

TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

FERGUSON TOWNSHIP PLANNING COMMISSION REGULAR MEETING AGENDA Monday, January 13, 2020 6:00 PM

- I. Call To Order
- I. Approval of Regular Meeting Minutes December 3, 2019
- II. Citizen Input
- III. Land Development Plans

A. Consideration for Modification/Waiver – West Cherry Lane Sidewalks

Penn Terra Engineering, on behalf of their client, HFL Corporation, LL., has submitted an application for a modification/waiver for Subdivision and Land Development Ordinance 22-512.1.E.7. This section requires sidewalks along both sides of the new driveway entrance to West Cherry lane. The plan proposes a sidewalk access from the main entrance of the office to the West Cherry lane sidewalk and from the main residential entrance to the N. Allen driveway sidewalk. These proposed routes will provide better means of pedestrian access to the building than sidewalks along the driveway access to the site.

B. West Cherry Lane Multi-Use Building Land Development Plan

The West Cherry Lane Multi-Use Building Preliminary/Final Land Development proposes to construct a 9,954 square foot office (first floor) and work-force housing units (second and third floors) with related parking, utilities and amenities. A request for a modification/waiver for the Subdivision and Land Development Ordinance Chapter 22-512.1.E-7 was submitted for approval to the Board of Supervisors.

The full plan set can be found here: <https://www.dropbox.com/sh/wru66glgwmpi4lk/AADoyBVEs--nmanahP0rcUFTa?dl=0>

IV. Planning Commission Bylaws and Rules of Procedure

- A. Draft Planning Commission Bylaws and Rules of Procedure

V. Official Reports and Correspondences

- A. Board of Supervisors
- B. CRPC Report
- C. Land Development Plans
- D. Staff Updates

VI. Adjournment

FERGUSON TOWNSHIP PLANNING COMMISSION
REGULAR MEETING MINUTES
Monday, DECEMBER 3, 2019
6:00 PM

ATTENDANCE

The Planning Commission held its regular meeting of the month on Monday, December 3, 2019 at the Ferguson Township Municipal Building. In attendance were:

Commission:

Bill Keough, Chair-person-Absent
Ralph Wheland
Erik Scott
Jeremie Thompson
Jerry Binney
Shannon Holliday
Rob Crassweller, Secretary-Absent
Dr. Ellen Taricani-Alternate

Staff:

Jenna Wargo, Planning & Zoning Director
Jeff Ressler, Zoning Administrator-Absent
Kristina Aneckstein, Community Planner

Others in attendance were: Summer Krape, Recording Secretary; Robyn Froehlich, Stahl Sheaffer Engineering; Pam Salokangas, Director of Centre Region Parks and Recreation; Kathy Madison, Centre Region Parks and Recreation; Laura Dinnini, Ferguson Township Resident; Jim Carpenter, Centre Region Parks and Recreation.

I. CALL TO ORDER

Mr. Erik Scott opened the meeting and stated that Mr. Bill Keough is absent so the Planning Commission will need to nominate a pro temp chair person. Mr. Ralph Wheland nominated Mr. Scott, Mr. Jerry Binney seconded the motion, and the motion passed unanimously.

II. CITIZEN INPUT

III. WHITEHALL ROAD REGIONAL PARK RESUBMISSION

Ms. Kristina Aneckstein stated that the outstanding comments are located in the memo that she handed out at the beginning of the meeting. These comments are primarily administrative. Ms. Aneckstein stated that staff is still waiting on stormwater from NTM Engineering but other than that believes the plan is ready for Board of Supervisors. Ms. Robyn Froehlich has a presentation and can answer any questions the Commission may have. Ms. Ellen Taricani asked Ms. Froehlich to run through some of the key points that the comments addressed. Ms. Froehlich stated that the stormwater is just minor comments, no real changes, and the landscaping change was made to meet the 30 foot buffer ordinance.

Mr. Binney asked about a secondary/emergency exit. Ms. Froehlich stated that it was determined that this first phase will not have a secondary/emergency exit however, this could be possible in future phases. Ms. Froehlich stated that the other regional parks like Oak Hall do not have secondary/emergency exits. Mr. Binney stated that he would like the Board of Supervisors to discuss this with law enforcement. Ms. Salokangas stated that the CRPR staff has an internal process on holding traffic for emergency vehicles. Ms. Salokangas stated that CRPR holds tournaments at Oak Hall Regional Park and there is almost always an injury and they have to hold traffic for emergency vehicles. Ms. Laura Dinnini stated that she appreciates the emergency exit being highlighted. In the park's masterplan there is an emergency exit that cuts through the State College Borough Water

Authority property, she feels that good planning would be obtaining an access easement prior to building the future phases. Ms. Dinnini asked about the proposed heights of the sports lighting as she is concerned about the neighboring developments and public roads. Ms. Jenna Wargo stated that the higher the light the better and more direct the downward facing light would be. Ms. Salokangas stated that the fields on the southern side are over 1000 feet from Whitehall Road so the lights will not bother drivers. Ms. Salokangas stated that the lights are 75 and 90 feet high. Mr. Wheland made a motion to recommend approval of the Whitehall Road Regional Park phase 1 to the BOS subject to Ms. Aneckstein's memo dated December 2, 2019. Mr. Jeremie Thompson seconded the motion and the motion passed unanimously.

IV. REVIEW OF PLANNING COMMISSION BY-LAWS

Ms. Wargo stated that included in the Commission's agenda packets there is a copy of the by-laws and rules of procedure for the Planning Commission. Ms. Wargo stated that Mr. Keough has already reviewed and made his edits and they have been included in that copy. Ms. Wargo stated that no motion needs to be made tonight the members can review over the holidays.

V. REVIEW AND APPROVAL OF THE 2020 PLANNING COMMISSION CALENDAR

Ms. Wargo stated that this is also attached in the agenda packet. The BOS hasn't approved there schedule yet but if they maintain their normal schedule the Planning Commissions meetings will be good. Mr. Binney moved the motion to approve the calendar and Mr. Wheland seconded. The motion passed unanimously.

VI. REVIEW AND APPROVAL OF THE 2020 PLANNING COMMISSION WORK PROGRAM

Ms. Wargo stated this is also to keep the Commission on task for 2020. Ms. Wargo stated that a background work would be the zoning map, so expect more work sessions in 2020. Another big one is Terraced streetscape district and sign ordinance.

Assist with implementation activities such as the PGM small area plan. Park and recreation open space plan in coordination with Lance King and Centrice Martin.

Mr. Wheland made a motion to approve and Mr. Binney seconded the motion passed unanimously.

X. OFFICIAL REPORTS AND CORRESPONDENCES

a. BOARD OF SUPERVISORS REPORT

Ms. Wargo stated that there will be a public hearing on Dec 9th on the budget. Also note the admin office hours will be open until 12:00 pm on the 24th, closed on the 25th. Open until 12:00 pm on the 31st and closed on the 1st.

b. CRPC REPORT

Mr. Thompson stated that they will meet this Thursday at 7:00 pm in the fourm room at the COG offices. They will talk about parking for the Nittany Valley Sports Center master plan. College Township will be giving a presentation on university plan district amendments. Halfmoon Township is looking at zoning ordinance amendments. They will also look at the 2050 long range transportation plan

c. LAND DEVELOPMENT PLANS

i. **WATKINS SUBDIVISION** – Has been withdrawn today.

- ii. **W. CHERRY LANE – 3RD REVIEW COMMENTS RETURNED TO APPLICANT, EXPECTED TO BE ON THE NEXT PC AGENDA**
- iii. **HARNER FARM REPLOT AND ORCHARD VIEW SUBDIVISION – COMMENTS WERE RETURNED TO APPLICANT**
- iv. **ORCHARD VIEW SUBDIVISION- COMMENTS WITH APPLICANT, APPLICATN WORKING OUT TIS ITEMS.**

d. STAFF UPDATES

XI. APPROVAL OF REGULAR MEETING MINUTES NOVEMBER 11, 2019

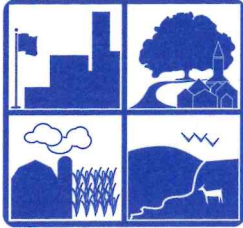
Mr. Binney made a motion to approve the meeting minutes for November 11, 2019. Mr. Wheland seconded the motion and the motion passed unanimously.

XII. ADJOURNMENT

The Planning Commission meeting for Monday November 11, 2019 was adjourned at 6:40pm.

Respectfully Submitted,

Rob Crassweller, Secretary
For the Planning Commission



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: Ferguson Township Planning Commission

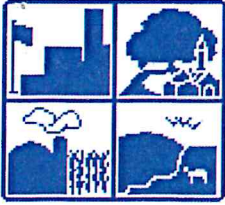
FROM: Kristina Aneckstein, Community Planner *KA*

DATE: January 10, 2020

SUBJECT: **MODIFICATION/WAIVER FOR THE
WEST CHERRY LANE MULTI-USE BUILDING**

Penn Terra Engineering, on behalf of their client, HFL Corporation, LLC, has submitted an application for approval of a modification/waiver for the Subdivision and Land Development Ordinance or Design Standards for Chapter 22-512.1.E – 7. This section requires sidewalks along both sides of the new driveway entrance to West Cherry Lane. The plan proposes a sidewalk access from the main entrance of the office to the West Cheery Lane sidewalk and from the main residential entrance to the North Allen driveway sidewalk. These proposed routes will provide better means of pedestrian access to the building than sidewalks along the driveway access to the site.

The developer states that providing sidewalks on both sides of the driveway entrance will result in a less effective means of pedestrian access and will also require ramps and railings in order to meet ADA accessibility requirements.



APPLICATION FOR CONSIDERATION OF A MODIFICATION
Ferguson Township, Centre County

Submittal Date: 11-1-19

A fee of \$50.00 is required at the time of submitting this application.

The undersigned hereby applies for approval of a modification/waiver, submitted herewith and described below:

Applicant Information

HFL Corporation

Name

1155 Benner Pike

State College

16801

Street Address

City

Zip

814/238-4000

Phone Number

Property/Plan Information

West Cherry Lane Multi Use Building

Plan Name

9-12-19

Plan Number

Plan Date

West Cherry Lane

Project Location

Parcel Number

HFL Corporation

Name of Property Owner(s)

1155 Benner Pike

State College

16801

Street Address

City

Zip

Application Type:

Subdivision

Terraced Streetscape District (TSD)

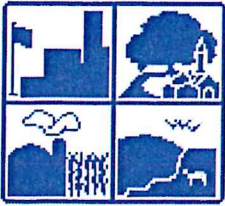
Land Development

Traditional Town Development (TSD) District

Modification/Waiver Request Information

Specific Section(s) of the Subdivision and Land Development Ordinance or Design Standards for which a Modification/Waiver is requested:

(Ch 22-512.1. E) - 7. Sidewalks are required along both sides of the new driveway entrance to West Cherry Lane.



APPLICATION FOR CONSIDERATION OF A MODIFICATION
Ferguson Township, Centre County

State any proposed alternative(s) to the requirement:

The plan proposes a sidewalk access from the main entrance of the office to the West
Cherry Lane sidewalk and from the main residential entrance to the North Allen
driveway sidewalk. These proposed routes will provide a better means of pedestrian
access to the building than sidewalks along the driveway access to the site.

Please state in full, the grounds and facts of the unreasonableness or hardship the Ferguson Township Subdivision and Land Development Ordinance has placed on the property.

Providing sidewalks on both sides of the driveway entrance will result in a less
effective means of pedestrian access and will also require ramps and railings in order
to meet ADA accessibility requirements.

*If necessary, please continue with your hardship specification on another page.

The undersigned hereby represents that, to the best of their knowledge and belief, all information listed above is true, correct, and complete.

Signature

Date

-For Office Use Only-

Date Received: _____ By: _____

Date Paid: _____ Check No.: _____ Amount: _____

Advertisement Dates: _____ Planning Commission Review Date: _____

Board of Supervisors Meeting Date: _____



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: Planning Commission

FROM: Kristina Aneckstein, Community Planner

DATE: January 10, 2019

SUBJECT: West Cherry Lane Multi-Use Building Land Development Plan

The West Cherry Lane Multi-Use Building Preliminary/Final Land Development proposes to construct a 9,954 square foot office (first floor) and work-force housing units (second and third floors) with related parking, utilities and amenities.

Tax Parcel 24-012-,012 contains .269 acres, is zoned General Commercial and lies within the Corridor Overlay. This property has been granted five (5) variances prior to the land development submission. Over the months, requests for modifications have been requested, only to be withdrawn, as the agent was able to be in full compliance with the Subdivision and Land Development Ordinance. At this point, all remaining comments are administrative and are outlined below.

1. A digital copy of the plan in accordance with Township requirements must be provided to the Township prior to final plan signature. (Chapter 22 Section 304.7) **Comment Stands.**
2. The plan must be signed, all fees paid to the Township and the plan recorded within the plan deadline. **Comment Stands**
3. The plan must be signed, all fees paid to the Township, and the plan recorded within the plan deadline. **Comment Stands.**
4. See attached memos for outstanding comments from the Township Engineer and Stormwater Engineer Consultant.

Staff Recommendation: The Planning Commission make a recommendation to the Board of Supervisors to approve the West Cherry Lane Multi-Use Building Land Development Plan, submitted on September 12, 2019 and last revised on December 3, 2019 condition upon all outstanding items being completed.



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: Kristina Aneckstein, Community Planner

FROM: Ron Seybert, Township Engineer

DATE: December 11, 2019

SUBJECT: West Cherry Lane Multi Use Building
Preliminary/Final Land Development Plan
Third Review (ES-405)

As requested, I have reviewed the 'West Cherry Lane Multi Use Building Preliminary/Final Land Development Plan' prepared by Penn Terra Engineering, dated September 12, 2019 and last revised December 3, 2019 for conformity to the Township Ordinances. Following are comments from my review.

1. On sheets 4 and 5, the deed reference noted on the plan for this parcel will need to be revised once the consolidated deed is recorded. (Ch 22-401.1.A (1)(c)) **Not resolved, pending lot consolidation recording.**
2. The Land Development plan is predicated upon the recording of the Lot Consolidation plan by HFL Corporation. The recording of the Lot Consolidation Plan needs to occur with the new deed recorded prior to this plan being approved. (Ch 22-401.1 A (1)(e)) **Not resolved, pending lot consolidation recording.**
3. A Stormwater Management Site Plan needs to be reviewed and approved by the Township Stormwater Engineer. (Ch 22-401.a A (1)(j)) **Not resolved, pending stormwater plan approval.**
4. The existing features need to be depicted on the plan for the entire parcel. Missing items include watercourses, tree masses, all manmade features including sanitary and storm sewer lines manholes and inlets, water lines, stormwater BMPs, electric lines, light poles, and right of ways. The existing storm pipes and inlets along West Cherry Lane are also incorrect. (Ch 22-401.1. A (2a-2d)) **Resolved.**
5. The sidewalk ramps and driveway apron need to be constructed to meet ADA requirements as depicted in PennDOT RC-67M for a Type 3A Driveway Apron. This will affect the grading and length of curb replacement. The maximum driveway slope in the crosswalk area is 2% and the sidewalk approaches on each side of the driveway need to meet ADA slopes as well. Details of the ramps could not be located on the plans. (Ch 22-502.3.M) Partially resolved. There is a proposed maneuvering area along the sidewalk there the private sidewalk intersects with the public sidewalk along West Cherry Lane. The maneuvering sidewalk is proposed at less than 2%, but the curb slope is approximately 4%. I recommend that the sidewalk along West Cherry Lane follow the curb slope instead of the less than 2% maneuvering area to avoid creating an uneven surface between the sidewalk and curb that could create a tripping hazard. **Resolved.**
6. Not all signs are to be mounted at right angles to the direction of traffic. Parking restriction signs are to be mounted between 30 and 45 degrees of the line of traffic flow. Please updated detail note accordingly. (Ch 22-502.3.M) **Resolved.**

7. *Sidewalks are required along both sides of the new driveway entrance to West Cherry Lane unless a modification is granted by the Board of Supervisors. (Ch 22-512.1. E) **Not resolved, pending a modification request.***
8. *A note needs added to the plan that requires a pre-construction conference prior to the construction of any stormwater facilities. (Ch 26-307.1.D) **Resolved.***
9. *The following comments relate to maintenance and operation of the stormwater system and BMPs. (Ch 26-703.1)*
 - a. *The maintenance table refers to a rain garden which is not on the plans. Not resolved. Rain garden is still referenced under maintenance duty for sinkhole prevention measures. **Resolved.***
 - b. *There are not any notes for maintenance of the infiltration sump. **Resolved.***
 - c. *The frequency of some maintenance items may be too often and discourage the owner from providing the required maintenance and keeping records. Partially resolved. The monthly inspections still seem too frequent, but are acceptable. Please recall that records of all inspections are required to be maintained and made available if requested. **Resolved.***
 - d. *The maintenance notes for the inlet grate skimmer would require the boom to be replaced quarterly and after each rainfall event of 0.5 inches or greater. This could be excessive. **Resolved.***
 - e. *The underground detention system should have another inlet with steps provided on the east side of the system for inspection and maintenance. The 36" manhole riser might be acceptable if appropriate steps are provided in the structure. **Not resolved. Access to the underground detention facility is still limited and will require confined space entry protocol for both maintenance and inspection. Is there an alternative design that would allow for inspection of the system without the need for confined space entry protocol? This will add costs to the owner monthly to inspect the system and requires additional effort for the Township to perform inspections. Applicant indicated that additional cleanouts can be added accordingly where required. This does not address the comment.***
 - f. *The 36' manhole riser specs a grate that is non-traffic rated. This needs changed since it is located in the parking lot. **Resolved.***
 - g. *It is unclear how the stormwater enters the infiltration sump. **Resolved.***
 - h. *It appears that the infiltration sump may drain into the detention basin without requiring the stormwater to infiltrate into the soils, but I cannot clearly understand how the system is supposed to function. Not resolved. The orifice plate detail indicates the bottom of the plate is at elevation 1107.0. The inlet table indicates the invert of the inlet is elevation 1106.5. There is a gap from the bottom of the plate to the inlet invert of 0.5 feet. **Resolved.***
 - i. *Provide two observation ports to verify the depth of stormwater within the infiltration sump for required dewatering. **Resolved.***

- j. The detail is not clear where the 3" gate valve is located for the sump orifice plate. The maintenance notes should discuss exercising the gate valve at regular intervals. **Resolved.***
- k. The HDPE Detention Basin detail calls for water tight joints where connections are made from other pipes that lead into the basin. It should also specify water tight joints for all connections of pipe sections and fittings of the detention basin pipe also. **Resolved.***

A revised submission addressing each of the above comments should be provided for review.

Copy: Scott Brown, NTM Engineering

December 16, 2019

Via Email

Township of Ferguson
3147 Research Drive
State College, Pennsylvania 16801

Attn: Ms. Kristina Aneckstein, Community Planner

**RE: West Cherry Lane Multi Use Building Preliminary/Final Land Development Plan
Stormwater Management Site Plan and Lighting Plan Review**

Dear Kristina,

We have completed our third stormwater management and lighting review for the West Cherry Lane Multi Use Building Preliminary/Final Land Development Plan. The applicant's Design Professional, PennTerra Engineering, Inc., submitted the following information that serves as the basis of our review:

1. West Cherry Lane Multi Use Building Preliminary/Final Land Development Plan dated September 12, 2019 with revisions through December 3, 2019.
2. West Cherry Lane Multi-Use Building Post Construction Stormwater Management Report dated September 12, 2019 with revisions through December 6, 2019.
3. Comment response letter dated December 6, 2019.

NTM has reviewed these plans for compliance with Township lighting and stormwater management ordinances (Chapters 4 and 26 of the Township Code). Follow-up comments to your responses are provided in bold text below.

Chapter 4, Part 1 – Outdoor Lighting

All comments previously addressed.

Chapter 26 – Stormwater Management

1. A preapplication meeting is required at the concept design stage for all projects in WQS Area Districts (§26-302).

November 15, 2019: A pre-application meeting will be required as specified in the last paragraph of §26 302.

December 16, 2019: Response acknowledged. Comment remains.

3. Illustrate all existing stormwater control facilities on the property including details and a maintenance schedule (§26-402). Note that the as-built stormwater certification must cover all stormwater control measures on the site.

November 15, 2019: Details and explicit maintenance schedule for existing stormwater management facilities must be included on the plans. Add “inspection” as a maintenance duty for storm sewer inlets and pipes, and Flex Storm pipe inlet filters.

December 16, 2019: Comment partially addressed. Details and an explicit maintenance schedule must be included for the existing stormwater detention vault.

9. Address all stormwater maintenance and operation comments from the Township Engineer.

November 15, 2019: Response acknowledged. Comment remains until Township Engineer sign off on all maintenance and operation comments.

12. The printout from NOAA Atlas 14 was taken on February 1, 2017. A current viewing of the NOAA Atlas 14 printout indicates that the 24-hour return period storm depths have changed. Update the rainfall depths used in the stormwater analysis (§26-402 A).

November 15, 2019: The printout from NOAA Atlas 14 that was replaced on page 55 of the Stormwater Narrative does not have the date of the printout as required by §26-402 A (6).

December 16, 2019: Comment addressed.

14. Correct the inconsistency between the total drainage area tributary to the stone sump used in the 1-year, 24-hour storm analysis (report page 49), and the total of the tributary inlet areas reported in the Storm Sewer Tabulation on page 43 of the report.

November 15, 2019: Although the numbers have changed (previously 0.28 acres and 0.29 acres and 0.34 acres and 0.33 acres now) the inconsistency remains.

December 16, 2019: The drainage configuration and tributary areas have changed with this revision but the inconsistency remains between the total area tributary to the stone sump used in the 1-year storm analysis on page 53 and the total of the tributary inlet areas reported in the Storm Sewer Tabulation on page 57. Page numbers are from the current report with revision date 12/6/19.

17. Provide design details and notes identifying how the water is to enter the stone sump.

November 15, 2019: Additional notes and details needed. As currently designed, it appears that water from the sump will be able to drain from the sump to I-1 and ultimately to the HDEP detention area through the stone material in the trenches and around the base of inlet I-1. Provide details illustrating how this migration of flow will be controlled. Also provide

a water-tight connection between the perforated and unperforated portions of the pipe from I-2 to I-1.

December 16, 2019: Comment partially addressed. It appears that water from the stone sump can still bleed into stone bedding in the storm pipe trench from I-1 to the 48” storage pipe.

24. Trees should not be planted within or immediately adjacent to the stone sump to minimize the potential for damage to the sump from root growth.

November 15, 2019: Landscape plan still includes a tree planted immediately adjacent to the sump. A 10-foot separation must be maintained from the sump to the location of proposed trees.

December 16, 2019: Comment Addressed.

25. Complete and fully execute the Operation and Maintenance Agreement (§26-704).

November 15, 2019: Response acknowledged. Comment remains.

26. All signature blocks must be signed prior to final approval (§26-402 B).

November 15, 2019: Response acknowledged. Comment remains.

If you have any questions or require additional information, please feel free to contact me at 814-862-9191.

Sincerely,
NTM Engineering, Inc.



Scott A. Brown, PE, D.WRE
Senior Project Manager

cc: Mr. Ronald Seybert, Township Engineer, Ferguson Township
Mr. Kevin Bloom, Ferguson Township
Mr. James Coslo, Centre County Conservation District

2019 12 16 West Cherry Lane Development r3

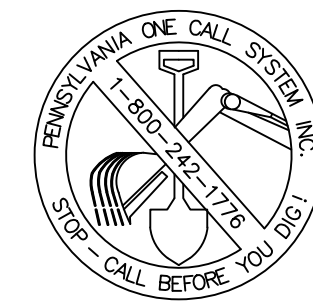
WEST CHERRY LANE MULTI USE BUILDING

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

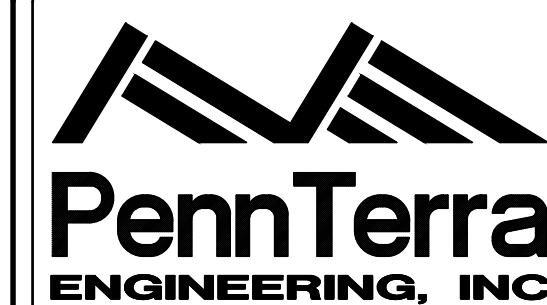
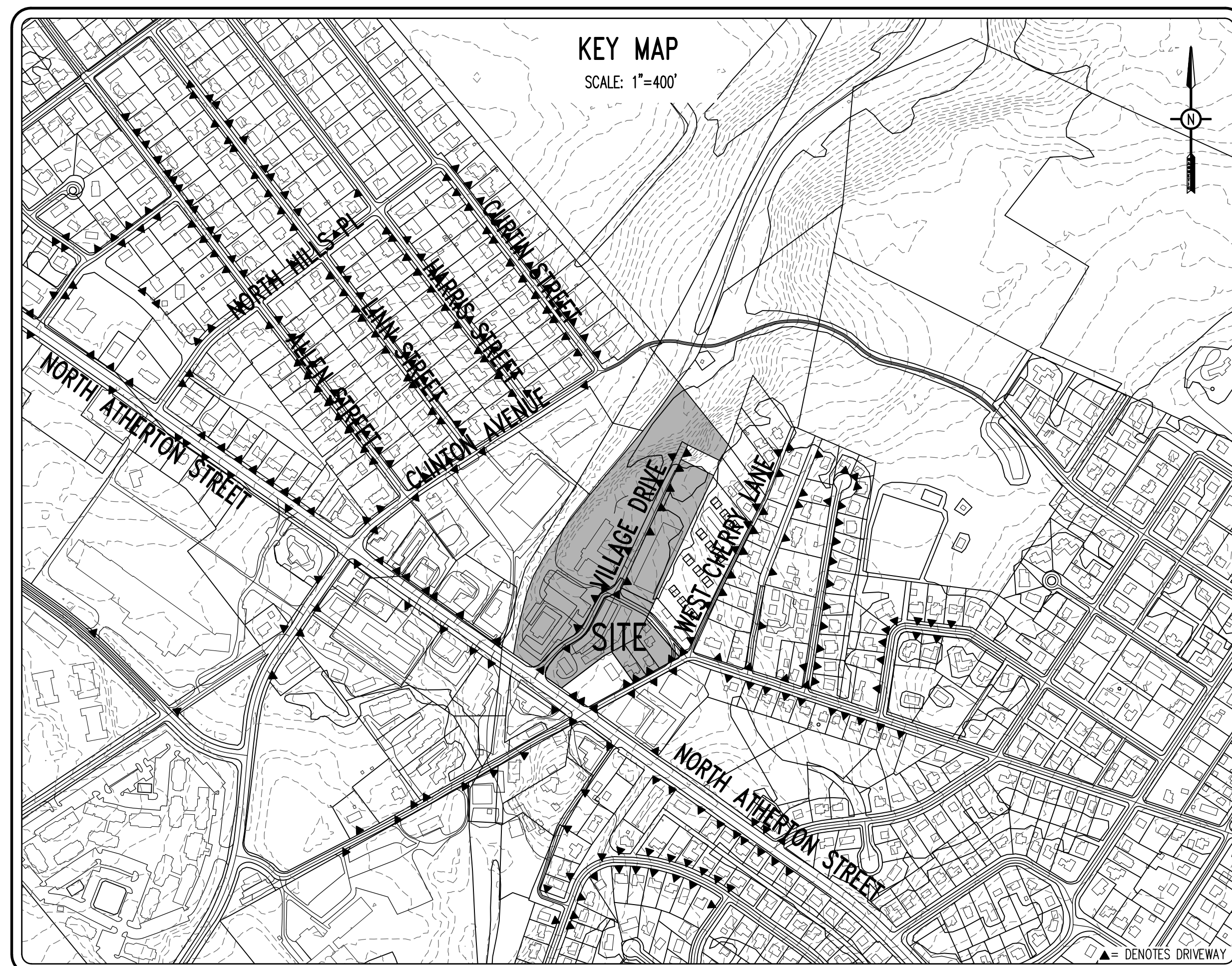
FERGUSON TOWNSHIP * CENTRE COUNTY * PENNSYLVANIA

SEPTEMBER 12, 2019

LAST REVISED DECEMBER 3, 2019



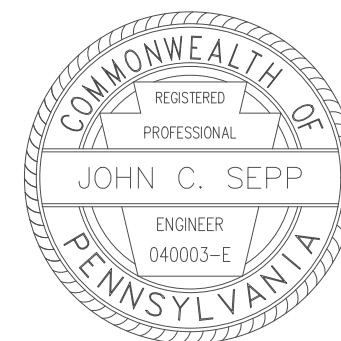
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY



CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

WWW.PENNTERRA.COM



COPYRIGHT 2019 BY THE ENGINEER

THE INFORMATION CONTAINED HEREON MAY NOT BE USED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER EXCEPT AS OTHERWISE PROVIDED BY APPROPRIATE LAWS OR STATUTES.

© PENNTERRA ENGINEERING 2019 ALL RIGHTS RESERVED

TABLE OF CONTENTS

SHEET	DESCRIPTION
*1	COVER SHEET
*2	OVERALL EXISTING CONDITIONS PLAN
*3	DEMOLITION PLAN
*4	OVERALL LAND DEVELOPMENT PLAN
*5	RECORD PLAN
*6	GEOMETRY PLAN
*7	GRADING, UTILITY AND STORMWATER MANAGEMENT SITE PLAN
*8	LANDSCAPE PLAN
*9	LIGHTING PLAN
*10	STORMWATER CONSTRUCTION DETAILS
*11	GENERAL CONSTRUCTION DETAILS
*12	SITE CROSS SECTIONS & SIGN DETAILS
*ES1	EROSION AND SEDIMENTATION CONTROL PLAN
*ES2	EROSION AND SEDIMENTATION CONTROL DETAILS
*ES3	EROSION AND SEDIMENTATION CONTROL NARRATIVE
A1	BUILDING ARCHITECTURAL PLANS
	* DENOTES WHICH PLAN SHEETS ARE TO BE RECORDED
	*X DENOTES WHICH PLAN SHEETS ARE PART OF THE STORMWATER MANAGEMENT SITE PLAN

ACT 287 UTILITY INFORMATION (SERIAL NUMBER: 20170591943)

SANITARY SEWER
UNIVERSITY AREA JOINT AUTHORITY
1576 SPRING VALLEY ROAD
STATE COLLEGE, PA 16801
PHONE: (814) 238-5361

PUBLIC WATER
STATE COLLEGE BOROUGH WATER AUTHORITY
1201 WEST BRANCH ROAD
STATE COLLEGE, PA 16801
PHONE: (814) 238-6766

NATURAL GAS
COLUMBIA GAS OF PENNSYLVANIA
2550 CAROLEAN INDUSTRIAL DRIVE
STATE COLLEGE, PA 16801
PHONE: (814) 238-6775

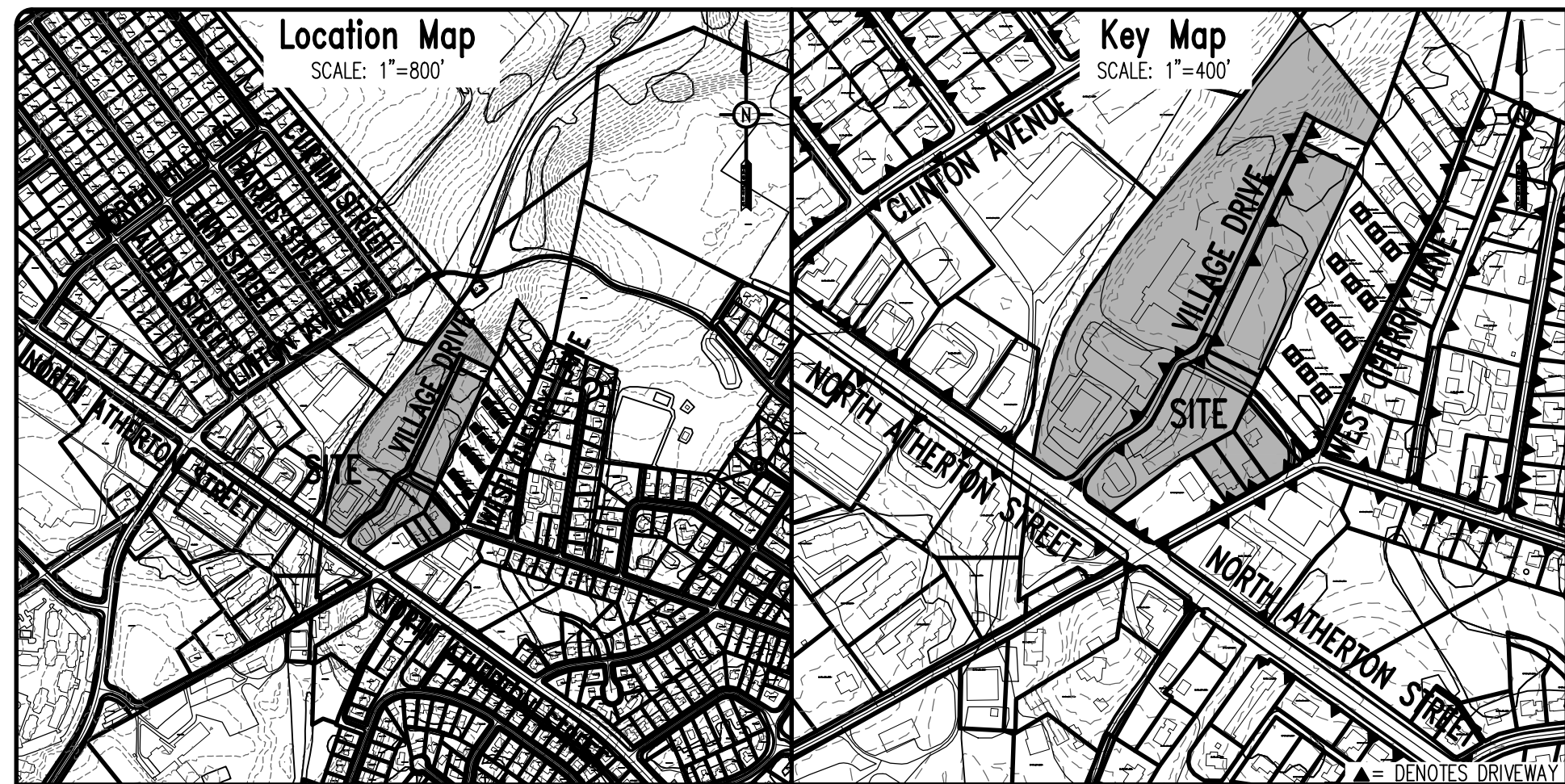
ELECTRIC
WEST PENN POWER COMPANY
2800 EAST COLLEGE AVENUE
STATE COLLEGE, PA 16801
PHONE: (814) 237-5721

TELEPHONE
VERIZON
224 SOUTH ALLEN STREET
STATE COLLEGE, PA 16801
PHONE: (814) 231-6511

CABLE TELEVISION
COMCAST
60 DECIBEL ROAD
STATE COLLEGE, PA 16801
PHONE: (800) 992-3515

STORMWATER
FERGUSON TOWNSHIP
3147 RESEARCH DRIVE
STATE COLLEGE, PA 16801
PHONE: (814) 238-4651

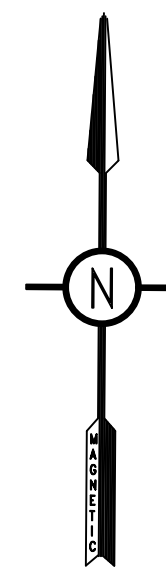
PA DOT
70 PENNDOT DRIVE
CLEARFIELD, PA 16830
PHONE: (814) 765-0400



Act 287 Information: Serial # 20170591943

- a. Sanitary Sewer: University Area Joint Authority
1576 Spring Valley Road
State College, PA 16801
(814) 238-5361
- b. Public Water: State College Borough Water Authority
1201 West Branch Road
State College, PA 16801
(814) 238-6766
- c. Natural Gas: Columbia Gas of Pennsylvania
2550 Carolean Industrial Drive
State College, PA 16801
(814) 238-6775
- d. Electric: West Penn Power Company
2800 East College Avenue
State College, PA 16801
(814) 231-5721
- e. Telephone: Verizon
224 South Allen Street
State College, PA 16801
(814) 231-6511
- f. Cable Television: Comcast
60 Decibel Road
State College, PA 16801
(800) 992-3515
- g. Stormwater: Ferguson Township
3147 Research Drive
State College, PA 16801
(814) 238-4651

PA DOT
70 PennDot Drive
Clearfield, PA 16830
(814) 765-0400



SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- I.P. Found
- Project Benchmark

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing
- Existing Contours (10's)
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Line
- Existing Overhead Utility Line w/ Pole
- Existing 6" & 8" PVC Sanitary Sewer w/ Manhole
- Existing 4", 6" & 8" D.I.P. Water Line w/ Valve
- Existing 2" & 4" Plastic & D.I.P. Gas Line
- Existing Underground Electric
- Existing 6" PVC & 12" PVC, 12", 15", 18" CMP Storm Sewer w/ Inlet
- Existing Concrete Areas
- Existing Gravel Areas
- Existing Retaining Wall
- Existing Vinyl/Wooden Fence
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Light Pole/Standard
- Existing Light Pole (Single Fixture)
- Existing Sign
- Existing Mail Box
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub
- 25% Slopes Or Greater
- Flood Plain

SOILS LEGEND

- Soil cover on the site consists of:
- HaB - Hagerstown Silt Loam, 3%-8% Slopes
 - Ho - Hagerstown Silt Loam, Local Alluvium, 0%-5% Slopes
 - OhB - Opequan-Hagerstown Complex, 3%-8% Slopes
 - OhC - Opequan-Hagerstown Complex, 8%-15% Slopes
 - OxO - Opequan-Rock Outcrop Complex, 8%-25% Slopes
 - URB - Urban Land-Hagerstown Complex, Gently Sloping

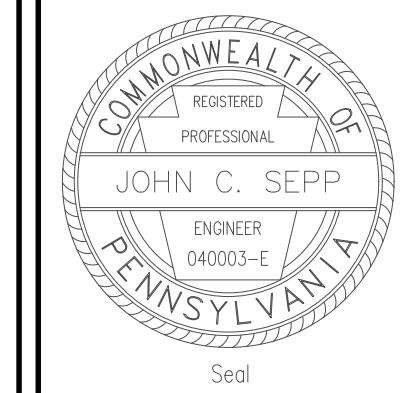
PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

WWW.PENNTERRA.COM

COPYRIGHT 2019 BY THE ENGINEER
THE INFORMATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER EXCEPT AS OTHERWISE PROVIDED BY APPROPRIATE LAWS OR STATUTES.

© PENNTERRA ENGINEERING 2019 ALL RIGHTS RESERVED



Designer: RRR
Draftsman: JDB
Proj Manager: JCS
Surveyor: _____
Perimeter Ok: _____
Book: Pg _____
Drive: Layout 16094-03-EX-DEM0
Acad: DEMO-24"x36"

Date	Description	REVISIONS
12-3-19	REVISED PER TWP COMMENTS	
11-1-19	REVISED PER TWP COMMENTS	

Date	Description	REVISIONS

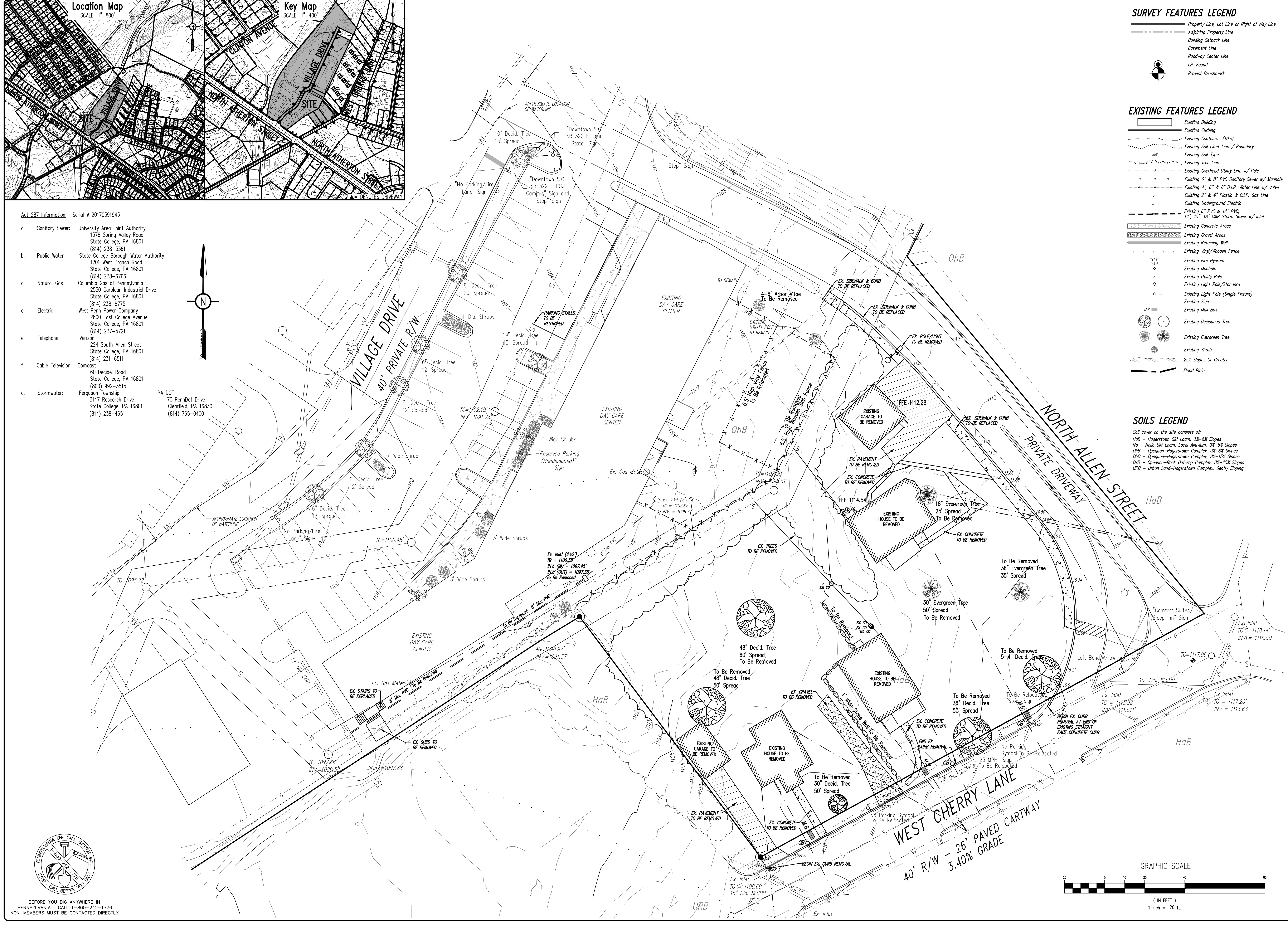
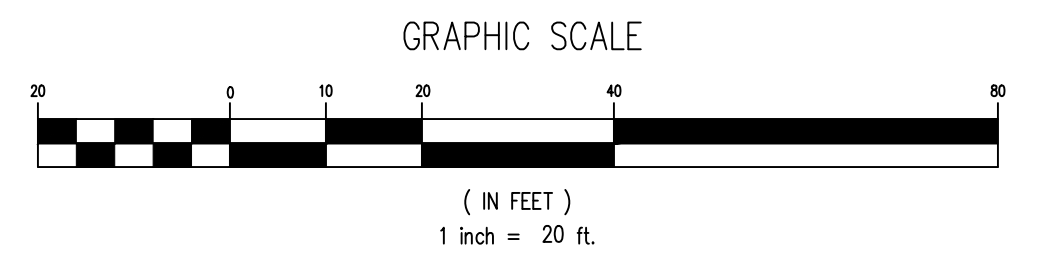
WEST CHERRY LANE MULTI USE BUILDING
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY/FINAL
LAND DEVELOPMENT
PLAN

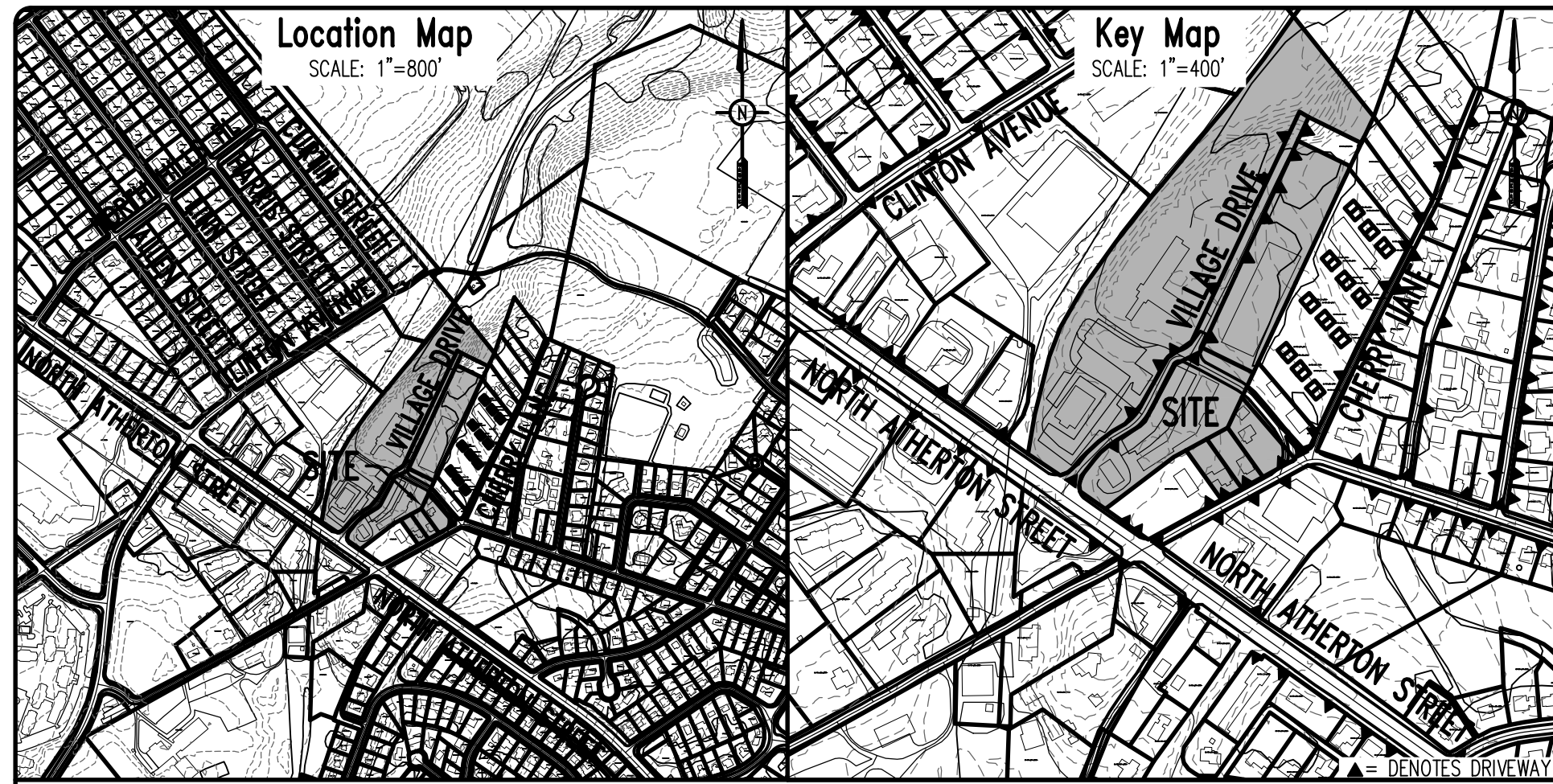
DEMOLITION PLAN

PROJECT NO. 16094.01	DATE SEPTEMBER 12, 2019
SCALE 1"=20'	SHEET NO. 3

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY



P:\dtp\2016\16094\w\p\16094-03-EX-DEM0.dwg, 12/4/2019 11:47:12 AM, 11



- Act 287 Information: Serial # 20170591943
- a. Sanitary Sewer: University Area Joint Authority
1576 Spring Valley Road
State College, PA 16801
(814) 238-5361
 - b. Public Water: State College Borough Water Authority
1201 West Branch Road
State College, PA 16801
(814) 238-6766
 - c. Natural Gas: Columbia Gas of Pennsylvania
2550 Carolean Industrial Drive
State College, PA 16801
(814) 238-6775
 - d. Electric: West Penn Power Company
2800 East College Avenue
State College, PA 16801
(814) 237-5721
 - e. Telephone: Verizon
224 South Allen Street
State College, PA 16801
(814) 231-6511
 - f. Cable Television: Comcast
60 Decibel Road
State College, PA 16801
(800) 992-3515
 - g. Stormwater: Ferguson Township
3147 Research Drive
State College, PA 16801
(814) 238-4651
- PA DOT: 70 PennDot Drive
Clearfield, PA 16830
(814) 765-0400



EXISTING CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C1	481.98'	928.46'	246.55'	N 24° 31' 33" E	476.58'	29° 44' 36"
C2	177.31'	1472.48'	88.76'	N 35° 56' 51" E	177.21'	06° 53' 58"

RE-STRIPING OF STALLS EXHIBIT
* PARKING STALLS BEHIND SLEEP INN WILL BE RE-STRIPED TO SHOW TWELVE COUNT, INSTEAD OF NINE COUNT.
SCALE: 1"=30'

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- I.P. Found

EXISTING FEATURES LEGEND

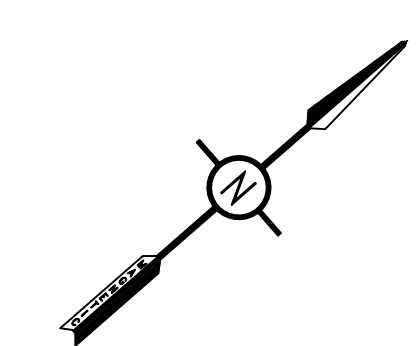
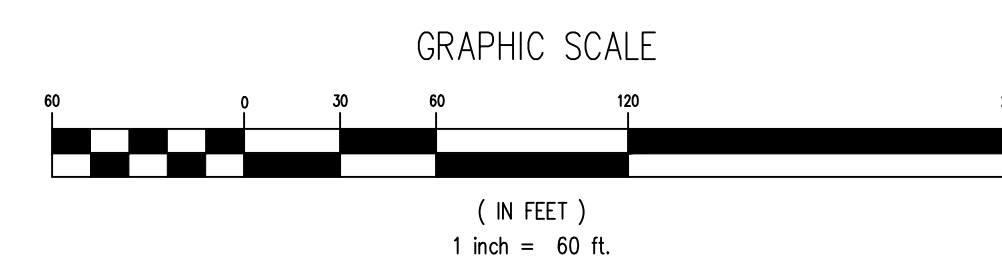
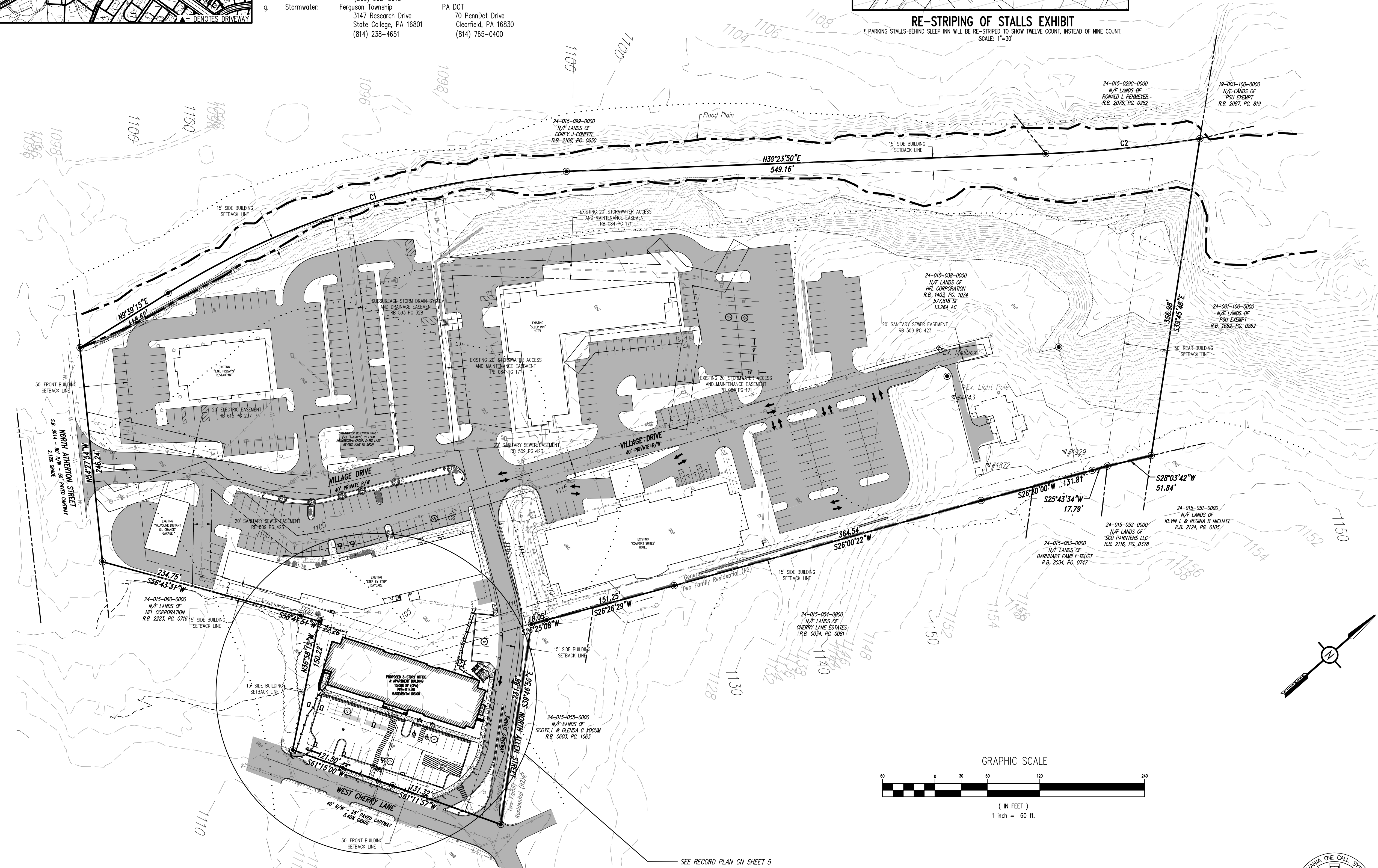
- Existing Building
- Existing Curbing
- Existing Contours (10's)
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Line
- Existing Overhead Utility Line w/ Pole
- Existing 6" & 8" PVC Sanitary Sewer w/ Manhole
- Existing 4", 6" & 8" D.I.P. Water Line w/ Valve
- Existing 2" & 4" Plastic & D.I.P. Gas Line
- Existing Underground Electric
- Existing 6" PVC & 12" PVC
- Existing 12", 15", 18" CMP Storm Sewer w/ Inlet
- Existing Concrete Areas
- Existing Gravel Areas
- Existing Retaining Wall
- Existing Vinyl/Wooden Fence
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Light Pole/Standard
- Existing Light Pole (Single Fixture)
- Existing Sign
- Existing Mail Box
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub
- 25% Slopes Or Greater
- Flood Plain

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING
- PROPOSED CURB TRANSITIONS
- PROPOSED TREE LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED PAVED AREAS (EXCEPT WALK/BIKE PATH)
- PROPOSED VINYL FENCE
- PROPOSED WOODEN FENCE
- PROPOSED RETAINING WALL
- PROPOSED MANHOLE
- PROPOSED STORM SEWER INLET - TYPE W
- PROPOSED STORM SEWER INLET - TYPE C
- PROPOSED GAS VALVE
- PROPOSED CLEAN-OUT w/ CONC. PAD
- PROPOSED LIGHT POLE/STANDARD
- PROPOSED LIGHT (BALL MOUNT)
- PROPOSED SIGN
- PROPOSED PARKING STALL COUNT
- PROPOSED TRAFFIC FLOW ARROWS
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL (VAN)
- PROPOSED DEPRESSED CURB AREA
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED HANDICAPPED RAMP

SOILS LEGEND

- Soil cover on the site consists of:
- HuB - Hagerstown SIL Loam, 3%-8% Slopes
 - No - Main SIL Loam, Local Alluvium, 0%-5% Slopes
 - OhB - Opequon-Hagerstown Complex, 3%-8% Slopes
 - OhC - Opequon-Hagerstown Complex, 8%-15% Slopes
 - OdD - Opequon-Rock Outcrop Complex, 8%-25% Slopes
 - URB - Urban Land-Hagerstown Complex, Gently Sloping



PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

WWW.PENNTERRA.COM

COPYRIGHT 2019 BY THE ENGINEER
THE INFORMATION CONTAINED HEREIN MAY NOT BE USED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER EXCEPT AS OTHERWISE PROVIDED BY APPROPRIATE LAWS OR STATUTES.
© PENNTERRA ENGINEERING 2019
ALL RIGHTS RESERVED



Designer: RRK
Draftsman: JDB
Proj Manager: JCS
Surveyor: _____
Perimeter Clk: _____
Book: Pg _____
Drive: Layout 2019-04-08 (10 PLAN)
Acad OVERALL LD PLAN - 24"x36"

NO.	DATE	DESCRIPTION
12-3-19	REVISED PER TWP COMMENTS	M.H.
11-1-19	REVISED PER TWP COMMENTS	M.H.

WEST CHERRY LANE MULTI USE BUILDING
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY/FINAL
LAND DEVELOPMENT
PLAN

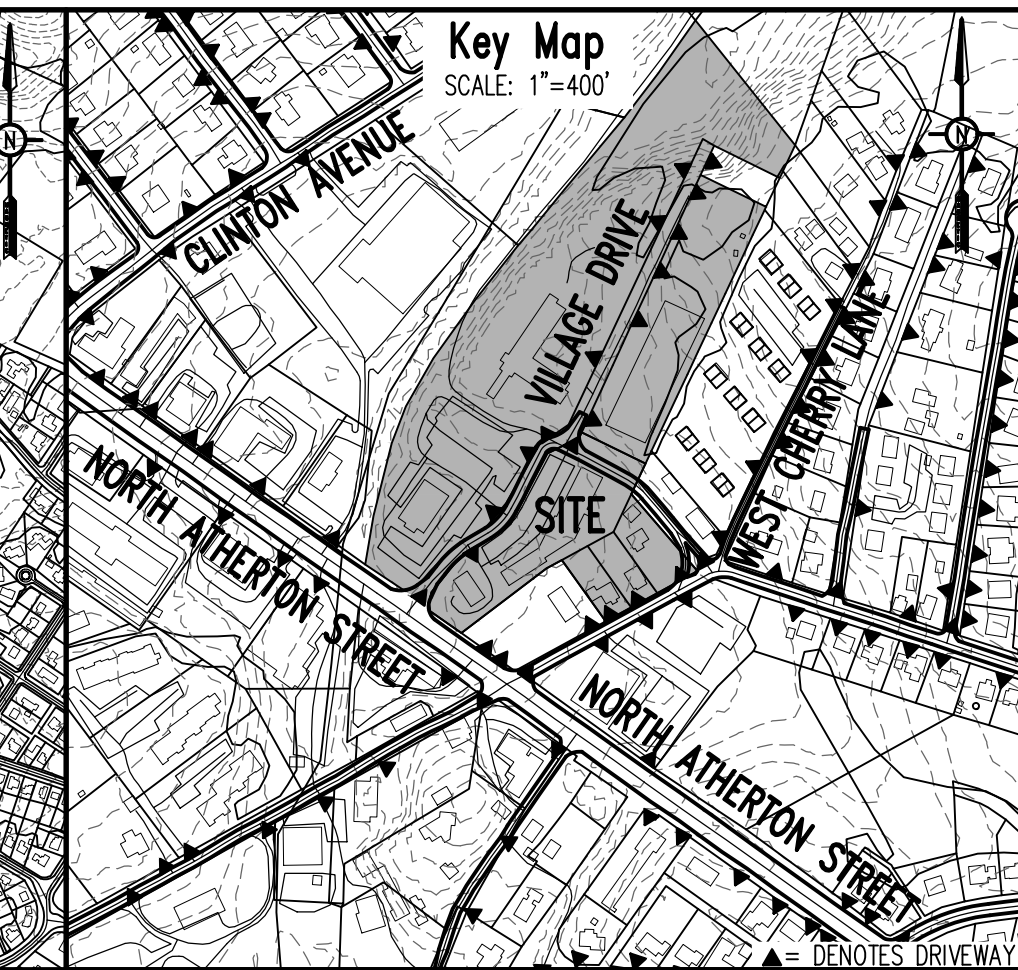
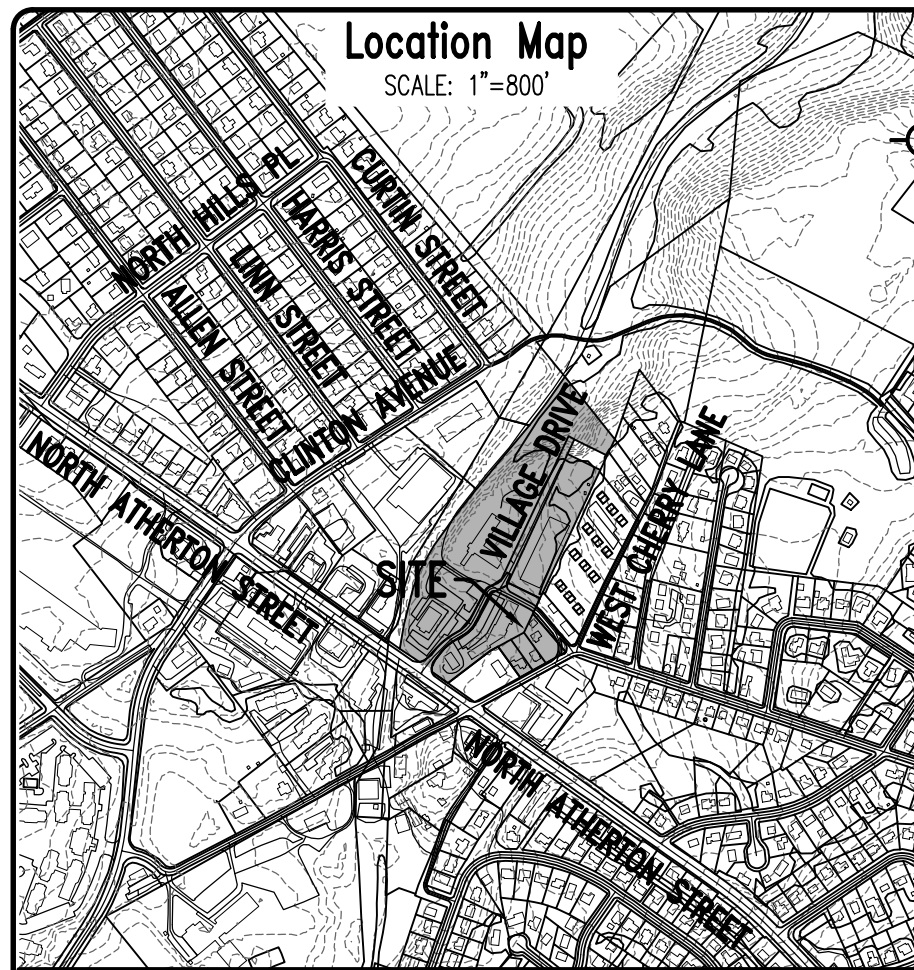
OVERALL LAND
DEVELOPMENT
PLAN

PROJECT NO.
16094.01
DATE
SEPTEMBER 12, 2019
SCALE: 1"=60'
SHEET NO.: **4**



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY

P:\ddp\2016\16094\dwg\p\16094-04-OVERALL LD PLAN.dwg 12/4/2019 11:47:38 AM 1:1



Owners Certification Tax Parcel 24-015-038 and Tax Parcel 24-015-60

Commonwealth of Pennsylvania
County of Centre

On this the _____ day of _____, 20____, personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

witness my hand and seal, this date _____

Notary Public Commission Expires _____

Storm Water Facilities Acknowledgement

I/We, _____ the landowner(s), my/our heirs and assigns, acknowledge the Stormwater Management System to be a permanent facility which can be altered or removed only after approval of a revised plan by the Ferguson Township Board of Supervisors. The stormwater management system is to be maintained in accordance with the approved ownership and maintenance program.

Township Engineer Certification

I, _____, have reviewed and hereby certify that the plan meets all engineering design standards and criteria of the Ferguson Township Code of Ordinances.

Municipal Storm Water Certification

I, _____, 20____, have reviewed the Stormwater Management Plan in accordance with the design standards and criteria of the Ferguson Township Stormwater Management Ordinance.

Township Planning Commission

Ferguson Township Planning Commission Approved

Chairman _____ Date _____

Secretary _____ Date _____

Township Supervisors

Ferguson Township Supervisors Approved

Chairman _____ Date _____

Secretary _____ Date _____

Fire Chief Certification

I have reviewed and hereby certify that the location of Fire Lines and Fire Hydrants shown on this plan are adequate.

Fire Chief _____ Date _____

Professional Land Surveyor Certification

I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

Signature _____ Date _____

Recorder of Deeds

PROJECT NOTES:

- General Site Information:
 - Owner of Record: HFL Corporation, 1155 Banner Pike Suite 100, State College, PA 16801, Tax Parcel 24-015-038, R.B. 1403/PG. 1074, (C) General Commercial, Office: 118 West Cherry Lane, Apartments: 114 West Cherry Lane, 13.264 Acres / 577,808 S.F., Residential-Single Family Dwellings (Existing), Business and Professional Offices & Two Family Attached Dwellings (Proposed).
 - *Allowable Number of Apartment Units = 1/3000 SF
 - *Building will have no more than 67% residential floor area.
 - Total Residential Floor Area = 19,714 S.F.
 - Total Office Floor Area = 9,954 S.F.
 - Total Basement Floor Area = 10,008 S.F.
 - Total Building Floor Area = 39,676 S.F.
 - Total Residential Floor Area is 49.7% of the total Building Area.
 - Building Setbacks: 50' (Front) 15' (Side) 50' (Rear)
 - Building Height: 45' Max. (Allowable) / 45' (Proposed)
 - Impervious Areas:
 - Existing: 57,491 S.F. (9.95%) (Building), 217,854 S.F. (37.70%) (Parking/Driveways/Walks), 275,345 S.F. (47.65%) (Total)
 - Proposed: 63,604 S.F. (11.00%) (Building), 229,617 S.F. (39.73%) (Parking/Driveways/Walks), 293,221 S.F. (50.75%) (Total), 80% (Total) 30% (Building)
 - Parking Calculations:
 - A variance was granted by Ferguson Township Zoning Hearing Board on July 17, 2018, which reduced the required parking for the basement area.
 - Required (For Proposed):
 - Total Required - 1 space per 250 GFA (Proposed Business, Professional and Financial Offices)
 - Total Required - 1.5 spaces per dwelling unit (Proposed Two Family Attached Dwellings)
 - Total Required - 1 per bedroom for every bedroom use (Proposed Overlook Parking)
 - Required (For Existing):
 - Total Required - 1 space per 350 GFA (Existing "Step By Step" Daycare)
 - Total Required - 1.2 spaces per room (Existing "Sleep Inn" Hotel)
 - Total Required - 1.2 spaces per room (Existing "Comfort Suites" Hotel)
 - Total Required - 1 space per 250 GFA (Existing "Valvoline Instant Oil Changes" Office)
 - Total Required - 6 spaces per bay (Existing "Valvoline Instant Oil Changes" Garage Bays)
 - Total Required - 1.2 spaces per 50 GFA (Existing "TGI FRIDAYS" Restaurant)
 - Total Required - 1.2 spaces per 100 GFA (Existing "TGI FRIDAYS" Take Out)
 - Total Required - 2 spaces per dwelling unit (Former Tax parcel 24-015-047)
 - Business, Professional and Financial Offices: 9,954 S.F. at 1/250 S.F. = 40 spaces
 - Two Family Attached Dwelling: 18 Dwelling Units at 1.5/Unit = 27 spaces
 - Overflow Parking: Additional bedrooms per unit over 1 Bedroom at 1 space/bedroom = 18 spaces (A total of 18 bedrooms are proposed over the the 1 bedroom per unit.)
 - Basement: 3,500 S.F. at 1/250 S.F. = 14 spaces (See Note 3.a and Plan Sheet A1)
 - Daycare: 12,435 S.F. at 1/350 S.F. = 36 spaces
 - Sleep Inn: 102 rooms at 1.2/room = 122 spaces
 - Comfort Suites: 77 rooms at 1.2/room = 92 spaces
 - Valvoline Instant Oil Change Office: 432 S.F. at 1/250 S.F. = 2 spaces
 - Valvoline Instant Oil Change Garage Bays: 3 service bays at 6/bay = 18 spaces
 - TGI Fridays Restaurant: 3,591 S.F. at 1/50 S.F. = 72 spaces
 - TGI Fridays Take Out: 204 S.F. at 1/100 S.F. = 2 spaces
 - Former Tax parcel 24-015-047: 2 spaces per dwelling unit = 2 spaces

TOTAL REQUIRED PARKING SPACES = 445 SPACES
 - Provided: Proposed 445 spaces total
- ACT 287 Utility Information: (Serial No. 20170591943)

All utility locations shall be verified prior to any construction, utility information and locations shall be considered approximate. Contractor shall notify PA One Call prior to any excavation.

 - Sanitary Sewer: University Area Joint Authority, 1576 Spring Valley Road, State College, PA 16801 - Phone: 814-238-5361
 - Public Water: State College Borough Water Authority, 1201 West Branch Road, State College, PA 16801 - Phone: 814-238-6766
 - Natural Gas: Columbia Gas of Pennsylvania, 2550 Carolean Industrial Drive, State College, PA 16801 - Phone: 814-238-6775
 - Electric: West Penn Power Company, 2800 E. College Ave., State College, PA 16801 - Phone: 814-237-5721
 - Telephone: Verizon, 224 South Allen Street, State College, PA 16801 - Phone: 814-231-6511
 - Cable Television: Comcast, 60 Decibel Road, State College, PA 16801 - Phone: 800-992-3515
 - Stormwater: Ferguson Township, 3147 Research Drive, State College, PA 16801 - Phone: 814-238-4651, PA DOT, 70 PennDot Drive, Clearfield, PA 16830 - Phone: 814-765-0400
- For additional information, refer to:
 - "College Village Center Minor Alteration Plan", dated February 1, 2017, prepared by PennTerra Engineering, Inc., and on record at the Ferguson Township Municipal Building.
 - "Lot Consolidation of Tax Parcel 24-015-058, Tax Parcel 24-015-057 & Tax Parcel 24-015-038 Plan", dated September 12, 2019, prepared by PennTerra Engineering, Inc.
- Refer to Architectural Plans for building dimensions, utility relocations, extensions and connections.
- The project benchmark is the top of casting (TC=1117.96) of the existing sanitary manhole, located at the intersection of West Cherry Lane and North Allen Street.
- Contours shown were generated from a field survey, on August 8th, 2016, by PennTerra Engineering, Inc. based on USGS datum.
- There are no wetlands within the area of work, according to the National Wetland Inventory Mapping (NW) from Julian, PA documented in 1988.
- There is no floodplain within the area of work, according to the Federal Emergency Management Agency (FEMA) map for Ferguson Township, Centre County - Map No. 4202700617F, Community No. 420260, 0617F, dated May 4, 2009.
- Based on field survey by PennTerra Engineering Inc, there are no visible sinkholes or areas of closed depressions within the area of work.
- Soil limits and descriptions have been taken from the Web Soil Survey.
- From USGS contour mapping and field survey, significant areas of steep slopes (greater than 25% slope) are not present in work area.

Storm Water Certification

I, _____, hereby certify that the Stormwater Management Plan meets all design standards and criteria of the Ferguson Township Stormwater Management Ordinance.

Design Engineer Certification

I, _____, hereby certify that this land development meets all design requirements of the Subdivision and Land Development Ordinance, Zoning Ordinance and all other applicable Chapters of Ferguson Township Code.

PLAN PURPOSE:

The purpose of this plan set is to obtain regulatory approval to construct a 9,954 SF (GFA) Office (first floor) and Apartments (second and third floor) with related parking, utilities, and amenities on Tax Parcel 24-015-038, along West Cherry Lane.

- This Record Plan conforms with the Plan receiving final approval by the Ferguson Township Board of Supervisors on _____, 20____. All improvements are or will be installed in accordance with such Plan in a manner and time so specified therein.
- As-Built drawings/documentation (including verification of infiltration testing) of the stormwater management facilities must be prepared in accordance with Chapter 26 (826-402.D.4.) and submitted to Ferguson Township at the completion of construction as a prerequisite of issuance of Occupancy Permit or release of the Surety Bond. A narrative and photographic documentation for critical stages of construction and for the infiltration surface prior to placement of filter fabric/amended soils must also be submitted to Ferguson Township.
- Ferguson Township personnel shall have the uninterrupted right to access the property to inspect and maintain the stormwater facilities in the event that the owner does not comply with the Ferguson Township requirements.
- All parking lots and buffer yards shall be kept free of litter and trash.
- All maintenance, repair and replacement of landscaping materials and screening fences are the responsibility of the property owner.

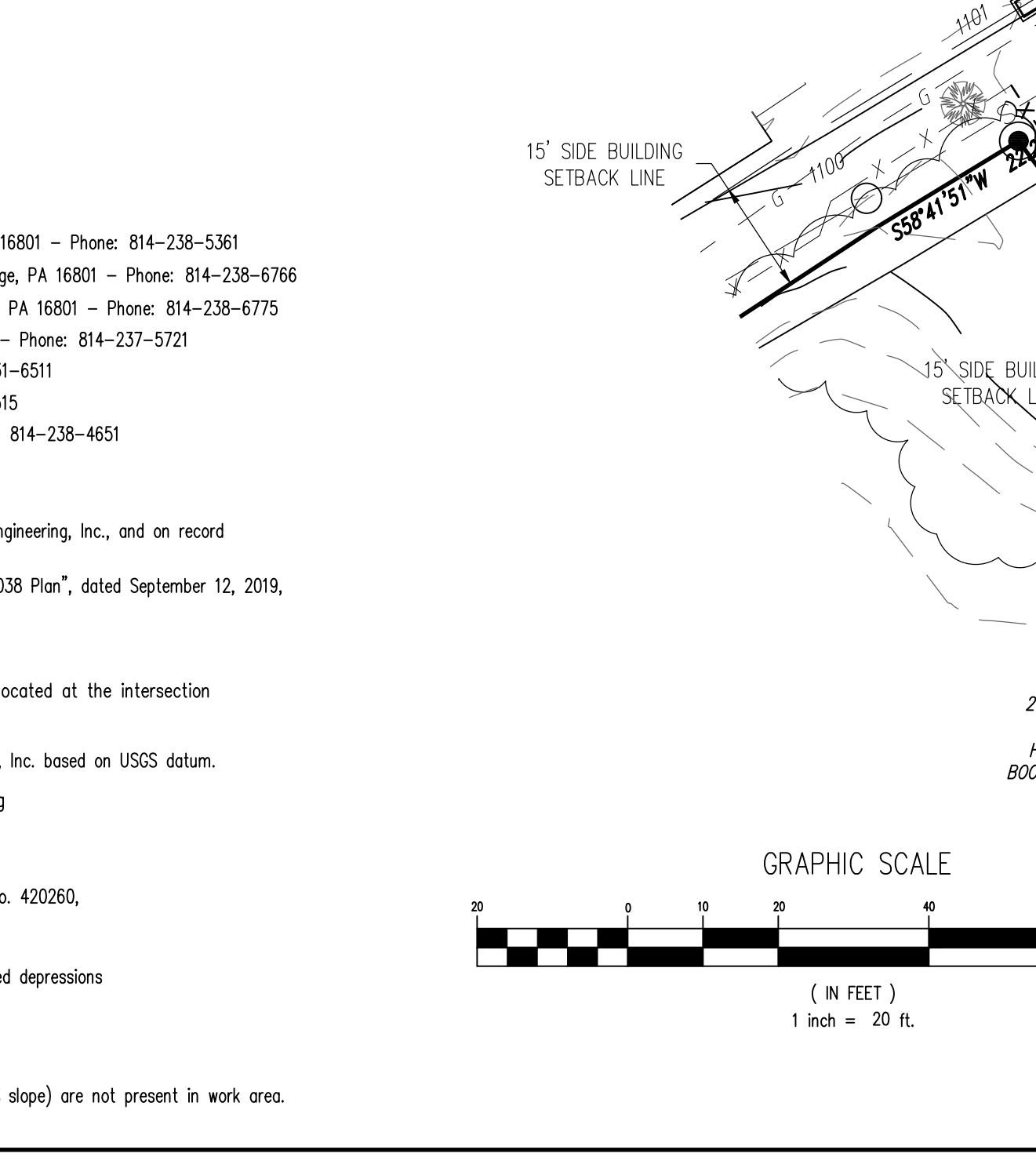
The following criteria associated with such maintenance includes:

 - Any plant material that is 25% or more dead must be replaced.
 - Replacements must be made during the first spring or fall planting season following the death of the plant(s).
 - Replacements shall be of the same size and type of plant as indicated on the approved plan.
- Any drilling or blasting required for the construction of the site is to be thoroughly coordinated with Ferguson Township and the SCBWA to determine if any impacts to existing rock or the formation of sinkholes may occur as a direct result of the blasting activities. The following performance and monitoring protocols shall be followed:
 - All blasting shall be monitored in the field by a Professional Geologist or Professional Engineer currently licensed to practice in the Commonwealth of Pennsylvania.
 - Before any blasting is performed, the Professional Geologist or Professional Engineer shall submit a report containing specific recommendations for blasting. The report shall review amount of charge, firing times, ground velocities, accelerations and displacements, effects on groundwater aquifer system and field monitoring program. Should the report conclude that damage to the aquifer system will result from the blasting operation, the Contractor will not be permitted to drill or blast.
 - All blasting shall be field monitored using seismographic type equipment and shall be performed under the supervision of a Professional Geologist or Professional Engineer.
 - Accurate records shall be maintained of each blast. The record shall show the general location of the blast, the depth and number of drill holes, the kind and quantity of explosives used, ground velocity and displacements, and other data required for a complete record. A complete record of drilling and blasting operations shall be provided to Ferguson Township and SCBWA for review.
 - All operations involving explosives shall be conducted by experienced personnel possessing valid Pennsylvania Blaster's Licenses. Blasting operations shall be done only with such quantities and charges of explosives and in a manner that will break the rock at the intended lines and grades and will leave remaining rock in an un-shattered condition. Remedial measures, as reviewed and approved by SCBWA, shall be provided if excessive subsurface fracturing results.
 - The Developer will reimburse associated costs and expenses for all construction phase services to SCBWA & Ferguson Township.
 - Upon agreement by and between the Developer, Ferguson Township and SCBWA, the procedures and standards as listed above may be modified or revised as deemed appropriate by SCBWA.
- A zoning permit application was submitted to Ferguson Township, dated September 12, 2019.
- "Loading Area" to be used before or after office hours only.
- Fee in lieu of parkland is required for all proposed mixed use dwelling units and shall be assessed as a condition of plan approval. No more than 18 dwelling units may be constructed on the land, which is the subject of this subdivision/land development plan unless additional land is dedicated to the Township of Ferguson for parkland and open spaces and/or the Board of Supervisors accept additional fee-in-lieu of dedication of parkland and open spaces: said decision to be at the discretion of the Board of Supervisors.
- A Stormwater Management Site Plan/PCSM Plan and Soil Erosion & Sedimentation Control Plan have been prepared for West Cherry Lane Multi-Use Building, dated September 12, 2019 and last revised November 1, 2019.
- A preconstruction meeting between the township engineer, owner and owner's contractor is required prior to construction.
- Approval of this plan including permission from the owner of Tax Parcel 24-15-60 to grade on the lot. The owner of Tax Parcel 24-15-60 has signed the Owner's Certificate acknowledge the work.

STORMWATER MANAGEMENT FACILITIES OWNERSHIP AND MAINTENANCE PROGRAM:

STORMWATER BMP MAINTENANCE ITEM	MAINTENANCE DUTY	OCCURRENCE INTERVAL
STORM SEWER INLETS AND PIPES	INSPECT ALL STORM SEWER INLETS AND PIPES. THE INLETS SHALL BE CLEANED OF ALL DEBRIS, LITTER, AND OTHER DELETERIOUS MATERIAL. FLEX STORM INLET FILTERS SHALL BE INSTALLED ON INLETS 1, 2 AND 5. SEE MAINTENANCE SCHEDULE BELOW FOR FLEX STORM FILTERS.	MONTHLY OR AFTER EACH RAINFALL EVENT PRODUCING 1" OR MORE OF RAINFALL
48" UNDERGROUND DETENTION BASIN	THE BASIN SHALL BE INSPECTED AND CLEANED OF ALL DEBRIS, LITTER, AND OTHER DELETERIOUS MATERIAL.	ANNUALLY OR AFTER EACH RAINFALL EVENT PRODUCING 1" OR MORE OF RAINFALL
BASIN OUTLET STRUCTURES	THE OUTLET STRUCTURES SHALL BE INSPECTED TO ENSURE STRUCTURAL STABILITY. ALL JOINTS WITH OUTLET PIPES SHALL BE WATER-TIGHT AND IF NECESSARY BE RE-GROUTED.	ANNUALLY
SINKHOLE PREVENTION MEASURES	INSPECT THE UNDERGROUND SUMP AND BASIN AREA FOR ANY SUBSIDIENCES. IN THE EVENT THAT A SINKHOLE FORMS, CONTACT THE TOWNSHIP ENGINEER, ANY ADJACENT PROPERTY OWNER THAT MAY BE AFFECTED AND THE STATE COLLEGE BOROUGHS WATER AUTHORITY IMMEDIATELY.	ANNUALLY OR AFTER EACH RAINFALL EVENT PRODUCING 1" OR MORE OF RAINFALL
INFILTRATION SWAMP	THE SWAMP DISTRIBUTION LINE SHALL BE INSPECTED VIA INLETS 1 AND 2 AND VACUUMED AT LEAST TWICE A YEAR IN THE SPRING AND FALL. THE SWAMP SHALL BE INSPECTED THROUGH THE OBSERVATION PORTS TO ENSURE DEWATERING. THE GATE VALVE IN 1-3 SHALL BE EXERCISED ANNUALLY TO ENSURE PROPER FUNCTION, ENSURE THE VALVE IS CLOSED FOR PROPER STORMWATER CAPTURE IN THE SWAMP.	ANNUALLY OR AFTER EACH RAINFALL EVENT PRODUCING 1" OR MORE OF RAINFALL OR AS NOTED IN THE MAINTENANCE DUTY.
EXISTING SITE STORMWATER MANAGEMENT FACILITIES	A. INSPECT INLETS 1, 2 AND 5 TO VERIFY PLACEMENT OF FILTER. B. EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS. B. REMOVE THE GRATE, ENGAGE THE LIFTING BARS OR HANDLES WITH THE FLEXSTORM REMOVAL TOOL, AND LIFT FROM THE DRAINAGE STRUCTURE. C. REMOVE THE GRATE, ENGAGE THE LIFTING BARS OR HANDLES WITH THE FLEXSTORM REMOVAL TOOL, AND LIFT FROM THE DRAINAGE STRUCTURE. D. DISPOSE OF THE SEDIMENT OR DEBRIS IN ACCORDANCE WITH EPA GUIDELINES. E. AS AN ALTERNATIVE, AN INDUSTRIAL VACUUM MAY BE USED TO COLLECT THE ACCUMULATED SEDIMENT. F. REMOVE ANY CAULK ON SET FROM THE SEDIMENT BAG AND REVERSE FLUSH THE BAG WITH MEDIUM SPRAY FOR OPTIMAL FILTRATION. G. REPLACE THE BAG IF TORN OR ACCLUED TO 1" DIAMETER OR GREATER ON THE COVER HALF OF THE BAG. H. POST CONSTRUCTION PC BAGS MAINT AT 50% SATURATION, THE AVERAGE 2' X 2' A05BIB H LINED PC FILTER WILL RETAIN APPROXIMATELY 75 OZ (4.2 LBS) OF OIL AND SHOULD BE SERVICED. IT CAN BE CENTRIFUGED OR PASSED THROUGH A WRINGER TO RECOVER THE OIL, AND THE FABRIC REUSED WITH 85% TO 90% EFFICACY. IT MAY ALSO BE RECYCLED FOR ITS FUEL VALUE THROUGH WASTE TO ENERGY INCINERATION.	B. ANNUALLY OR AFTER EACH RAINFALL EVENT PRODUCING 1" OR MORE OF RAINFALL
	ALL EXISTING STORMWATER MANAGEMENT FACILITIES CONSTRUCTED PRIOR TO THIS PLAN SHALL BE MAINTAINED IN ACCORDANCE WITH THE STORMWATER FACILITIES MAINTENANCE PROGRAM. INCLUDED WITH THE PRIOR ASSOCIATED APPROVED AND RECORDED PLANS.	AS NOTED IN THE MAINTENANCE DUTY

*DOCUMENTATION OF INSPECTIONS MUST BE MAINTAINED BY THE OWNER AND SUBMITTED TO TOWNSHIP UPON REQUEST. MAINTENANCE INSPECTIONS MAY BE PERFORMED BY THE TOWNSHIP TO ENSURE PROPER FUNCTIONING OF ALL STORMWATER FACILITIES.

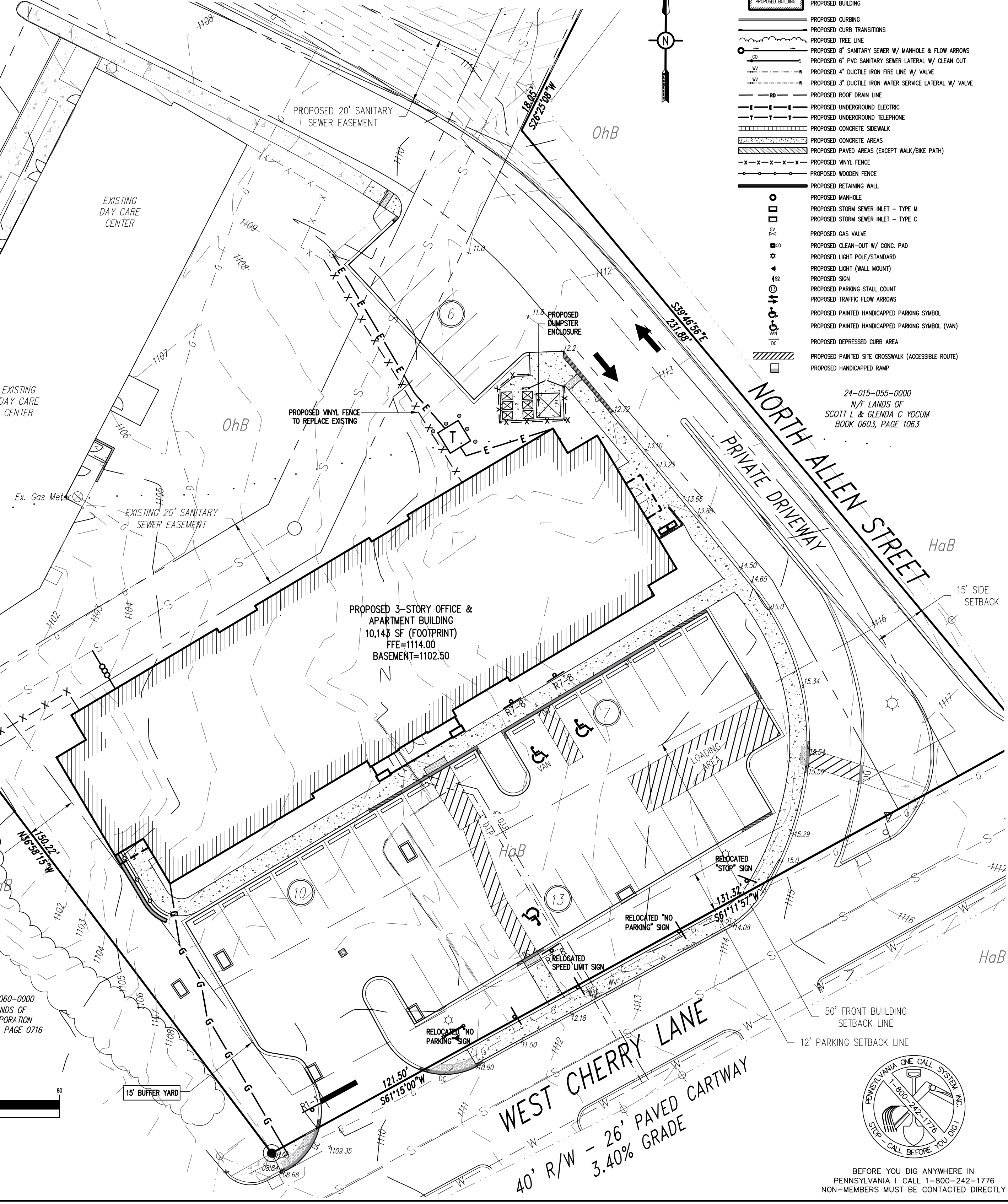


EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing
- Existing Contours (10%)
- Existing Soil Line / Boundary
- Existing Soil Type
- Existing Tree Line
- Existing Overhead Utility Line w/ Pole
- Existing 4" & 6" PVC Sanitary Sewer w/ Manhole
- Existing 4" & 6" D.I.P. Water Line w/ Valve
- Existing 2" & 4" Plastic & D.I.P. Gas Line
- Existing Underground Electric
- Existing 4" PVC & 12" PVC
- Existing 12" 12" 18" Cast Storm Sewer w/ Inlet
- Existing Concrete Areas
- Existing Gravel Areas
- Existing Retaining Wall
- Existing Vinyl/Wooden Fence
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Light Pole/Standard
- Existing Light Pole (Single Fixture)
- Existing Sign
- Existing Tree
- Existing Deciduous Tree
- Existing Shrub
- 25% Slopes or Greater
- Flood Plain

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING
- PROPOSED CURB TRANSITIONS
- PROPOSED TREE LINE
- PROPOSED 6" SANITARY SEWER W/ MANHOLE & FLOW ARROWS
- PROPOSED 4" PVC SANITARY SEWER LATERAL W/ CLEAN OUT
- PROPOSED 4" DUCTILE IRON FIRE LINE W/ VALVE
- PROPOSED 2" DUCTILE IRON WATER SERVICE LATERAL W/ VALVE
- PROPOSED ROOF DRAIN LINE
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND TELEPHONE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED PAVED AREAS (EXCEPT WALK/BIKE PATH)
- PROPOSED VINYL FENCE
- PROPOSED WOODEN FENCE
- PROPOSED STAINING WALL
- PROPOSED MANHOLE
- PROPOSED STORM SEWER INLET - TYPE M
- PROPOSED STORM SEWER INLET - TYPE C
- PROPOSED GAS VALVE
- PROPOSED CLEAN-OUT W/ CONC. PAD
- PROPOSED LIGHT POLE/STANDARD
- PROPOSED LIGHT (WALL MOUNT)
- PROPOSED SIGN
- PROPOSED PARKING STALL COUNT
- PROPOSED TRAFFIC FLOW ARROWS
- PROPOSED PAVED HANDICAPPED PARKING SYMBOL
- PROPOSED PAVED HANDICAPPED PARKING SYMBOL (VAN)
- PROPOSED DEPRESSED CURB AREA
- PROPOSED PAVED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED HANDICAPPED RAMP



PennTerra ENGINEERING INC.

CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
FX: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
FX: 717-522-5046

WWW.PENNTERRA.COM

COPYRIGHT 2019 BY THE ENGINEER
THE INFORMATION CONTAINED HEREIN MAY NOT BE USED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER EXCEPT AS OTHERWISE PROVIDED BY APPROPRIATE LAWS OR STATUTES.

6 PENNTERRA ENGINEERING 2019 ALL RIGHTS RESERVED

Professional Engineer Seal for John C. Sepp, License No. 040003-E.

Professional Engineer Seal for Nevin L. Grove, License No. S0881774.

Designer: RRK

Draftsman: JDB

Proj Manager: JCS

Surveyor: _____

Perimeter Ck: _____

Book: _____ Pg: _____

Drive: _____ Layout: 16094-05-RP

Acad: RECORD PLAN-24X36"

No.	Description	REVISIONS
12-3-19	REVISED FOR TWP COMMENTS	
11-1-19	REVISED FOR TWP COMMENTS	
10-1-19	REVISED FOR TWP COMMENTS	
9-1-19	REVISED FOR TWP COMMENTS	

WEST CHERRY LANE MULTI USE BUILDING

FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

RECORD PLAN

PROJECT NO. 16094.01

DATE: SEPTEMBER 12, 2019

SCALE: 1"=20'

SHEET NO. 5

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY

CONSTRUCTION NOTES:

- FIELD SURVEY DATA PREPARED BY PENNTERRA ENGINEERING, INC. CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION AND CONTACT THE SITE OWNER OR OWNER'S REPRESENTATIVE IN THE EVENT OF A DISCREPANCY.
- CONTOURS (ON APPLICABLE SHEETS) SHOWN WERE GENERATED FROM A FIELD SURVEY BY PENNTERRA ENGINEERING, INC. BASED ON USGS DATUM (NAD83/NAD83). THE PROJECT BENCHMARK IS THE TOP OF CASTING (TC-1117.96) OF THE EXISTING SANITARY MANHOLE, LOCATED AT THE INTERSECTION OF WEST CHERRY LANE AND NORTH ALLEN STREET.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF MANHOLES, INLETS VALVES, ETC. CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AS DEEMED NECESSARY WITHIN THE LIMITS OF CONSTRUCTION TO DETERMINE THE EXACT LOCATION AND DEPTH AS REQUIRED. ALL EXISTING UTILITIES SHALL BE RETAINED UNLESS MARKED OTHERWISE, AND APPURTENANCES SHALL BE ADJUSTED TO FINAL GRADE. DAMAGE TO EXISTING CONDITIONS AND UTILITIES TO REMAIN SHALL BE REPAIRED AS REQUIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- ALL AREAS DISTURBED DURING CONSTRUCTION, NOT DESIGNATED TO RECEIVE PAVING OR MULCH SHALL BE FINE GRADED, TOPSOILED, & SEEDDED PER THE SPECIFICATIONS UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
- THE CONTRACTOR SHALL REPAIR OR REPLACE ALL PAVEMENT, UTILITIES, ETC., WITHIN THE SITE DAMAGED DURING CONSTRUCTION THAT ARE NOT INDICATED TO BE REMOVED. ALL REPAIRS OR REPLACEMENTS ARE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY COMPANIES ON LOCATION/REMOVAL AND/OR REPLACEMENT OF ELECTRICAL, PHONE, GAS, SANITARY, WATER AND CABLE SERVICES.
- THE CONTRACTOR SHALL VERIFY ELEVATIONS OF EXISTING PAVING AT NEW PAVING CONNECTION LOCATIONS PRIOR TO THE PAVING SUBBASE INSTALLATION AND REPORT ANY DISCREPANCIES THAT WILL AFFECT THE DRAINAGE OF THE AREAS TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL NOTIFY OWNER'S TESTING AGENCY PRIOR TO ANY PLACEMENT AND COMPACTION OF FILLS ON THE SITE. FILL AREAS SHALL BE PREPARED AND COMPACTED PER THE PROJECT SPECIFICATIONS AND CERTIFIED BY THE OWNER'S TESTING AGENCY. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, RETESTING, AND REPLACEMENT OF FILLS NOT MEETING THE SPECIFICATIONS. CONTRACTORS IS ALSO RESPONSIBLE FOR ALL EXPENSES ASSOCIATED WITH REPLACEMENT OF FILLS NOT MEETING THE SPECIFICATIONS.
- THE CONTRACTOR SHALL MAINTAIN ONE SET OF CONTRACT DOCUMENTS ON SITE TO BE UTILIZED FOR RECORD DOCUMENTS. FIELD RECORDS OF THE DEPTH AND LOCATIONS OF ALL UNDERGROUND SERVICE UTILITIES (WATER, SANITARY SEWER, STORM DRAINS, PRIMARY AND SECONDARY ELECTRIC, GAS, AND CABLE TELEVISION) SHALL BE ADDED TO THE RECORD SET BY THE CONTRACTOR AS WELL AS ALL FIELD REVISIONS AND ADJUSTMENTS.
- THE CONTRACTOR SHALL CONTACT PA ONE CALL SYSTEM @ 1-800-242-1776 AT LEAST THREE (3) DAYS PRIOR TO CONSTRUCTION ACTIVITIES.
- ALL FILL MATERIAL BROUGHT ON TO THE JOB BY THE CONTRACTOR MUST COMPLY WITH ALL APPLICABLE D.E.P. REGULATIONS REGARDING CLEAN FILL.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS EXIT DOORS, EXIT RAMPS AND PORCHES. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PENNTERRA ENGINEERING, THE CURRENT REGULATIONS OF FERGUSON TOWNSHIP, AND ALL OTHER PERTINENT FEDERAL, STATE & LOCAL LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-554), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.

GEOMETRY PLAN NOTES:

- ALL PERPENDICULAR PARKING STALLS ARE 9 FEET WIDE AND 18 FEET LONG.
- ALL AISLE WAYS BETWEEN PERPENDICULAR PARKING STALLS ARE 24 FEET WIDE.

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- I.P. Found

EXISTING FEATURES LEGEND

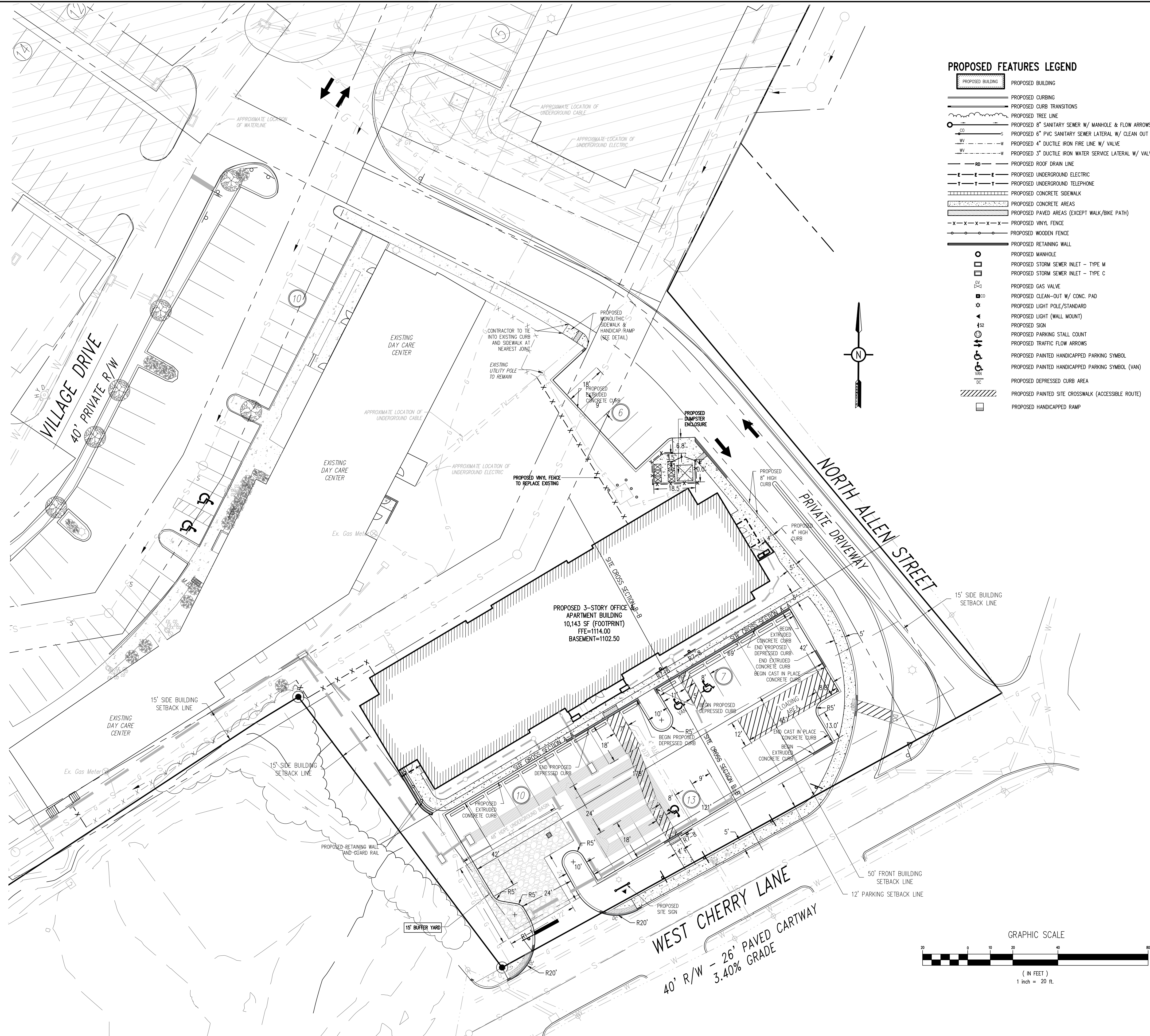
- Existing Building
- Existing Curbing
- Existing Contours (10's)
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Line
- Existing Overhead Utility Line w/ Pole
- Existing 6" & 8" PVC Sanitary Sewer w/ Manhole
- Existing 4", 6" & 8" D.I.P. Water Line w/ Valve
- Existing 2" & 4" Plastic & D.I.P. Gas Line
- Existing Underground Electric
- Existing 6" PVC & 12" PVC, 12", 15", 18" CMP Storm Sewer w/ Inlet
- Existing Concrete Areas
- Existing Gravel Areas
- Existing Retaining Wall
- Existing Vinyl/Wooden Fence
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Light Pole/Standard
- Existing Light Pole (Single Fixture)
- Existing Sign
- Existing Mail Box
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub
- 25% Slopes Or Greater
- Flood Plain

SOILS LEGEND

- Soil cover on the site consists of:
- Hd - Hagerstown Sil Loam, 3%-8% Slopes
 - No - Noto Sil Loam, Local Alluvium, 0%-5% Slopes
 - Ohb - Opequon-Hagerstown Complex, 3%-8% Slopes
 - Onc - Opequon-Hagerstown Complex, 8%-15% Slopes
 - Od - Opequon-Rock Outcrop Complex, 8%-25% Slopes
 - Urb - Urban Land-Hagerstown Complex, Gently Sloping

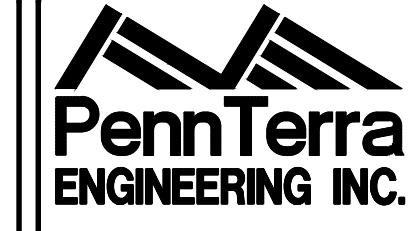


BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA, CALL 1-800-242-1776. NON-MEMBERS MUST BE CONTACTED DIRECTLY.



PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING
- PROPOSED CURB TRANSITIONS
- PROPOSED TREE LINE
- PROPOSED 6" SANITARY SEWER W/ MANHOLE & FLOW ARROWS
- PROPOSED 6" PVC SANITARY SEWER LATERAL W/ CLEAN OUT
- PROPOSED 4" DUCTILE IRON FIRE LINE W/ VALVE
- PROPOSED 3" DUCTILE IRON WATER SERVICE LATERAL W/ VALVE
- PROPOSED ROOF DRAIN LINE
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND TELEPHONE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED PAVED AREAS (EXCEPT WALK/BIKE PATH)
- PROPOSED VINYL FENCE
- PROPOSED WOODEN FENCE
- PROPOSED RETAINING WALL
- PROPOSED MANHOLE
- PROPOSED STORM SEWER INLET - TYPE M
- PROPOSED STORM SEWER INLET - TYPE C
- PROPOSED GAS VALVE
- PROPOSED CLEAN-OUT W/ CONC. PAD
- PROPOSED LIGHT POLE/STANDARD
- PROPOSED LIGHT POLE (WALL MOUNT)
- PROPOSED SIGN
- PROPOSED PARKING STALL COUNT
- PROPOSED TRAFFIC FLOW ARROWS
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL (VAN)
- PROPOSED DEPRESSED CURB AREA
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED HANDICAPPED RAMP

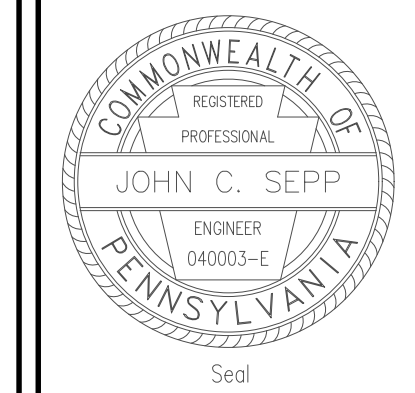


PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 Fax: 814-237-2308

LANCASTER REGION OFFICE:
 3904 B ABEL DRIVE
 COLUMBIA, PA 17512
 PH: 717-522-5031
 Fax: 717-522-5046

WWW.PENNTERRA.COM

COPYRIGHT 2019 BY THE ENGINEER.
 THE INFORMATION CONTAINED HEREIN MAY NOT BE USED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER EXCEPT AS OTHERWISE PROVIDED BY APPROPRIATE LAWS OR STATUTES.
© PENNTERRA ENGINEERING 2019
 ALL RIGHTS RESERVED



Designer	RRK
Draftsman	JDB
Proj Manager	JCS
Surveyor	
Perimeter Ok	
Book	Pg
Drive	Layout 16094-06-CP
Acad	GEOMETRY PLAN-24"x36"

NO.	DATE	DESCRIPTION
12-3-19	REVISED PER TWP COMMENTS	
11-1-19	REVISED PER TWP COMMENTS	
10-1-19	REVISED PER TWP COMMENTS	
09-1-19	REVISED PER TWP COMMENTS	

WEST CHERRY LANE MULTI USE BUILDING
 FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

GEOMETRY PLAN

PROJECT NO.	16094.01
DATE	SEPTEMBER 12, 2019
SCALE	1"=20'
SHEET NO.	6

P:\dtp\2019\16094\dwg\p\l\final\plans\FINAL PLANS - REVISED\16094-06-CP.dwg, 12/4/2019 11:48:33 AM, 1:1

GRADING NOTES:

- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PENNTERRA, THE CURRENT REQUIREMENTS OF THE FERGUSON TOWNSHIP, THE APPLICABLE SECTIONS OF THE PENNDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PA ONE CALL 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE.
- MAXIMUM SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) UNLESS NOTED OTHERWISE.
- AN AS-BUILT DRAWING OF NEW UTILITY SERVICES MUST BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
- ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- THE MAXIMUM SLOPE WITHIN ALL THE HANDICAPPED SPACES SHALL BE 2.00%.
- THE MAXIMUM SLOPE FOR ALL SIDEWALKS SHALL BE 4.90% WITH A MAXIMUM CROSS SLOPE OF 2.00% AND CURB RAMPS SHALL HAVE A MAXIMUM SLOPE OF 8.30%.
- CONTOURS (ON APPLICABLE SHEETS) SHOWN WERE GENERATED FROM A FIELD SURVEY BY PENNTERRA ENGINEERING, INC. BASED ON USGS DATUM (NAD83/NAVD88). THE PROJECT BENCHMARK IS THE TOP OF CASTING (TC=1117.96) OF THE EXISTING SANITARY MANHOLE, LOCATED AT THE INTERSECTION OF WEST CHERRY LANE AND NORTH ALLEN STREET.
- ALL DISTURBED AREAS NOT PROPOSED FOR PAVING OR CONCRETE SHALL HAVE 6" OF TOPSOIL SPREAD UNIFORMLY TO THE PROPOSED FINISHED GRADE UNLESS NOTED OTHERWISE.

GENERAL CONSTRUCTION UTILITY NOTES:

- CONTRACTOR SHALL VERIFY THE LOCATION OF MANHOLES, INLETS, VALVES, ETC. CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AS DEEMED NECESSARY WITHIN THE LIMITS OF CONSTRUCTION TO DETERMINE THE EXACT LOCATION AND DEPTH AS REQUIRED. CONTRACTOR SHALL REPORT ANY DISCREPANCIES FROM THOSE INDICATED ON THE PLAN TO PENNTERRA ENGINEERING, INC. ALL EXISTING UTILITIES SHALL BE RETAINED UNLESS MARKED OTHERWISE ON THE PLAN. EXISTING APPURTENANCES SHALL BE ADJUSTED TO FINAL GRADE. DAMAGE TO EXISTING CONDITIONS AND UTILITIES TO REMAIN SHALL BE REPAIRED AS REQUIRED TO THE OWNERS SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- LOCATION OF EXISTING 6" SANITARY SEWER LATERALS ARE APPROXIMATE.
- ALL EXISTING UTILITIES NOT TO BE REMOVED OR ABANDONED ARE TO REMAIN OPERATIONAL AT ALL TIMES. APPROPRIATE EXISTING UTILITIES SHALL REMAIN IN SERVICE UNTIL THE REPLACEMENT/RELOCATED UTILITIES ARE OPERATIONAL.
- ALL SANITARY SEWER SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH D.E.P. REGULATIONS.
- ALL SANITARY SEWER LINES SHALL HAVE A MINIMUM COVER OF 48".
- ALL PUBLIC WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL STATE COLLEGE BOROUGH WATER AUTHORITY (SCBA) SPECIFICATIONS AND STANDARDS. ALL PRIVATE WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "MATERIALS & INSTALLATION SPECIFICATIONS FOR PRIVATE DISTRIBUTION LINES, SERVICE LINES & FIRE HYDRANTS" BY SCBA.
- ALL WATER LINES SHALL HAVE A MINIMUM COVER OF 48".
- CONTRACTOR SHALL REPAIR OR REPLACE ALL CURBING, UTILITIES, SIDEWALKS, LANDSCAPING, ETC. WITHIN THE SITE DAMAGED DURING CONSTRUCTION THAT ARE NOT INDICATED TO BE REMOVED.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES ON INSTALLATION, RELOCATION OR REPLACEMENT OF ELECTRIC, PHONE, GAS OR CABLE TELEVISION SERVICE AS REQUIRED.
- CONTRACTOR SHALL NOTIFY OWNER'S TESTING AGENCY PRIOR TO ANY PLACEMENT AND COMPACTION OF FILL MATERIALS IN ANY BUILDING PAD AREAS. PADS SHALL BE PREPARED AND COMPACTED PER THE PROJECT SPECIFICATIONS AND CERTIFIED BY THE OWNERS TESTING AGENCY. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ANY FILL MATERIALS NOT MEETING THE SPECIFICATIONS SET FORTH.
- CONTRACTOR SHALL MAINTAIN ON SITE ONE SET OF CONTRACT DOCUMENTS TO BE UTILIZED FOR RECORD DOCUMENTS. FIELD RECORDS OF THE DEPTH AND LOCATIONS OF ALL UNDERGROUND SERVICE UTILITIES (PRIMARY AND SECONDARY ELECTRIC, PHONE, CABLE TELEVISION) SHALL BE ADDED TO THE RECORD SET BY THE CONTRACTOR AS WELL AS ALL FIELD REVISIONS AND ADJUSTMENTS.
- CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM @ 1-800-242-1776 AT LEAST THREE (3) DAYS PRIOR TO CONSTRUCTION.

STORMWATER NOTES:

- REFER TO SHEET 10 FOR STORM SEWER STRUCTURE AND PIPE DATA.
- UPDATE PLAN WITH DOWNSPOUT LOCATIONS WITH FINAL BUILDING DESIGN. CONTRACTOR SHALL CONNECT DOWNSPOUTS TO "RO" - 8" ROOF DRAINS.
- FOR ALL STORMWATER DESIGN COMPUTATIONS REFER TO WEST CHERRY LANE MULTI-USE BUILDING POST CONSTRUCTION STORMWATER REPORT, DATED LAST REVISED: JUNE 25, 2018, BY PENNTERRA ENGINEERING, INC.
- THE OWNER IS RESPONSIBLE FOR CARRYING OUT THE STORMWATER MANAGEMENT FACILITIES OWNERSHIP AND MAINTENANCE PROGRAM.

EROSION AND SEDIMENTATION CONTROL NOTES:

- FOR ALL EROSION AND SEDIMENTATION CONTROL MEASURES REFER TO SHEETS ES1 AND ES2 WITHIN THE PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR WEST CHERRY LANE MULTI-USE BUILDING, DATED LAST REVISED: JUNE 25, 2018, BY PENNTERRA ENGINEERING, INC.

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing
- Existing Contours (10')
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Line
- Existing Overhead Utility Line w/ Pole
- Existing 6" & 8" PVC Sanitary Sewer w/ Manhole
- Existing 4", 6" & 8" D.I.P. Water Line w/ Valve
- Existing 2" & 4" Plastic & D.I.P. Gas Line
- Existing Underground Electric
- Existing 6" PVC & 12" PVC, 12", 15", 18" CMP Storm Sewer w/ Inlet
- Existing Concrete Areas
- Existing Gravel Areas
- Existing Retaining Wall
- Existing Vinyl/Wooden Fence
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Light Pole/Standard
- Existing Light Pole (Single Fixture)
- Existing Sign
- Existing Mail Box
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub
- 25% Slopes Or Greater
- Flood Plain

SURVEY FEATURES LEGEND

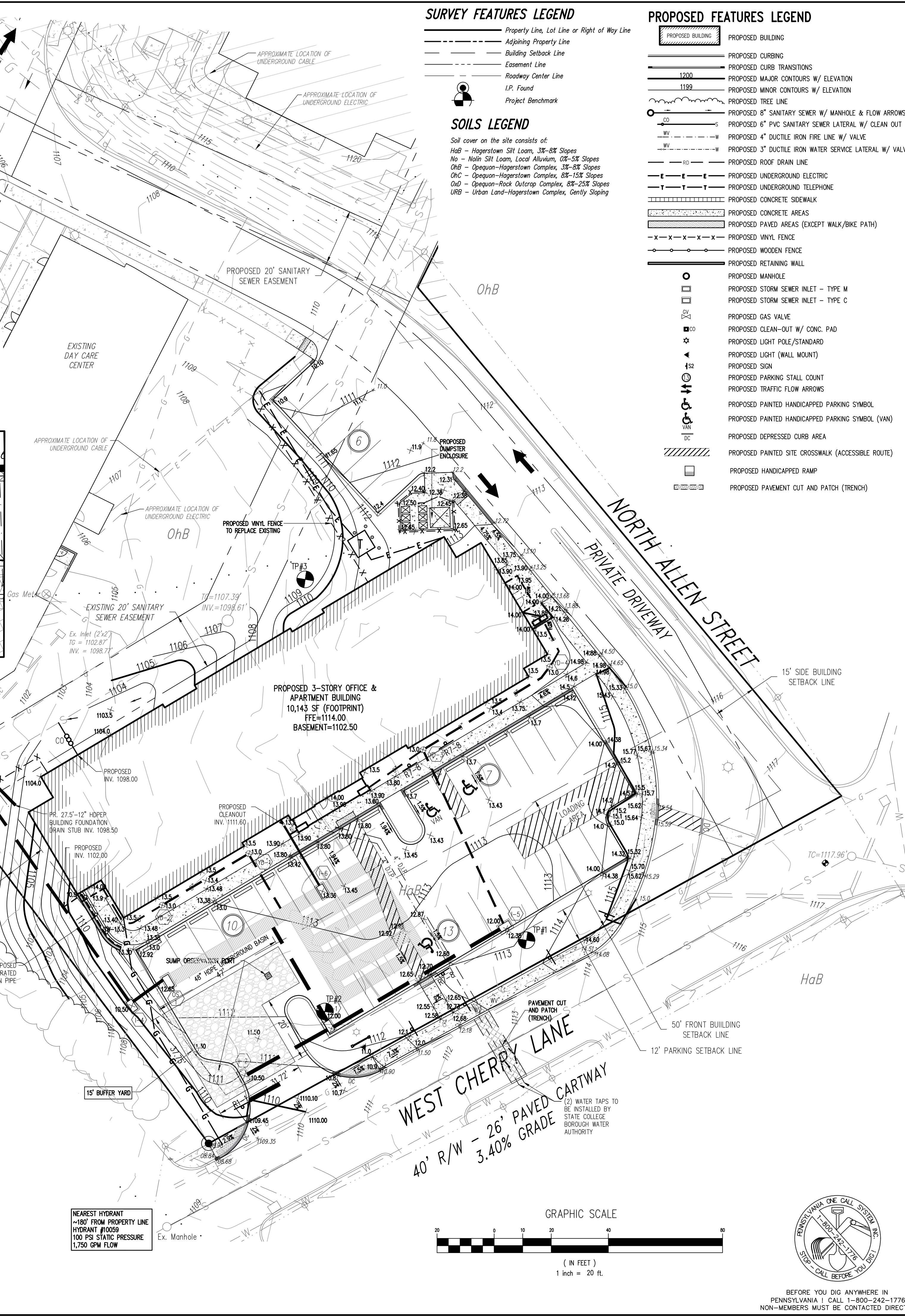
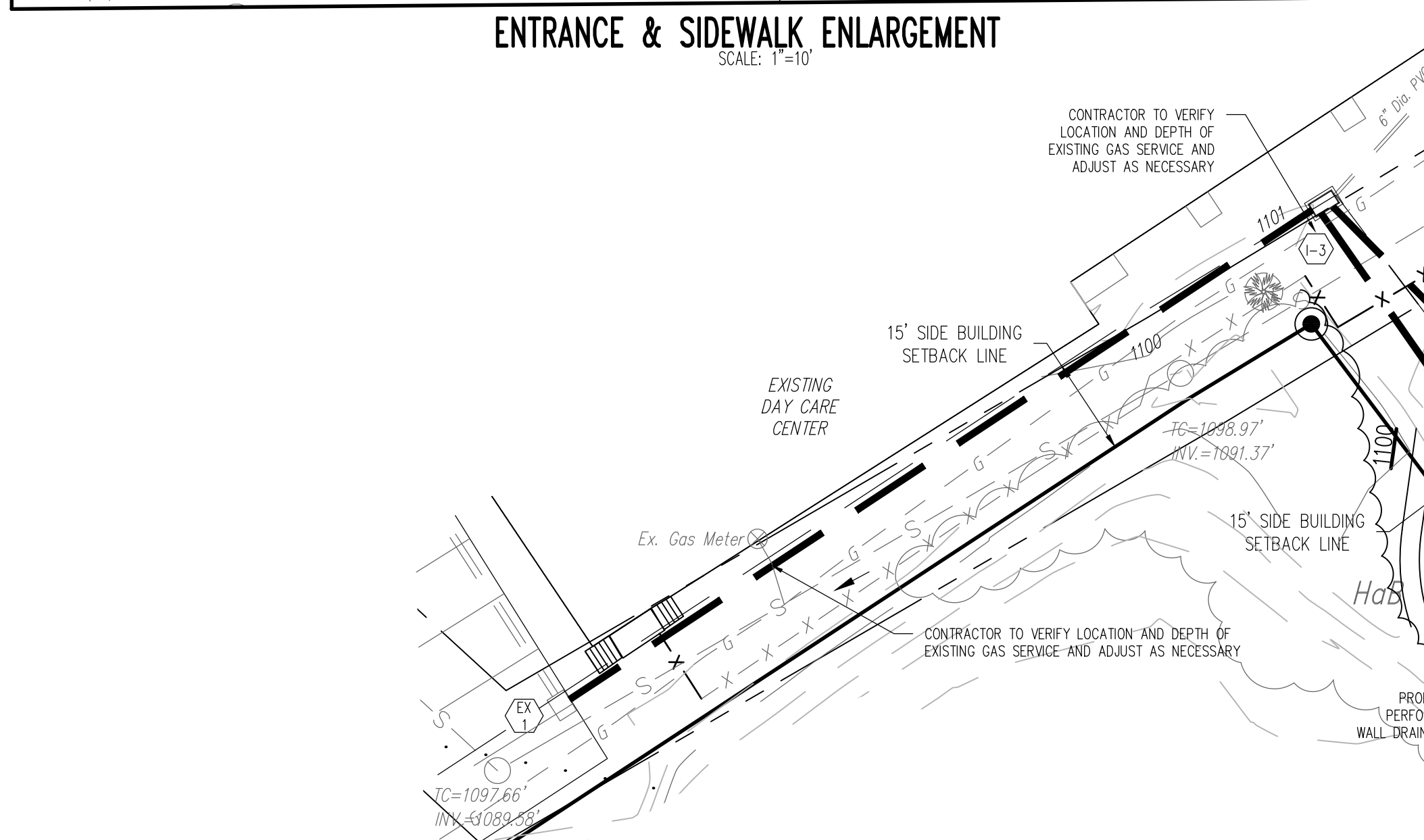
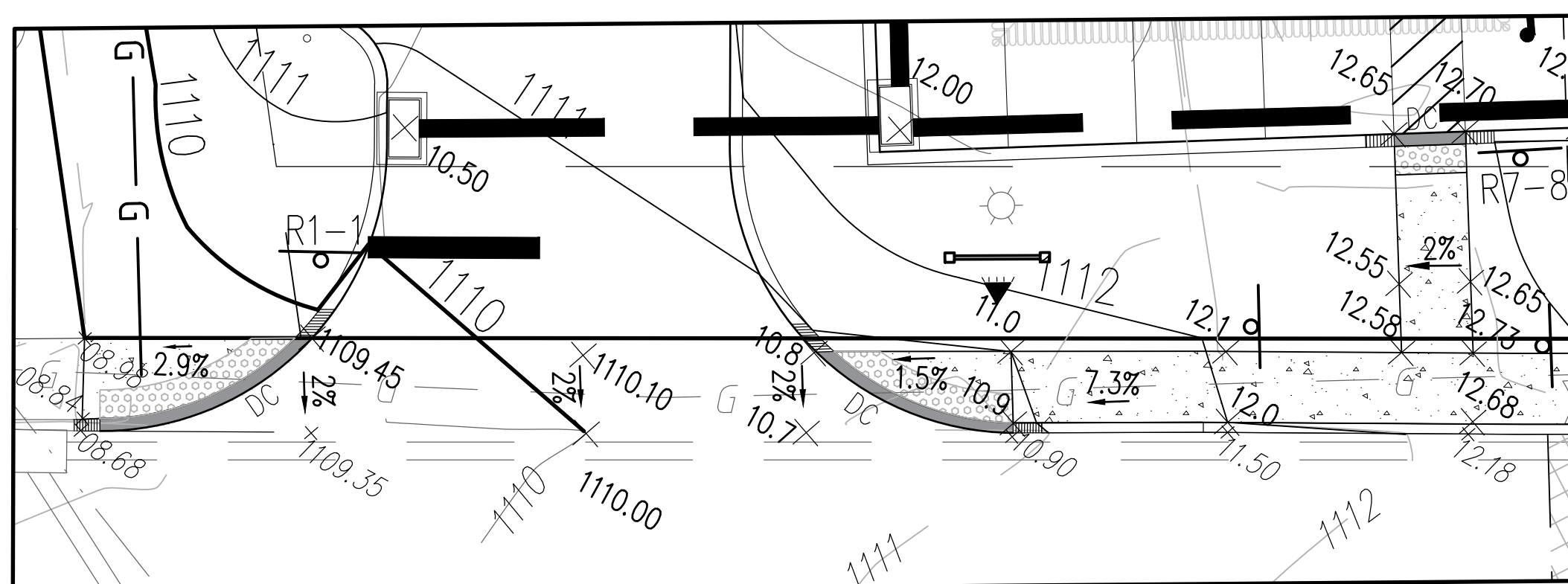
- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- L.P. Found
- Project Benchmark

SOILS LEGEND

- Soil cover on the site consists of:
- HaB - Hagerstown Silt Loam, 3%-8% Slopes
- No - Nolin Silt Loam, Local Alluvium, 0%-5% Slopes
- OhB - Opequon-Hagerstown Complex, 3%-8% Slopes
- OnC - Opequon-Hagerstown Complex, 8%-15% Slopes
- OnD - Opequon-Rock Outcrop Complex, 8%-25% Slopes
- URB - Urban Land-Hagerstown Complex, Gently Sloping

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING
- PROPOSED CURB TRANSITIONS
- PROPOSED MAJOR CONTOURS W/ ELEVATION
- PROPOSED MINOR CONTOURS W/ ELEVATION
- PROPOSED TREE LINE
- PROPOSED 8" SANITARY SEWER W/ MANHOLE & FLOW ARROWS
- PROPOSED 6" PVC SANITARY SEWER LATERAL W/ CLEAN OUT
- PROPOSED 4" DUCTILE IRON FIRE LINE W/ VALVE
- PROPOSED 3" DUCTILE IRON WATER SERVICE LATERAL W/ VALVE
- PROPOSED ROOF DRAIN LINE
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND TELEPHONE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED PAVED AREAS (EXCEPT WALK/BIKE PATH)
- PROPOSED VINYL FENCE
- PROPOSED WOODEN FENCE
- PROPOSED RETAINING WALL
- PROPOSED MANHOLE
- PROPOSED STORM SEWER INLET - TYPE M
- PROPOSED STORM SEWER INLET - TYPE C
- PROPOSED GAS VALVE
- PROPOSED CLEAN-OUT W/ CONC. PAD
- PROPOSED LIGHT POLE/STANDARD
- PROPOSED LIGHT (WALL MOUNT)
- PROPOSED SIGN
- PROPOSED PARKING STALL COUNT
- PROPOSED TRAFFIC FLOW ARROWS
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL (VAN)
- PROPOSED DEPRESSED CURB AREA
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED HANDICAPPED RAMP
- PROPOSED PAVEMENT CUT AND PATCH (TRENCH)



PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 FAX: 814-237-2308

LANCASTER REGION OFFICE:
 3904 B ABEL DRIVE
 COLUMBIA, PA 17512
 PH: 717-522-5031
 FAX: 717-522-5046

WWW.PENNTERRA.COM

COPYRIGHT 2019 BY THE ENGINEER
 THE INFORMATION CONTAINED HEREIN MAY NOT BE USED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER EXCEPT AS OTHERWISE PROVIDED BY APPROPRIATE LAWS OR STATUTES.

PENNTERRA ENGINEERING 2019 ALL RIGHTS RESERVED

COMMONWEALTH OF PENNSYLVANIA
 REGISTERED PROFESSIONAL ENGINEER
 JOHN C. SEPP
 ENGINEER
 04003-E
 Seal

Designer: RRR
 Draftsman: JDB
 Proj. Manager: JCS
 Surveyor: ---
 Perimeter Ok: ---
 Book: --- Pg: ---
 Drive: Layout 16094-07-GP-UP
 Acad: GRADING-UTILITY-24'X36'

12-3-19 REVISED PER TWP COMMENTS
 11-11-19 REVISED PER TWP COMMENTS
 Date Description
 REVISIONS

WEST CHERRY LANE MULTI USE BUILDING

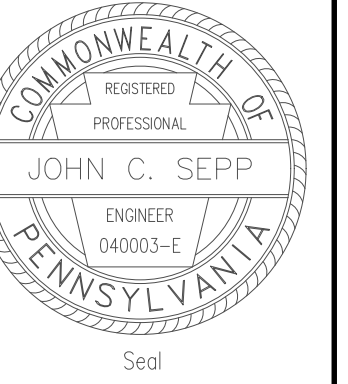
FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

GRADING, UTILITY, AND STORMWATER MANAGEMENT PLAN

PROJECT NO. 16094.01
 DATE: SEPTEMBER 12, 2019
 SCALE: 1"=20'
 SHEET NO. 7

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA 1 CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY



Designer: RRK
 Draftsman: JDB
 Proj Manager: JCS
 Surveyor: ---
 Perimeter Ok: ---
 Book: --- Pg. ---
 Drive: Layout_16094-09-1.T
 Acad: LIGHTING-24"x36"

REVISIONS

No.	Description
12-3-19	REVISED PER TWP COMMENTS
11-1-19	REVISED PER TWP COMMENTS
10-1-19	REVISED PER TWP COMMENTS

WEST CHERRY LANE MULTI USE BUILDING
 FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

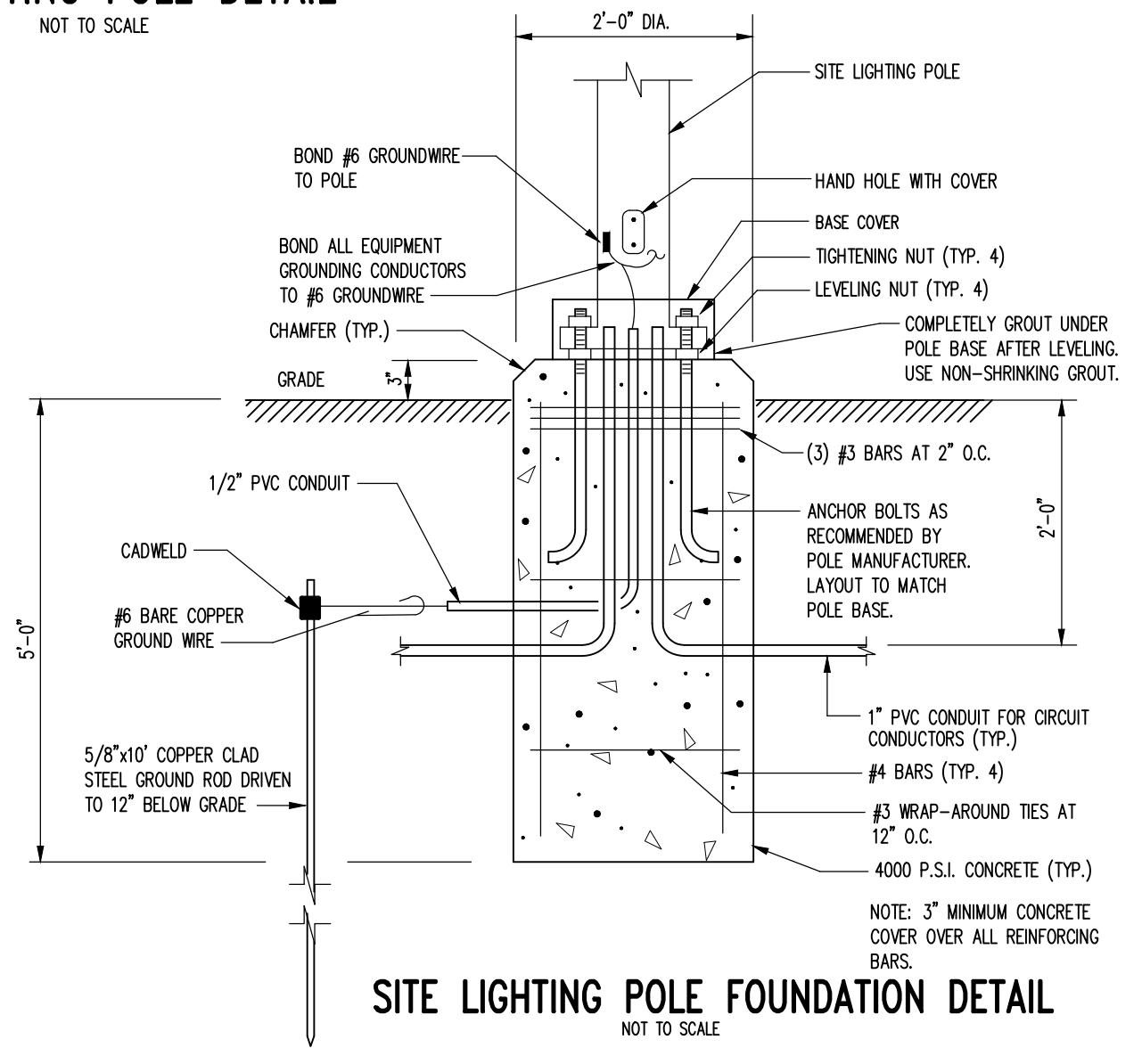
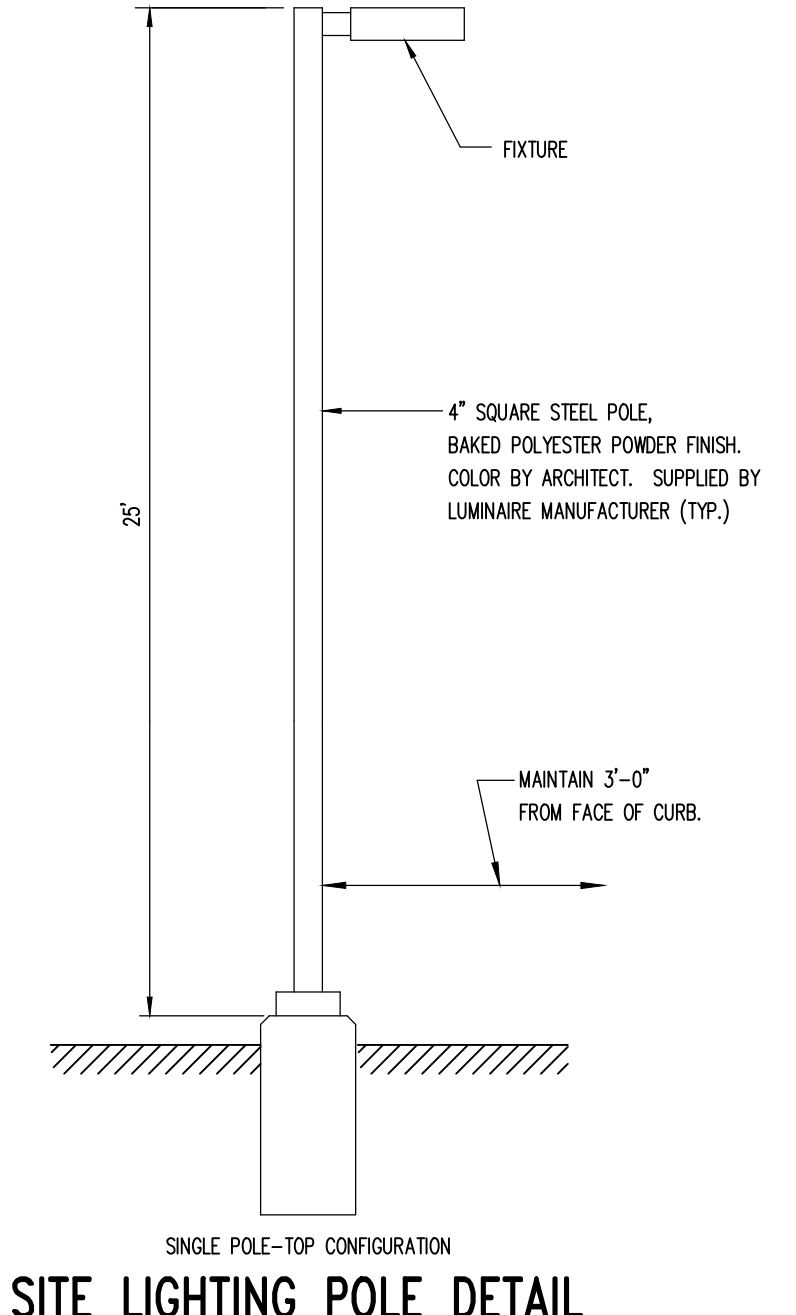
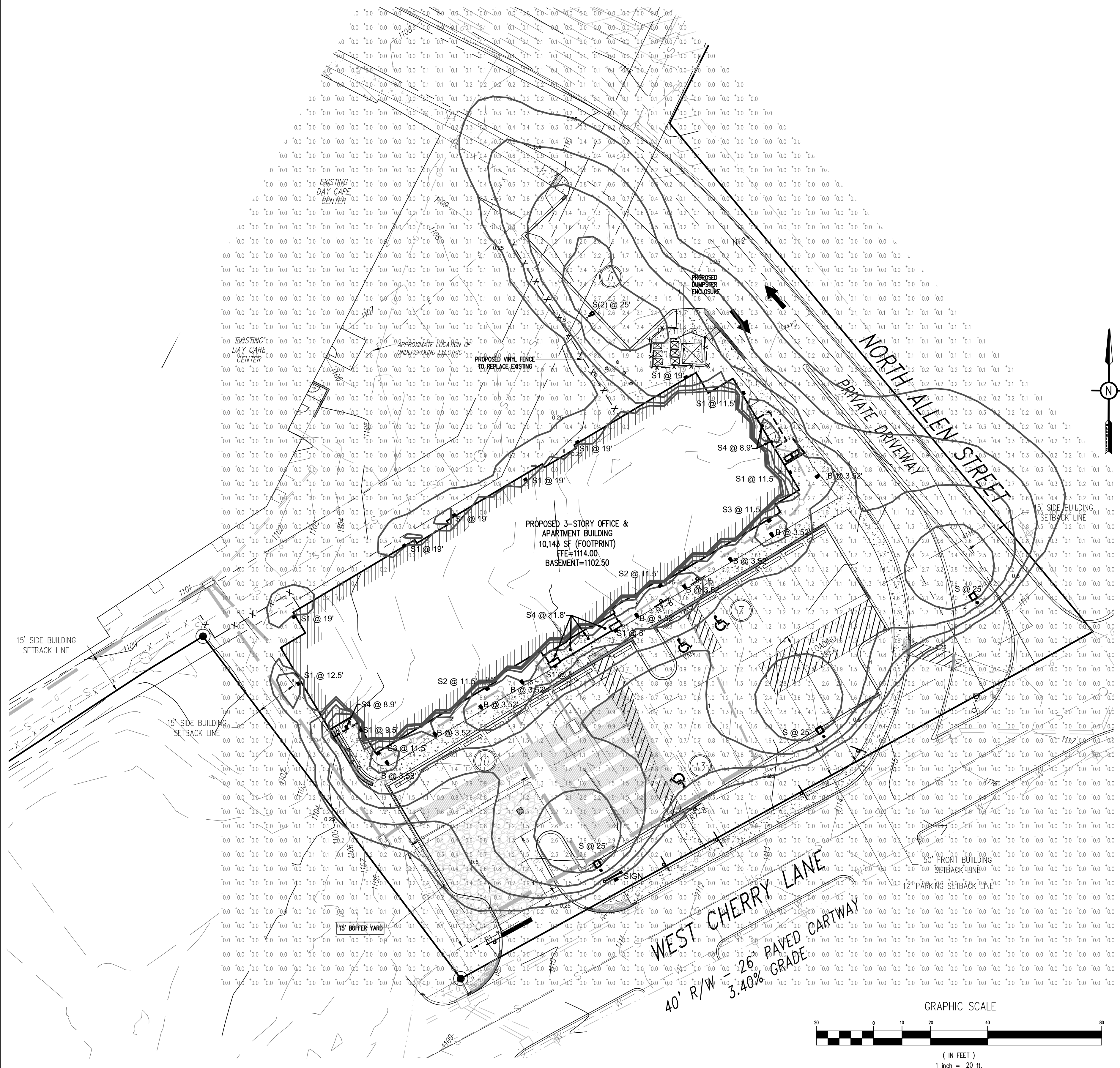
LIGHTING PLAN

PROJECT NO. **16094.01**
 DATE **SEPTEMBER 12, 2019**
 SCALE **1"=20'** SHEET NO. **9**

Symbol	Label	QTY	MANUFACTURER	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
□	S	2	RAB LIGHTING	ALED4T78/BL - RWLED4T78 - RWLED4T78/BLSF - WPLED4T78/BL (TYPE IV)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST WHITE PAINTED METAL LENS FRAME.	SIX WHITE MULTI-CHIP LIGHT EMITTING DIODES (LEDS), 2 LEDS TILTED 56-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 18-DEGREES FROM STRAIGHT AHEAD, 2 LEDS TILTED 57-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 16-DEGREES FROM STRAIGHT AHEAD, 2 LEDS TILTED 57-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 22-DEGREES FROM STRAIGHT AHEAD.	6	1259	0.9	79.1
□	S	1	RAB LIGHTING	ALED4T78/BL - RWLED4T78/BL - WPLED4T78/BL (TYPE IV) (EXISTING LIGHT)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST WHITE PAINTED METAL LENS FRAME. (EXISTING LIGHT)	SIX WHITE MULTI-CHIP LIGHT EMITTING DIODES (LEDS), 2 LEDS TILTED 56-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 18-DEGREES FROM STRAIGHT AHEAD, 2 LEDS TILTED 57-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 16-DEGREES FROM STRAIGHT AHEAD, 2 LEDS TILTED 57-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 22-DEGREES FROM STRAIGHT AHEAD.	6	1259	0.9	79.1
□	S1	12	LITHONIA LIGHTING	OLLWU	OUTDOOR LED WALL UPLIGHT AND DOWNLIGHT CYLINDER WITH 4000K LEDES AND POLYCARBONATE LENSES	LED	1	491	0.9	14.3
□	S2	2	LITHONIA LIGHTING	WST LED P2 40K VW MVOLT	WST LED, Performance package 2, 4000 K, visual comfort wide, MVOLT	LED	1	3511	0.9	25
□	S3	2	LITHONIA LIGHTING	WST LED P1 40K VF MVOLT	WST LED, Performance package 1, 4000 K, visual comfort forward throw, MVOLT	LED	1	1639	0.9	12
○	S4	7	LITHONIA LIGHTING	WFG LED 40K MVOLT	6" Ultra-Thin LED Wafer Downlight, 3000K CCT, 100-277V	LED	1	1032	0.9	12.93
□	S(2)	1	LITHONIA LIGHTING	ALED2778/BL - RWLED2778/BL - RWLED2778/BLSF - WPLED2778/BL (TYPE I)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 3-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST BROWN PAINTED METAL LENS FRAME.	SIX WHITE MULTI-CHIP LIGHT EMITTING DIODES (LEDS), TILTED 57-DEGREES FROM VERTICAL BASE-UP POSITION, ALED2778/BL ACTUAL PERFORMANCE MAY VARY. Sports, Street, Utility, Automotive, Hotel, Roadway Damp Location, Wet Location, Outdoor, Commercial	6	1586	0.9	79.5
□	B	9	SUN VALLEY LIGHTING	B3300 SERIES LED	BREL-CAP-IL-24LED-NW 6-EXTRUSION VERTICAL POWER ARRAY (VPA) WITH 6 FROSTED DIFFUSE LENSES; INTERNAL STACKED LOUVERS WITH SPECULAR ALUMINUM FINISH; VPA & LOUVERS ENCLOSED BY CLEAR ACRYLIC LENS;	130 RATED LUMENS(85°C) PER LED AT 350MA.	24	61	1	26.4
□	SIGN	1	KIM LIGHTING	CFL-WF-214K35	CFL	C-70-CRI DATA SHOWN IS ABSOLUTE.	1	3043	1	25.25

NOTE: ALL MOUNTING HEIGHTS LABELED ON PLAN.

PHOTOMETRICS AND FIXTURES PROVIDED BY EAST HILLS ENGINEERING ASSOCIATES, LLC.



Statistics

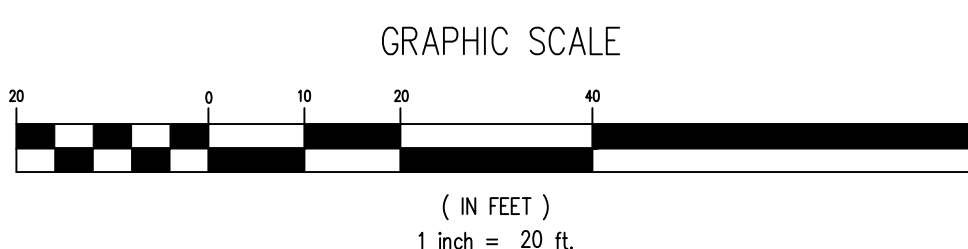
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.4 fc	14.4 fc	0.0 fc	N/A	N/A

- EXISTING FEATURES LEGEND**
- Existing Curbing
 - Existing Contours (1's)
 - Existing Contours (5's)
 - Existing Underground Utility
 - Existing Overhead Utility Line w/ Pole
 - Existing Concrete Areas
 - Existing Vinyl/Wooden Fence
 - Existing Light Pole/Standard

- SURVEY FEATURES LEGEND**
- Property Line, Lot Line or Right of Way Line
 - Adjoining Property Line
 - Building Setback Line
 - Easement Line
 - Roadway Center Line
 - I.P. Found

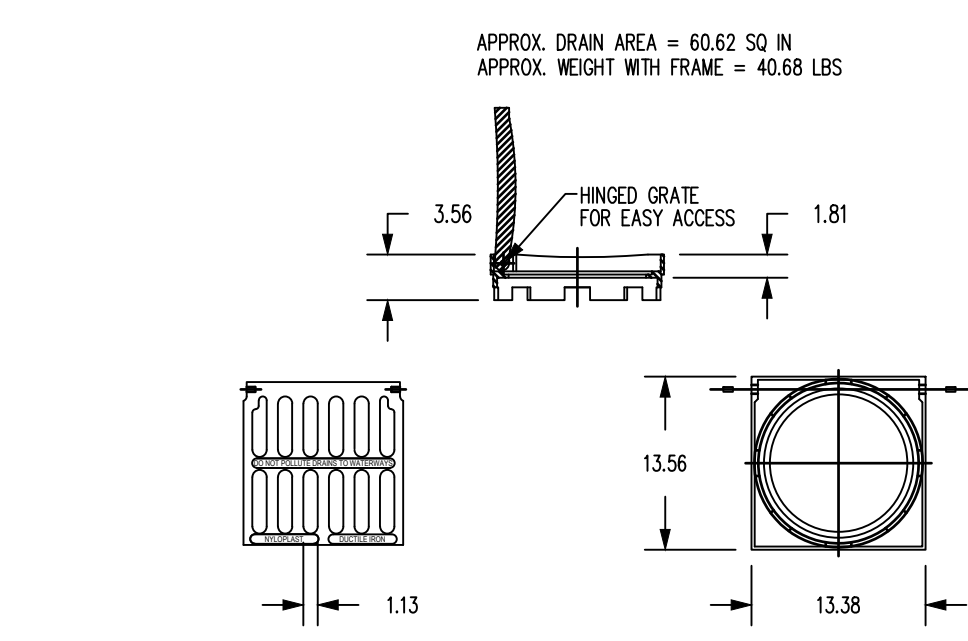
- PROPOSED FEATURES LEGEND**
- PROPOSED BUILDING
 - PROPOSED CURBING
 - PROPOSED CURB TRANSITIONS
 - PROPOSED UNDERGROUND ELECTRIC
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED CONCRETE AREAS
 - PROPOSED PAVED AREAS (EXCEPT WALK/BIKE PATH)
 - PROPOSED VINYL FENCE
 - PROPOSED WOODEN FENCE
 - PROPOSED RETAINING WALL
 - PROPOSED SIGN
 - PROPOSED PARKING STALL COUNT
 - PROPOSED TRAFFIC FLOW ARROWS
 - PROPOSED PAINTED HANDICAPPED PARKING SYMBOL
 - PROPOSED PAINTED HANDICAPPED PARKING SYMBOL (VAN)
 - PROPOSED DEPRESSED CURB AREA
 - PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
 - PROPOSED HANDICAPPED RAMP

- SOILS LEGEND**
- Soil cover on the site consists of:
- HaB - Hagerstown Silty Loam, 3%-8% Slopes
 - Wo - Nolin Silty Loam, Local Alluvium, 0%-5% Slopes
 - OnB - Opequan-Hagerstown Complex, 3%-2% Slopes
 - OnC - Opequan-Hagerstown Complex, 8%-15% Slopes
 - OnD - Opequan-Rock Outcrop Complex, 8%-25% Slopes
 - URB - Urban Land-Hagerstown Complex, Gently Sloping



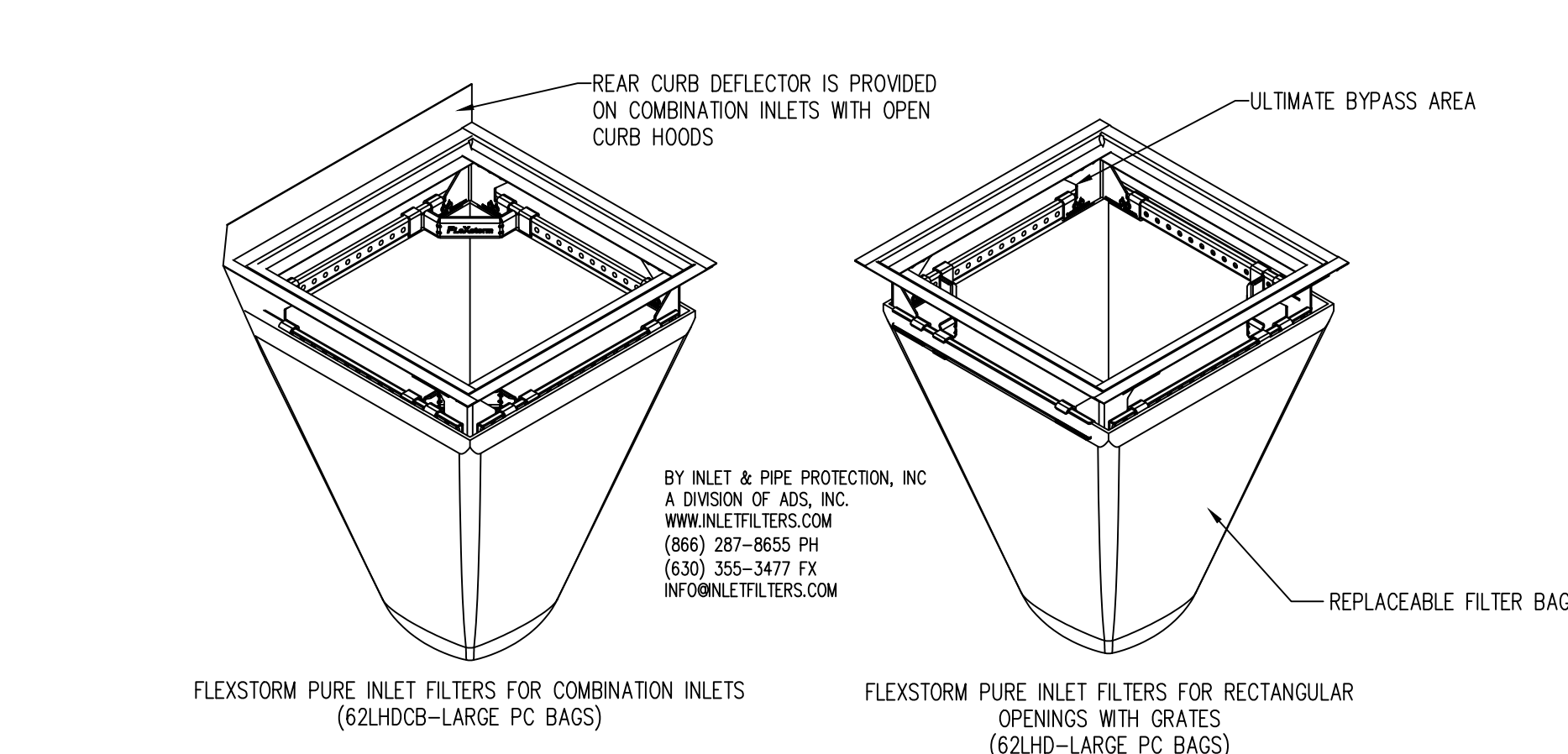
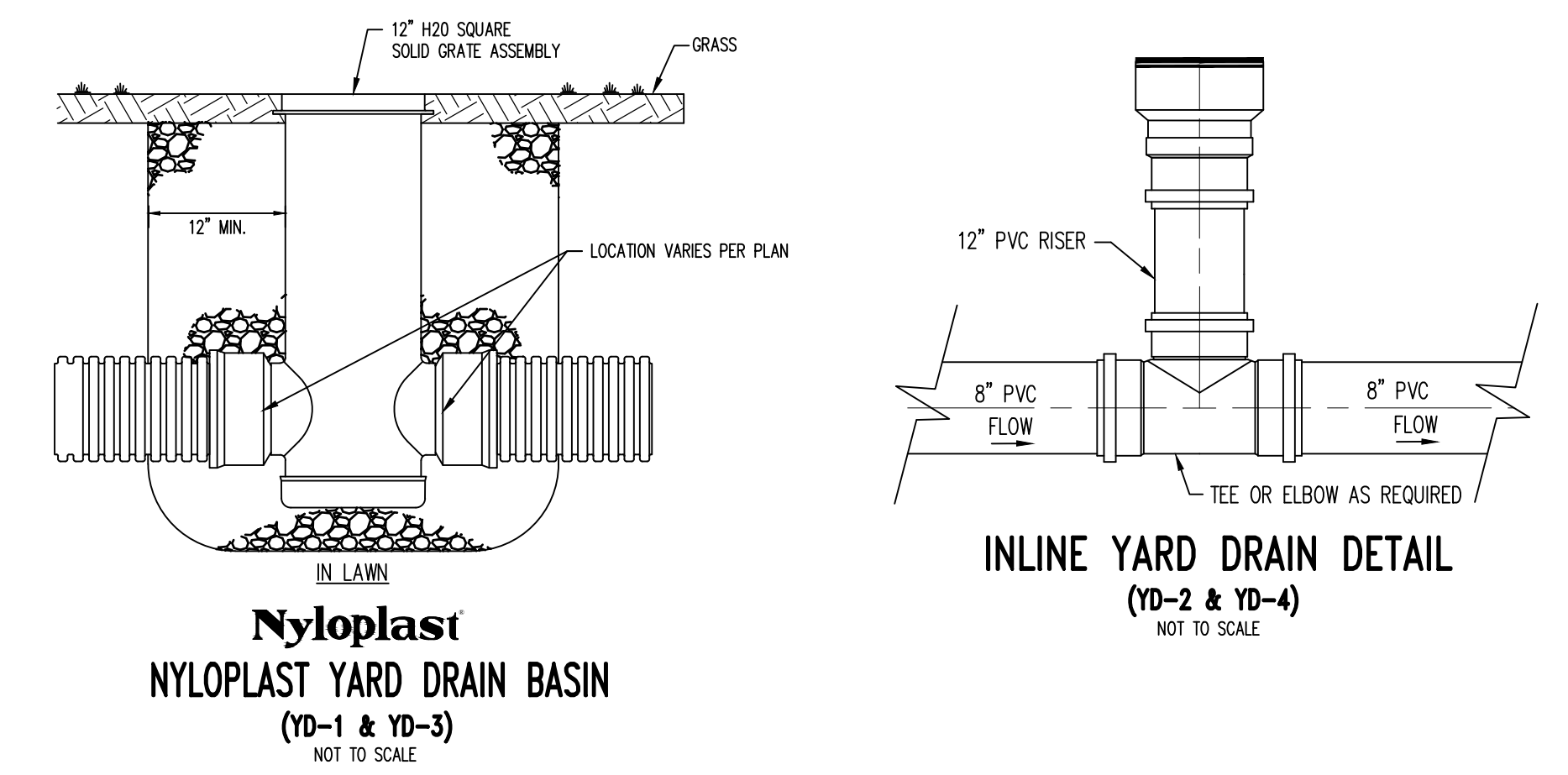
PROPOSED STORM DRAINAGE STRUCTURE DATA										
ID	STRUCTURE TYPE	TG ELEV	INVERT IN	FROM	INVERT OUT	PIPE RUN	LENGTH (FT)	SIZE (IN)	SLOPE (%)	
	48" UNDERGROUND BASIN		1107.67	YD-1						
			1106.00	I-1						
I-1	24" X 48" Precast Type C Inlet w/ Bicycle Safe Gate	1112.00	1107.00	I-2	1107.00	I-1 TO BASIN	HDPEP	37.80	15	2.09
I-2	24" X 48" Precast Type C Inlet w/ Bicycle Safe Gate	1110.50	1107.00	I-3	1107.25	I-2 TO I-1	HDPEP	32.70	15	0.76
I-5	24" X 48" Precast Type C Inlet w/ Bicycle Safe Gate	1112.00	1109.50	YD-3	1108.50	I-5 TO I-1	HDPEP	67.50	15	2.22
EX-1	Existing 24" Inlet		1094.60	I-3						
I-3	24" X 48" Precast Type H Inlet w/ Bicycle Safe Gate	1100.35	1097.45	EX-2	1097.30	I-3 TO EX-1	HDPEP	137.10	12	1.97
			1096.00	FD						
I-4	24" X 48" Precast Type H Inlet w/ Bicycle Safe Gate	1110.50	1104.10	OS-1	1104.00	I-4 TO I-3	HDPEP	108.40	12	6.16
OS-1	48" X 72" Precast Inlet Box w/ 24" X 48" Precast Type H Inlet w/ Bicycle Safe Gate	1112.60	1106.00	UG BASIN	1106.00	OS-1 TO I-4	HDPEP	11.70	12	16.24
I-6	48" X 72" Precast Inlet Box w/ 24" X 48" Precast Type H Inlet w/ Bicycle Safe Gate	1113.36	1110.60	8" RD	1106.00	I-6 TO OS-1	HDPEP	59.50	48	0.00
			1106.00	UG BASIN						
YD-1	12" Inline Drain	1113.00	1111.00	YD-2	1111.00	YD-1 TO BASIN	PVC	21.20	8	15.70
YD-2	12" Drain Basin	1113.00	1111.50	6" RD	1111.50	YD-2 TO YD-1	PVC	33.30	8	1.80
YD-3	12" Inline Drain	1113.00	1110.80	6" RD	1110.80	YD-3 TO I-5	PVC	66.00	8	1.96
YD-4	12" Drain Basin	1113.00	1111.50	6" RD	1111.50	YD-4 TO YD-3	PVC	51.30	8	1.36

NOTES: ALL ROOF DRAINS SHALL BE 6" PVC SET AT A MINIMUM COVER OF 1" IN LAWN AREAS AND 1.5" IN PAVEMENT/CONCRETE AND MINIMUM SLOPE OF 0.5%.



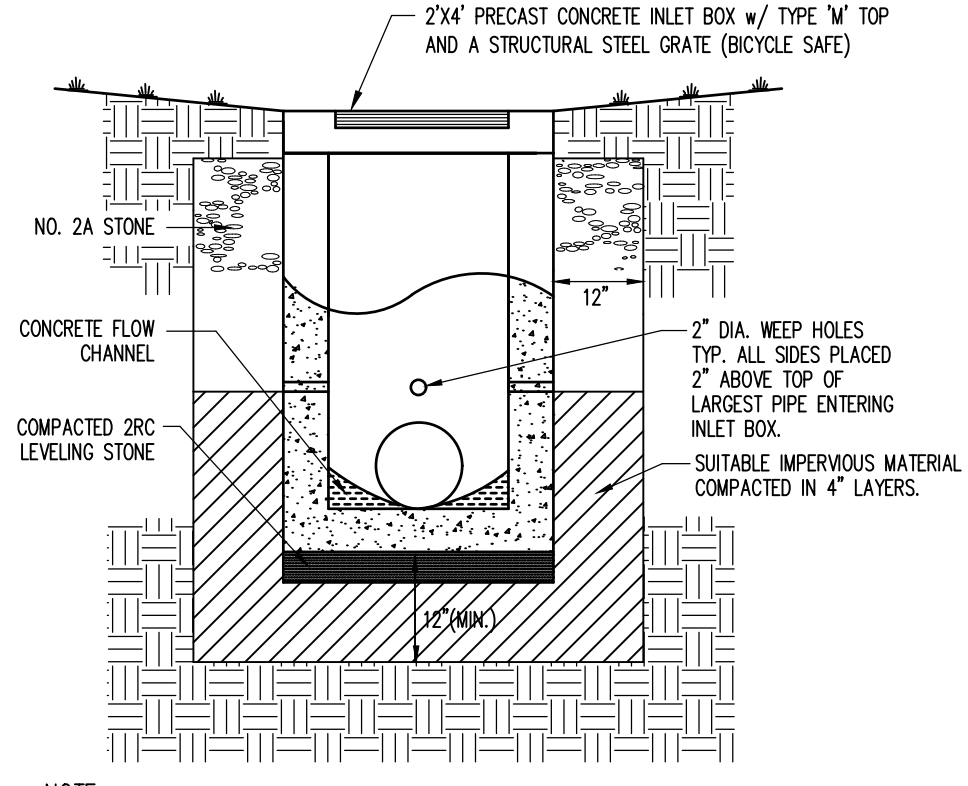
12" STANDARD GRATE ASSEMBLY (YD1-YD4)
NOT TO SCALE

- NOTES:**
1. EXCAVATE THE TRENCH TO THE WIDTH OF THE OUTSIDE DIAMETER OF THE PIPE + 2" AND CREATE AN APPROPRIATE BEDDING 6" DEEP.
 2. AT UNPAVED AREAS SUITABLE MATERIAL MAY BE UTILIZED THE ENTIRE DEPTH OF TRENCH (LESS 6" TOPSOIL), PLACEMENT AND COMPACTION TO BE AS NOTED FOR PAVED AREAS.
 3. ALL STORM SEWER PIPE IS TO BE HIGH-DENSITY POLYETHYLENE (HDPE) AND HAVE A SMOOTH LINED INTERIOR WITH WATER-TIGHT JOINTS.
 4. SATISFACTORY FILL MATERIAL: SOILS MEETING ASTM D2487 SOIL CLASSIFICATION GROUPS OR, CL, OL, SW, SC, SM, AND CL WITH LIQUID LIMIT NOT GREATER THAN 35, OR A COMBINATION OF THESE GROUPS, FREE OF ROCK OR GRAVEL LARGER THAN 3" IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER; WITHIN 3% OF OPTIMUM MOISTURE CONTENT. (INCLUDES 2A)
 5. PLACE SATISFACTORY FILL MATERIAL IN LAYERS 6" THICK MAX. COMPACT TO 100% SPD.
 6. OWNER WILL ENGAGE A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM FIELD QUALITY ASSURANCE TESTING. NOTIFY TESTING AGENCY AT LEAST 48 HOURS PRIOR TO FILL PLACEMENT ACTIVITIES. ALLOW TESTING AGENCY TO INSPECT AND TEST SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS.

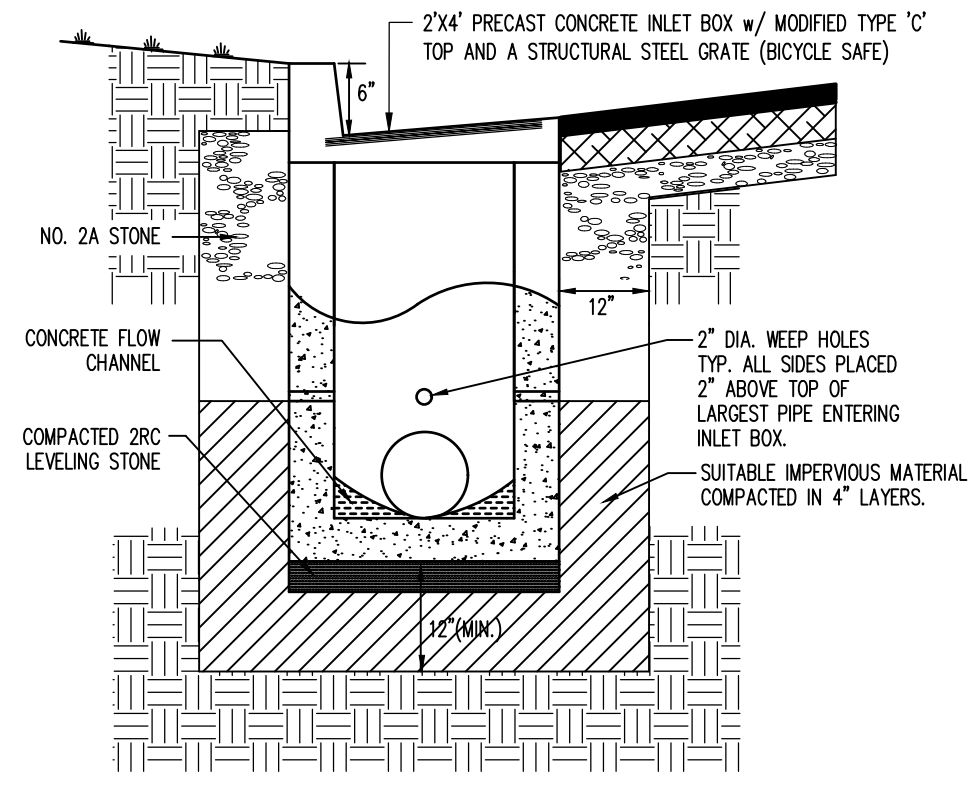


STORMSEWER (HDPE) INSTALLATION
NOT TO SCALE

FLEXSTORM PURE INLET FILTERS (INSTALLED IN INLETS I-1, I-2 & I-5)
NOT TO SCALE

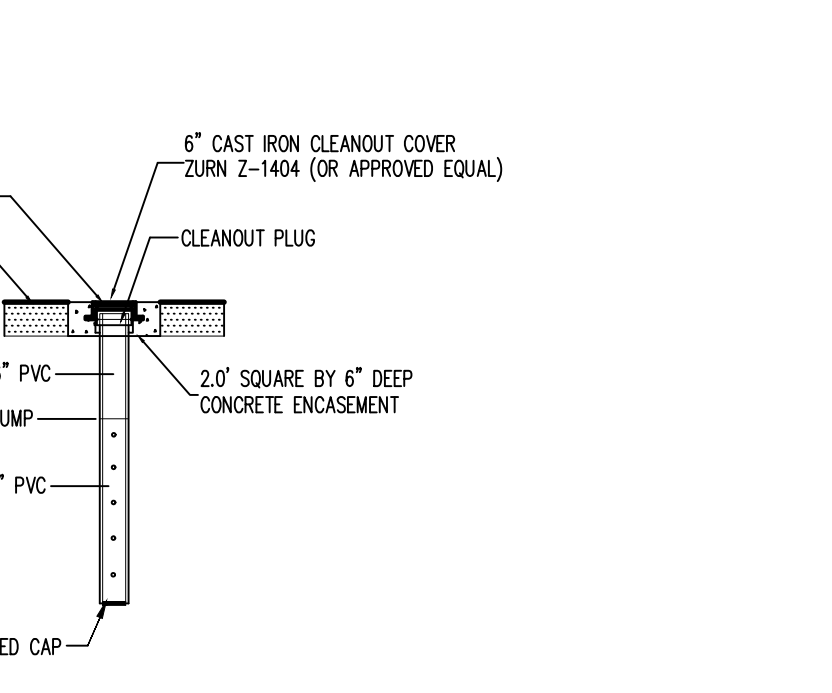


TYPE 'M' PRECAST CONCRETE INLET
NOT TO SCALE



MODIFIED TYPE 'C' PRECAST CONCRETE INLET
NOT TO SCALE

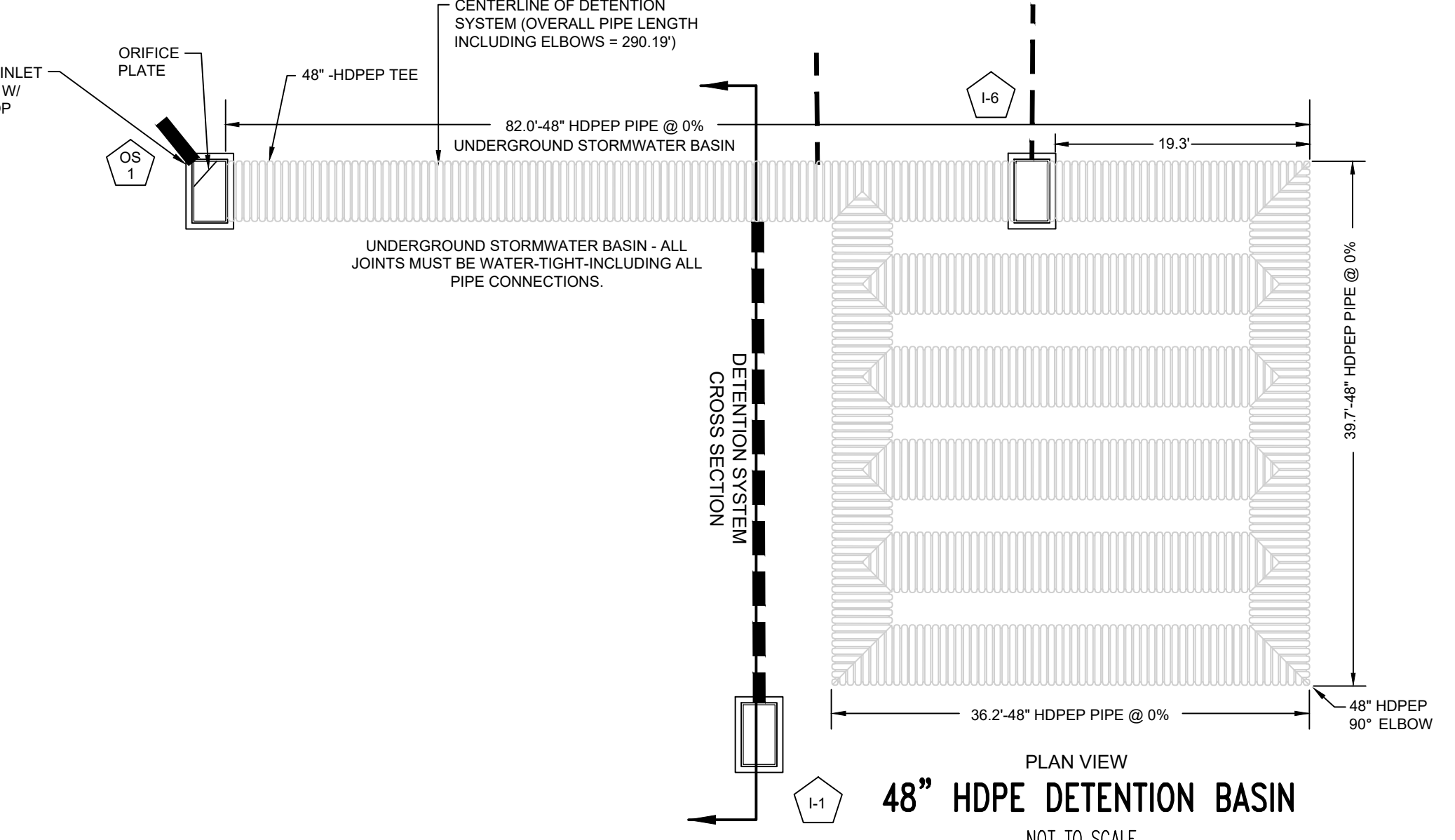
ROCK OVER-EXCAVATION DETAIL
NOT TO SCALE



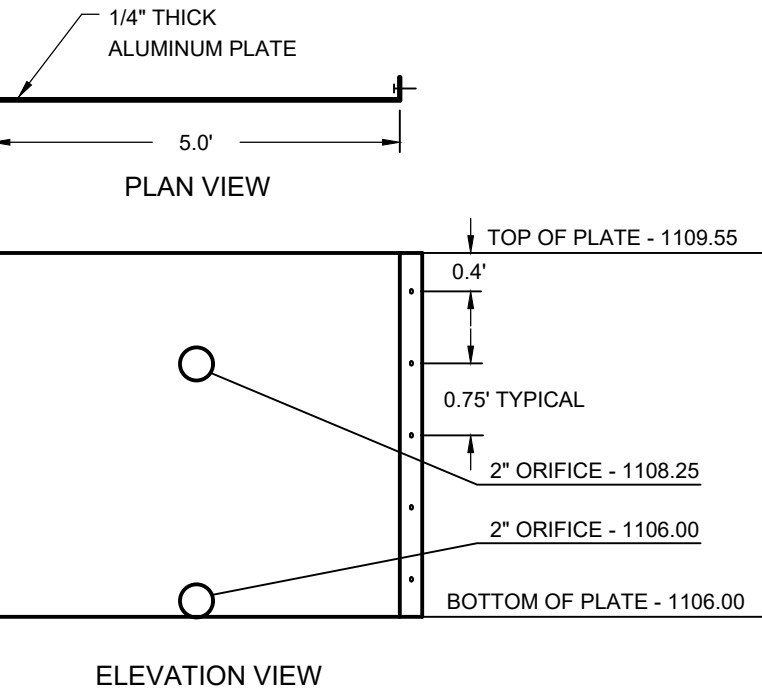
SUMP OBSERVATION PORT
NOT TO SCALE



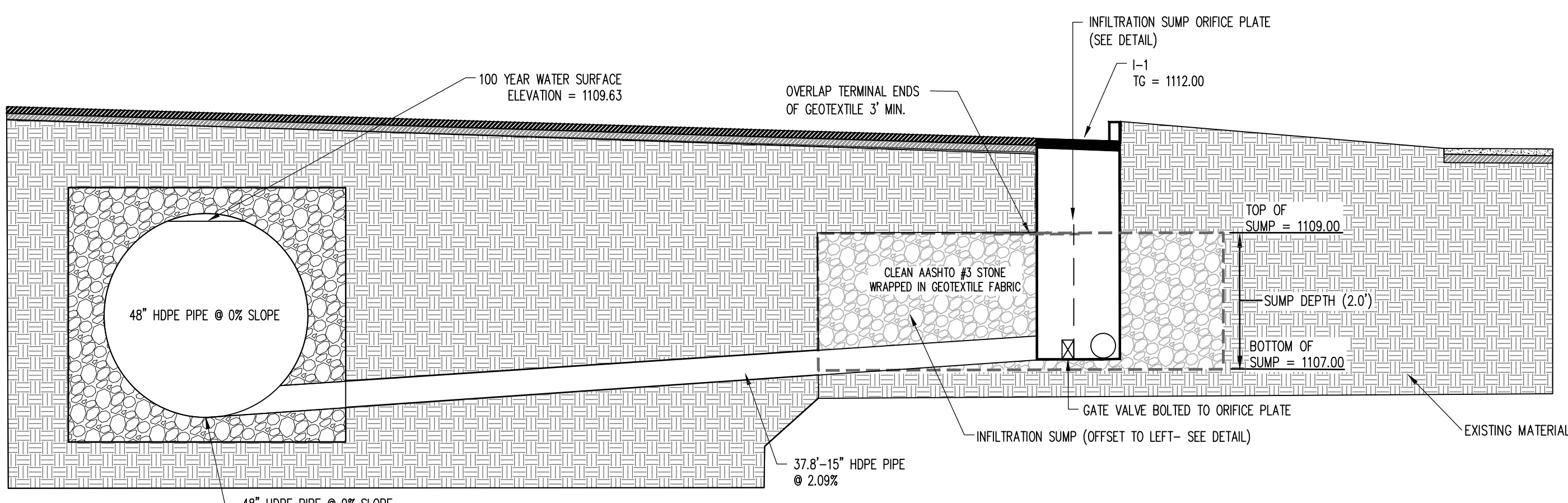
FLANGED BALL VALVE DETAIL
NOT TO SCALE



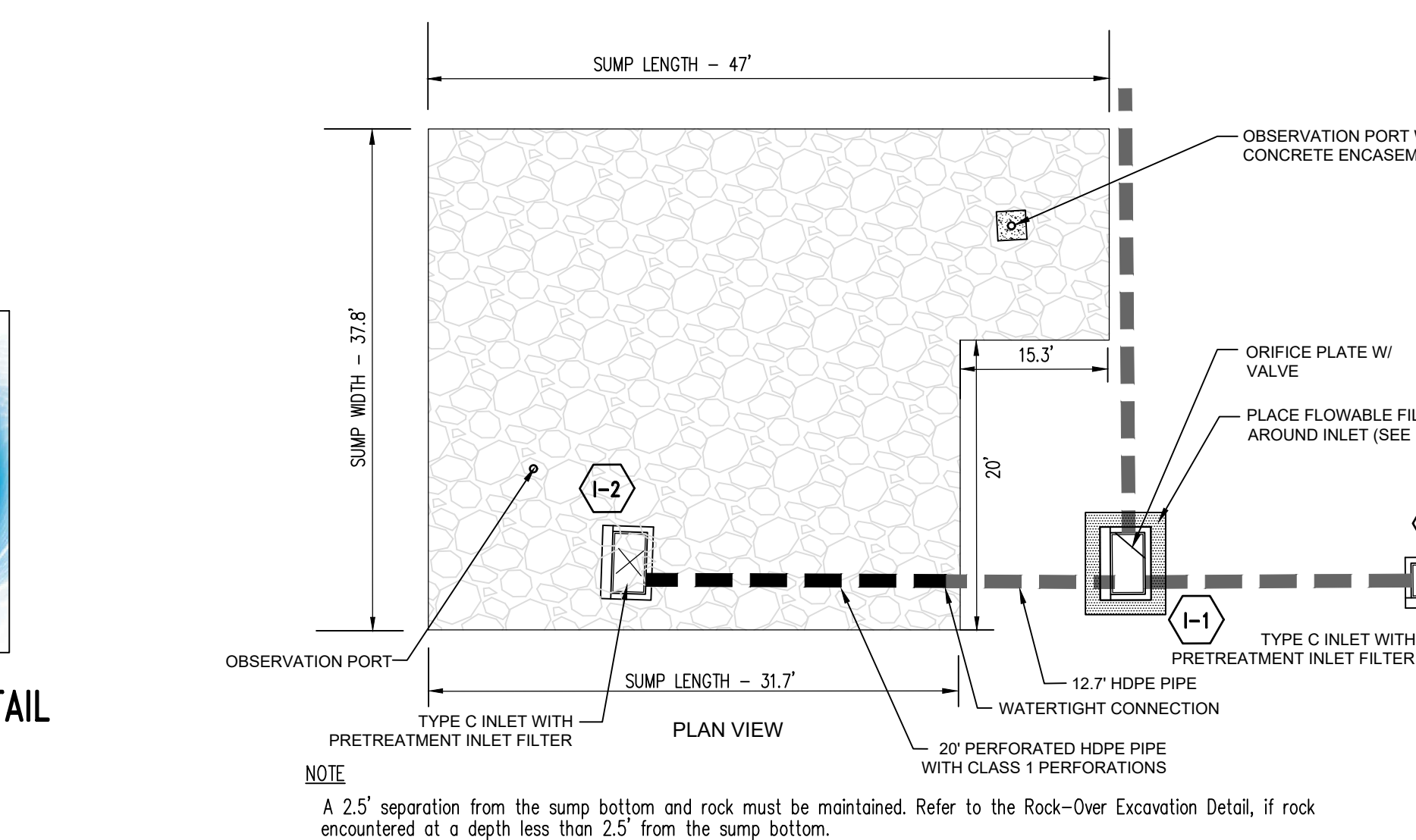
48\"/>



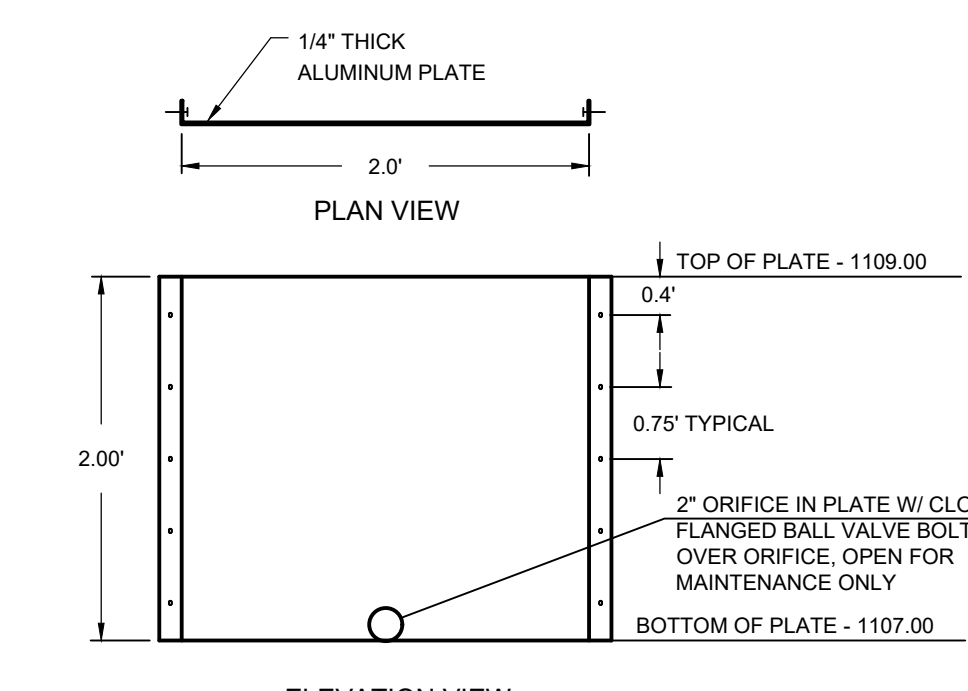
DETENTION BASIN ORIFICE PLATE (OS-1)
NOT TO SCALE



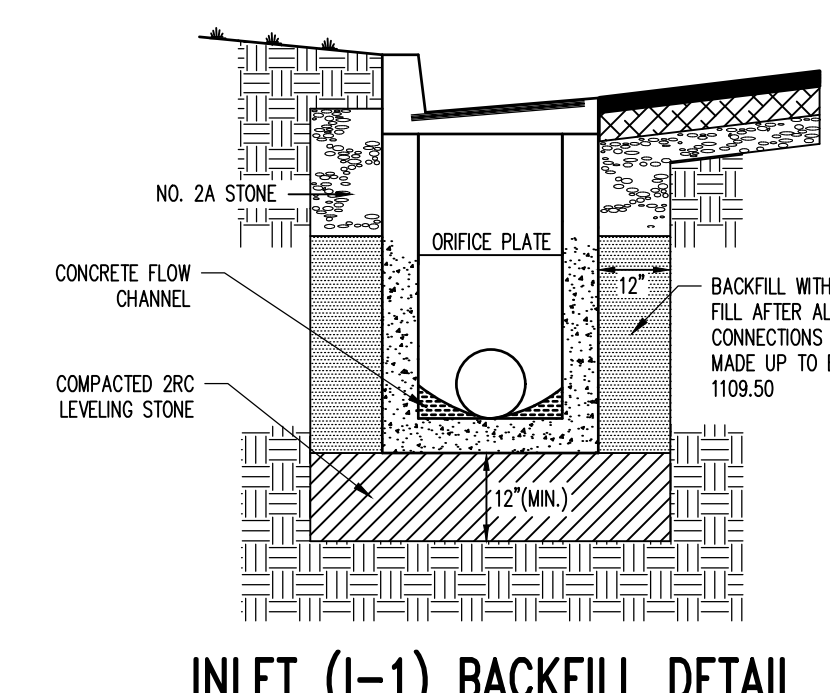
DETENTION SYSTEM CROSS SECTION
NOT TO SCALE



INFILTRATION SUMP DETAIL
NOT TO SCALE



INFILTRATION SUMP ORIFICE PLATE (I-1)
NOT TO SCALE



INLET (I-1) BACKFILL DETAIL
NOT TO SCALE

PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

WWW.PENNTERRA.COM

COPYRIGHT 2019 BY THE ENGINEER
THE INFORMATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER EXCEPT AS OTHERWISE PROVIDED BY APPROPRIATE LAWS OR STATUTES.

REGISTERED PROFESSIONAL ENGINEER
JOHN C. SEPP
ENGINEER
040003-E
PENNSYLVANIA

Designer	RRK
Draftsman	JDB
Proj Manager	JCS
Surveyor	----
Perimeter Ok	----
Book	----
Drive	Layout 16094-10-SWM-DETAILS
Acad	SWM-DETAILS-24"x36"

WEST CHERRY LANE MULTI USE BUILDING

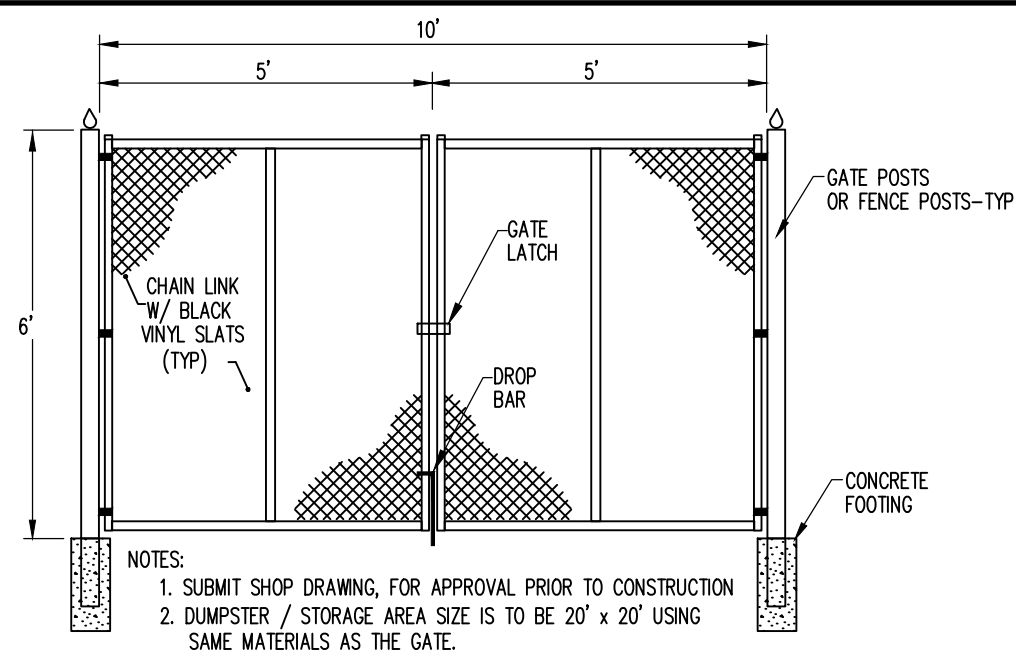
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

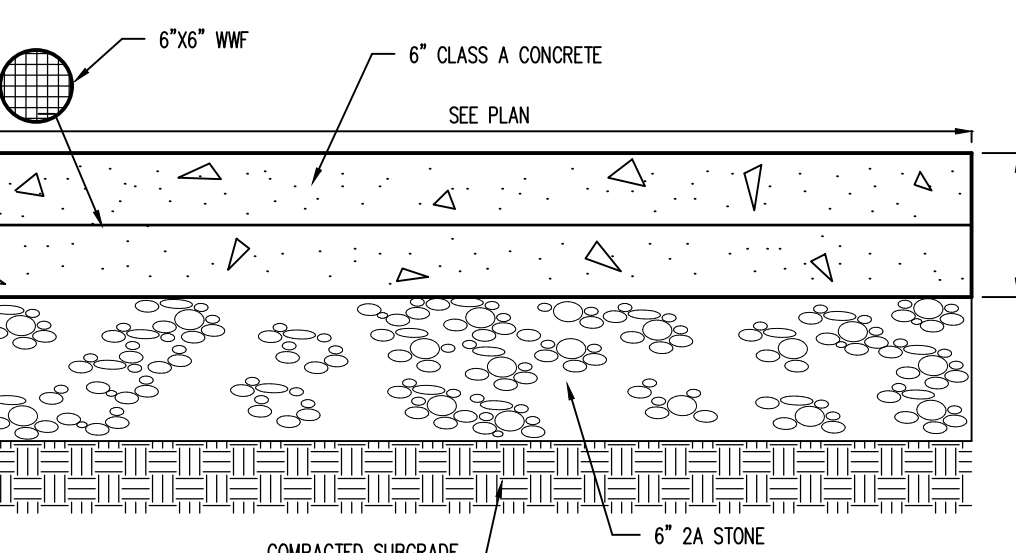
STORMWATER CONSTRUCTION DETAILS

PROJECT NO.	16094.01
DATE	SEPTEMBER 12, 2019
SCALE	N.T.S.
SHEET NO.	10

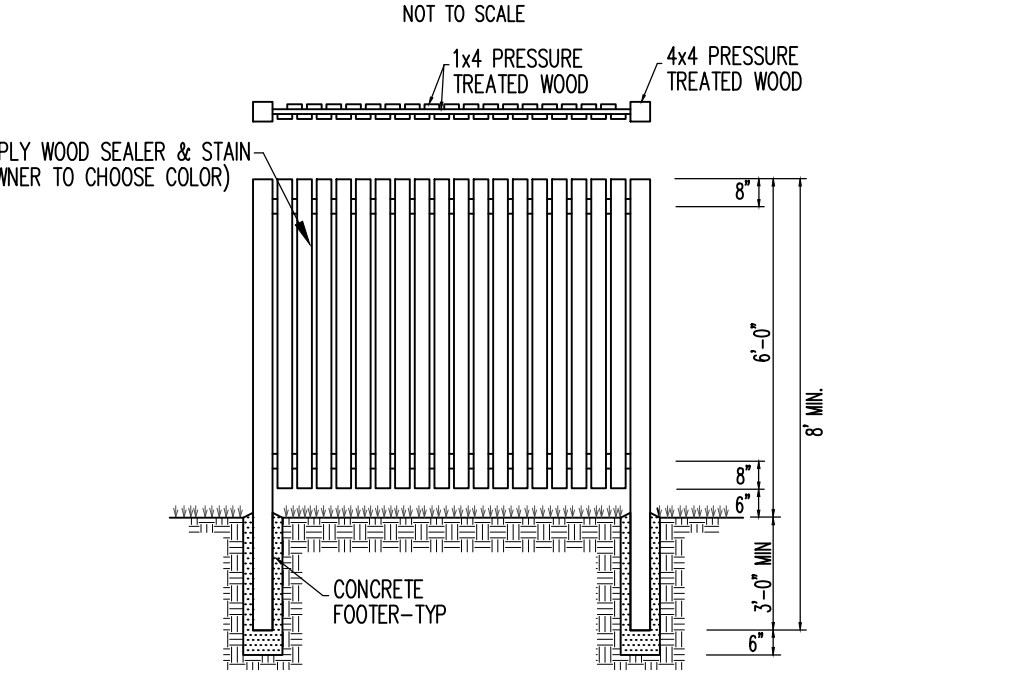
P:\ddp\2019\16094\dwg\p\l\final\plans - REVISED\16094-10-SWM-DETAILS.dwg, 12/2/2019 11:50:29 AM, 1:1



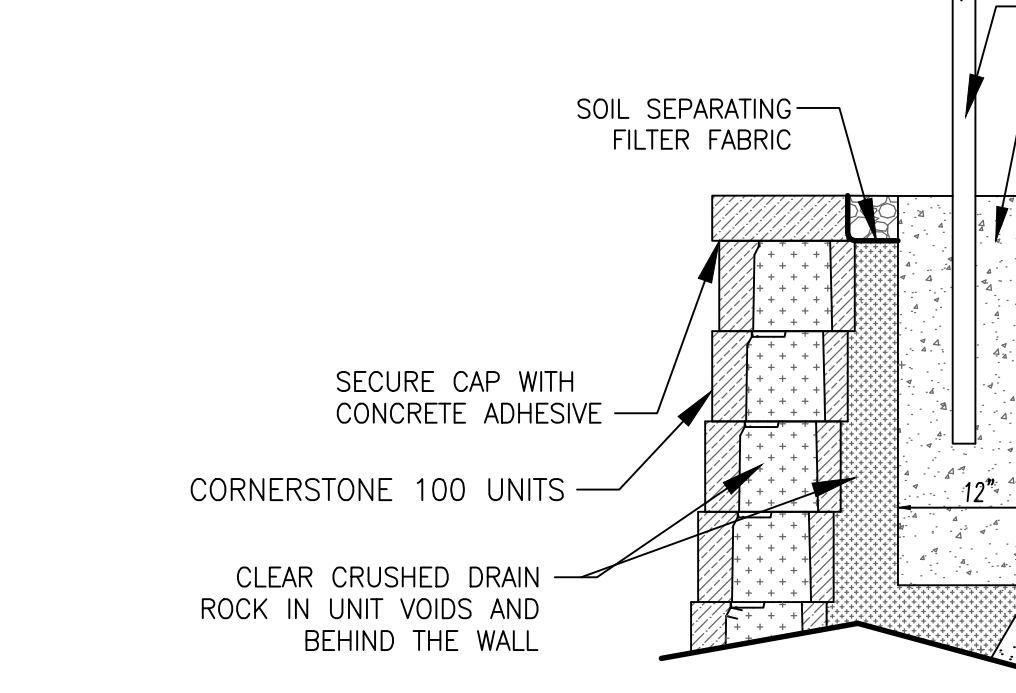
DUMPSTER SCREENING & GATE DETAIL
NOT TO SCALE



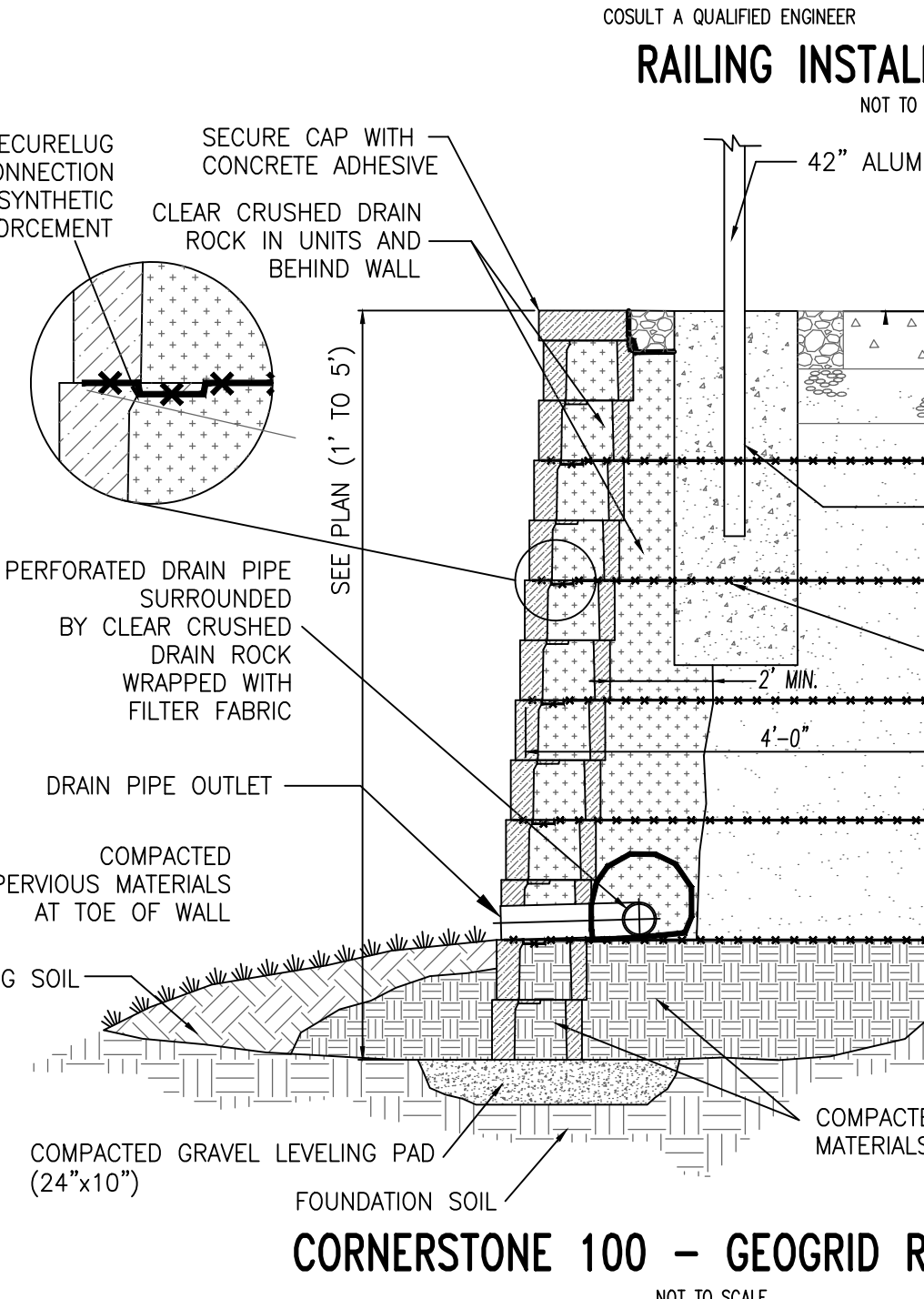
DUMPSTER PAD DETAIL
NOT TO SCALE



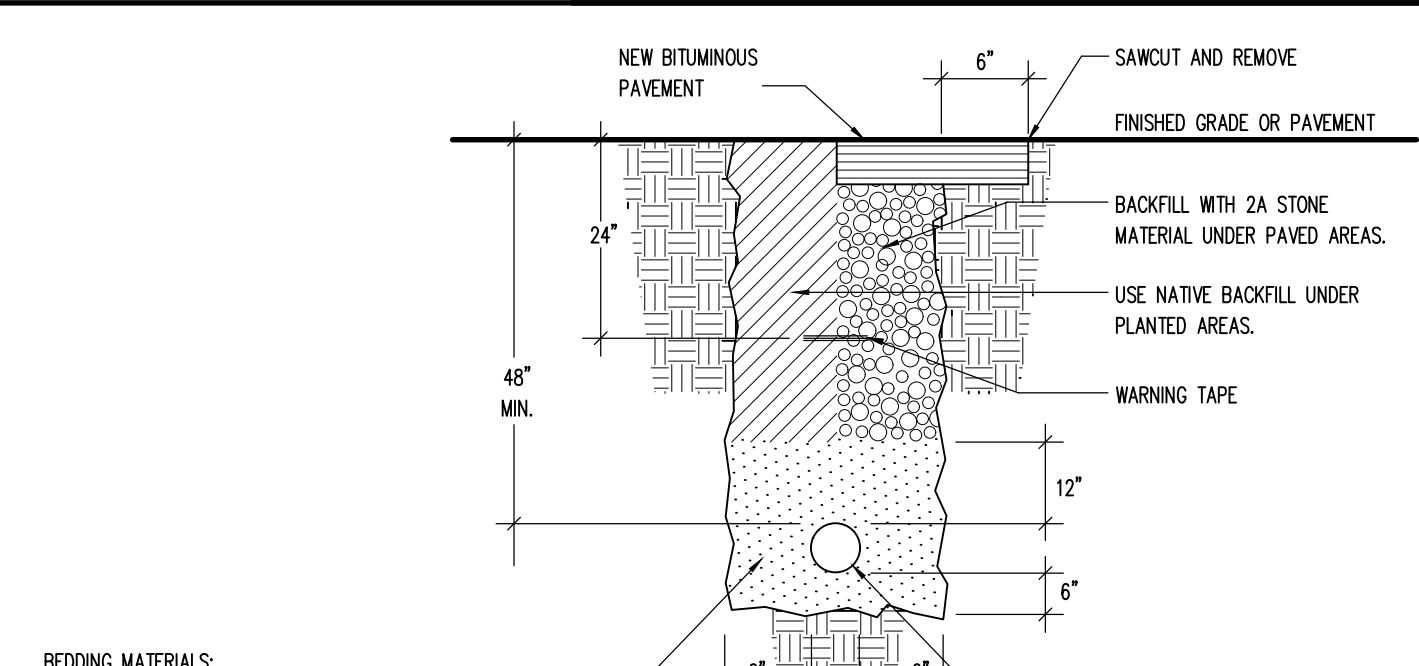
DUMPSTER SCREENING FENCE DETAIL
NOT TO SCALE



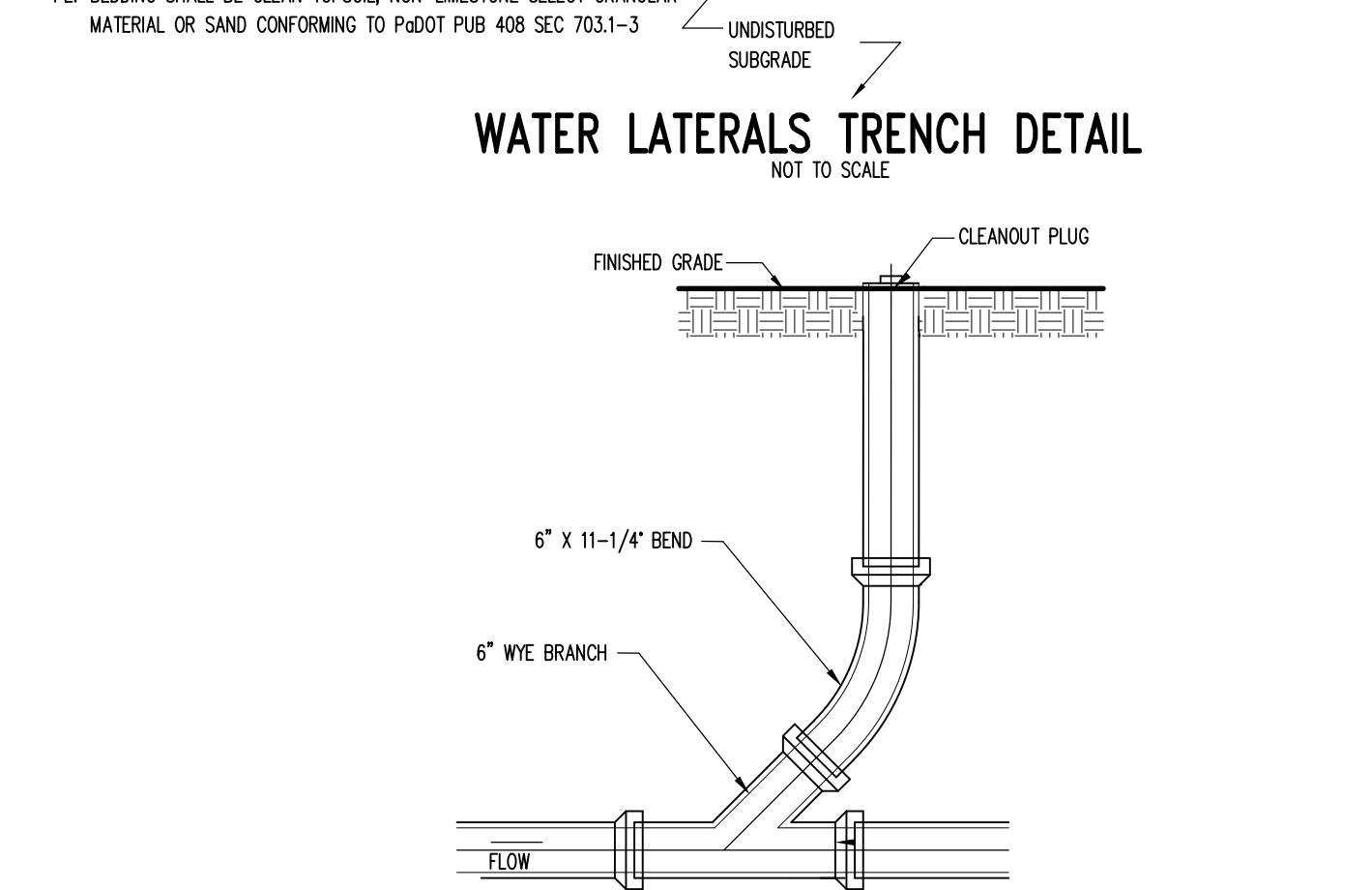
RAILING INSTALLATION DETAIL
NOT TO SCALE



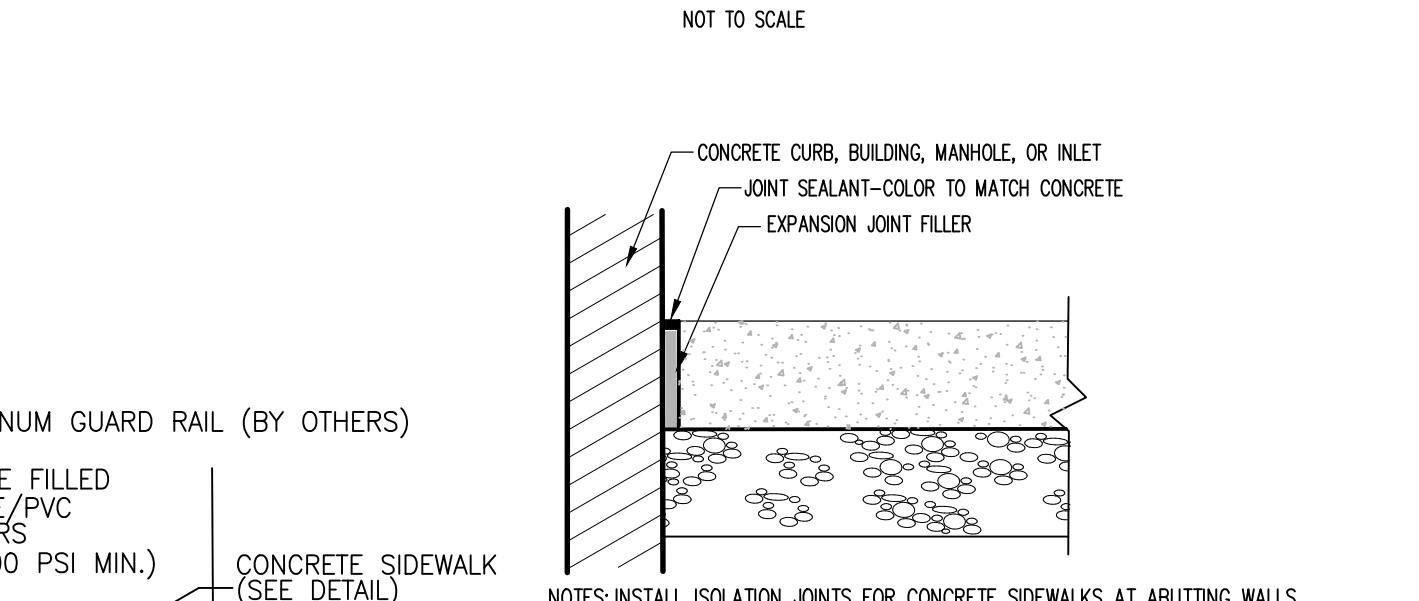
CORNERSTONE 100 - GEOGRID REINFORCED
NOT TO SCALE



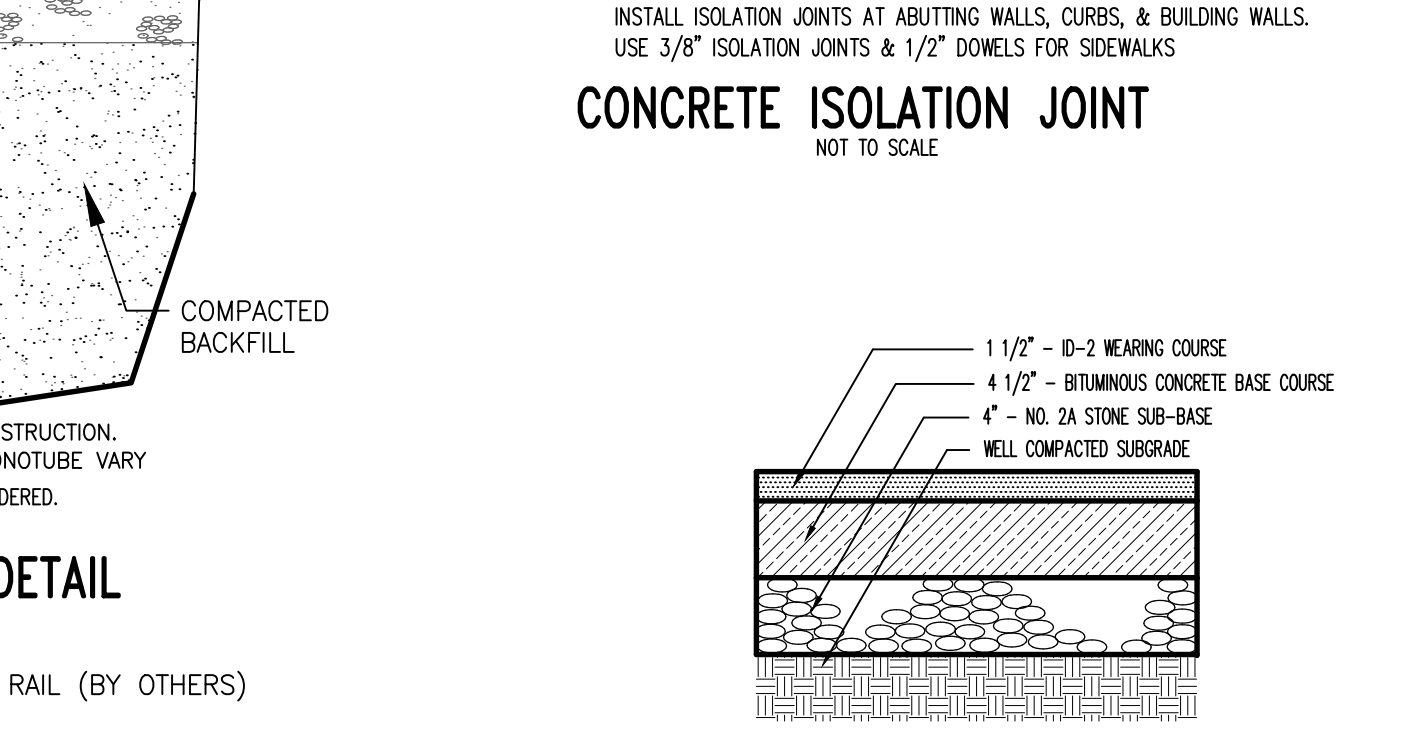
WATER LATERALS TRENCH DETAIL
NOT TO SCALE



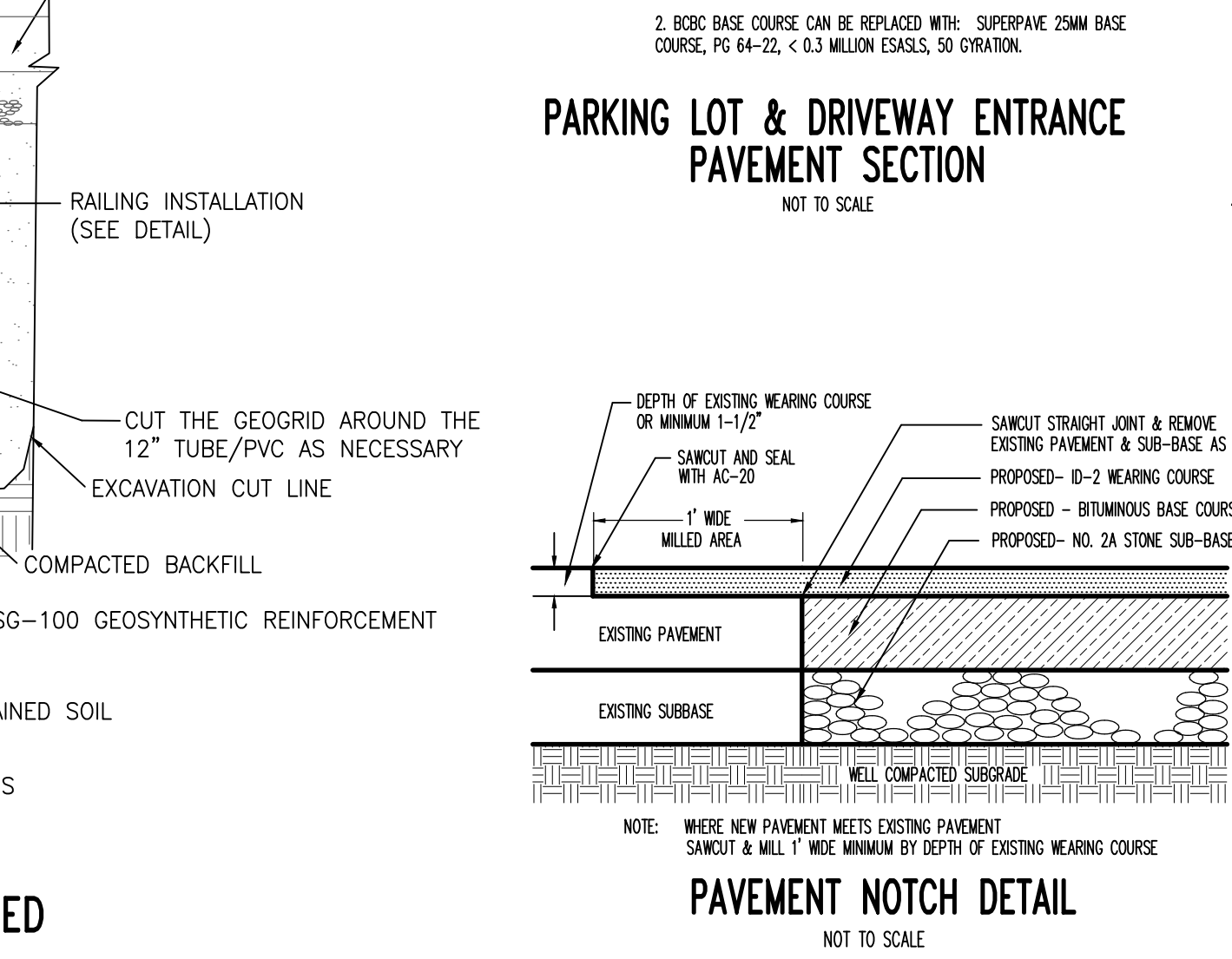
6" SANITARY SEWER CLEAN-OUT DETAIL (LAWN AREAS)
NOT TO SCALE



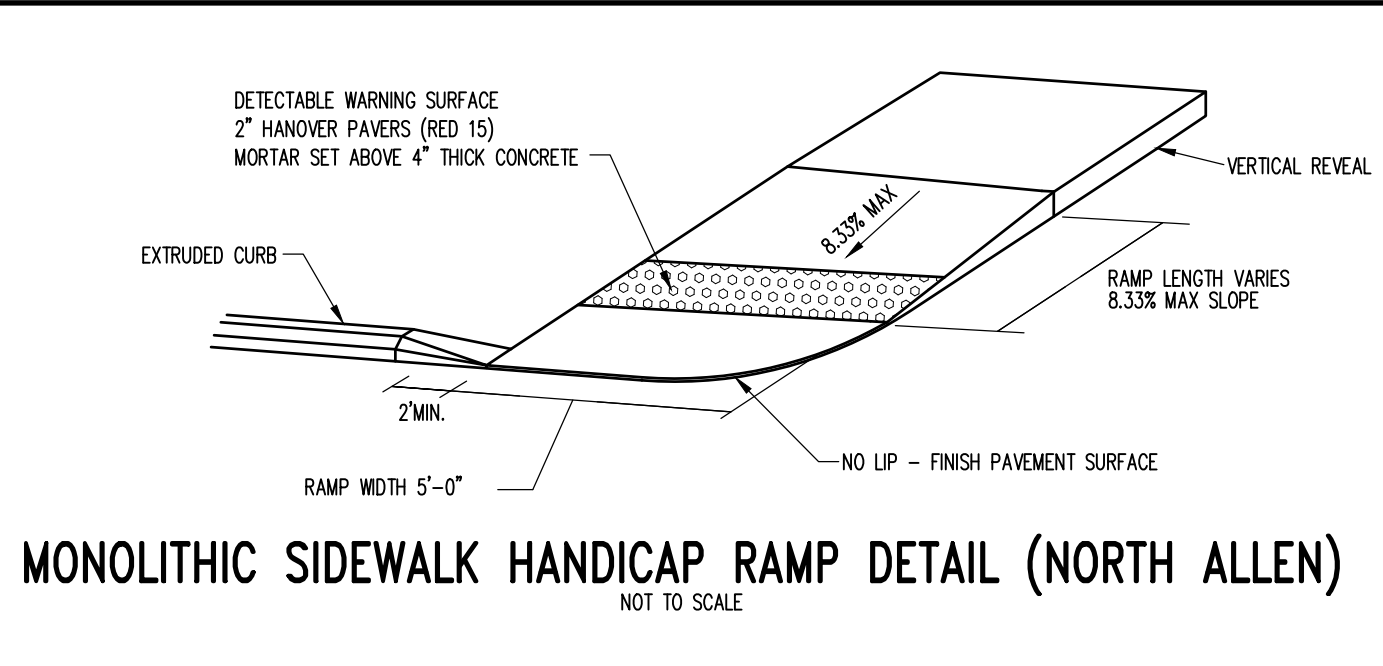
CONCRETE ISOLATION JOINT
NOT TO SCALE



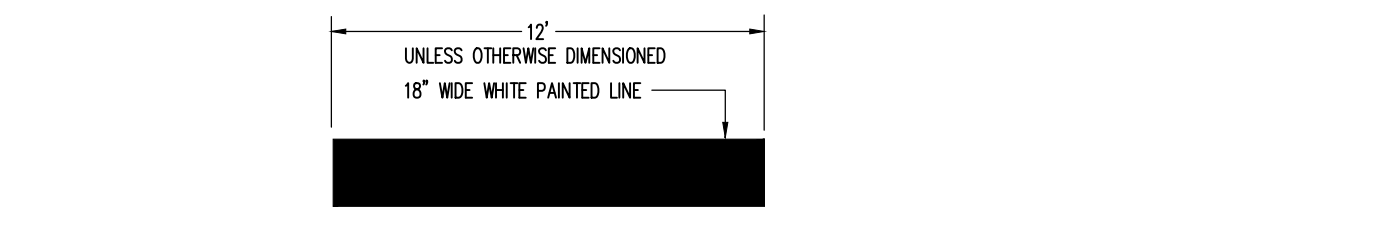
PARKING LOT & DRIVEWAY ENTRANCE PAVEMENT SECTION
NOT TO SCALE



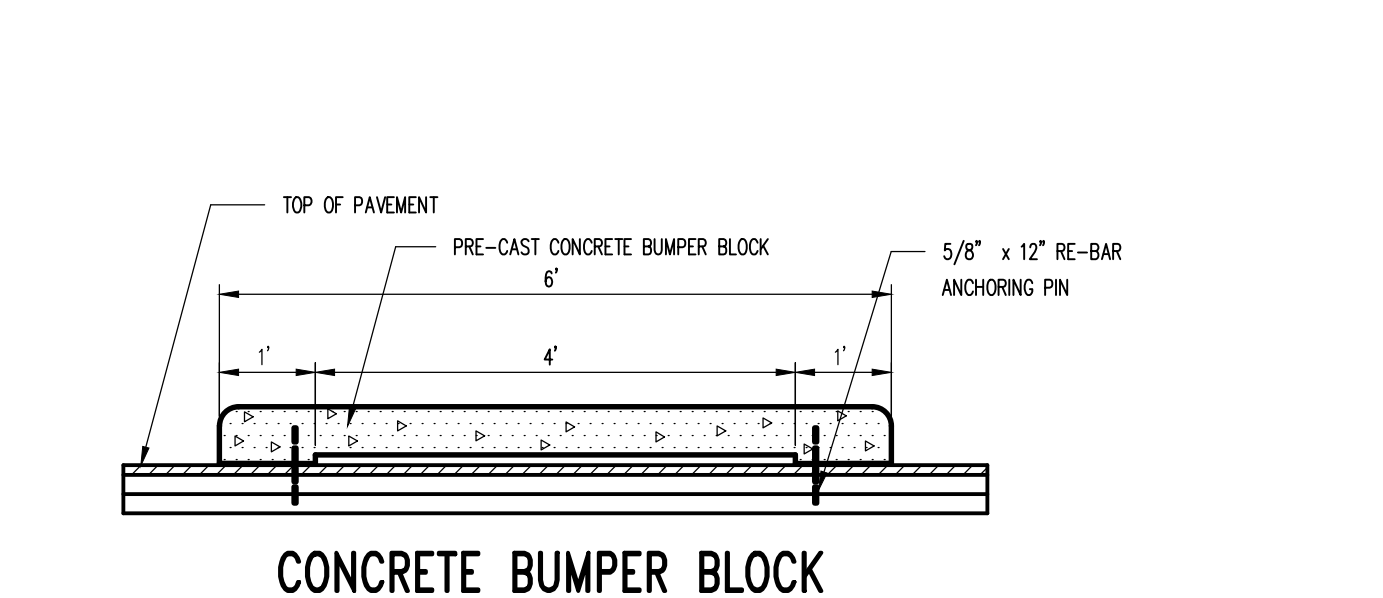
PAVEMENT NOTCH DETAIL
NOT TO SCALE



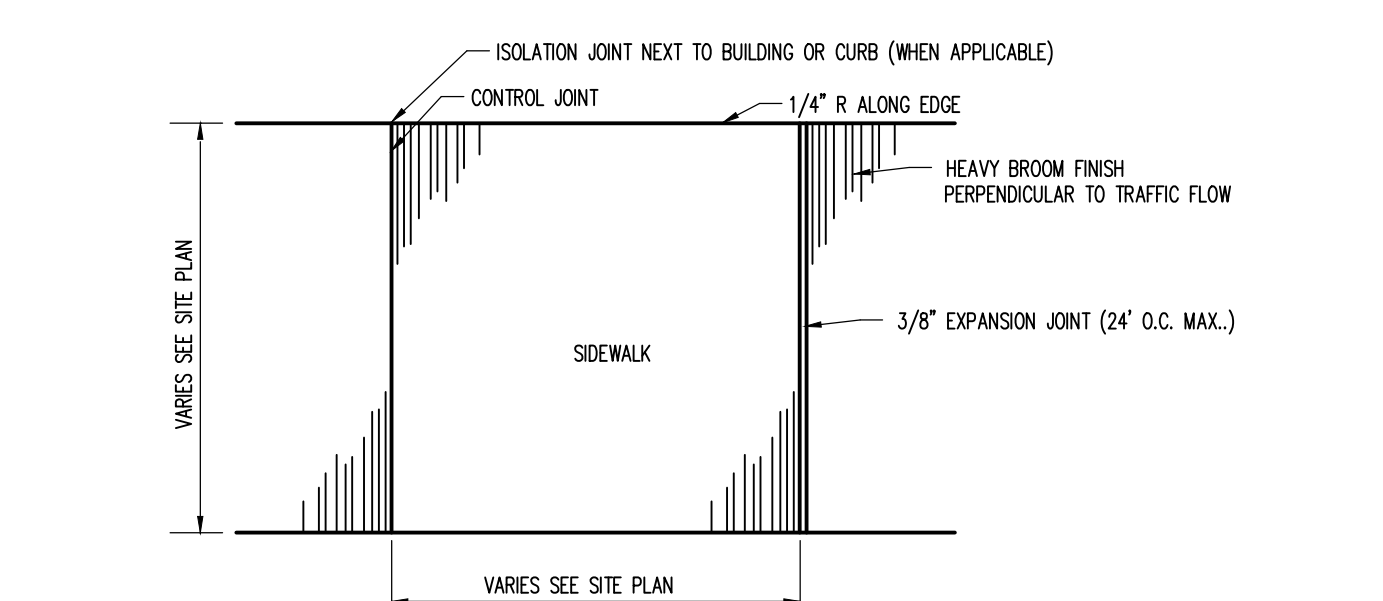
MONOLITHIC SIDEWALK HANDICAP RAMP DETAIL (NORTH ALLEN)
NOT TO SCALE



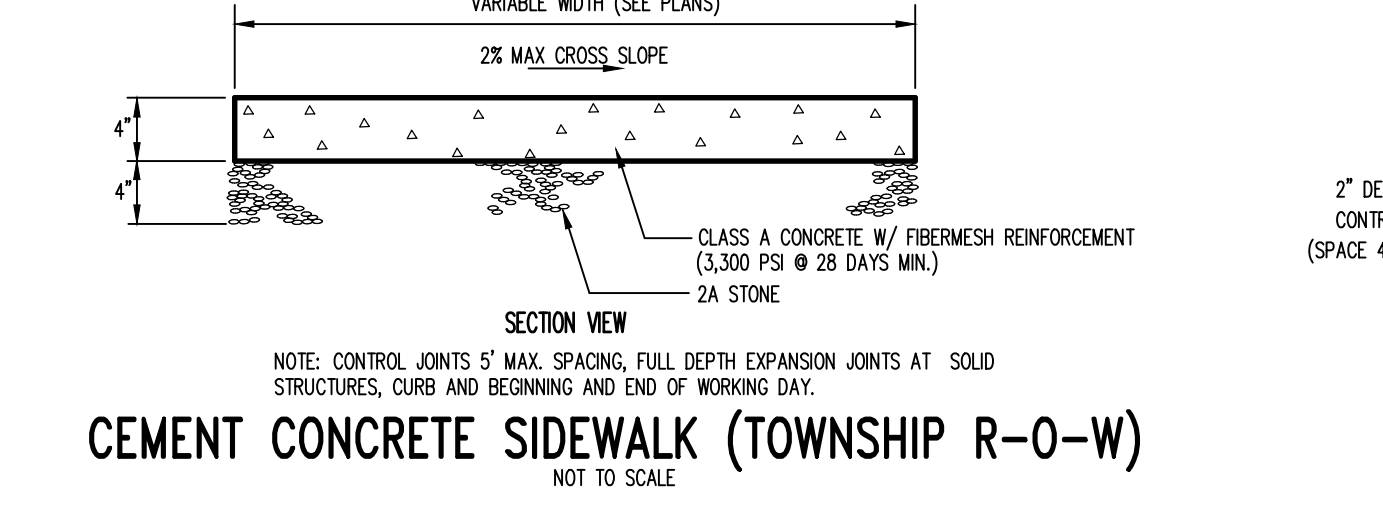
PAINTED STOP BAR
NOT TO SCALE



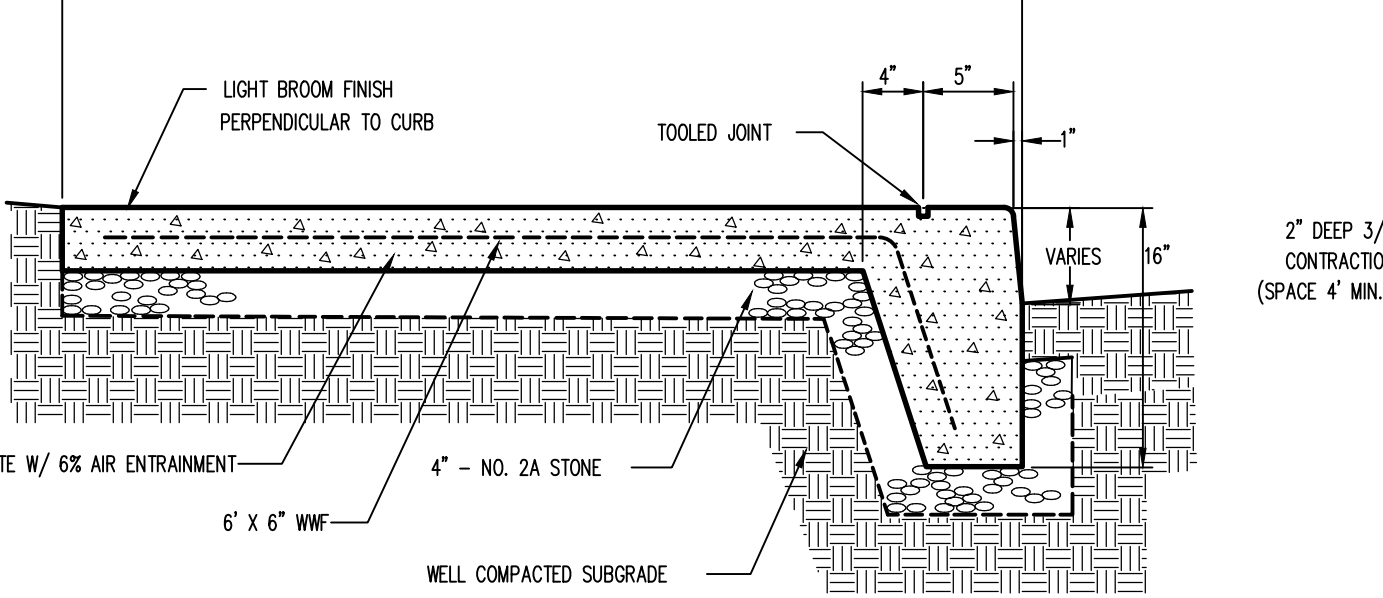
CONCRETE BUMPER BLOCK
NOT TO SCALE



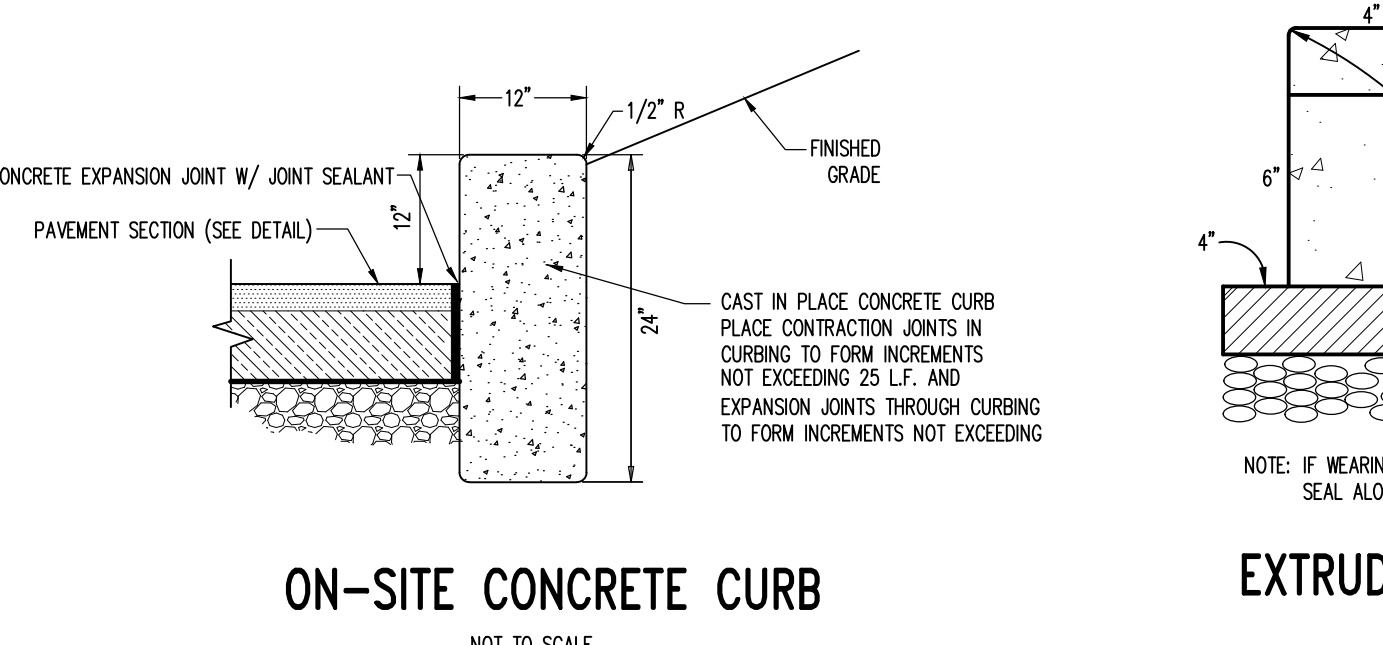
CEMENT CONCRETE SIDEWALK (TOWNSHIP R-0-W)
NOT TO SCALE



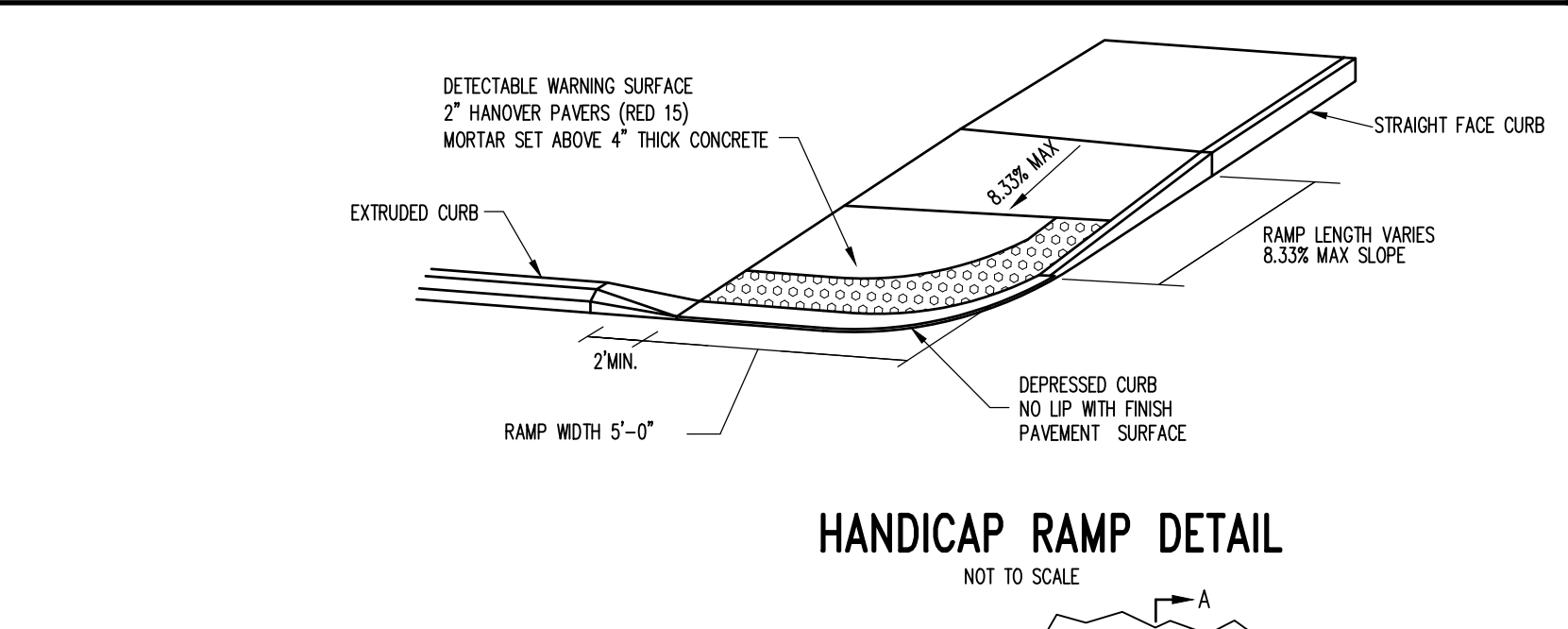
6" CONCRETE CURB (NORTH ALLEN)
NOT TO SCALE



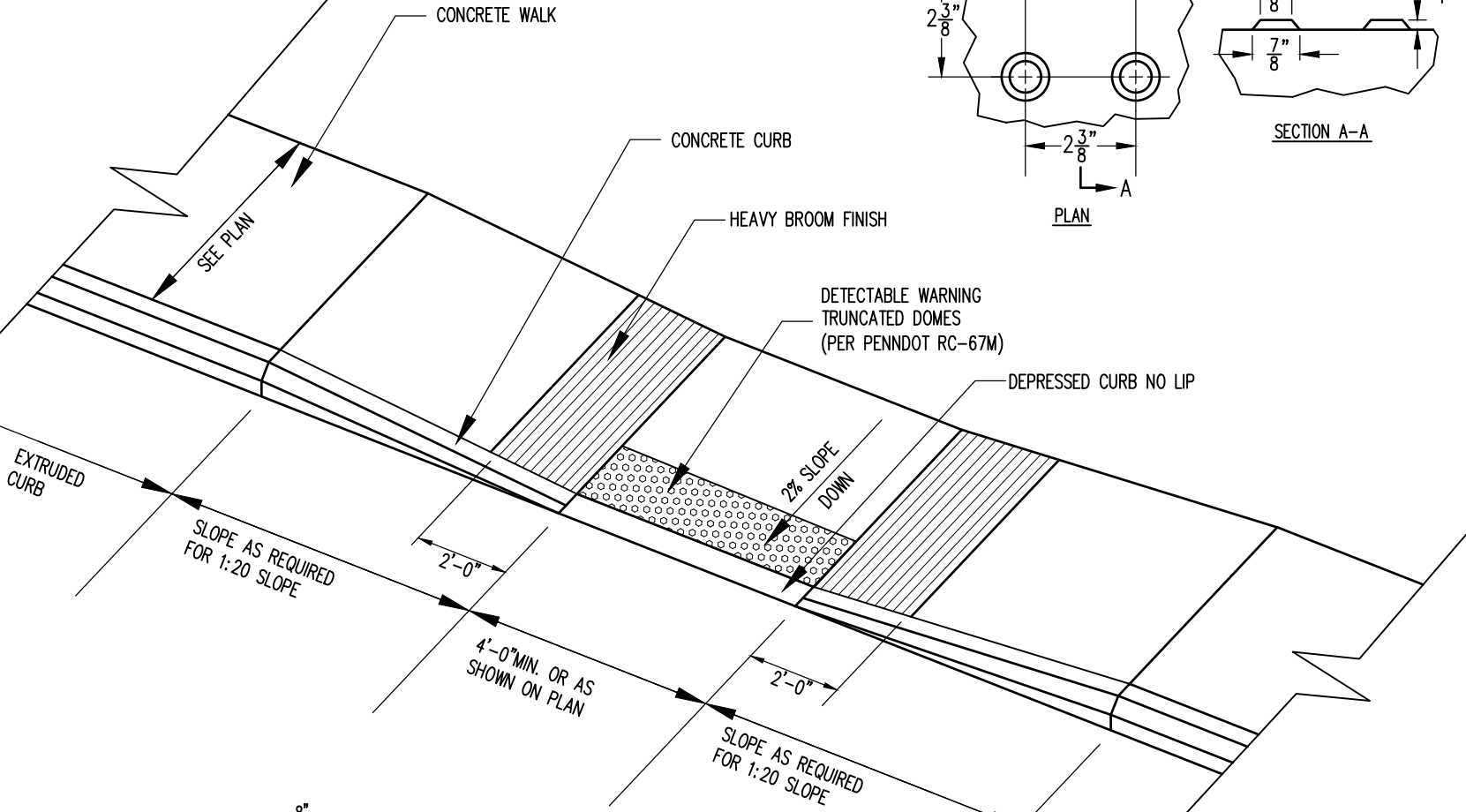
MONOLITHIC SIDEWALK & CURB 5' WIDE (NORTH ALLEN)
NOT TO SCALE



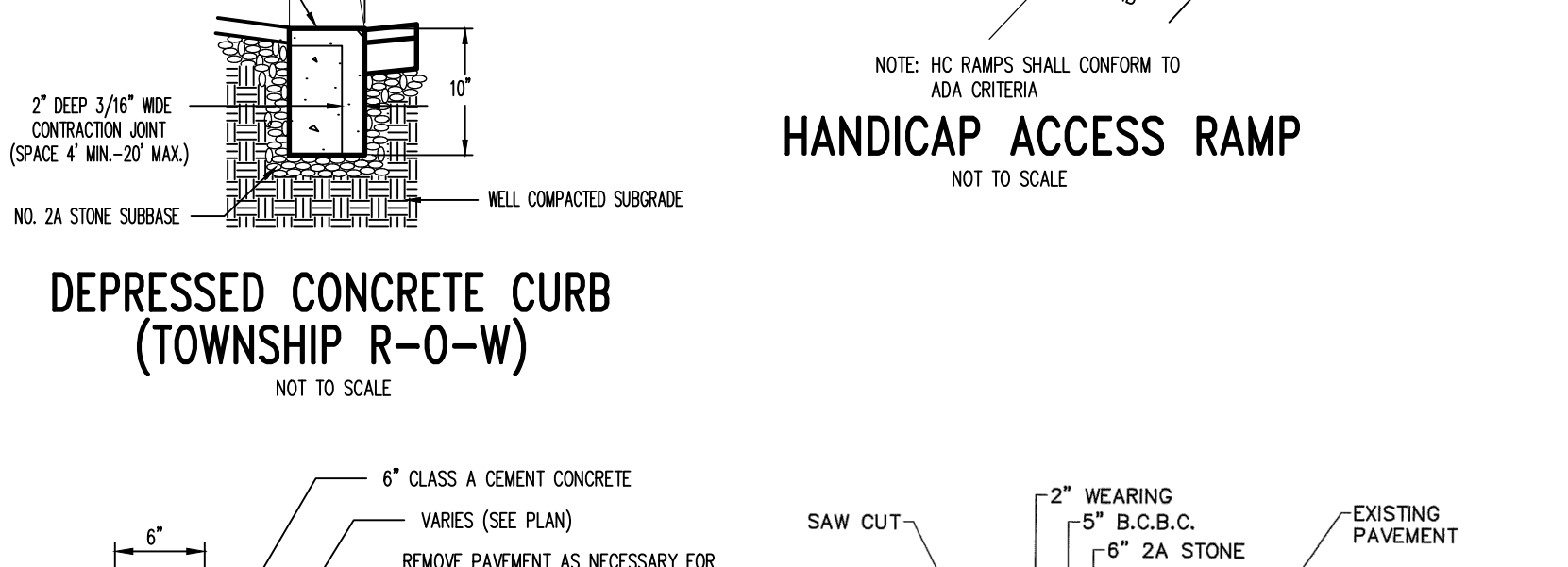
ON-SITE CONCRETE CURB
NOT TO SCALE



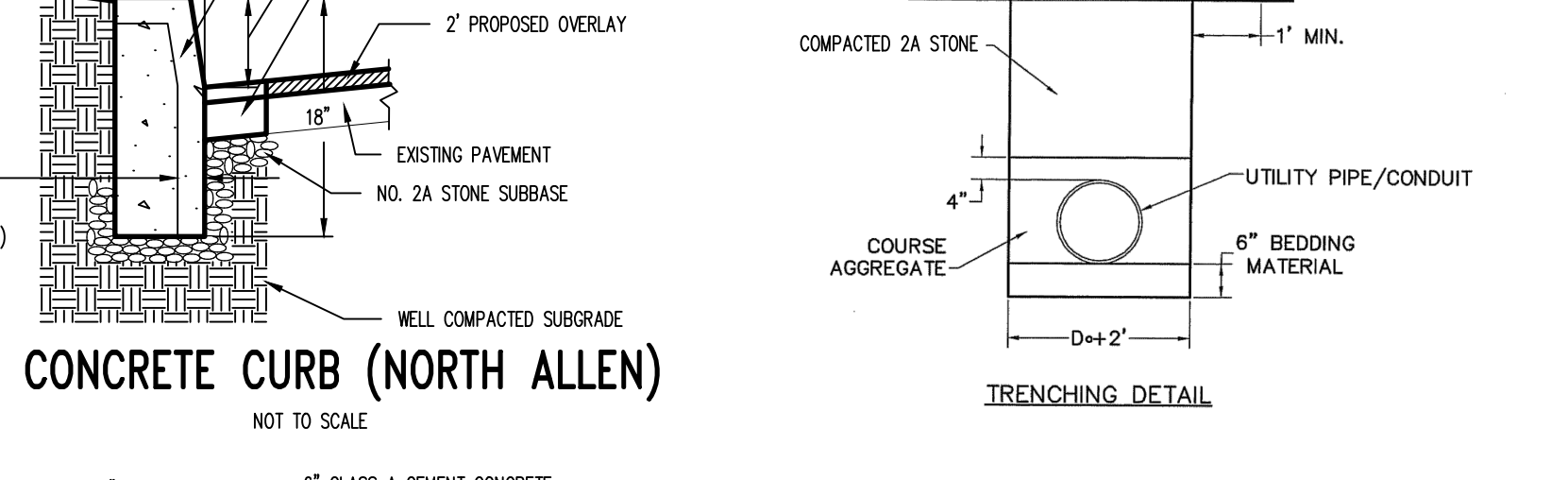
HANDICAP RAMP DETAIL
NOT TO SCALE



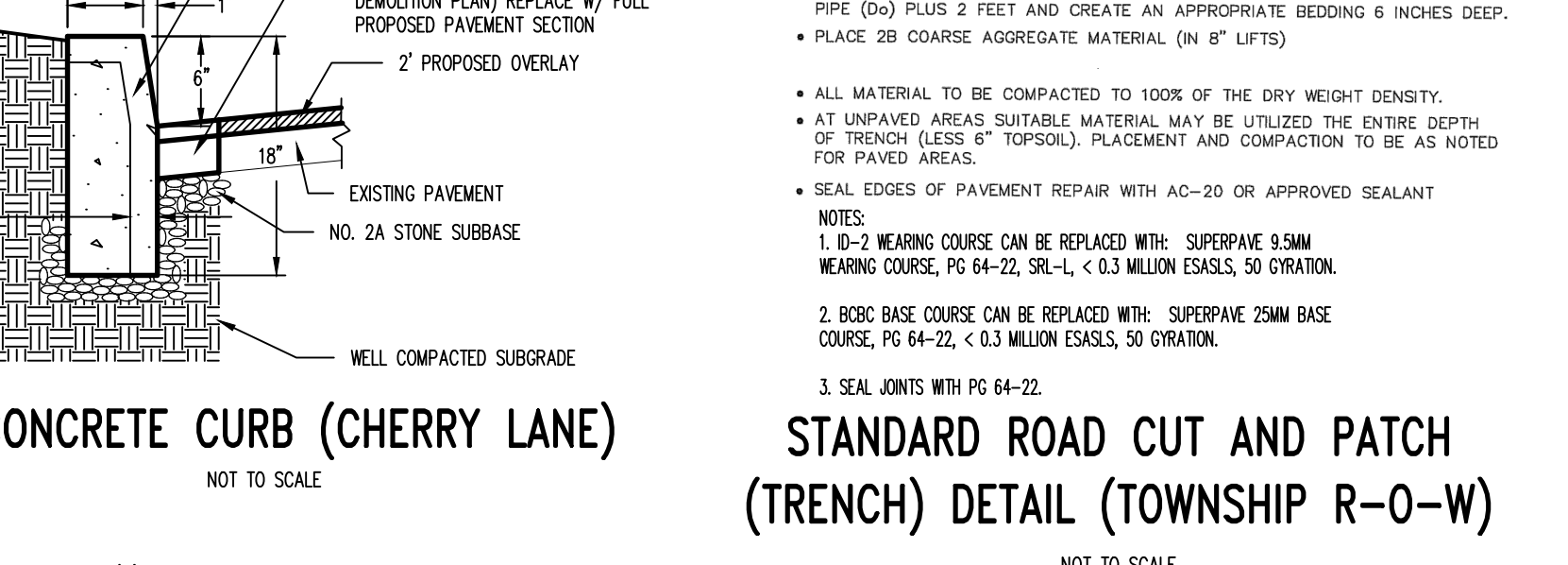
HANDICAP ACCESS RAMP
NOT TO SCALE



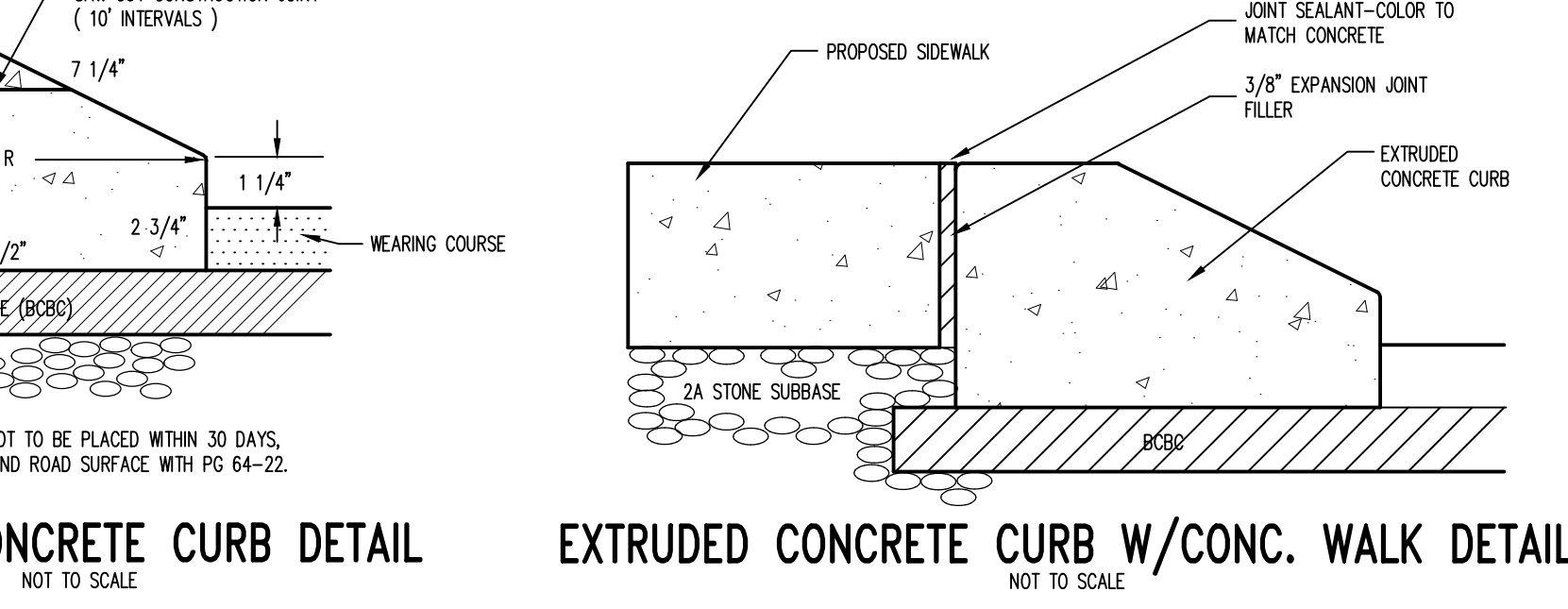
DEPRESSED CONCRETE CURB (TOWNSHIP R-0-W)
NOT TO SCALE



6" CONCRETE CURB (CHERRY LANE)
NOT TO SCALE



STANDARD ROAD CUT AND PATCH (TRENCH) DETAIL (TOWNSHIP R-0-W)
NOT TO SCALE

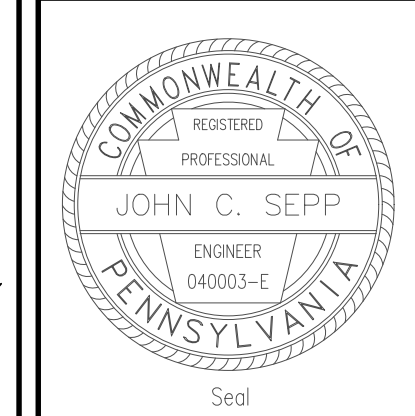


EXTRUDED CONCRETE CURB DETAIL
NOT TO SCALE

PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

WWW.PENNTERRA.COM
COPYRIGHT 2019 BY THE ENGINEER
THE INFORMATION CONTAINED HEREIN MAY NOT BE USED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER EXCEPT AS OTHERWISE PROVIDED BY APPROPRIATE LAWS OR STATUTES.



DESIGNER: RRRK
DRAFTSMAN: JDB
PROJ/MANAGER: JCS
SURVEYOR: ---
PERMETER CK: ---
BOOK: --- Pg. ---
DRAWN: Layout 10/24/19-DISTR-DETAILS
ACCD: CNSTR-DETAILS-24"x36"

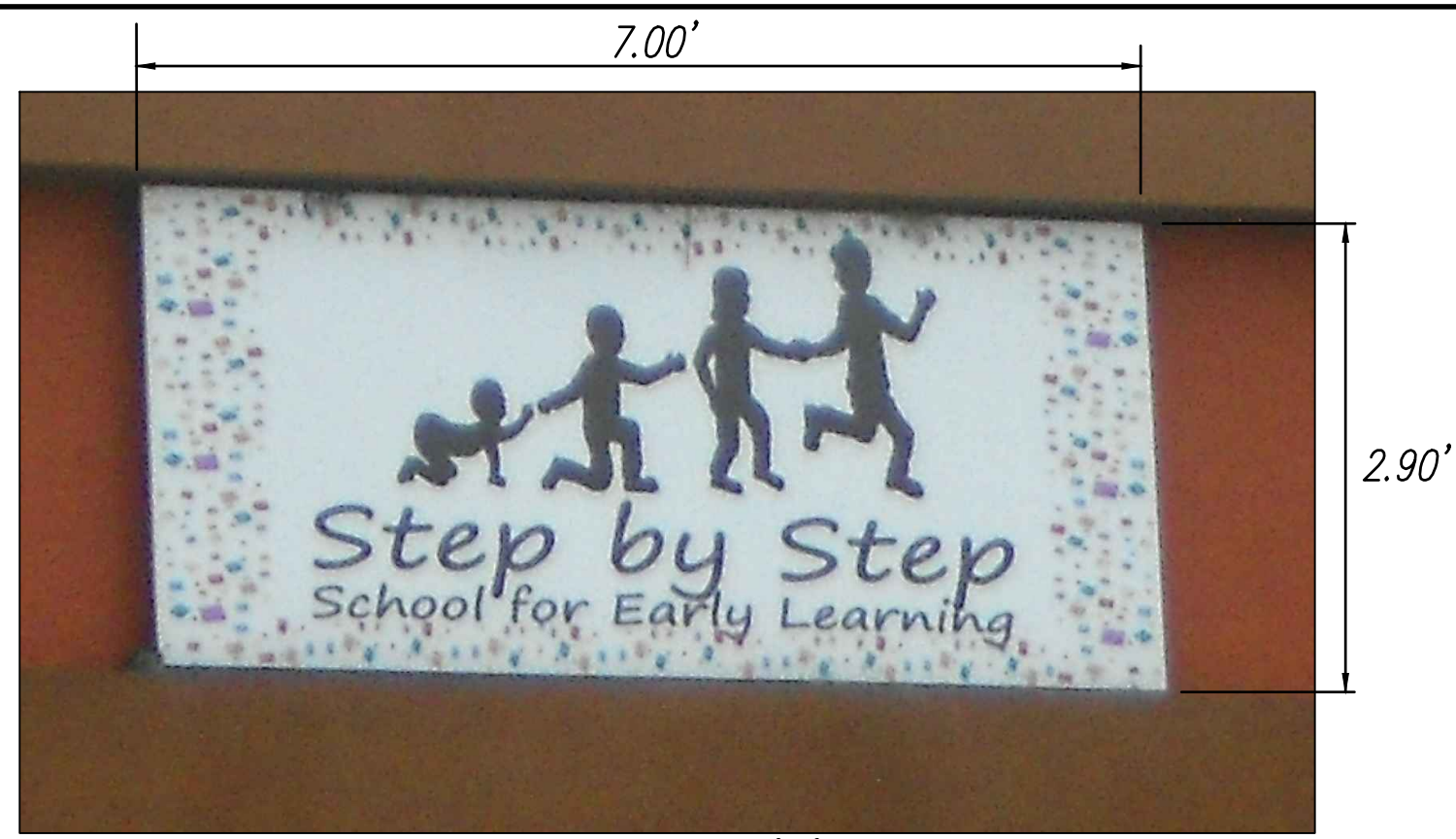
12-3-19 REVISION PER TWP COMMENTS
M1
11-1-19 REVISION PER TWP COMMENTS
M1
DATE: Description
REVISIONS

WEST CHERRY LANE MULTI USE BUILDING
FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

GENERAL CONSTRUCTION DETAILS

PROJECT NO. 16094.01
DATE: SEPTEMBER 12, 2019
SCALE: N.T.S. SHEET NO. 11



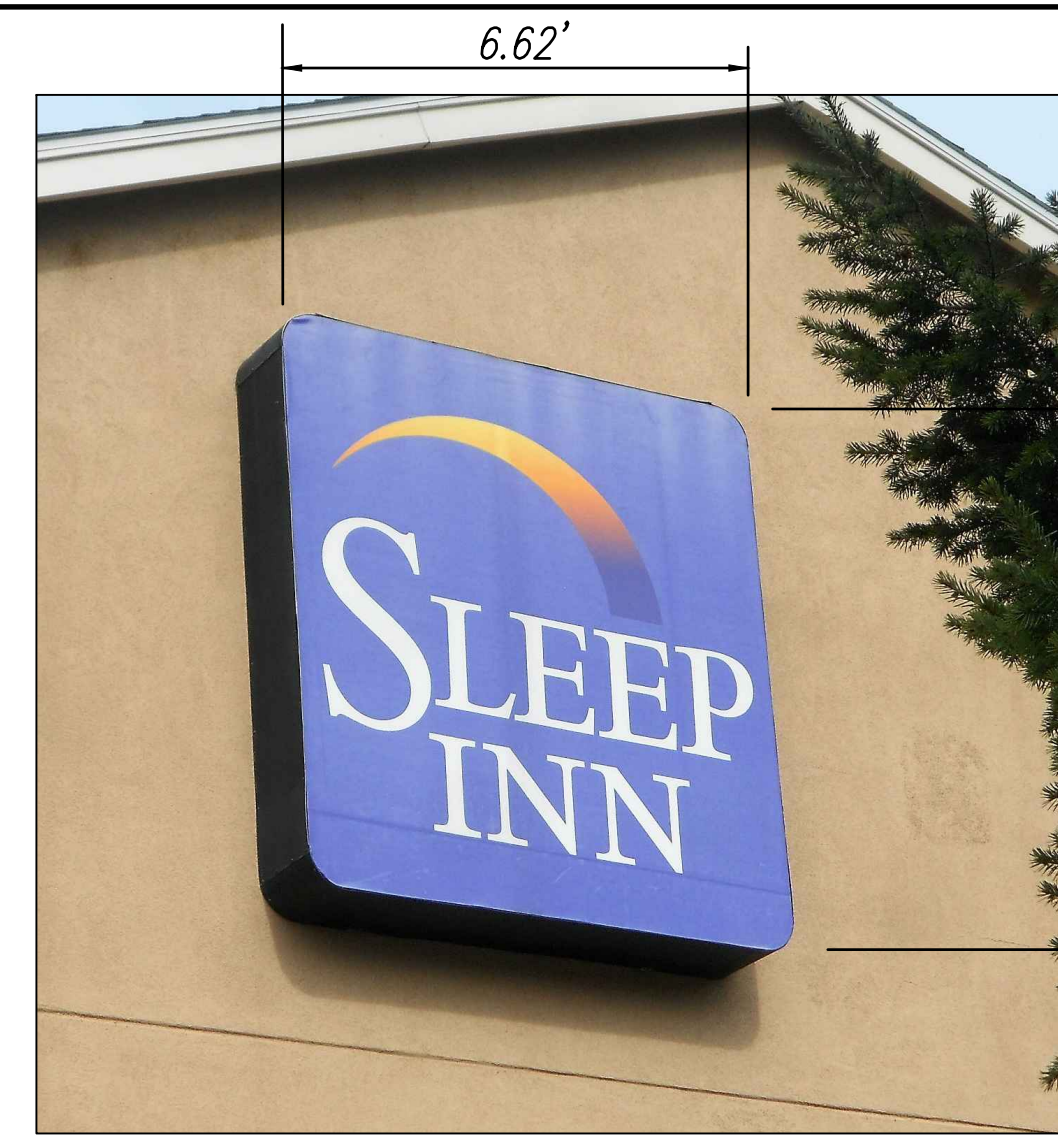
EXISTING SIGN 'A'
NOT TO SCALE
STEP BY STEP WALL SIGN
2.90' HEIGHT
20.30 SF
MATERIAL: PLASTIC



EXISTING SIGN 'B'
NOT TO SCALE
DIRECTIONAL SIGN
4.70' HEIGHT
6.45 SF
MATERIAL: PLASTIC/METAL



EXISTING SIGN 'C'
NOT TO SCALE
COMFORT SUITES WALL SIGN
5.35' HEIGHT
59.76 SF
MATERIAL: PLASTIC/METAL



EXISTING SIGN 'D'
NOT TO SCALE
SLEEP INN WALL SIGN
7.20' HEIGHT
47.66 SF
MATERIAL: PLASTIC/METAL



EXISTING SIGN 'E'
NOT TO SCALE
GROUND POLE SIGNS
24.20' HEIGHT
MATERIAL: PLASTIC/METAL



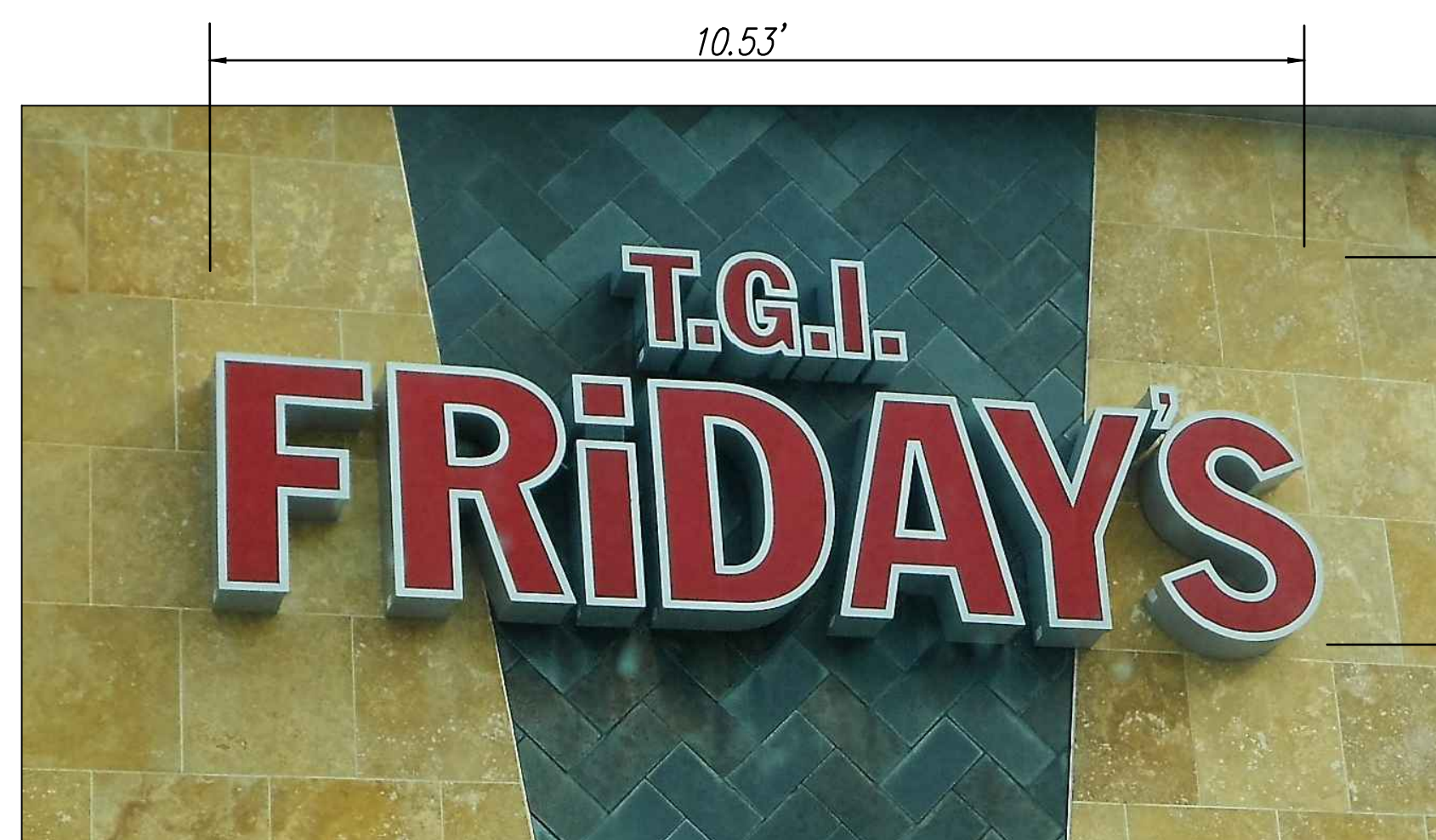
EXISTING SIGN 'F'
NOT TO SCALE
SLEEP INN WALL SIGN
10.35' HEIGHT
98.64 SF
MATERIAL: PLASTIC/METAL



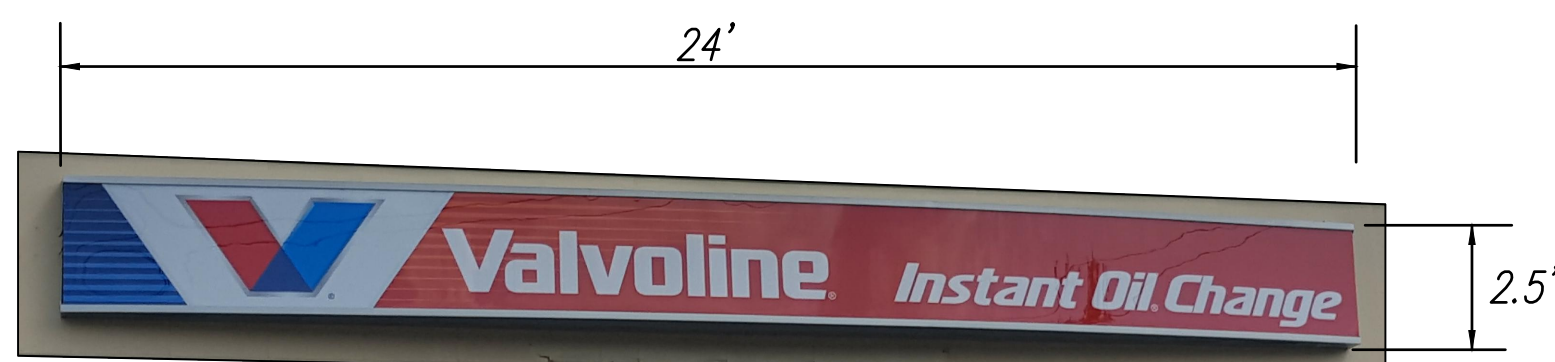
EXISTING SIGN 'G'
NOT TO SCALE
DIRECTIONAL SIGN
3.05' HEIGHT
3.88 SF
MATERIAL: PLASTIC/METAL



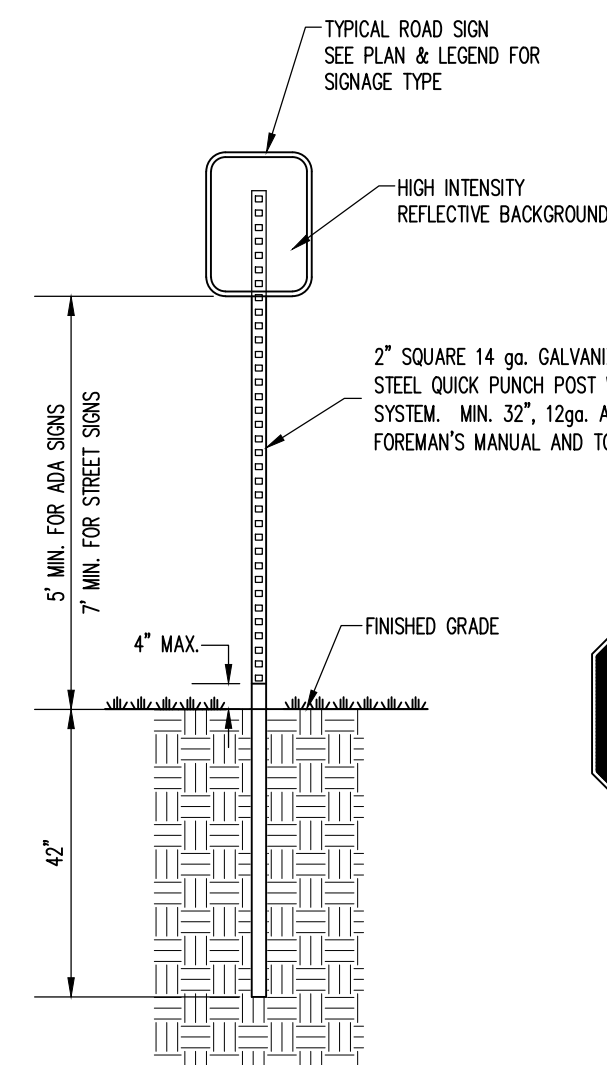
EXISTING SIGN 'H'
NOT TO SCALE
T.G.I. FRIDAY'S WALL SIGN
5.50' HEIGHT
43.73 SF
MATERIAL: PLASTIC/METAL



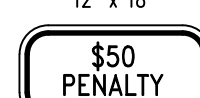
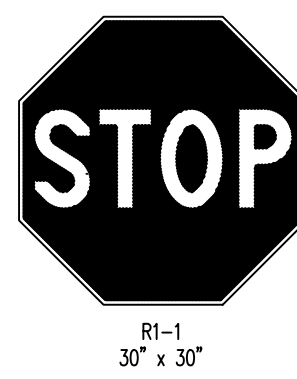
EXISTING SIGN 'I'
NOT TO SCALE
T.G.I. FRIDAY'S WALL SIGN
3.62' HEIGHT
38.12 SF
MATERIAL: PLASTIC



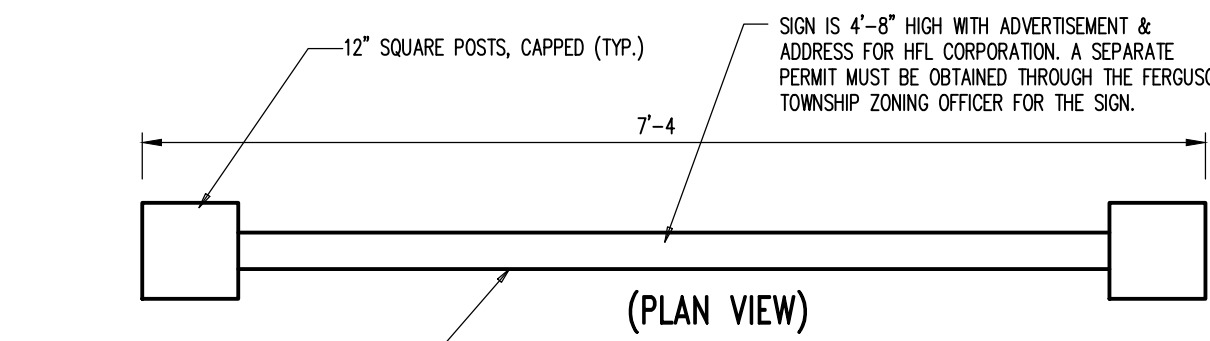
EXISTING SIGN 'J'
NOT TO SCALE
VALVOLINE INSTANT OIL CHANGE SIGN
2.5' HEIGHT
60 SF
MATERIAL: PLASTIC/METAL



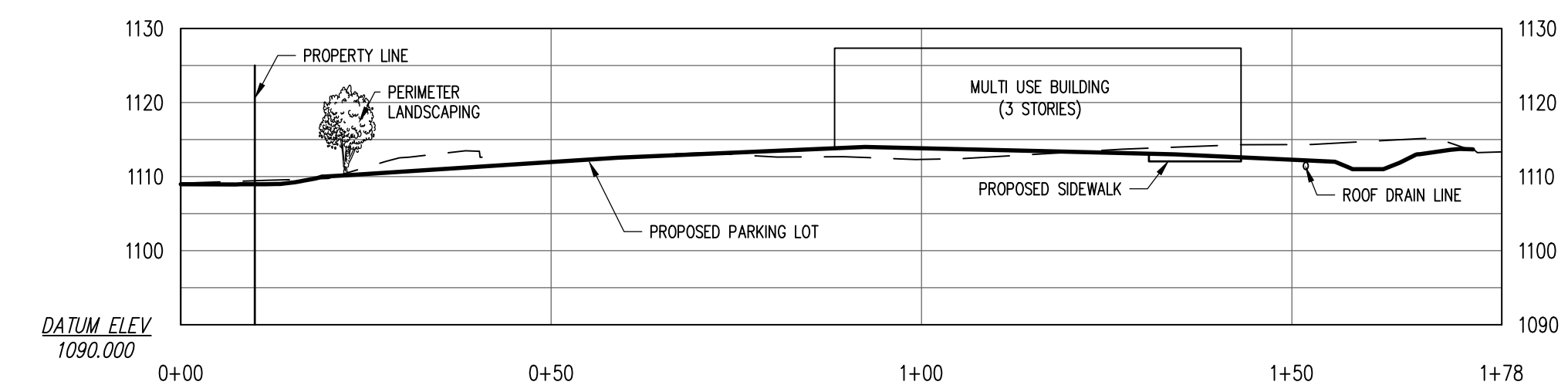
SIGN POST DETAIL
NOT TO SCALE



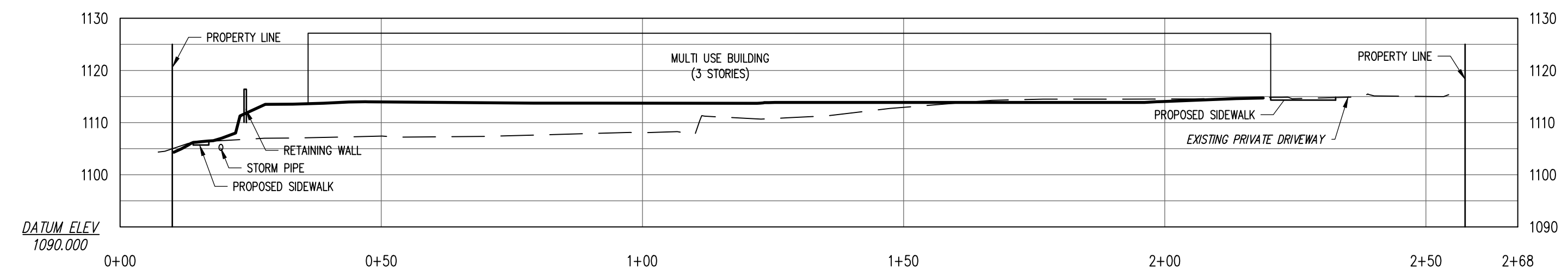
STREET SIGN DETAILS
NOT TO SCALE



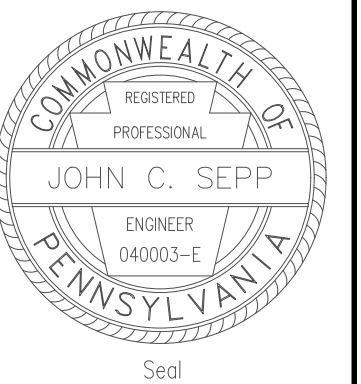
PROPOSED HFL CORPORATION ENTRANCE SIGN
NOT TO SCALE



SITE CROSS SECTION B-B (SOUTH FRONT YARD TO NORTH FRONT YARD)



SITE CROSS SECTION A-A (WEST SIDE YARD TO EAST SIDE YARD)



Designer	RRK
Draftsman	JDB
Proj Manager	JCS
Surveyor	----
Perimeter Ck.	----
Book	---- Pg. ----
Drive	Layout 1004-10-18-19-20-21-22
Acad	X-SECS AND SIGN DETAILS-2019

12-3-19	REVISED PER TWP COMMENTS
11-1-19	REVISED PER TWP COMMENTS
10-1-19	REVISED PER TWP COMMENTS
Date	Description
	REVISIONS

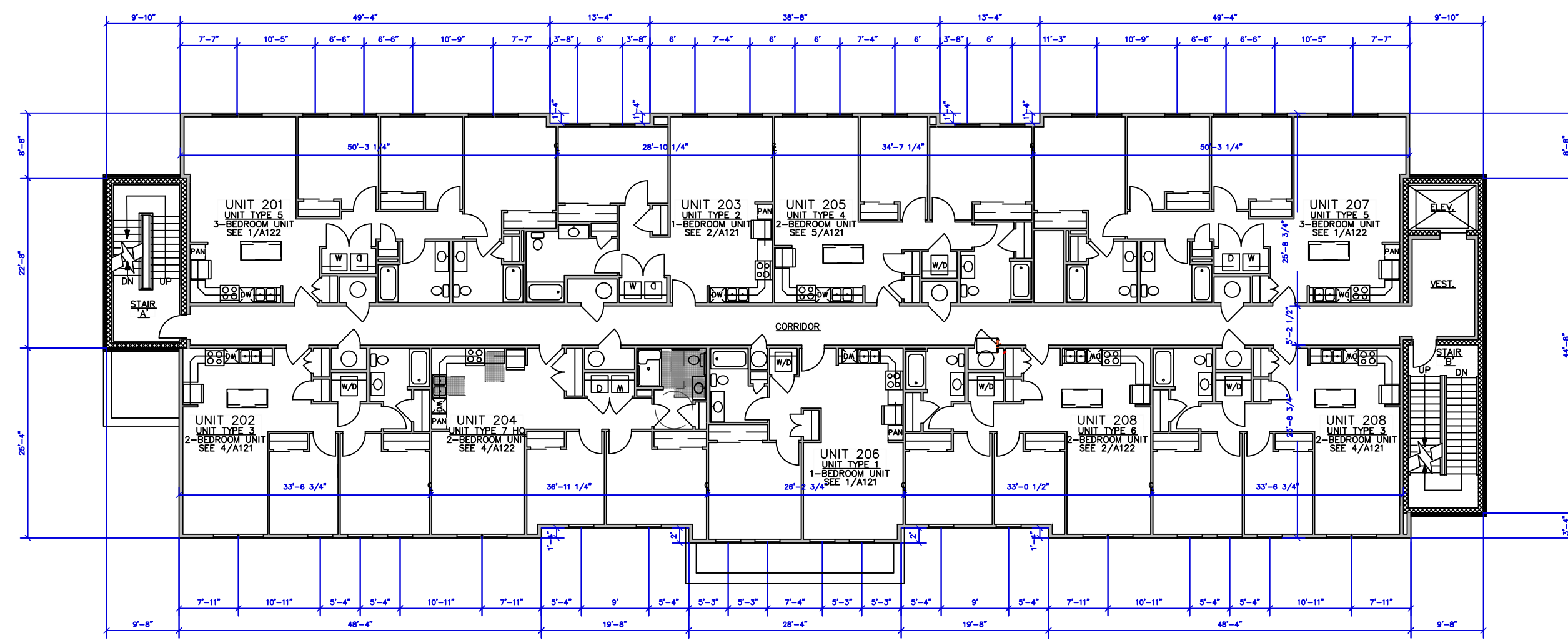
WEST CHERRY LANE MULTI USE BUILDING

FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

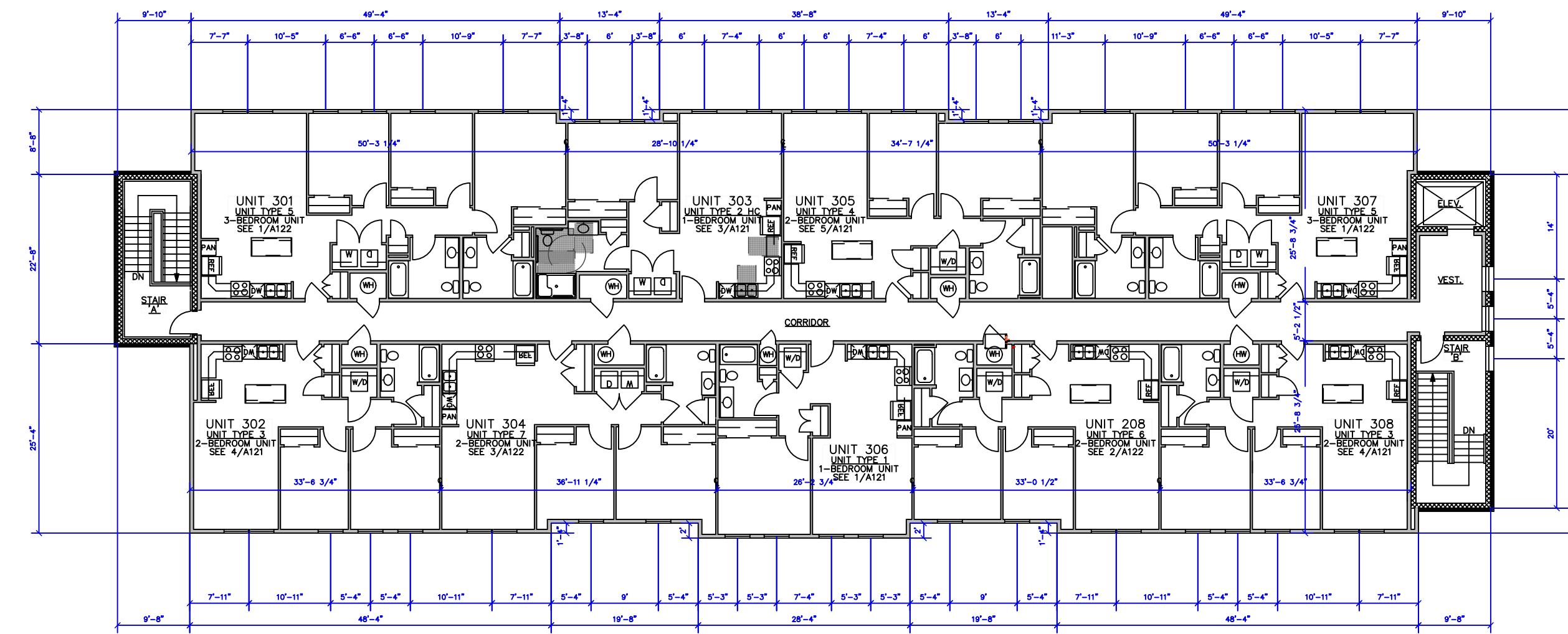
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

SITE CROSS SECTIONS & SIGN DETAILS

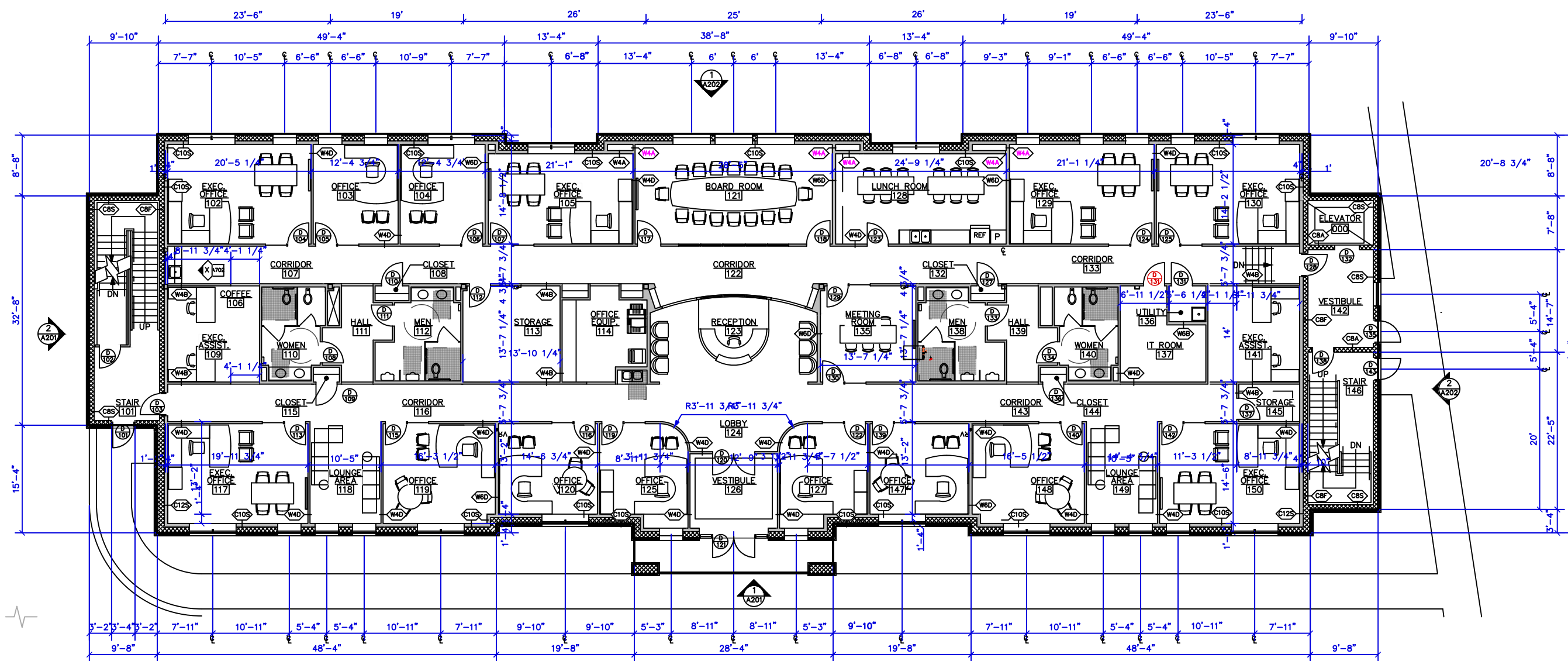
PROJECT NO.	16094.01
DATE	SEPTEMBER 12, 2019
SCALE	N.T.S.
SHEET NO.	12



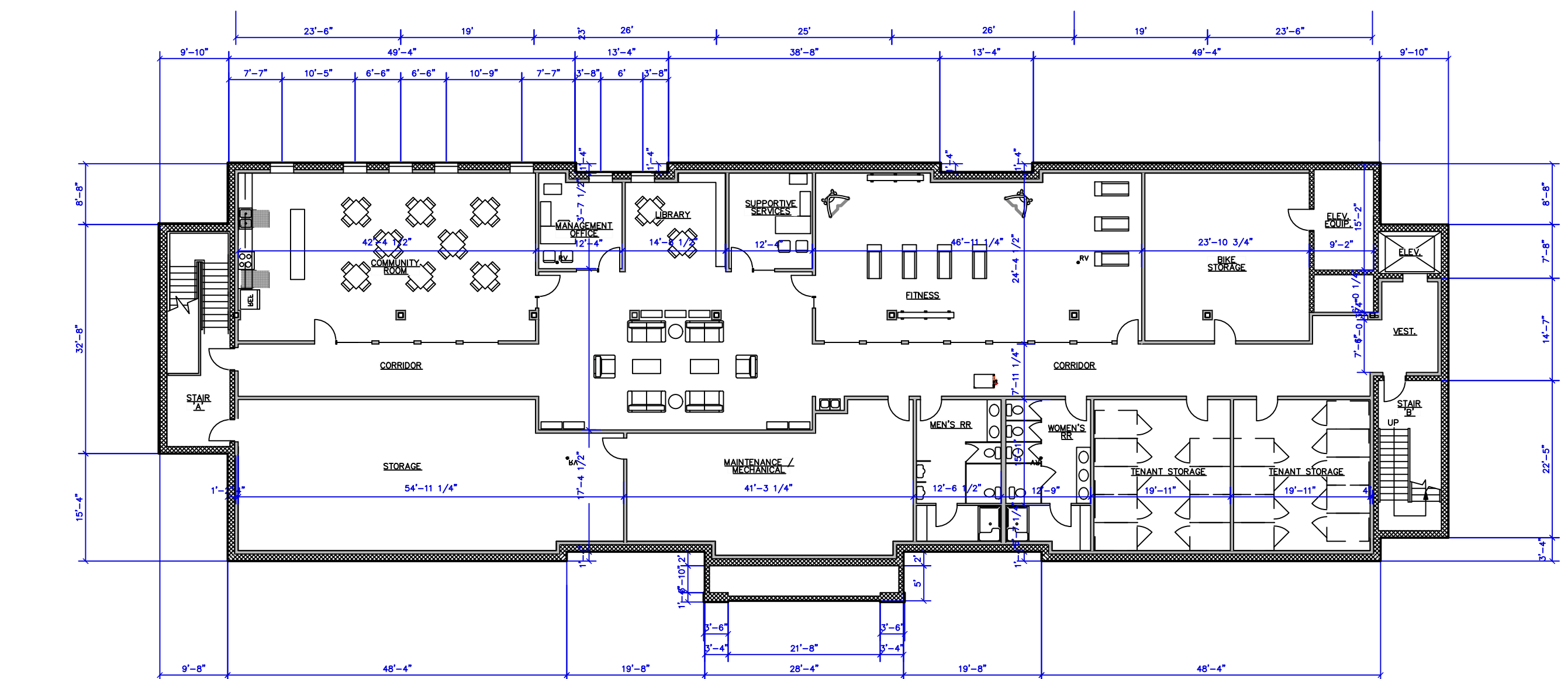
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



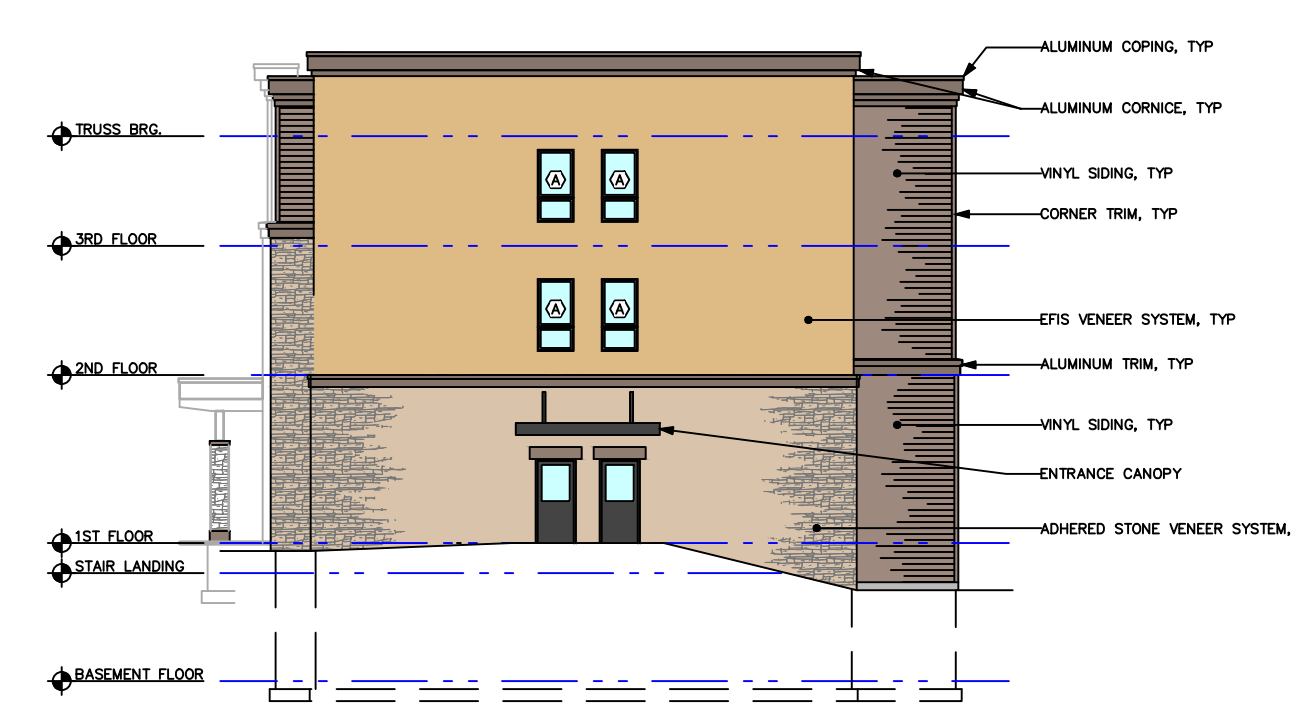
BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



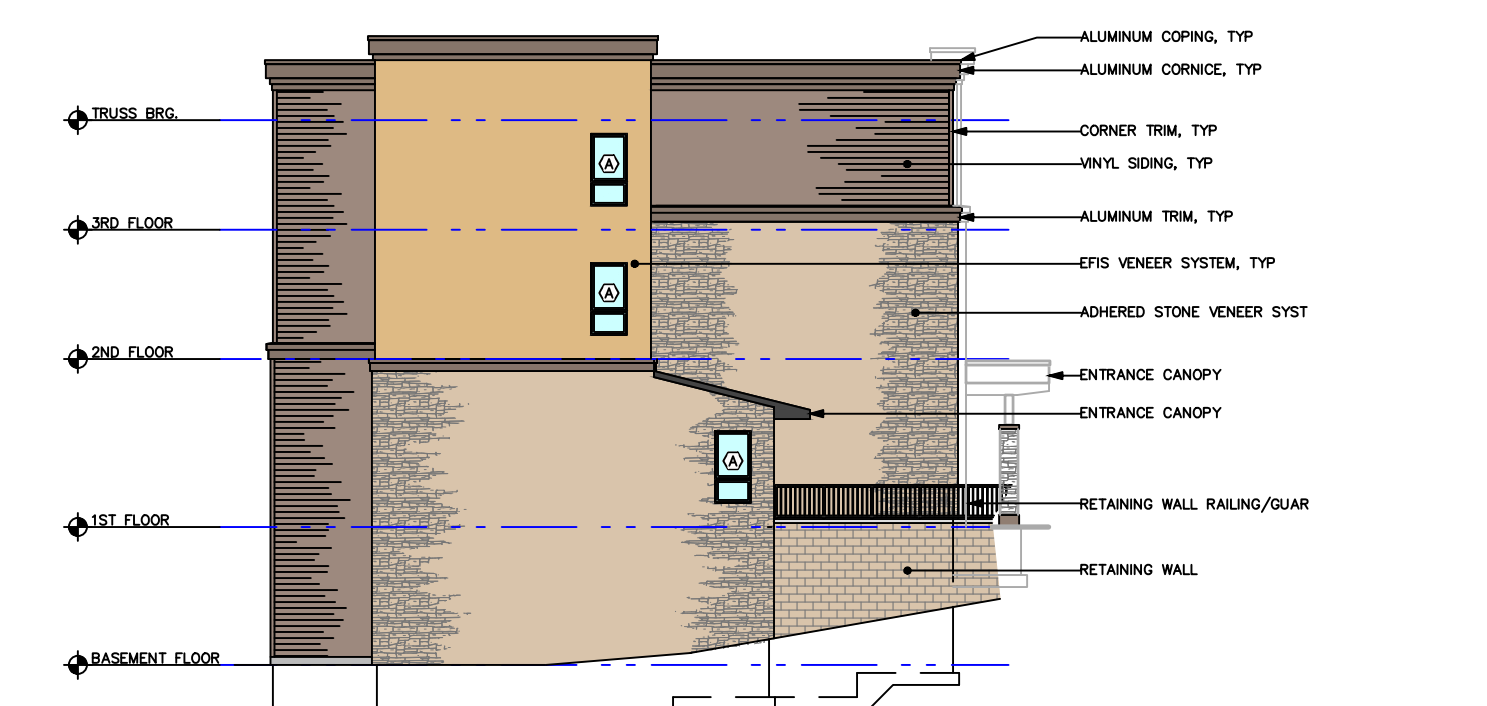
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

Designer: RRK
Draftsman: JDB
Proj Manager: JCS
Surveyor: _____
Perimeter Ok: _____
Book: _____ Pg: _____
Draw: LAYOUT 16094-A1-ARCH
Acad: 24X36 (S)

Date	Description	REVISIONS
12-3-19	REVISED PER TWP COMMENTS	MW
11-1-19	REVISED PER TWP COMMENTS	MW

WEST CHERRY LANE MULTI USE BUILDING
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

BUILDING ARCHITECTURAL PLANS

VILLAGE DRIVE - MIXED USE BUILDING
STATE COLLEGE, PA

UpStreet Architects, Inc.®

541 PHILADELPHIA STREET PHILADELPHIA, PA 19106
PHONE (724) 349-2520 INDIANA, PA 15701 FAX (724) 349-5779 175003

PROJECT NO. 16094.01
DATE: SEPTEMBER 12, 2019
SCALE: AS SHOWN SHEET NO. **A1**

BYLAWS AND RULES OF PROCEDURE OF THE FERGUSON TOWNSHIP PLANNING COMMISSION

Article I. Name

The name of this commission shall be the Ferguson Township Planning Commission.

Article II. Enabling Authority

The Ferguson Township Planning Commission is established by the Home Rule Charter, Article VI, Section 6.02, Ferguson Township Municipal Code, Chapter 1, Part 4.A, Section 1-402, Part 4.B. and the Municipalities Planning Code of the Commonwealth of Pennsylvania, Article II, Section 201.

Article III. Purpose

As defined in Article II, Section 209.1 of the Municipalities Planning Code of the Commonwealth of Pennsylvania, the duties and responsibilities of the Ferguson Township Planning Commission shall be as follows:

1. The Planning Commission shall at the request of the governing body have the power and shall be required to:
 - a. Prepare the comprehensive plan for the development of the municipality and present it for the consideration of the governing body.
 - b. Maintain and keep on file records of its action. All records and files of the planning agency shall be in the possession of the governing body.
2. The Planning Commission at the request of the governing body may:
 - a. Make recommendations to the governing body concerning the adoption or amendment of an official map.
 - b. Prepare and present to the governing body of the municipality a zoning ordinance and make recommendations to the governing body on proposed amendments.
 - c. Prepare, recommend and administer subdivision and land development and planned residential development regulations.
 - d. Promote public interest in, and understanding of, the comprehensive plan and planning.
 - e. Make recommendation to governmental, civic and private agencies and individuals as to the effectiveness of the proposals of such agencies and individuals.
 - f. Hold public hearings and meetings.
 - g. Present oral or written comments before any board.
 - h. Require from other departments and agencies of the municipality such available information as relates to the work of the planning agency.
 - i. Review the zoning ordinance, subdivision and land development ordinance, official map, provision for planned residential development, and such other ordinances and regulations governing the development of land no less frequently than it reviews the comprehensive plan.

Article IV. Membership

1. The Planning Commission shall consist of seven members, each of whom shall be full-time residents and qualified electors of the Township. Each of the three wards of the Township shall be represented by at least one resident member so that at the time when the Board of Supervisors considers an appointment, if the currently serving members of the Planning Commission are from only two wards, then the members to be appointed must be from the unrepresented ward; provided, however, in the event that there shall not be a person who resides in the unrepresented ward who is willing to serve, then after a period of 60 days, the Board of Supervisors may appoint a person from a ward other than the unrepresented ward.
2. Each member of the Planning Commission shall be appointed for a term of four years.
3. The term of not more than two members shall expire each year.
4. Should a vacancy occur, the Board of Supervisors shall appoint a member to fill the vacancy only for the unexpired portion the term. Such appointment shall be made within a period of 60 days after the vacancy occurs.
5. The Board of Supervisors may appoint by resolution at least one but no more than three residents of the Township to serve as alternate members of the Planning Commission. The term of office of an alternate member shall be four years. Alternates shall be governed by Article II of the Pennsylvania Municipalities Planning Code. Alternates shall not serve as a member of the Zoning Hearing Board or as a Zoning Administrator. Any alternate may participate in any proceeding or discussion of the Commission but shall not be entitled to vote as a member of the Commission nor be reimbursed pursuant to Section 202 of the Pennsylvania Municipalities Planning Code unless designated as a voting member pursuant to Section 207 of the Pennsylvania Municipalities Planning Code.

Article V. Officers

1. The reorganizational meeting of the Planning Commission shall take place on the first meeting in January of each year in the Ferguson Township Municipal Building. The Commission shall elect from its voting members a Chair, Vice-Chair, and Secretary.
2. The Planning Commission Chair shall be the person responsible for the overall conduct of the meeting. The Chair shall assure and promote the use of these bylaws and procedures. Copies of this document shall be made available by request.
3. In the absence of the Planning Commission Chair, the Vice-Chair shall assume the duties of the Chair. In the absence of the Chair and Vice-Chair the remaining members shall choose an acting Chair.

Article VI. Meetings

1. The Planning Commission shall always allow for public comment at the beginning of any meeting by announcing "if the public has any comment regarding anything that is NOT on the agenda, they may speak now by raising their hand". It will also be stated that there will be time for the public to speak with regard to specific items on the agenda, when those items come up.

2. The Chair shall always ask for the following from anyone who is speaking before the Planning Commission:
 - a. Full name
 - b. Address
 - c. Reason for speaking
3. The Planning Commission shall have the ability to limit the public from presenting redundant information that has been previously discussed. If redundant information is presented, the Chair may interject and state that the information was redundant. The Secretary shall record in the minutes that the information was redundant.
4. The Planning Commission shall have the ability to limit public presentations with regard to any subject to a total of five (5) minutes per subject, per person. The Chair shall direct the Secretary to act as a time keeper in order to establish consistency and fairness.
5. The Chair shall be responsible for calling recesses as needed.
6. The Chair shall be allowed to re-configure the meeting agenda as is deemed necessary prior to the beginning of the meeting, after consultation with Staff. The change shall be announced to all in attendance.
7. Presentation by Developers and other participants shall be limited to no longer than 45 minutes per meeting for each agenda item and all representatives of applicant shall be introduced at the start of the presentation.
8. The Planning Commission shall retain the right to ask for a continuance on any matter and to inquire as to whether a Developer is willing to request a Time Limit Date extension. The Planning Commission shall always consult with Staff regarding any Time Limit Date matters
9. The Chair shall ask Developers and other participants to refrain from approaching the table where the Planning Commission is seated. Likewise, Developers and other participants shall always ask for permission to approach the Planning Commission table for presentation of additional materials. If it is necessary for someone to approach the Planning Commission table, it is important that they be directed back to the podium prior to continuing to discuss the matter at hand. This will help promote openness for all matters and will help insure that all can hear the proceedings that occur.
10. Any Planning Commission member that has a conflict of interest with any agenda item shall notify the Chair and the Director of Planning and Zoning of the intent to abstain by email or in person, prior to the start of a meeting. Any Planning Commission member who desires to abstain, shall state such abstention prior to the beginning of any presentation for such item. Abstention due to a conflict of interest shall mean that the Planning Commission member shall not participate with regard to that particular agenda item.
11. Any Planning Commission member can choose to abstain from discussing or voting on any matter for any other reason. Such abstention does not need a stated reason, nor any previous notice given.
12. A vote of the Planning Commission shall be considered as passed after receiving a majority of the members that are voting on any matter.

Article VII. Minutes

Planning Commission minutes shall be prepared by the Recording Secretary. Generally, minutes shall contain a brief synopsis of the discussion, include a complete restatement of any motion made and record of votes; and record of attendance. The Secretary of the Commission shall sign the minutes once approved by the Commission.

Article VIII. Open Meetings and Right to Know Provisions

1. All Planning Commission meetings shall be conducted in accordance with the applicable provisions of the Pennsylvania Sunshine Act, as may be amended.
2. All business conducted by the Planning Commission and any and all documents are subject to the provisions of the Pennsylvania Right to Know Law, as may be amended.

Article IX. Amendments

These bylaws may be amended from time to time by the Ferguson Township Planning Commission, recognizing that no such amendment shall supersede the relevant provisions of the Ferguson Township Code of Ordinances.

These Bylaws and Rules of Procedure are hereby adopted this _____ day of January, 2020.

Chair: _____

Secretary: _____