONSTRUCTION

TREE PLANTING LIST

DECIDUOUS (D)	CONIFER (C)
Acer platanoides - Japanese Maple	Abies fraseri - Fraser Fir
Acer rubrum - Red Maple	Picea abies - Norway Spruce
Quercus alba - White Oak	Picea pungens var. glauca - Blue Colorado Spruce
Quercus rubra - Red Oak	Pinus strobus - Eastern White Pine

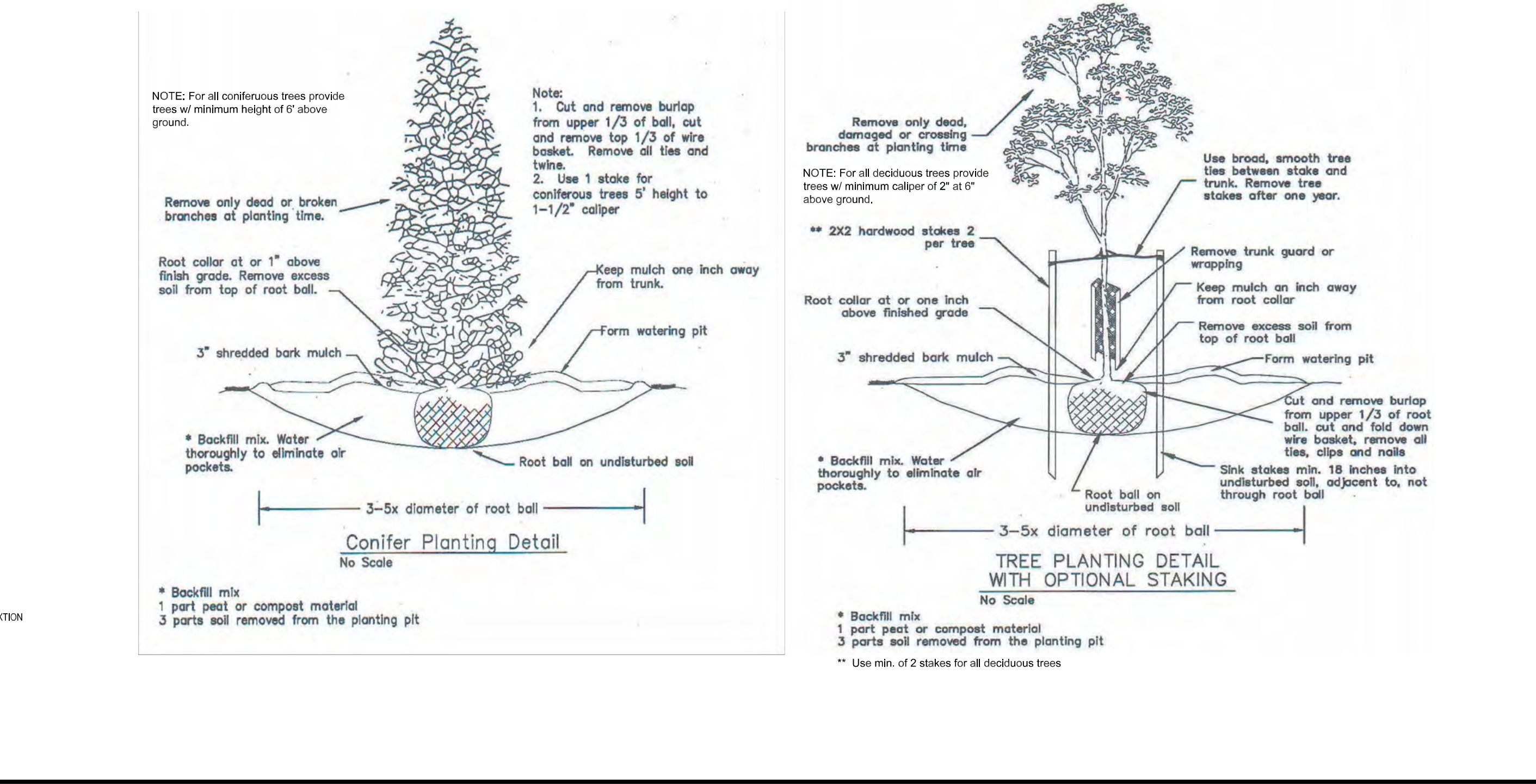
Select species for planting from this list for trees to be planted as identified on the plan. Any deviation from this list must be reviewed and approved by the Ferguson Township arborist.

ABUTTING PROPERTY OWNERS

NAME	ADDRESS
Matthew R. Curt	3745 West College Ave., State College, PA 16801
North American Islamic Trust	PO Box, 10185, State College, PA 16805
Jennifer C. McCauley	3705 Shingletown Road, State College, PA 16801
Thomas J. & Linda D. Verbeck	2390 Old Gatesburg Rd., State College, PA 16801
Danny R. & Pamela M. Harner	2191 West Whitehall Road, State College, PA 16801

GENERAL NOTES:

- TREE SURVEY CONDUCTED IN APRIL AND MAY 2022 BY LICHTY ENGINEERING WITH SPECIES IDENTIFICATION BY DR. ERIC BURKHART.
- 2-FOOT TOPOGRAPHIC CONTOURS FROM PENNSYLVANIA LIDAR 2008 WITH MODIFICATIONS AT DETENTION BASINS BY GREGORY SHUPFRAN, PLS DATED 2017 TO SHOW AS-BUILT CONDITIONS.
- ALL TREES NOT SHOWN AS REMOVED SHALL BE CONSIDERED PROTECTED FOR THE PURPOSE OF THIS PLAN.
- THE TREELINE LOCATED ALONG THE COMMON BOUNDARY WITH JENNIFER C. MCCAULEY AND PART OF TREE GROUP A IS SURROUNDED BY DENSE SHRUBBERY AND WAS NOT SURVEYED BY DIRECT MEASUREMENT. THE TREES IN THE AREA WERE SURVEYED BY PHOTOGRAPHIC METHODS APPROVED BY THE FERGUSON TOWNSHIP ARBORIST. IT WAS ESTIMATED THAT 62 TREES ARE LOCATED IN THE AREA WITH CHEST NUT CALIPER GREATER THAN 4 INCHES. THE BULGOSTIM ESTIMATED THAT THE SPECIES INCLUDED 60% JUGLANS NIGRA, 60% CARYA CORDFORMIS, 2% PRUNUS SEROTINA AND 2% CARYA OVATA.
- DURING THE ORIGINAL CHURCH LAND DEVELOPMENT IN 2003 AND AGAIN WHEN PHASE 2 WAS ORIGINALLY APPROVED, THE CHURCH WAS GRANTED A VARIANCE FROM THE BUFFER YARD REQUIREMENT BECAUSE THE LAND DEVELOPMENT WAS LIMITED TO A SMALL PORTION OF THE 25-ACRE LOT ALONG WEST COLLEGE AVENUE AND THE EXISTING PROPERTY BOUNDARIES ARE DENSELY COVERED WITH TREES. WITH THE NEWLY PROPOSED DEVELOPMENT, THE AREA TO BE DEVELOPED REMAINS IN THE AREA ALONG WEST COLLEGE AVENUE AND THE PROPERTY BOUNDARIES REMAIN DENSELY VEGETATED. AN ANALYSIS OF TREES LOCATED ON THE PROPERTY WITHIN 30 FEET OF THE PROPERTY BOUNDARY, INDICATES A TREE CREDIT OF APPROXIMATELY 442 TREES IN ACCORDANCE WITH 22-513.3(D)(3)(I). THE CHURCH IS REQUESTING EXTENSION OF THE VARIANCE.
- LESS THAN 4% OF THE TREE CANOPY ON THE SITE WILL BE IMPACTED BY THE PROPOSED CONSTRUCTION AND EARTH BORROW AND DISPOSAL SITE. A TOTAL OF THIRTEEN TREES, THREE PRESERVATION PLAN PROPOSES PLANTING THIRTEEN NEW TREES TO BALANCE THE LOSS. THE LOCATION OF THE NEW TREES IS SHOWN ON THE PLAN AND INCLUDES TEN DECIDUOUS TREES AND THREE CONIFEROUS TREES. THE TREES PLANTED TREES MUST BE ON THE CURRENT OFFICIAL FERGUSON TOWNSHIP TREE LIST.
- THE WASTE STORAGE AREA WILL REMAIN ENCLOSED WITHIN A FENCE. THE CHURCH CONTINUES TO MAINTAIN THE FENCE WHICH SHIELDS THE WASTE AREA FROM VIEW.
- ALL PLANTING SHALL BE IN ACCORDANCE WITH "GUIDE TO PLANTING IN FERGUSON TOWNSHIP" AND DETAILS ON THIS PLAN.
- NO SUBSTITUTIONS SHALL BE ALLOWED FOR THE SPECIFIED PLANT LIST UNLESS REVIEWED AND APPROVED BY FERGUSON TOWNSHIP.
- NO TREES OR SHRUBS SHALL BE PLANTED IN THE STORMWATER MANAGEMENT AREAS UNLESS APPROVED BY THE TOWNSHIP.
- LANDSCAPE PLANTINGS WITHIN 10-FEET OF A STRUCTURE SHALL BE AT THE DISCRETION OF THE OWNER.
- NO TREES ARE WITHIN THE WEST COLLEGE AVENUE RIGHT-OF-WAY.



3645 West College Ave - Ferguson Twp - Centre Co - PA

LAND DEVELOPMENT PLAN UPDATE

LANDSCAPE PLAN

LS-1

4

11

Salvation Baptist Church

3645 West College Ave - Ferguson Twp - Centre Co - PA

LAND DEVELOPMENT PLAN UPDATE

LANDSCAPE PLAN

LICHTY ENGINEERING

Professional Engineer

JOSEPH EDWARD LICHTY

ENGINEER

0000024

PA 00000000

10/24/2022

SCALE: 1"=50'

REVISIONS

08/09/2022

08/09/2022

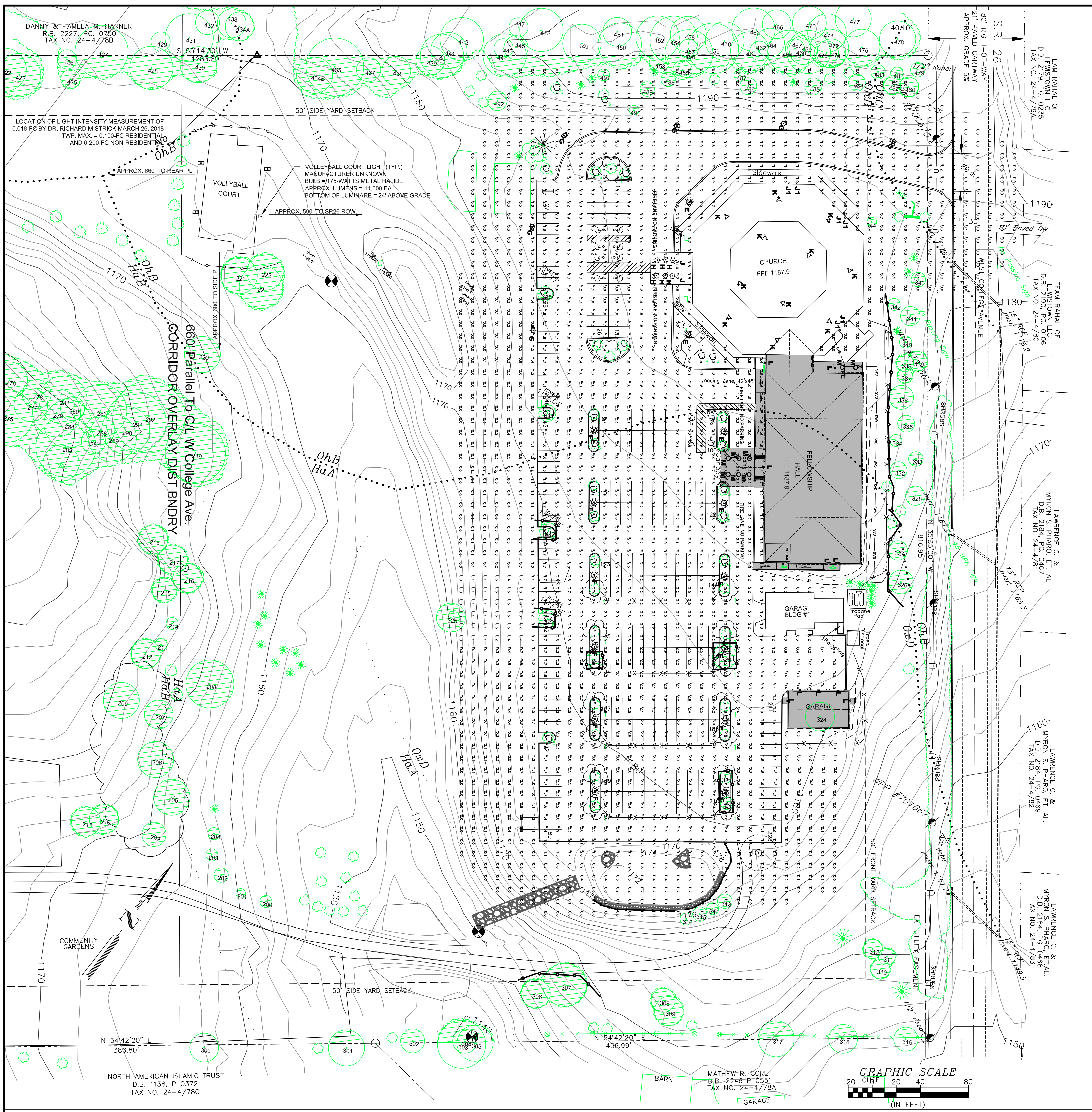
ORIGINAL DATE OF ZONING PERMIT APPLICATION

02/09/2022

DRAWN BY: JEL

08/26/2022

SOURCE: Survey



LEGEND

- 1180 EXISTING CONTOUR LINES
- FINISHED GRADE CONTOURS
- PROPERTY BOUNDARY
- SETBACK
- PENNDOT CENTERLINE
- ROW/SEASIDE
- POLE LIGHTS - PARKING LOT AND VOLLEYBALL COURT
- EXISTING TREES AND SHRUBS
- EXISTING TREELINE
- PROPOSED NEW STRUCTURES

2022 NOTES

- NO NEW EXTERIOR AREA LIGHTING IS PROPOSED IN ADDITION TO APPROVED PHASE 2 LIGHTING. INFORMATION FOR THESE LIGHTS ARE INCLUDED IN THIS SUBMISSION.
- ANY NEW EXTERIOR LIGHTS MOUNTED ON BUILDINGS SHALL BE SHIELDED AND SHINE DOWN TO ILLUMINATE THE IMMEDIATE AREA NEXT TO LIGHT. NO SPOT OR FLOOD LIGHTS OR OTHER LIGHTS SHALL BE INSTALLED WHICH SHINE TOWARDS STREETS OR NEIGHBORING LOTS.
- VOLLEYBALL COURT LIGHTS WERE PERMITTED IN 2018 USING MONITORING OF ACTUAL LIGHT INTENSITY AT THE PROPERTY BOUNDARY. NO NEW LIGHTS ARE PROPOSED IN THIS AREA. ONLY EXTERIOR LUMINAIRES ON THE EXTERIOR OF THE TWO NEW BUILDINGS ARE TYPE L EMERGENCY LIGHTS AND TYPE M DOWN MOUNT LED CAN LIGHTS. THE ONLY IMPACT TO THE LIGHTING PLAN IS THE SURFACE DIRECTLY UNDER THE RECESSED LED CANS. SPECIFICATIONS FOR THE TYPE M LIGHTS ARE PROVIDED BELOW.

DESIGN NOTES

- ALL POLES ARE 22'. FIXTURE IS 17" HIGH.
- ALL CALCULATIONS ARE TO GRADE.
- LIGHT LEVELS ARE BASED ON MAINTAINED LIGHT OUTPUT.

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF
E	5	LITHONIA KVF 400M ASYFL TB SPF20 / KWV SSP22-5.0-17-2	SQUARE AREA LIGHT, ASYMMETRIC DISTRIBUTION, FLAT LENS, MOUNTED ON 22' POLE PLUS BASE.	ONE 400-WATT CLEAR E-T-37 METAL HALIDE, VERTICAL BASE UP POS.	LI04333.jns	36000	0.72	
F	3	LITHONIA KVF 400M SYMFL TB SPF20 / KWV SSP22-5.0-17-2	SQUARE AREA LIGHT, SYMMETRIC DISTRIBUTION, FLAT LENS, MOUNTED ON 22' POLE PLUS BASE.	ONE 400-WATT CLEAR E-T-37 METAL HALIDE, VERTICAL BASE UP POS.	LI04323.jns	36000	0.72	
G	8	LITHONIA KVF 100M ASYFL EHS TB SPF20 / KWV SSP22-5.0-17-2	SQUARE AREA LIGHT, ASYMMETRIC DISTRIBUTION, FLAT LENS, HOUSE SHIELD, MOUNTED ON 22' POLE PLUS BASE, SHIELD.	ONE 400-WATT CLEAR E-T-37 METAL HALIDE, VERTICAL BASE UP POS.	LI04343.jns	36000	0.72	
H	2	LITHONIA 863 /RLFS	RECESSED DOWNLIGHT IN CANOPY MOUNTED AT 14' ABOVE GRADE	100PAR38/RL40*	100PAR38_HI_R_FL40.jns	2070	1.00	
J	2	HINKLEY 2338	WALL MOUNT INCAND. AREA LIGHT AT 7'-4" ABOVE GRADE	(4) 40W/CANDLE	*	1220	*	
J1	8	HINKLEY 2335	WALL MOUNT INCAND. AREA LIGHT AT 7'-4" ABOVE GRADE	(3) 40W/CANDLE	*	990	*	
K	11	RAD LIGHTING QF200	SURFACE MOUNT BUILD. ILLUMINATING SPOT MTD. ON ROOF SURFACE	ONE 200-WATT HALOGEN	*	3600	*	
L	12	LITHONIA ELACDSH0606	SURFACE MOUNT BUILD. EMERGENCY LIGHTING MTD. ON WALL SURFACE	ONE 8-WATT HALOGEN	*	NOT RATED	*	
M	8	RAD LIGHTING WFL LL LED 50K 90CRI MM MG	RECESSED DOWNLIGHT ILLUMINATING SPOT MTD. ON CEILING SURFACE	ONE 210-WATT LED	*	1150	*	

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
GRID @ GRADE	+	1.0 fc	11.0 fc	0.0 fc	N/A	N/A
ROADWAY	X	1.7 fc	2.6 fc	0.2 fc	13.0:1	8.7:1
PARKING LOT	X	2.0 fc	6.3 fc	0.9 fc	7.0:1	2.3:1

GENERAL NOTES

- LIGHTING DESIGN AND LIGHT INTENSITY ANALYSIS BY ZANE LEEPER OF LAFACE & MCGOVERN ASSOCIATES, PHONE 412-854-5200 AT THE DIRECTION OF LIGHT ENGINEERING DURING ORIGINAL PHASE 2 PLANNING.
- EXTERIOR WALL MOUNT FIXTURES FROM HINKLEY LIGHTING DO NOT HAVE AVAILABLE LIGHT INTENSITY FILE AND WERE NOT INCLUDED IN THE ANALYSIS. THE LOW WATTAGE INCANDESCENT FIXTURES WOULD PROVIDE INSIGNIFICANT CHANGES IN THE MODEL EXCEPT IN A SHORT RADIUS FROM THE FIXTURE. THE FIXTURES PROVIDE AREA ILLUMINATION IMMEDIATELY ADJACENT TO DOORS AND BUILDING WALL ILLUMINATION ABOVE DOORS.
- RAD LIGHTING SURFACE MOUNT SPOTS ARE MOUNTED ON ROOF AND SHINE ONTO BUILDING AND STEEPLE FOR BUILDING ILLUMINATION IN ACCORDANCE WITH SECTION 4.H.4-145 OF THE FERGUSON TOWNSHIP LIGHTING ORDINANCE, BECAUSE OF THEIR MOUNTING LOCATION ON THE ROOF AND ATTITUDE (ONTO THE BUILDING) THE LIGHTS ARE NOT INCLUDED IN THE MODELING ANALYSIS.

SPECIFICATIONS FOR NEW TYPE M EXTERIOR LED CAN LIGHTS

WF4/WF6/WF8 LED Wafer Module
4", 6" and 8" LED Wafer Module
Color Temperature

Features & Specifications:
- 4000K CCT
- 100lm/W
- 5-year warranty
- 100,000 hours life expectancy

Technical drawings show dimensions for 4", 6", and 8" modules.

WF4/WF6/WF8 LED Wafer Module
Energy Data and Photometric Data

Energy Data Table:
| Module | Power (W) | Voltage (V) | Current (A) | Power Factor | Efficiency (lm/W) |

Photometric Data Table:
| Module | Beam Angle | Illuminance (fc) | Footcandle Distribution |

VOLLEYBALL LIGHTS MONITORING REPORT

Richard Mistrick, PhD, PE
358 McBeth St. State College, PA 16801

Dear Joe,

This letter contains a summary of illuminance measurements taken at the neighboring property line alongside the lighted volleyball court at the Russian Baptist Church, which is located at 3645 W. College Avenue in Ferguson Township. A point on the property line that is closest to the court, and which had a direct view to the four installed luminaires was measured. The horizontal illuminance at this point on the ground at the property line was 0.018 fc, which is well below the Ferguson Township exterior lighting ordinance limit of 0.1 fc for neighboring residential properties and 0.2 fc for non-residential properties.

The Metal Halide luminaires that are installed are designed to emit no light above the horizontal, but in this application they are tilted slightly upward from the horizontal as they are currently mounted on the poles. This slight tilt directs light primarily parallel to the property line and within the church's property, with a small amount above the horizontal plane. Even at the current mounting positions, they may still meet the IES cutoff distribution criteria, but this condition cannot be evaluated without knowledge of the luminaire manufacturer and catalog number. The fact that the terrain slopes upward behind the lighting equipment on both sides of the court further aids in keeping the emitted light in close proximity to the court.

Given the location of the volleyball court, and the low measured illuminance at the property line, it does not appear that these luminaires should be objectionable to any current or future neighbors and recommend that Ferguson Township permit the installation to proceed as installed.

Respectfully submitted,
Richard Mistrick, PhD, PE, FIES
Lighting Consultant

VOLLEYBALL LIGHTING NOTES

- VOLLEYBALL LIGHTS ARE EXISTING AT TIME OF PERMITTING.
- LIGHTS WERE INSTALLED AFTER DEMOLITION AT ANOTHER SITE.
- MANUFACTURER OF LUMINAIRES IS UNKNOWN.
- EACH LUMINAIRE INCLUDES A 175-W METAL HALIDE BULB WITH A POWER RATING OF APPROXIMATELY 14000 LUMENS.
- THE LIGHT STANDARDS ARE APPROXIMATELY 24-FT ABOVE GRADE OR EL. 1158-FM.L.S.
- LIGHT IS DIRECTED TOWARD THE VOLLEYBALL PLAYING SURFACE.
- IN SITU MEASUREMENT OF LIGHT POWER WAS USED IN LUI OF MODELING SINCE THE MANUFACTURER'S DATA IS UNAVAILABLE AND THE LIGHT ARE ALREADY IN PLACE.
- MEASUREMENT WAS TAKEN MARCH 26, 2018 BY DR. RICHARD MISTRICK AT THE NEAREST PROPERTY BOUNDARY (APPROXIMATELY 30-FT FROM THE NEAREST LUMINAIRE).
- HORIZONTAL LUMINANCE MEASURED AT THE PROPERTY BOUNDARY AFTER FULL WARMUP OF THE LIGHTS WAS 0.018-FC.
- FERGUSON TOWNSHIP ORDINANCE CHAPTER 4 SECTION F. OUTDOOR SPORTS AND RECREATIONAL LIGHTING REQUIRES THAT LUMINANCE BE LIMITED TO 0.100-FC FOR ADJACENT RESIDENTIAL USES AND 0.200-FC FOR ADJACENT NON-RESIDENTIAL USES.
- THE LIGHTS AS INSTALLED MEET THIS REQUIREMENT BY A FACTOR OF 5.5 FOR THE MOST STRINGENT RESIDENTIAL STANDARD.

3645 West College Ave - Ferguson Twp - Centre Co - PA

LAND DEVELOPMENT PLAN UPDATE

LIGHTING PLAN

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REVISIONS: 08/05/2022

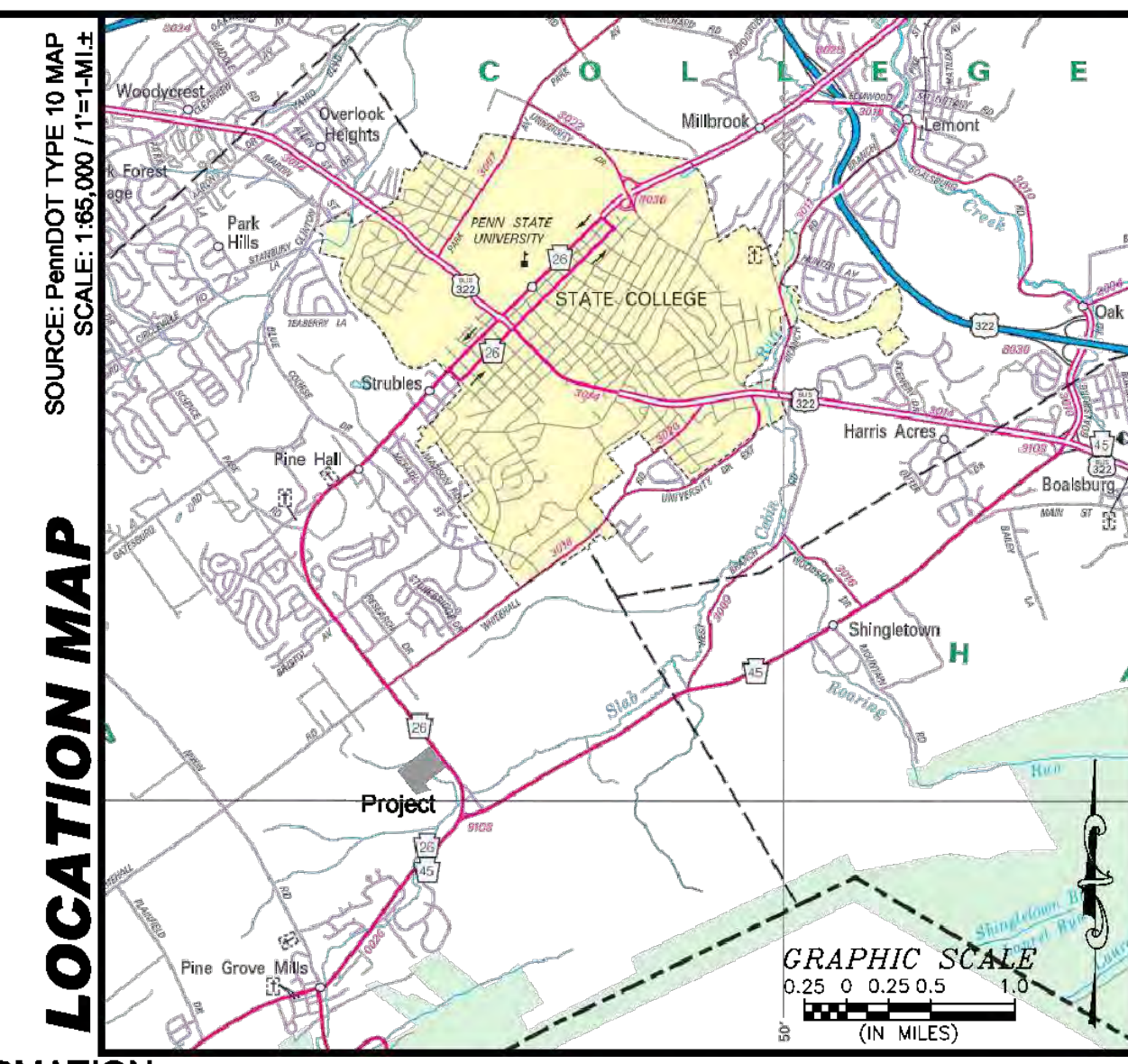
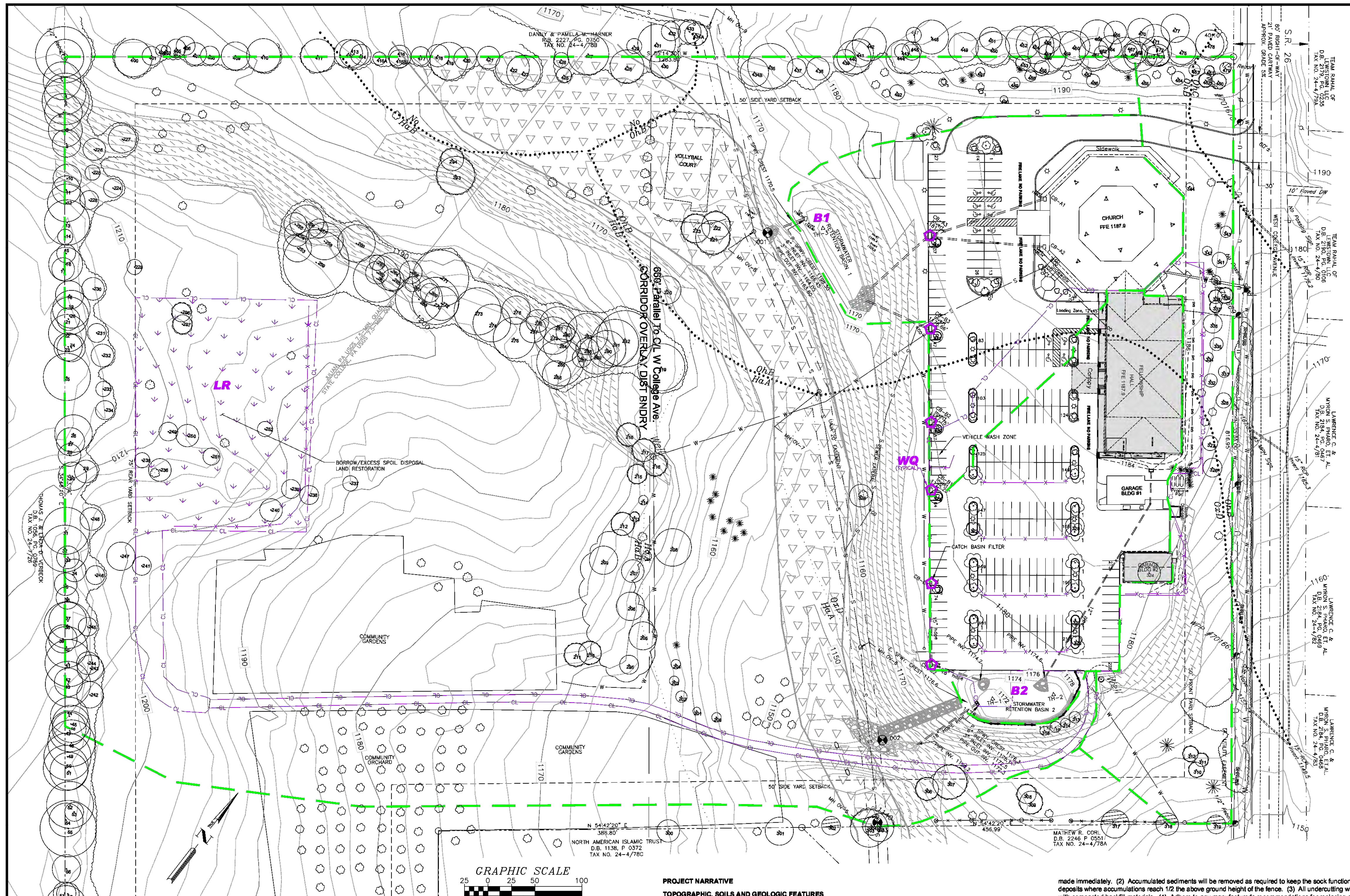
ORIGINAL DATE OF ZONING PERMIT APPLICATION: 02/09/2022

SCALE: 1"=40'

SOURCE: Survey

DRAWN BY: JEL 05/20/2022

JOSEPH EDWARD LIGHTY
REGISTERED PROFESSIONAL ENGINEER
NO. 28827-E
PA
19803
LightyEngineering@comcast.net



GENERAL INFORMATION

PROPERTY OWNER
RUSSIAN CHURCH OF CHRIST
3465 WEST COLLEGE AVE
STATE COLLEGE, PA 16803
DEED BOOK 1360, PAGE 00006
TAX PARCEL: 24-004-078-0000

MUNICIPALITY: FERGUSON TWP COUNTY: CENTRE
PARCEL/PROJECT AREA: 26.01-AC TOTAL DISTURBED AREA: 3.86-AC
LATITUDE/LONGITUDE (CENTER OF PROPERTY): 40°45'10.21"N 77°22'23.57"W
USGS QUADRANGLE MAP: JULIAN, PA AND STATE COLLEGE, PA

BUILDING COVERAGE
EX. BUILDING COVERAGE: 19,336-SF, 0.444-AC, 1.78%
NEW BUILDING COVERAGE: 16,168-SF, 0.347-AC, 1.33%
PROPOSED TOTAL BUILDING COVERAGE: 35,504-SF, 0.791-AC, 3.16%

IMPERVIOUS COVER
EX. IMPERVIOUS COVER: 120,443-SF, 2.786-AC, 11.00%
PROPOSED TOTAL IMPERVIOUS COVER: 136,300-SF, 3.108-AC, 12.79%
EXISTING LAND USE: CHURCH ON AGRICULTURAL LANDS. LAND USE IS TO REMAIN THE SAME AFTER NEW DEVELOPMENT.

TAX ID NUMBER
24-004-078-0000

DEED REFERENCE
RB 1360, P 0005

ZONING INFORMATION
ZONING DISTRICT: RA - RURAL AGRICULTURE WITH CORRIDOR OVERLAY DIST.
MINIMUM SETBACK
FRONT YARD: 60'
REAR YARD: 75'
SIDE YARD: 50'

MAX. BUILDING AREA: 30%
MAX. IMPERVIOUS COVER: 30%
MAX. BUILDING HEIGHT: 45'
MIN. LOT WIDTH: 60'

RECEIVING WATERS: SABB CARRIAGE RUN
CHAPTER 83 CWF, MF. EXISTING HQ-CWF, MF (PFC)
WETLANDS DESIGNATION: NOT PRESENT ON SITE
SEWAGE DISPOSAL: UNIVERSITY AREA JOINT AUTHORITY
WATER SOURCE: STATE COLLEGE BOROUGH WATER AUTHORITY

LEGEND

- 1180 --- EXISTING CONTOUR LINES
- - - FINISHED GRADE CONTOURS
- - - PROPERTY BOUNDARY
- - - SETBACK
- Soil Group Boundary
- U --- UTILITY LINE
- S --- SEWER/LATERAL
- W --- WATERLINE
- GAS --- GAS --- GASLINE
- - - ROW/EASEMENT
- - - DRAINAGE BOUNDARY
- EXISTING TREES AND SHRUBS
- EXISTING TREELINE
- FEMA FLOOD BOUNDARY
- CL --- CONSTRUCTION LIMIT
- SOIL TEST HOLE
- DISCHARGE POINT
- CATCH BASIN WATER QUALITY FILTER
- STEEP SLOPES (>25%)
- AREA DRAINING TO RAIN GARDEN
- LAND RESTORATION
- PROPOSED BUILDING 2021

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State College, PA 16803
Lighty_Engineering@comcast.net

DRAWN BY: JEL 12/20/2021

REVISIONS 06/30/2022 09/02/2022

SCALE: AS SHOWN

SOURCE: Survey

GENERAL INFORMATION

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RUSSIAN CHURCH OF CHRIST
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STATE COLLEGE, PA 16803
DEED BOOK 1360, PAGE 00006
TAX PARCEL: 24-004-078-0000

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TAX ID NUMBER
24-004-078-0000

DEED REFERENCE
RB 1360, P 0005

ZONING INFORMATION
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CHAPTER 83 CWF, MF. EXISTING HQ-CWF, MF (PFC)
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SEWAGE DISPOSAL: UNIVERSITY AREA JOINT AUTHORITY
WATER SOURCE: STATE COLLEGE BOROUGH WATER AUTHORITY

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Soil Characteristics and Limitations

Map Key	Name	Slope (%)	Hydrologic Soil Group	Depth to Restricting Layer (in)	Depth to Bedrock (in)	Depth to Seasonal Water (in)
HsA	Hagerstown silt loam	0-3	B	43-98	43-98	>80
HoB	Nolin silt loam	3-8	B	72-99	72-99	>80
No	Nolin gill loam	0-5	B	72-99	72-99	>80
OhB	Opegon-Hagerstown complex	3-8	D	12-20	12-20	>80
OhC	Opegon silt loam	8-15	D	12-20	12-20	>80
OxD	Opegon Rock outcrop	0-5	D	10-19	10-19	56-72

Pre- and Post Development Peak Runoff Estimates

Return Period (Years)	Pre-Development* (CFS)	Post Development Undeveloped (CFS)	Post Development Developed (CFS)	Post Development No Pervious+ (CFS)
1	3.0	10.7	3.1	1.0
2	7.1	15.0	6.5	1.6
10	23.4	31.5	21.3	2.7
50	48.4	56.1	46.1	5.7
100	61.9	69.1	59.8	8.7
100	Clogged Principal Spwy.		50.8	

* For the purpose of peak runoff analysis, pre-developed is based on conditions prior to the existing buildings and pavement. This is because the existing detention was originally designed to handle the currently proposed development. No new detention is proposed.

+These values reflect a mode that assumes that only the impervious areas are present. The time of concentration is also reduced by 20% to reflect this assumption.

PROJECT NARRATIVE

TOPOGRAPHIC, SOILS AND GEOLOGIC FEATURES

Site Description
The site is located within the Ridge and Valley Physiographic Province in Pennsylvania. It is located in the broad Nittany Valley with Tussey Ridge to the south and Bald Eagle Ridge to the north. An unnamed tributary to Sabb Carriage Run bisects the property from northwest to southeast. The UNT discharges to Sabb Carriage Run where it flows under PA Route 98 near the intersection with PA Route 46. The UNT watershed has a drainage area of 1.06-SQ. MI. and is underlain by Karst geology. The watershed has many depressions and sinkholes upstream of the property. As a result, the drainage area is karstic and only flows during extreme precipitation events. The channel, which has no bed and banks, remains dry during the rest of the year. No wetlands have been identified on the property.

The site currently includes the Salvation Baptist Church and one out building (a garage/workshop) along with a parking area. A volleyball court and a community garden are also located on the property. Proposed changes include a fellowship hall and a second garage. The fellowship hall was previously approved by Ferguson Township, but never constructed. Total new impervious cover is 16,168-SF (0.35-AC). The disturbed area for the new construction is 3.86-AC.

Soils Information
Project soils were identified by using the USDA NRCS Web Soil Survey. The soil boundaries are delineated on the attached PCSM and E&S Control Plans. The soils are identified in the table entitled Soil Characteristics and Limitations. A copy of the web soil survey is included in the accompanying documents.

Geologic Conditions
The project is underlain by the Nittany and Axeman formations. The contact between the formations is nearly perpendicular to West College Avenue and bisects the property between the existing church and garage. Both of these formations are Karst by nature (they consist of limestone which is susceptible to sinkhole development). Upon review of the geologic maps available from the PaDEP, no sinkholes or depressions which may develop into sinkholes have been identified on or immediately adjacent to the site property. Many of these conditions are located across West College Avenue to the northeast and to the northwest across Whitehall Road. The Karst conditions allow for a high degree of depressional storage and infiltration so that the unnamed tributary which crosses the property is ephemeral, only flowing during extreme precipitation events. As a result, the unnamed stream is neither perennial nor intermittent and does not have a stream bed and banks or riparian characteristics.

EROSION AND SEDIMENTATION CONTROL PLAN

Description of Control Methodology
An erosion and sedimentation control plan has been devised to minimize site erosion and resulting sedimentation. Since the project is located within a watershed which the PaDEP has identified as having an existing use designated by PFBC as HQ-CWF (Sabb Carriage Run), ABACT compliant BMPs are proposed. Some BMPs must be installed prior to disturbing the earth that drains to them. These are identified in the following discussion. Temporary BMPs shall remain in place until the disturbed area is regraded and vegetated.

Summary of Erosion and Sediment Control BMPs Including Construction and Maintenance

Compost Filter Sock - An ABACT compliant compost filter sock will be installed where and to the specs shown on the plans. All single sock placement shall be 18" sock unless otherwise noted on the plan. The sock may be filled with compost or wood chips. Installation: (1) Compost socks are to be placed on level grades across slope to intercept runoff flowing down the slope the sock shall be laid flush with the ground. The bottom of the sock shall be placed on a level grade. When it is necessary to cross small depressions, the sock top may deviate slightly from the level grade. Grades in such sections will not exceed one percent (1%), nor will the deviation extend for more than 25 feet. (2) Support stakes will be driven to the required depth below the existing ground surface, and disposed in a trench at the level grade. Stakes are installed on pavement, aggregate shall be placed on the downstream side in place of stakes to keep the sock in place. (3) The sock shall be fully filled with compost or wood chips, but one should be taken not to cause tears by over filling.

Maintenance: (1) The sock installation will be inspected after every precipitation event. Any necessary repairs will be made immediately. (2) Accumulated sediments will be removed as required to keep the sock functional. In all cases, remove deposits where accumulations reach 1/2 the above ground height of the fence. (3) All undercutting will be repaired immediately with compacted backfill materials. (4) Adhere to any manufacturer's recommendations for replacing compost sock due to weathering.

Water Quality Filter - Each existing catch basin shall be filled with a water quality filter to provide pollutant removal during runoff events. The BMP will be installed prior to initiation of construction and will remain in place after construction. As such, this BMP qualifies as both an ESC and a PCSM BMP. During construction the TX filters will be used to primarily contain sediment. During the post construction stormwater period, the POC/C filters will be used to reduce oils and greases from the parking lot. See the details sheet for additional information.

Maintenance: The filters shall be checked for excess material at least monthly. When the filter collects sediment and debris, the filter shall be removed and cleaned. The material that is removed shall be disposed of in a suitable manner which will minimize pollution. When cleaning the filters, the filters shall be inspected and the damaged filters shall be replaced. The cut sheet on the Details Sheet (ESC-2) provides additional maintenance information.

Retention Basin - All retention basins already exist on the property and do not need modified. However, during the construction phase, an aggregate filter shall be placed in front of the lowest outlet orifice on the principal spillway to minimize sediment discharge. This filter shall be removed when all areas draining to the basin are vegetated or cleaned for paved surfaces.

Maintenance: The basins must be inspected periodically for signs of sediment, erosion and gully vegetation. This includes the interior of the basin, embankments, inlets and outlets. Issues must be corrected immediately or as soon as possible for vegetation.

Vehicle Wash Zone - A vehicle wash zone has been shown on the plan. If vehicles, in particular the lines, become covered with mud on the site, this area shall be used to wash the mud off prior to the vehicles leaving the site on West College Avenue.

Maintenance: The wash zone is designed to maximize trapping mud and sediment within the area. When it becomes filled with sediment, the area shall be cleaned and the material shall be transported to a soil stockpile on site which is protected by a BMP. After construction when the wash zone is removed, the area shall be thoroughly cleaned to remove all mud and sediment.

Temporary Vegetative Surface Stabilization - Whenever disturbed areas or stockpiles will remain in place for more than 7-days, the area will be stabilized by using the temporary cover specified in the PLANTING SPECIFICATIONS table. If the area will be permanently stabilized within a short period after the 7-day limit or if seed will not germinate due to weather, the area may be temporarily stabilized with mulch only. If temporarily stabilized with mulch, the mulch should be removed and the area seeded and re-mulched during the first available growing season.

Maintenance: Temporary vegetation or mulch shall be inspected after each precipitation event to ensure that no areas of erosion are present. If present, the areas should be re-stabilized immediately.

Vegetative Surface Stabilization - Permanent vegetative stabilization will be provided on all disturbed areas (including channels) not covered by gravel or pavement at the end of all work. The vegetation will meet the requirements of Planting Specifications table. Note that the rain garden and the land restoration areas have specific vegetation specifications outlined in the details.

Maintenance: Permanent vegetative areas shall be inspected after each precipitation event until greater than 70% cover is maintained for a period of one year. After this time, the locations will be inspected quarterly. Any areas with less than 70% cover or with active erosion will be corrected immediately.

Disposal of Accumulated Sediment - All sediment accumulated within BMPs on this site shall be disposed of in one of two ways: (1) mixing with topsoil and/or subsoil and placing on the site in a fill or final grade operation or (2) trucking from the site and disposing in an approved and permitted off-site fill area. Any disposal off-site must be cleaned with the Centre County Conservation District prior to removal from the site.

Construction Sequence

1. Hold a pre-construction meeting to go over ESC and PCSM Plans including all BMPs. Identify critical stages in place.
2. Clearly field mark the limits of vegetative areas and the limits of all work. The vegetation will be protected throughout construction and shall be inspected periodically and replaced if removed or destroyed.
3. Install vehicle wash zone for washing muddy vehicles prior to leaving the site.
4. Install compost sock where shown prior to working in the area draining to the sock. No earth disturbance shall be conducted without first installing compost sock or other ESC BMPs which control runoff from the area to be disturbed. Install AASHTO aggregate filters at retention basin principal spillways.

Historical Property Land Use

All lands on the property as well as the adjacent surrounding properties, have been historically utilized for agricultural purposes. This property has been used as a church property since the existing church was constructed in 2003. Historic and new residences dot the adjacent properties in the rural agricultural zoning.

NOTE: PLEASE REFERENCE THE STORMWATER MANAGEMENT PLAN AND REPORT AS WELL AS THE NPDES POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN FOR ADDITIONAL INFORMATION.

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NPDES PERMIT 140085 ISSUED JULY 8, 2022

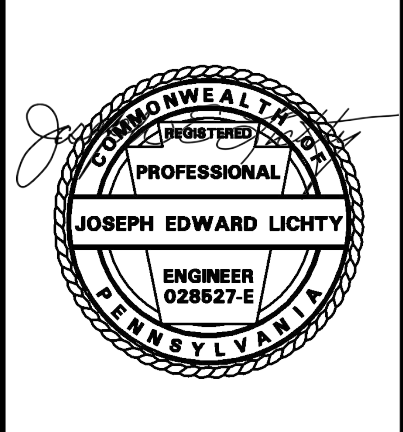
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LIGHTY ENGINEERING
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State College, PA 16803
Lighty_Engineering@comcast.net



DRAWN BY: JEL 02/09/2022

SOURCE: Survey

REVISIONS 06/30/2022 09/02/2022

SCALE: AS SHOWN

ORIGINAL DATE OF ZONING PERMIT APPLICATION 02/09/2022

SCALE: AS SHOWN

SALVATION BAPTIST CHURCH

3645 West College Ave - Ferguson Twp - Centre Co - PA

NPDES ESC PLAN - PLAN SHEET

FOR WEST COLLEGE AVENUE CHURCH IMPROVEMENTS

LAND DEVELOPMENT PLAN UPDATE

NPDES EROSION & SEDIMENTATION CONTROL PLAN

PLAN AND NARRATIVE

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LAND GRADING TO MINIMIZE EROSION AND SEDIMENTATION

Construction Specifications:

- Only disturb, clear, or grade areas necessary for construction. Flag or otherwise delineate areas not to be disturbed. Exclude vehicles and construction equipment from these areas to preserve natural vegetation.
- All graded or disturbed areas including slopes shall be protected during clearing and construction in accordance with the approved erosion and sediment control plan until they are permanently stabilized.
- All sediment control measures shall be constructed and maintained in accordance with the approved erosion and sediment control plan and according to the standards and specifications for the appropriate erosion control practices.
- If topsoil is required for the establishment of vegetation, it shall be stockpiled in the amount necessary to complete finished grading and protected from erosion during the interim.
- Areas to be filled shall be cleared, grubbed to remove trees, vegetation, roots and other objectionable material, and stripped of topsoil.
- Areas to receive topsoil shall be scarified to a minimum depth of 3 inches (76 mm) prior to placement of topsoil.
- All fills shall be compacted as required by building standards to reduce erosion, slippage, settlement, subsidence and other related problems. Fill intended to support buildings, structures, conduits, etc., shall be compacted with local requirements or codes.
- The outer face of the fill slope should be allowed to stay loose, not rolled, compacted, or bladed smooth. A bulldozer may run up and down the fill slope so the dozer treads (cleat tracks) create grooves perpendicular to the slope. If the soil is not too moist, excessive compaction will not occur.
- All fill shall be placed and compacted in layers not to exceed 8 inches (0.2 m) per lift.
- Use slope breaks, such as diversions, benches, or contour furrows as appropriate, to reduce the length of cut-and-fill slopes to limit sheet and rill erosion and prevent gully erosion.
- The finished cut-and-fill slopes, which are to be vegetated with grass and legumes, should not be steeper than 2:1.
- Slopes to be maintained by tractor or other equipment should not be steeper than 3:1.
- Slopes in excess of 2:1 may require hydroseeding, hydromulching, tacking, and/or "punching-in" straw, bioengineering techniques, or retaining walls.
- Roughen the surface of all slopes during the construction operation to retain water, increase infiltration, and facilitate vegetation establishment.
- Slopes or springs encountered during construction shall be handled in accordance with approved methods.
- Stabilize all graded areas with vegetation, crushed stone, riprap, or other ground cover as soon as grading is completed or if work is interrupted for 21 working days or more.
- Use mulch to stabilize areas temporarily where final grading must be delayed.
- Stockpiles, borrow areas and spoil areas shall be shown on the plans and shall be stabilized to prevent erosion and sedimentation.

PLANTING SPECIFICATIONS

TYPE OF PLANTING AND PLANTING DATES (4)	FORMULA AND SPECIES	% BY WEIGHT	MIN. PURITY (%)	MIN. GERMINATION (%)	SEEDING RATE (WAC)
TEMPORARY 03/15 - 10/15	PennDOT E - Annual Ryegrass	100	98	90	48
	PennDOT B - Perennial Ryegrass (1) - Creeping Red Fescue or Chewing Fescue - Kentucky Bluegrass (2)	20 30 50	98 98 98	90 85 80	102 19 29 53
PERMANENT LAWNS AND OPEN SPACE 03/15 - 06/01 & 08/01 - 10/15	PennDOT D - Tall Fescue - Creeping Red Fescue or Chewing Fescue	70 30	98 98	85 85	102 73 29
	PennDOT C - Crownvetch (5) - Annual Ryegrass (1)	45 55	99 98	70 90	19 24
PERMANENT SWALES AND PONDS 03/15 - 06/01 & 08/01 - 10/15	PennDOT W - Tall Fescue - Birdsfoot Trefoil (3) - Redtop	70 20 10	98 98 92	85 80 80	51 36 10 5
	PERMANENT WETLANDS AND WILDLIFE AREAS 04/01 - 06/15 & 8/16 - 09/15				

(1) use a combination of approved certified varieties with no one exceeding 50% of the total Ryegrass component.
 (2) use a combination of approved certified varieties with no one variety exceeding 25% of the total Bluegrass component.
 (3) use a combination of varieties (Viking, Empire, Norcen, Dawn, Leo, Bull, Mailand) with no one variety exceeding 50% of the total Trefoil component. Recommended 10% hard seed and 70% normal sprouts, except during August and September planting use 35% hard seed.
 (4) if conditions warrant and it becomes necessary to plant outside the recommended dates, apply 50% of supplements at time of seeding and remainder within the next recommended planting period.
 (5) Crownvetch portion of PennDOT C formula should be applied anytime except September and October.

SPECIAL INSTRUCTIONS

- Except under favorable conditions as determined by the Conservation District, DO NOT plant permanent mixture outside the specified planting dates. Instead use a temporary cover and then plant the permanent mixture during the next available planting period.
- Maximum weed content = 0.15%.
- Application of seed may be drilled, broadcast or hydroseeded in accordance with the current Penn State Agronomy Guide.

FERTILIZER APPLICATION RATES

- Pulverized Agricultural Limestone = 2-tons/acre
- 10-20-20 Analysis Commercial Fertilizer = 660-lb./acre
- 38-0-0 Ureaform Fertilizer = 240-lb./acre

MULCH AND MAT APPLICATION

- All seeded areas shall be mulched using an application of 3-tons/acre of straw (3/4" to 1" thick loosely distributed). On permanent cover areas anchor as follows: wood or cellulose fibers at 775-lb./acre OR non-asphalt emulsion at 120-lb./acre or at manufacturer's recommended application rate.
- In steep sloped areas or in vegetated channels, an erosion control mat shall be applied as specified in the plan.

TREES AND SHRUBS

- Plant trees no closer than 10-feet apart, shrubs no closer than 4-feet apart.
- Excavate holes at least 1-foot in all directions around root ball.
- Place plant in hole, remove burrap, backfill around root ball and lightly tamp.
- Place fertilizer stakes at drip zone per manufacturer's specifications.

NOTE: For Land Restoration follow procedures outlined in Penn State Extension Service's "Meadow and Prairie Wildlife Friendly Alternatives to Lawns" provided in the supplementary documents. The document provides suggested species as well as a list of available landscapers familiar with meadow planting.

Pure Basin & Curb Inlet Filters

Pure basin and curb inlet filters are the preferred choice for permanent inlet protection and stormwater runoff control. Constructed of versatile stainless steel, Pure inlet filters will fit any drainage structure and are available with site-specific filter bags providing various levels of filtration.

- Applications**
- Commercial
 - Industrial
 - Gas stations
 - Parking lots
 - Dock drains
 - Maintenance
- Features**
- Custom stainless steel frames are configured to fit into any drainage structure
 - Flow and bypass rates meet specific inlet requirements
 - Filter bags target site specific removal of trash, leaves, small particles, oil and grease
 - Works below grade with bypass to drain area if bag is full
 - Installs quickly and maintained with removal tool
 - Stainless steel frame provides extended service life
 - Replaceable filter bags handle loads with a safety factor of five
 - Meets stringent removal requirements:
 - FX bags rated >80% removal efficiency of street sweep-site particles
 - PC/PC+ bags have been tested to 99% TSS removal of OK-110 US Silica Sand and 97% TPH (total petroleum hydrocarbon) removal
- NOTE: FX Filters to be used during construction. PC/PC+ Filters to be used post-construction.



Pure Inlet Filters Specification

Identification
 The installer shall inspect the plans and/or worksite to determine the quantity of each drainage structure casting type. The foundry casting number, exact grate size and clear opening size or other information will be necessary to finalize the part number and dimensions.

Material and performance
 The filter is comprised of a stainless steel frame and a replaceable geotextile filter bag attached to the frame with a stainless steel locking band. The filter bag hangs suspended below the grate that shall allow full bypass flow into the drainage structure if the bag is completely filled with sediment. The standard woven polypropylene FX filter bags are rated for 200 gpm/sqft with a removal efficiency of 82% when filtering a USDA Sandy Loam sediment load. The post-construction PC filter bags are rated for 137 gpm/sqft and have been third-party tested at 99% TSS removal to 110 micron and 97% TPH removal of used motor oil hydrocarbon mix.

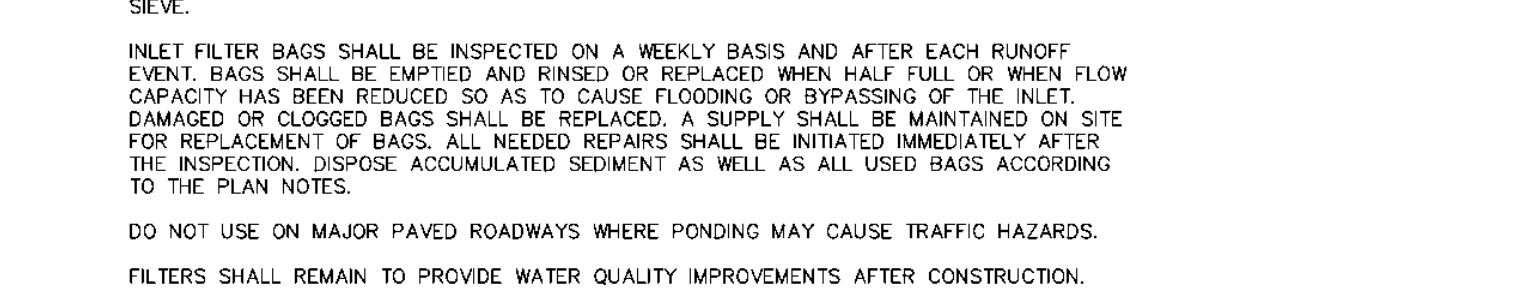
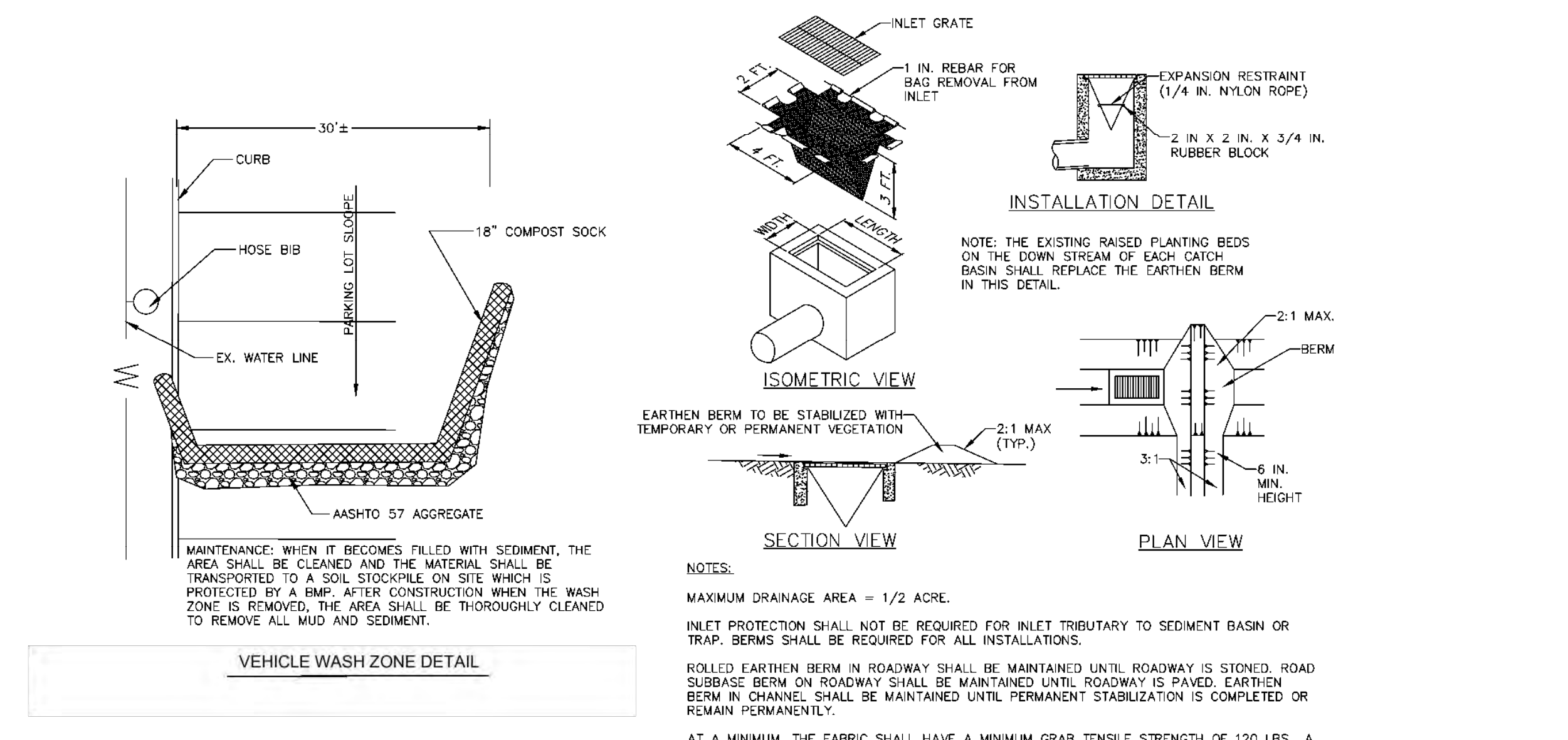
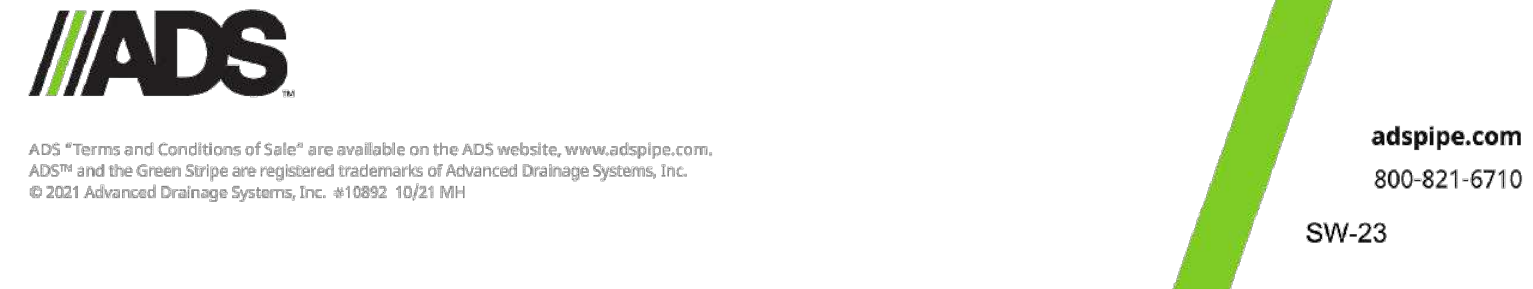
Installation
 Remove the grate and clean the ledge of the frame to ensure it is free of stone and dirt. Hang the inlet filter's suspension hangers firmly on the casting's inside ledge. Replace the grate and confirm it is elevated no more than 1/8" (3 mm). For wall mount units, follow instructions for attaching the stainless steel mounting brackets using the provided concrete fasteners.

Inspection Frequency
 Construction site inspection should occur following each 1/2" (12 mm) or more rain event. Post construction inspections should occur three times per year in areas with mid year round rainfall and four times per year in areas with summer rains. Industrial application site inspections should occur on a regular scheduled basis no less than three times per year.

Maintenance guidelines
 Empty the filter bag if more than half filled with sediment and debris or as directed by the engineer. Remove the grate, engage the lifting bars or handles with the removal tool and lift from the structure. Dispose of the sediment or debris as directed by the engineer or maintenance contract in accordance with EPA guidelines.

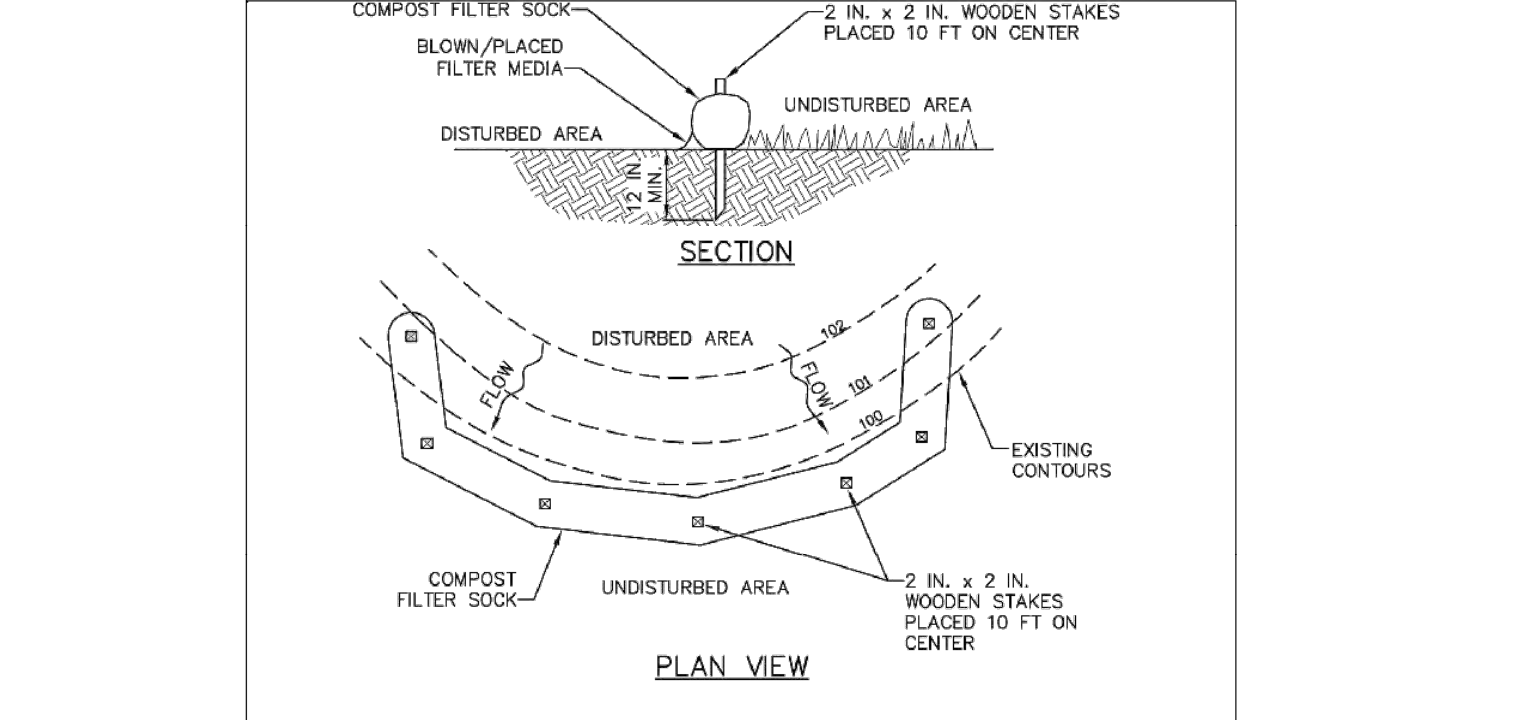
As an alternative, an industrial vacuum may be used to collect the accumulated sediment. Remove any caked-on silt from the sediment bag and reverse flush the bag with medium spray for optimal filtration. Replace the bag if torn or punctured to 1/2" (12 mm) diameter or greater on the lower half of the bag. Post-construction PC/PC+ bags should be maintained prior to 50% oil saturation. The average 2'x2' PC filter bag will retain approximately 96 oz (2.8 l) of oil at which time it should be serviced or replaced. When utilizing the Clearcart Rubberizer Pouches in the PC+ bags note that these oil skimmers will gradually turn brown and solidify, indicating replacement is needed. Each pouch will absorb approximately 62 oz. (1.8 l) of oil before requiring replacement. The spent media may be recycled for its fuel value through waster to energy incineration. Dispose of oil-contaminated products in accordance with EPA guidelines.

Filter bag replacement
 Remove the bag by loosening or cutting off the clamping band. Take the new filter bag, which is equipped with a stainless steel worm drive clamping band and use a screwdriver to tighten the bag around the frame channel. Ensure the bag is secure and there is not slack around the perimeter of the band.



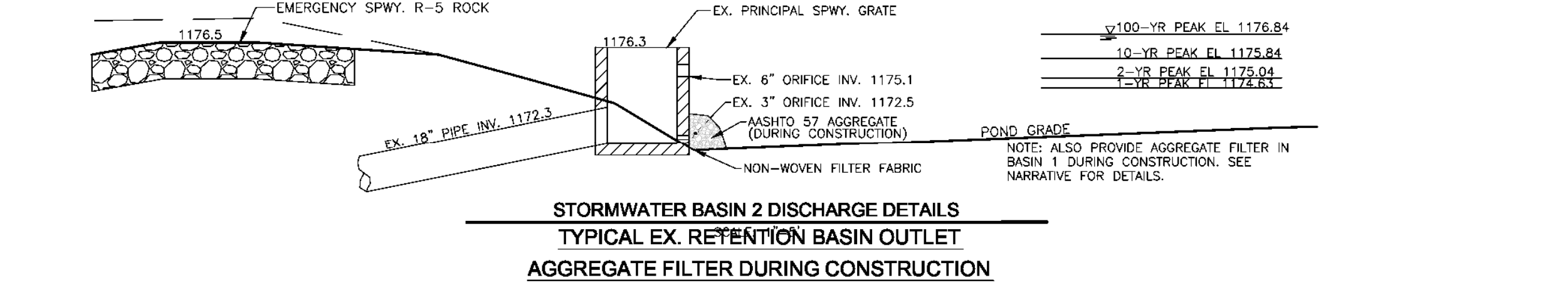
**STANDARD CONSTRUCTION DETAIL #4-16
 FILTER BAG INLET PROTECTION - TYPE M INLET**

NOTES:
 MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
 ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBGRADE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.
 AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 250 FSI, AND A MINIMUM TRAPEZOIDAL TENSILE STRENGTH OF 80 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
 INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR IMPAIRMENTS OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
 DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS. FILTERS SHALL REMAIN TO PROVIDE WATER QUALITY IMPROVEMENTS AFTER CONSTRUCTION.



**STANDARD CONSTRUCTION DETAIL #4-1
 COMPOST FILTER SOCK**

NOTES:
 SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. FILTER SOCK SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALONG WITH MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTOGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MESH SPREAD AS A SOIL SUPPLEMENT.



LICHTY ENGINEERING
 687 Benshire Drive
 (814) 238-1414
 Licthy.Engineering@comcast.net

DRAWN BY: JEL
 1/22/2022

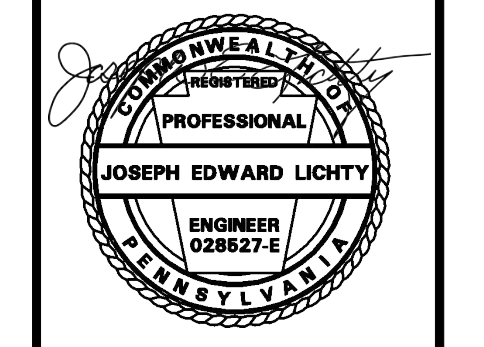
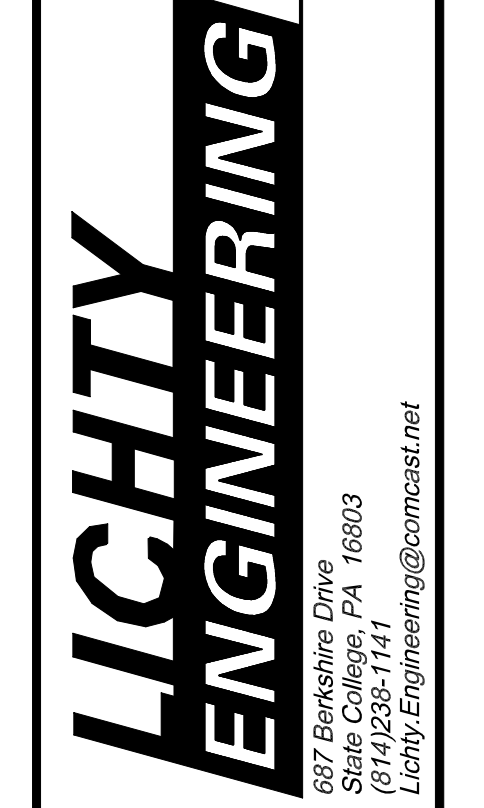
REVISIONS
 08/30/2022

SCALE: AS SHOWN

Russian Church of Christ
 3645 West College Ave - Ferguson Twp - Centre Co - PA

NPDES ESC PLAN - DETAILS SHEET
FOR WEST COLLEGE AVENUE CHURCH IMPROVEMENTS

2



DRAWN BY: JEL
 01/06/2022

SOURCE:
 Survey

REVISIONS
 06/30/2022
 09/08/2022

SCALE: AS SHOWN

ORIGINAL DATE OF ZONING PERMIT APPLICATION
 02/09/2022

SALVATION BAPTIST CHURCH
 3645 West College Ave - Ferguson Twp - Centre Co - PA

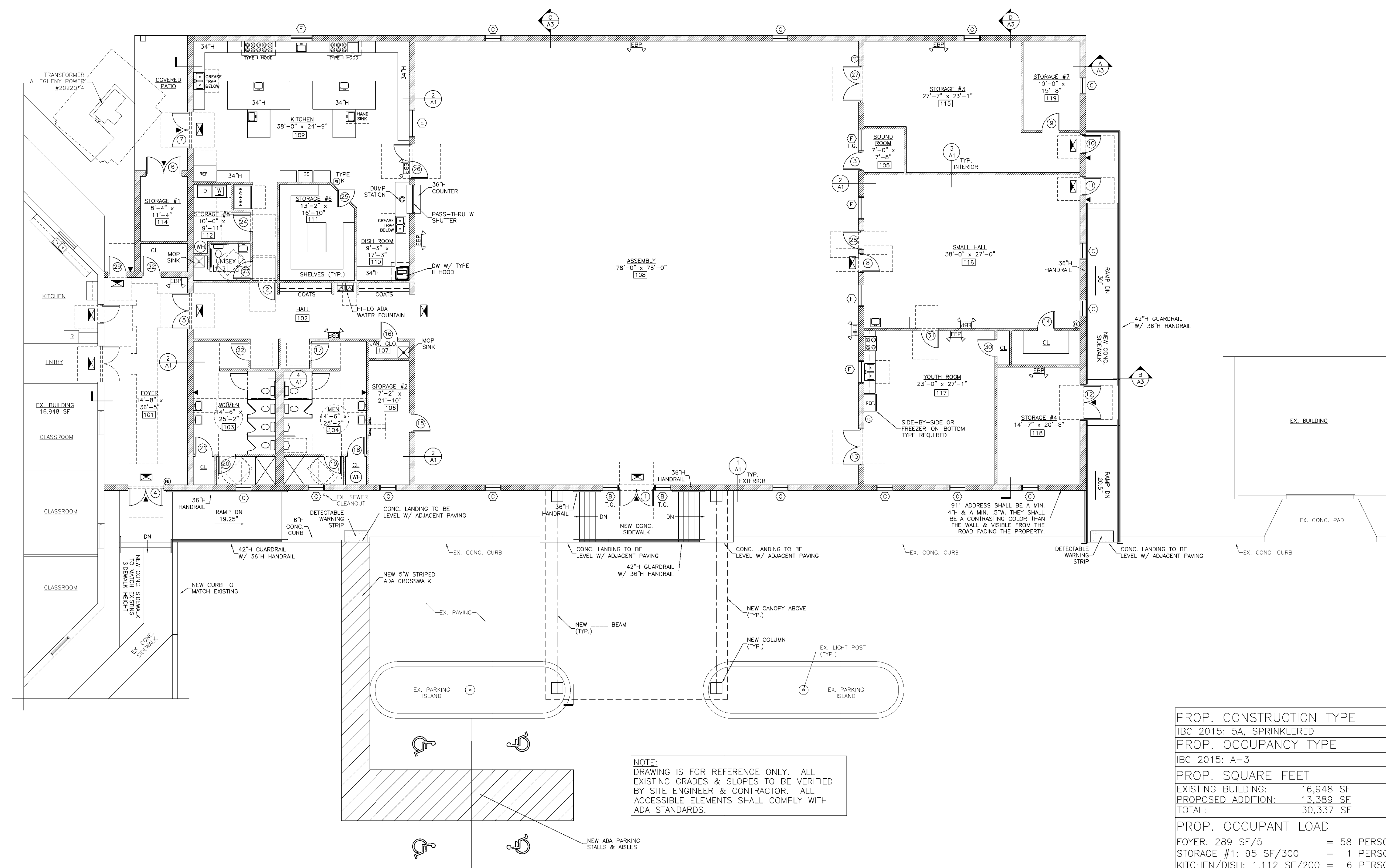
LAND DEVELOPMENT PLAN UPDATE
NPDES EROSION AND SEDIMENTATION CONTROL PLAN
DETAILS SHEET

7

11



ALBERT A. DROBKA ARCHITECT
P.O. BOX 256
1352 S. ATHERTON ST.
STATE COLLEGE, PA.
(814) 238-0710



NOTE:
DRAWING IS FOR REFERENCE ONLY. ALL
EXISTING GRADES & SLOPES TO BE VERIFIED
BY SITE ENGINEER & CONTRACTOR. ALL
ACCESSIBLE ELEMENTS SHALL COMPLY WITH
ADA STANDARDS.

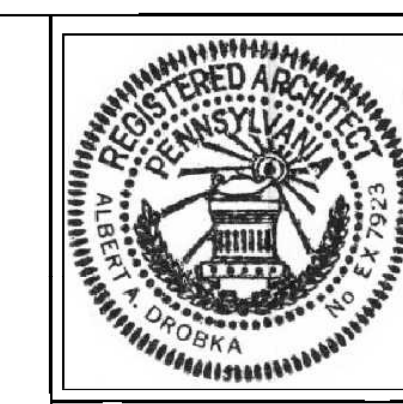
PROP. CONSTRUCTION TYPE	
IBC 2015: 5A, SPRINKLERED	
PROP. OCCUPANCY TYPE	
IBC 2015: A-3	
PROP. SQUARE FEET	
EXISTING BUILDING:	16,948 SF
PROPOSED ADDITION:	13,389 SF
TOTAL:	30,337 SF
PROP. OCCUPANT LOAD	
FOYER: 289 SF/5	= 58 PERSONS
STORAGE #1: 95 SF/300	= 1 PERSON
KITCHEN/DISH: 1,112 SF/200	= 6 PERSONS
STORAGE #5: 89 SF/300	= 1 PERSON
STORAGE #6: 213 SF/300	= 1 PERSON
SOUND: 54 SF/100	= 1 PERSON
STORAGE #2: 157 SF/300	= 1 PERSON
ASSEMBLY: 6,084 SF/15	=406 PERSONS
STORAGE #3: 650 SF/300	= 3 PERSONS
SMALL HALL: 1,026 SF/15	= 69 PERSONS
YOUTH ROOM: 623 SF/15	= 42 PERSONS
STORAGE #4: 302 SF/300	= 2 PERSONS
STORAGE #7: 157 SF/300	= 1 PERSON
TOTAL:	=592 PERSONS

LEGEND	
	NEW WALL
	EXIT SIGN
	EMERGENCY LIGHT BATTERY PACK
	REMOTE HEAD
	FIRE EXTINGUISHER

PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"



NEW ADA PARKING STALLS & AISLES



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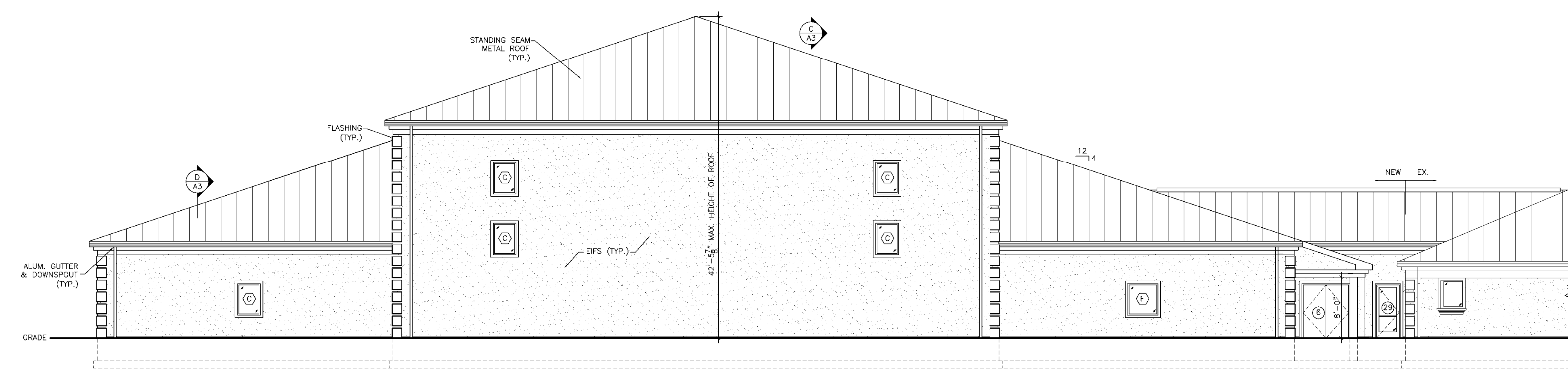
PROJECT
RUSSIAN BAPTIST CHURCH ADDITION
3645 WEST COLLEGE AVE
STATE COLLEGE, PA 16801

REVISION DATE

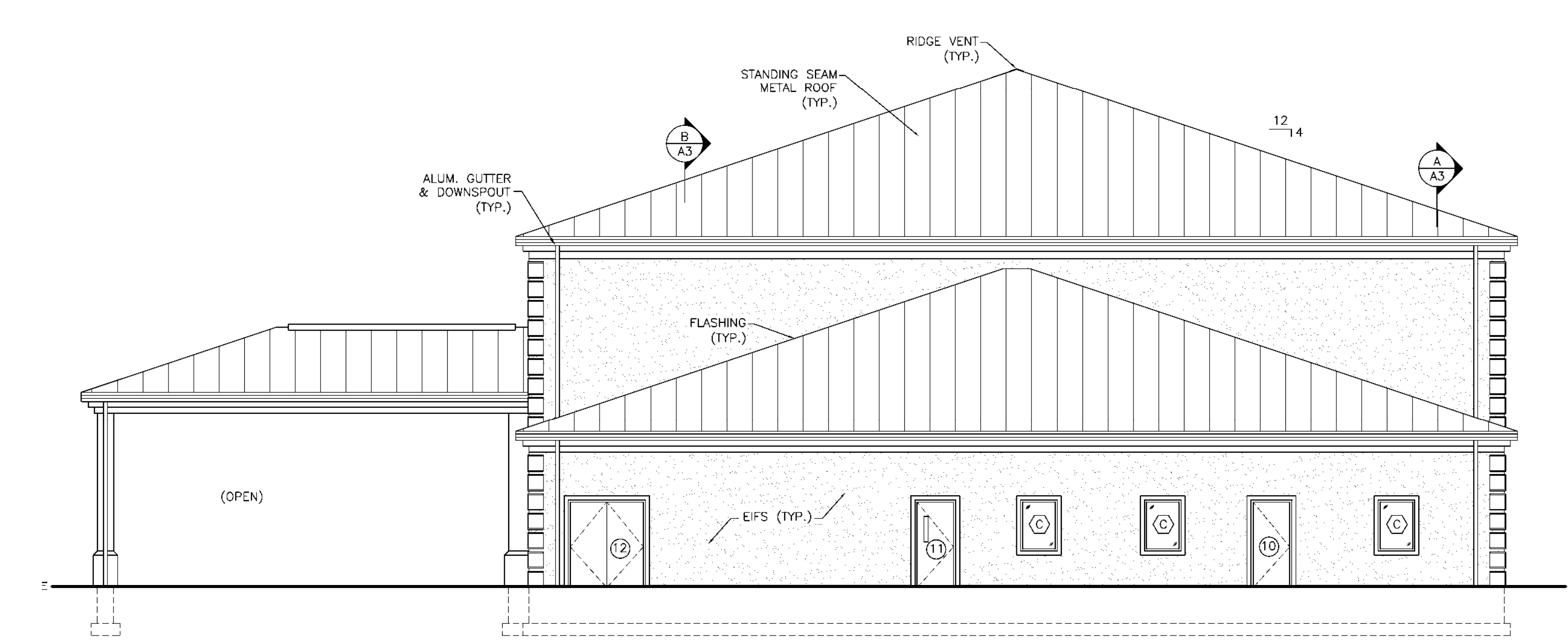
SHEET TITLE
PROPOSED
EXTERIOR
ELEVATIONS

DATE
02/11/21
SCALE
AS NOTED
DRAWN BY:
LDC
CHECKED BY
AAD
SHEET NO.

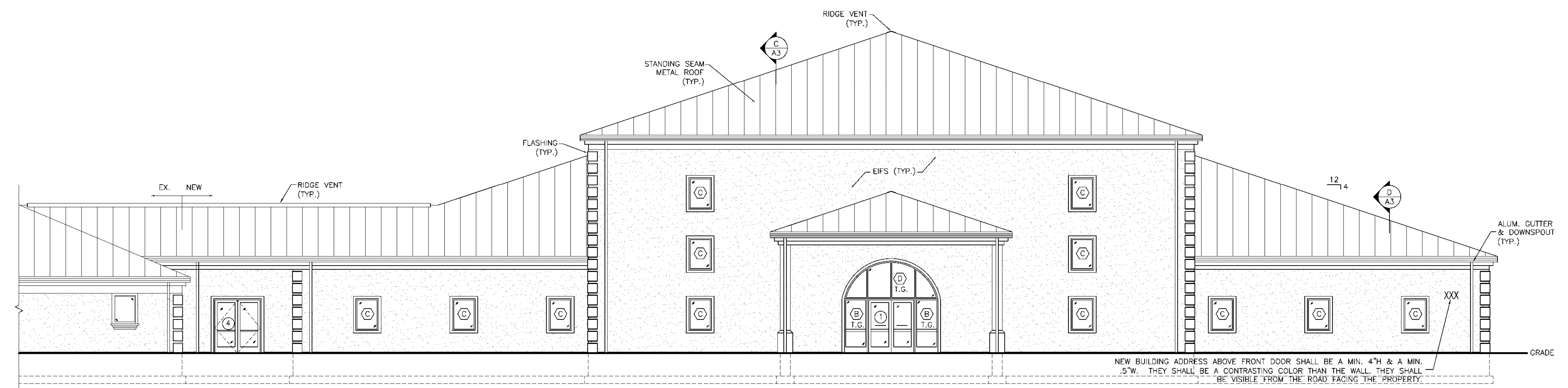
A2
PROJECT #
020-141



PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"



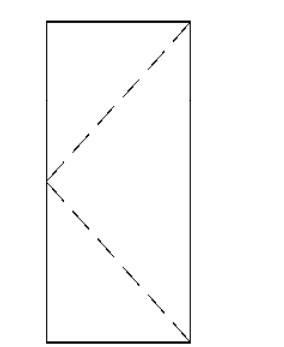
PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

#	TYPE	MATL	WIDTH	HEIGHT	THICK	FINISH	HDW	GRP	FRAME	FINISH	LITE	REMARKS
1	B	INSULATED METAL	12'-0"	14'-0"	1 3/4"	PAINT	2		PAINT			OVERHEAD GARAGE DOOR
2	B	INSULATED METAL	12'-0"	14'-0"	1 3/4"	PAINT	2		PAINT			OVERHEAD GARAGE DOOR
3	B	INSULATED METAL	12'-0"	14'-0"	1 3/4"	PAINT	2		PAINT			OVERHEAD GARAGE DOOR
4	A	INSULATED METAL	3'-0"	6'-8"	1 3/4"	PAINT	1		PAINT			
5	A	INSULATED METAL	3'-0"	6'-8"	1 3/4"	PAINT	1		PAINT			

DOOR TYPES

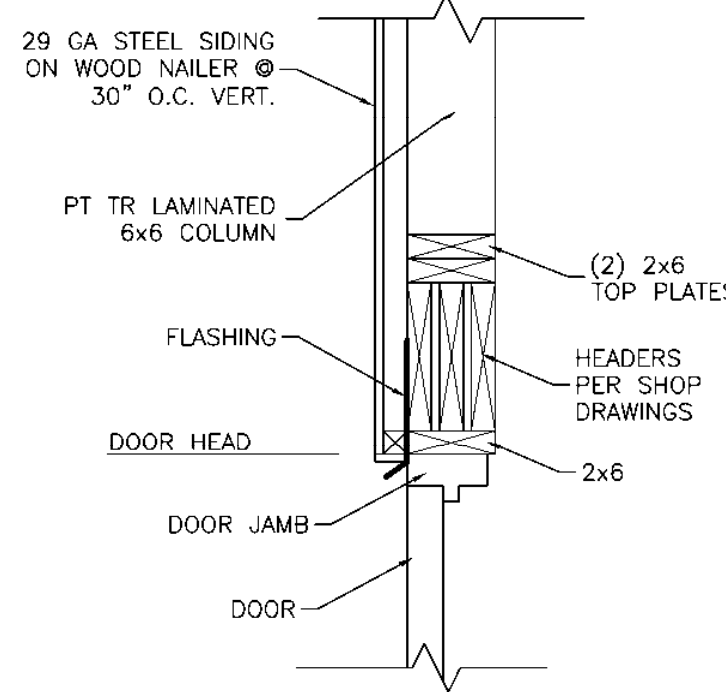


DOOR TYPE A
3/8x5/8x1 3/4
INSULATED METAL
U-VALUE OF .77
OR BETTER

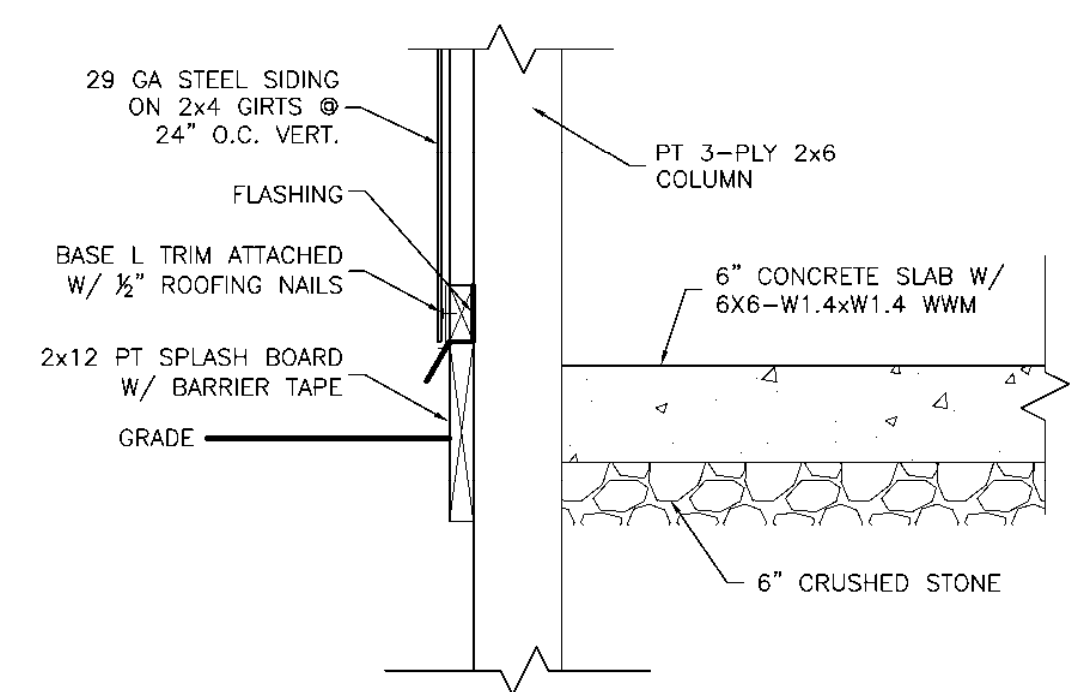
DOOR TYPE B
12/0x14/0x1 3/4
HOLLOW METAL
OVERHEAD DOOR
U-VALUE OF .77
OR BETTER

HARDWARE TYPES

- HARDWARE SET #1
3 EA. RINGS
THRESHOLD
WEATHER STRIPPING
CLOSER
LEVER HANDLES
DEADBOLT
- HARDWARE SET #2
STANDARD HARDWARE
FROM DOOR MANUFACT.



DOOR FLASHING DETAIL
SCALE: 1" = 1'-0"

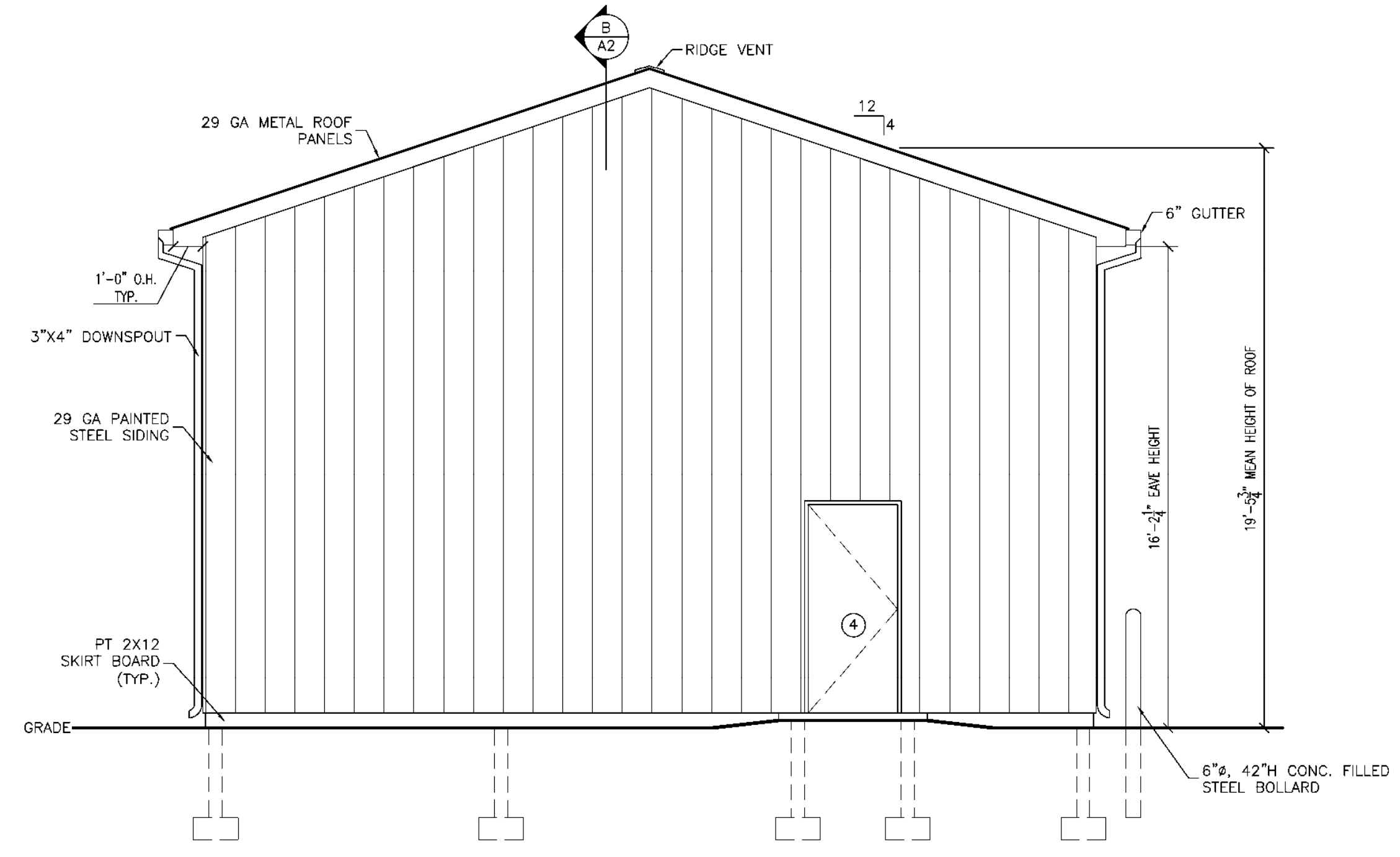


FLOOR FLASHING DETAIL
SCALE: 1" = 1'-0"

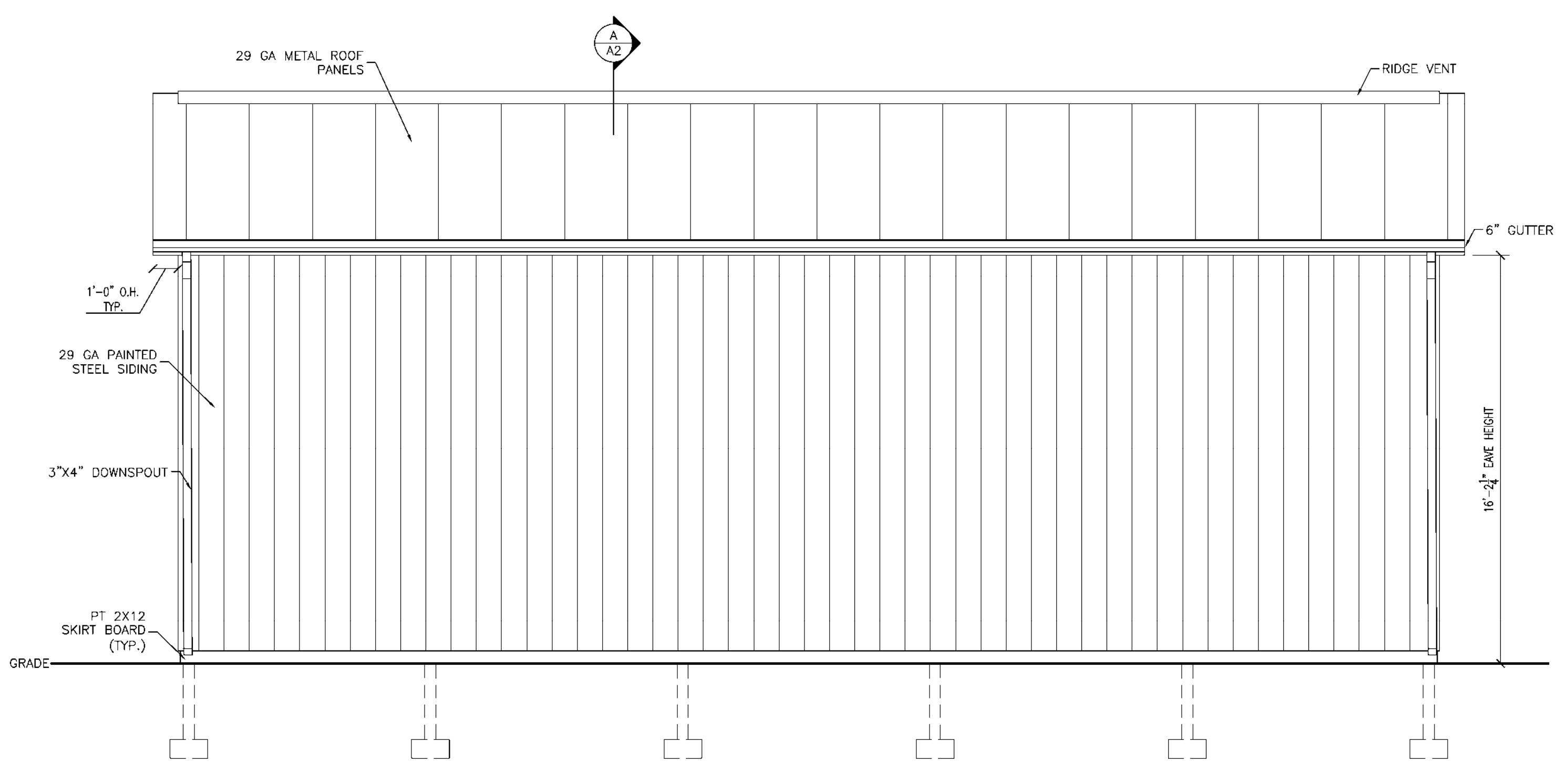
ROOM	AREA	FINISH SCHEDULE								REMARKS		
		FLOOR	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	CEILING					
100	GARAGE	CO	-	EXP	-	EXP	-	EXP	-	EXP	16'-0"	

ABBREVIATIONS
CO = CONCRETE
EXP = EXPOSED

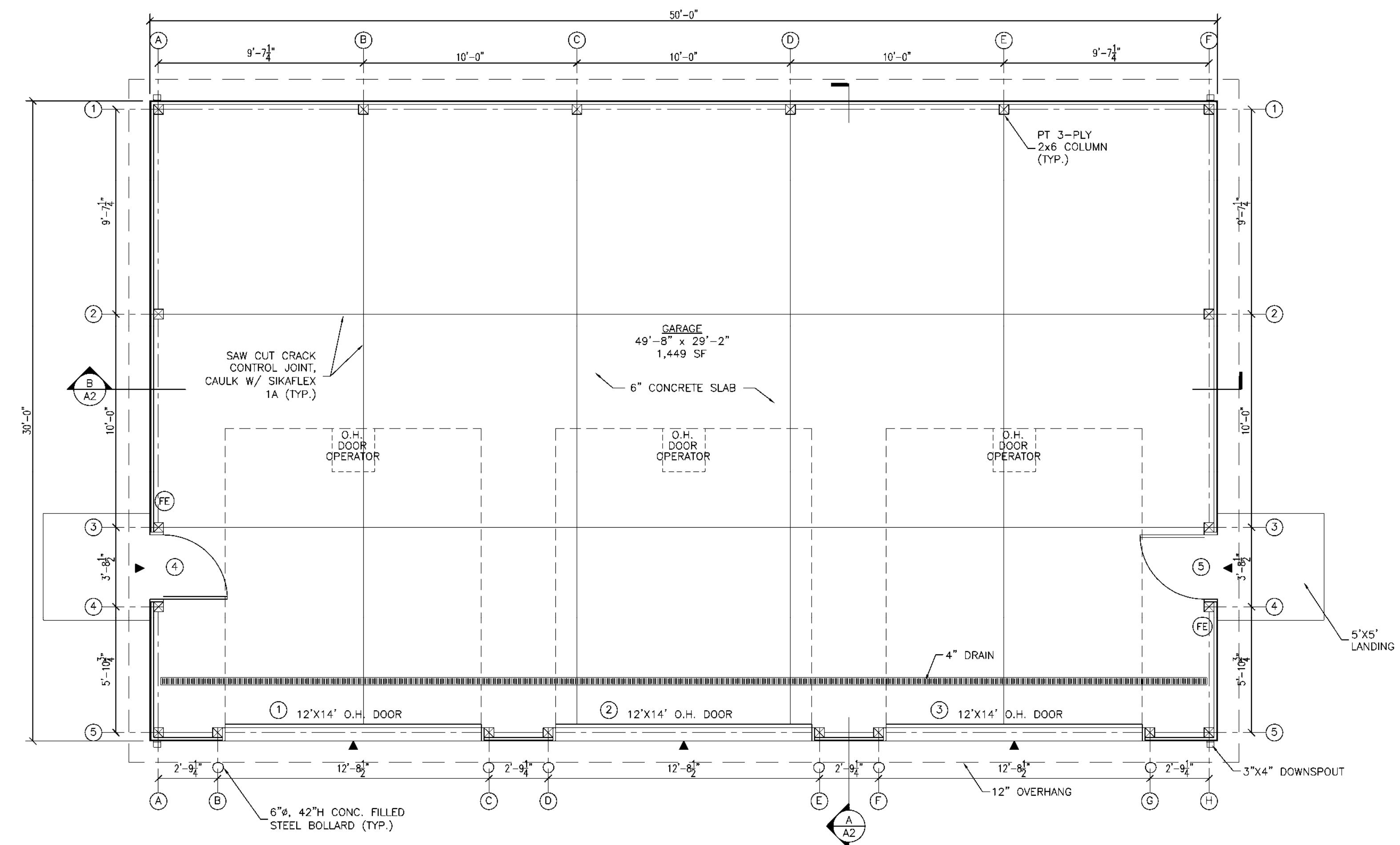
NOTES:
1. ALL INTERIOR FINISHES SHALL HAVE A FLAME SPREAD OF 200 OR LESS.
2. OWNER TO SELECT ALL COLORS & FINISHES, UNLESS OTHERWISE NOTED.



PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND	
(FE)	FIRE EXTINGUISHER
(▲)	REMOTE HEAD
	CONSTRUCTION TYPE
IBC 2015: 5B	OCCUPANCY TYPE
IBC 2015: U	SQUARE FOOTAGE
1,449 SF	OCCUPANT LOAD
NO OCCUPANCY	PROJECT #
	021-05



ALBERT A. DROZKA ARCHITECT
P.O. BOX 256
1352 S. ATHERTON ST.
STATE COLLEGE, PA.
(814) 238-0710



COLLEGE TOWNSHIP

MEMORANDUM

To: Municipalities Contiguous to College Township, including:
Township of Patton, Attention: Doug Erickson | Township of Ferguson, Attention: Jenna Wargo, AICP
Township of Halfmoon, Attention: Planning & Zoning | Township of Harris, Attention: Amy Farkas
Township of Benner, Attention: Sharon Royer | Borough of State College, Attention: Ed LeClear, AICP
Centre County Planning & Community Development Office, Attention: Ray Stolin, AICP | Mr. Jim
May, Centre Regional Planning Agency/Centre Regional Planning Commission
Via Email

From: Lindsay K. Schoch, AICP | Principal Planner

Re: Request for Review. *Walkable College Township, a Pedestrian Facilities Master Plan*

Date: September 19, 2022

College Township, over the past few years has been working to prepare a Pedestrian Facilities Master Plan. We are happy to report we are at the stage in the process when you, as a contiguous municipality has the opportunity to review and comment upon the work completed.

In an effort to be mindful of the environment, allow us to offer you this [link to the Plan](#). This link will take you to the electronic version of *Walkable College Township, A Pedestrian Facilities Master Plan*. Kindly review the contents within and provide comment to College Township by November 3, 2022 for consideration at the November 17, 2022 Public Hearing. Also, feel free to take the survey found within the link!

In addition to the Pedestrian Plan, we also provide proposed amendments to our subdivision and land development ordinance impacted by the updated Ped Plan. It is our intent to adopt the Plan and enact the ordinance changes at the same Public Hearing to ensure the prompt implementation of the Pedestrian Facility Master Plan. Below, please find the proposed ordinance changes. Pursuant to Section 505 of the PA MPC, we offer these proposed changes for your review.

We want to take this opportunity to thank you for your time and attention to this Plan review. Pedestrian Facilities are not a single-municipality issue, as they are regional and countywide assets. Your input is valuable.

If you have any questions during your review, I welcome you to reach out to me for further discussion and clarification.

COLLEGE TOWNSHIP
CENTRE COUNTY, PENNSYLVANIA

ORDINANCE NO. O-22-04

PROPOSED ORDINANCE TO IMPLEMENT THE RECOMMENDATIONS SET FORTH IN THE PEDESTRIAN FACILITIES MASTER PLAN BY AMENDING CHAPTER 180 – SUBDIVISION AND LAND DEVELOPMENT TO UPDATE SIDEWALK REGULATIONS PERTAINING TO WAIVERS, DEFERRALS, AND FEE-IN-LIEU OF PEDESTRIAN FACILITIES; REQUIRE CUL-DE-SAC CONNECTIONS; AND TO UPDATE CHAPTER A-203 SCHEDULE OF FEES TO ESTABLISH APPROPRIATE FEES AS A PAYMENT IN LIEU OF PEDESTRIAN FACILITIES.

~~Strikethrough~~ = deletion

Bold Italics = addition

BE IT RESOLVED AND ORDAINED, by the College Township Council, Centre County, Pennsylvania and the authority of the same, does hereby adopt, made this ____ day of _____ 2022, by amending the Code of the Township of College, Pennsylvania with the amendment of Chapter 180 as follows:

SECTION 1 – CHAPTER 180 SUBDIVISION AND LAND DEVELOPMENT

180-16.F.(2)

(f) Cul-de-sac connections that link to a park, school, adjacent neighborhood, pedestrian or bicycle facility, shall be a priority for future connection in the Township, therefore, when a cul-de-sac is proposed as part of a subdivision of land development plan, said cul-de-sac shall have a right-of-way, linkage, and/or cut-through easement at the terminus of the cul-de-sac.

~~180.16.1 Sidewalks:~~

~~It is the intent of College Township to provide for a safe and convenient sidewalk system in appropriate areas of College Township to create a pedestrian friendly environment. The following regulations are intended to do just that:~~

~~A. General. Sidewalks shall be required to be included in a subdivision or land development plan as follows:~~

~~(1) All new streets proposed in a land development or subdivision plan shall include sidewalks along both sides of the streets.~~

~~(2) All new subdivisions or land developments located adjacent to an existing street(s). A sidewalk shall be required along the side(s) of the street(s) which the proposed subdivision or land development abuts where there currently is no sidewalk(s).~~

~~(3) All nonresidential, townhome and multifamily residential uses shall provide a separate system of sidewalks connecting the primary building entrance(s) to other primary buildings' entrance(s) and to the nearest public sidewalk abutting the development.~~

~~B. Exemptions. The following shall be exempt from the provisions of § 180-16.1A:~~

~~(1) Development reviewed pursuant to § 200-50, Residential site plan review, shall be exempt from the requirements contained herein unless required as part of a subdivision or land development approved pursuant to Chapter 180, Subdivision of Land, prior to the adoption of this section.~~

~~(2) Development within the Village Center District shall provide sidewalks pursuant to § 200-40E, Sidewalks and parking lot requirements for Village Center District.~~

~~(3) Development reviewed pursuant to § 200-28.4.B.f is eligible for a reduction of sidewalks as an incentive for development of workforce housing.~~

~~C. Waivers. The Council may waive the requirements for sidewalks contained above if it determines in the following circumstances that the amount of pedestrian traffic will be minimal, the provisions of sidewalks will create an undue hardship and/or the provisions of sidewalks will change the rural character of the area proposed for development:~~

~~(1) A subdivision or land development is outside of the Regional Growth Boundary as shown in the 2000 Centre Region Comprehensive Plan as subsequently amended.~~

~~(2) The subdivision or land development is within a single family residential neighborhood where no other sidewalks exist.~~

~~(3) The subdivision or land development has topographic, environmentally sensitive features, such as existing vegetation, wetlands, or floodplains and/or man-made limitations.~~

~~D. Alternatives. Where a land development or subdivision plan is requesting a waiver from the requirements contained within this section, alternatives shall be considered, such as alternate pedestrian routes, different widths or building material before Council can grant a waiver pursuant to above.~~

180.16.1 Sidewalks:

It is the intent of College Township to provide an interconnected, continuous, and well-maintained network of sidewalks, shared-use paths, and other related facilities that provide all users, regardless of age and ability, with safe and efficient access to numerous key destinations throughout College Township and the Centre Region.

A. General. Sidewalks shall be required to be included in a subdivision or land development plan as follows:

- (1) All new streets proposed in a land development or subdivision plan shall include sidewalks along both sides of the streets.**
- (2) All new subdivisions or land developments located adjacent to an existing street(s). A sidewalk shall be required along the side(s) of the street(s) which the proposed subdivision or land development abuts where there currently is no sidewalk(s).**
- (3) All nonresidential, townhome and multifamily residential uses shall provide a separate system of sidewalks connecting the primary building entrance(s) to other primary buildings' entrance(s) and to the nearest public sidewalk abutting the development.**

B. Exemptions. The following shall be exempt from the provisions of § 180-16.1A:

- (1) Development reviewed pursuant to § 200-50, Residential site plan review, shall be exempt from the requirements contained herein unless required as part of a subdivision or land development approved pursuant to Chapter 180, Subdivision of Land, prior to the adoption of this section.**
- (2) Development within the Village Center District shall provide sidewalks pursuant to § 200-40E, Sidewalks and parking lot requirements for Village Center District.**
- (3) Development reviewed pursuant to § 200-28.4.B.f is eligible for a reduction of sidewalks as an incentive for development of workforce housing.**

C. Alternatives. Where a land development or subdivision plan is requesting a waiver from the requirements contained within this section, alternatives shall be considered, such as alternate pedestrian routes, different widths or building material before Council can grant a waiver pursuant to above.

D. Fee-in-lieu of Pedestrian Facilities. In instances where pedestrian facilities are not proposed, but are required by the Ordinance, a pedestrian facility fee-in-lieu is an option if a facility meets the following criteria:

- (1) The construction of pedestrian facilities is proven to be a hardship on the developer, and;**
 - (2) All reasonable alternatives for inclusion of the required pedestrian facilities are exhausted, and;**
 - (3) The Township Engineer has determined that the project is cost prohibitive.**
- (4) The following criteria shall be submitted for review:**
- (a) Engineered drawing(s);**
 - (b) Estimated pedestrian facility construction costs and;**
 - (c) A map indicating the distance to nearest existing/planned facility.**

E. Deferral: A deferral offers an option to delay construction of a required pedestrian facility for a set amount of time, or until some other factor triggers the need for construction. In order to request a deferral of a pedestrian facility, the following four (4) shall apply:

- (1) Sidewalks are required under the SALDO;**
- (2) Justification is provided as to why the installation of pedestrian facilities may be a hardship;**
- (3) No alternatives are acceptable;**
- (4) Cost prohibitive formula is applied, but the project is deemed not cost prohibitive;**

In the case a deferral is warranted, recommended by the Planning Commission and approved by Council, the following three (3) shall apply:

- (5) *Unless otherwise recommended, a deferral shall not be more than two (2) years;*
- (6) *Final conditions of deferral are determined by staff, recommended by the Planning a Commission and approved by Council;*
- (7) *Notes outlining the final deferral conditions are added to the proposed land development/subdivision plan and recorded upon approval.*

F. Waiver: Council may waive the requirements for sidewalks contained above if it determines in the following circumstances that the amount of pedestrian traffic will be minimal, the provisions of sidewalks will create an undue hardship and/or the provisions of sidewalks will change the rural character of the area proposed for development:

- (1) *A subdivision or land development is outside of the Regional Growth Boundary as shown in the 2000 Centre Region Comprehensive Plan as subsequently amended.*
 - (2) *The subdivision or land development is within a single-family residential neighborhood where no other sidewalks exist.*
 - (3) *The subdivision or land development has topographic, environmentally sensitive features, such as existing vegetation, wetlands, or floodplains and/or man-made limitations.*
- (4) *Waivers shall only be considered if fee-in-lieu and deferral options exhausted. At least one of the following factors shall apply:*
- (a) *The College Township Engineer concurs that the construction of the proposed facility is technically infeasible and all alternate alignment options have been exhausted. Submit a Technically Infeasible Waiver Request to the Township for consideration; conditions considered include adverse topology, overhead utilities, street lighting, traffic signal poles, underground utilities, conflicting structures, bodies of water and storm water facilities. Requirements of the Technically Infeasible Waiver Request (TIWR) shall include:*
 - i. *Cover letter addressed to Township Council;*
 - ii. *Waiver request justification report signed and sealed by a Professional Engineer or Architect;*
 - iii. *Cost estimate of modifications required to construct the facility per ordinance requirements;*
 - iv. *Hardship justification pursuant to Section 180-15.*
 - (b) *The proposed facility scores seven (7) or less on the Project Prioritization Matrix.*
 - (c) *The proposed facility is on a parcel located outside of the Regional Growth Boundary/Sewer Service Area (RGB/SSA) and provides no or redundant connectivity to the existing or proposed network within the RGB/SSA.*

SECTION 2 – CHAPTER A-203 FEES AND PENALTIES

A203-26: Pursuant to §180.16.1.A the consideration of a fee-in-lieu of pedestrian facilities must represent a reasonable return that would cover the true costs for the Township to develop a comparable facility. The fee schedule, set forth by resolution may be reviewed and revised periodically. The following fees shall be applied when calculating costs:

- A. \$80 per square yard – facility construction*
- B. \$10 per square yard – incidentals (drainage, tree root guards)*
- C. \$1,000 per ADA ramp, in addition to the square yard cost*

SECTION 3 – REFERENCES

Add the following references to Chapter 200 Zoning and 200–38.4.B.f. Workforce Housing Chapter 180 – Subdivision and Land Development (Reference to 180-16.F.(2), 180.16, 180.16.1)

SECTION 4 – SEVERABILITY

If any sentence or clause, section, or part of this ordinance is found to be unconstitutional, illegal or invalid, such findings shall not affect or impair any of the remaining parts of this ordinance. It is hereby declared to be the intent that this ordinance would have been adopted had such part not been included.

SECTION 5 – EFFECTIVE DATE

This ordinance shall take effect five (5) days after enactment.

ENACTED AND ORDAINED, this _____ day of _____ 2022, by the College Township Council, Centre County, Pennsylvania.

ATTEST:

COLLEGE TOWNSHIP COUNCIL:

Adam T. Brumbaugh, Manager/Secretary

D. Richard Franke, Council Chair