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# TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801  
Telephone: 814-238-4651 • Fax: 814-238-3454  
[www.twp.ferguson.pa.us](http://www.twp.ferguson.pa.us)

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## Tree Commission Hybrid Meeting Agenda

<https://us02web.zoom.us/j/84324261360>

October 17, 2022

5:15 pm

**I. CALL TO ORDER**

**II. CITIZEN'S INPUT**

**III. APPROVAL OF MINUTES**

1. September 19, 2022

**IV. PUBLIC HEARING FOR TREE REMOVALS**

**15 minutes**

**Narrative**

The Commission vote on the tree removal's that were viewed on the tree tour

*Recommended action: That the Tree Commission provide their recommendation to the Township Arborist on tree removals.*

**V. SPECIAL REPORTS**

None.

**VI. UNFINISHED BUSINESS**

**1. EDUCATION & OUTREACH**

**10 minutes**

**Narrative**

The subcommittee will provide an update on the education article for Commission review.

*Recommended motion: That the Tree Commission approve the monthly article topics.*

**1. OAK WILT – UPDATE**

**10 minutes**

**Narrative**

Arborist Larry Maginnis will provide an update on the Oak Wilt mitigation efforts on Beaver Branch Road.

*Recommended motion: That the Tree Commission accept the Arborist's report.*

**VII. NEW BUSINESS**

**2. CONSENT AGENDA**

- a. All Washed Up Land Development Plan
- b. 1004 W. College Vert Mixed Use
- c. Peace Center & Cemetery

**VIII. STAFF AND COMMITTEE REPORTS**

**15 minutes**

- 1. Arborist Report**
- 2. Public Works Director Report**

**IX. COMMUNICATIONS TO THE BOARD**

**X. CALENDAR ITEMS**

- a. Next Meeting will be held November 21st at 5:15pm

**XI. ADJOURNMENT**

**FERGUSON TOWNSHIP TREE COMMISSION  
MEETING MINUTES  
Monday, September 19, 2022  
5:15 PM**

**I. ATTENDANCE**

The Tree Commission held its regular meeting on Monday, September 19, 2022. In attendance were:

**COMMISSION:**

Scott Pflumm-Absent  
Marc McDill-Absent  
Allyson Muth  
Josh Potter  
Mike Jacobson

**STAFF:**

David Modricker, Public Works Director  
Summer Brown, Recording Secretary  
Larry Maginnis, Township Arborist-Absent  
Kristina Bassett, Community Planner

Others in Attendance: Ellen Kline, Ferguson Township Resident.

**II. CALL TO ORDER**

Mr. David Modricker called the Monday, September 19, 2022 Ferguson Township Tree Commission (FTTC) meeting to order at 5:23 pm.

**III. CITIZEN'S INPUT**

None.

**IV. APPROVAL OF MINUTES**

**Mr. Josha Potter made a motion to approve the August 15th Tree Commission minutes, Dr. Allyson Muth seconded the motion, and the motion passed unanimously.**

**V. SPECIAL REPORTS**

None.

**VI. UNFINISHED BUSINESS**

**1. EDUCATION & OUTREACH**

Mr. Maginnis stated that the sub committee met in September and the article has been submitted and residents should see it posted soon. Mr. Potter stated that the topic was regarding street trees.

**2. TREE CANOPY SURVEY UPDATE**

Mrs. Kristina Basset, Township Community Planner is present to give the Commission an update on the tree canopy survey she's been working on. Mrs. Basset stated that Dr. Marc McDill sent a list of items he would like to have updated. Mrs. Basset reviewed her update with the Commission. She showed areas of Gains, Loss, and no change. Mr. Modricker asked Mrs. Bassett to add the percentage of total area of tree canopy coverage for each area. Mr. Modricker suggested Kristina come back in November with the changes

requested.

## **VII. NEW BUSINESS**

### **1. Consent Agenda**

- **SALVATION BAPTIST CHURCH**

Mr. Maginnis stated that he has been working on this project for a couple months and has worked closely with the developer and is happy with how it's turning out. Mr. Maginnis noted that the tree inventory was quite extensive.

- **MP MACHINERY AND TESTING**

Mr. Maginnis stated that this is just an addition to a business. A lot of landscape trees on site. Mr. Maginnis stated that he submitted his latest comments today. Mr. Maginnis wants to make sure they save enough canopy coverage on this project.

### **2.OAK WILT – BEAVER BRANCH ROAD**

Mr. Maginnis stated that he was working on removing a tree in the Township right of way and the owner alerted him to some sick trees on his property . Mr. Maginnis stated that he climbed and took samples and hand delivered to pathology and received positive result on Monday. Mr. Maginnis has contacted adjacent property owners and is currently working on a contract for removal. Mr. Maginnis noted that the affected trees were red oaks surrounded by white oaks.

## **VIII. STAFF AND COMMITTEE REPORTS**

### **1.ARBORIST REPORT**

Mr. Maginnis has been surveying walking routes for pruning work. Mr. Maginnis also stated that he is working with other Township staff to address an accident hot zone located on Autumnwood Drive. Mr. Maginnis also noted that he attended a training and is now a certified Chesapeake Bay Landscape professional.

### **2.PUBLIC WORKS DIRECTOR REPORT**

Mr. Modricker stated that the Township stormwater engineer also attended the training and is now a certified Chesapeake Bay landscape professional.

## **IX. COMMUNICATIONS TO THE TREE COMMISSION**

None.

## **X. ADJOURNMENT**

The September 19, 2022 Tree Commission meeting ended at 7:00 pm.

RESPECTFULLY SUBMITTED,

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David J. Modricker, Secretary  
For the Tree Commission

# PRELIMINARY LAND DEVELOPMENT PLANS FOR ALL WASHED UP AUTO SPA

## AT 1380 & 1396 N. ATHERTON STREET TOWNSHIP OF FERGUSON COUNTY OF CENTRE COMMONWEALTH OF PENNSYLVANIA

### ZONING INFORMATION

ZONING DISTRICT: C (COMMERCIAL)  
A CAR WASH IS A PERMITTED USE WITHIN THIS ZONING DISTRICT.

ZONING INFORMATION WAS OBTAINED FROM:  
FERGUSON TOWNSHIP PLANNING & ZONING  
3147 RESEARCH DRIVE  
STATE COLLEGE, PA 16801  
(814) 238-4651  
JENNA WARGO  
DIRECTOR PLANNING & ZONING

ZONING	REQUIRED	PROPOSED
MIN. LOT AREA	5,000 SF	36,287 SF
MIN. LOT WIDTH	50'-0"	220.00'
MIN. FRONT YARD SETBACK (N. ATHERTON STREET) (W. NORTH HILLS PLACE)	50'-0"	75'-7" 57'-6"
MIN. SIDE YARD SETBACK	15'-0"	52'-9"
MIN. REAR YARD SETBACK	20'-0"	42'-0"
MIN. FRONT PARKING SETBACK	12'-0"	12'-0"
MAX. BUILDING HEIGHT	40'-0"	26'-3"
MAX. LOT COVERAGE	45%	9.8%
MAX. IMPERVIOUS COVERAGE	80%	30.9%
SIDE YARD BUFFER SETBACK	15'-0"	15'-0"
REAR YARD BUFFER SETBACK	15'-0"	15'-0"

### PARKING REQUIREMENTS

ZONING DISTRICT: C (COMMERCIAL)

FOUR (4) PARKING SPACES ARE REQUIRED FOR EMPLOYEES AND DELIVERIES.  
NUMBER OF SPACES REQUIRED: 4 REQUIRED  
NUMBER OF SPACES PROVIDED: 3 PROVIDED\*

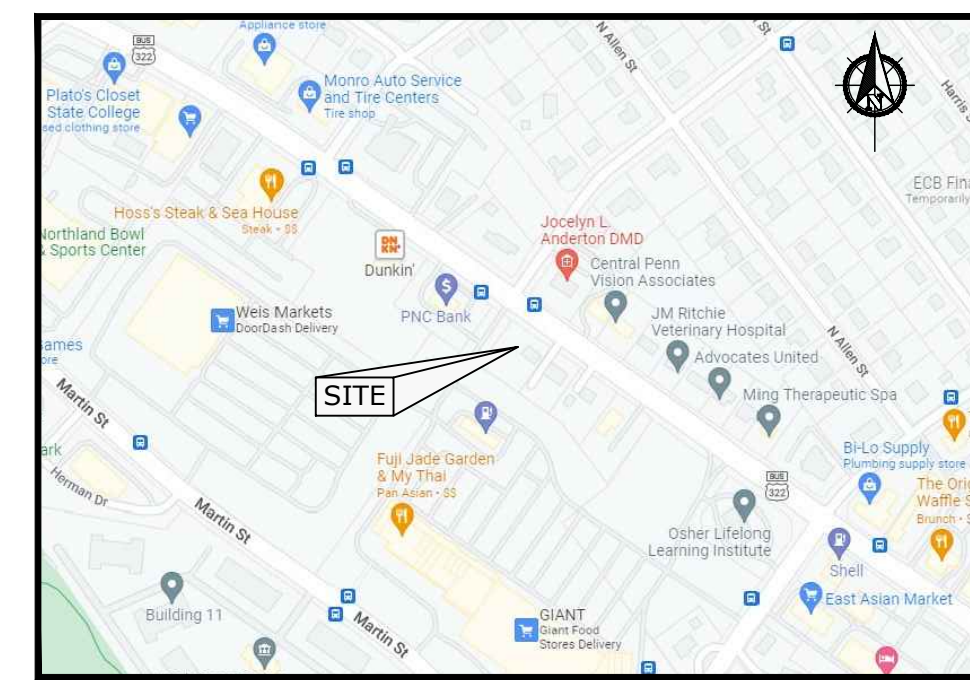
\* TWO (2) DESIGNATED PARKING SPACES AND ONE (1) SPACE AT STRIPED AREA.

PARKING STALL SIZE: 9' x 18' REQUIRED  
9' x 18' PROVIDED

PARKING STALL SIZE PROVIDED: NINETEEN (19) 11' x 18' @ VACUUM ISLANDS (INCLUDES ONE ACCESSIBLE PARKING STALL)

### DRAWING INDEX

CS	COVER SHEET
1 of 1	EXISTING CONDITIONS SURVEY
TS-1	TREE SURVEY PLAN
SP-1	DEMOLITION PLAN
SP-2	SITE PLAN
SP-3	CONCEPT STORMWATER PLAN
SP-4	SITE UTILITY PLAN
SP-5	SITE DETAILS
SP-6	LANDSCAPE PLAN



SITE LOCATION MAP  
SCALE: 1" = 500'

### FLOOD ZONE NOTE

By graphic plotting only, this site is located in Zone X of the Flood Insurance Rate Map 42027C0617F, Community No. 420270, Panel 0617, Suffix F, bearing an effective date of May 4, 2009 and is not in a special flood hazard area.

### PREPARED BY:



**MDM**  
SURVEYORS & ENGINEERS, LLC  
Surveyors • Engineers • Site Planners  
375 Northgate Drive  
Warrendale, PA 15086  
Ph: (724) 934-2810 Fax: (724) 934-2811  
mdmcard@mdmlc.com  
www.mdmlc.com

Issue Date: 8/29/2022

### GENERAL NOTES

- Bearings shown hereon are based on the bearings described for Tax Parcel 24-012-023 recorded in Deed Book 2258, page 462, in the Centre County Recorder of Deeds office.
- The underground utilities shown on this survey have been located from field survey information, markings provided by the utility companies and existing drawings obtained from utility companies. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does certify that they are located as accurately as possible from available information.
- Contour Interval = 1'. Elevations shown hereon are based upon GPS observations on October 20, 2021, and are to the North American Vertical Datum of 1988 (NAVD88)(GEOID12a).
- There was no observed evidence of current earth moving work, building construction or building additions.
- The surveyor knows of no known recent or proposed changes in street right-of-way lines, street or sidewalk construction or repairs.
- There is no observed evidence of this site being used as a solid waste dump, sump, or sanitary landfill.
- Iron pins with cap set are 5/8" Ø rebar, 30" in length with a yellow plastic I.D. cap that bears the inscription "MDM 724-934-2810".
- Basis of Legal Right of Way is PennDOT State Route 3014 Right-of-Way Drawings (MPMS No. 98126), Recorded as H02017-0003
- Contact PennDOT District 2 for Permitting and Right-of-Way information:

Right-of-Way  
70 PennDOT Drive  
Clearfield, PA 16830  
(814) 765-0467  
Clifton Charles  
ccharles@pa.gov

Centre County  
1000 E. Bishop St.  
Belleville, Pa. 16823  
(814) 355-4731  
Permits: (814) 765-0512

### OWNER/DEVELOPER:

ALL WASHED UP AUTO SPA  
833 SILVER CREEK ROAD  
ST. MARY'S, PA 15857  
(814) 834-9777  
CHUCK DeLULLO

### SURVEYOR:

MDM - SURVEYORS & ENGINEERS, LLC  
375 NORTHGATE DRIVE  
WARRENDALE, PA 15086  
(724) 934-2810  
CHRISTOPHER R. JACKSON  
cjackson@mdmlc.com  
PA LICENSE No.: SU075499

### ENGINEER:

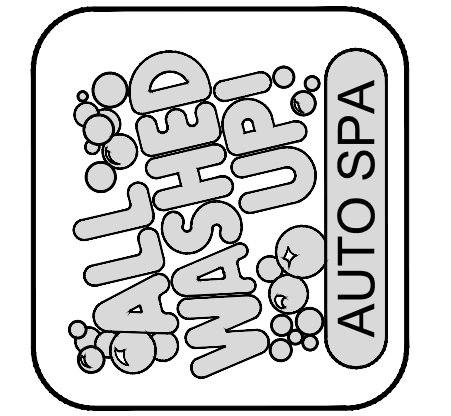
MDM - SURVEYORS & ENGINEERS, LLC  
375 NORTHGATE DRIVE  
WARRENDALE, PA 15086  
(724) 934-2810  
CHRISTOPHER M. PETERS, PE  
PA LICENSE No.: PE060187

### UTILITY CONTACTS

<b>SANITARY SEWER</b> BOROUGH OF STATE COLLEGE SEWER AUTHORITY 243 SOUTH ALLEN STREET STATE COLLEGE, PA 16801 (814) 234-7140 AMY KERNER akerner@statecollegepa.us	<b>GAS SERVICE</b> COLUMBIA GAS, PA 1020 NORTH HARTLEY STREET YORK, PA 17404 (717) 849-0160 NED LEPPU nleppu@nisource.com	<b>WATER SERVICE</b> STATE COLLEGE BOROUGH WATER AUTHORITY 1201 WEST BRANCH ROAD STATE COLLEGE, PA 16801 (814) 238-6766
<b>STORM SEWER</b> UNIVERSITY AREA JOINT AUTHORITY 1576 SPRING VALLEY ROAD STATE COLLEGE, PA 16801 (814) 238-5361 EXT. 7715 MARK HARTER mharter@uaja.com	<b>CABLE SERVICE</b> PETE FOURNIER COMCAST BUSINESS SERVICES NORTHEAST DIVISION HQ 676 ISLAND POND ROAD MANCHESTER, NH 03109 (603) 541-1099	<b>ELECTRIC SERVICE</b> WEST PENN POWER CO. 2800 EAST COLLEGE AVENUE STATE COLLEGE, PA 16801 (814) 231-5355
<b>STORM SEWER</b> FERGUSON TOWNSHIP PUBLIC WORKS 3147 RESEARCH DRIVE STATE COLLEGE, PA 16801 (814) 238-4651 DAVID MODRICKER, P.E.	<b>TELEPHONE SERVICE</b> VERIZON, PA 250 SOUTH ALLEN STREET (814) 231-6565 877-596-7577	



REV.	DATE	DESCRIPTION



CLIENT:  
**ALL WASHED UP AUTO SPA**

PROJECT:  
1380 & 1386 N. ATHERTON STREET  
TOWNSHIP OF FERGUSON, COUNTY OF CENTRE  
COMMONWEALTH OF PENNSYLVANIA

SHEET TITLE  
**COVER SHEET**

DRAWN BY: CWT  
CHECKED BY: CMP  
ISSUE DATE: 8-29-2022

SHEET NUMBER  
**CS**

**GENERAL NOTES**

- Bearings shown hereon are based on the bearings described for Tax Parcel 24-012-023 recorded in Deed Book 2258, page 462, in the Centre County Recorder of Deeds office.
- The underground utilities shown on this survey have been located from field survey information, markings provided by the utility companies and existing drawings obtained from utility companies. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does certify that they are located as accurately as possible from available information.
- Contour Interval = 1'. Elevations shown hereon are based upon GPS observations on October 20, 2021, and are to the North American Vertical Datum of 1988 (NAVD88)(GEOID12a).
- There was no observed evidence of current earth moving work, building construction or building additions.
- The surveyor knows of no known recent or proposed changes in street right-of-way lines, street or sidewalk construction or repairs.
- There is no observed evidence of this site being used as a solid waste dump, sump, or sanitary landfill.
- Iron pins with cap set are 5/8"Ø rebar, 30" in length with a yellow plastic I.D. cap that bears the inscription "MDM 724-934-2810".
- Basis of Legal Right of Way is PennDOT State Route 3014 Right-of-Way Drawings (MPMS No. 98126), Recorded as H02017-0003
- Contact PennDOT District 2 for Permitting and Right-of-Way information:  
 Right-of-Way Centre County  
 70 PennDOT Drive 1000 E Bishop St.  
 Clearfield, PA 16830 Bellefonte, Pa. 16823  
 (814) 765-0467 (814) 355-4731  
 Clifton Charles Permits: (814) 765-0512  
 ccharles@pa.gov

**SCHEDULE B - SECTION 2 ITEMS**

This item will be addressed upon receipt of the current title commitment for the subject premises.

**VISIBLE ENCROACHMENTS**

There are no noticeable encroachments at the time of the field survey.

**FLOOD ZONE NOTE**

By graphic plotting only, this site is located in Zone X of the Flood Insurance Rate Map 42027C0617F, Community No. 420270, Panel 0617, Suffix F, bearing an effective date of May 4, 2009 and is not in a special flood hazard area.

**LEGAL DESCRIPTION**

This item will be addressed upon receipt of the current title commitment for the subject premises.



**SITE LOCATION MAP**  
SCALE: NOT TO SCALE

**LEGEND OF SYMBOLS**

- Contour Line: --- 1165 ---
- Water Line: --- W ---
- Gas Line: --- G ---
- Overhead Electric, Telephone & Cable Line: --- E/T/C ---
- Overhead Electric Line: --- E ---
- Storm Sewer: --- S ---
- Sanitary Sewer: --- SS ---
- Easements: --- E ---
- Setback Line: --- S ---
- Depressed Curb: --- DC ---
- Wooden/Vinyl Fence: --- WF ---
- Guard Rail: --- GR ---
- Tree Line: --- TL ---
- Signal Poles: --- SP ---
- Sign Poles: --- SPO ---
- Street Light: --- SL ---
- Sanitary Manhole: --- SM ---
- Cleanout: --- CO ---
- Storm Manhole: --- StM ---
- Storm Inlet: --- SI ---
- Manhole: --- M ---
- Traffic Signal Base: --- TS ---
- Sign: --- S ---
- Illuminated Signs: --- IS ---
- Light Pole: --- LP ---
- Spot Elevation: --- SE ---
- Existing Curb Elevations: --- CE ---
- FC=Top of Curb
- FC=Bottom of Curb
- Benchmark: --- B ---
- Truncated Domes: --- TD ---
- Shrub: --- S ---
- Right-of-Way: --- RW ---
- Terra Cotta: --- TC ---
- Polyvinyl Chloride: --- PVC ---
- High Density Polyethylene: --- HDPE ---
- Finished Floor Elevation: --- F.F.E. ---
- Corrugated Metal Pipe: --- CMP ---
- Reinforced Concrete Pipe: --- RCP ---
- Iron pin w/cap set (Unless otherwise noted)
- Iron Pin Found
- Gas Meter
- Gas Valve
- Water Valve
- Fire Hydrant
- Electric Meter
- Utility Pole
- Guy Wire
- AC Unit
- Traffic Light
- Traffic Flow Arrow
- Turn Arrows
- Handicap Symbol
- Trees
- Asphalt
- Concrete
- Gravel
- Brick

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, UNLESS SPECIFICALLY NOTED HEREON, AND NO WARRANTY OF ANY KIND IS MADE BY THE SURVEYOR. THE SURVEYOR'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES RENDERED BY HIMSELF OR HIS EMPLOYEES. THIS PLAN OR PART OF SURVEY IS ONLY VALID TO THE PARTIES CERTIFIED HEREON. THIS PLAN OR PART OF SURVEY IS ONLY VALID IF ACCOMPANIED BY THE ORIGINAL SURVEYOR'S SEAL AND SIGNATURE OF THE LICENSED PROFESSIONAL OF RECORD. ANY REVISIONS TO THIS SURVEY SHALL BE MADE BY THE SURVEYOR AND SHALL BE DATED AND SIGNED BY SAID SURVEYOR. PROFESSIONAL SURVEYOR'S SEAL AND SIGNATURE REQUIRED ON THIS PLAN OR PART OF SURVEY AND VOID.

**MDM**  
SURVEYORS & ENGINEERS, LLC  
Surveyors • Engineers • Site Planners  
375 Northgate Drive  
Ferguson, PA 16830  
Ph: (724) 934-2810 Fax: (724) 934-2811  
mdmsurvey@mdmic.com  
www.mdmic.com

All Washed Up Auto Spa  
1380 & 1386 N. Atherton Street  
Township of Ferguson, County of Centre  
Commonwealth of Pennsylvania  
EXISTING CONDITIONS SURVEY

**ZONING INFORMATION**

- Zoning District - C (General Commercial)  
A car wash is a permitted use within this zoning district.
- Minimum Lot Size - 5,000 Sq. Ft.  
Minimum Lot Width - 50 feet  
Minimum Front Yard Setback - 50 feet  
Minimum Side Yard Setback - 15 feet  
Minimum Rear Yard Setback - 20 feet  
Maximum Building Height - 40 feet  
Maximum Lot Coverage - 45%  
Maximum Impervious Coverage - 80%  
Minimum Front Parking Setback - 12 feet  
Side Yard Buffer Setback - 15 feet  
Rear Yard Buffer Setback - 15 feet
- Parking Requirements**  
Parking Formula - Requires parking study per Planning Commission
- Zoning information was obtained from:  
Ferguson Township Planning & Zoning  
3147 Research Drive  
State College, PA 16801  
(814) 238-4651  
Jenna Wargo  
Director Planning & Zoning
- Zoning Notes:**  
1. There are 11 striped parking spaces, including 1 striped accessible space located on the site. Further investigation may be required to determine compliance to ADA standards and is beyond the scope of this survey.

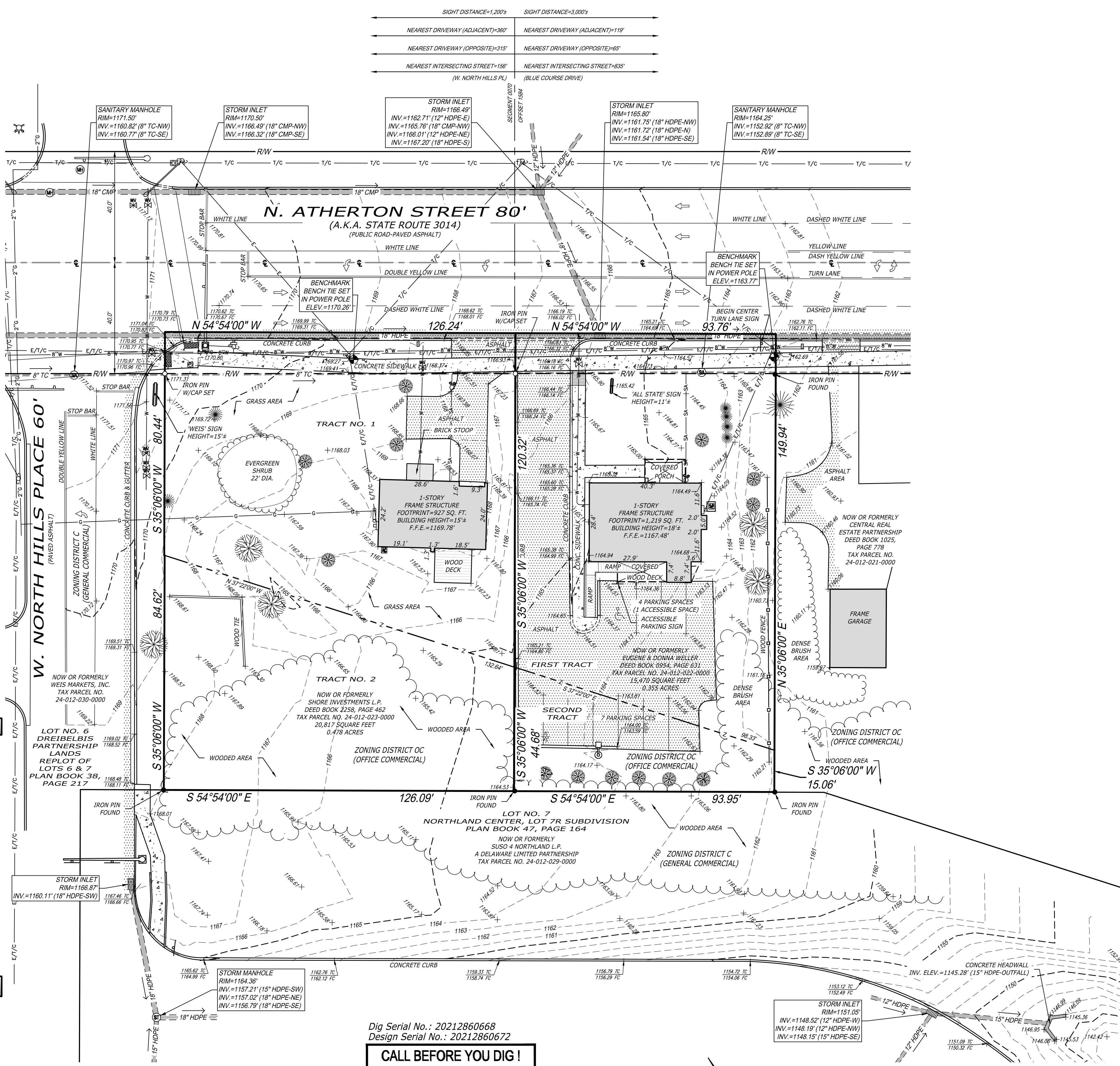
**UTILITY SERVICE INFORMATION**

- Sanitary Sewer**  
Borough of State College  
Sewer Authority  
243 South Allen St.  
State College, PA 16801  
(814) 234-7140  
Amy Kerper  
akerper@statecollegepa.us
- Gas Service**  
Columbia Gas, PA  
1020 North Hartley St.  
York, PA 17404  
State College, PA 16801  
(717) 849-0160  
Ned Leppo  
nleppo@nisource.com
- Water Service**  
State College Borough  
Water Authority  
1201 W Branch Rd  
State College, PA 16801  
(814) 238-6766
- Storm Sewer**  
University Area Joint Authority  
1576 Spring Valley Rd  
State College, PA 16801  
(814) 238-5361 ext. 7715  
Mark Harter  
mharter@uaja.com
- Cable Service**  
Pete Fournier  
Comcast Business Services  
Northeast Division HQ  
676 Island Pond Road,  
Manchester, NH 03109  
(603) 541-1099
- Electric Service**  
West Penn Power Co.  
2800 East College Ave.  
State College, PA 16801  
(814) 231-5355
- Telephone Service**  
Ferguson Township Public Works  
3147 Research Drive  
State College, PA 16801  
(814) 238-4651  
David Modricker, P.E.

**PA ONE-CALL INFORMATION**

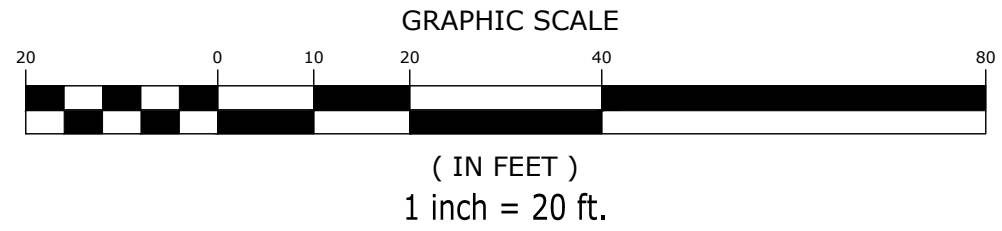
Serial Number: 20212860672 (Design) 20212860668 (Dig)  
Date of Inquiry: 10/13/2021  
How Contacted: On-line

Company Name	Response			
	All Clear	Has Facilities	Plans	Field Markings
ALL UTILITIES CHECKS	X	X	X	X
COMCAST CABLE	X			
VERIZON TELEPHONE	X			
FERGUSON TWP PUBLIC WORKS	X	X	X	X
WEST PENN POWER	X	X	X	X
PENNSYLVANIA ELECTRIC	X	X	X	X
PENN STATE UNIVERSITY	X			
STATE COLLEGE BOROUGH WATER	X	X	X	X
UNIVERSITY AREA JOINT AUTHORITY	X	X	X	X



Dig Serial No.: 20212860668  
Design Serial No.: 20212860672

**CALL BEFORE YOU DIG!**  
PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE AND 10 WORKING  
DAYS IN DESIGN STAGE - STOP CALL  
PENNSYLVANIA ONE CALL SYSTEM, INC.  
1-800-242-1776



**SURVEYOR'S CERTIFICATION**

All Washed Up Auto Spa  
1380 & 1386 N. Atherton Street  
Township of Ferguson, County of Centre  
Commonwealth of Pennsylvania  
Certified To: All Washed Up Auto Spa

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 8, 9, 10, 11(a), 13 and 16-19 of Table A thereof. The fieldwork was completed on October 20, 2021.

Date of Plat or Map: July 27, 2022  
Christopher R. Jackson  
Professional Land Surveyor No. SU075499  
In The Commonwealth of Pennsylvania



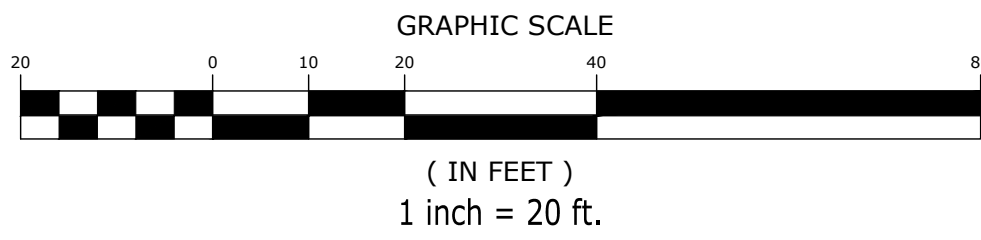
SCALE: 1"=20'  
DATE: 7/27/2022  
DRAWN BY: BJC  
CHK'D BY: CRJ

PLANT INVENTORY - ALL WASHED UP SITE - FERGUSON TOWNSHIP				
KEY NO.	BOTANICAL NAME	COMMON NAME	TYPE	REMARKS
1	PICEA PUNGENS	COLORADO BLUE SPRUCE	LARGE EVERGREEN	DEAD
2	PICEA PUNGENS	COLORADO BLUE SPRUCE	LARGE EVERGREEN	DEAD
3	TAXUS CUSPIDATA	JAPANESE YEW	EVERGREEN SHRUB	
4	ACER PLATANOIDES	NORWAY MAPLE	DECIDUOUS CANOPY	MULTI-STEM
5	QUERCUS ALBA	WHITE OAK	DECIDUOUS CANOPY	24" D.B.H.
6	LONICERA SPP.	SHRUB HONEYSUCKLE	DECIDUOUS SHRUB	INVASIVE SPECIES
7	LONICERA SPP.	SHRUB HONEYSUCKLE	DECIDUOUS SHRUB	INVASIVE SPECIES
8	EUONYMUS JAPONICUS	GREENSPIRE EUONYMUS	EVERGREEN SHRUB	
9	QUERCUS ALBA	WHITE OAK	DECIDUOUS CANOPY	24" D.B.H.
10	RHODODENDRON CATAWBIENSE	CATAWBA RHODODENDRON	EVERGREEN SHRUB	
11	ROSA MULTIFLORA	MULTIFLORA ROSE	DECIDUOUS SHRUB	INVASIVE SPECIES
12	NOT USED			
13	PICEA PUNGENS	COLORADO BLUE SPRUCE	LARGE EVERGREEN	DEAD
14	EUONYMUS JAPONICUS	GREENSPIRE EUONYMUS	EVERGREEN SHRUB	
15	AMELANCHIER CANDENSIS	SERVICEBERRY	UNDERSTORY TREE	4" D.B.H.
16	HYDRANGEA PANICULATA	PANICLE HYDRANGEA	UNDERSTORY TREE	6" D.B.H.
17	MALUS SPP.	FLOWERING CRAB	UNDERSTORY TREE	6" D.B.H.
18	MALUS SPP.	FLOWERING CRAB	UNDERSTORY TREE	6" D.B.H.
19	EUONYMUS ALATUS	BURNING BUSH	DECIDUOUS SHRUB	
20	EUONYMUS ALATUS	BURNING BUSH	DECIDUOUS SHRUB	
21	MALUS SPP.	FLOWERING CRAB	UNDERSTORY TREE	6" D.B.H.
22	MAHONIA AQUIFOLIUM	OREGON GRAPE HOLLY	EVERGREEN SHRUB	
23	ACER RUBRUM	RED MAPLE	CANOPY TREE	12" D.B.H.
24	PRUNUS SEROTINA	BLACK CHERRY	CANOPY TREE	10" D.B.H.
25	TSUGA CANADENSIS	EASTERN HEMLOCK	EVERGREEN TREE	12" D.B.H.
26	ACER RUBRUM	RED MAPLE	CANOPY TREE	MULTI-STEM 8" D.B.H.
27	PICEA PUNGENS	COLORADO BLUE SPRUCE	LARGE EVERGREEN	DEAD
28	RHODODENDRON SPP.	AZALEA	EVERGREEN SHRUB	
29	TAXUS CUSPIDATA	JAPANESE YEW	EVERGREEN SHRUB	
30	RHODODENDRON CATAWBIENSE	CATAWBA RHODODENDRON	EVERGREEN SHRUB	
31	PRUNUS SEROTINA	BLACK CHERRY	CANOPY TREE	10" D.B.H.
32	MALUS SPP.	FLOWERING CRAB	UNDERSTORY TREE	6" D.B.H.
33	MALUS SPP.	FLOWERING CRAB	UNDERSTORY TREE	6" D.B.H.
34	MALUS SPP.	FLOWERING CRAB	UNDERSTORY TREE	6" D.B.H.
35	MACLURA POMIFERA	OSAGE ORANGE	UNDERSTORY TREE	8" D.B.H.
36	ACER RUBRUM	RED MAPLE	CANOPY TREE	12" D.B.H.
37	ACER RUBRUM	RED MAPLE	CANOPY TREE	12" D.B.H.
38	PYRUS CALLEAYANA	GALLERY PEAR	UNDERSTORY TREE	8" D.B.H.

PLANT INVENTORY - ALL WASHED UP SITE - FERGUSON TOWNSHIP WOOD LOT #1				
BOTANICAL NAME	COMMON NAME	TYPE	REMARKS	
PINUS STROBUS	WHITE PINE	LARGE EVERGREEN	30" D.B.H.	
LONICERA SPP.	SHRUB HONEYSUCKLE	DECIDUOUS SHRUB	INVASIVE SPECIES	
VITIS VINIFERA	COMMON GRAPE VINE	VINE	INVASIVE SPECIES	
ACER RUBRUM	RED MAPLE	CANOPY TREE	24" D.B.H.	
SASSAFRAS ALBIDUM	SASSAFRAS	DECIDUOUS TREE	10" D.B.H.	
LIGUSTRUM VULGARE	COMMON PRIVET	DECIDUOUS SHRUB	INVASIVE SPECIES	
RHAMNUS CATHARTICA	COMMON BUCKTHORN	DECIDUOUS SHRUB	INVASIVE SPECIES	
QUERCUS ALBA	WHITE OAK	CANOPY TREE	24" D.B.H.	
PARTHENOCISSIS QUINQUEFOLIA	VIRGINA CREEPER	VINE	INVASIVE SPECIES	
PICEA PUNGENS	COLORADO BLUE SPRUCE	LARGE EVERGREEN	DEAD	

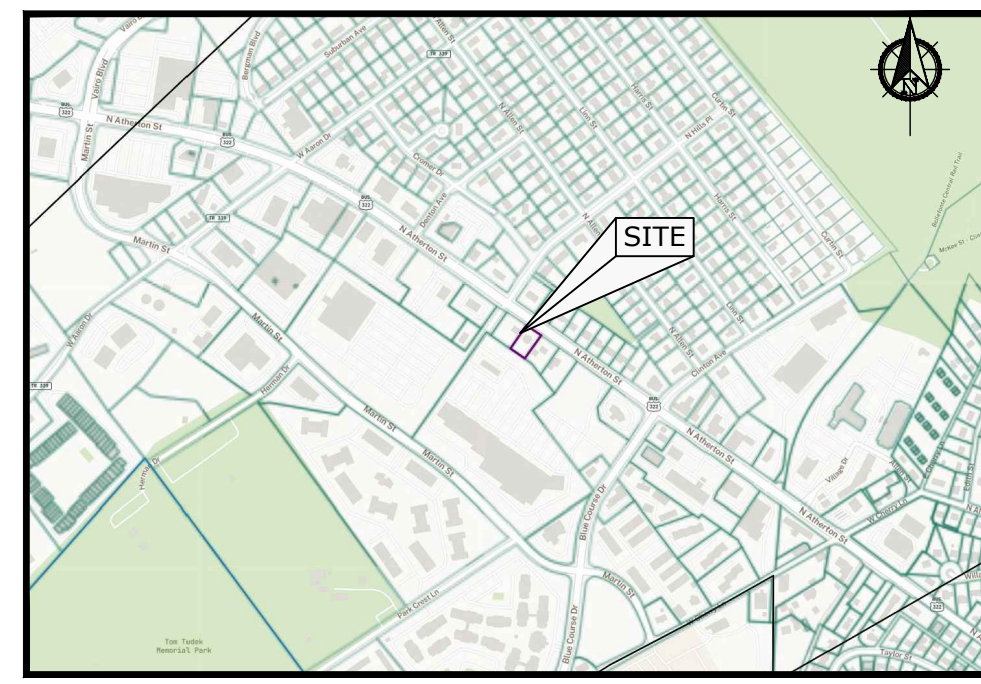
PLANT INVENTORY - ALL WASHED UP SITE FERGUSON TOWNSHIP - WOOD LOT #2				
BOTANICAL NAME	COMMON NAME	TYPE	REMARKS	
PINUS STROBUS	WHITE PINE	LARGE EVERGREEN	30" D.B.H.	
ACER PLATANOIDES	NORWAY MAPLE	CANOPY TREE	12" D.B.H.	

PA ONE-CALL INFORMATION						
Serial Number: 20212860672 (Design) 20212860668 (Dig)						
Date of Inquiry: 10/13/2021						
How Contacted: On-line						
Company Name	All Clear	Response			Field	No
		Has Facilities	Plans	Markings		
COLUMBIA GAS	X	X	X	X		
COMCAST CABLE	X					
VERIZON TELEPHONE	X					
FERGUSON TWP. PUBLIC WORKS		X	X	X		
WEST PENN POWER		X	X	X		
PENNSYLVANIA ELECTRIC		X	X	X		
PENNSYLVANIA UNIVERSITY	X					
STATE COLLEGE BOROUGH WATER		X	X	X		
UNIVERSITY AREA JOINT AUTHORITY		X	X	X		

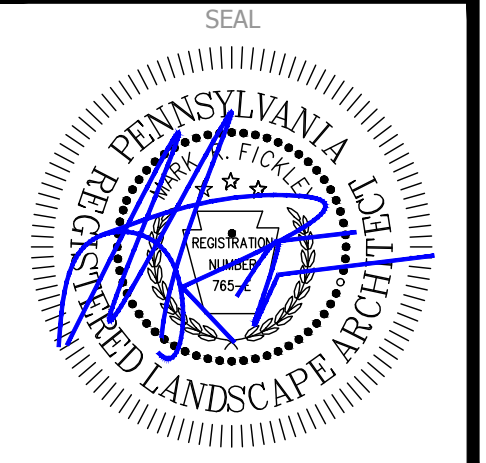
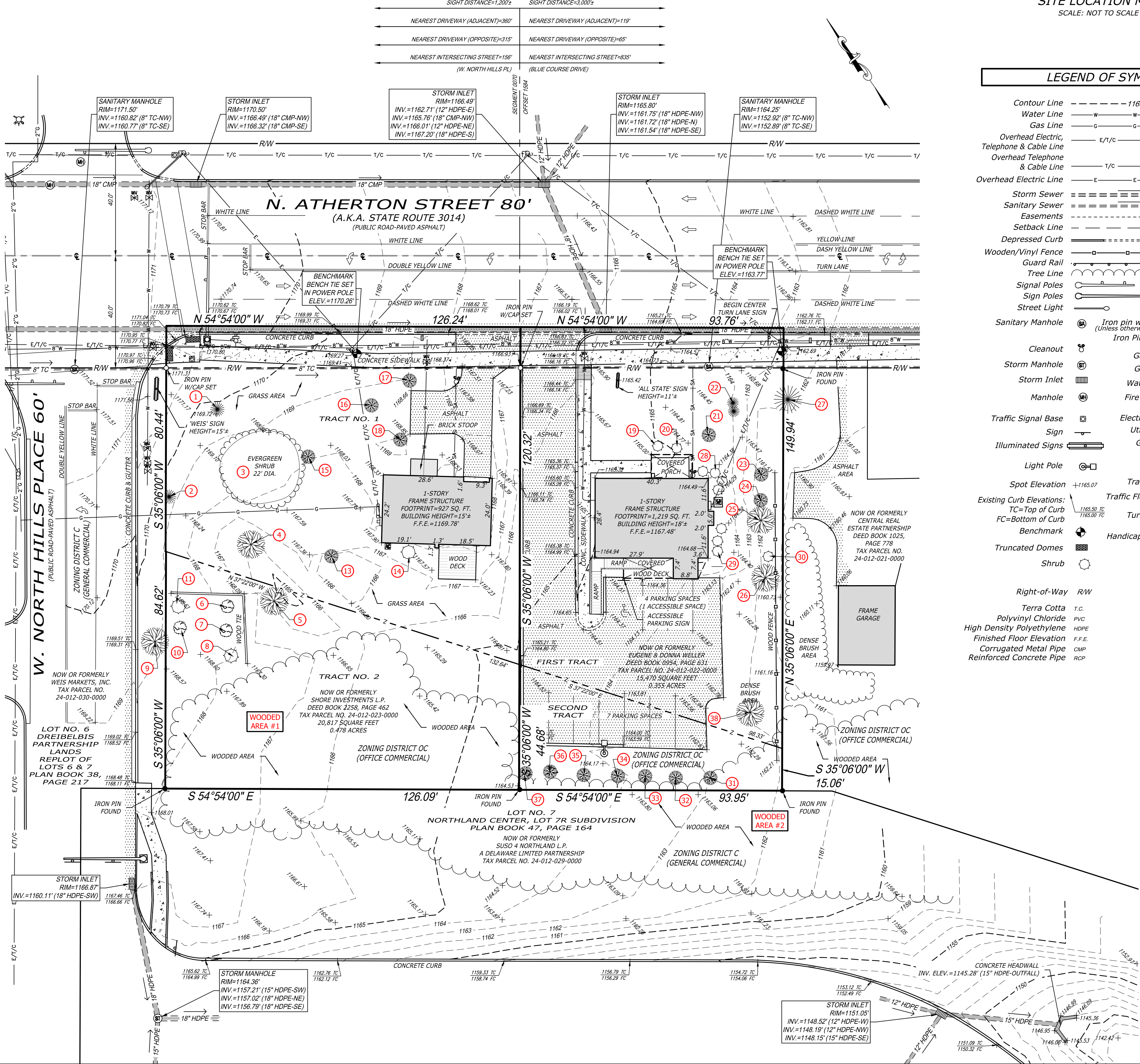


Dig Serial No.: 20212860668  
Design Serial No.: 20212860672

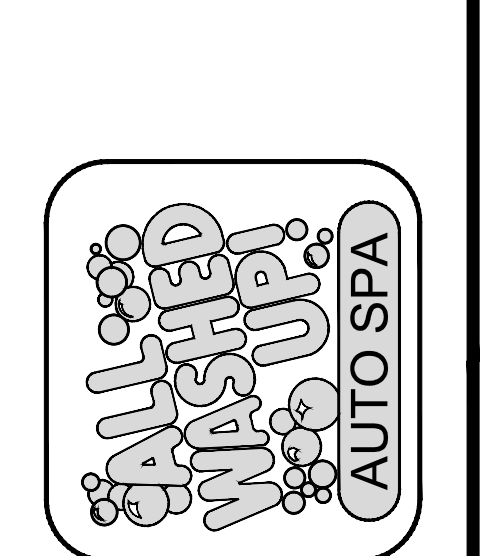
**CALL BEFORE YOU DIG!**  
PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE AND 10 WORKING  
DAYS IN DESIGN STAGE - STOP CALL  
PENNSYLVANIA ONE CALL SYSTEM, INC.  
**1-800-242-1776**



LEGEND OF SYMBOLS	
Contour Line	- - - - - 1165
Water Line	— W — W — W
Gas Line	— G — G — G
Overhead Electric, Telephone & Cable Line	— E/T/C — E/T/C
Overhead Telephone & Cable Line	— T/C — T/C
Overhead Electric Line	— E — E — E
Storm Sewer	— S — S — S
Sanitary Sewer	— SS — SS — SS
Easements	— Dashed Line
Setback Line	— Dashed White Line
Depressed Curb	— Dashed Yellow Line
Wooden/Vinyl Fence	— Dashed White Line
Guard Rail	— Dashed Yellow Line
Tree Line	— Dashed White Line
Signal Poles	— T — T
Street Light	— T — T
Sanitary Manhole	— Circle with 'S'
Cleanout	— Circle with 'C'
Storm Manhole	— Circle with 'SM'
Manhole	— Circle with 'M'
Traffic Signal Base	— Square with 'T'
Sign	— Square with 'S'
Illuminated Signs	— Square with 'IS'
Light Pole	— Circle with 'LP'
Spot Elevation	— Circle with 'E'
Existing Curb Elevations:	TC=Top of Curb, FC=Bottom of Curb
Benchmark	— Square with 'B'
Truncated Domes	— Square with 'TD'
Shrub	— Circle with 'S'
Right-of-Way RW	— Dashed Line
Terra Cotta	T.C.
Polyvinyl Chloride	PVC
High Density Polyethylene	HDPE
Finished Floor Elevation	F.F.E.
Corrugated Metal Pipe	CMP
Reinforced Concrete Pipe	RCP
Iron pin w/cap set (Unless otherwise noted)	— Circle with 'IP'
Iron Pin Found	— Circle with 'IPF'
Gas Meter	— Circle with 'GM'
Gas Valve	— Circle with 'GV'
Water Valve	— Circle with 'WV'
Fire Hydrant	— Circle with 'FH'
Electric Meter	— Circle with 'EM'
Utility Pole	— Circle with 'UP'
Guy Wire	— Circle with 'GW'
AC Unit	— Circle with 'ACU'
Traffic Light	— Circle with 'TL'
Traffic Flow Arrow	— Arrow
Turn Arrows	— Arrow
Handicap Symbol	— Square with 'HS'
Trees	— Circle with 'T'
Asphalt	— Stippled
Concrete	— Dotted
Gravel	— Cross-hatched
Brick	— Brick pattern



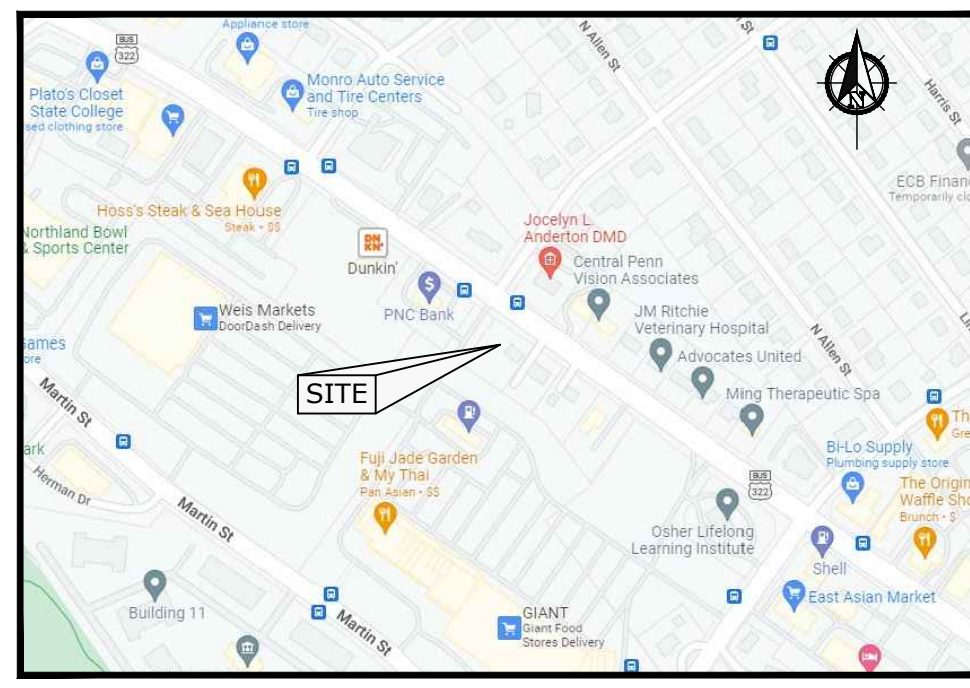
REV.	DATE	DESCRIPTION



**MDM SURVEYORS & ENGINEERS, LLC**  
Surveyors • Engineers • Site Planners  
375 Northgate Drive  
Warrendale, PA 15086  
mcmad@mdmllc.com  
www.mdmllc.com

**ALL WASHED UP AUTO SPA**  
PROJECT: 1380 & 1386 N. ATHERTON STREET  
TOWNSHIP OF FERGUSON, COUNTY OF CENTRE  
COMMONWEALTH OF PENNSYLVANIA

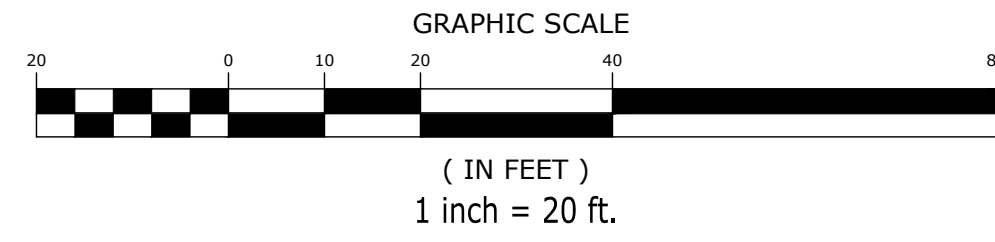
SHEET TITLE: **TREE SURVEY PLAN**  
DRAWN BY: CWT  
CHECKED BY: CMP  
ISSUE DATE: 8-29-2022  
SHEET NUMBER: **TS-1**



**SITE LOCATION MAP**  
SCALE: 1" = 500'

Dig Serial No.: 2021286068  
Design Serial No.: 20212860672

**CALL BEFORE YOU DIG!**  
PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE AND 10 WORKING  
DAYS IN DESIGN STAGE - STOP CALL  
PENNSYLVANIA ONE CALL SYSTEM, INC.  
**1-800-242-1776**



**GENERAL NOTES**

1. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT WHERE OTHER PLANT MATERIAL IS CALLED FOR.
2. ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
3. FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN WHETHER ON OR OFF SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN SCARIFY AREA, RESEED, AND FERTILIZE. R.O.W. CURB AND GUTTERS ARE TO BE CLEANED OF DEBRIS.
4. FINISHED GRADES IN LANDSCAPE ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" LOWER THAN THE TOP OF THE SURROUNDING CURB.
5. PROVIDE A WEED MAT FOR ALL PLANTING AREAS.
6. FOR ANY TREE LOCATED NEAR A DRIVEWAY/DRIVE AISLE, PRUNE LOWER BRANCHES TO PROVIDE A MINIMUM 6'-0" HIGH CLEAR SIGHT LINE FROM GRADE.

**PLANT LIST**

QTY.	KEY	BOTANICAL/Common NAME	MATURE SIZE	ROOT TYPE	REMARKS	CANOPY AREA
4	AR	ACER RUBRUM 'OCTOBER GLORY'	2" CAL.	B & B		
		OCTOBER GLORY RED MAPLE				
2	CC	CERCIS CANADENSIS	2" CAL.	B & B		
		REDBUD				
27	BS	BUXUS SEMPERVIRENS	24"-30" HGT.	No. 2 CONT.		
		ENGLISH BOXWOOD				
62	JC	JUNIPERUS CHINENSIS 'SEA GREEN'	24" MIN. HGT.	B & B		
		SEA GREEN JUNIPER				
14	TO	THUJA OCCIDENTALIS 'TECHNY'	48"-60" HGT.	No. 2 CONT.		
		MISSION ARBORVITAE				
21	IV	ITEA VIRGINICA	36" MIN. HGT.	No. 3 CONT.		
		VIRGINIA SWEETSPIRE				
36	RB	RUDBECKIA FULGIDA 'SPECIOSA'	18"-24" HGT.	No. 2 CONT.		
		BLACK-EYED SUSAN				
1	EX1	AMELANCHIER CANADENSIS	-	4" D.B.H.	RELOCATED CANOPY TREE	210 SF
		SERVICEBERRY				
1	EX2	MALUS SPP.	-	6" D.B.H.	RELOCATED CANOPY TREE	315 SF
		FLOWERING CRABAPPLE				
1	EX3	QUERCUS ALBA	-	18" D.B.H.	EXISTING CANOPY TREE	392 SF
		WHITE OAK				
1	EX4	MALUS SPP.	-	6" D.B.H.	EXISTING UNDERSTORY TREE	
		FLOWERING CRAB				

**LEGEND**

**SEED**  
SEE SPECIFICATIONS

**MULCH BED**

**RIVER ROCK OVER WEED MAT**

**QUANTITY TYPE**

AR - DECIDUOUS TREE

CC - DECIDUOUS TREE

IV - DECIDUOUS SHRUB

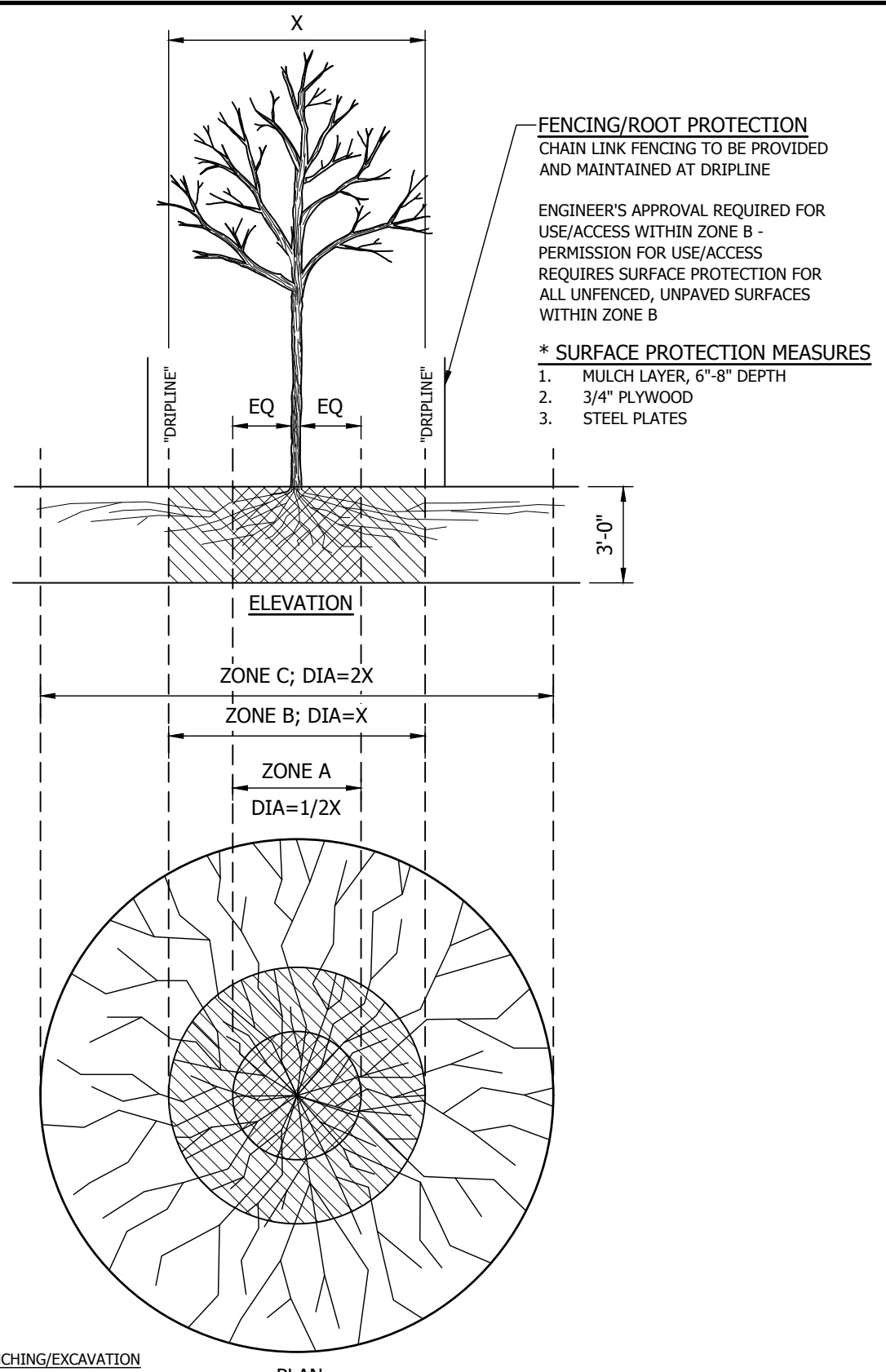
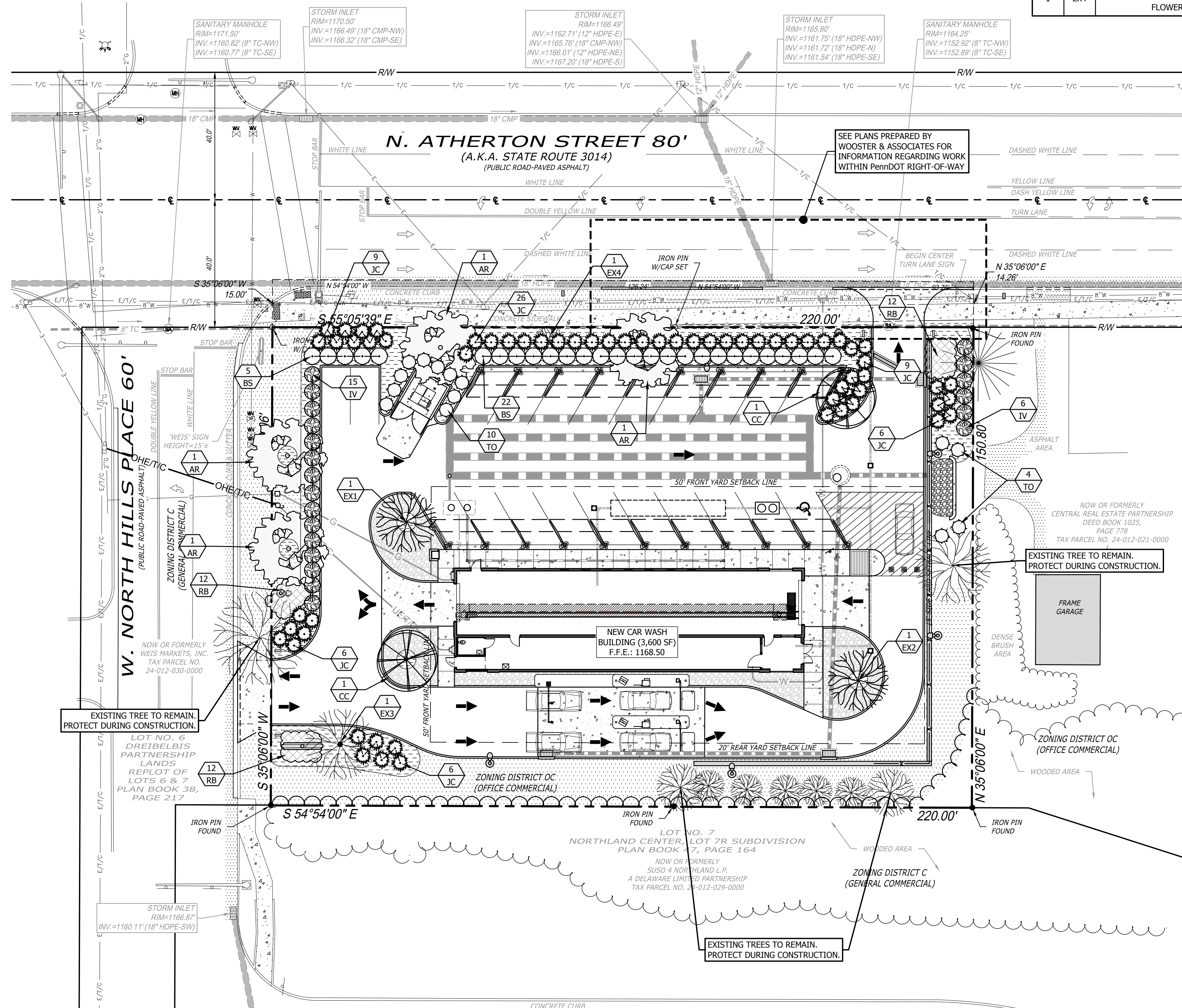
IG - EVERGREEN SHRUB

BS - EVERGREEN SHRUB

JC - EVERGREEN SHRUB

TO - EVERGREEN SHRUB

RB - PERENNIAL



**TRENCHING/EXCAVATION**

**ZONE A (CRITICAL ROOT ZONE)**

1. NO DISTURBANCE ALLOWED WITHOUT SITE-SPECIFIC INSPECTION AND APPROVAL OF METHODS TO MINIMIZE ROOT DAMAGE.
2. SURFACE PROTECTION MEASURES REQUIRED. TRENCHING ALLOWED AS FOLLOWS:
  - LIMIT TRENCH WIDTH. DO NOT DISTURB ZONE A.
  - MAINTAIN 2/3 OR MORE OF ZONE B IN UNDISTURBED CONDITION.
  - TUNNELING MAY BE REQUIRED FOR TRENCHES DEEPER THAN 3'-0".
3. EXCAVATION BY HAND OR WITH HAND-DRIVEN TRENCHER MAY BE REQUIRED.

**ZONE B (DRIFTLINE)**

1. OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO ENGINEER'S APPROVAL.
2. SURFACE PROTECTION MEASURES MAY BE REQUIRED. TRENCHING WITH HEAVY EQUIPMENT ALLOWED AS FOLLOWS:
  - MINIMIZE TRENCH WIDTH.
  - MAINTAIN 2/3 OR MORE OF ZONE C IN UNDISTURBED CONDITION.

**ZONE C (FEEDER ROOT ZONE)**

1. OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO ENGINEER'S APPROVAL.
2. SURFACE PROTECTION MEASURES MAY BE REQUIRED. TRENCHING WITH HEAVY EQUIPMENT ALLOWED AS FOLLOWS:
  - MINIMIZE TRENCH WIDTH.
  - MAINTAIN 2/3 OR MORE OF ZONE C IN UNDISTURBED CONDITION.

**NOT TO SCALE**

**LEGEND OF SYMBOLS**

Water Line

Gas Line

Overhead Electric, Telephone & Cable Line

Overhead Telephone & Cable Line

Overhead Electric Line

Storm Sewer

Sanitary Sewer

Easements

Setback Line

Depressed Curb

Wooden/Vinyl Fence

Guard Rail

Tree Line

Signal Poles

Sign Poles

Street Light

Iron pin w/cap set (Unless otherwise noted)

Sanitary Manhole

Cleanout

Storm Manhole

Manhole

Traffic Signal Base

Sign

Illuminated Signs

Light Pole

Benchmark

Truncated Domes

Right-of-Way

Shrub

Trees

Terra Cotta

Polyvinyl Chloride

High Density Polyethylene

Finished Floor Elevation

Corrugated Metal Pipe

Reinforced Concrete Pipe

Iron Pin Found

Gas Meter

Gas Valve

Water Valve

Fire Hydrant

Electric Meter

Utility Pole

Guy Wire

AC Unit

Traffic Light

Traffic Flow Arrow

Turn Arrows

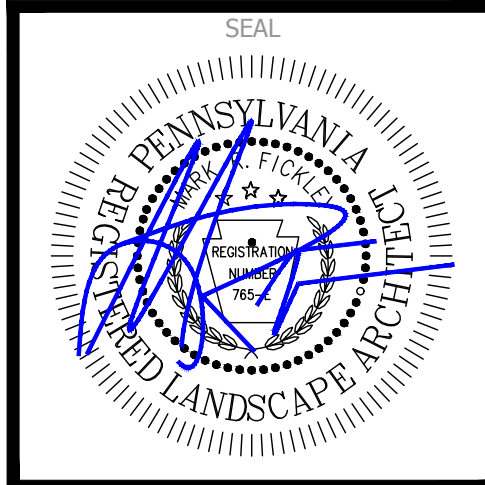
Handicap Symbol

Asphalt

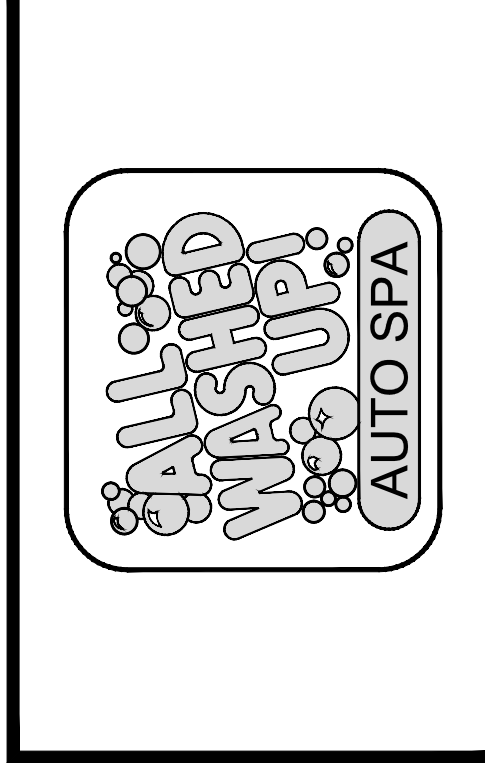
Concrete

Gravel

Brick



REV. DATE DESCRIPTION

**MIDM**

**SURVEYORS & ENGINEERS, LLC**

Surveyors • Engineers • Site Planners

375 Northgate Drive  
Warrendale, PA 15086  
Ph: (724) 934-2810 Fax: (724) 934-2811  
midm@aol.com midmllc.com www.midmllc.com

**ALL WASHED UP AUTO SPA**

CLIENT

PROJECT: 1380 & 1386 N. ATHERTON STREET  
TOWNSHIP OF FERGUSON, COUNTY OF CENTRE  
COMMONWEALTH OF PENNSYLVANIA

SHEET TITLE  
**LANDSCAPE PLAN**

DRAWN BY: CWT  
CHECKED BY: CMP  
ISSUE DATE: 8-29-2022

SHEET NUMBER  
**SP-6**



## Brown, Summer

---

**From:** Modricker,David  
**Sent:** Wednesday, September 28, 2022 10:32 AM  
**To:** Brown, Summer; Maginnis, Larry  
**Subject:** Fwd: All Washed Up Preliminary Land Development Plan

We should capture the subcommittee and Arborist comments for the consent agendas for FTTC. Not sure if planning consolidates the comments

Get [Outlook for iOS](#)

---

**From:** Marc McDill <mmcdill@psu.edu>  
**Sent:** Tuesday, September 27, 2022 3:49:26 PM  
**To:** Wargo, Jenna <jwargo@twp.ferguson.pa.us>  
**Cc:** Modricker,David <dmodricker@twp.ferguson.pa.us>; Maginnis, Larry <lmaginnis@twp.ferguson.pa.us>; Michael Jacobson <mj2@psu.edu>  
**Subject:** Re: FW: All Washed Up Preliminary Land Development Plan

Hi Jenna,

Thanks for the reminder. I have a couple of comments/suggestions.

First, I would prefer that they find an alternative to the red maples. We have way too many red maples in the township and it would be best to add more diversity. There are a lot of good alternatives, including basswood (or linden), blackgum, oaks, hickories, hackberry, black locust, and sycamore (or London plane trees). We also have too many honey locust trees, so please don't substitute that.

Second, I strongly suggest that they not plant boxwoods. Inkberry (*Ilex glabra*) is native and is a perfectly good substitute (in fact, superior, as it is not susceptible to as many diseases - such as boxwood blight disease).

<https://landscape-solutions.net/beautiful-boxwood-alternatives/#:~:text=Inkberry%20holly%20is%20deer%20resistant,perfect%20for%20New%20Jersey%20weather>.

~Marc

On Tue, Sep 27, 2022 at 2:14 PM Wargo, Jenna <[jwargo@twp.ferguson.pa.us](mailto:jwargo@twp.ferguson.pa.us)> wrote:

Good afternoon—

I wanted to provide you a reminder about your review for the All Washed Up Preliminary Land Development Plan is due tomorrow.

Please let me know if you have any questions.

Thank you.

## Jenna Wargo, AICP

Director of Planning & Zoning

| pronouns: (she/her/hers) |

Township of Ferguson

3147 Research Drive

State College, PA 16801

**P:** (814) 238-4651

**C:** (570) 452-5102

---

**From:** Wargo, Jenna

**Sent:** Tuesday, September 13, 2022 5:58 PM

**To:** Ressler, Jeff <[jressler@twp.ferguson.pa.us](mailto:jressler@twp.ferguson.pa.us)>; Seybert, Ron <[rseybert@twp.ferguson.pa.us](mailto:rseybert@twp.ferguson.pa.us)>; Scott Brown <[SBrown@ntmeng.com](mailto:SBrown@ntmeng.com)>; Cory Miller <[crmiller@uaja.org](mailto:crmiller@uaja.org)>; Bassett, Kristina <[kbassett@twp.ferguson.pa.us](mailto:kbassett@twp.ferguson.pa.us)>; Dupuis, Betsy <[BDupuis@babstcalland.com](mailto:BDupuis@babstcalland.com)>; Steven Bair <[sbair@centreregionfire.com](mailto:sbair@centreregionfire.com)>; McDill, Marc <[mmcdill@twp.ferguson.pa.us](mailto:mmcdill@twp.ferguson.pa.us)>; Kausch, Greg <[gkausch@crcog.net](mailto:gkausch@crcog.net)>; Mato, Shelly <[smato@crcog.net](mailto:smato@crcog.net)>; Christopher D. Schnure <[cgschnure@centrecountypa.gov](mailto:cdschnure@centrecountypa.gov)>; Maginnis, Larry <[lmaginnis@twp.ferguson.pa.us](mailto:lmaginnis@twp.ferguson.pa.us)>; 'Brian' <[brian@scbwa.org](mailto:brian@scbwa.org)>; Boeckel, Mark <[mboeckel@crcog.net](mailto:mboeckel@crcog.net)>

**Cc:** Martin, Centrice <[cmartin@twp.ferguson.pa.us](mailto:cmartin@twp.ferguson.pa.us)>

**Subject:** All Washed Up Preliminary Land Development Plan

Good evening—

Please see attached and the link below for the newly submitted All Washed Up Preliminary Land Development Plan for your review.

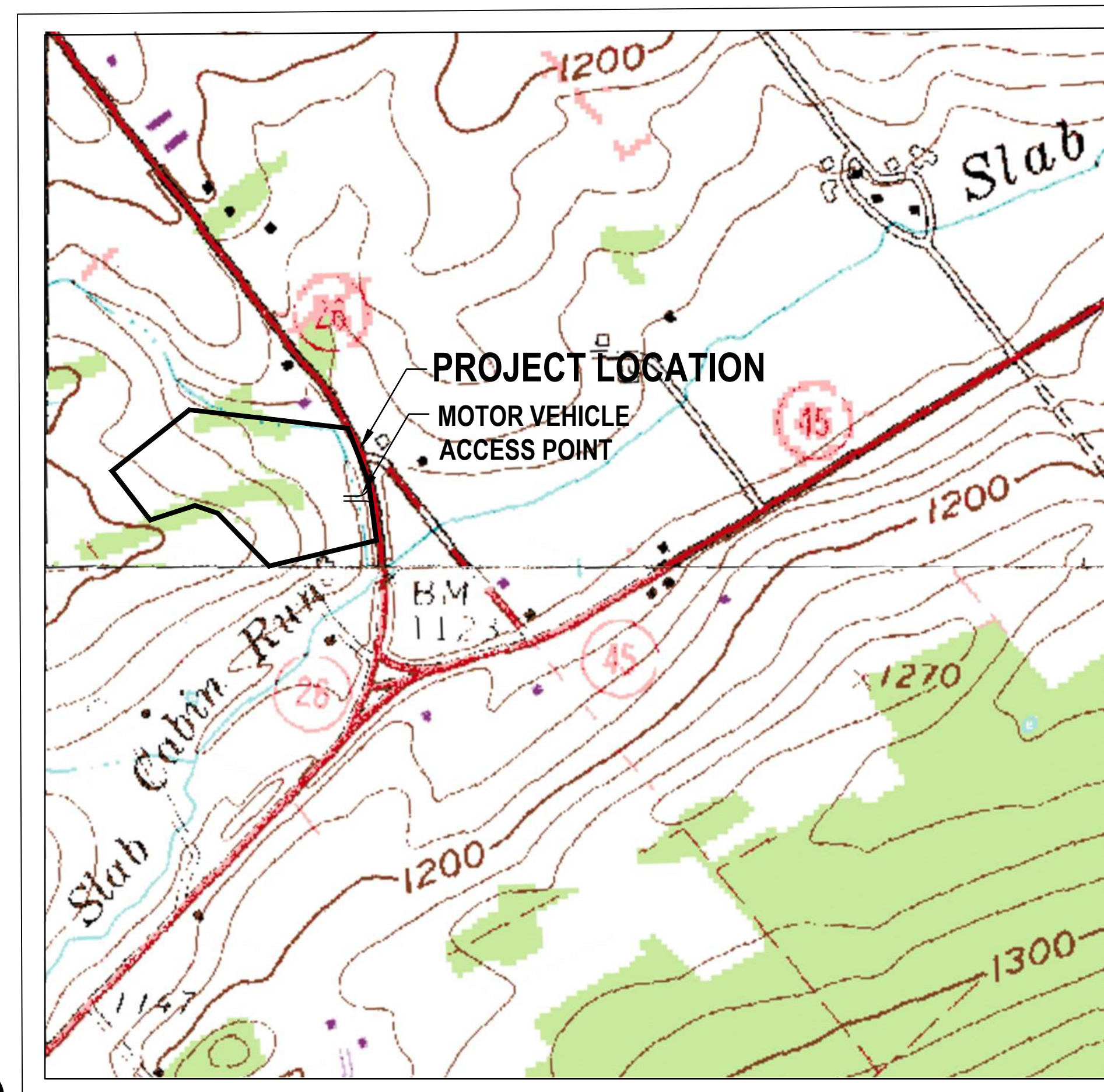
[All Washed Up Auto Spa Preliminary Land Development Plan](#)

Documents included in the link are:

- Applications for: Lot Consolidation, LDP Review, Zoning Permit, Lighting Review, Pave Cut Permit
- LDP Plan Set
- Proposed Architectural Elevations
- Lighting Plan

# THE PEACE CENTER AND CEMETERY

## PRELIMINARY LAND DEVELOPMENT PLAN PROJECT #79014-00 FERGUSON TOWNSHIP, CENTRE COUNTY PENNSYLVANIA CONTRACT NO. 22-01



### BOARD OF SUPERVISORS

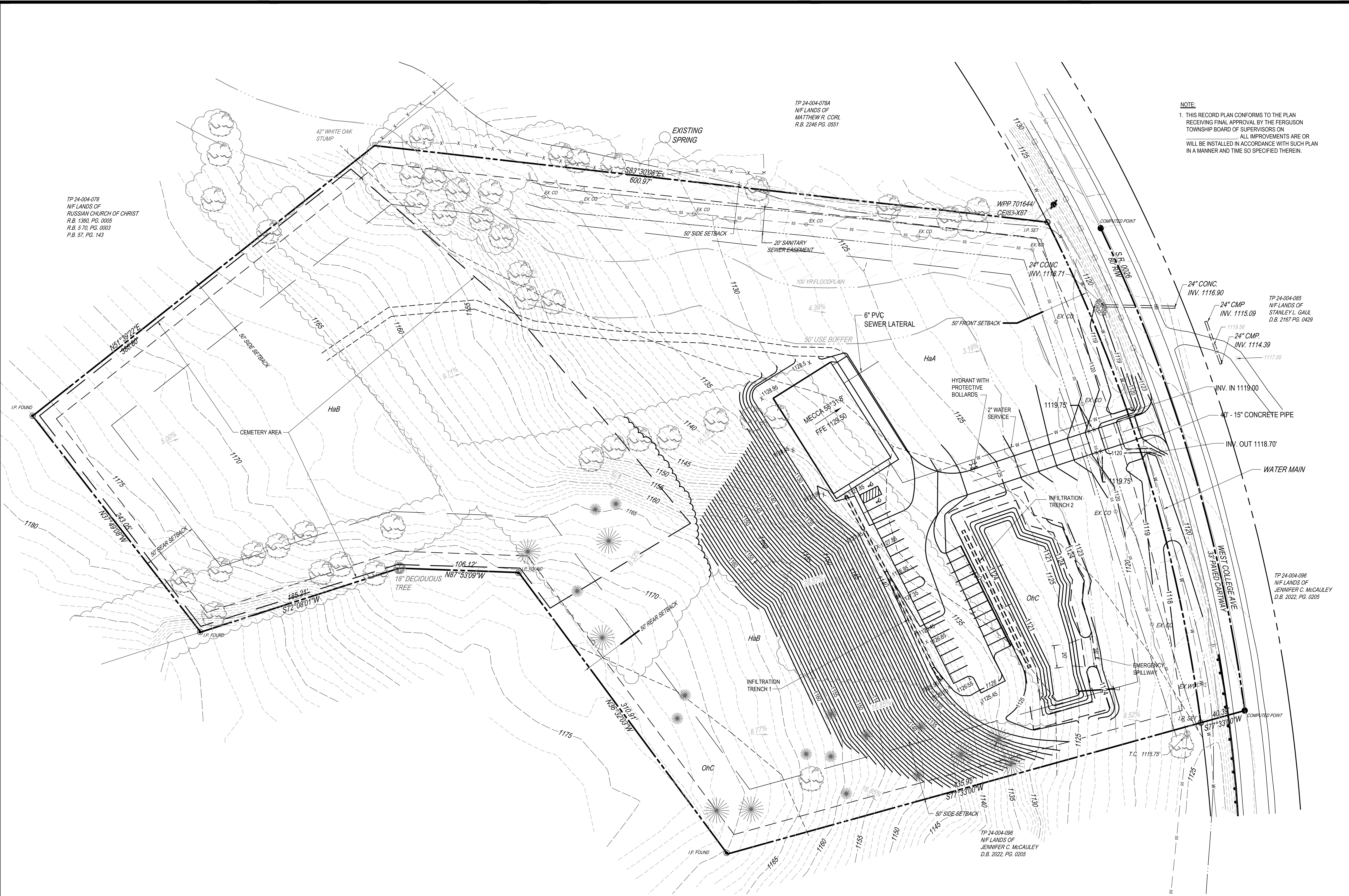
LAURA DININNI  
LISA STRICKLAND  
STEVE MILLER  
PRASENJIT MITRA  
PATRICIA STEVENS

- CHAIRWOMAN - WARD I
- VICE CHAIR
- MEMBER (AT LARGE)
- MEMBER - WARD II (AT LARGE)
- MEMBER - WARD III

APRIL 28, 2021



BUCHART HORN  
ENGINEERS • ARCHITECTS • PLANNERS



TP 24-004-078  
NF LANDS OF  
RUSSIAN CHURCH OF CHRIST  
R.B. 1360, PG. 0005  
R.B. 570, PG. 0003  
P.B. 57, PG. 143

TP 24-004-078A  
NF LANDS OF  
MATTHEW R. CORL  
R.B. 2246 PG. 0551

**NOTE:**  
1. THIS RECORD PLAN CONFORMS TO THE PLAN RECEIVING FINAL APPROVAL BY THE FERGUSON TOWNSHIP BOARD OF SUPERVISORS ON ALL IMPROVEMENTS ARE OR WILL BE INSTALLED IN ACCORDANCE WITH SUCH PLAN IN A MANNER AND TIME SO SPECIFIED THEREIN.

TP 24-004-085  
NF LANDS OF  
STANLEY L. GAUL  
D.B. 2167 PG. 0429

TP 24-004-086  
NF LANDS OF  
JENNIFER C. MCCAULEY  
D.B. 2022, PG. 0205

TP 24-004-086  
NF LANDS OF  
JENNIFER C. MCCAULEY  
D.B. 2022, PG. 0205

**1 RECORD PLAN**  
SCALE: 1" = 40'  
0 40 80  
NORTH

REVISIONS	MARK	ISSUED DATE	DESCRIPTION

PROJECT NO: 79001400  
ISSUED DATE: 09/16/2022  
DRAWN BY: DHS  
CHECKED BY: PJW

© BUCHART HORN, INC.  
SHEET TITLE:

**RECORD PLAN**

SHEET NO:  
**C-100**

**THE PEACE CENTER LAND DEVELOPMENT PLAN**

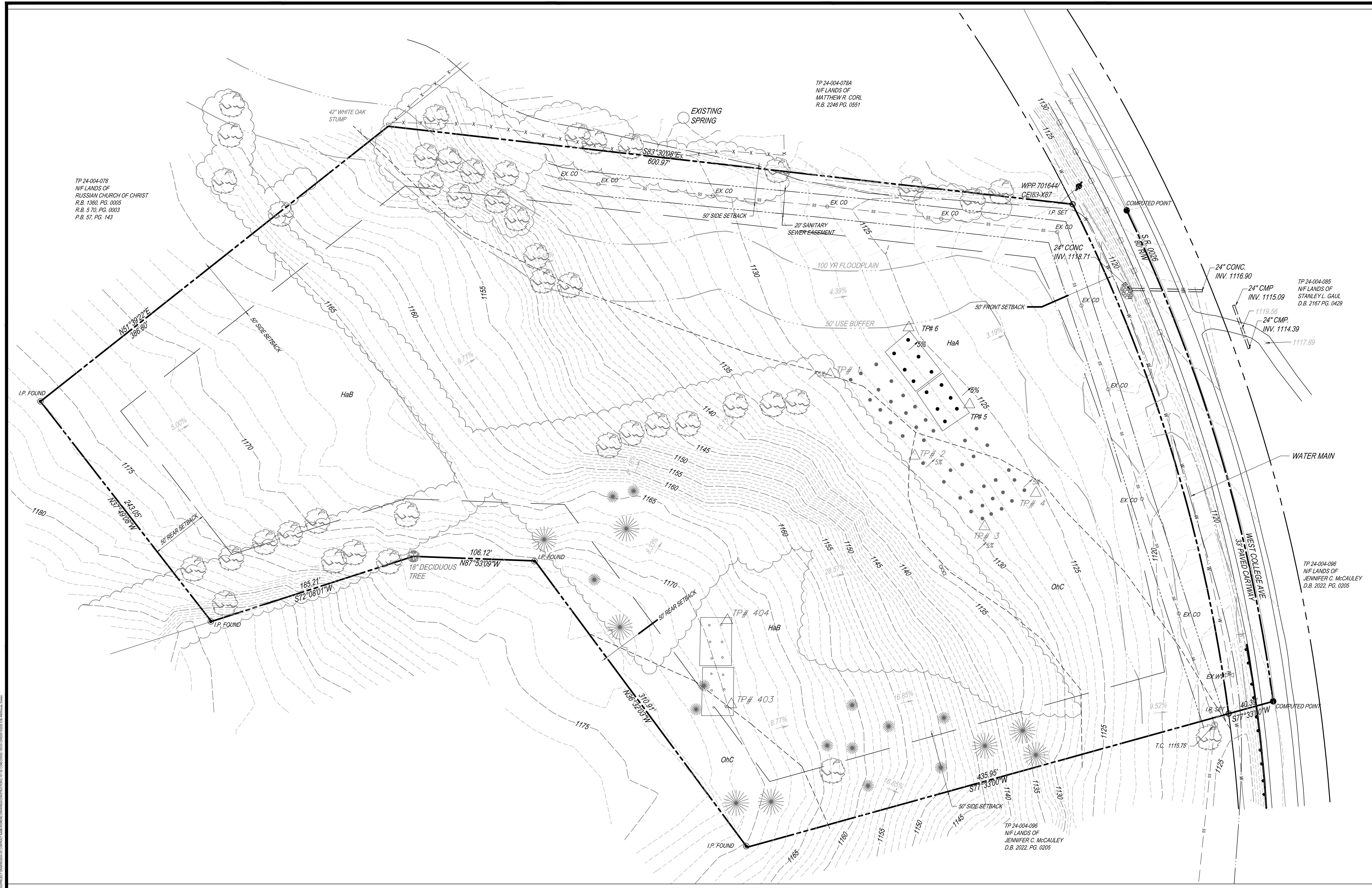
3765 WEST COLLEGE AVENUE  
FERGUSON TOWNSHIP, PENNSYLVANIA  
**NORTH AMERICAN ISLAMIC TRUST**  
1711 MARSHALL DRIVE  
PORT MATLIDA, PENNSYLVANIA

REVISIONS	MARK	ISSUED DATE	DESCRIPTION

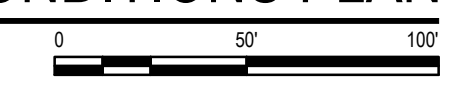
PROJECT NO:	79001400
ISSUED DATE:	09/16/2022
DRAWN BY:	DHS
CHECKED BY:	PJW
© BUCHART HORN, INC.	
SHEET TITLE:	

EXISTING  
CONDITIONS PLAN

SHEET NO:  
**C-101**



**2** EXISTING CONDITIONS PLAN  
SCALE: 1" = 50'



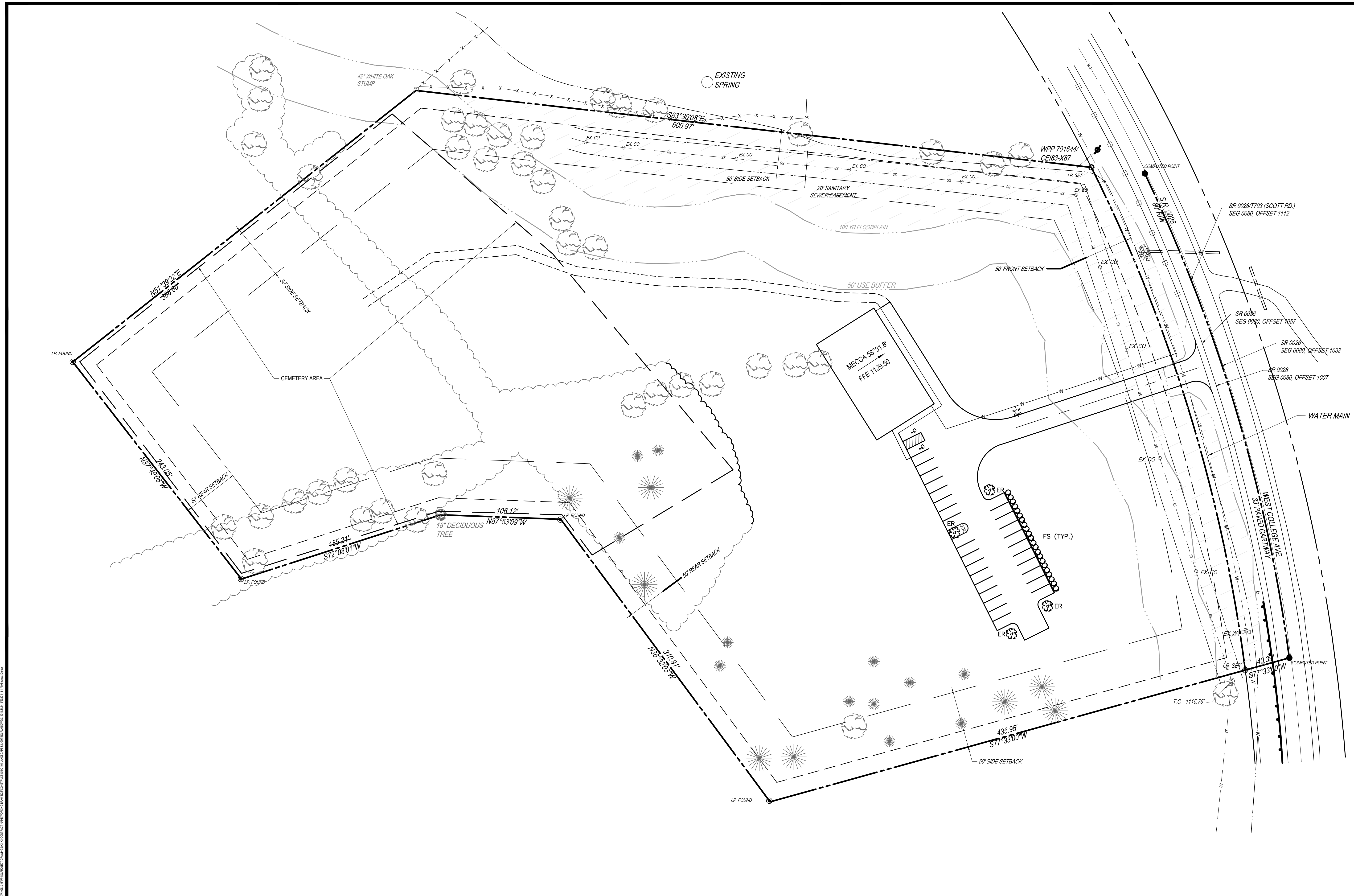
PROJECT: THE PEACE CENTER LAND DEVELOPMENT PLAN, FERGUSON TOWNSHIP, PENNSYLVANIA  
 DATE: 09/16/2022  
 SHEET: C-101  
 DRAWN BY: DHS  
 CHECKED BY: PJW  
 © BUCHART HORN, INC.

REVISIONS	MARK	ISSUED DATE	DESCRIPTION

PROJECT NO: 79001400  
 ISSUED DATE: 09/16/2022  
 DRAWN BY: DHS  
 CHECKED BY: PJW  
 © BUCHART HORN, INC.  
 SHEET TITLE:

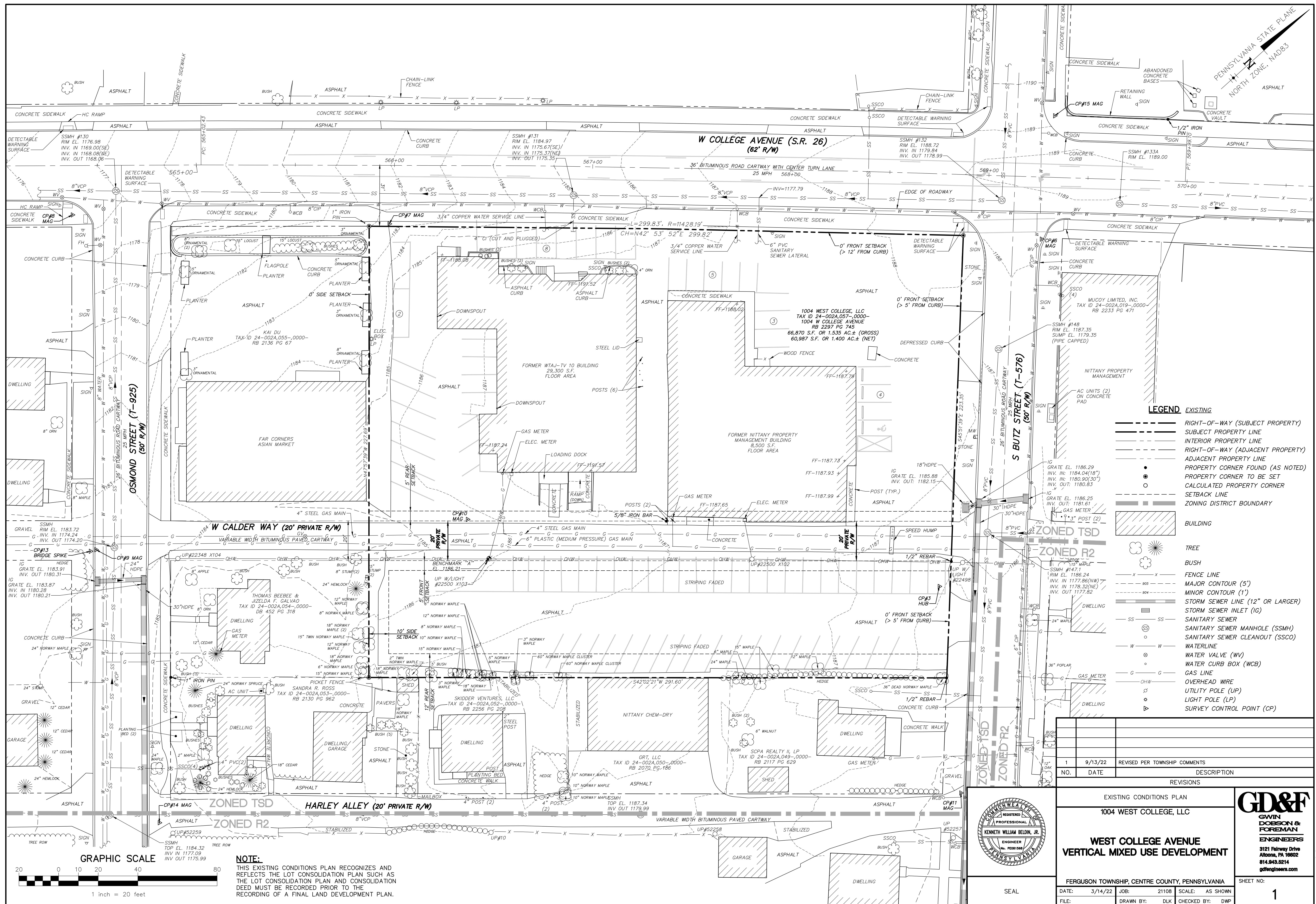
**LANDSCAPE & LIGHTING PLAN**

SHEET NO:  
**C-104**



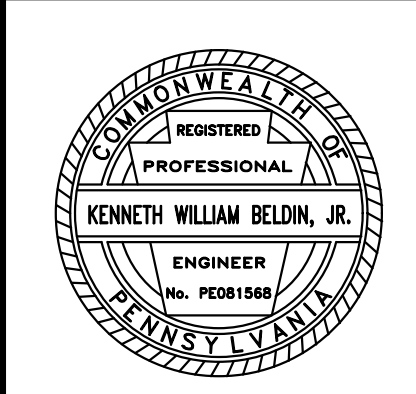
**5 LANDSCAPE & LIGHTING PLAN**  
 SCALE: 1" = 40'

PROJECT LOCATION: 3765 WEST COLLEGE AVENUE, FERGUSON TOWNSHIP, PENNSYLVANIA. PROJECT NO. 79001400. SHEET NO. C-104. DATE: 09/16/2022.



- LEGEND EXISTING**
- RIGHT-OF-WAY (SUBJECT PROPERTY)
  - SUBJECT PROPERTY LINE
  - INTERIOR PROPERTY LINE
  - RIGHT-OF-WAY (ADJACENT PROPERTY)
  - ADJACENT PROPERTY LINE
  - PROPERTY CORNER FOUND (AS NOTED)
  - PROPERTY CORNER TO BE SET
  - CALCULATED PROPERTY CORNER
  - SETBACK LINE
  - ZONING DISTRICT BOUNDARY
  - ▭ BUILDING
  - ☀ TREE
  - ☀ BUSH
  - FENCE LINE
  - MAJOR CONTOUR (5')
  - MINOR CONTOUR (1')
  - STORM SEWER LINE (12" OR LARGER)
  - STORM SEWER INLET (IG)
  - SS SANITARY SEWER
  - SANITARY SEWER MANHOLE (SSMH)
  - SANITARY SEWER CLEANOUT (SSCO)
  - WATERLINE
  - WATER VALVE (WV)
  - WATER CURB BOX (WCB)
  - GAS LINE
  - OVERHEAD WIRE
  - UTILITY POLE (UP)
  - LIGHT POLE (LP)
  - SURVEY CONTROL POINT (CP)

REVISIONS		
NO.	DATE	DESCRIPTION
1	9/13/22	REVISED PER TOWNSHIP COMMENTS



EXISTING CONDITIONS PLAN  
 1004 WEST COLLEGE, LLC

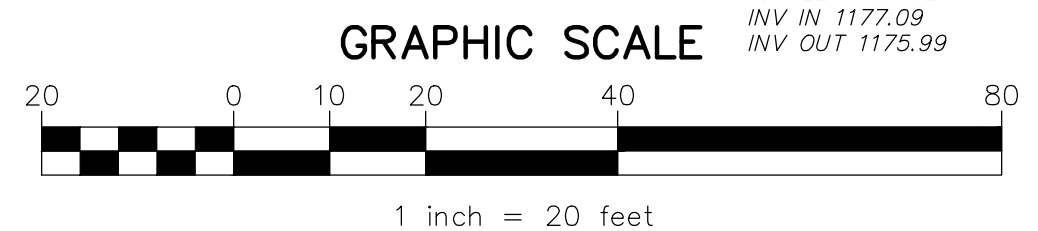
**WEST COLLEGE AVENUE  
 VERTICAL MIXED USE DEVELOPMENT**

FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

DATE: 3/14/22 JOB: 21108 SCALE: AS SHOWN  
 FILE: DRAWN BY: DLK CHECKED BY: DWP

**GD&F**  
 GVIN DOBSON & FOREMAN  
 ENGINEERS  
 3121 Fairway Drive  
 Allentown, PA 18102  
 610.943.8214  
 gdfengineers.com

SHEET NO:  
**1**

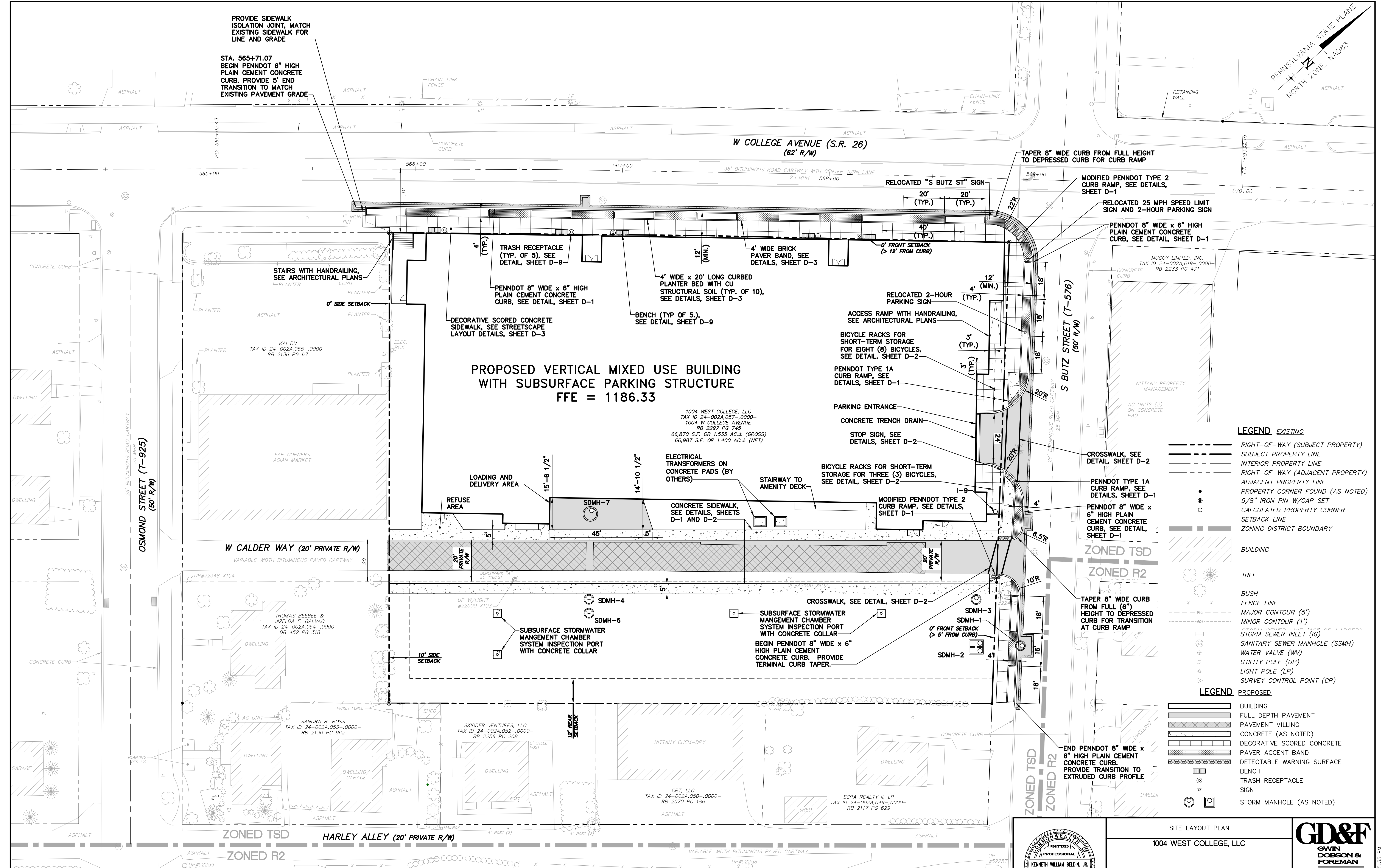
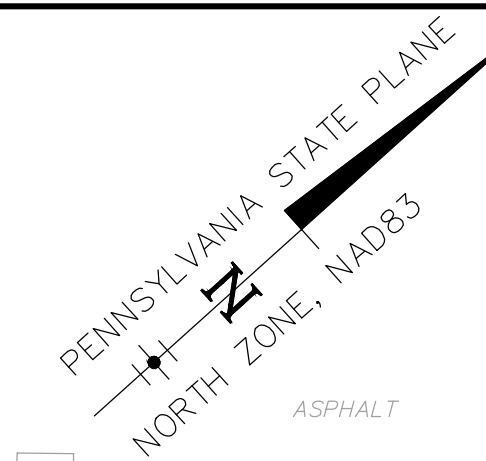


**NOTE:**  
 THIS EXISTING CONDITIONS PLAN RECOGNIZES AND REFLECTS THE LOT CONSOLIDATION PLAN SUCH AS THE LOT CONSOLIDATION PLAN AND CONSOLIDATION DEED MUST BE RECORDED PRIOR TO THE RECORDING OF A FINAL LAND DEVELOPMENT PLAN.

PLOT CREATED: 9/16/2022 4:46 PM

PROVIDE SIDEWALK ISOLATION JOINT, MATCH EXISTING SIDEWALK FOR LINE AND GRADE

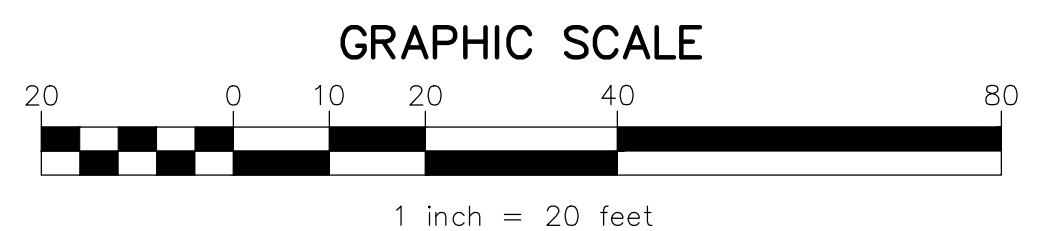
STA. 565+71.07  
BEGIN PENNDOT 6" HIGH PLAIN CEMENT CONCRETE CURB. PROVIDE 5' END TRANSITION TO MATCH EXISTING PAVEMENT GRADE



**PROPOSED VERTICAL MIXED USE BUILDING  
WITH SUBSURFACE PARKING STRUCTURE**  
FFE = 1186.33

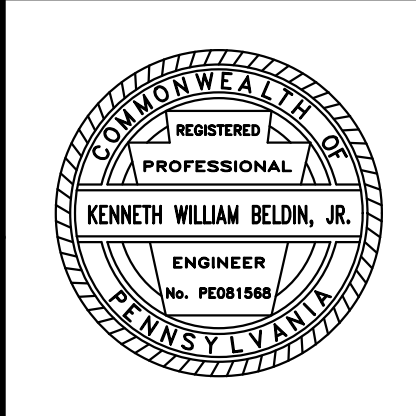
1004 WEST COLLEGE, LLC  
TAX ID 24-002A,057-0000-  
1004 W COLLEGE AVENUE  
RB 2297 PG 745  
66,870 S.F. OR 1.535 AC.± (GROSS)  
60,987 S.F. OR 1.400 AC.± (NET)

- LEGEND EXISTING**
- RIGHT-OF-WAY (SUBJECT PROPERTY)
  - SUBJECT PROPERTY LINE
  - INTERIOR PROPERTY LINE
  - RIGHT-OF-WAY (ADJACENT PROPERTY)
  - ADJACENT PROPERTY LINE
  - PROPERTY CORNER FOUND (AS NOTED)
  - 5/8" IRON PIN W/CAP SET
  - CALCULATED PROPERTY CORNER
  - SETBACK LINE
  - ZONING DISTRICT BOUNDARY
  - ▨ BUILDING
  - ☀ TREE
  - BUSH
  - FENCE LINE
  - MAJOR CONTOUR (5')
  - MINOR CONTOUR (1')
  - STORM SEWER INLET (10')
  - SANITARY SEWER MANHOLE (SSMH)
  - WATER VALVE (WV)
  - UTILITY POLE (UP)
  - LIGHT POLE (LP)
  - SURVEY CONTROL POINT (CP)
- LEGEND PROPOSED**
- ▨ BUILDING
  - ▨ FULL DEPTH PAVEMENT
  - ▨ PAVEMENT MILLING
  - ▨ CONCRETE (AS NOTED)
  - ▨ DECORATIVE SCORED CONCRETE
  - ▨ PAVER ACCENT BAND
  - ▨ DETECTABLE WARNING SURFACE
  - ▨ BENCH
  - ▨ TRASH RECEPTACLE
  - ▨ SIGN
  - STORM MANHOLE (AS NOTED)



**NOTE:**  
REFER TO LIGHTING PLAN PREPARED BY OTHERS.

NO.	DATE	DESCRIPTION
1	9/13/22	REVISED PER TOWNSHIP COMMENTS
REVISIONS		



SITE LAYOUT PLAN  
1004 WEST COLLEGE, LLC

**WEST COLLEGE AVENUE  
VERTICAL MIXED USE DEVELOPMENT**

FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

DATE: 3/14/22 JOB: 21108 SCALE: AS SHOWN  
FILE: DRAWN BY: DLK CHECKED BY: DWP



SHEET NO:  
**3**

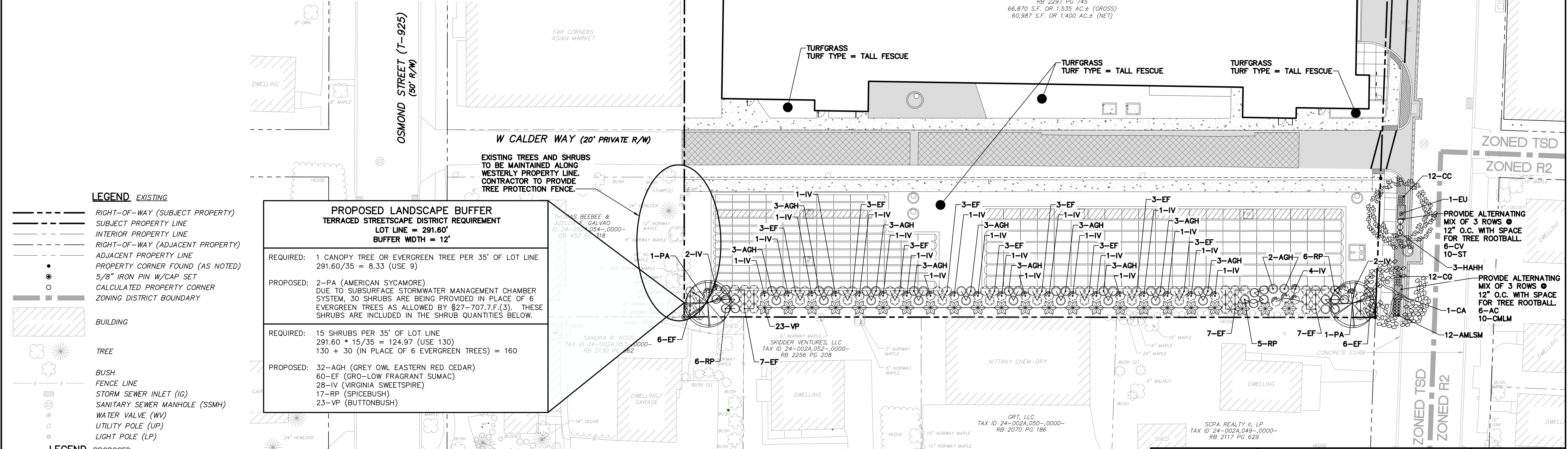
PLOT CREATED: 9/16/2022 8:35 PM

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PLANTING SCHEDULE							
CANOPY TREES							
SYMBOL	KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	HEIGHT	SPREAD
	CA	6	KENTUCKY COFFEETREE (MALE OR FRUITLESS CULTIVAR)	GYMNOCLADUS DIOICUS 'ESPRESSO'	2 1/2" CAL. B & B	50'	50'
	EU	6	BICOLOR OAK	QUERCUS BICOLOR	2 1/2" CAL. B & B	50'	30'
	PA	2	AMERICAN SYCAMORE	PLATANUS X OCCIDENTALIS	2 1/2" CAL. B & B	50'	40'
SHRUBS							
	AGH	32	GREY OWL EASTERN RED CEDAR	JUNIPERUS VIRGINIA 'GREY OWL'	18"-24"	2'	3'
	EF	60	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	12"-18"	2'	4'
	RP	17	SPICEBUSH	LINDERA BENZOIN	18"-24"	5'	4'
	VP	23	BUTTONBUSH	CEPHALANTHUS OCCIDENTALIS	#5 CONT., 24"	12'	10'
	AMLSM	72	BLACK CHOKEBERRY	ARONIA MELANOCARPA 'LOW SCAPE MOUNT'	#5 CONT., 24"	12'	10'
	HAHH	18	SMOOTH HYDRANGEA	HYDRANGEA ARBORESCENS 'HAAS HALO'	#5 CONT., 24"	12'	10'
	IV	28	VIRGINIA SWEETSPIRE	ITEA VIRGINICA	18"-24"	4'	5'
PERENNIALS							
	AC	30	NODDING ONION	ALLIUM CERNUUM	#2 POTS	-	-
	CC	72	MISTFLOWER	CONOCLINIUM COELESTINUM	#2 POTS	-	-
	CG	72	TURTLEHEAD	CHELONE GLABRA	#2 POTS	-	-
	CV	36	GREEN-AND-GOLD	CHRYSOGONUM VIRGINIANUM	#2 POTS	-	-
	ST	60	THREE-LEAVED STONECROP	SEDUM TERNATUM	#2 POTS	-	-
	CMLM	60	PALM SEDGE	CAREX MUSKINGUMENSIS 'LITTLE MIDGE'	#2 POTS	-	-

NOTES: 1. ALL CALIPER MEASUREMENTS FOR LANDSCAPING SHALL BE MEASURED AT 6" ABOVE THE ROOT BALL.  
 2. REFER TO SITE AND DEMOLITION PLAN FOR TREES TO BE MAINTAINED (TBM) AND TREES TO BE REMOVED (TBR) WITHIN LANDSCAPE BUFFER.



**LEGEND EXISTING**

- RIGHT-OF-WAY (SUBJECT PROPERTY)
- SUBJECT PROPERTY LINE
- INTERIOR PROPERTY LINE
- RIGHT-OF-WAY (ADJACENT PROPERTY)
- ADJACENT PROPERTY LINE
- PROPERTY CORNER FOUND (AS NOTED)
- 5/8" IRON PIN W/CAP SET
- CALCULATED PROPERTY CORNER
- ZONING DISTRICT BOUNDARY

**LEGEND PROPOSED**

- BUILDING
- FULL DEPTH PAVEMENT
- PAVEMENT MILLING
- CONCRETE (AS NOTED)
- DECORATIVE SCORED CONCRETE
- PAVER ACCENT BAND
- DETECTABLE WARNING SURFACE
- BENCH
- TRASH RECEPTACLE
- SIGN
- STORM MANHOLE (AS NOTED)

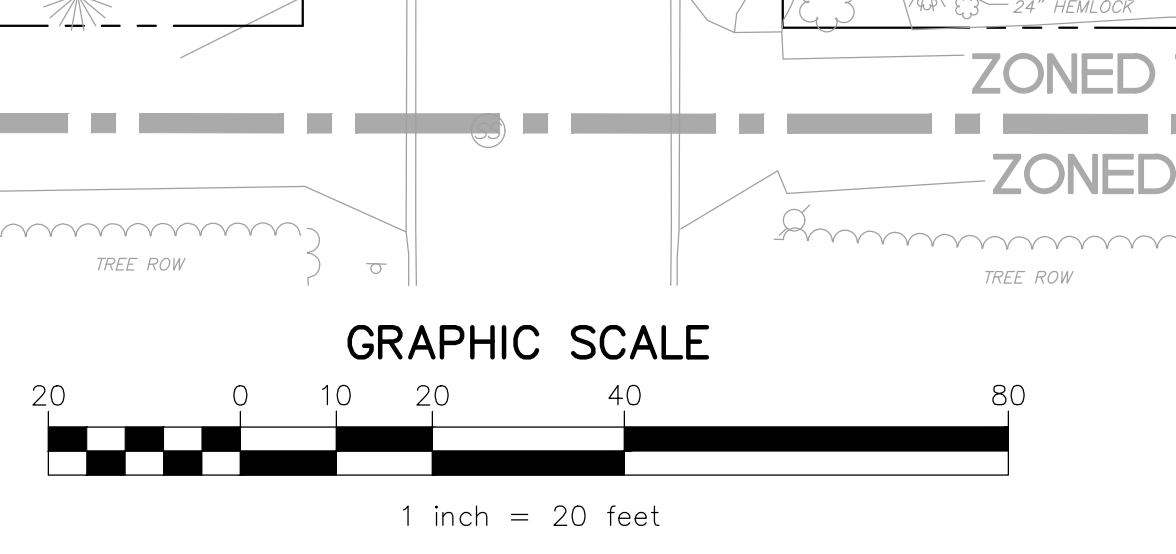
**PROPOSED LANDSCAPE BUFFER**  
**TERRACED STREETSCAPE DISTRICT REQUIREMENT**  
 LOT LINE = 291.60'  
 BUFFER WIDTH = 12'

REQUIRED: 1 CANOPY TREE OR EVERGREEN TREE PER 35' OF LOT LINE  
 291.60/35 = 8.33 (USE 9)

PROPOSED: 2-PA (AMERICAN SYCAMORE)  
 DUE TO SUBSURFACE STORMWATER MANAGEMENT CHAMBER SYSTEM, 30 SHRUBS ARE BEING PROVIDED IN PLACE OF 6 EVERGREEN TREES AS ALLOWED BY §27-707.7.F.(3). THESE SHRUBS ARE INCLUDED IN THE SHRUB QUANTITIES BELOW.

REQUIRED: 15 SHRUBS PER 35' OF LOT LINE  
 291.60 \* 15/35 = 124.97 (USE 130)  
 130 + 30 (IN PLACE OF 6 EVERGREEN TREES) = 160

PROPOSED: 32-AGH (GREY OWL EASTERN RED CEDAR)  
 60-EF (GRO-LOW FRAGRANT SUMAC)  
 28-IV (VIRGINIA SWEETSPIRE)  
 17-RP (SPICEBUSH)  
 23-VP (BUTTONBUSH)



NO.	DATE	DESCRIPTION
1	9/13/22	REVISED PER TOWNSHIP COMMENTS
REVISIONS		

LANDSCAPING PLAN  
 1004 WEST COLLEGE, LLC

**WEST COLLEGE AVENUE**  
**VERTICAL MIXED USE DEVELOPMENT**

FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA

DATE: 3/14/22 JOB: 21108 SCALE: AS SHOWN  
 FILE: DRAWN BY: DLK CHECKED BY: DWP

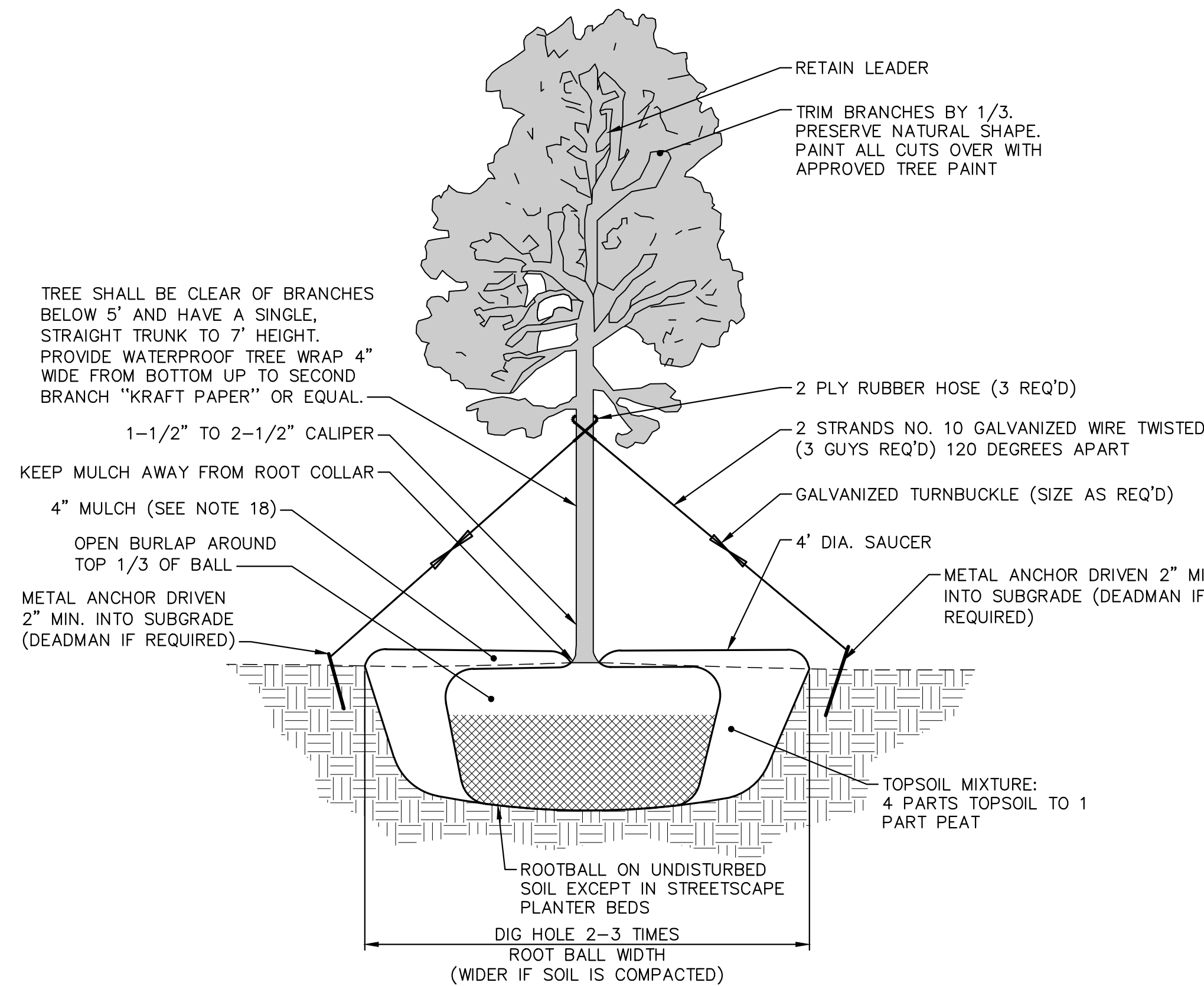
**GD&F**  
 GWIN DOBSON & FOREMAN  
 ENGINEERS  
 3121 Fairway Drive  
 Allentown, PA 18602  
 610.943.5214  
 gdfengineers.com

SHEET NO:  
**LS-1**

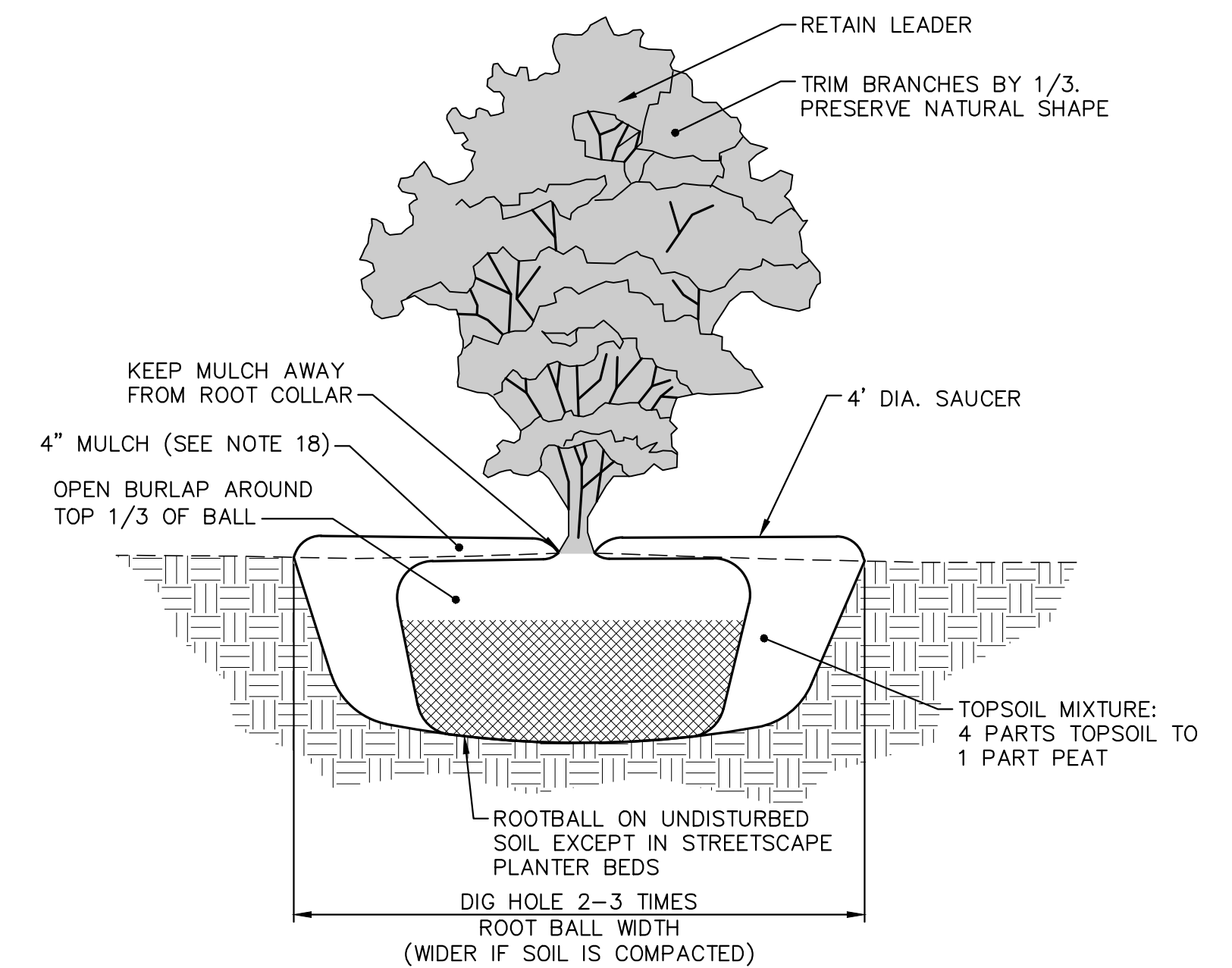
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**LANDSCAPING GENERAL NOTES:**

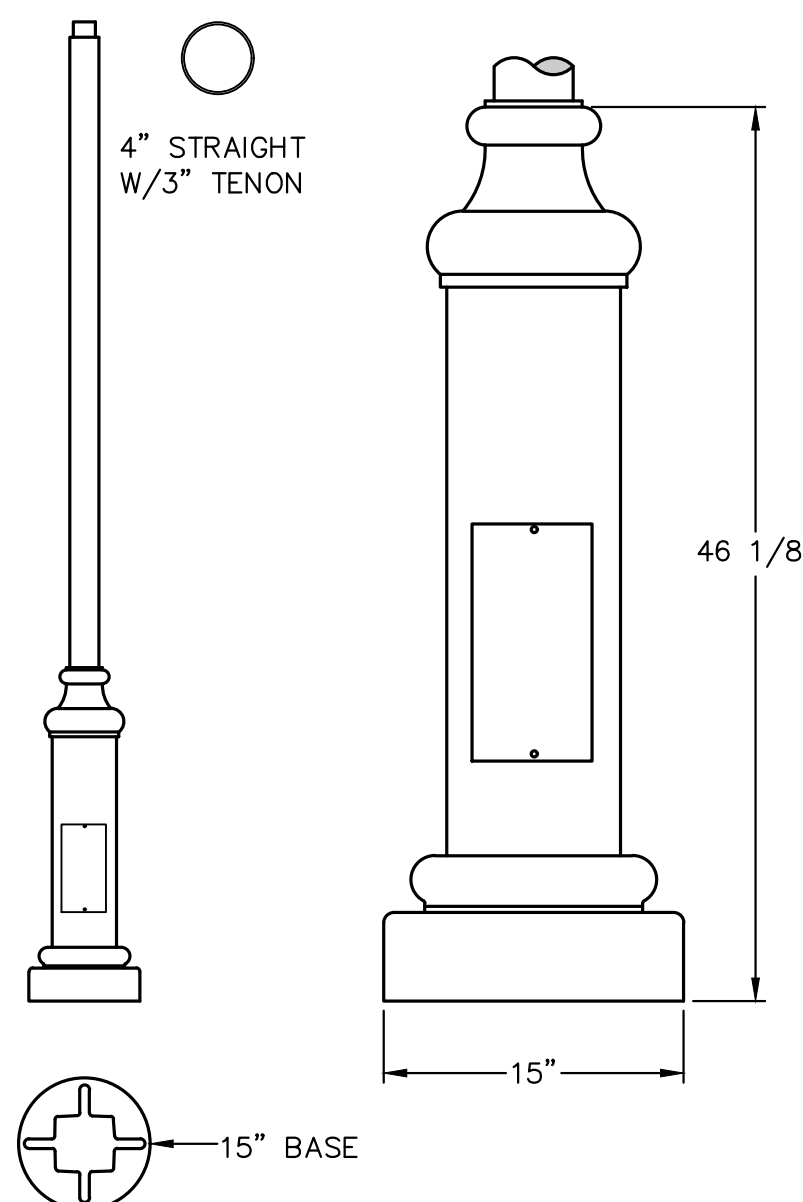
1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL REFER TO THE PLANT LIST FOR SEASONAL REQUIREMENTS AND OTHER RESTRICTIONS RELATED TO THE TIME OF PLANTING.
3. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS. PLANT MATERIAL SUBSTITUTIONS MAY ONLY BE PERMITTED AT THE APPROVAL OF THE OWNER, TOWNSHIP, AND ENGINEER OR LANDSCAPE ARCHITECT.
4. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT.
5. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE PROJECT ENGINEER.
6. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER. BOTH MALE AND FEMALE PLANTS SHALL SPACED APPROPRIATELY FOR THE SPECIES TO FRUIT/FLOWER.
7. ALL SHRUBS AND PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE "GUIDE TO PLANTING IN FERGUSON TOWNSHIP."
8. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
9. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
10. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
11. PLANT AT ABOUT THE SAME DEPTH, OR NOT TO EXCEED ONE-HALF (1/2) INCH DEEPER THAN IT WAS IN THE NURSERY. USE THE ROOT COLLAR FOR DEPTH JUDGMENT. INSTALL THE TREE IN AN UPRIGHT POSITION, AND HAVE IT NEARLY EVEN WITH THE GENERAL GROUND LEVEL, NOT SUNK IN A HOLE OR RAISED ON A MOUND.
12. INSTALL THE MAIN ROOTS NEARLY STRAIGHT AND SPREAD OUT, NOT DOUBLED, OR SHARPLY BENT.
13. INSTALL THE SOIL FIRMLY AROUND THE ROOTS. LEAVE NO AIR POCKETS.
14. THE CONTRACTOR SHALL PROVIDE LOAM FILL WHERE APPLICABLE AS PER THE CONTRACT DOCUMENTS. STREET PLANTERS SHALL HAVE CU STRUCTURAL FILL AT A MINIMUM DEPTH OF THREE (3) FEET (SEE STREET PLANTER DETAIL, SHEET D-3).
15. ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
16. ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT WITHIN 24 HOURS AFTER PLANTING. IN TEMPERATE ZONES, ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT AT THE BEGINNING OF THEIR FIRST WINTER.
17. ALL NEW PLANT MATERIAL IS TO BE KEPT WATERED BY THE LANDSCAPE CONTRACTOR WHEN WORKING ONSITE UNTIL COMPLETION OF THE LANDSCAPE OR SEASON'S END (THEN RESUMED NEXT SEASON UNTIL PROJECT IS COMPLETED). THE OWNER WILL BE RESPONSIBLE FOR WATERING THEREAFTER. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN SHALL BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON. ANY PLANTS THAT DO NOT SURVIVE FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF PLANTING SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
18. TREES SHALL BE MULCHED INDIVIDUALLY IN A CIRCLE FOUR (4) FOOT IN DIAMETER BY FOUR (4) INCHES THICK. THE MULCH SHALL BE DOUBLE SHREDDED HARDWOOD BARK MULCH, WELL AGED AND DARK IN COLOR. MULCH SHALL NOT COVER THE ROOT CROWN.
19. ALL TREES SHALL HAVE TEMPORARY TAGS IDENTIFYING SIZE, SPECIES AND SOURCE OF MATERIALS FIRMLY ATTACHED TO TRUNK.
20. ALL DISTURBED AREAS NOT BEING PLANTED WITH TREES OR SHRUBS SHALL BE FINE GRADED AND SEEDED WITH A HARDY PERENNIAL GRASS SEED MIXTURE AND MULCHED WITH STRAW.
21. ALL CALIPER MEASUREMENTS FOR LANDSCAPING SHALL BE MEASURED AT 6" ABOVE THE ROOT BALL.



**TREE PLANTING DETAIL**  
NOT TO SCALE



**SHRUB PLANTING DETAIL**  
NOT TO SCALE



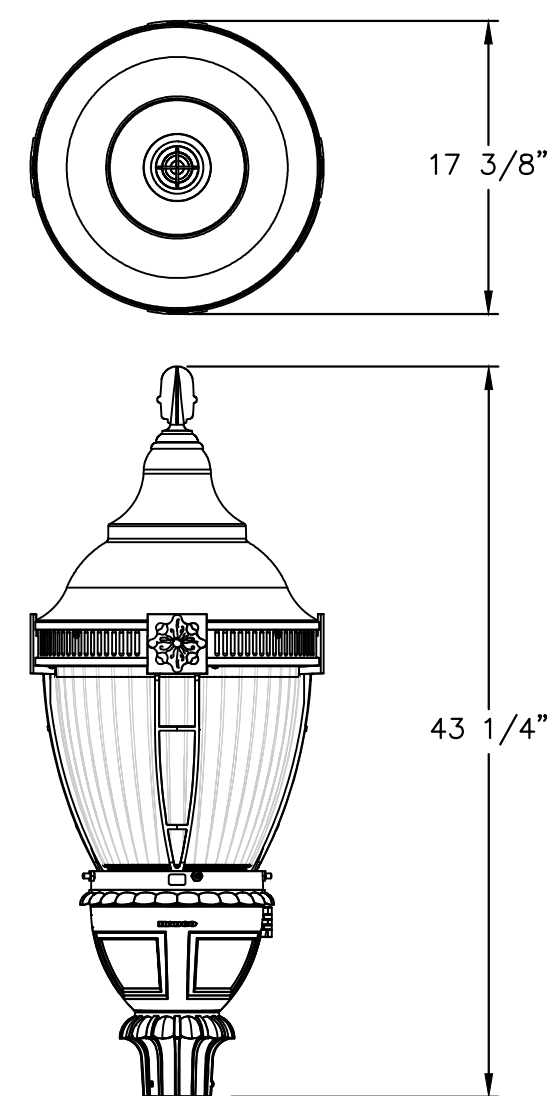
**HADCO P4030 STRAIGHT ROUND SMOOTH POLES AND BRACKETS MODEL NO. P4030 14 A 1 T D**

**STREETLIGHT POLE SPECIFICATIONS**

PRODUCT CODE: [P4030] STRAIGHT ROUND SMOOTH  
POLE HEIGHT: [14']  
FINISH: [A] BLACK  
OUTLET LOCATION: [T] 12" DOWN FROM TOP - ALIGNED WITH HOUSE SIDE  
OUTLET OPTIONS: [D] STANDARD DUPLEX

WITH PROVISIONS FOR:  
A. HADCO "BA 4 1 A 24 B A" UPPER & LOWER BANNER ARMS PERPENDICULAR TO STREET EDGE - ONE SIDE OF POLE  
B. HADCO "FPB 4 2 12 A" PLANTER ARMS PARALLEL TO STREET EDGE - ONE ON EACH SIDE OF POLE  
C. EXTERIOR RATED DUPLEX ELECTRICAL OUTLET IMMEDIATELY BELOW FIXTURE CONNECTION AT POLE

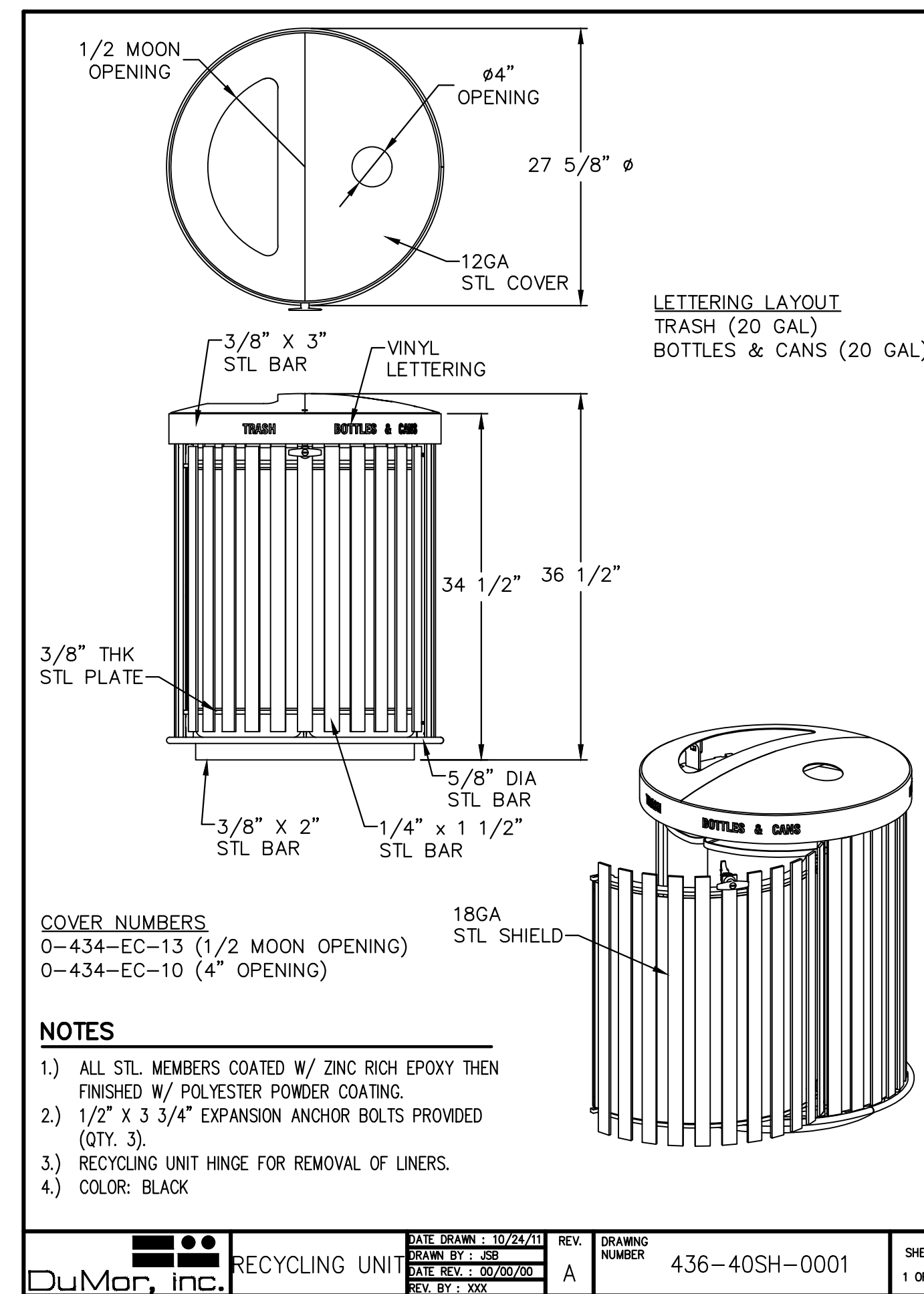
**STREET LIGHT DETAIL**  
NOT TO SCALE



**HADCO HAGERSTOWN LEDGINE POST TOP MODEL NO. TX03-32-G3-B-A-1-A-3-N-N-740-A-\*N-SP1**

**STREETLIGHT POST TOP SPECIFICATIONS**

SERIES: [TX03] HAGERSTOWN LED POST TOP  
LEDS: [32] 32  
GEN.: [G3] GEN 3  
PODS: [B] ROUND FITTER W/SCALLOPED PETALS  
FINIALS: [A] FINIAL  
FASTENERS: [1] HEX HEAD BOLTS  
FINISHES: [A] BLACK  
OPTICAL SYSTEM: [3] TYPE 3  
PHOTO CONTROLS: [N] NONE  
FUTURE PROOF CONTROLS: [N] NONE  
COLOR TEMPS: [740] 4000K  
VOLTAGES: [A] 120-277 VAC  
CURRENTS: [\*] TO BE DETERMINED BY MANUFACTURER  
DRIVER OPTIONS: [N] NO DIMMING  
SURGE PROTECTION: [SP1] 10kV/10KA (STANDARD)

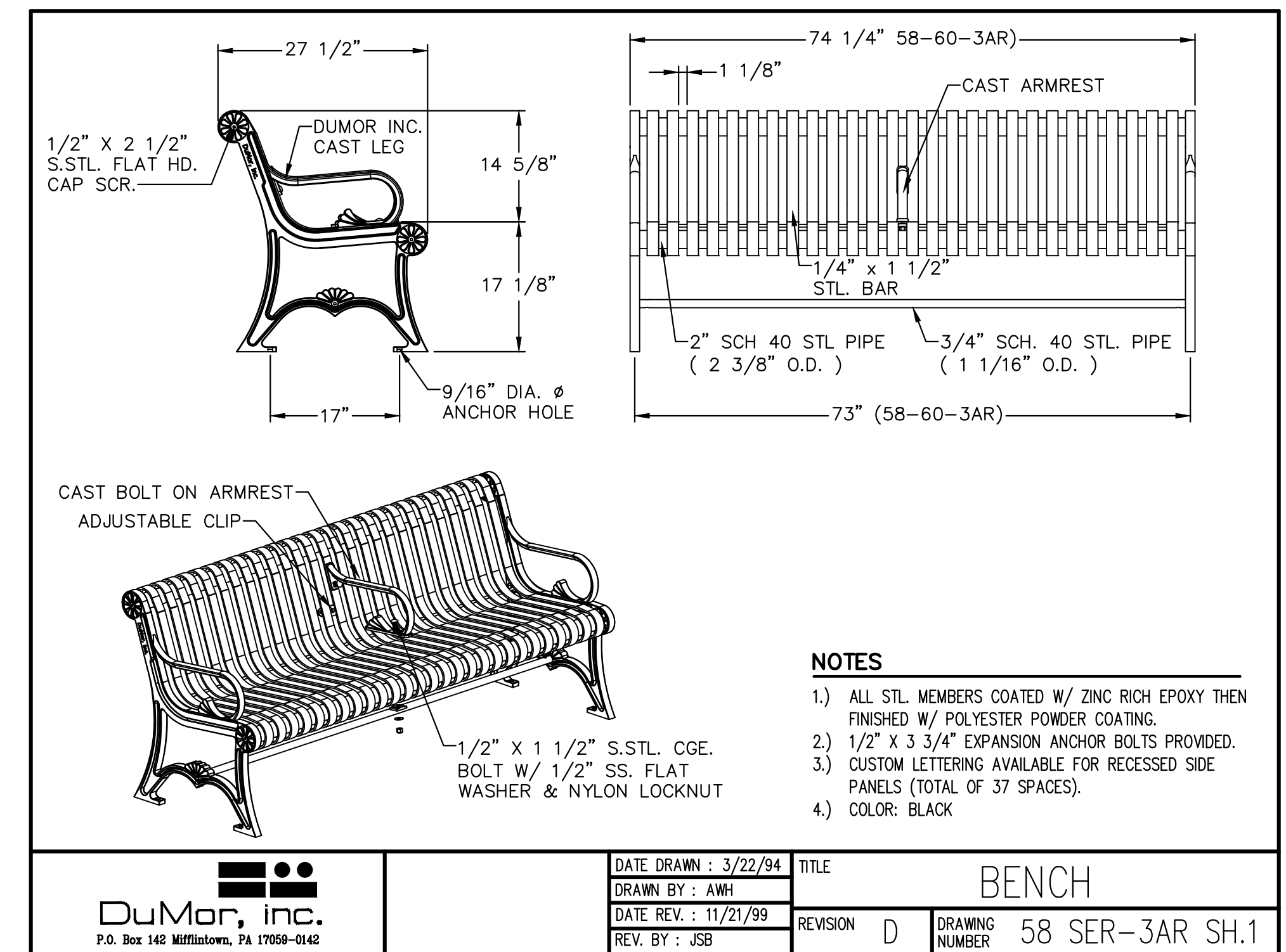


COVER NUMBERS  
0-434-EC-13 (1/2 MOON OPENING)  
0-434-EC-10 (4" OPENING)

- NOTES**
1. ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
  2. 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED (QTY. 3).
  3. RECYCLING UNIT HINGE FOR REMOVAL OF LINERS.
  4. COLOR: BLACK

DuMor, inc. RECYCLING UNIT  
DATE DRAWN: 10/22/11  
DRAWN BY: JSB  
DATE REV: 09/07/09  
REV. BY: XXX  
REV. A  
DRAWING NUMBER: 436-40SH-0001  
SHEET: 1 OF 2

NO.	DATE	DESCRIPTION
1	9/13/22	REVISED PER TOWNSHIP COMMENTS



- NOTES**
1. ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
  2. 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED.
  3. CUSTOM LETTERING AVAILABLE FOR RECESSED SIDE PANELS (TOTAL OF 37 SPACES).
  4. COLOR: BLACK

DuMor, inc. P.O. Box 142 Millstown, PA 17058-0142  
DATE DRAWN: 3/22/94  
DRAWN BY: AWH  
DATE REV: 11/21/99  
REV. BY: JSB  
TITLE: BENCH  
REVISION: D  
DRAWING NUMBER: 58 SER-3AR SH.1

LANDSCAPING DETAILS  
1004 WEST COLLEGE, LLC  
**WEST COLLEGE AVENUE VERTICAL MIXED USE DEVELOPMENT**  
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA  
DATE: 3/14/22  
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SCALE: AS SHOWN  
FILE:  
DRAWN BY: DLK  
CHECKED BY: DWP  
SEAL: [Professional Engineer Seal]  
GWIN DOBSON & FOREMAN ENGINEERS  
3121 Fairway Drive  
Allentown, PA 18602  
610.943.5214  
gdfeengineers.com  
SHEET NO: D-9