



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

FERGUSON TOWNSHIP PLANNING COMMISSION REGULAR MEETING AGENDA Monday, October 14, 2019 6:00 PM

I. CALL TO ORDER

II. CITIZEN INPUT

III. HARPSTER LOT ADDITION SUBDIVISION

On September 6, 2019 Mease Associates, Inc., submitted The Lot Addition to Lands of Genia Harpster con behalf of their client. The Lot is located at 2873 Tadpole Road, Tax Parcel 24-006-,004B,0000. The purpose of this plan is to take 1.0 acre from T.P. 24-006-,004-,0000- to the adjacent existing T.P. 24-006-,004B. The parcel is located within the Rural Agriculture (RA) zoning district. 150.08 acres of Parcel 24-006-,004-,0000- are deeded as an Agricultural Conservation Easement.

Staff Recommendation: The Planning Commission review and make initial comments on the proposed Lot Addition.

IV. WEST CHERRY LANE MULTI-USE BUILDING AND HCL LOT CONSOLIDATION

PennTerra Engineering, Inc., submitted The West Cherry Lane Multi Use Building Preliminary/Final Land Development Plan. The Multi-Use Building LDP is located at 114 West Cherry Lane, T.P. # 24-015-,038-,0000. The purpose of this plan is to construct a 9,954 square foot office (first floor) and work-force housing units (second and third floor) with related parking, utilities and amenities. A Lot Consolidation Plan, originally dated June 25, 2018 and resubmitted as September 12, 2019, of Tax Parcel 24-015-,058-, Tax Parcel 24-015-,057- and Tax Parcel 24-015-,038-,0000- was submitted upon which the West Cherry Lane Multi-Use Building is proposed.

Staff Recommendation: The Planning Commission review and make initial comments on the proposed Land Development Plan.

V. ZONING AND SALDO ORDINANCE FINAL DRAFT

On October 7, 2019, The Board of Supervisors reviewed the edits decided upon in a series of Special Meetings held by the Board to update the Zoning and Subdivision and Land Use Ordinances. The modifications are highlighted in the attached document. A copy of the full draft can be found by following the link below.

<https://www.dropbox.com/sh/cgoreavuhw70jwk/AABG0VmaqNVTEE0mdBkH7FEfa?dl=0>

Staff Recommendation: The Planning Commission review and make a recommendation to the Board of supervisors to approve the modifications.

- VI. OFFICIAL REPORTS AND CORRESPONDENCES**
 - A. BOARD OF SUPERVISORS REPORT**
 - B. CRPC REPORT**
 - C. LAND DEVELOPMENT PLANS**
 - D. STAFF UPDATES**
- VII. APPROVAL OF REGULAR MEETING MINUTES SEPTEMBER 9, 2019**
- VIII. ADJOURNMENT**

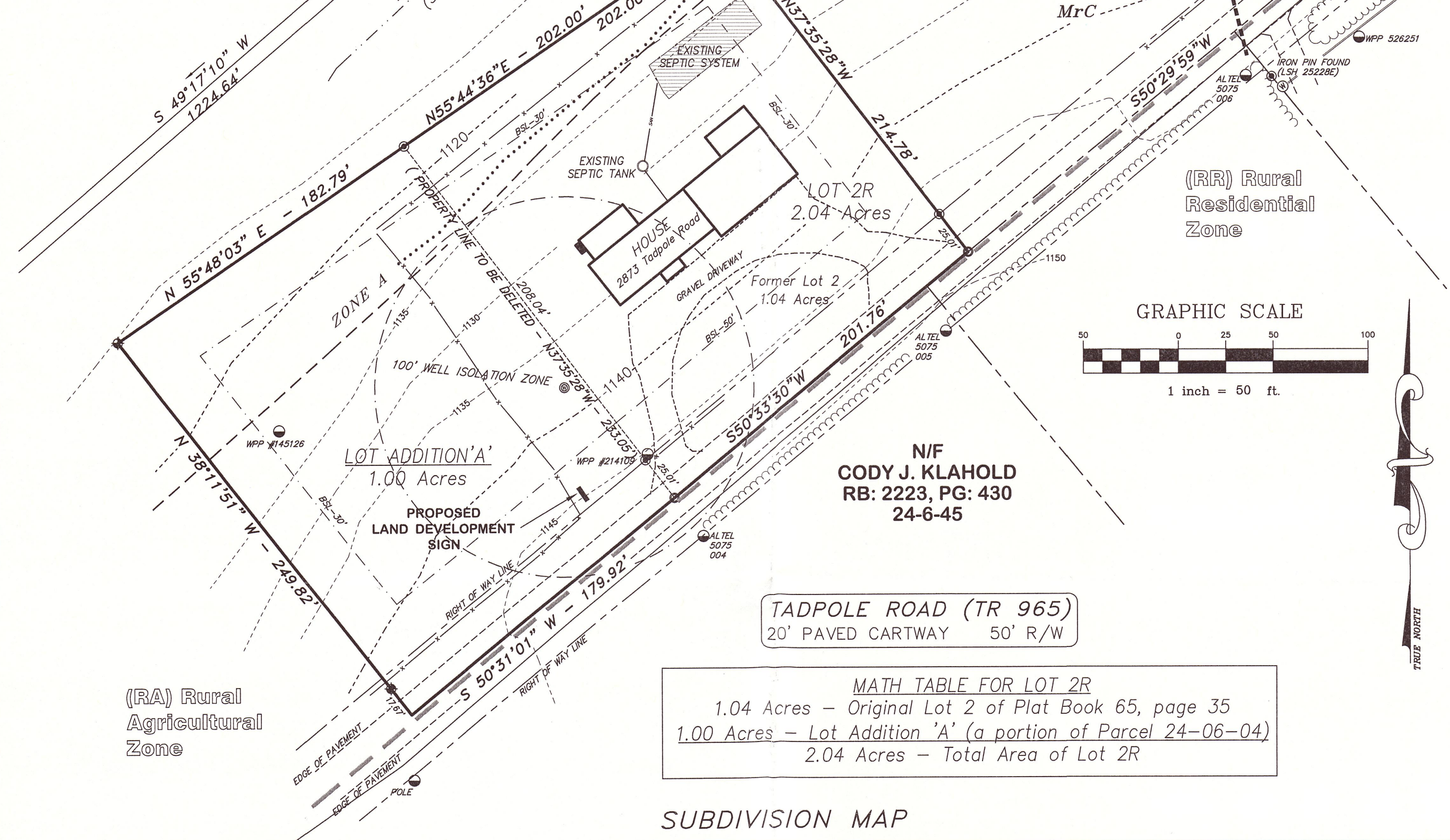
RECORDERS BLOCK

Recorded on the _____ day of _____,
within Centre County Plat Book _____ at page _____.

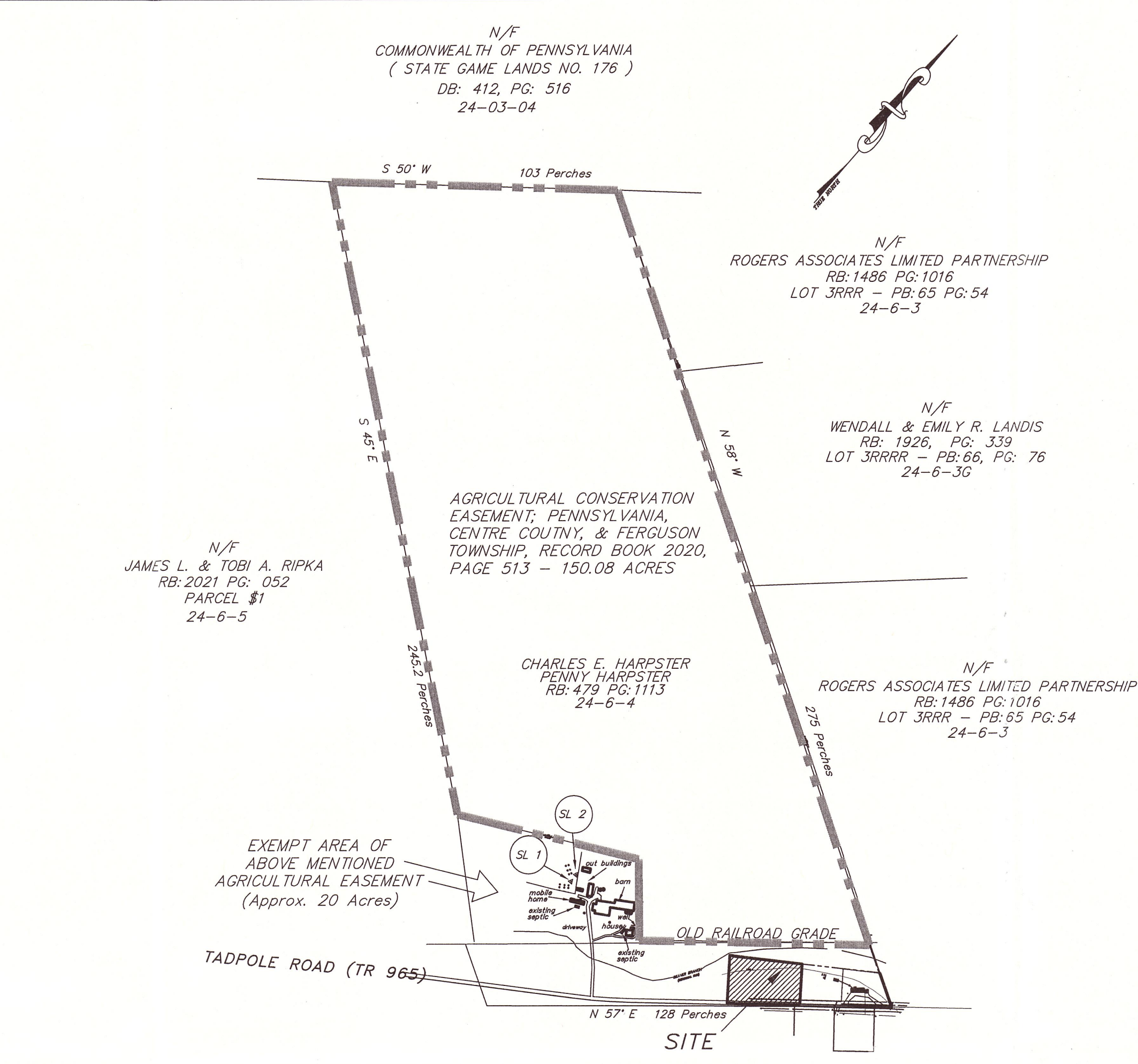
Recorder of Deeds

The Original Plan is the property of Mease Associates and is to be returned to said office after recording.

**TRACT RESIDUE
CHARLES E. HARPSTER
& PENNY HARPSTER
RB:479 PG:1113
24-6-4**



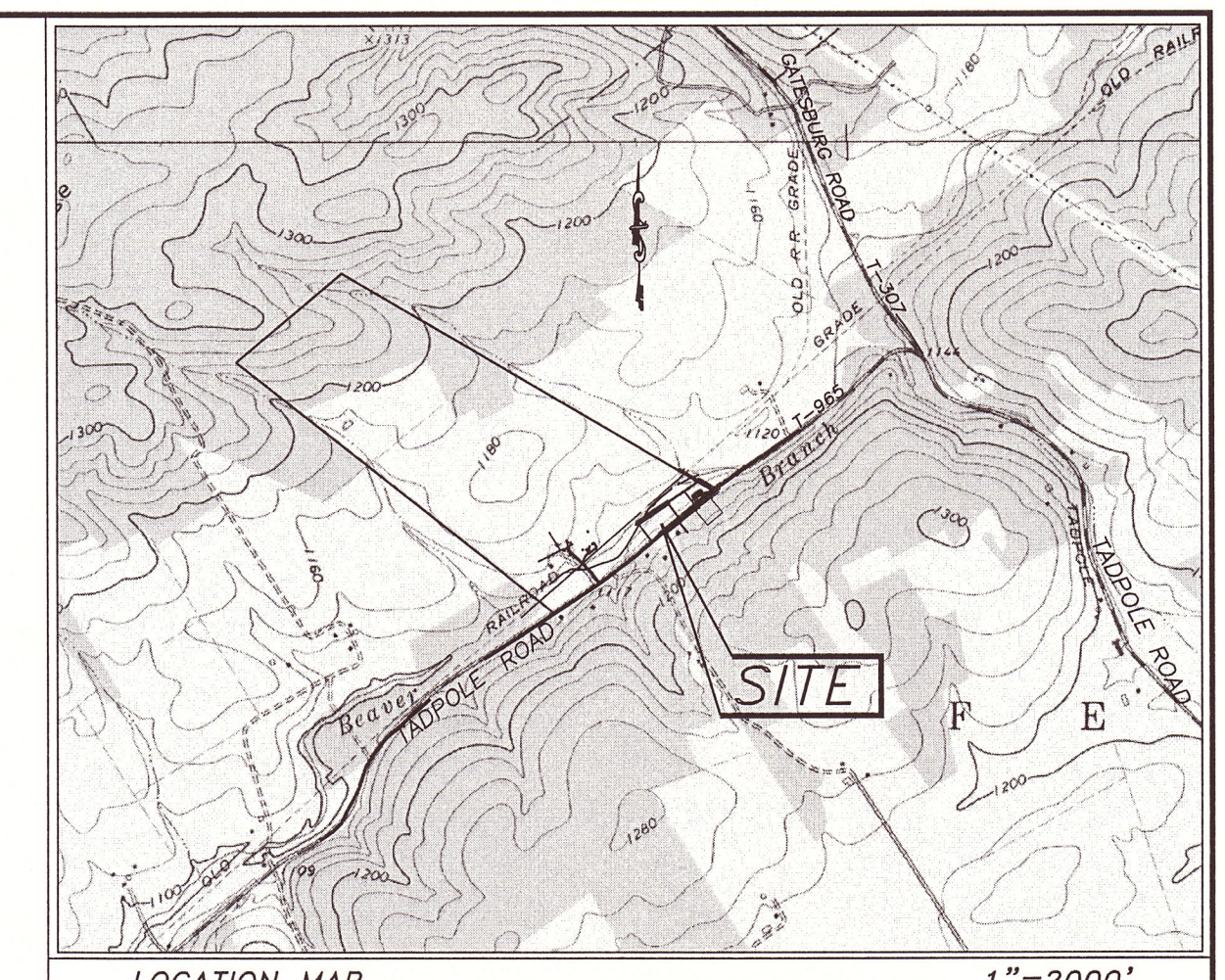
SUBDIVISION MAP



SOIL LOG DATA - TRACT RESIDUE

Soil Log #	Limiting Zone	Slope	Suitable/ Unsuitable
SL 1	72" LZ	4% slope	Suitable
SL 2	74" LZ	4% slope	Suitable

TRACT MAP per DEED PLOT



- NOTES**
- The contour lines plotted from USGS Mapping, Pine Grove Mills Quadrangle.
 - The Soil Mapping from the Centre County Soil Survey.
 - Building Setback Lines per RA Zone:
50' Front
30' Side
30' Rear
 - The location of man-made features on this plan are the approximate location of said feature unless a tie distance is indicated between the feature and the property line, or a property corner.
 - Owners recognize and acknowledge that one (1) single family detached dwelling is permitted on a lot of a minimum size of one (1) acre in the Rural Agricultural District, as a primary use for every fifty (50) acres of land which is in use other than for a single family detached dwelling. The land which is the subject of this plan constitutes 15.7 acres. There is a total of two (2) single family detached lots shown. Therefore upon any further subdivision of any lands contained in this plan, there may be no more than one (1) additional single family detached dwelling lots created.
 - No wetlands exist on the site per the National Wetlands Inventory Map.
 - Zone A, the Flood Hazard Area, is plotted per FEMA Mapping, Community-panel Number 420260 0010 C.
 - The buildings shown on this plan are existing, therefore there is no increase in stormwater flow created by the approval of this plan.
 - No well is to be placed within 100 feet of a sewage disposal area.
 - Previous Subdivisions:
Subdivision of Lands of Charles E. Harpster and Penny Harpster, Centre County Plat Book 65, Page 35.
 - DEP Sewage Planning for Lot 1, Lot 2 and Residue of the Subdivision of Lands of Charles E. Harpster and Penny Harpster was approved by DEP March 1, 2002, DEP Code #02-091, ASP #363769.
 - Deed of Agricultural Conservation Easement to the Commonwealth of Pennsylvania, A County And A Local Government Unit Jointly in Perpetuity recorded in Centre County Record Book 2020, Page 513.

SOIL TYPES

Ch - Chagrin soils
Mm - Melvin silt loam
MrC - Morrison sandy loam, 8 - 15% slopes

UTILITIES

Electric: Allegheny Power
2800 East College Avenue
State College, PA 16801
(800) 255-3443

Telephone: Alltel
East Penn Street
Muncy, PA 17756
(800) 255-8357

SITE DATA - TAX PARCEL 24-06-04

Tax Parcel No. : 24-6-4
Title Source : Record Book 479, Page 1113
Property Owner : Charles E. Harpster
Penny Harpster
Owner's Address : 2909 Tadpole Road
PA Furnace, PA 16865
Owner's Phone No. : 814-692-8715
Present Land Use : Residential/Agricultural
Proposed Land Use : Residential/Agricultural
Existing Water : On-Site existing
Existing Septic : On-Site existing
Zoning : RA - Rural Agricultural

SUBDIVISION DATA - RESIDUE
Total Number of Lots : One (1)
Total Area of Lots : 150.7 +/- Tract Residue

OWNERSHIP BLOCK

On this the _____ day of _____
before me, the undersigned officer, personally appeared
Charles E. Harpster / Penny Harpster
who being duly sworn according to law, deposes and says
that they are the owners and/or equitable owners of the
property shown hereon, and do acknowledge that
their act and desire is to have the plan of said property
recorded as such according to law.

PROPERTY OWNER
Witness my hand and seal on the day and date written above.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

SITE DATA - TAX PARCEL 24-06-04B

Tax Parcel No. : 24-6-4B
Title Source : Record Book 1733, Page 336
Property Owner : Genia J. Harpster
Owner's Address : 2873 Tadpole Road
PA Furnace, PA 16865
Owner's Phone No. : 814-692-1012
Present Land Use : Residential/Agricultural
Proposed Land Use : Residential/Agricultural
Existing Water : On-Site existing
Existing Septic : On-Site existing
Zoning : RA - Rural Agricultural

SUBDIVISION DATA - LOT 2R
Total Number of Lots : One
Total Area of Lots : 1.04 Acres Former Lot 2-PB: 65, PG: 35
+ 1.00 Acre Lot Addition 'A'
(a portion of Tax Parcel 24-06-04)
2.04 Acres LOT 2R

OWNERSHIP BLOCK

On this the _____ day of _____
before me, the undersigned officer, personally appeared
Genia J. Harpster
who being duly sworn according to law, deposes and says
that they are the owners and/or equitable owners of the
property shown hereon, and do acknowledge that
their act and desire is to have the plan of said property
recorded as such according to law.

PROPERTY OWNER
Witness my hand and seal on the day and date written above.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

SYMBOLS & INITIAL LEGEND

● Iron Pin Found	RB: PG: Record Book # Page
◆ Iron Pin Set	DB: PG: Deed Book # Page
○ Calculated Point	PB: PG: Plat Book # Page
○ 52876 Utility Pole /w number	PLTBD Property Line to Be Deleted
□ MAG Nail Set	N / F Now or Formerly
△ Stone Pile Found	CMP Corrugated Metal Pipe
○○○○ Stone Wall or Fence	12" CMP Culvert Pipe /w Size & Type
--- Wire Fence	Water Well
⊗ Witness Trees	⊗ AdC soil type symbol
▲ soil test area	⊗ existing septic area
○ ○ ○ perc test holes	

This Record Plan conforms with the Plan receiving final approval by the Ferguson Township Board of Supervisors on _____, All improvements are or will be installed in accordance with such Plan in a manner and time so specified therein.

TOWNSHIP APPROVAL BLOCK

Approved by the Ferguson Township Planning Commission on the _____ day of _____

Chairman _____ Secretary _____

Approved by the Ferguson Township Board of Supervisors on the _____ day of _____

Chairman _____ Secretary _____

CERTIFICATION OF SURVEY

I, Fred M. Henry, a Professional Land Surveyor in the Commonwealth of Pennsylvania do hereby certify that the plan correctly represents the tract of land shown.

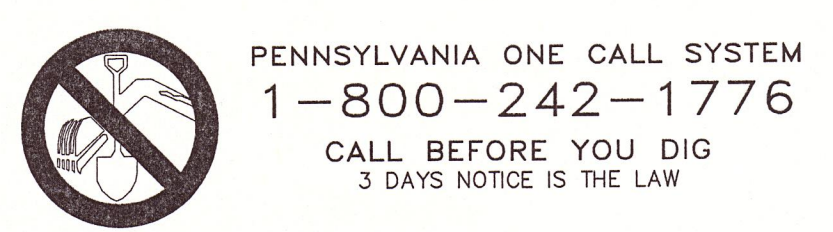
Fred M. Henry, P.L.S.
022851-E

**PRELIMINARY / FINAL PLAN
LOT ADDITION TO LANDS OF
GENIA HARPSTER
(FORMER LOT 2 OF PB: 65, PG: 35)
INTO LOT 2R
FROM LANDS OF
CHARLES E. & PENNY HARPSTER
(RECORD BOOK 1733, PAGE 336)
LOCATED WITHIN
FERGUSON TOWNSHIP, CENTRE COUNTY, PENNSYLVANIA**

Mease Associates, Inc.
Surveyors
P.O. BOX 520
PORT MATLIDA, PA 16870
814-692-4225

DATE: 8/28/19
SCALE: 1"=50'

DRAWN BY: FMH
FILE: GRMAM-T19

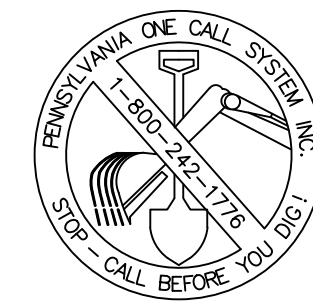


WEST CHERRY LANE MULTI USE BUILDING

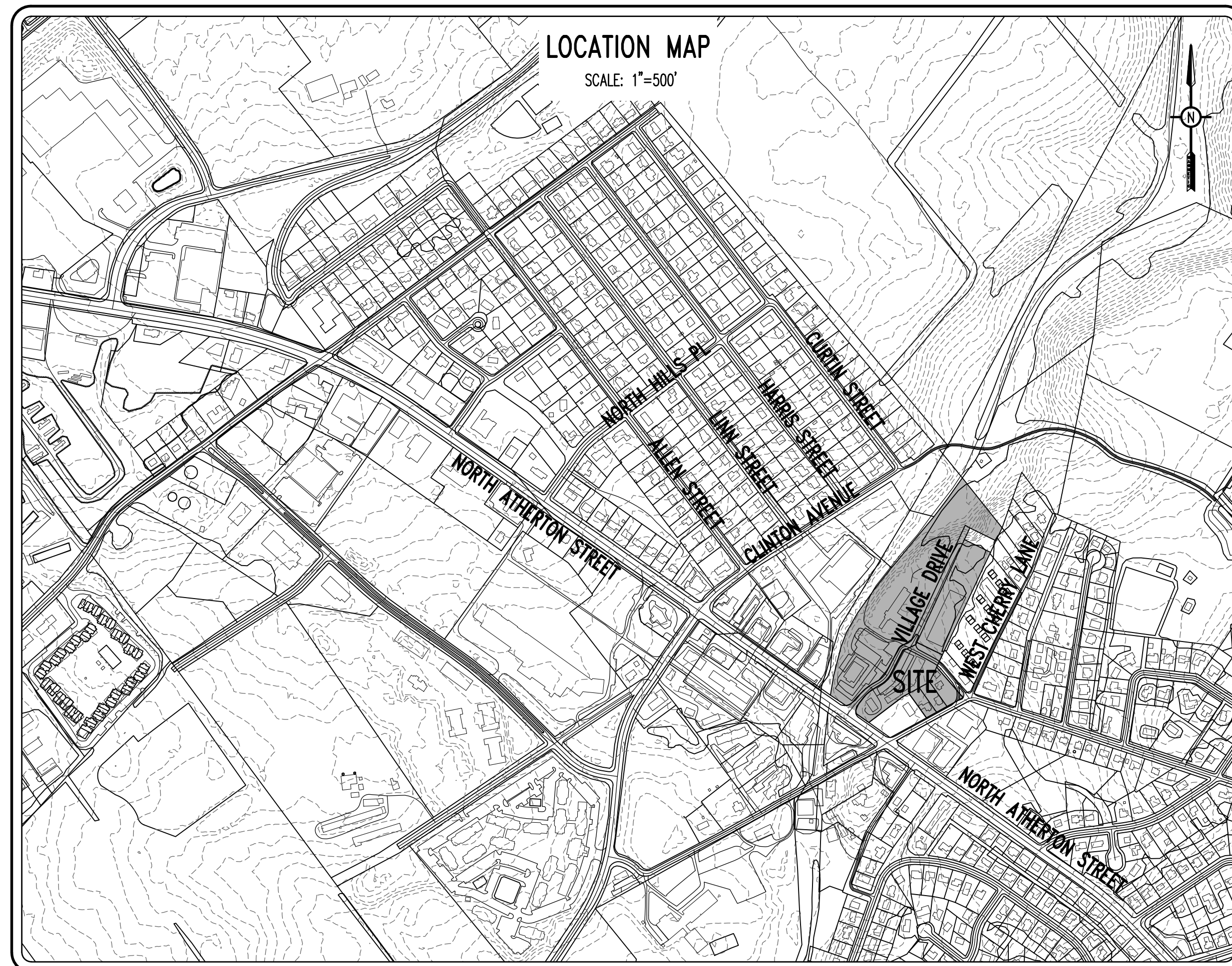
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

FERGUSON TOWNSHIP * CENTRE COUNTY * PENNSYLVANIA

SEPTEMBER 12, 2019



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA ! CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY



PennTerra
ENGINEERING, INC.

CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

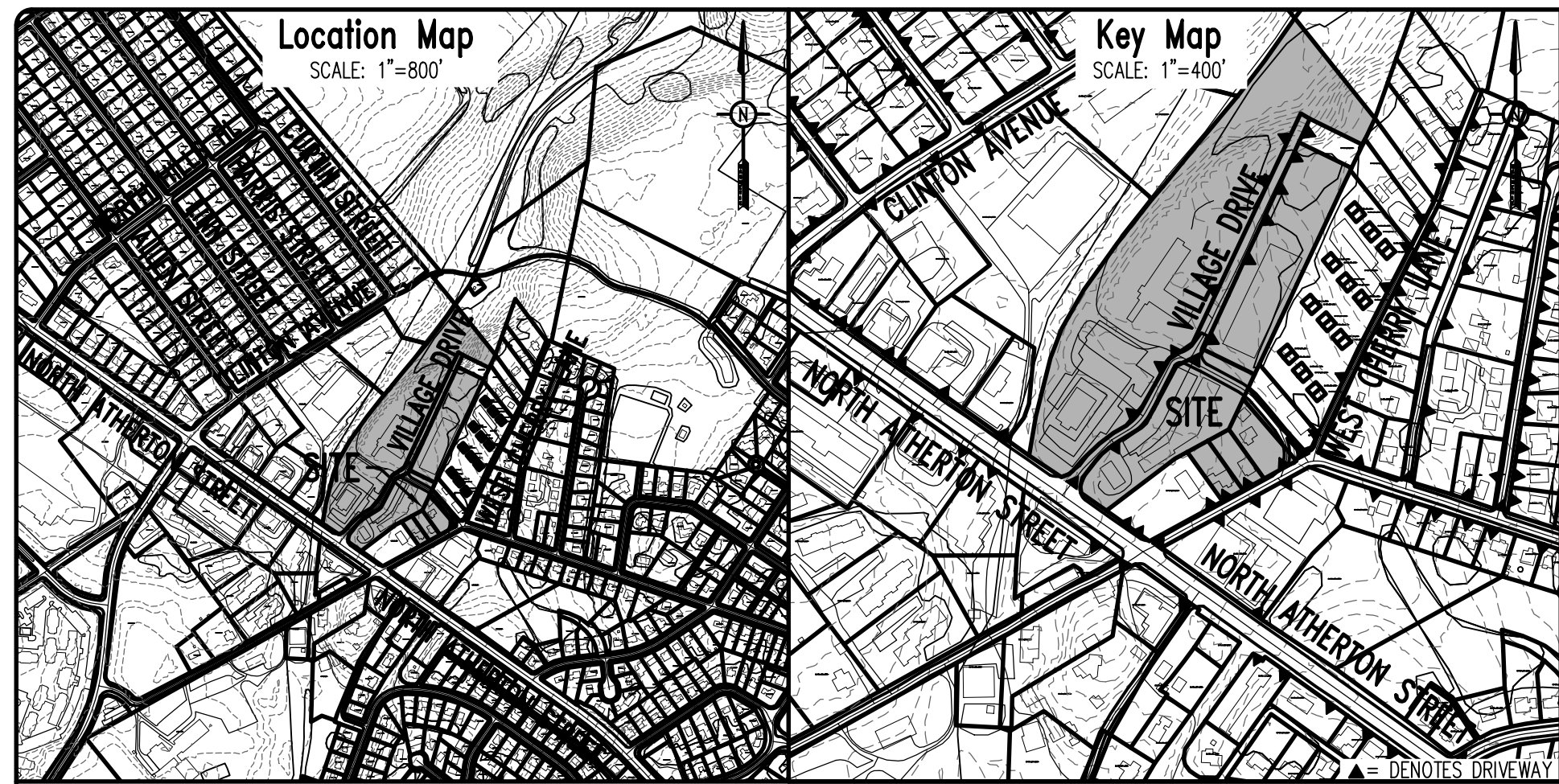
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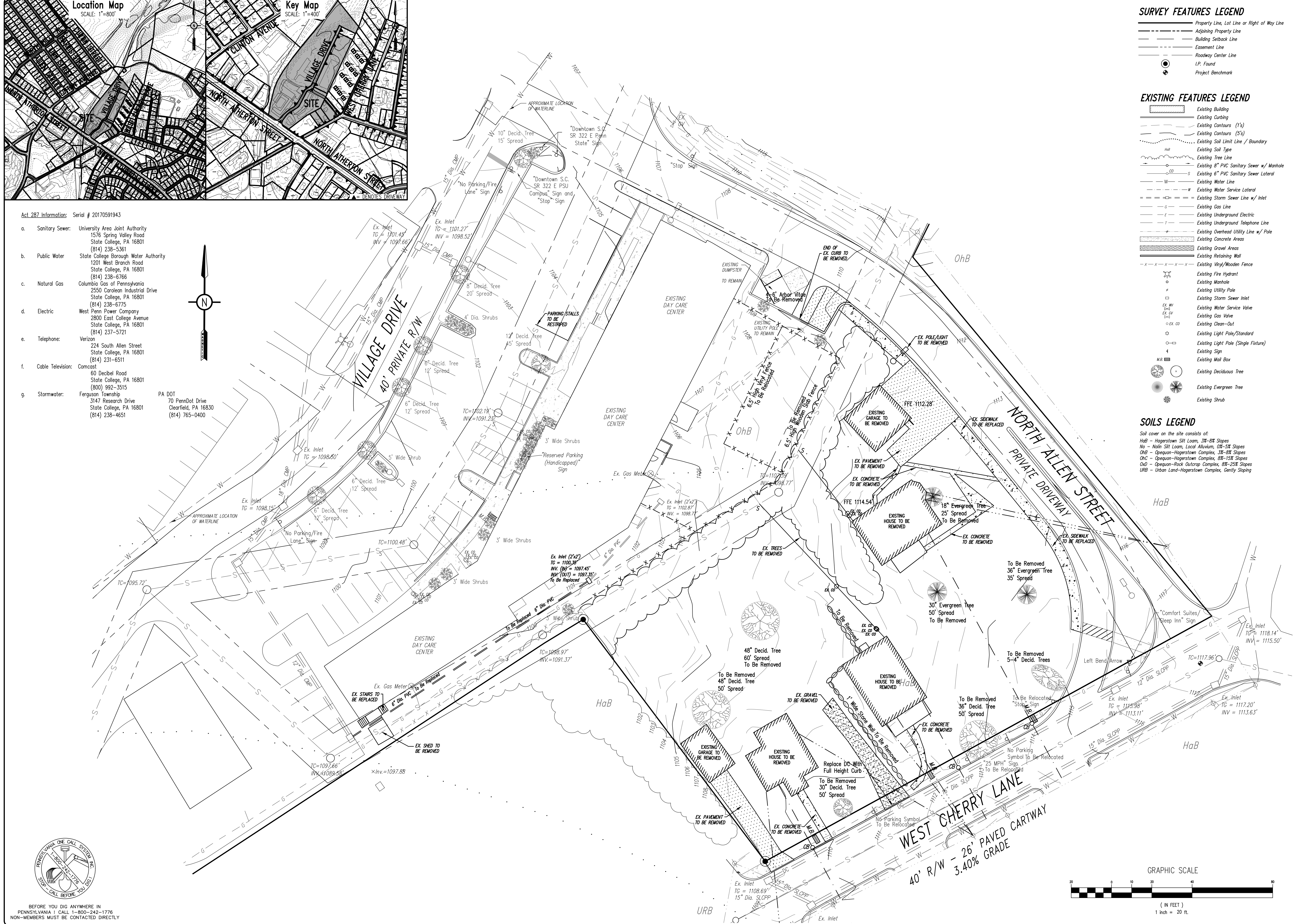
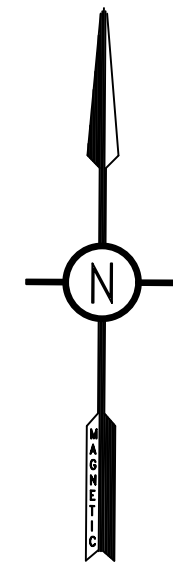
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SHEET	DESCRIPTION
*1	COVER SHEET
*2	OVERALL EXISTING CONDITIONS PLAN
*3	DEMOLITION PLAN
*4	OVERALL LAND DEVELOPMENT PLAN
*5	RECORD PLAN
*6	GEOMETRY PLAN
*7	GRADING, UTILITY AND STORMWATER MANAGEMENT SITE PLAN
*8	LANDSCAPE PLAN
*9	LIGHTING PLAN
*10	STORMWATER CONSTRUCTION DETAILS
*11	GENERAL CONSTRUCTION DETAILS
*12	SITE CROSS SECTIONS & SIGN DETAILS
*ES1	EROSION AND SEDIMENTATION CONTROL PLAN
*ES2	EROSION AND SEDIMENTATION CONTROL DETAILS
*ES3	EROSION AND SEDIMENTATION CONTROL NARRATIVE
A1	BUILDING ARCHITECTURAL PLANS
* DENOTES WHICH PLAN SHEETS ARE TO BE RECORDED	
*X DENOTES WHICH PLAN SHEETS ARE PART OF THE STORMWATER MANAGEMENT SITE PLAN	

ACT 287 UTILITY INFORMATION (SERIAL NUMBER: 20170591943)	
SANITARY SEWER UNIVERSITY AREA JOINT AUTHORITY 1576 SPRING VALLEY ROAD STATE COLLEGE, PA 16801 PHONE: (814) 238-5361	
PUBLIC WATER STATE COLLEGE BOROUGH WATER AUTHORITY 1201 WEST BRANCH ROAD STATE COLLEGE, PA 16801 PHONE: (814) 238-6766	
NATURAL GAS COLUMBIA GAS OF PENNSYLVANIA 2550 CAROLEAN INDUSTRIAL DRIVE STATE COLLEGE, PA 16801 PHONE: (814) 238-6775	
ELECTRIC WEST PENN POWER COMPANY 2800 EAST COLLEGE AVENUE STATE COLLEGE, PA 16801 PHONE: (814) 237-5721	
TELEPHONE VERIZON 224 SOUTH ALLEN STREET STATE COLLEGE, PA 16801 PHONE: (814) 231-6511	
CABLE TELEVISION COMCAST 60 DECIBEL ROAD STATE COLLEGE, PA 16801 PHONE: (800) 992-3515	
STORMWATER FERGUSON TOWNSHIP 3147 RESEARCH DRIVE STATE COLLEGE, PA 16801 PHONE: (814) 238-4651	
PA DOT 70 PENNDOT DRIVE CLEARFIELD, PA 16830 PHONE: (814) 765-0400	



Act 287 Information: Serial # 20170591943

- a. Sanitary Sewer: University Area Joint Authority
1576 Spring Valley Road
State College, PA 16801
(814) 238-5361
 - b. Public Water: State College Borough Water Authority
1201 West Branch Road
State College, PA 16801
(814) 238-6766
 - c. Natural Gas: Columbia Gas of Pennsylvania
2550 Carolean Industrial Drive
State College, PA 16801
(814) 238-6775
 - d. Electric: West Penn Power Company
2800 East College Avenue
State College, PA 16801
(814) 237-5721
 - e. Telephone: Verizon
224 South Allen Street
State College, PA 16801
(814) 231-6511
 - f. Cable Television: Comcast
60 Decibel Road
State College, PA 16801
(800) 992-3515
 - g. Stormwater: Ferguson Township
3147 Research Drive
State College, PA 16801
(814) 238-4651
- PA DOT
70 PennDot Drive
Clearfield, PA 16830
(814) 765-0400



SURVEY FEATURES LEGEND

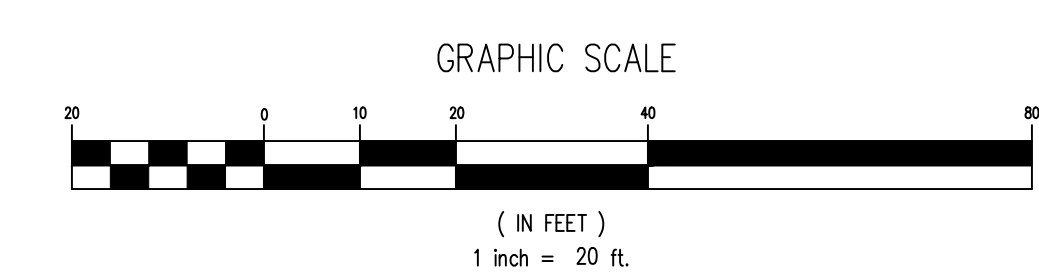
- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- I.P. Found
- Project Benchmark

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing
- Existing Contours (1's)
- Existing Contours (5's)
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Line
- Existing 8" PVC Sanitary Sewer w/ Manhole
- Existing 6" PVC Sanitary Sewer Lateral
- Existing Water Line
- Existing Water Service Lateral
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Underground Electric
- Existing Underground Telephone Line
- Existing Overhead Utility Line w/ Pole
- Existing Concrete Areas
- Existing Gravel Areas
- Existing Retaining Wall
- Existing Vinyl/Wooden Fence
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Storm Sewer Inlet
- Existing Water Service Valve
- Existing Gas Valve
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Light Pole (Single Fixture)
- Existing Sign
- Existing Mail Box
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

SOILS LEGEND

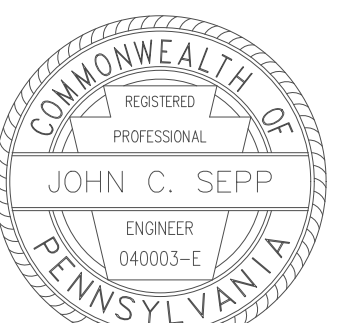
- Soil cover on the site consists of:
- HaB - Hagerstown Silt Loam, 3%-8% Slopes
 - Ho - Hagerstown Silt Loam, Local Alluvium, 0%-5% Slopes
 - OhB - Opequan-Hagerstown Complex, 3%-8% Slopes
 - OhC - Opequan-Hagerstown Complex, 8%-15% Slopes
 - OxO - Opequan-Rock Outcrop Complex, 8%-25% Slopes
 - URB - Urban Land-Hagerstown Complex, Gently Sloping



PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
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Designer: RRR
Draftsman: JDB
Proj Manager: RRR
Surveyor: XXX
Perimeter Ok:
Book: XXX Pg: XXX
Drive: Layout 16094-03-EX-DEM0
Acad: DEMO-24"x36"

Date	Description	REVISIONS

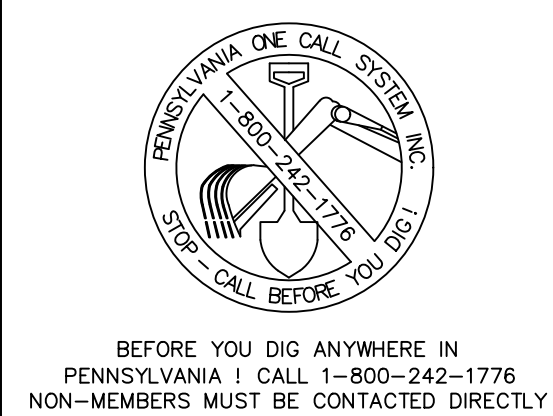
WEST CHERRY LANE MULTI USE BUILDING
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY/FINAL
LAND DEVELOPMENT
PLAN

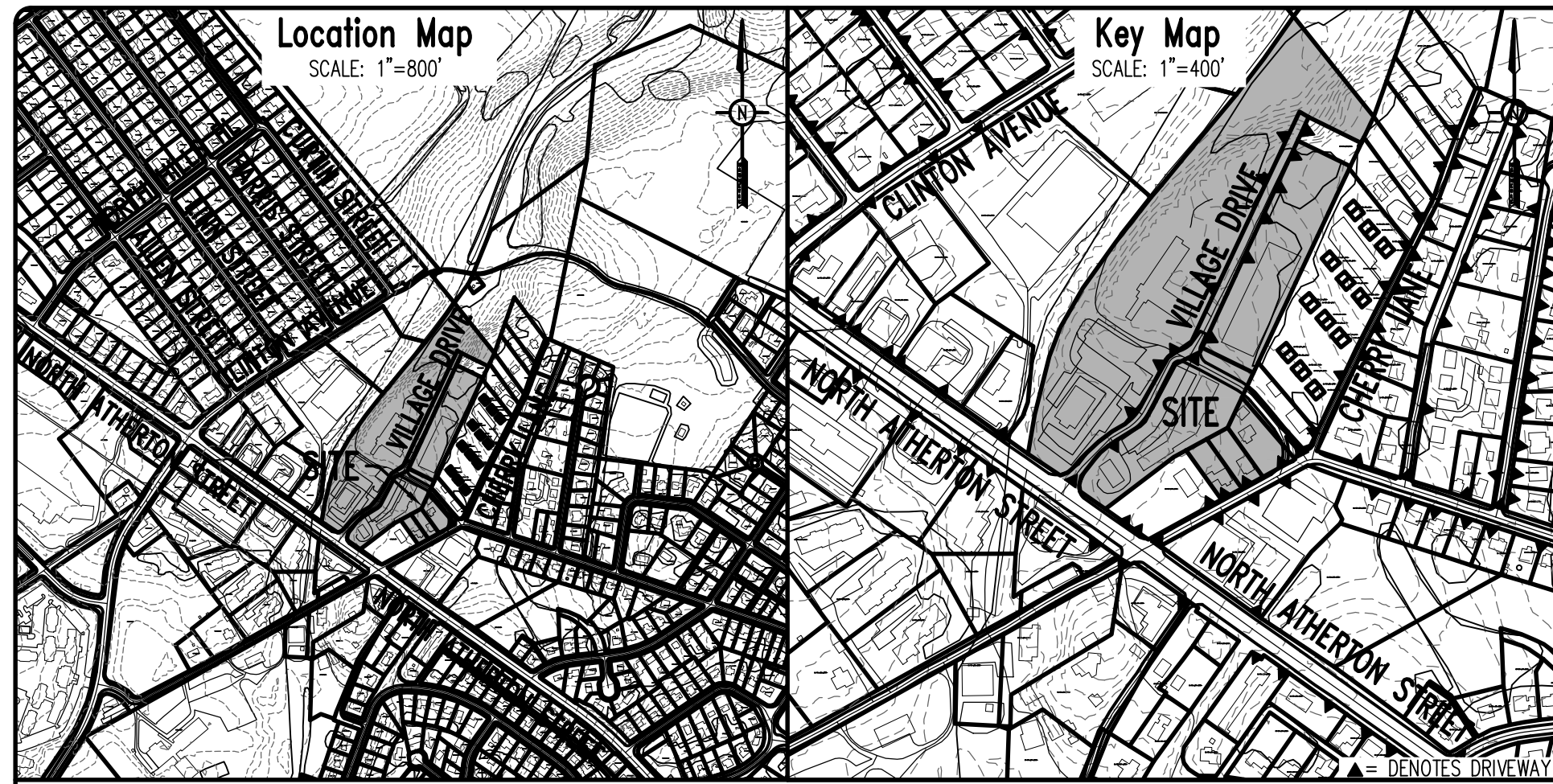
DEMOLITION PLAN

PROJECT NO.
16094.01
DATE
SEPTEMBER 12, 2019
SCALE SHEET NO.
1"=20' 3

P:\dtp\2016\16094\wp\pl\final\final\plans - REVISED\16094-03-EX-DEM0.dwg, 9/12/2019 2:58:38 PM, 1:1



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1576 Spring Valley Road
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 - d. Electric: West Penn Power Company
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 - f. Cable Television: Comcast
60 Decibel Road
State College, PA 16801
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 - g. Stormwater: Ferguson Township
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State College, PA 16801
(814) 238-4651
- PA DOT
70 PennDot Drive
Clearfield, PA 16830
(814) 765-0400



EXISTING CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C1	481.98'	928.46'	246.55'	N 24° 31' 33" E	476.58'	29° 44' 36"
C2	177.31'	1472.48'	88.76'	N 35° 56' 51" E	177.21'	06° 53' 58"

RE-STRIPING OF STALLS EXHIBIT

* PARKING STALLS BEHIND SLEEP INN WILL BE RE-STRIPED TO SHOW TWELVE COUNT, INSTEAD OF NINE COUNT.
SCALE: 1"=30'

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- I.P. Found

EXISTING FEATURES LEGEND

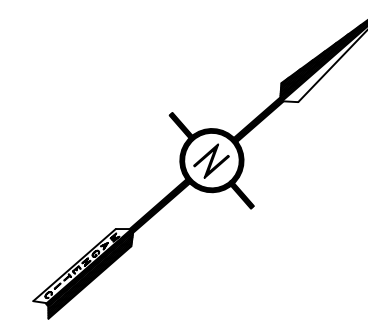
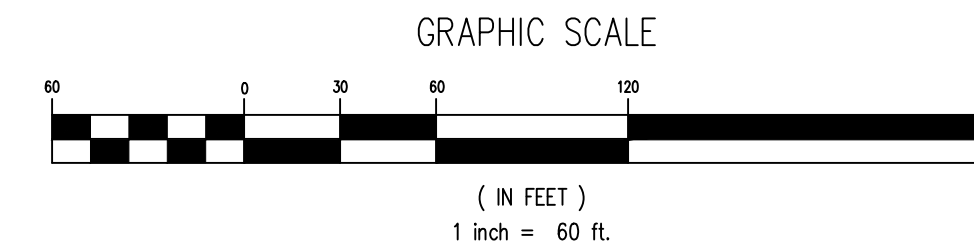
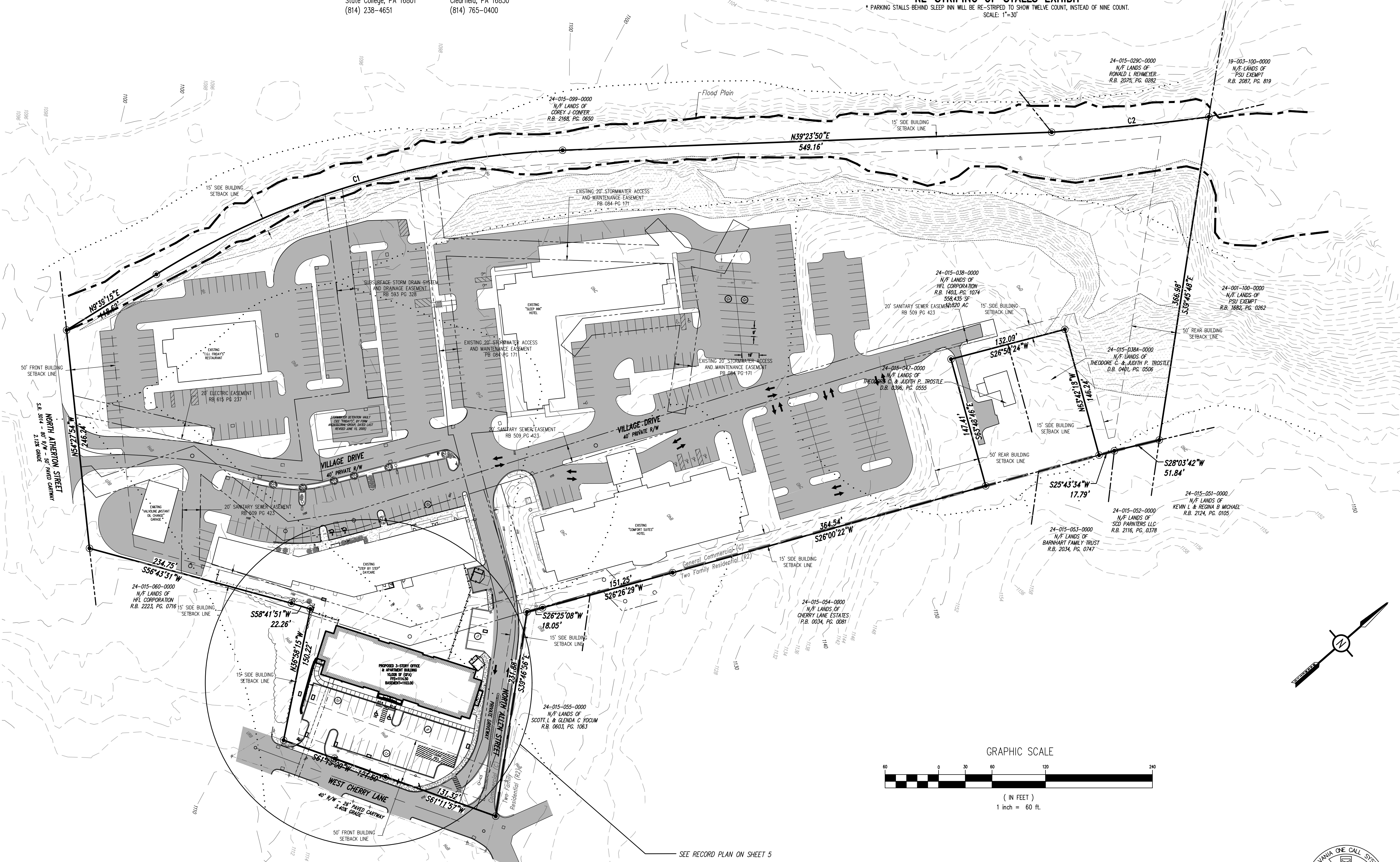
- Existing Building
- Existing Curbing
- Existing Contours (10's)
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Line
- Existing Overhead Utility Line w/ Pole
- Existing Concrete Areas
- Existing Gravel Areas
- Existing Retaining Wall
- Existing Vinyl/Wooden Fence
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Storm Sewer Inlet
- Existing Light Pole/Standard
- Existing Light Pole (Single Fixture)
- Existing Sign
- Existing Mail Box
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub
- 25% Slopes or Greater
- Flood Plain

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING
- PROPOSED CURB TRANSITIONS
- PROPOSED TREE LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED PAVED AREAS (EXCEPT WALK/BIKE PATH)
- PROPOSED VINYL FENCE
- PROPOSED WOODEN FENCE
- PROPOSED RETAINING WALL
- PROPOSED MANHOLE
- PROPOSED STORM SEWER INLET - TYPE W
- PROPOSED STORM SEWER INLET - TYPE C
- PROPOSED GAS VALVE
- PROPOSED CLEAN-OUT W/ CONC. PAD
- PROPOSED LIGHT POLE/STANDARD
- PROPOSED LIGHT (WALL MOUNT)
- PROPOSED SIGN
- PROPOSED PARKING STALL COUNT
- PROPOSED TRAFFIC FLOW ARROWS
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL (VAN)
- PROPOSED DEPRESSED CURB AREA
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED HANDICAPPED RAMP

SOILS LEGEND

- Soil cover on the site consists of:
- HdB - Hagerstown Silt Loam, 3%-8% Slopes
 - No - Non Silt Loam, Local Alluvium, 0%-5% Slopes
 - OhB - Opequon-Hagerstown Complex, 3%-8% Slopes
 - OhC - Opequon-Hagerstown Complex, 8%-15% Slopes
 - OdD - Opequon-Rock Outcrop Complex, 8%-25% Slopes
 - URB - Urban Land-Hagerstown Complex, Gently Sloping

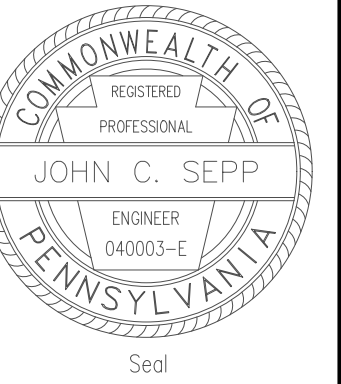


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PH: 717-522-5031
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Draftsman: JDB
Proj Manager: RRK
Surveyor: XXX
Perimeter Ck.:
Book: XXX Pg. XXX
Drive: Layout 2019-04-08 10:18 AM
Acad OVERALL LD PLAN - 24'x36'

Date	Description
	REVISIONS

WEST CHERRY LANE MULTI USE BUILDING

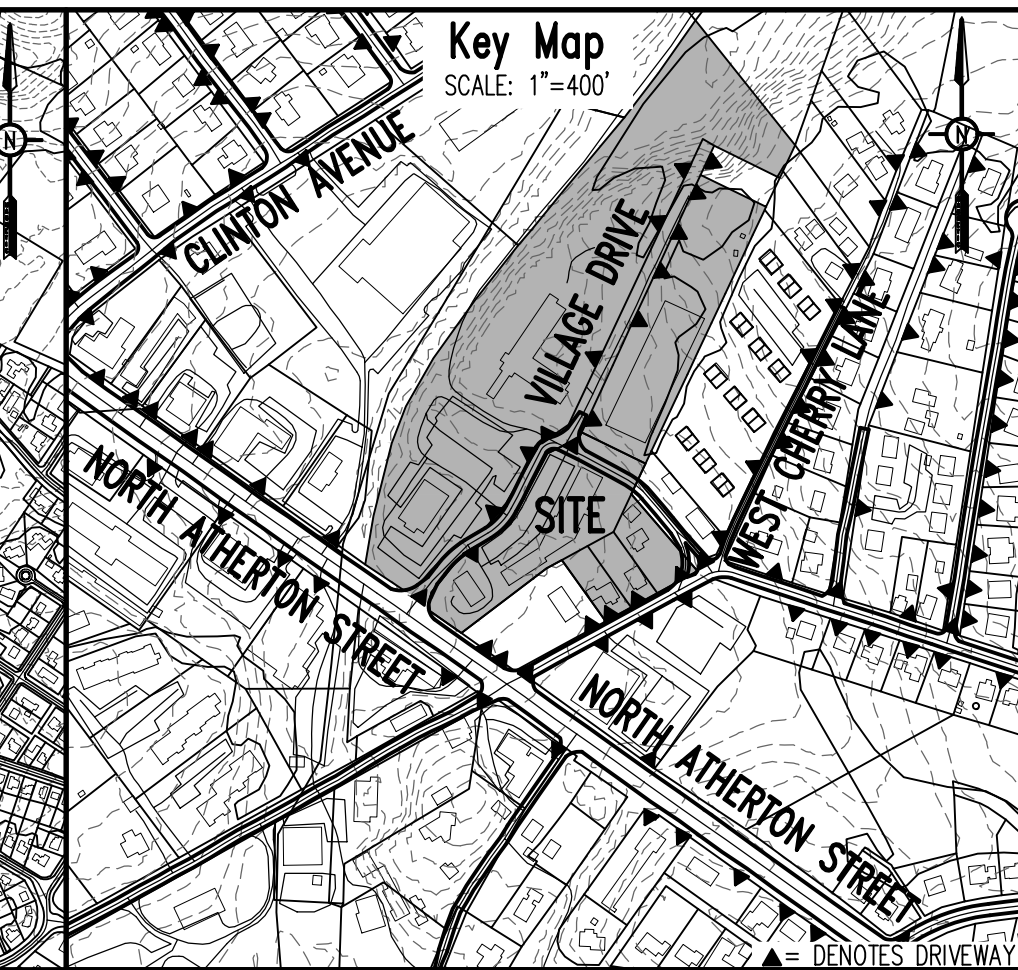
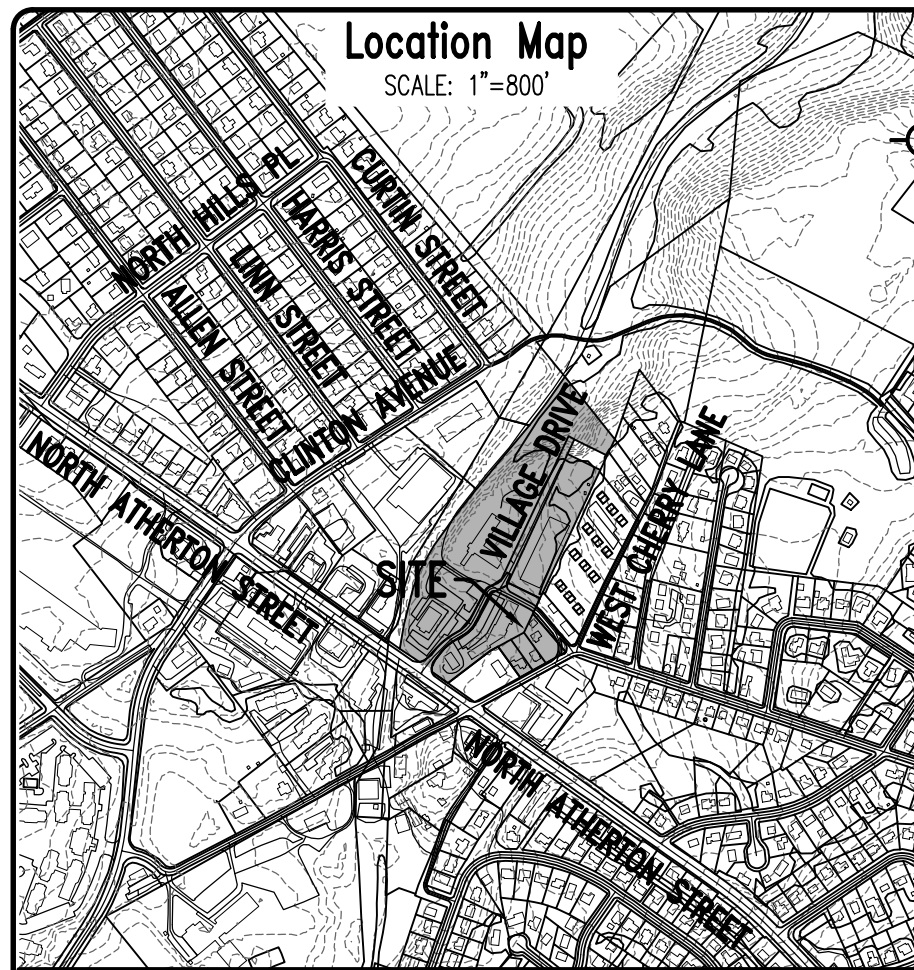
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

OVERALL LAND DEVELOPMENT PLAN

PROJECT NO.
16094.01
DATE
SEPTEMBER 12, 2019
SCALE: 1"=60'
SHEET NO.
4

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY



Owners Certification Tax Parcel 24-015-038
 Commonwealth of Pennsylvania
 County of Centre

On this the _____ day of _____, 20____, personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

witness my hand and seal, this date _____

Notary Public _____ Commission Expires _____

Storm Water Facilities Acknowledgement

I/We, _____ the landowner(s), my/our heirs and assigns, acknowledge the Stormwater Management System to be a permanent facility which can be altered or removed only after approval of a revised plan by the Ferguson Township Board of Supervisors. The stormwater management system is to be maintained in accordance with the approved ownership and maintenance program.

Township Engineer Certification

I, _____, have reviewed and hereby certify that the plan meets all engineering design standards and criteria of the Ferguson Township Code of Ordinances.

Municipal Storm Water Certification

I, _____, 20____, have reviewed the Stormwater Management Plan in accordance with the design standards and criteria of the Ferguson Township Stormwater Management Ordinance.

Township Planning Commission
 Ferguson Township Planning Commission Approved

Chairman _____ Date _____
 Secretary _____ Date _____

Township Supervisors
 Ferguson Township Supervisors Approved

Chairman _____ Date _____
 Secretary _____ Date _____

Fire Chief Certification

I have reviewed and hereby certify that the location of Fire Lines and Fire Hydrants shown on this plan are adequate.

Fire Chief _____ Date _____

Professional Land Surveyor Certification

I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

Signature _____ Date _____

Recorder of Deeds

PROJECT NOTES:

- General Site Information:
 - Owner of Record: HFL Corporation, 1155 Banner Pike Suite 100, State College, PA 16801, Tax Parcel 24-015-038, R.B. 1403/PG. 1074, (C) General Commercial, 1217 North Atherton Street, 12,820 Acres / 558,435 S.F., Residential-Single Family Dwellings (Existing), Business and Professional Offices & Two Family Attached Dwellings (Proposed)
 - *Allowable Number of Apartment Units = 1/3000 SF
 - *Building will have no more than 67% residential floor area.
 - Total Residential Floor Area = 19,714 S.F.
 - Total Office Floor Area = 9,954 S.F.
 - Total Basement Floor Area = 10,008 S.F.
 - Total Building Floor Area = 39,676 S.F.
 - Total Residential Floor Area is 49.7% of the total Building Area.
 - Building Setbacks: 50' (Front) 15' (Side) 50' (Rear)
 - Building Height: 45' Max. (Allowable) / 45' (Proposed)
- Impervious Areas:
 - Existing: 60,521 S.F. (10.84%) (Building), 216,514 S.F. (38.77%) (Parking/Driveways/Walks), 277,035 S.F. (49.61%) (Total)
 - Proposed: 66,645 S.F. (11.39%) (Building), 222,769 S.F. (40.83%) (Parking/Driveways/Walks), 294,414 S.F. (52.22%) (Total), 80% (Total) 30% (Building)
- Max. Allowable:
 - A variance was granted by Ferguson Township Zoning Hearing Board on July 17, 2018, which reduced the required parking for the basement area.
 - Required (For Proposed):
 - Total Required - 1 space per 250 GFA (Proposed Business, Professional and Financial Offices)
 - Total Required - 1.5 spaces per dwelling unit (Proposed Two Family Attached Dwelling)
 - Total Required - 1 per bedroom for every bedroom use (Proposed Overflow Parking)
 - Required (For Existing):
 - Total Required - 1 space per 350 GFA (Existing "Step By Step" Daycare)
 - Total Required - 1.2 spaces per room (Existing "Sleep Inn" Hotel)
 - Total Required - 1.2 spaces per room (Existing "Comfort Suites" Hotel)
 - Total Required - 1 space per 250 GFA (Existing "Valvoline Instant Oil Changes" Office)
 - Total Required - 6 spaces per bay (Existing "Valvoline Instant Oil Changes" Garage Bays)
 - Total Required - 1.2 spaces per 50 GFA (Existing "TGI FRIDAYS" Restaurant)
 - Total Required - 1.2 spaces per 100 GFA (Existing "TGI FRIDAYS" Take Out)
 - Business, Professional and Financial Offices: 9,954 S.F. at 1/250 S.F. = 40 spaces
 - Two Family Attached Dwelling: 18 Dwelling Units at 1.5/Unit = 27 spaces
 - Overflow Parking: Additional bedrooms per unit over 1 Bedroom at 1 space/Bedroom = 18 spaces (A total of 18 bedrooms are proposed over the the 1 bedroom per unit.)
 - Daycare: 3,500 S.F. at 1/250 S.F. = 14 spaces (See Note 3.a and Plan Sheet A1)
 - Basecase: 12,435 S.F. at 1/350 S.F. = 36 spaces
 - Sleep Inn: 102 rooms at 1.2/room = 122 spaces
 - Comfort Suites: 77 rooms at 1.2/room = 92 spaces
 - Valvoline Instant Oil Change Office: 432 S.F. at 1/250 S.F. = 2 spaces
 - Valvoline Instant Oil Change Garage Bays: 3 service bays at 6/bay = 18 spaces
 - TGI Fridays Restaurant: 3,591 S.F. at 1/50 S.F. = 72 spaces
 - TGI Fridays Take Out: 204 S.F. at 1/100 S.F. = 2 spaces
- Provided: Proposed 443 spaces total

- ACT 287 Utility Information: (Serial No. 20170591943)
- All utility locations should be verified prior to any construction, utility information and locations should be considered approximate. Contractor shall notify PA One Call prior to any excavation.
- Sanitary Sewer: University Area Joint Authority, 1576 Spring Valley Road, State College, PA 16801 - Phone: 814-238-5361
- Public Water: State College Borough Water Authority, 1201 West Branch Road, State College, PA 16801 - Phone: 814-238-6766
- Natural Gas: Columbia Gas of Pennsylvania, 2550 Caroleon Industrial Drive, State College, PA 16801 - Phone: 814-238-6775
- Electric: West Penn Power Company, 2800 E. College Ave., State College, PA 16801 - Phone: 814-237-5721
- Telephone: Verizon, 224 South Allen Street, State College, PA 16801 - Phone: 814-231-6511
- Cable Television: Comcast, 60 Decibel Road, State College, PA 16801 - Phone: 800-992-3515
- Stormwater: Ferguson Township, 3147 Research Drive, State College, PA 16801 - Phone: 814-238-4651, PA DOT, 70 PennDot Drive, Clearfield, PA 16830 - Phone: 814-765-0400
- For additional information, refer to:
- "College Village Center Minor Alteration Plan", dated February 1, 2017, prepared by PennTerra Engineering, Inc., and on record at the Ferguson Township Municipal Building.
- "Lot Consolidation of Tax Parcel 24-015-058, Tax Parcel 24-015-057 & Tax Parcel 24-015-038 Plan", dated June 25, 2018, prepared by PennTerra Engineering, Inc.
- Refer to Architectural Plans for building dimensions, utility relocations, extensions and connections.
- The project benchmark is the top of casting (TC=1117.96) of the existing sanitary manhole, located at the intersection of West Cherry Lane and North Allen Street.
- Contours shown were generated from a field survey, on August 8th, 2016, by PennTerra Engineering, Inc. based on USGS datum.
- There are no wetlands within the area of work, according to the National Wetland Inventory Mapping (NW) from Julian, PA documented in 1988.
- There is no floodplain within the area of work, according to the Federal Emergency Management Agency (FEMA) map for Ferguson Township, Centre County - Map No. 42027C0617F, Community No. 420260, 0617F, dated May 4, 2009.
- Based on field survey by PennTerra Engineering Inc, there are no visible sinkholes or areas of closed depressions within the area of work.
- Soil limits and descriptions have been taken from the Web Soil Survey.
- From USGS contour mapping and field survey, significant areas of steep slopes (greater than 25% slope) are not present in work area.
- This Record Plan conforms with the Plan receiving final approval by the Ferguson Township Board of Supervisors on _____, 20____. All improvements are or will be installed in accordance with such Plan in a manner and time so specified therein.

Storm Water Certification

I, _____, hereby certify that the Stormwater Management Plan meets all design standards and criteria of the Ferguson Township Stormwater Management Ordinance.

Design Engineer Certification

I, _____, hereby certify that this land development meets all design requirements of the Subdivision and Land Development Ordinance, Zoning Ordinance and all other applicable Chapters of Ferguson Township Code.

PLAN PURPOSE:

The purpose of this plan set is to obtain regulatory approval to construct a 9,954 SF (GFA) Office (first floor) and Apartments (second and third floor) with related parking, utilities, and amenities on Tax Parcel 24-015-038, along West Cherry Lane.

STORMWATER MANAGEMENT FACILITIES OWNERSHIP AND MAINTENANCE PROGRAM:

STORMWATER BMP MAINTENANCE ITEM	MAINTENANCE DUTY	OCCURRENCE INTERVAL
STORM SEWER INLETS AND PIPES	STORM SEWER INLETS AND PIPES SHALL BE CLEANED OF ALL DEBRIS, LITTER, AND OTHER DELETERIOUS MATERIAL.	MONTHLY OR AFTER EACH RAINFALL EVENT PRODUCING 0.5" RAIN
48" UNDERGROUND DETENTION BASIN	THE BASIN SHALL BE INSPECTED AND CLEANED OF ALL DEBRIS, LITTER, AND OTHER DELETERIOUS MATERIAL.	MONTHLY OR AFTER EACH RAINFALL EVENT PRODUCING 0.5" RAIN
GRATE INLET SKIMMER BOX	THE STORM BOOM SHALL BE REPLACED, WITH DEBRIS IN THE SKIMMER TRAY AND THE OLD STORM BOOM DISPOSED OF PROPERLY. DEBRIS IN THE FILTRATION BOX SHALL BE DUMPED INTO A PROPER DISPOSAL CONTAINER OR SUCTIONED OUT WITH A VACUUM. CLEAN SCREENS WITH A SPRAY WAND OR BRUSH.	QUARTERLY OR AFTER EACH RAINFALL EVENT PRODUCING 0.5" RAIN
BASIN OUTLET STRUCTURES	THE OUTLET STRUCTURES SHALL BE INSPECTED TO ENSURE STRUCTURAL STABILITY. ALL JOINTS WITH OUTLET PIPES SHALL BE WATER-TIGHT AND IF NECESSARY RE-GROUTED.	ANNUALLY
SINKHOLE PREVENTION MEASURES	INSPECT THE RAIN GARDEN AND UNDERGROUND BASIN AREA FOR ANY SUBSIDENCE. IN THE EVENT THAT A SINKHOLE FORMS, CONTACT THE TOWNSHIP ENGINEER, ANY ADJACENT PROPERTY OWNER THAT MAY BE AFFECTED AND THE STATE COLLEGE BOROUGH WATER AUTHORITY IMMEDIATELY.	MONTHLY OR AFTER EACH RAINFALL EVENT PRODUCING 0.5" RAIN

*DOCUMENTATION OF INSPECTIONS MUST BE MAINTAINED BY THE OWNER AND SUBMITTED TO TOWNSHIP UPON REQUEST. MAINTENANCE INSPECTIONS MAY BE PERFORMED BY THE TOWNSHIP TO ENSURE PROPER FUNCTIONING OF ALL STORMWATER FACILITIES.

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- U.P. Point

EXISTING FEATURES LEGEND

- Existing Curbing
- Existing Contours (1%)
- Existing Contours (5%)
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Line
- Existing 6" PVC Sanitary Sewer w/ Manhole
- Existing 6" PVC Sanitary Sewer Lateral
- Existing Water Service Lateral
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Underground Electric
- Existing Underground Telephone Line
- Existing Overhead Utility Line w/ Pole
- Existing Concrete Area
- Existing Vinyl/Wooden Fence
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Storm Sewer Inlet
- Existing Water Service Valve
- Existing Gas Valve
- Existing Clean-Out
- Existing Light Pole/Standard

SOILS LEGEND

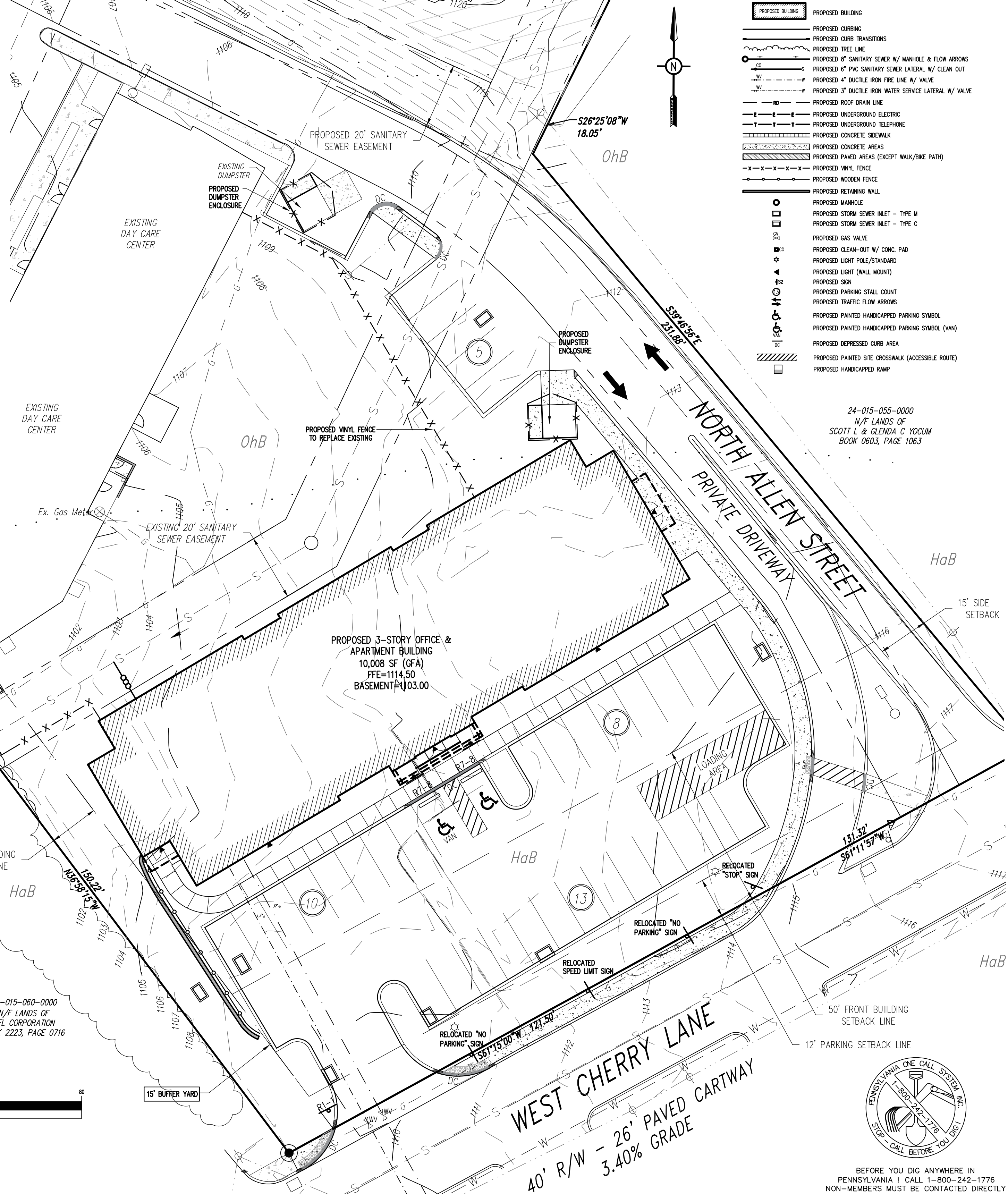
Soil cover on the site consists of:

- HaB - Hagerstown Silty Loam, 1%-5% Slopes
- Ha - Hagerstown Silty Loam, Local Alluvium, 0%-5% Slopes
- OhB - Oquon-Hagerstown Complex, 0%-5% Slopes
- Oc - Oquon-Hagerstown Complex, 5%-15% Slopes
- Od - Oquon-Hagerstown Complex, 15%-25% Slopes
- U8B - Urban Land-Hagerstown Complex, Gently Sloping

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING
- PROPOSED CURB TRANSITIONS
- PROPOSED TREE LINE
- PROPOSED 8" SANITARY SEWER W/ MANHOLE & FLOW ARROWS
- PROPOSED 6" PVC SANITARY SEWER LATERAL W/ CLEAN OUT
- PROPOSED 4" DUCTILE IRON FIRE LINE W/ VALVE
- PROPOSED 3" DUCTILE IRON WATER SERVICE LATERAL W/ VALVE
- PROPOSED ROOF DRAIN LINE
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND TELEPHONE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED PAVED AREAS (EXCEPT WALK/BIKE PATH)
- PROPOSED VINYL FENCE
- PROPOSED WOODEN FENCE
- PROPOSED RETAINING WALL
- PROPOSED MANHOLE
- PROPOSED STORM SEWER INLET - TYPE W
- PROPOSED STORM SEWER INLET - TYPE C
- PROPOSED GAS VALVE
- PROPOSED CLEAN-OUT W/ CONC. PAD
- PROPOSED LIGHT POLE/STANDARD
- PROPOSED LIGHT (WALL MOUNT)
- PROPOSED PARKING STALL COUNT
- PROPOSED TRAFFIC FLOW ARROWS
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL (VAN)
- PROPOSED DEPRESSED CURB AREA
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED HANDICAPPED RAMP

- As-Built Drawings will be provided by the developer for all stormwater facilities prior to occupancy or the release of the surety bond.
- Ferguson Township personnel shall have the uninterrupted right to access the property to inspect and maintain the stormwater facilities in the event that the owner does not comply with the Ferguson Township requirements.
- All parking lots and buffer yards shall be kept free of litter and trash.
- All maintenance, repair and replacement of landscaping materials and screening fences are the responsibility of the property owner.
 - The following criteria associated with such maintenance includes:
 - Any plant material that is 25% or more dead must be replaced
 - Replacements must be made during the first spring or fall planting season following the death of the plant(s)
 - Replacements shall be of the same size and type of plant as indicated on the approved plan
- Any drilling or blasting required for the construction of the site is to be thoroughly coordinated with Ferguson Township and the SCBWA to determine if any impacts to existing rock or the formation of sinkholes may occur as a direct result of the blasting activities. The following performance and monitoring protocols shall be followed:
 - All blasting shall be monitored in the field by a Professional Geologist or Professional Engineer currently licensed to practice in the Commonwealth of Pennsylvania.
 - Before any blasting is performed, the Professional Geologist or Professional Engineer shall submit a report containing specific recommendations for blasting. The report shall review amount of charge, firing times, ground velocities, accelerations and displacements, effects on groundwater aquifer system and field monitoring program. Should the report conclude that damage to the aquifer system will result from the blasting operation, the Contractor will not be permitted to drill or blast.
 - All blasting shall be field monitored using seismographic type equipment and shall be performed under the supervision of a Professional Geologist or Professional Engineer.
 - Accurate records shall be maintained of each blast. The record shall show the general location of the blast, the depth and number of drill holes, the kind and quantity of explosives used, ground velocity and displacements, and other data required for a complete record. A complete record of drilling and blasting operations shall be provided to Ferguson Township and SCBWA for review.
 - All operations involving explosives shall be conducted by experienced personnel possessing valid Pennsylvania Blaster's Licenses. Blasting operations shall be done only with such quantities and charges of explosives and in a manner that will break the rock at the intended lines and grades and will leave remaining rock in an un-shattered condition. Remedial measures, as reviewed and approved by SCBWA, shall be provided if excessive subsurface fracturing results.
 - The Developer will reimburse associated costs and expenses for all construction phase services to SCBWA & Ferguson Township.
 - Upon agreement by and between the Developer, Ferguson Township and SCBWA, the procedures and standards as listed above may be modified or revised as deemed appropriate by SCBWA.
- A zoning permit application was submitted to Ferguson Township, dated September 12, 2019.
- "Loading Area" to be used before or after office hours only.
- Fee in lieu of parkland is required for all proposed mixed use dwelling units and shall be assessed as a condition of plan approval. No more than 18 dwelling units may be constructed on the land, which is the subject of this subdivision/land development plan unless additional land is dedicated to the Township of Ferguson for parkland and open spaces and/or the Board of Supervisors accepts additional fee-in-lieu of dedication of parkland and open spaces: said decision to be at the discretion of the Board of Supervisors.



PennTerra ENGINEERING INC.
 CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE, SUITE 100, STATE COLLEGE, PA 16801
 PH: 814-231-8285, Fax: 814-237-2308

LANCASTER REGION OFFICE:
 3904 B ABEL DRIVE, COLUMBIA, PA 17512
 PH: 717-522-5031, Fax: 717-522-5046

WWW.PENNTERRA.COM

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6/ PENNTERRA ENGINEERING 2019 ALL RIGHTS RESERVED

Professional Engineer Seal: JOHN C. SEPP, LICENSE NO. 040003-E

Professional Engineer Seal: NEVIN L. GROVE, LICENSE NO. S008117A

Designer: RJK
 Draftsman: JDB
 Proj Manager: RJK
 Surveyor: XXX
 Perimeter Ck.:
 Book: XXX, Pg: XXX
 Drive: Layout_16094-05-RP
 Acad: RECORD PLAN-24X36"

WEST CHERRY LANE MULTI USE BUILDING

FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

RECORD PLAN

PROJECT NO. 16094.01
 DATE: SEPTEMBER 12, 2019
 SCALE: 1"=20'
 SHEET NO. 5

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY

GRADING NOTES:

- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PENNTERRA, THE CURRENT REQUIREMENTS OF THE FERGUSON TOWNSHIP, THE APPLICABLE SECTIONS OF THE PENNDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES COVERING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PA ONE CALL 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE.
- MAXIMUM SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) UNLESS NOTED OTHERWISE.
- AN AS-BUILT DRAWING OF NEW UTILITY SERVICES MUST BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
- ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- THE MAXIMUM SLOPE WITHIN ALL THE HANDICAPPED SPACES SHALL BE 2.00%.
- THE MAXIMUM SLOPE FOR ALL SIDEWALKS SHALL BE 4.90% WITH A MAXIMUM CROSS SLOPE OF 2.00% AND CURB RAMP SHALL HAVE A MAXIMUM SLOPE OF 8.30%.
- CONTOURS (ON APPLICABLE SHEETS) SHOWN WERE GENERATED FROM A FIELD SURVEY BY PENNTERRA ENGINEERING, INC. BASED ON USGS DATUM (NAD83/NAV88). THE PROJECT BENCHMARK IS THE TOP OF CASTING (TC=1117.96) OF THE EXISTING SANITARY MANHOLE, LOCATED AT THE INTERSECTION OF WEST CHERRY LANE AND NORTH ALLEN STREET.
- ALL DISTURBED AREAS NOT PROPOSED FOR PAVING OR CONCRETE SHALL HAVE 6" OF TOPSOIL SPREAD UNIFORMLY TO THE PROPOSED FINISHED GRADE UNLESS NOTED OTHERWISE.

GENERAL CONSTRUCTION UTILITY NOTES:

- CONTRACTOR SHALL VERIFY THE LOCATION OF MANHOLES, INLETS, VALVES, ETC. CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AS DEEMED NECESSARY WITHIN THE LIMITS OF CONSTRUCTION TO DETERMINE THE EXACT LOCATION AND DEPTH AS REQUIRED. CONTRACTOR SHALL REPORT ANY DISCREPANCIES FROM THOSE INDICATED ON THE PLAN TO PENNTERRA ENGINEERING, INC. ALL EXISTING UTILITIES SHALL BE RETAINED UNLESS MARKED OTHERWISE ON THE PLAN. EXISTING A PROPOSED APPURTENANCES SHALL BE ADJUSTED TO FINAL GRADE. DAMAGE TO EXISTING CONDITIONS AND UTILITIES TO REMAIN SHALL BE REPAIRED AS REQUIRED TO THE OWNERS SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- LOCATION OF EXISTING 6" SANITARY SEWER LATERALS ARE APPROXIMATE.
- ALL EXISTING UTILITIES NOT TO BE REMOVED OR ABANDONED ARE TO REMAIN OPERATIONAL AT ALL TIMES. APPROPRIATE EXISTING UTILITIES SHALL REMAIN IN SERVICE UNTIL THE REPLACEMENT/RELOCATED UTILITIES ARE OPERATIONAL.
- ALL SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH D.E.P. REGULATIONS.
- ALL SANITARY SEWER LINES SHALL HAVE A MINIMUM COVER OF 48".
- ALL PUBLIC WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL STATE COLLEGE BOROUGH WATER AUTHORITY (SCBWA) SPECIFICATIONS AND STANDARDS. ALL PRIVATE WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "MATERIALS & INSTALLATION SPECIFICATIONS FOR PRIVATE DISTRIBUTION LINES, SERVICE LINES & FIRE HYDRANTS" BY SCBWA.
- ALL WATER LINES SHALL HAVE A MINIMUM COVER OF 48".
- CONTRACTOR SHALL REPAIR OR REPLACE ALL CURBING, UTILITIES, SIDEWALKS, LANDSCAPING, ETC. WITHIN THE SITE DAMAGED DURING CONSTRUCTION THAT ARE NOT INDICATED TO BE REMOVED.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES ON INSTALLATION, RELOCATION OR REPLACEMENT OF ELECTRIC, PHONE, GAS OR CABLE TELEVISION SERVICE AS REQUIRED.
- CONTRACTOR SHALL NOTIFY OWNER'S TESTING AGENCY PRIOR TO ANY PLACEMENT AND COMPACTION OF FILL MATERIALS IN ANY BUILDING PAD AREAS. PADS SHALL BE PREPARED AND COMPACTED PER THE PROJECT SPECIFICATIONS AND CERTIFIED BY THE OWNERS TESTING AGENCY. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ANY FILL MATERIALS NOT MEETING THE SPECIFICATIONS SET FORTH.
- CONTRACTOR SHALL MAINTAIN ON SITE ONE SET OF CONTRACT DOCUMENTS TO BE UTILIZED FOR RECORD DOCUMENTS. FIELD RECORDS OF THE DEPTH AND LOCATIONS OF ALL UNDERGROUND SERVICE UTILITIES (PRIMARY AND SECONDARY ELECTRIC, PHONE, CABLE TELEVISION) SHALL BE ADDED TO THE RECORD SET BY THE CONTRACTOR AS WELL AS ALL FIELD REVISIONS AND ADJUSTMENTS.
- CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM @ 1-800-242-1776 AT LEAST THREE (3) DAYS PRIOR TO CONSTRUCTION.

STORMWATER NOTES:

- REFER TO SHEET 10 FOR STORM SEWER STRUCTURE AND PIPE DATA.
- UPDATE PLAN WITH DOWNSPOUT LOCATIONS WITH FINAL BUILDING DESIGN. CONTRACTOR SHALL CONNECT DOWNSPOUTS TO "RD" - 8" ROOF DRAINS.
- FOR ALL STORMWATER DESIGN COMPUTATIONS REFER TO WEST CHERRY LANE MULTI-USE BUILDING POST CONSTRUCTION STORMWATER REPORT, DATED LAST REVISED: JUNE 25, 2018, BY PENNTERRA ENGINEERING, INC.
- THE OWNER IS RESPONSIBLE FOR CARRYING OUT THE STORMWATER MANAGEMENT FACILITIES OWNERSHIP AND MAINTENANCE PROGRAM.

EROSION AND SEDIMENTATION CONTROL NOTES:

- FOR ALL EROSION AND SEDIMENTATION CONTROL MEASURES REFER TO SHEETS ES1 AND ES2 WITHIN THE PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR WEST CHERRY LANE MULTI-USE BUILDING, DATED LAST REVISED: JUNE 25, 2018, BY PENNTERRA ENGINEERING, INC.

EXISTING FEATURES LEGEND

- Existing Curbing
- Existing Contours (1's)
- Existing Contours (5's)
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Line
- Existing 6" PVC Sanitary Sewer w/ Manhole
- Existing 6" PVC Sanitary Sewer Lateral
- Existing Water Line
- Existing Water Service Lateral
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Underground Electric
- Existing Underground Telephone Line
- Existing Overhead Utility Line w/ Pole
- Existing Concrete Areas
- Existing Vinyl/Wooden Fence
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Storm Sewer Inlet
- Existing Water Service Valve
- Existing Gas Valve
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Infiltration Test Pit Locations

SURVEY FEATURES LEGEND

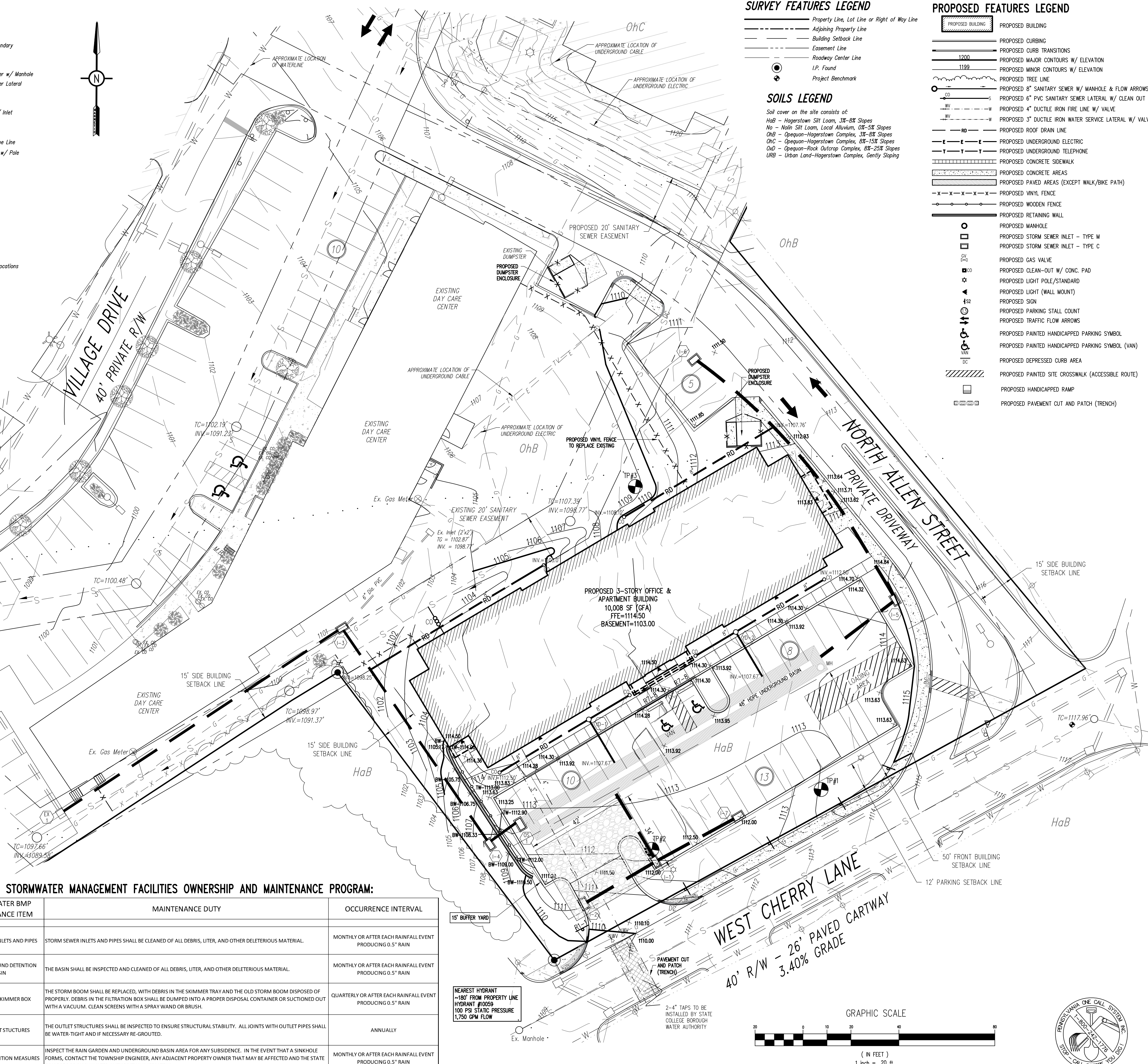
- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- L.P. Found
- Project Benchmark

SOILS LEGEND

Soil cover on the site consists of:
 HaB - Hagerstown Silt Loam, 3%-8% Slopes
 No - Nolin Silt Loam, Local Alluvium, 0%-5% Slopes
 OhC - Opequan-Hagerstown Complex, 3%-8% Slopes
 OhB - Opequan-Hagerstown Complex, 8%-15% Slopes
 OaD - Opequan-Rock Outcrop Complex, 8%-25% Slopes
 URB - Urban Land-Hagerstown Complex, Gently Sloping

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING
- PROPOSED CURB TRANSITIONS
- PROPOSED MAJOR CONTOURS W/ ELEVATION
- PROPOSED MINOR CONTOURS W/ ELEVATION
- PROPOSED TREE LINE
- PROPOSED 8" SANITARY SEWER W/ MANHOLE & FLOW ARROWS
- PROPOSED 6" PVC SANITARY SEWER LATERAL W/ CLEAN OUT
- PROPOSED 4" DUCTILE IRON FIRE LINE W/ VALVE
- PROPOSED 3" DUCTILE IRON WATER SERVICE LATERAL W/ VALVE
- PROPOSED ROOF DRAIN LINE
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND TELEPHONE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED PAVED AREAS (EXCEPT WALK/BIKE PATH)
- PROPOSED VINYL FENCE
- PROPOSED WOODEN FENCE
- PROPOSED RETAINING WALL
- PROPOSED MANHOLE
- PROPOSED STORM SEWER INLET - TYPE M
- PROPOSED STORM SEWER INLET - TYPE C
- PROPOSED GAS VALVE
- PROPOSED CLEAN-OUT W/ CONC. PAD
- PROPOSED LIGHT POLE/STANDARD
- PROPOSED LIGHT (WALL MOUNT)
- PROPOSED SIGN
- PROPOSED PARKING STALL COUNT
- PROPOSED TRAFFIC FLOW ARROWS
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL (VAN)
- PROPOSED DEPRESSED CURB AREA
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED HANDICAPPED RAMP
- PROPOSED PAVEMENT CUT AND PATCH (TRENCH)



STORMWATER MANAGEMENT FACILITIES OWNERSHIP AND MAINTENANCE PROGRAM:

STORMWATER BMP MAINTENANCE ITEM	MAINTENANCE DUTY	OCCURRENCE INTERVAL
STORM SEWER INLETS AND PIPES	STORM SEWER INLETS AND PIPES SHALL BE CLEANED OF ALL DEBRIS, LITER, AND OTHER DELETERIOUS MATERIAL.	MONTHLY OR AFTER EACH RAINFALL EVENT PRODUCING 0.5" RAIN
48" UNDERGROUND DETENTION BASIN	THE BASIN SHALL BE INSPECTED AND CLEANED OF ALL DEBRIS, LITER, AND OTHER DELETERIOUS MATERIAL.	MONTHLY OR AFTER EACH RAINFALL EVENT PRODUCING 0.5" RAIN
GRATE INLET SKIMMER BOX	THE STORM BOOM SHALL BE REPLACED, WITH DEBRIS IN THE SKIMMER TRAY AND THE OLD STORM BOOM DISPOSED OF PROPERLY. DEBRIS IN THE FILTRATION BOX SHALL BE DUMPED INTO A PROPER DISPOSAL CONTAINER OR SUCTIONED OUT WITH A VACUUM. CLEAN SCREENS WITH A SPRAY WAND OR BRUSH.	QUARTERLY OR AFTER EACH RAINFALL EVENT PRODUCING 0.5" RAIN
BASIN OUTLET STRUCTURES	THE OUTLET STRUCTURES SHALL BE INSPECTED TO ENSURE STRUCTURAL STABILITY. ALL JOINTS WITH OUTLET PIPES SHALL BE WATER-TIGHT AND IF NECESSARY RE-GROUTED.	ANNUALLY
SINKHOLE PREVENTION MEASURES	INSPECT THE RAIN GARDEN AND UNDERGROUND BASIN AREA FOR ANY SUBSIDENCE. IN THE EVENT THAT A SINKHOLE FORMS, CONTACT THE TOWNSHIP ENGINEER, AN ADJACENT PROPERTY OWNER THAT MAY BE AFFECTED AND THE STATE COLLEGE BOROUGH WATER AUTHORITY IMMEDIATELY.	MONTHLY OR AFTER EACH RAINFALL EVENT PRODUCING 0.5" RAIN

*DOCUMENTATION OF INSPECTIONS MUST BE MAINTAINED BY THE OWNER AND SUBMITTED TO TOWNSHIP UPON REQUEST. MAINTENANCE INSPECTIONS MAY BE PERFORMED BY THE TOWNSHIP TO ENSURE PROPER FUNCTIONING OF ALL STORMWATER FACILITIES.

PennTerra ENGINEERING INC.
 CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
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 Fax: 814-237-2308

LANCASTER REGION OFFICE:
 3904 B ABEL DRIVE
 COLUMBIA, PA 17512
 PH: 717-522-5031
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Designer	RRK
Draftsman	JDB
Proj. Manager	RRK
Surveyor	XXX
Perimeter Ok.	
Book	XXX Pg. XXX
Drawn	Layal 16094-07-GP-UP
Acad	GRADING-UTILITY-24'x36'

Date	Description	REVISIONS

WEST CHERRY LANE MULTI USE BUILDING

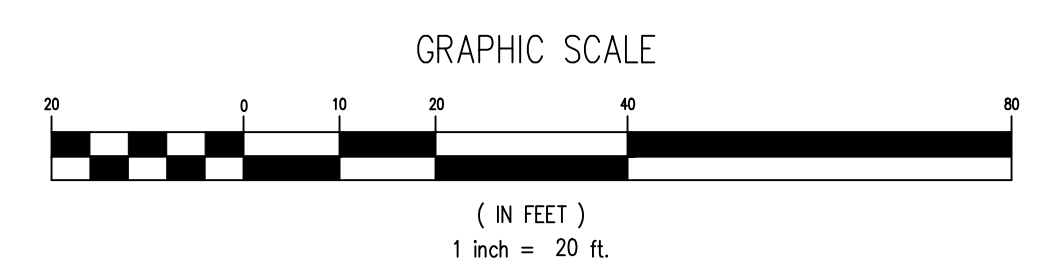
FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY/FINAL
 LAND DEVELOPMENT
 PLAN

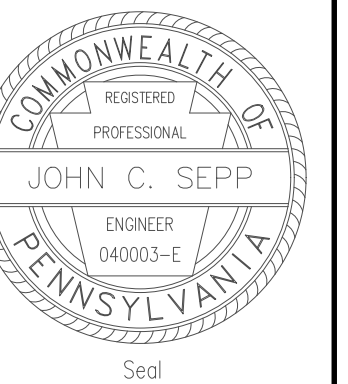
GRADING,
 UTILITY, AND
 STORMWATER
 MANAGEMENT
 PLAN

PROJECT NO.	16094.01
DATE	SEPTEMBER 12, 2019
SCALE	1"=20'
SHEET NO.	7

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA 1 CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY



P:\Metro\2019\16094\dwg\pdr\final\plan\final\plan\16094-07-GP-UP.dwg, 9/12/2019 3:00:16 PM, 1:1



Designer	RRK
Draftsman	JDB
Proj Manager	RRK
Surveyor	XXX
Perimeter Ck.	
Book	XXX Pg. XXX
Drawn	Layout 16094-08-LP
Acad	LANDSCAPE-24"x36"

WEST CHERRY LANE MULTI USE BUILDING

FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

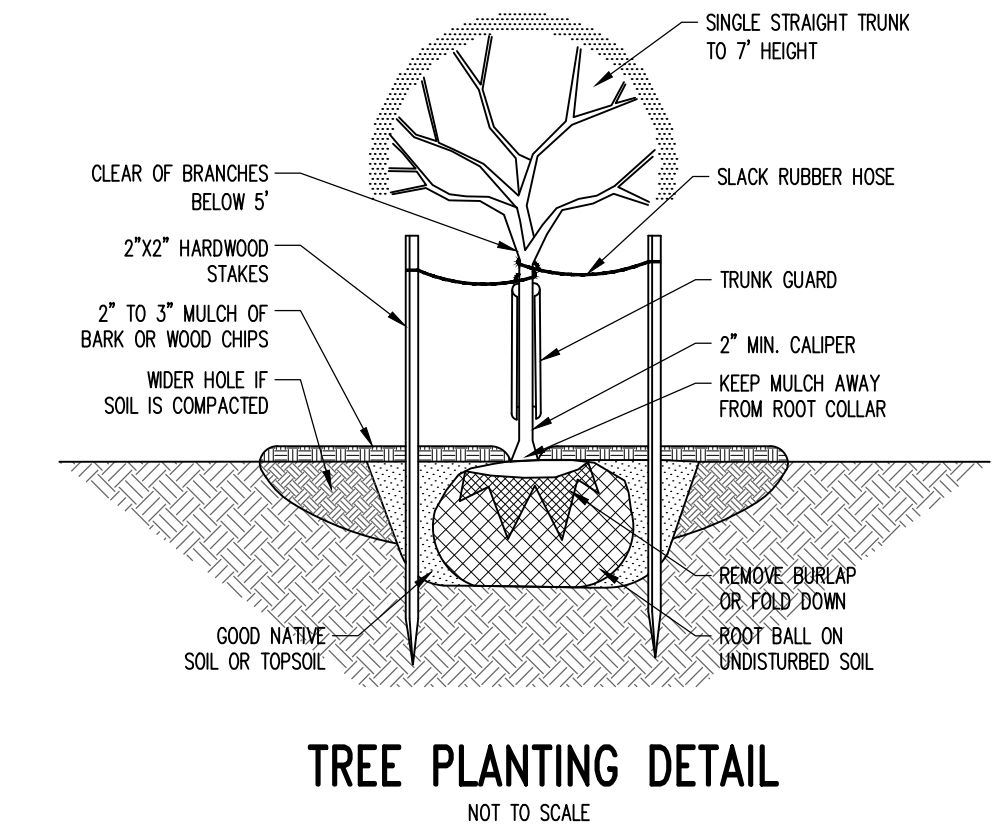
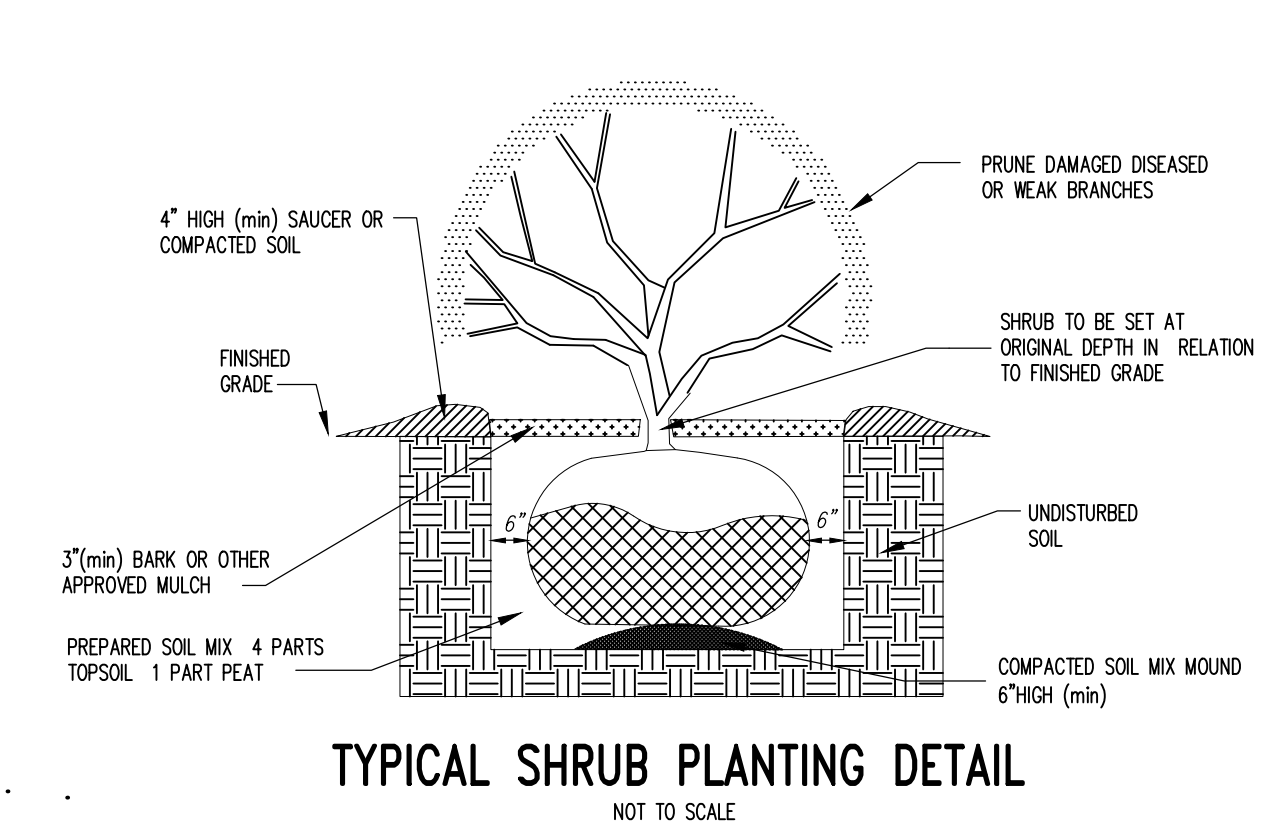
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

LANDSCAPE PLAN

PROJECT NO.	16094.01
DATE	SEPTEMBER 12, 2019
SCALE	1"=20'
SHEET NO.	8

PLANTING SCHEDULE					
SYMBOL	KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE / MATURE HEIGHT / SPREAD
CANOPY TREES					
AS	7	SUGAR MAPLE	Acer saccharum	2"-2-1/2" Cal.	60' / 40'
AR	2	LONDON PLANETREE	Platanus x acerifolia	2"-2-1/2" Cal.	50' / 40'
RB	1	HERITAGE RIVER BIRCH	Betula nigra 'Heritage'	2"-2-1/2" Cal.	35' / 20'
UNDERSTORY / EVERGREEN TREES					
TA	9	AMERICAN ARBORVITAE	Thuja occidentalis	6' HL. min	40' / 10'
SHRUBS / GROUND COVER					
JY	29	JAPANESE YEW	Taxus cuspidata cultivars	2 GAL.	4' / 6'
AW	19	ANTHONY WATERER SPIREA	Spiraea x bumalda 'Anthony Waterer'	2 GAL.	4' / 5'

NOTE: ALL TREES AND SHRUBS SHALL BE PLANTED IN ACCORDANCE WITH THE "FERGUSON TOWNSHIP REGULATIONS FOR ARBOR WORK."



SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- L.P. Found

EXISTING FEATURES LEGEND

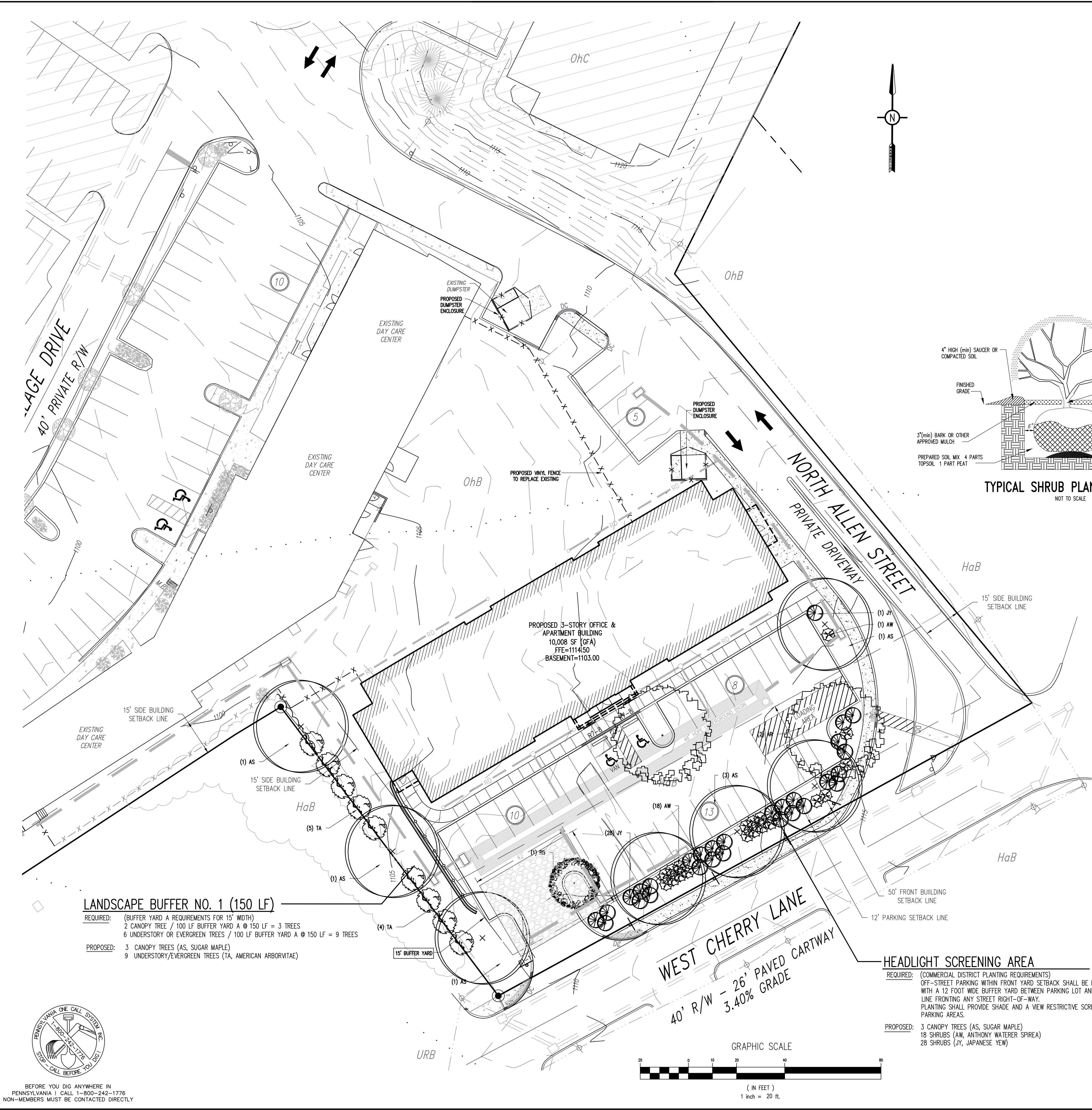
- Existing Curbing
- Existing Contours (1's)
- Existing Contours (5's)
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Line
- Existing Storm Sewer Line w/ Inlet
- Existing Overhead Utility Line w/ Pole
- Existing Concrete Areas
- Existing Vinyl/Wooden Fence
- Existing Manhole
- Existing Utility Pole
- Existing Storm Sewer Inlet
- Existing Light Pole/Standard

SOILS LEGEND

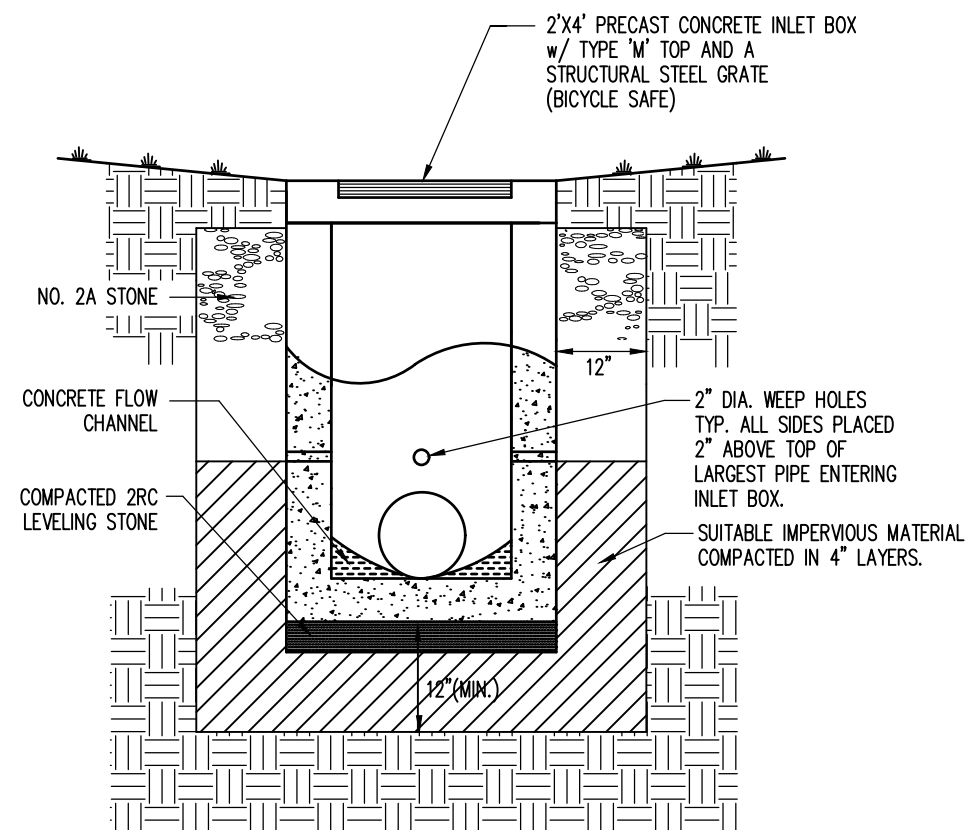
- Soil cover on the site consists of:
- HaB - Hagerstown Silt Loam, 3%-8% Slopes
 - No - Nolin Silt Loam, Local Alluvium, 0%-5% Slopes
 - OnB - Oquepos-Hagerstown Complex, 3%-5% Slopes
 - OnC - Oquepos-Hagerstown Complex, 5%-15% Slopes
 - OnD - Oquepos-Rock Outcrop Complex, 8%-25% Slopes
 - URB - Urban Land-Hagerstown Complex, Gently Sloping

PROPOSED FEATURES LEGEND

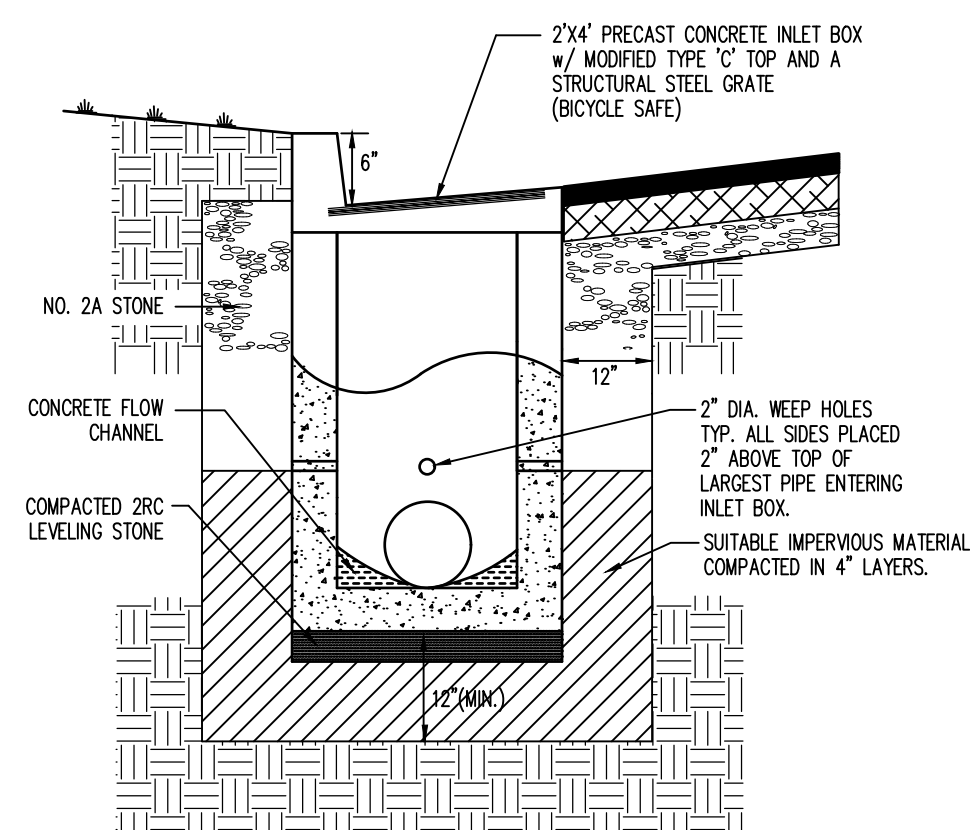
- PROPOSED BUILDING
- PROPOSED CURBING
- PROPOSED CURB TRANSITIONS
- PROPOSED TREE LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED PAVED AREAS (EXCEPT WALK/BIKE PATH)
- PROPOSED VINYL FENCE
- PROPOSED WOODEN FENCE
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- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL (VAN)
- PROPOSED DEPRESSED CURB AREA
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED HANDICAPPED RAMP



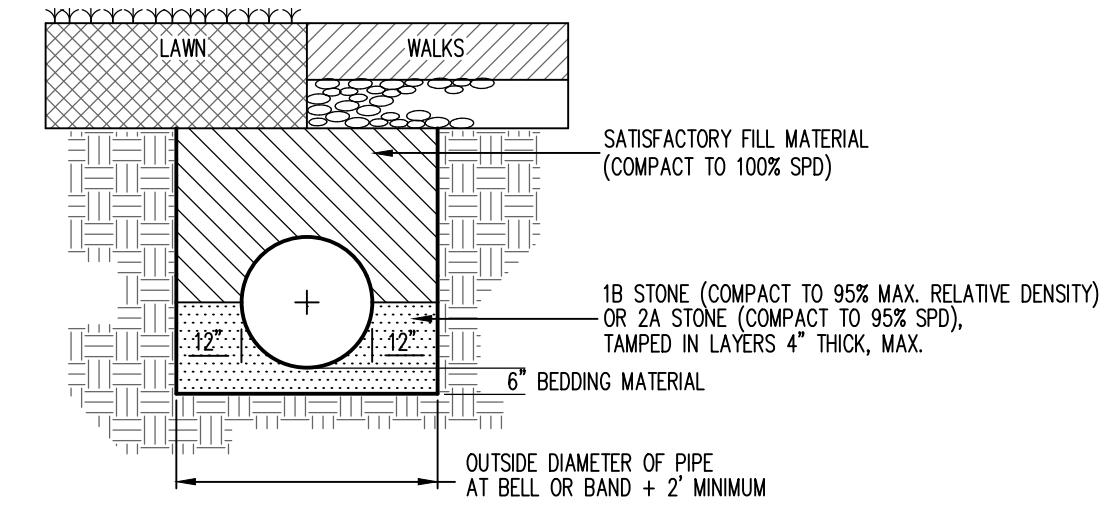
PROPOSED STORM DRAINAGE STRUCTURE DATA										
ID	STRUCTURE TYPE	TG ELEV	INVERT IN	FROM	INVERT OUT	PIPE RUN	LENGTH (FT)	SIZE (IN)	SLOPE (%)	
	48" UNDERGROUND BASIN		1107.67	8" RD						
			1107.67	8" RD						
			1106.00	I-1						
			1106.00	I-5						
I-1	24" X 48" Precast Type C Inlet w/ Bicycle Safe Gate	1112.00	1106.60	I-2	1106.50	I-1 TO BASIN	HDPEP	30.80	15	1.62
I-2	24" X 48" Precast Type C Inlet w/ Bicycle Safe Gate	1110.65	1106.60	I-7		I-2 TO I-1	HDPEP	32.70	15	1.53
I-7	24" X 48" Precast Type C Inlet w/ Bicycle Safe Gate	1112.00			1108.50	I-7 TO I-1	HDPEP	35.90	15	5.29
I-5	24" X 48" Precast Type M Inlet w/ Bicycle Safe Gate	1115.00	1107.33	TEE	1107.23	I-5 TO BASIN	HDPEP	38.00	15	3.24
TEE	15'X15'X8" HDPE TEE	1112.75	1107.76	I-6	1107.76	TEE TO I-5	HDPEP	86.30	15	0.50
I-6	24" X 48" Precast Type M Inlet w/ Bicycle Safe Gate	1111.35	1108.15	6" RD	1108.15	I-6 TO TEE	HDPEP	42.30	15	0.92
EX-1	Existing 2x4 Inlet		1094.60	I-3						
I-3	24" X 48" Precast Type M Inlet w/ Bicycle Safe Gate	1100.35	1097.45	EX-2	1097.30	I-3 TO EX-1	HDPEP	137.10	12	1.97
TEE	12'X12'X8" HDPE TEE	1101.60	1098.25	I-4	1098.25	TEE TO I-3	HDPEP	20.00	12	4.25
I-4	24" X 48" Precast Type M Inlet w/ Bicycle Safe Gate	1108.50	1104.10	OS-1	1104.00	I-4 TO TEE	HDPEP	86.20	12	6.67
OS-1	48" x 72" Precast Inlet Box w/ 24" X 48" Precast Type M Inlet w/ Bicycle Safe Gate	1112.60	1106.00	UG BASIN	1106.00	OS-1 TO I-4	HDPEP	11.70	12	16.24



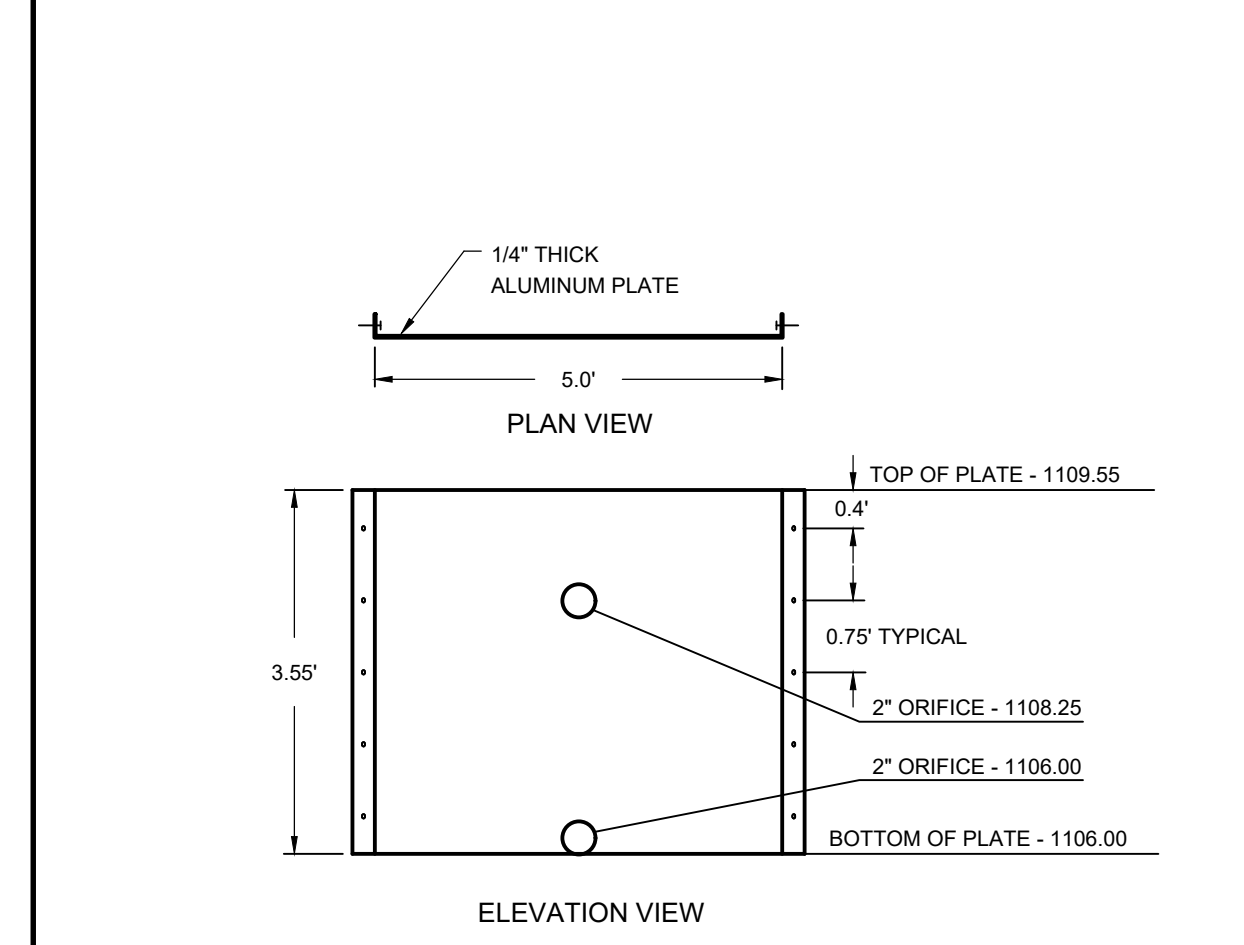
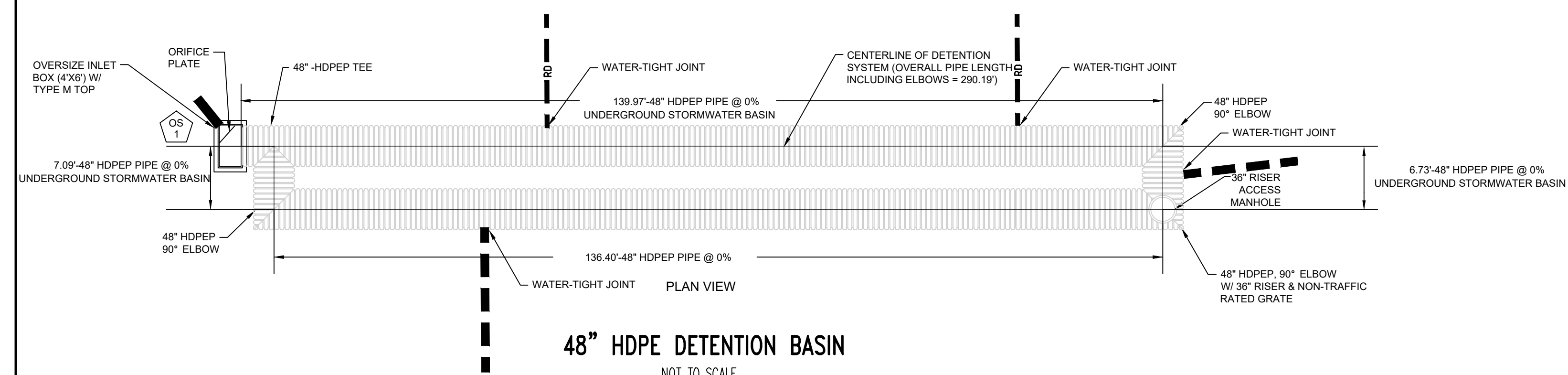
TYPE 'M' PRECAST CONCRETE INLET
NOT TO SCALE



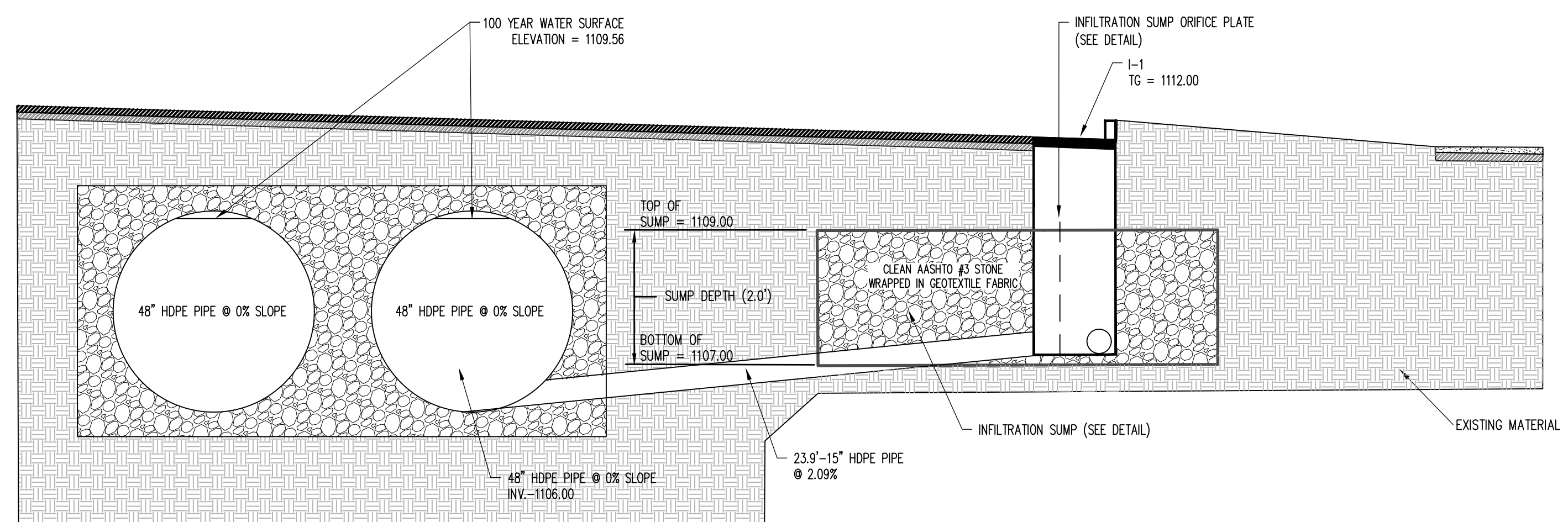
MODIFIED TYPE 'C' PRECAST CONCRETE INLET
NOT TO SCALE



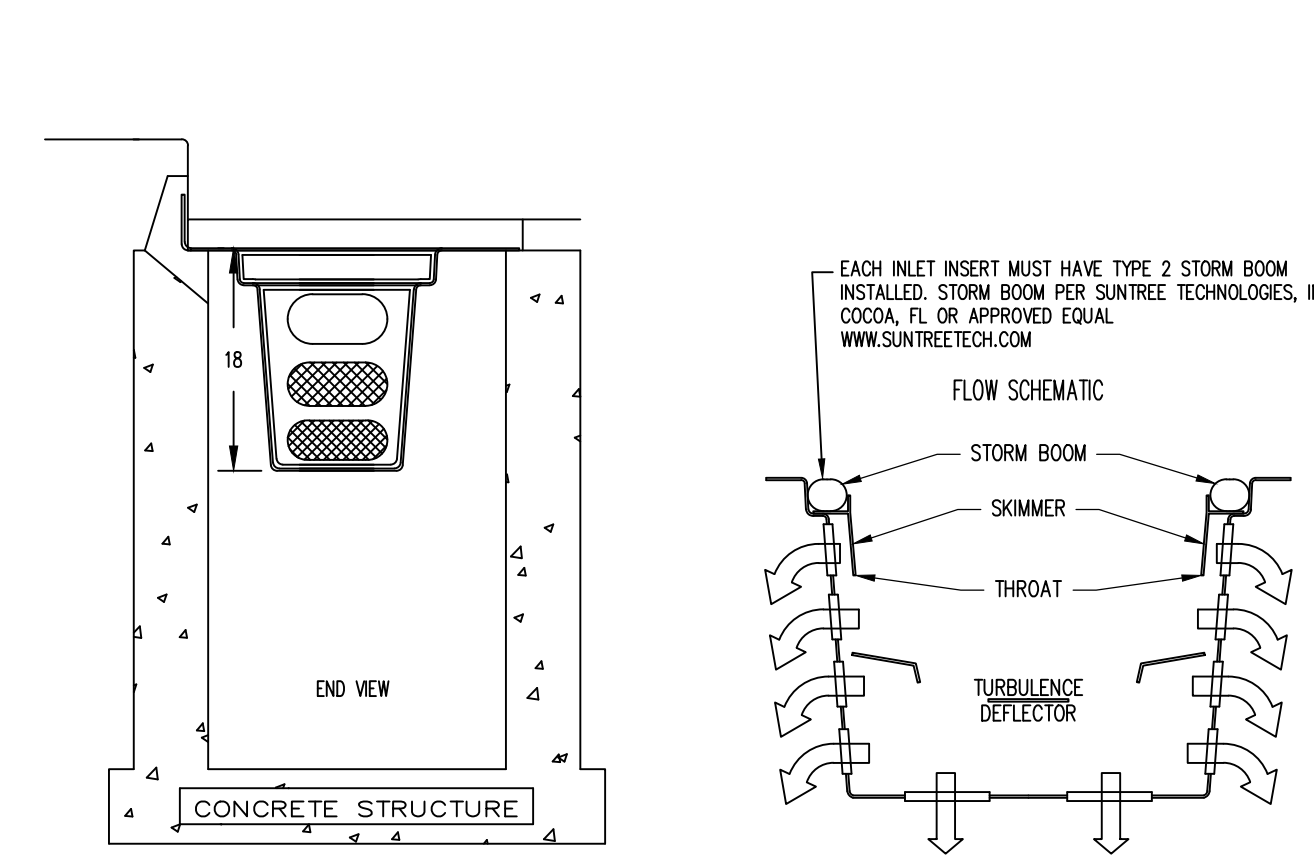
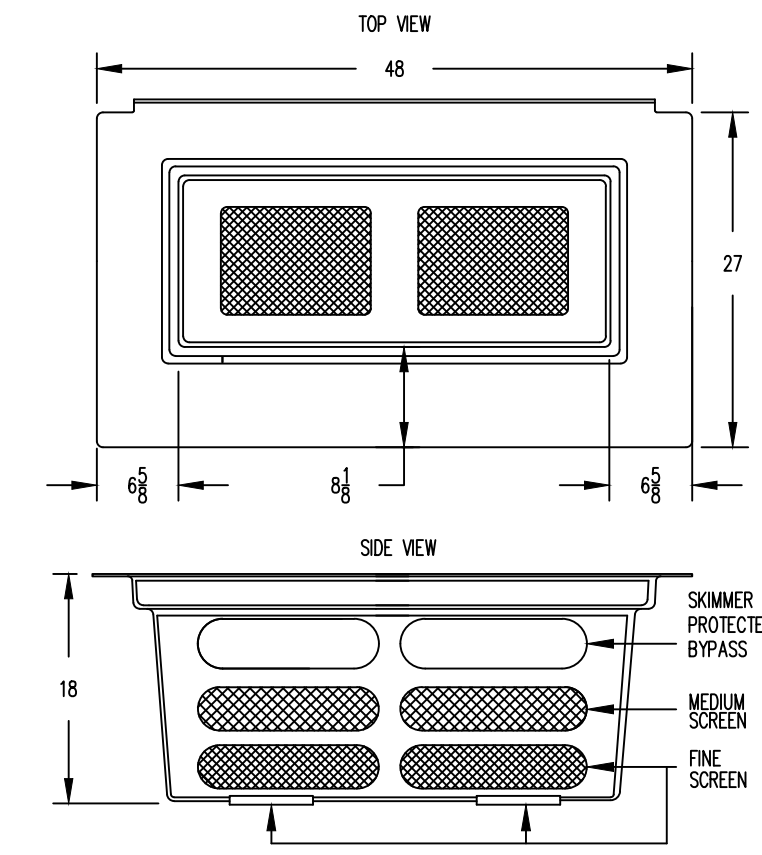
STORMSEWER (HDPE) INSTALLATION
NOT TO SCALE



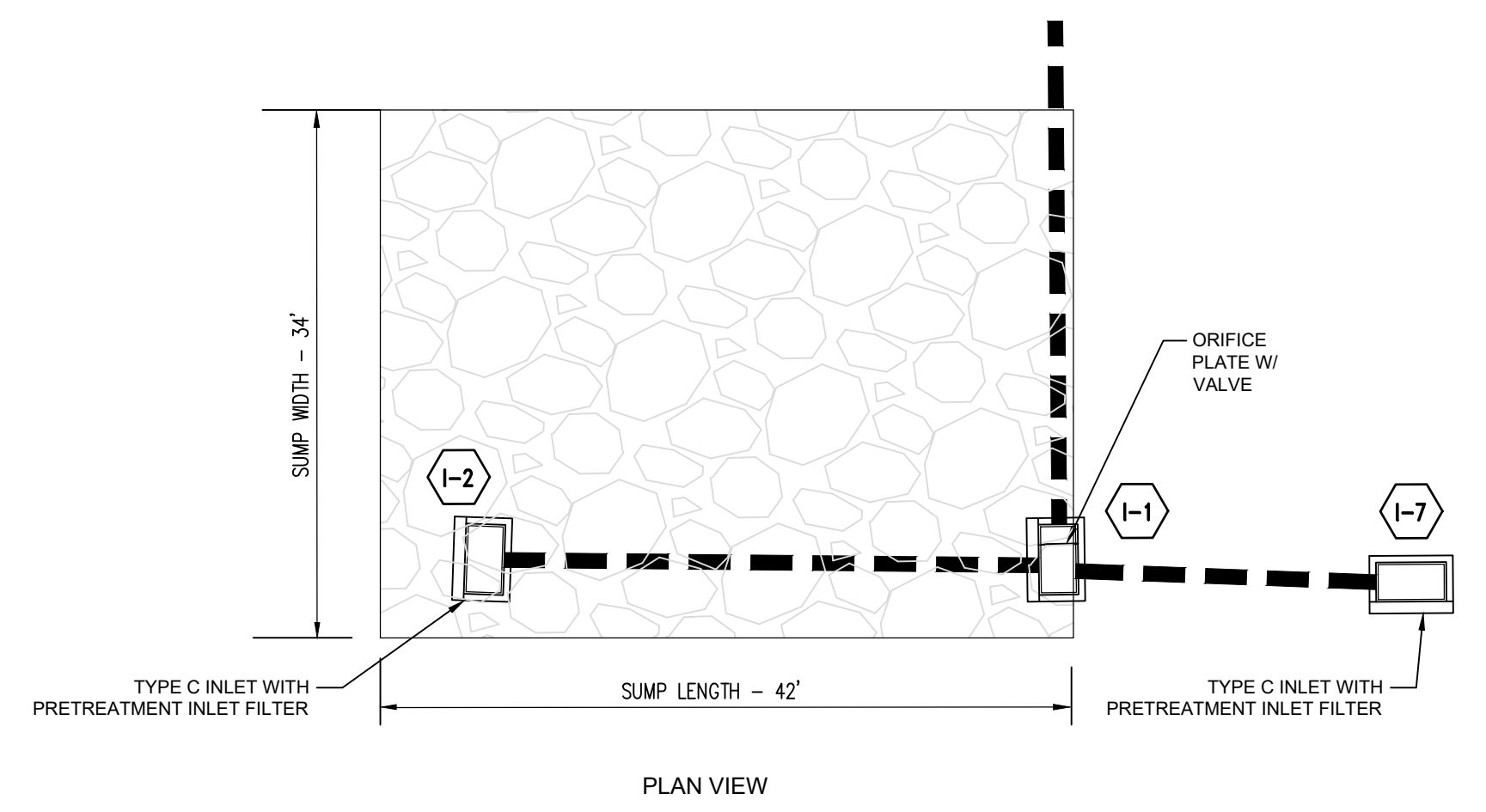
DETENTION BASIN ORIFICE PLATE (OS-1)
NOT TO SCALE



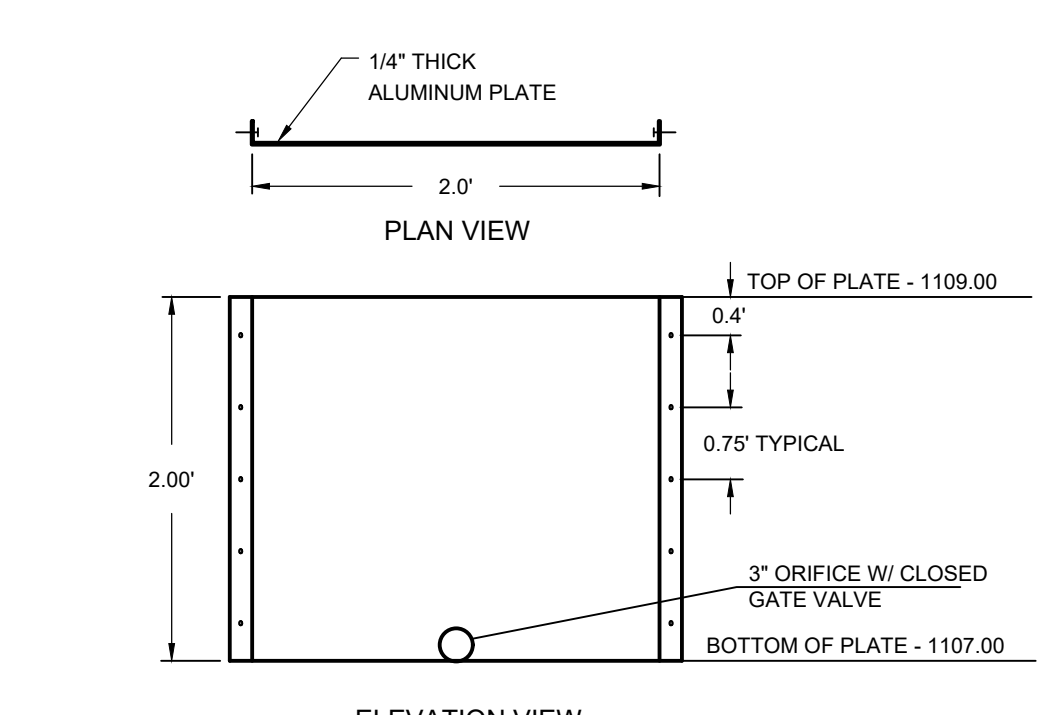
DETENTION SYSTEM & SUMP CROSS SECTION
NOT TO SCALE



GRATE INLET SKIMMER BOX FOR PENNDOT TYPE C INLETS (I-7 & I-2)
NOT TO SCALE



INFILTRATION SUMP DETAIL
NOT TO SCALE



INFILTRATION SUMP ORIFICE PLATE (I-1)
NOT TO SCALE

PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
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COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
JOHN C. SEPP
040003-E
Seal

Designer	RRK
Draftsman	JDB
Proj Manager	RRK
Surveyor	XXX
Perimeter Ck.	
Book	XXX Pg. XXX
Draw	Layout 10094-10-SWM-DETAILS
Acad	SWM-DETAILS-24"x36"

Date	Description	REVISIONS

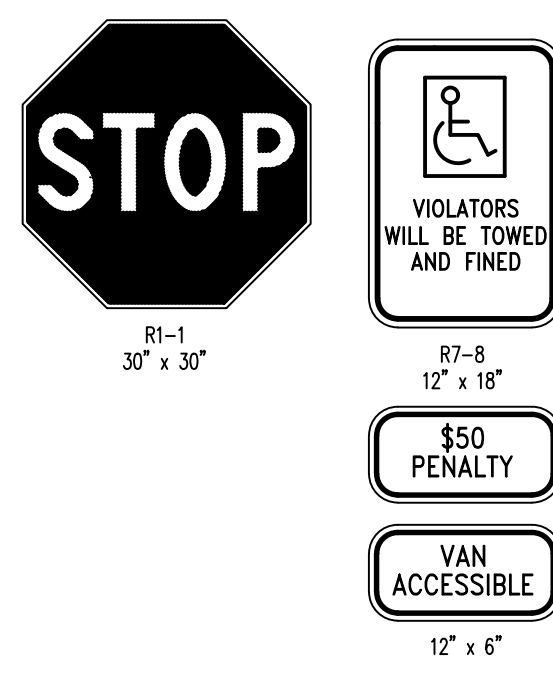
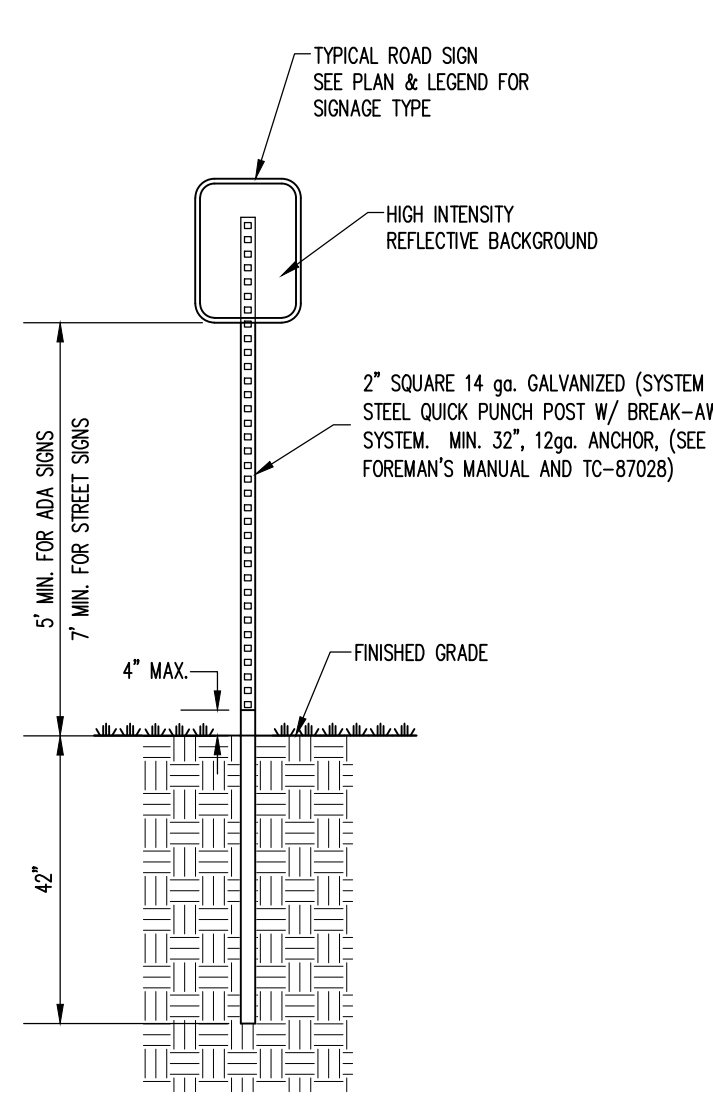
WEST CHERRY LANE MULTI USE BUILDING
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY/FINAL
LAND DEVELOPMENT
PLAN

STORMWATER
CONSTRUCTION
DETAILS

PROJECT NO.	16094.01
DATE	SEPTEMBER 12, 2019
SCALE	N.T.S.
SHEET NO.	10

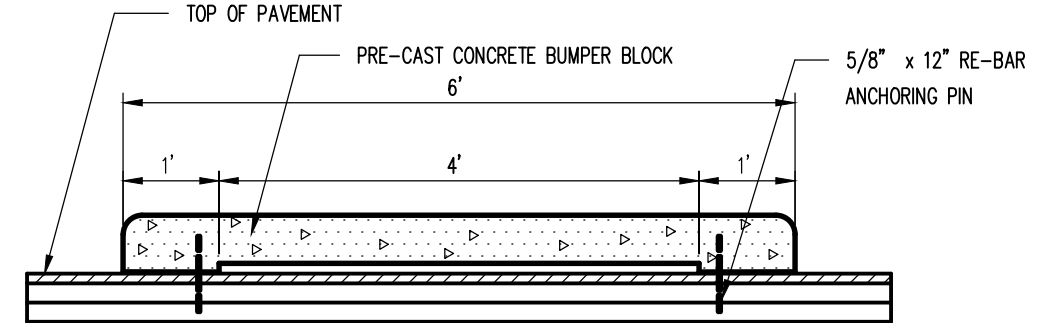
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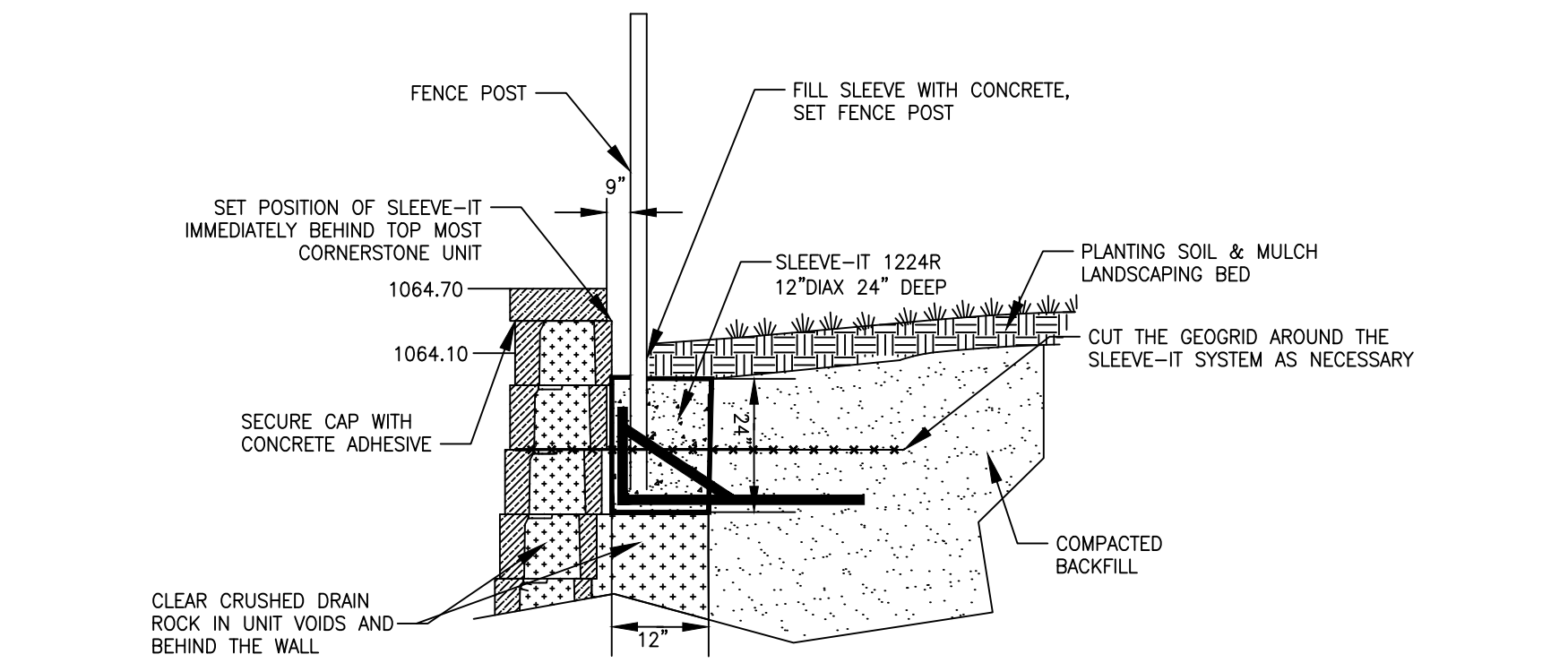
STREET SIGN DETAILS
NOT TO SCALE

NOTES:
1. MOUNT SIGN AT RIGHT ANGLE TO DIRECTION OF TRAFFIC FLOW.
2. PROVIDE A MINIMUM CLEARANCE OF TWO FEET FROM FACE OF CURB.

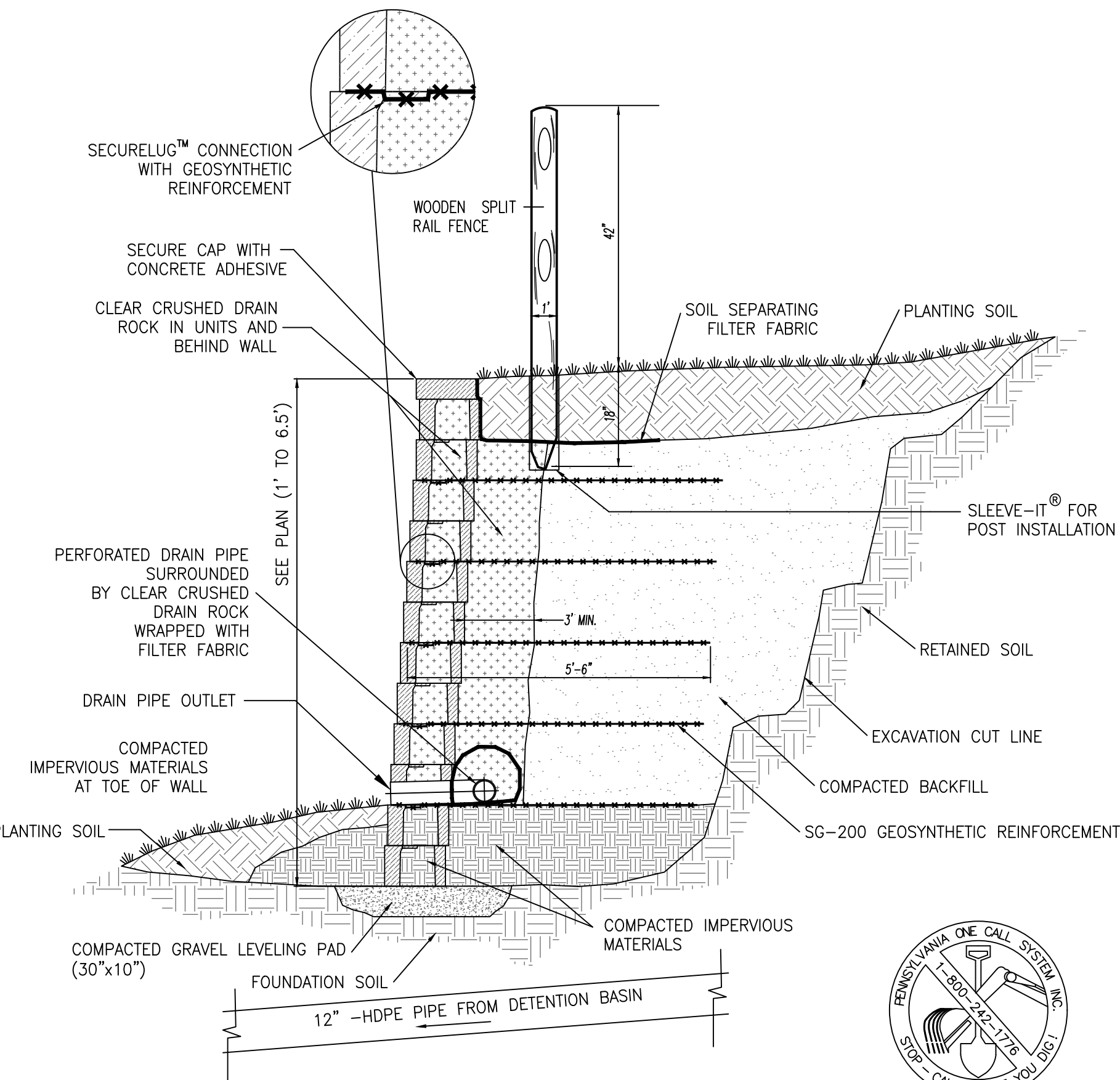
SIGN POST DETAIL
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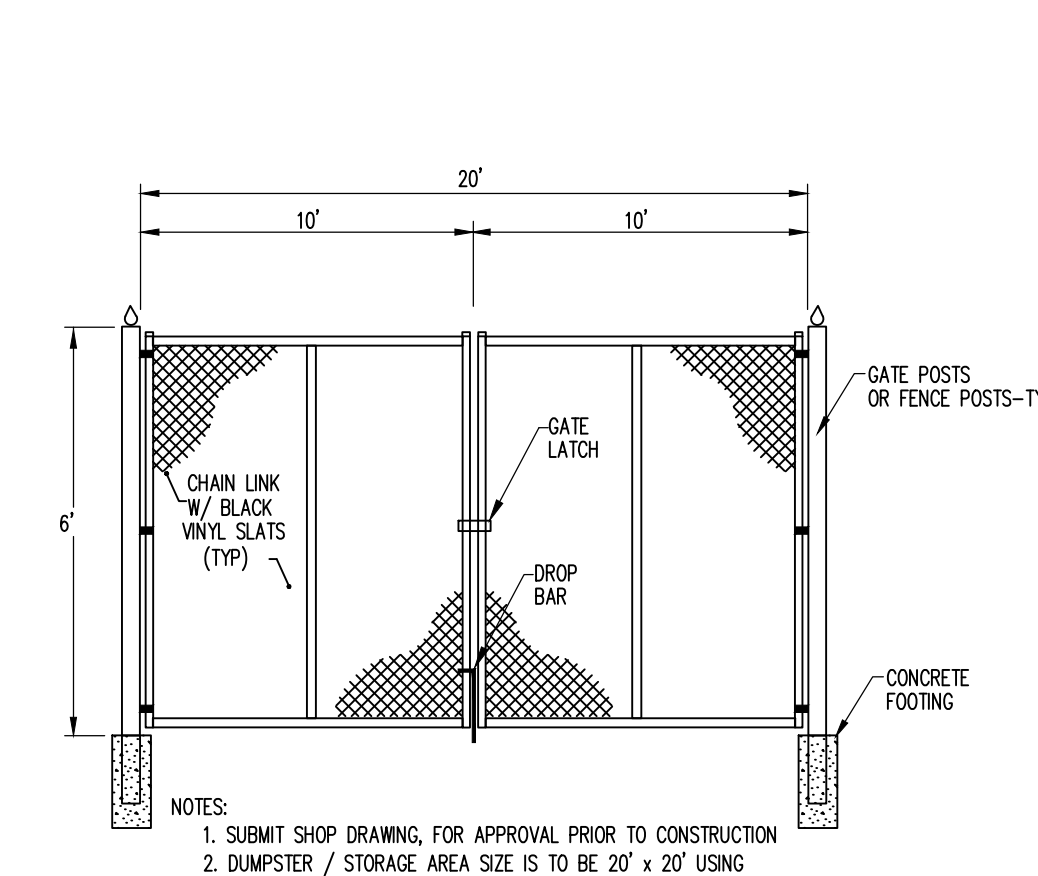
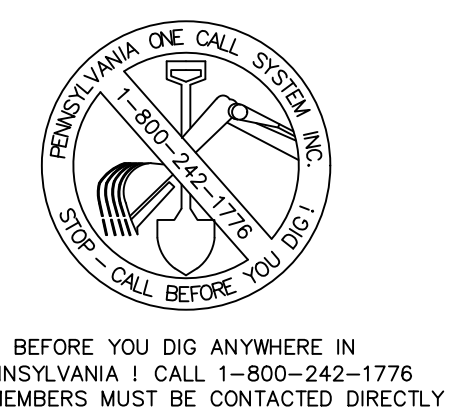
CONCRETE BUMPER BLOCK
NOT TO SCALE



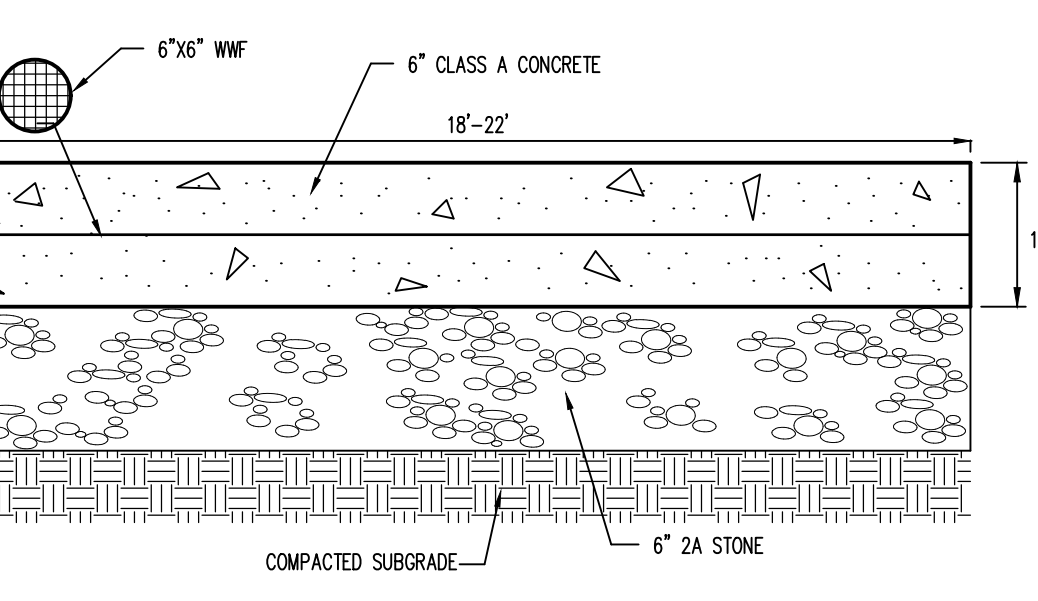
CORNERSTONE 100 - SLEEVE-IT DETAIL
NOT TO SCALE



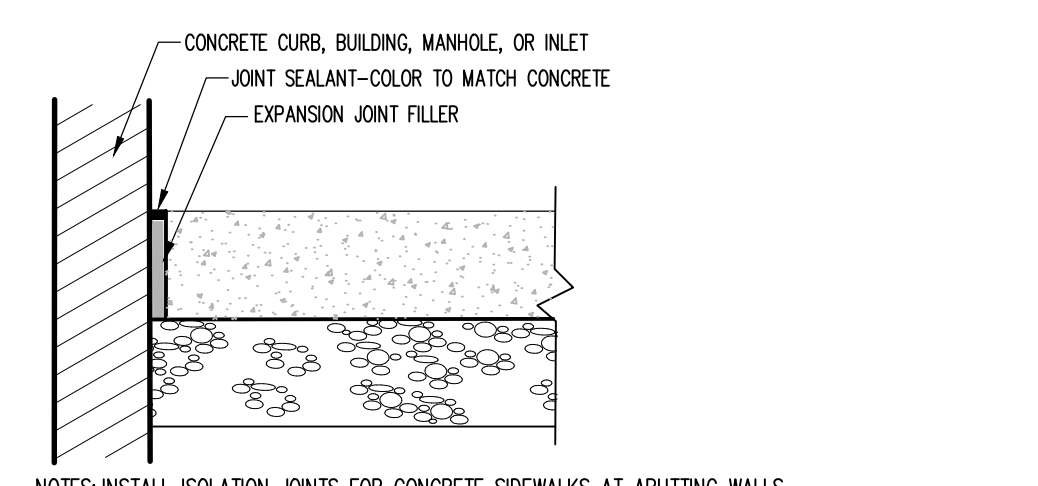
CORNERSTONE 100 - GEGRID REINFORCED
NOT TO SCALE



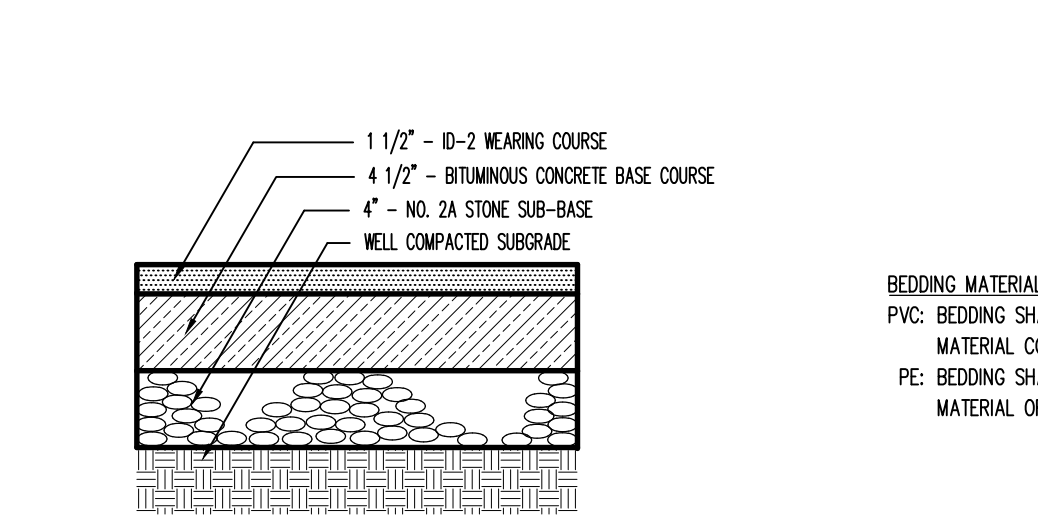
DUMPSTER SCREENING & GATE DETAIL
NOT TO SCALE



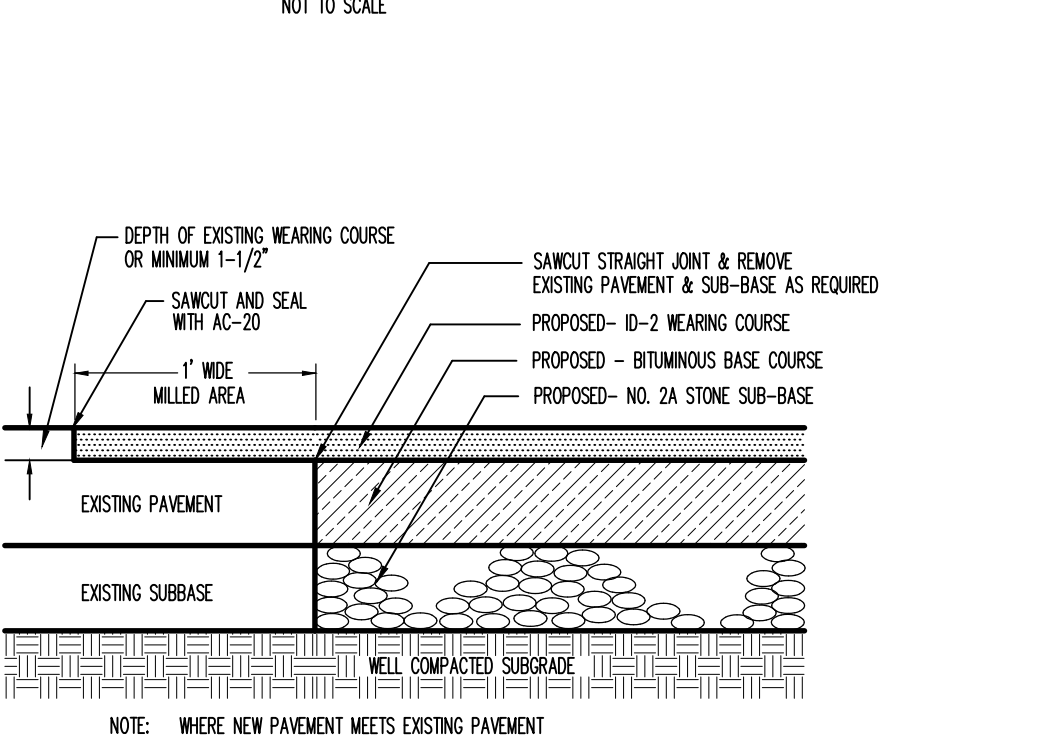
DUMPSTER PAD DETAIL
NOT TO SCALE



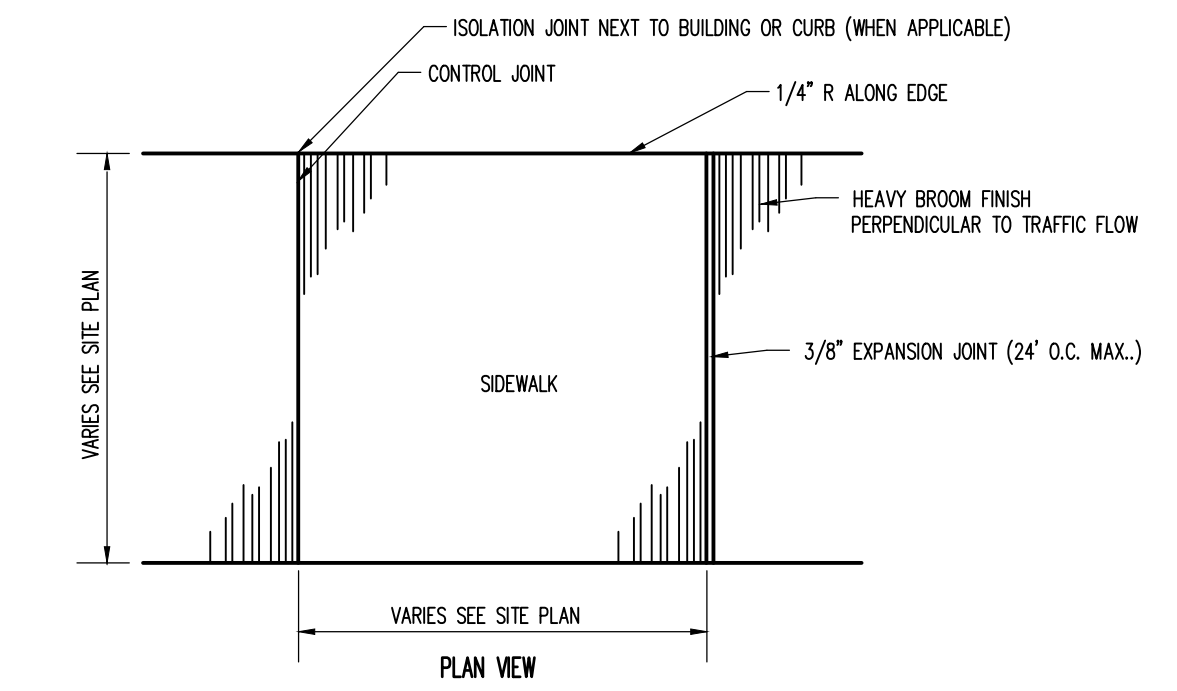
CONCRETE ISOLATION JOINT
NOT TO SCALE



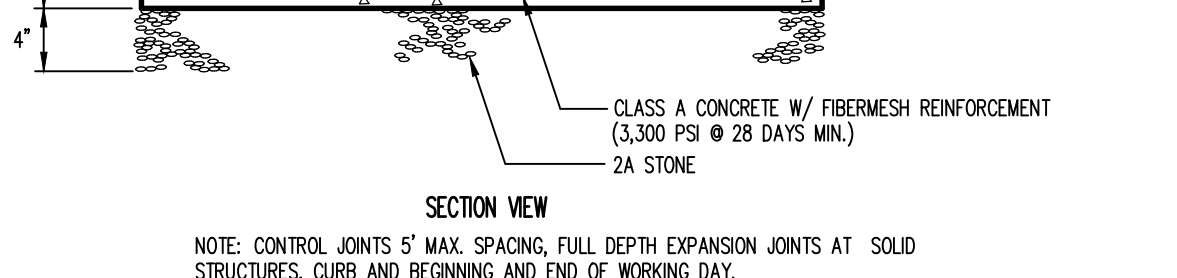
PARKING LOT & DRIVEWAY ENTRANCE PAVEMENT NOTCH DETAIL
NOT TO SCALE



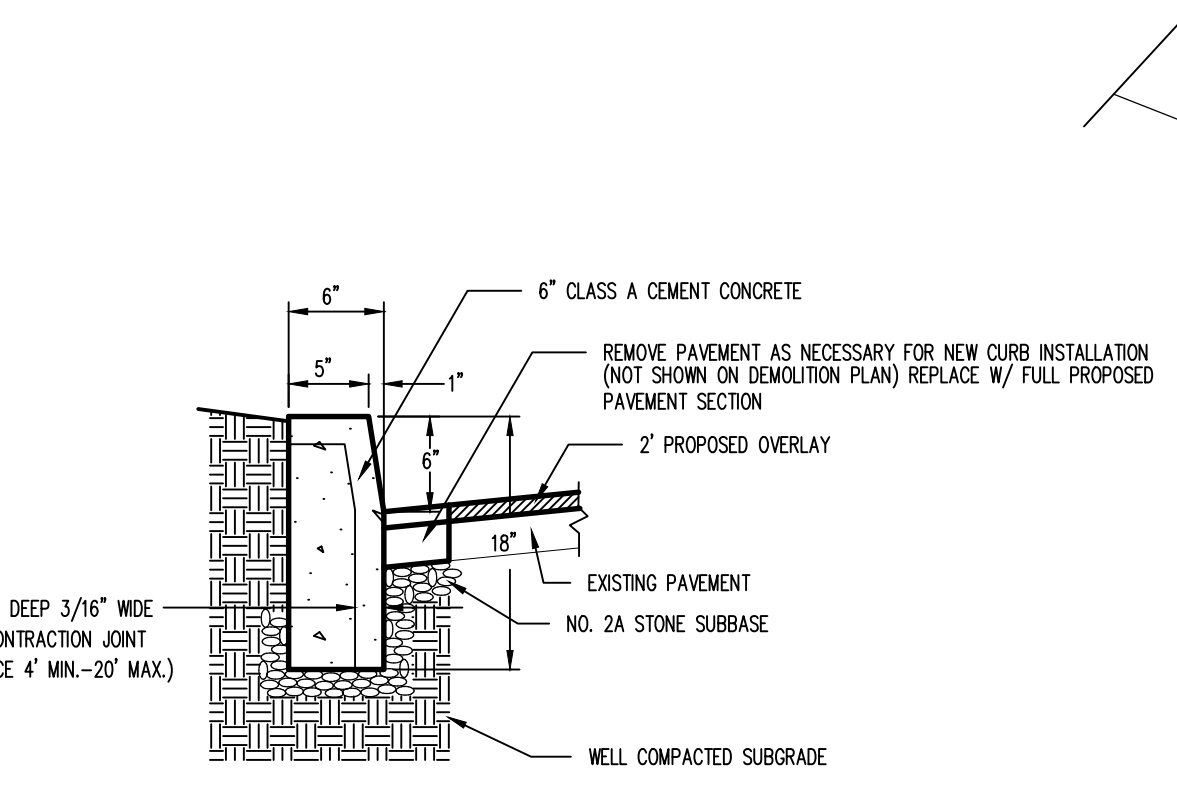
PAVEMENT NOTCH DETAIL
NOT TO SCALE



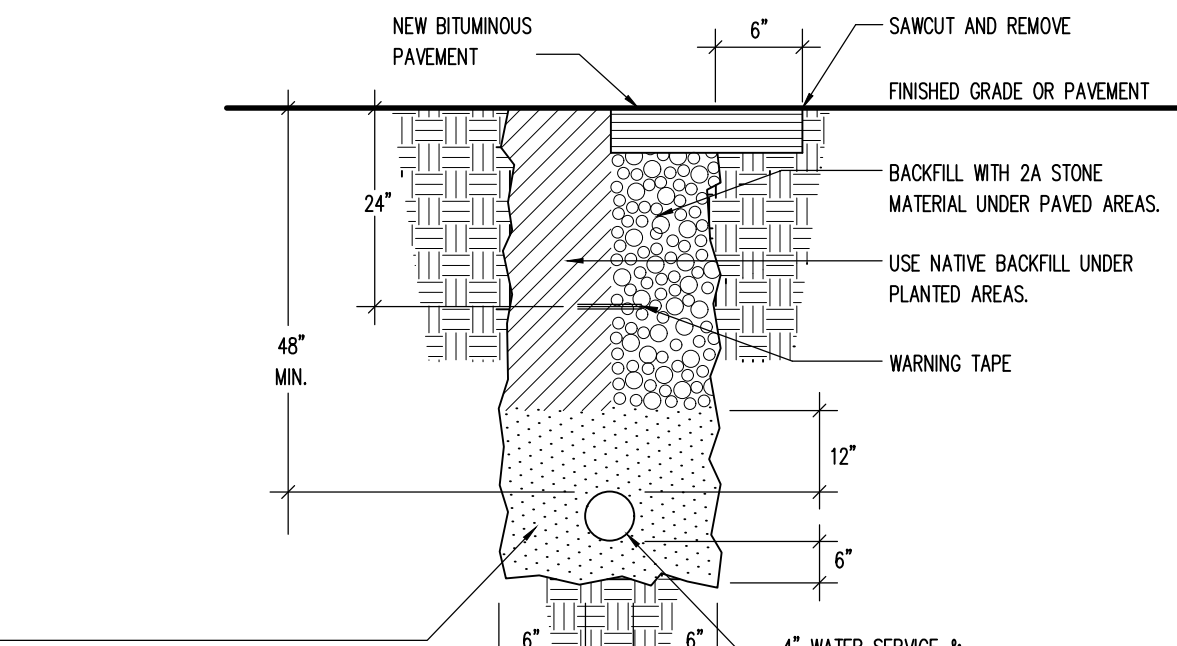
CEMENT CONCRETE SIDEWALK (TOWNSHIP R-O-W)
NOT TO SCALE



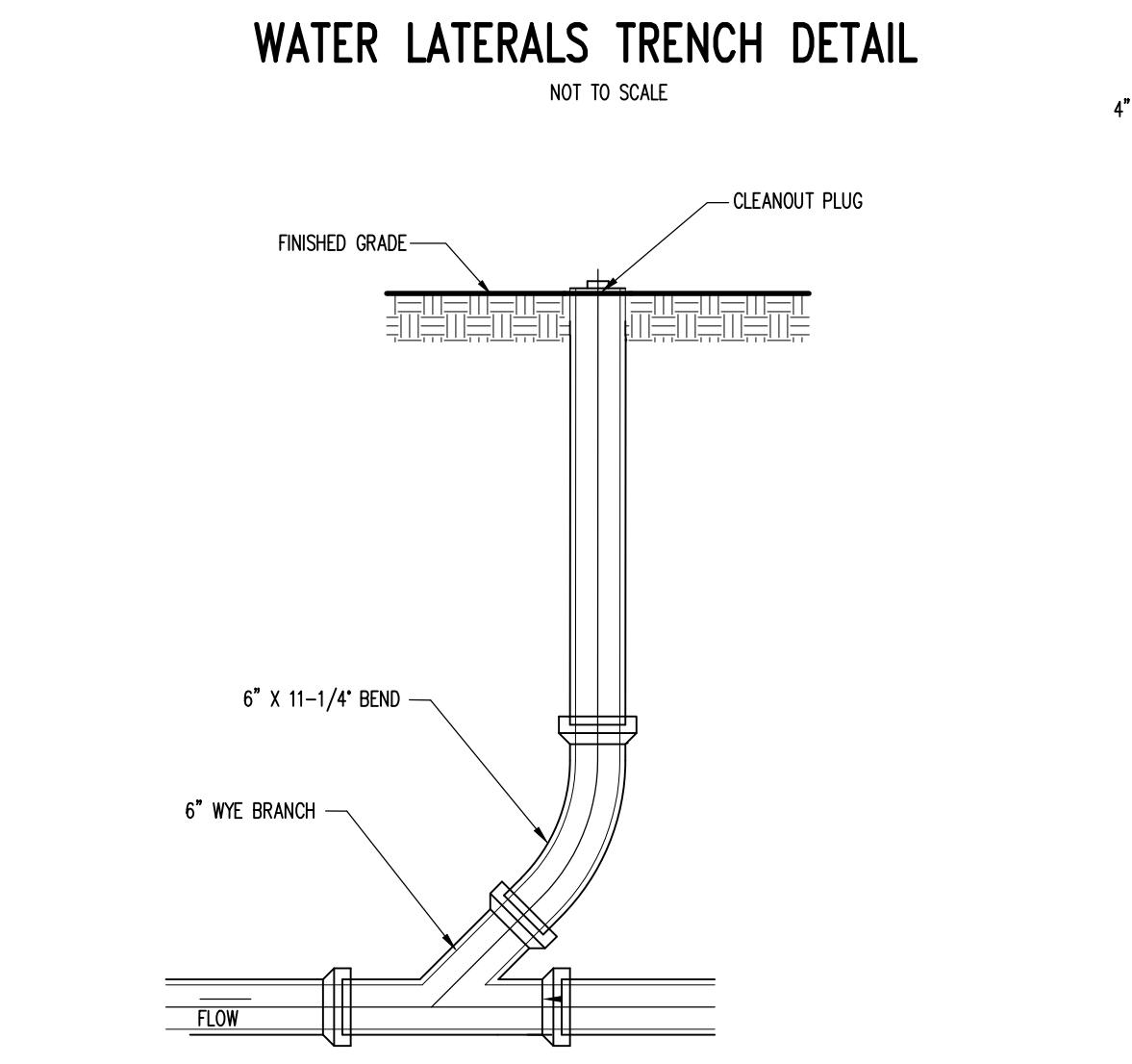
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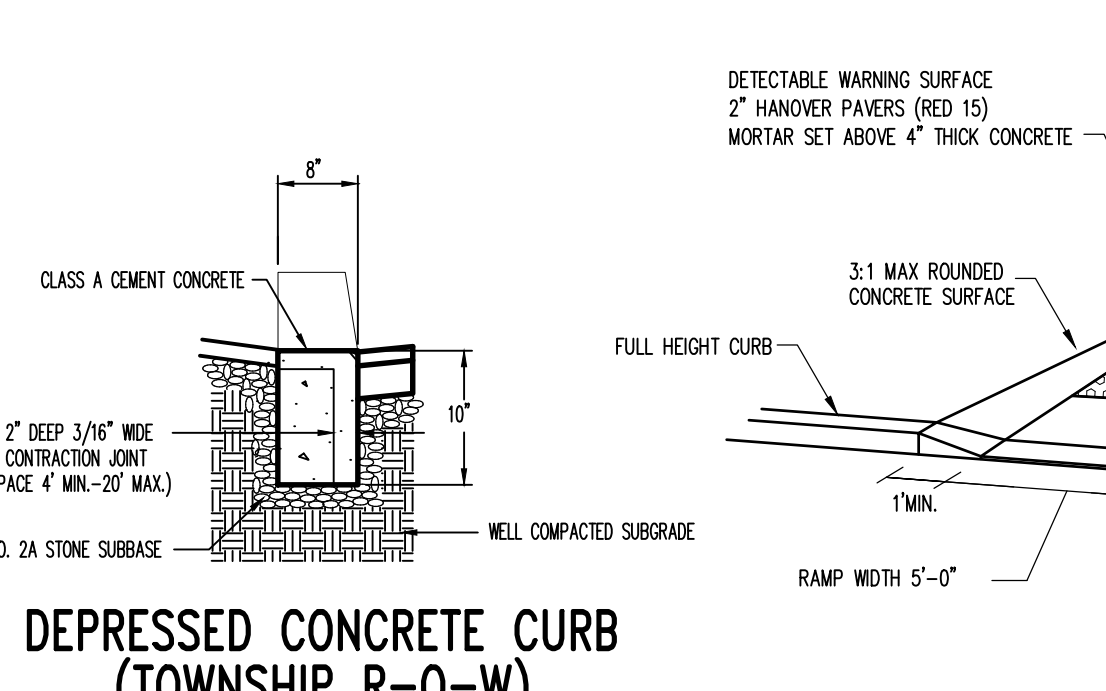
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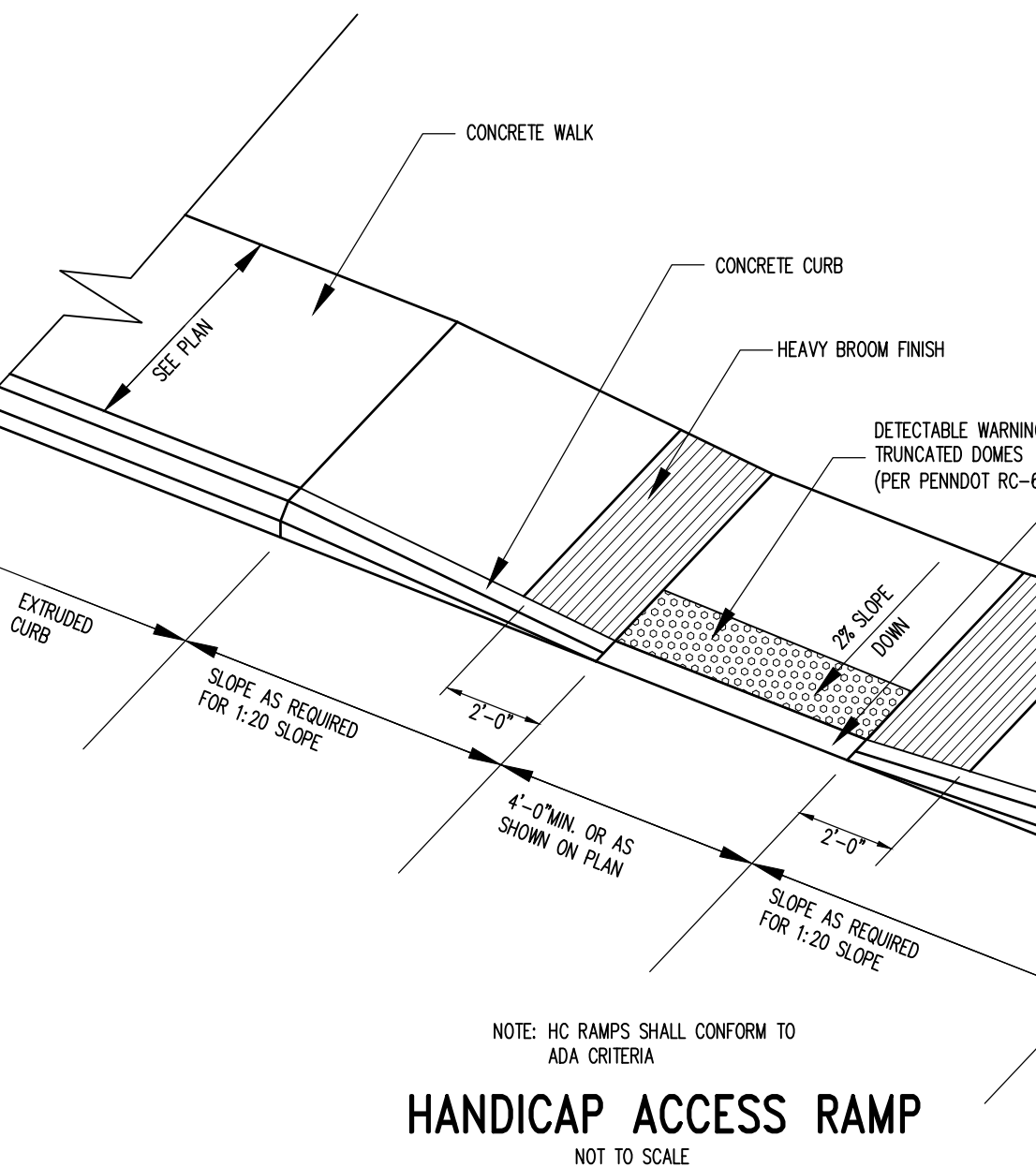
WATER LATERALS TRENCH DETAIL
NOT TO SCALE



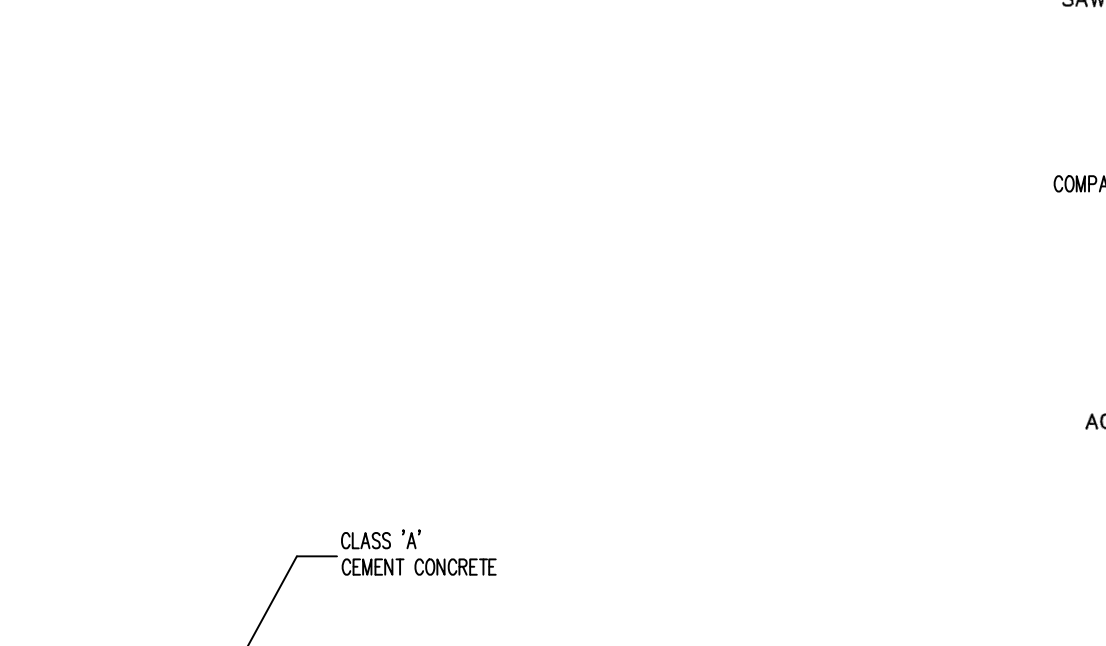
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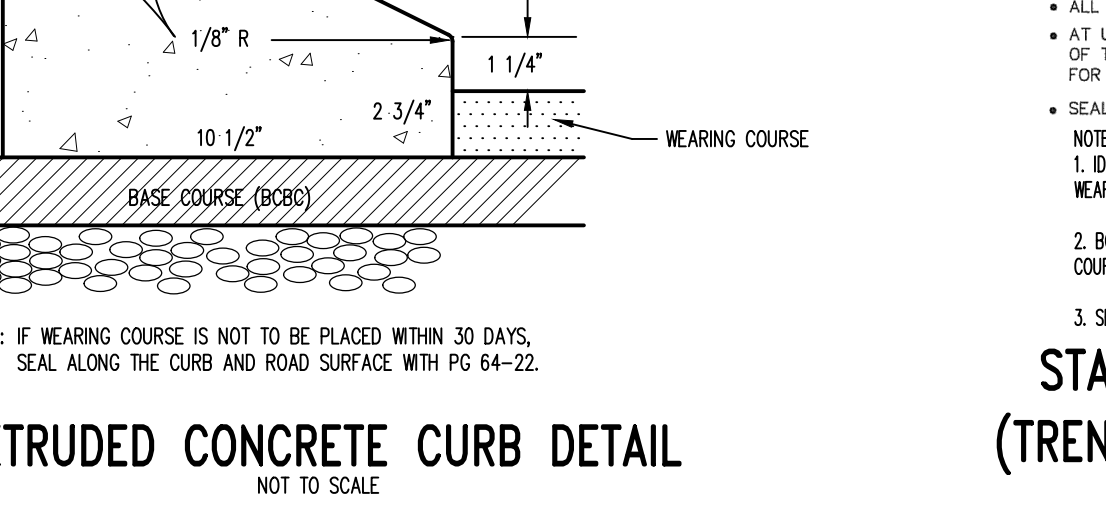
DEPRESSED CONCRETE CURB (TOWNSHIP R-O-W)
NOT TO SCALE



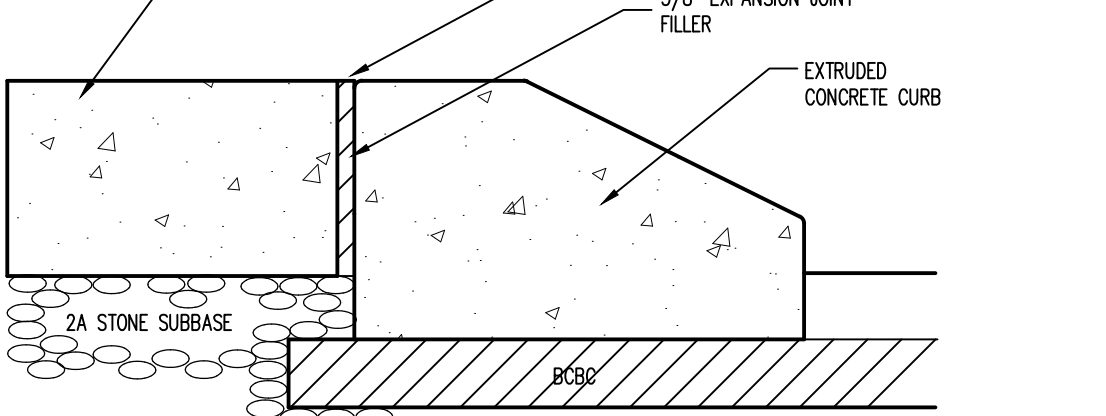
HANDICAP ACCESS RAMP
NOT TO SCALE



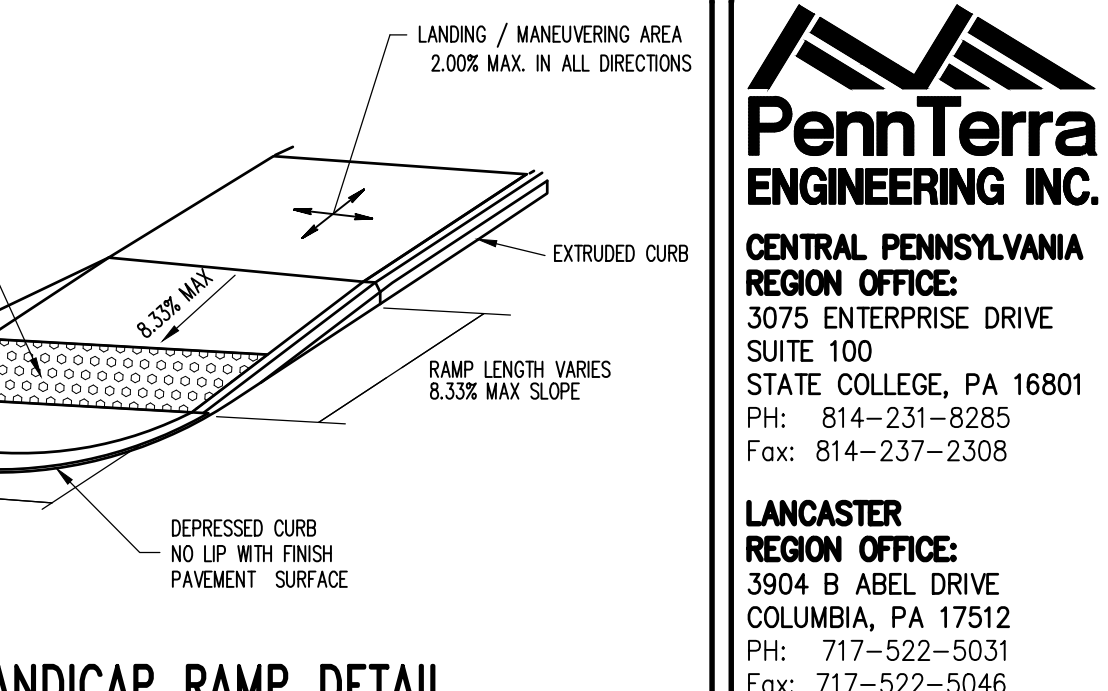
TRENCHING DETAIL
NOT TO SCALE



STANDARD ROAD CUT AND PATCH (TRENCH) DETAIL (TOWNSHIP R-O-W)
NOT TO SCALE



EXTRUDED CONCRETE CURB W/CONC. WALK DETAIL
NOT TO SCALE

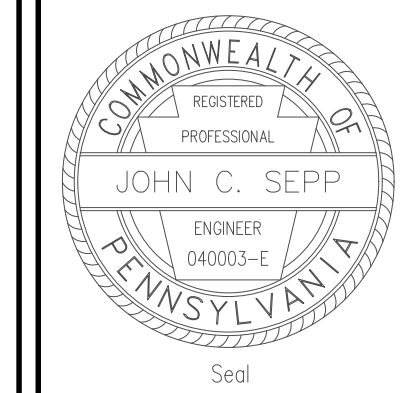


HANDICAP RAMP DETAIL
NOT TO SCALE

PennTerra ENGINEERING INC.
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Designer: RRK
Draftsman: JDB
Proj Manager: RRK
Surveyor: XXX
Perimeter Ok: _____
Book: XXX Pg: XXX
Drive: LAYOUT 16094-11-DSTR-BEVALS
Acad: CNSTR DETAILS-24\"/>

Date	Description	REVISIONS

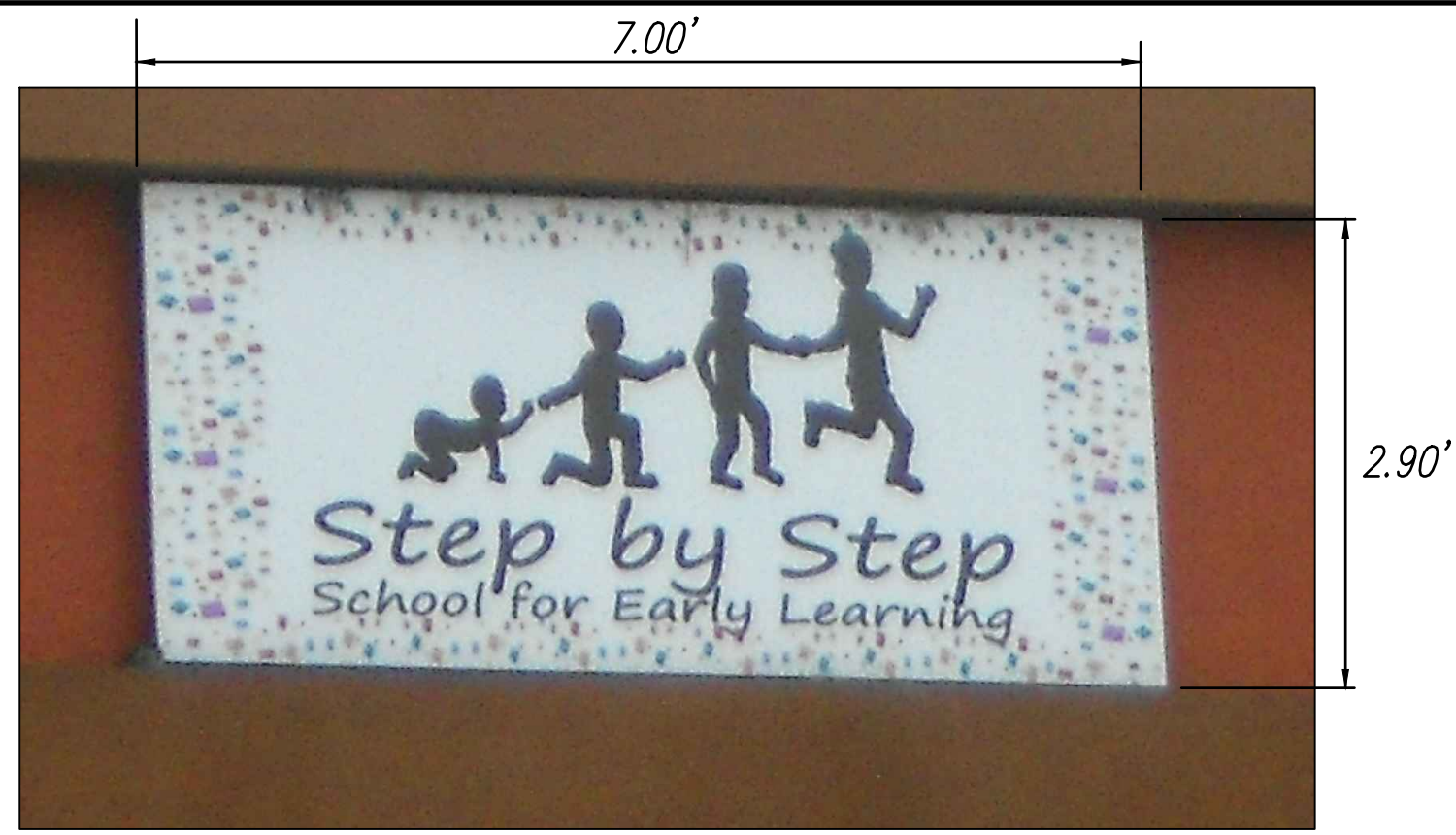
WEST CHERRY LANE MULTI USE BUILDING
FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

GENERAL CONSTRUCTION DETAILS

PROJECT NO.	16094.01
DATE	SEPTEMBER 12, 2019
SCALE	N.T.S.
SHEET NO.	11

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EXISTING SIGN 'A'
 NOT TO SCALE
 STEP BY STEP WALL SIGN
 2.90' HEIGHT
 20.30 SF
 MATERIAL: PLASTIC



EXISTING SIGN 'B'
 NOT TO SCALE
 DIRECTIONAL SIGN
 4.70' HEIGHT
 6.45 SF
 MATERIAL: PLASTIC/METAL



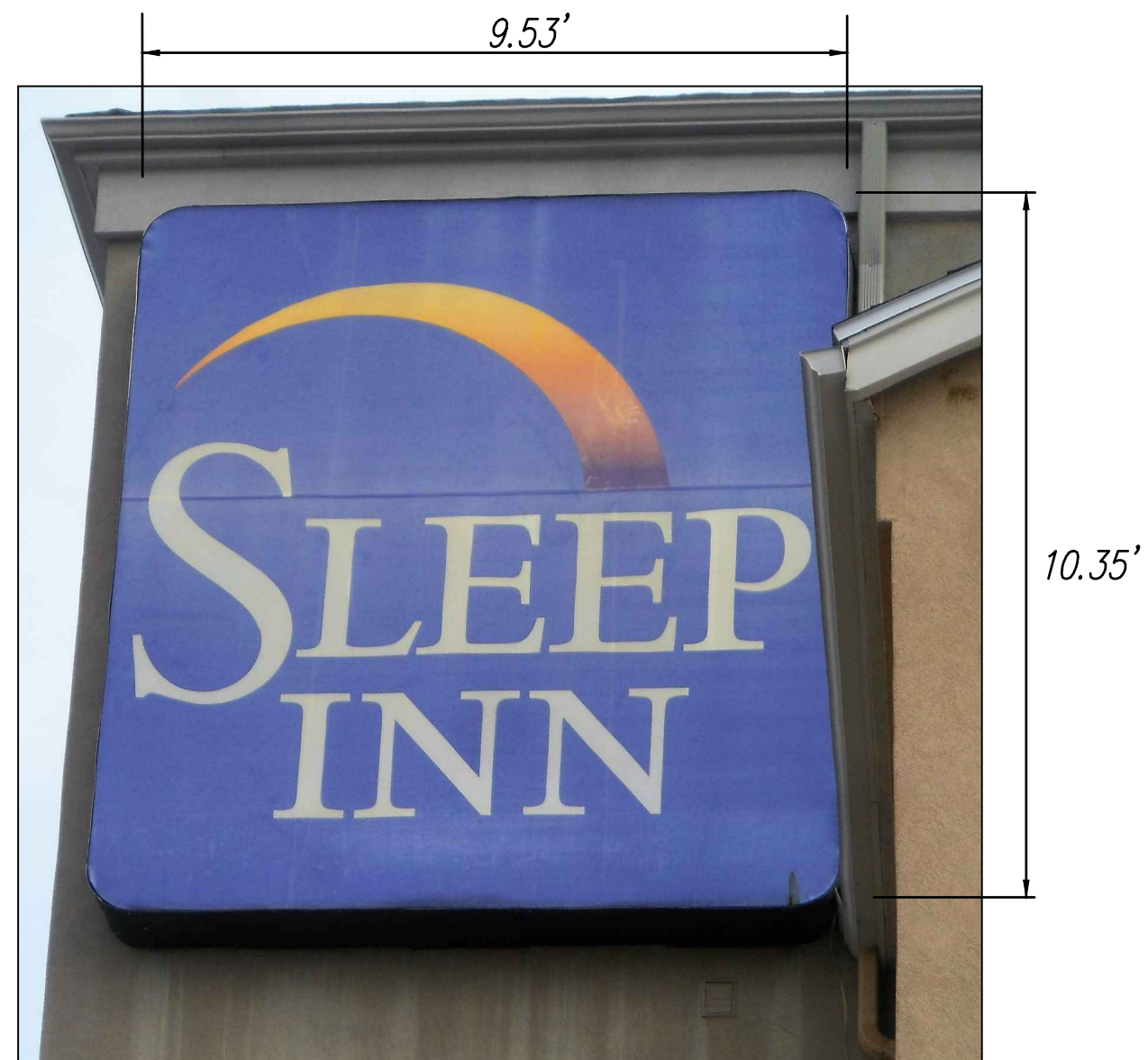
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 COMFORT SUITES WALL SIGN
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 59.76 SF
 MATERIAL: PLASTIC/METAL



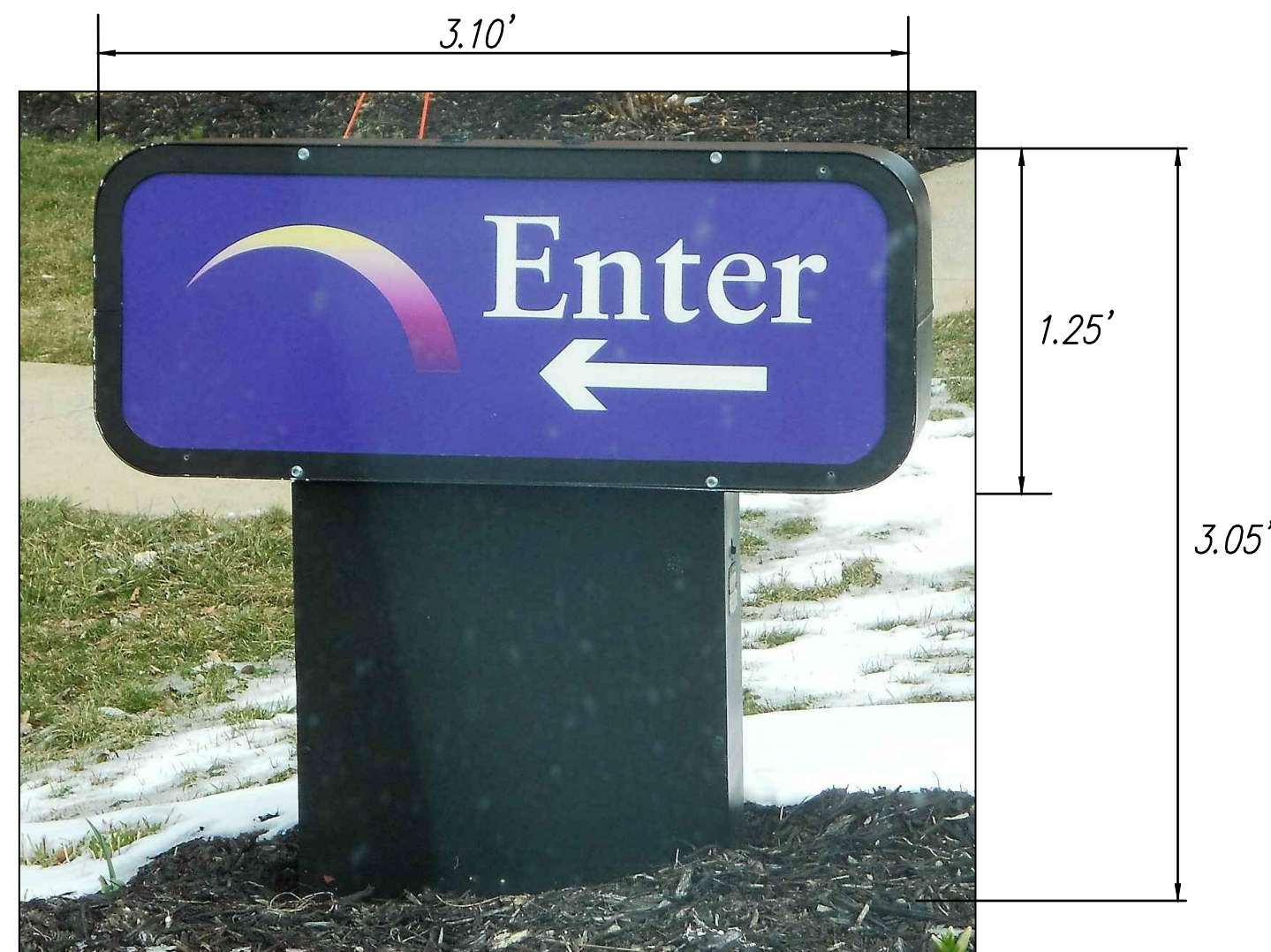
EXISTING SIGN 'D'
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 7.20' HEIGHT
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 MATERIAL: PLASTIC/METAL



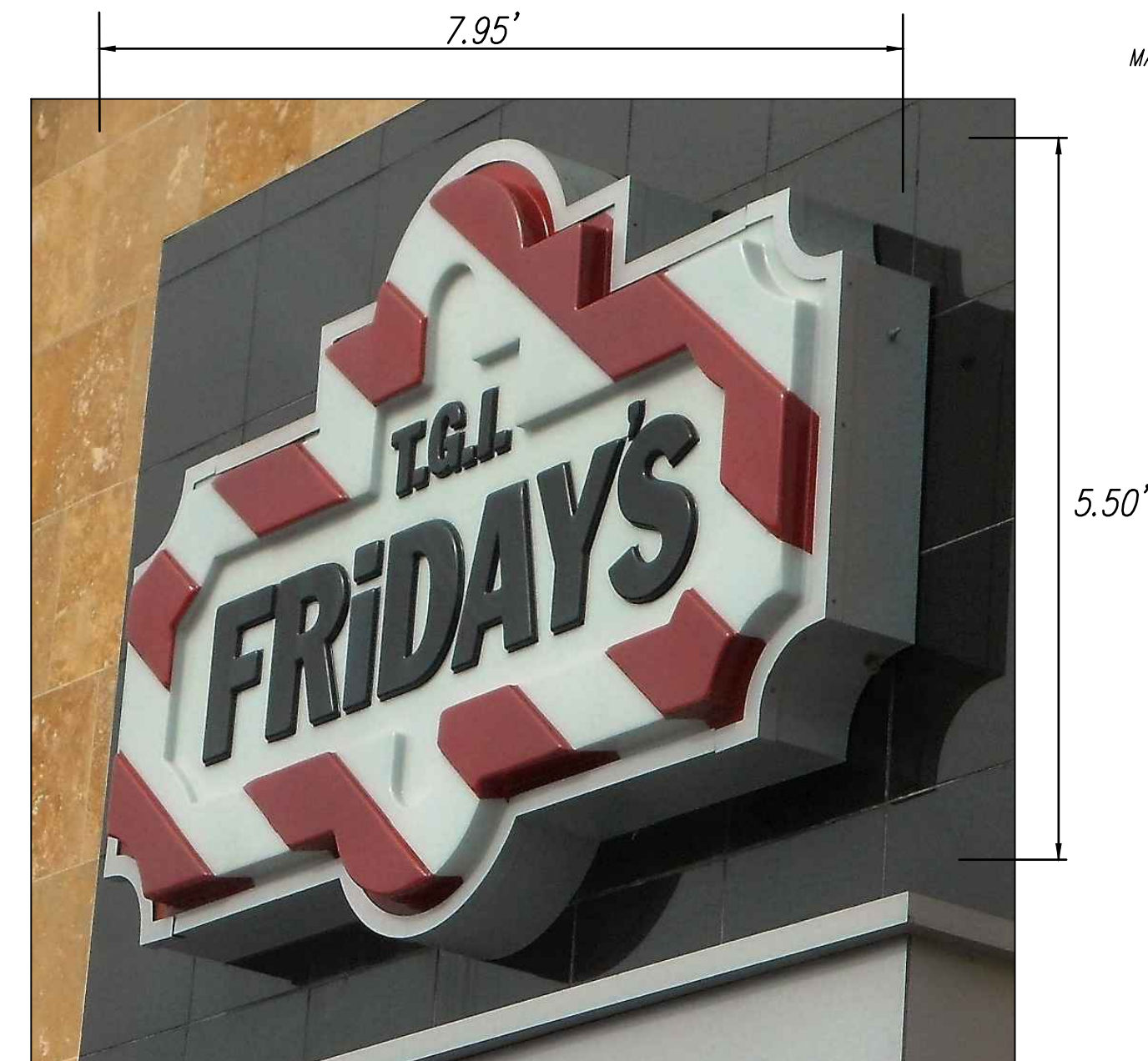
EXISTING SIGN 'E'
 NOT TO SCALE
 GROUND POLE SIGNS
 24.20' HEIGHT
 MATERIAL: PLASTIC/METAL



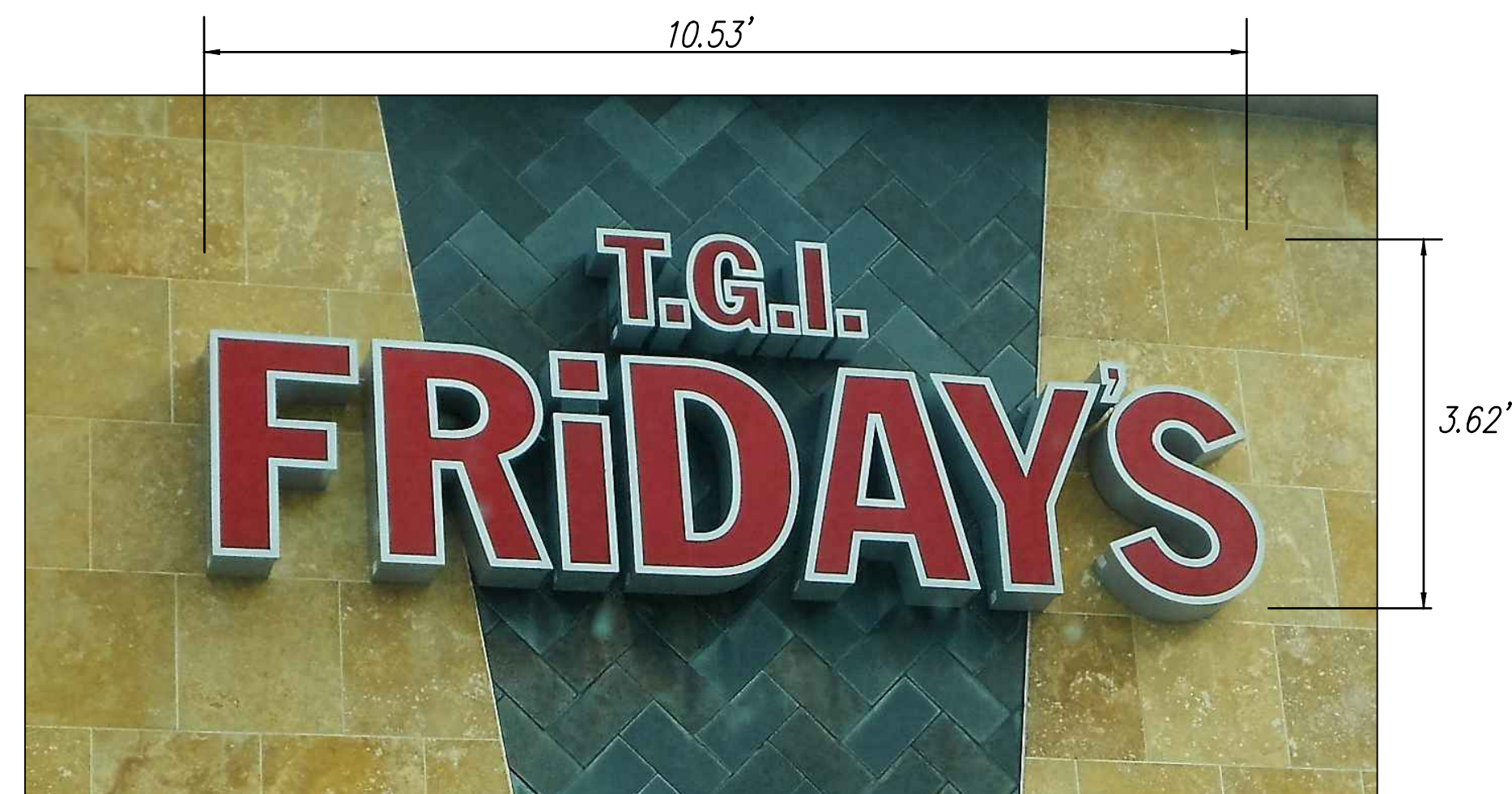
EXISTING SIGN 'F'
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 SLEEP INN WALL SIGN
 10.35' HEIGHT
 98.64 SF
 MATERIAL: PLASTIC/METAL



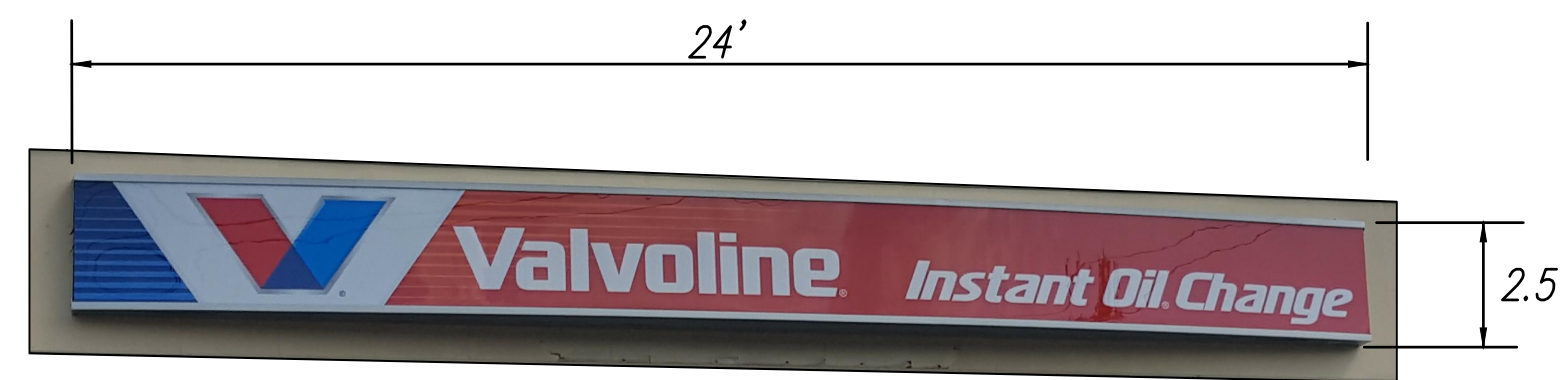
EXISTING SIGN 'G'
 NOT TO SCALE
 DIRECTIONAL SIGN
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 3.88 SF
 MATERIAL: PLASTIC/METAL



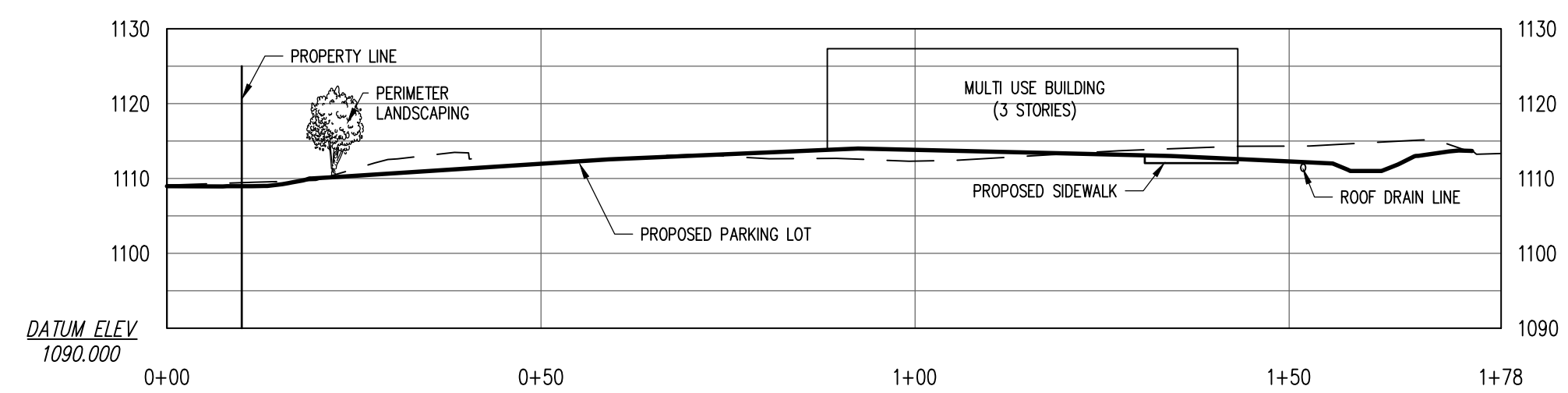
EXISTING SIGN 'H'
 NOT TO SCALE
 T.G.I. FRIDAY'S WALL SIGN
 5.50' HEIGHT
 43.73 SF
 MATERIAL: PLASTIC/METAL



EXISTING SIGN 'I'
 NOT TO SCALE
 T.G.I. FRIDAY'S WALL SIGN
 3.62' HEIGHT
 38.12 SF
 MATERIAL: PLASTIC

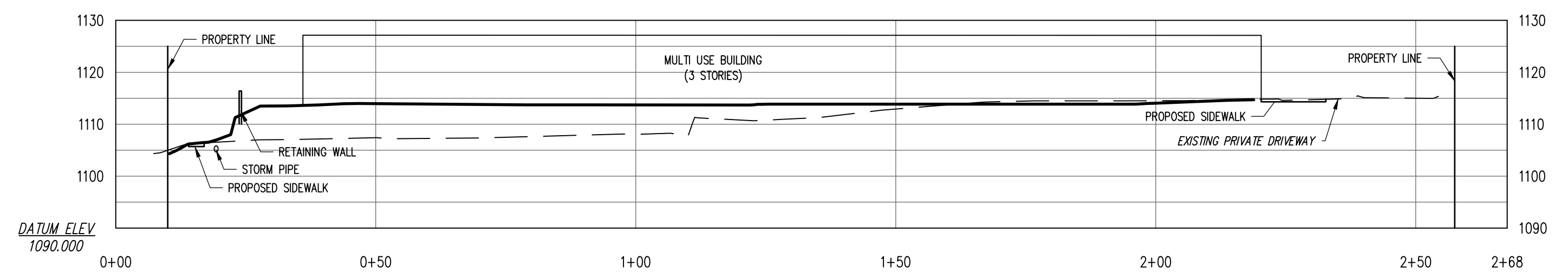


EXISTING SIGN 'J'
 NOT TO SCALE
 VALVOLINE INSTANT OIL CHANGE SIGN
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 60 SF
 MATERIAL: PLASTIC/METAL



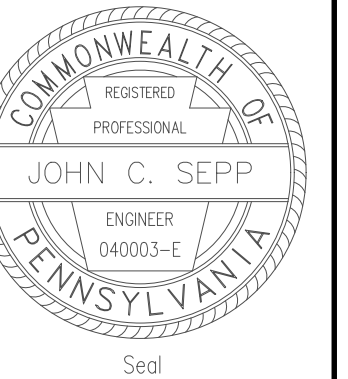
SITE CROSS SECTION B-B (SOUTH FRONT YARD TO NORTH FRONT YARD)

SCALE:
 VERTICAL: 1" = 5'
 HORIZONTAL: 1" = 20'



SITE CROSS SECTION A-A (WEST SIDE YARD TO EAST SIDE YARD)

SCALE:
 VERTICAL: 1" = 5'
 HORIZONTAL: 1" = 20'



Designer	RRK
Draftsman	JDB
Proj Manager	RRK
Surveyor	XXX
Perimeter Ck.	
Book	XXX Pg. XXX
Drive	Layout
Acad	X-SECS AND SIGN DETAILS-2019

WEST CHERRY LANE MULTI USE BUILDING

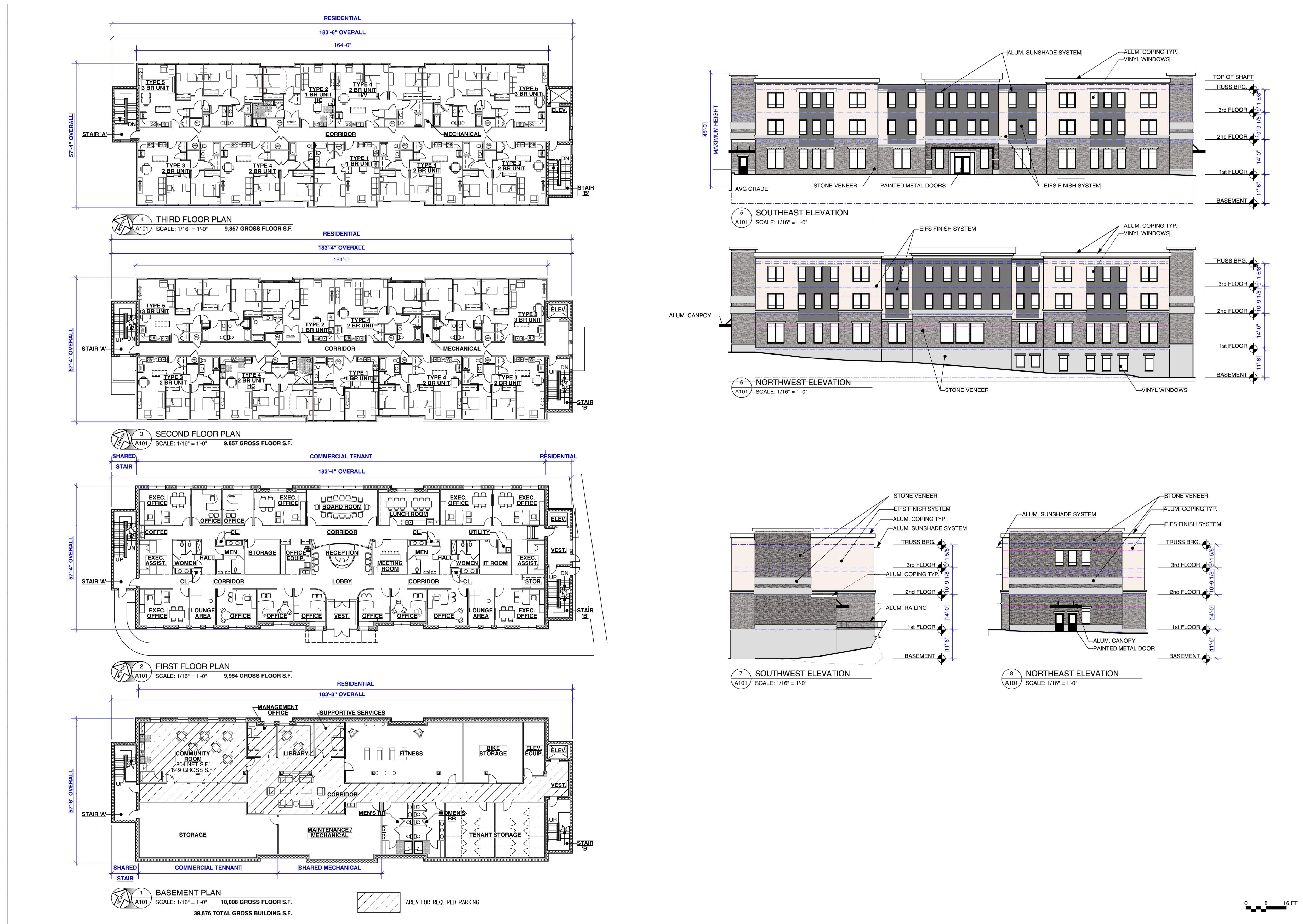
FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

SITE CROSS SECTIONS & SIGN DETAILS

PROJECT NO.	16094.01
DATE	SEPTEMBER 12, 2019
SCALE	N.T.S.
SHEET NO.	12





Seal

Seal

Designer _____ RRK
 Draftsman _____ JDB
 Proj Manager _____ RRK
 Surveyor _____ XXX
 Perimeter Cl. _____
 Book _____ Pg. _____
 Drawn _____ Layout 16094-A1-ARCH
 Acad _____ ARCH DWG

Date	Description	REVISIONS

WEST CHERRY LANE MULTI USE BUILDING
 FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

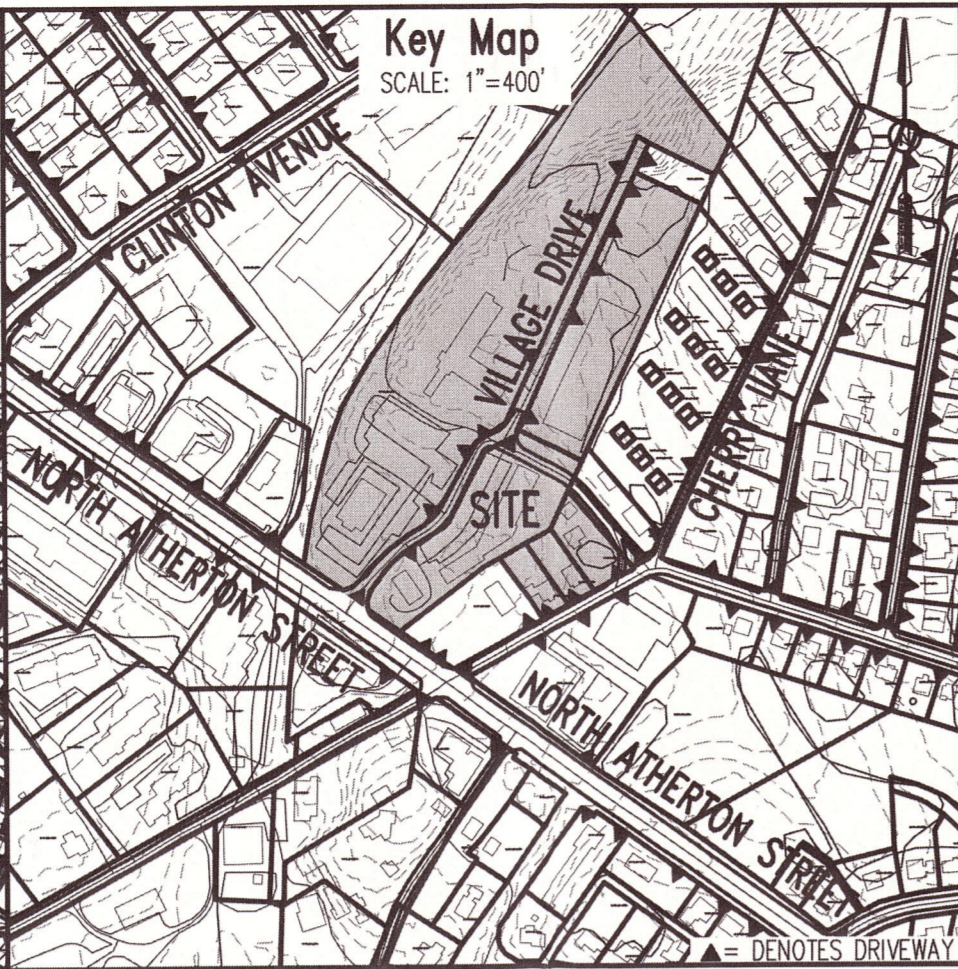
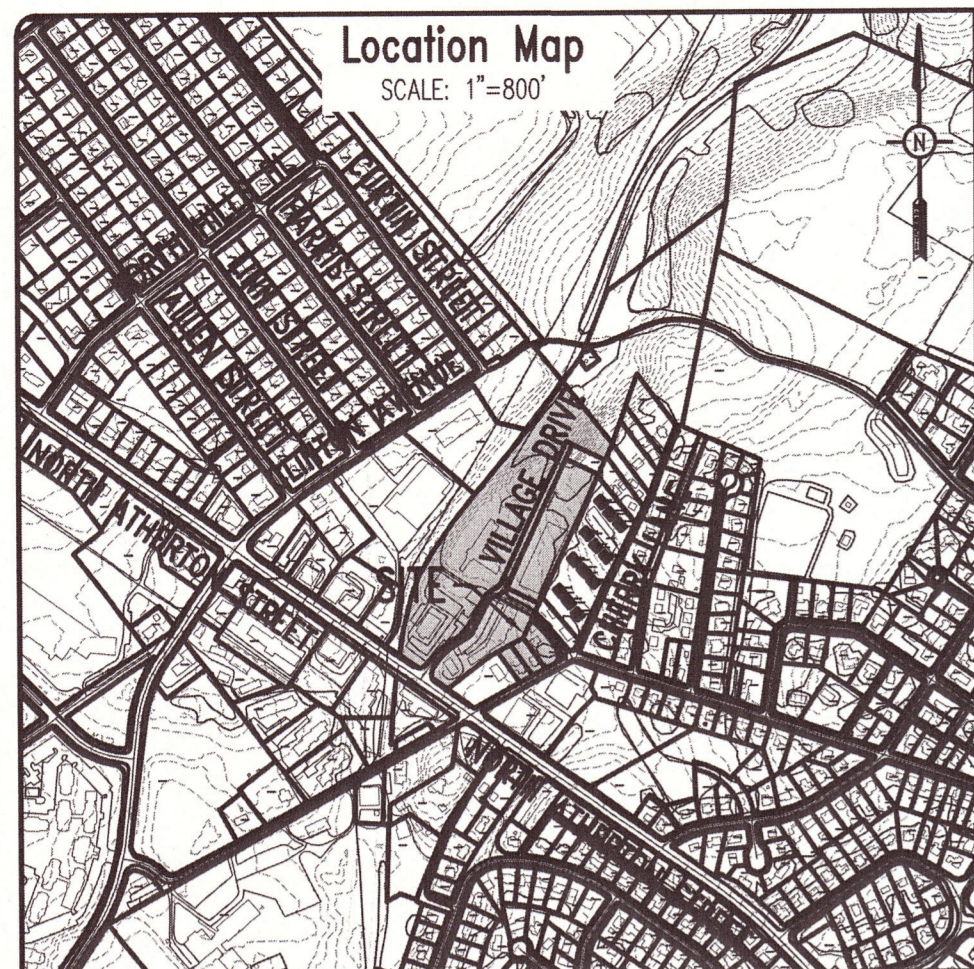
PRELIMINARY/FINAL
 LAND DEVELOPMENT
 PLAN

BUILDING ARCHITECTURAL PLANS

VILLAGE DRIVE - MIXED USE BUILDING
 STATE COLLEGE, PA
 UpStreet Architects, Inc.®
 541 PHILADELPHIA STREET PHILADELPHIA, PA 19106
 PHONE (724) 349-2520

PROJECT NO. 16094.01
 DATE SEPTEMBER 12, 2019
 SCALE N.T.S. SHEET NO. A1

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PROJECT NOTES:

- General Site Information:
 - Owner of Record: HFL Corporation, 1155 Benner Pike Suite 100, State College, PA 16801
 - Tax Parcel No.: Tax Parcel 24-015-038
 - Deed Information: R.B. 1403/PG. 1074
 - Zoning: (C) General Commercial
 - Site Address: 1217 North Atherton Street
 - Site Use: Residential-Single Family Dwellings (Existing), Business and Professional Offices & Multi-family Dwellings (Proposed)
 - Site Size (Existing): 12.398 Acres / 540,044 S.F.
 - Site Size (Proposed): 12.820 Acres / 558,435 S.F.
 - Building Setbacks: 50' (Front) 15' (Side) 50' (Rear)
 - Building Height: 45' Max. (Allowable)
 - Consolidated Lot: 45' Max. (Allowable)
- Impervious Areas:
 - 60,520.84 S.F. (10.84%) (Building)
 - 216,514.02 S.F. (38.77%) (Parking/Driveways/Walks)
 - 277,034.86 S.F. (49.61%) (Total)
 - ACT 287 Utility Information: (Serial No. 20170591943)

All utility locations should be verified prior to any construction, utility information and locations should be considered approximate. Contractor shall notify PA One Call prior to any excavation.

 - Sanitary Sewer: University Area Joint Authority, 1576 Spring Valley Road, State College, PA 16801 - Phone: 814-238-5361
 - Public Water: State College Borough Water Authority, 1201 West Branch Road, State College, PA 16801 - Phone: 814-238-6766
 - Natural Gas: Columbia Gas of Pennsylvania, 2550 Coraleon Industrial Drive, State College, PA 16801 - Phone: 814-238-6775
 - Electric: West Penn Power Company, 2800 E. College Ave., State College, PA 16801 - Phone: 814-237-5721
 - Telephone: Verizon, 224 South Allen Street, State College, PA 16801 - Phone: 814-231-6511
 - Cable Television: Comcast, 60 Decibel Road, State College, PA 16801 - Phone: 800-992-3515
 - Stormwater: Ferguson Township, 3147 Research Drive, State College, PA 16801 - Phone: 814-238-4651; PA DOT, 70 PennDot Drive, Clearfield, PA 16830 - Phone: 814-765-0400
 - Project Benchmark: The project benchmark is the top of casting (TC=1117.96) of the existing sanitary manhole, located at the intersection of West Cherry Lane and North Allen Street.
 - Plan Purpose: The purpose of this plan is to consolidate Tax Parcel 24-015-057, Tax Parcel 24-015-058, and Tax Parcel 24-015-038 into one parcel.

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- I.P. Found

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing
- Existing Contours (10's)
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Overhead Utility Line w/ Pole
- Existing Concrete Areas
- Existing Gravel Areas
- Existing Retaining Wall
- Existing Vinyl/Wooden Fence
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Storm Sewer Inlet
- Existing Light Pole/Standard
- Existing Light Pole (Single Fixture)
- Existing Sign
- Existing Mail Box
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub
- 25% Slopes Or Greater
- Flood Plain

SOILS LEGEND

- Soil cover on the site consists of:
- HAB - Hagerstown Sil Loam, 3%-8% Slopes
 - No - Noil Sil Loam, Local Alluvium, 0%-5% Slopes
 - OHb - Opaquan-Hagerstown Complex, 3%-8% Slopes
 - OHc - Opaquan-Hagerstown Complex, 8%-15% Slopes
 - Od - Opaquan-Rock Outcrop Complex, 0%-25% Slopes
 - URb - Urban Land-Hagerstown Complex, Gently Sloping

Owners Certification Tax Parcel 24-015-057

Commonwealth of Pennsylvania
County of Centre

On this the _____ day of _____, 20____, I, _____, personally appeared before me and certified that they were the owners of the properties shown on this plan and designs, the same to be recorded as such, according to the law.

witness my hand and seal, this date _____

Notary Public _____ Commission Expires _____

Owners Certification Tax Parcel 24-015-058

Commonwealth of Pennsylvania
County of Centre

On this the _____ day of _____, 20____, I, _____, personally appeared before me and certified that they were the owners of the properties shown on this plan and designs, the same to be recorded as such, according to the law.

witness my hand and seal, this date _____

Notary Public _____ Commission Expires _____

Owners Certification Tax Parcel 24-015-038

Commonwealth of Pennsylvania
County of Centre

On this the _____ day of _____, 20____, I, _____, personally appeared before me and certified that they were the owners of the properties shown on this plan and designs, the same to be recorded as such, according to the law.

witness my hand and seal, this date _____

Notary Public _____ Commission Expires _____

Professional Land Surveyor Certification

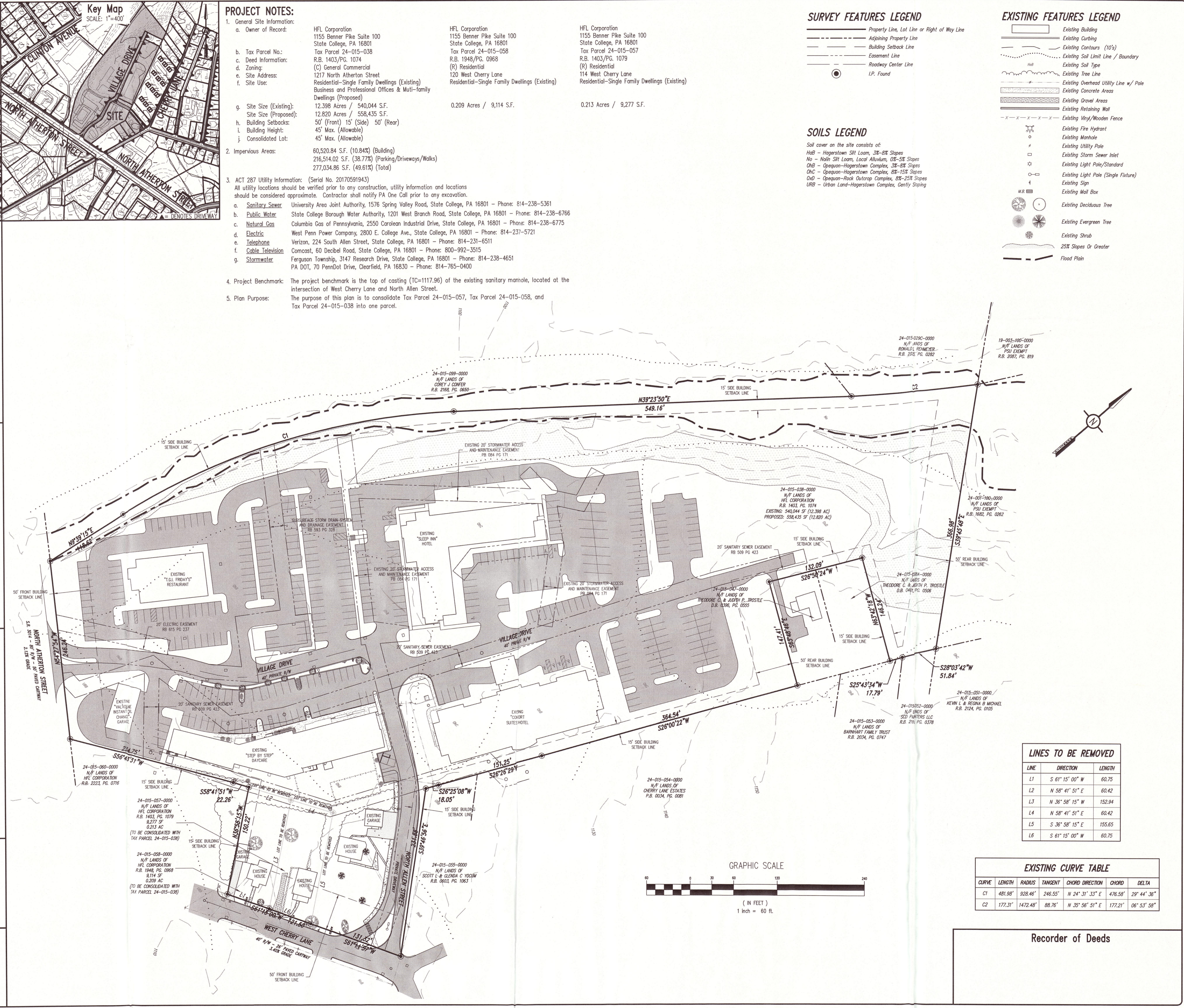
I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

Signature _____ Date _____

Zoning Officer

Ferguson Township Zoning Officer Approved

Zoning Officer _____ Date _____



LINES TO BE REMOVED

LINE	DIRECTION	LENGTH
L1	S 61° 15' 00" W	60.75
L2	N 58° 41' 51" E	60.42
L3	N 36° 58' 15" W	152.94
L4	N 58° 41' 51" E	60.42
L5	S 36° 58' 15" E	155.65
L6	S 61° 15' 00" W	60.75

EXISTING CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C1	481.98'	928.46'	246.55'	N 24° 31' 33" E	476.58'	29° 44' 36"
C2	177.31'	1472.48'	88.76'	N 35° 56' 51" E	177.21'	06° 53' 58"

Recorder of Deeds

PennTerra ENGINEERING INC.

CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
5904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

WWW.PENNTERRA.COM

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ALL RIGHTS RESERVED

Seal

Seal

Designer: KINA
Draftsman: KINA
Proj/Manager: JCS
Surveyor: BRK & MJK
Perimeter Ck:
Book: 497 Pg: 37-45
Drive: Layout
Acad: LOT CONS. PLAN - 24x36"

REVISIONS

Date	Description

LANDS OF HFL CORPORATION

FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

LOT CONSOLIDATION PLAN

LOT CONSOLIDATION OF TAX PARCEL 24-015-57, TAX PARCEL 24-015-58 & TAX PARCEL 24-015-38

PROJECT NO. 16094.01
DATE: SEPTEMBER 12, 2019
SCALE: 1"=60'
SHEET NO. 1 OF 1

Legend

Plain text: Comment addressed prior to 6/24/19 Plannign Commission meeting discussion

Italic: comment addressed as follow-up to 6/24/19 and 7/8/19 Planning Commission meeting discussions

Bold: August-September 2019 Project discussion and feedback

A Zoning

Ordinance Section	Comment	Manner Addressed	Status
119	Letter D permits a "meeting room" in a dwelling unit to be used for people to gather for personal and/or professional purposes. Consideration for removal	Removed "meeting room reference" <u>plus deleted in definition</u>	completed
RA Quick View	Area and bulk category 1. A category should read " Usual farm structures and single and two family dwellings not to exceed three dwelling units. Remove single family dwellings (50+acre tract) Remove single family attached dwellings (50 + acre tract) Remove two family dwellings (50+acre tract) Remove " Single -family /two family dwellings (one dwelling for every 50 acres of a primary use, not to exceed 3 dwellings on any one lot". Add to area and bulk category 2 " One single family detached dwelling (for every 50 acres of a primary use- as determined and calculated before the subdivision). <u>On Accessory Use table, add Usual farm structures, including barns, greenhouses and single- and 2-family dwellings not to exceed 3 dwelling units on any single parcel</u>	Category re-worded Removed (echoing 5/28/19 QV); <u>place back into Category 2</u> Removed (echoing 5/28/19 QV) Removed (echoing 5/28/19 QV) Removed (echoing 5/28/19 QV) <u>Updated</u>	completed completed completed completed completed
	Area and bulk category 2 dimensions. For category 2 the building and impervious coverages are both listed as 30%. Suggest that the total impervious coverage be changed to 50%. <u>Move Emergency Services to Category 2</u> <u>In Accessory Use table, include Bed and Breakfast as an accessory use in Category 1</u> <u>In Accessory Use table, add back in Home Occupations and Home-Based-Business line items to Category 1</u> <u>In Accessory Use table, include Family Child-Care Homes and Group Child-Care Homes as an accessory use in Category 1</u>	<u>Updated to 50%</u> <u>Moved</u> <u>Updated</u> <u>Updated</u>	completed completed completed
RA Scenario Graphic	<u>Revise wording on Scenario B to align with permissible lot configurations</u>	<u>Revised</u>	completed
RA , RR and AR Quick View	Accessory uses lists "accessory food operations" as a permitted accessory use in categories 1 and 2. It is not clear based on the definition of Accessory food operation what this use is and why we would want this as an accessory use. Possibly clarify the definition.	Fine-tuned definition; referenced also to Usual farm structures	completed
RR Quick View	<u>Include single family detached dwelling in Categories 1 and 2</u> <u>In Accessory Use table, add back in Home Occupations and Home-Based-Business line items to Categories 1 and 2</u> <u>In Accessory Use table, include Bed and Breakfast as an accessory use in Categories 1 and 2</u> <u>In Accessory Use table, include Family Child-Care Homes and Group Child-Care Homes as an accessory use in Categories 1 and 2</u>	<u>Updated</u> <u>Updated</u> <u>Updated</u>	completed completed completed
AR Quick View	Area and bulk category dimension table category 2 the building and impervious surface calculations are both listed as 30%. The total impervious coverage could be listed as 50%.	Updated to 30%	completed
R-1 Quick View	Area and bulk category 4 the building and impervious coverage are listed as 30% . The total impervious coverage could be listed as 50%.	Updated to 50%	completed
R1-B Quick View	The area and bulk categories dimensions chart for category 4 lists the building and impervious coverage as 20%. The impervious surface coverage should be 30%.	Updated to 30%	completed
Village Quick View	Bed and breakfasts are listed as permitted and conditional use for Category 3. By definition a bed and breakfast is an "owner occupied single family dwelling". Category 3 does not list single family dwelling as a use.	Removed use from Category 3	completed
Office Commercial Quick View	Home based business, no impact is listed as a permitted accessory use for categories 2 and 3. This should be removed. Dwelling units are not permitted.	Removed use from Categories 2 and 3	completed
27-707 Accessory Structures	Recommend changing #1 to only apply to RA and RR zoned properties of less than 5 acres. The proposed version applies to all districts. Recommend changing #2 to only apply to RA and RR zoned properties greater than 5 acres. The proposed version applies to all districts. Recommend amending and maintaining our current language in Chapter 27-204 A-1 (1) to read as follows; for all residential lots (excluding RA and RR zoned lots) of 2 acres or less, the combined square footage of all accessory structures may not exceed 25% of the gross useable floor area of the principle building. Maximum of two accessory structures."	Updated to RA and RR Updated to RA and RR Updated per recommendation	completed completed completed

Ordinance Section	Comment	Manner Addressed	Status
	<i>Recommend amending and changing our current language in Chapter 27-204-A-1 (2) to read as follows: On nonresidential lots or those residential lots (excluding RA and RR zoned lots), the combined square footage of all accessory structure shall not exceed 50% of the area of the principle [sic] building on the same lot. Maximum of two accessory structures.</i>	<i>Updated per recommendation; included: On any non-residential lot and applicability of provision <u>clarified for said lots greater than 2 acres</u></i>	<i>completed</i>
27-217.B Request for Reasonable Accommodations	Letter D should be changed to Board of Supervisors instead of "Board of Commissioners".	Updated Supervisors	completed
302.B.2.b.14)	Lighting shall be provided for transit services.	"If said service facility is on the lot, a shelter and seating with lighting shall be provided."	completed
302.G	A. Post Final. Comment on potential re-wording	As per PA MPC	No change
303.B.4	reference to Chapter 25	added "Chapter 25, Trees"	completed
402.C.11	40%	revised 'or through the conditional use process provided for in paragraphs .D through .G below, at least "40%" of healthy trees on the site shall be maintained or replaced immediately following construction. Replacement trees "shall be native species to Pennsylvania" and shall have a'	completed
		deleted "25%"	
403.A.4	Question posed: Do homeowners associations have control over some of these areas, if not, should we add "or" HOA?	Added "or as otherwise stipulated by the Ferguson Township Stormwater Management Ordinance." at end of sentence	completed
403.B.2	Series of questions posed as related to federal references and impacts	Updated per 5/28/19 comments: 3) Lands, water bodies and wetlands as regulated by State and/or Federal designation 4) Similar land and/or water to those outlined above as encountered during the process of subdivision and land development within Ferguson Township.	completed
404A, D and E	Align Airport name if applicable; account for interior and exterior permit needs and wording on variances	Aligned Airport name; no other update found to be applicable	completed
405.G.1	Complete consistency between updated land use names	Aligned Land Use terms	completed
Part 5	Designations/Listing of Conditional Uses/Special Exceptions to be consistent with Quick Views	Aligned uses and criteria; updated DD. Water Authority reference	completed
701.C.1 and 701.C.2	Change back to current wording	Returned to original language; shift from 2017 memo requested direction	completed
707.A.2	Question of where the plant list is	Plant list is in same section per Subsection G.	no change
707.A.2.g	general mark-up	added "Mitigate stormwater runoff on site and improving the quality of this water through the use of vegetation."	completed
707.B.2	general mark-up	added "provided it is not recognized as an invasive plant by the Commonwealth of Pennsylvania Department of Conservation & Natural Resources."	completed
707.B.3	have arborist participate in review rather than engineer	added "and Township Arborist"	completed
707.B.6	general mark-up	added "6. All landscaping plans should be verified by the Zoning Administrator and Township Arborist with consultation from the Tree Commission."	completed
707.G.1	general mark-up + Do we need to go above and beyond what is stated in our plant list guide plantings?	added "height of at maturity of at least 30 feet with a spread of at least 30 feet"	completed
		deleted "minimum height of 20 feet at maturity"	
707.H.1	general mark-up + If feel if the tree is not susceptible to invasive, then ever if they are not on the list – can be kept	added "strongly" encouraged and substituted for one new tree "that is listed on Township's official plant list";	completed
		deleted "The existing tree must be listed on the Township's official plant list or determined by the Township to not be susceptible to invasive growth."	
		revised "All changes to the existing hedgerow or forested area must be approved by the Township Zoning Administrator and Township Arborist with consultation from the Tree Commission."	
707.H.2	should	retained "may be" as should and may are parallel in the Ordinance	no change
707.H.3	why?' noted in mark-up	retained "In an area where the canopy trees will not allow for the planting and growth of understory trees, four shrubs could be planted in lieu of each required understory tree." per 12/2019 Township Staff Coordination discussions to date	no change
707.H.4	general mark-up	Added "substitution or removal of existing vegetation must be approved by the Zoning Administrator and Arborist with consultation for the Tree Commission."	completed
		Deleted "substitution must be verified by the Zoning Administrator"	
707.I	Wording requested as related to preservation	Included equation	completed; no additional comments submitted
707.E and 707.M.2	Resolution 2014-25 reference	Technical title included	
707.M.2.a-d; f	"why are these [tree/shrub ratios] not the same?" (Arborist); The tree Commission feels that canopy density is to sparse i.e. canopy tree density could be increased."	reviewed with Township Staff in May 2019 were refined as applicable of the above and incorporated into the May 2019 draft	completed
707.M.2.e	6 what	added " if preserved"	completed
707.M.3.b	simplify	bufferyard language adjusted per coordination and mark-up of Township Staff	completed
707.M.3.c(2)	numbers should be examined (Arborist); TC would like to know how the density of vegetation, including trees, can be increased . . ."	reviewed with Township Staff in May 2019 were refined as applicable of the above and incorporated into the May 2019 draft	completed
707.M.3	avoid mulch volcanoes	Text refined	Align with construction specification/detail

Ordinance Section	Comment	Manner Addressed	Status
707.M.3c following table	crossed out, then "no"	retained existing per cancellation of cross-out	no change
707.N.1	allow no curb for stormwater - required	no change to text	Align with Chapter 26 Stormwater Management and Township Construction Details
707.N.4	general mark-up (Arborist); TC feels should be revised to increase inclusion of vegetation . . . Mitigate stormwater runoff . . . Improve water through the use of vegetation	no ratios received per Summer/Fall 2018 inquiries; per 12/2018 deleted "No islands are required in parking lots that are less than 62 feet in width as long as perimeter planting is used around the entire parking lot with the exception of where the parking lot abuts the building."	align stormwater items in Chapter 26; revised ZO 10 to 8; revised 12 to 10; revised 10 to 12 per 12/2018 and 2019 comments
707.N.4	parking space quantity references	retained quantities per deletion of islands comment	completed
707.N.5	change 45 to 40	revised 45s to 40s	completed
711	Simplify reference to notification	Updated language to "written form"; removed mail reference	completed
717	<i>One definition in ordinance; Page 110 Conditional Use/Special Exception , letter E lists a minimum of 4 rooms shall be offered as part of this use; In the RA, RR bed and breakfasts are permitted accessory uses , 1 to 3 rooms and 4 to 10 rooms are permitted; In the R-1, 1 to 3 rooms are permitted; It does not appear that bed and breakfasts are permitted in other zoning districts for example the R1-B; It does not appear that there are any standards or criteria for a bed and breakfast</i>	<i>In 717 - Supplemental regulations for those bed and breakfasts permitted by right have been modified; Bed and breakfasts were removed from R1-B in Spring 2019; definition fine-tuned</i>	completed
Part 8	Series of questions posed	No changes	No changes
904	Phrasing question	Per general process	No changes
1102	general mark-up	refined canopy tree definition "shall reach a height of at least 30 feet with a spread of at least 30 feet." Other definitions updated per coordination of 5/28/19 mark-up received 6/11/19	completed
Per 9/5/19 CRPC Memo	CRPC Editorial Comments 1-53	Updated applicable language per October coordination with Township Staff	Completed
Per 9/5/19 CRPC Memo	CRPC Non-Editorial Comments 54-107	Updated applicable language per October coordination with Township Staff	Completed
Ordinance Wide	Elimination or not of the Industrial District within the Township. If eliminated, it would be through the sharing of uses through cooperation with another municipality.	Per neighboring municipal follow up or revise use categories to be conditional	Pending
1102	Determined the way in which to distinguish incinerators: agriculture versus non-agriculture purposes or industrial incinerators versus all other incinerator types.	Distinction of agriculture versus non-agriculture incinerator	Completed
Ordinance Wide	Removal or not of mining/quarrying as a permitted use in the AR District (this is coupled with distinguishing soil pits as a separate activity than mining/quarrying.)	Per 9/25/19 Direction	Completed
Various R Districts	Assigning Farm Structures – Traditional as a conditional use in all AR categories or keeping them as permitted by right	Per 9/25/19 Direction	Completed
Various R Districts	Ag-oriented uses within the RR District - Removal or not of agriculturally oriented uses within the District - If retained within RR, maintain their assignment as permitted by right or if by conditional use	Per 9/25/19 Direction	Completed
Ordinance Wide	To treat wineries and cideries in the same manner or not	Treat the same	Completed
Ordinance Wide	Kennels - Assigning kennels as an accessory conditional use as part of an agriculture principal use within the RA district only or retaining their presence within the RR district as well - If retained within RR, maintain the use as permitted by right or if by conditional use	Per 9/25/19 Direction	Completed
Ordinance Wide	Designation of various scales for recreational uses	Per 9/25/19 BoS Direction	Completed
Ordinance Wide	Essential Services, Type 1	All Permissible by Right	Completed
Various Districts	Regional Recreational uses	Delete regional recreation uses in OC, MHP, V, R4 and other district designations per 9/25/19 Direction	Completed
205.11	Changing convenience store use	Edited from P to C	Completed
205.11	Remove School use	Delete school use from V	Completed
Article 7	Congruance between the keeping of animals and the chicken ordinance	Reincorporate chicken ordinance ratios and supporting text	Completed
301.K.1.d	Mobile Home Parks Regulations	Insert reference to Ord. 820 and Ord. 278 in line item K.1.d	Completed
205.8	Townhouse Residential	Added Community Garden to category 4	Completed
205.7	Two Family Residential	Added community garden as a permitted use; added child day care and raising of chickens as an accessory use	Completed
205.5	Single Family Residential	Added raising of chickens as a permitted use; added family child care; tutoring as an accessory use; Added schools as a conditional use	Completed
205.6	Suburban Single Family Residential	Added raising of chickens as a permitted use; added family child care; tutoring as an accessory use; Added schools as a conditional use	Completed

Ordinance Section	Comment	Manner Addressed	Status
205.9	Multi-Family Residential	Schools changed to conditional use	Completed
205.4	Forest/Gamelands	Added incinerators as an C use; removed mining and quarrying (soil pits)	Completed
205.3	Agricultural Research	Removed mining and quarrying as a permitted use; added incinerators as an accessory use in category 1; added farm structures in all categories	Completed
205.2	Rural Residential	Added Cideries/Wineries in category 1 with supplemental regulations; added to C use in category 2; Cemeteries changed from P to C in category 1 and 2; added places of assembly	Completed
205.1	Rural Agriculture	Accessory Dwelling Units in RR is permissible Developed non-conformity language for those parcels between 2.01-49.99 acres as related to ability to host permissible RA uses removal of quarrying, Country Clubs as C, Equestrian facilities as P, Golf Courses as C, Place of Assmby - Community as P and Regional as C, Solar as P, Water Production as C, Add food trucks as accessory in Category 2	Completed
1102	Definitions	Added Seasonal Dwelling definition; Added No Impact Home Based Business Refined Home Occupation, Type 1 and Type 2 as 1 permissible accessory structure instead of 2; Added Distinctions of Quantity; Refined Incinerator for 2 scales; Refined Boarding Kennel and pet care distinctions per PA Dog Law references; No definition for soil pit necessary (as it is accessory to agricultural use)	Completed
204	Reincorporate existing C, D, E, F, G, H, I, J, K, K-A, S, Z, BB, II, LL, X, L, FF	Information reincorporated; Duplicated Place of Assembly Criteria; reincorporate food truck information K - Flag lots conditional for RA, RR, R1, R2, R3; K-A - address parking; X - reinserting distinctions of 1-3 and 3-10 BB- Keep numbers 1, 3, 4, 6, 7, 8, 9; II - 6 and 9 only; L - essential service Type 1 and 2; J - add in RA only	Completed
701	Floodplain Conservation	Reconsider original text	Completed
707.M.3.b	Buffer Yards	Revised dimensions from 25 feet to 15 feet per September Staff input to May analysis	Completed
713.M	Inspection, Safety and Removal	Update 1 and 2 to applicable enforcement body; align 3 and 4 as necessary	Completed
Various Sections	Administration and Enforcement	Clarify wording if duplicative; delete 903.C.2	Completed
904.H.9	Specific Implementation Plan Approval	Duplication of top paragraph and number 9; delete last sentence on page 201	Completed
* All other Tree Commission-related comments reviewed with Township Staff in May 2019 were refined as applicable of the above and incorporated			completed
*2018 Ag Ad Hoc Committee comments focused on land uses updated in 2018 and 2019			completed
Remaining associated Ag AdHoc Committee comments otherwise pertinent to all other changes completed			completed
* 2017-2018 Township Staff comments incorporated into previous drafts			completed

B SALDO

Ordinance Section	Comment	Manner Addressed	Status
Ordinance Section	Comment	Manner Addressed	Status
103.F	general mark-up	Added "Promoting the desirability of Ferguson Township as a place live, work and do business through maximum strategic use of vegetation. Vegetation, in particular trees and shrubs, is known to be effective in mitigation the effects of heat islands by reducing amount temperature; water filtration and purification; stormwater management; improving air quality; providing habitat for pollinators, birds and wildlife; improving the aesthetics and priority values of neighborhoods and commercial developments; and ongoing civic engagement by improving the walkability of transportation corridors."	completed
303.C	Staff coordination; general mark-up	added Tree Commission to Preliminary Plan review list	completed
304.C.1	Staff coordination; general mark-up	added Tree Commission to Final Plan review list	completed
401.A.1.b.3(i)	general mark-up	Inventory of these over 6" diameter trees to preserve, trees to remove	For inclusion within Tree Preservation Ordinance rather than SALDO
22-501		General 3—related: A natural resource inventory that identifies and maps natural areas and resources, including vegetation, is required as part of every development plan.	not completed - scale of text
502.E.7	general mark-up	refined "approval of the Township Engineer after consultation with the Township Arborist"	completed
502.A	general comment	Use vegetation to design streets as gardens or forest. Use vegetation for traffic commute, improving aesthetics of neighborhood street, mitigating heat island effort on streets	completed; Align with design specifics/construction standards
503.C	general comment	request to Add Mid-block walkways encourage ground cover on one or both sides of walkway or other kind of suitable vegetation; no change as already included in document	completed
509	general comment	Specify that canopy width of the street tree cover a certain percentage of the impervious surface. Canopy width is just as important as height of tree as maturity	general reference made to Code of Ordinances - text placed in 707 Zoning can remain there or moved to another ordinance.
501A	(reference to Terraced Streetscape District): Intent Add: to the sentence that starts "Adherence to these design standards will ensure that the built environment is attractive and harmonious, with both other parts of the built environment and the natural environment.	Updated	completed
504A	Goals Add to specific goals: To ensure maximum use of vegetation in the design and green practices during development. (Another way to say this is: To ensure sustainability of the development.)	Updated	completed
505A	: Context Add environmental context: a sensitivity to the natural features of land, water and vegetation in the development project.	Updated	completed
506A	Design Principles B. 4: Use landscaping, green space and existing vegetation to address traffic calming, aesthetics, issues of identity, territoriality and privacy. (mentioned later if Section 507A).	Updated	completed
507A	Synergy Encourage the use of vegetation to accomplish the goals mentioned.		not completed - scale of text
509A	Streetscape Design Standards A. 3 Regarding four-foot wide planter beds: Can these be built as rain gardens? Four feet is not wide enough for trees; the authors of "Low Impact Development" recommend six or eight feet Make sure the wells are deep enough for trees as well as wide enough Planter beds: Design and install to accept stormwater? Through use of openings in planter curbs; related to rain garden concept g) Still A3: Language is weak as is. Use this concept as an incentive to strengthen? A.5: Re: street trees: again, specify canopy size; canopy width needs to be proportional to combined width of sidewalk and street to mitigate heat island effect	Updated	completed
513A	Storefront Design add) F. Encourage use of vegetation as enhancement for storefronts.	Updated	completed
513.B.2b	comments provided on 513.A.2 and 3.	Comments provided "Include forests and groves of trees in the definition of community facilities; and e.g. Preserve 1 acre of forest land in Lieu of 4 acres of parkland of similar equivalent" Refined : The amount of parkland to be dedicated in each development shall be determined "based upon the calculation identified within Township Fee Schedule or approved equivalent." Therefore, A.3 edits not applicable. Community facilities are not part of calculation, so A.2 definition request not applicable.	completed

Ordinance Section	Comment	Manner Addressed	Status
513.B.2.c	Add in phrase to identify applicability: For applications with more than 4 lots and measuring less than 1 mile away from the perimeter of a Centre Region Parks and Recreation facility equivalent. Said measurement shall be taken from the shortest street distance the outermost perimeter of lots included in the application and measured (radius measurement also discussed)	Updated per PC recommendation; EPD recommends radius measurement	completed
513.B.5 and 6	request provided to add: "Natural Areas" as one of the criteria for the BOS in determining if the land is accessible for dedication as parkland and Tree Commission: "Natural Areas" is addition to accessory bicycle and pedestrian parts as parkland.	No change per Township Staff Coordination discussions to date	no change
514A		Corner Building Sites. A. 3: Encourage use of vegetation to create public spaces.	completed
515A		Parking Structures and Incentives A. Design: Add green roof to parking structures; it's mentioned in incentives but add it to design?	completed
501B	general mark-up	A. 1. h. 1); Reference to removing invasive species: Work in cooperation with the Township arborist to identify invasive species. Add: for non-tree species as well	completed
501B	general mark-up	A.5.: Parking, parking lots, parking structures; a.14): Landscaping standards: Add stormwater management and heat mitigation as two more functions of landscaping in parking areas; add: consideration for credit for green roofs on parking structures	completed (now subsection 13)
Parking	<p>Page 95. Too many sentences stating Required off-street parking.</p> <p>Page 96. # 17 Car Washes parking is listed as "4 stalls + 1 vacuum unit". This should probably be listed as 4 stalls per wash/detail bay and 1 space per vacuum unit.</p> <p>Page 96 #31 Eating and drinking establishments, sit-down." 1 space per 50 square feet of net indoor floor area plus 1 per 4 chairs of outdoor seating." It is my opinion that the outdoor seating should be based on area not the number of seats. The number of chairs can change in an area.. 1 space per 100 square feet of outdoor seating area would be sufficient.</p> <p>Page 97 #48 Hotels and motels. "1.2 spaces per rooming unit" Should this be changed to room instead of rooming unit?</p> <p>Page 98 #74 Retail Establishments, General. 1 space per 200 square feet of net floor area. The current ordinance has statement that for retail establishments only those areas used to consummate retail sales are counted for the parking calculations. Storage areas are excluded.</p> <p>The ordinance no longer has spillover parking. There are times that spillover parking is needed, especially in townhouse and multi- family developments.</p> <p>Page 103 the diagram at the top of the page has the wrong width listed for parking space. The width is listed as 10'. The ordinance states the that the width is 9'. Realize that this is an old diagram, but it should be corrected.</p>	Ratios and references revised	completed
Per 9/5/19 CRPC Memo	CRPC Editorial Comments 1-48	Updated applicable language per October coordination with Township Staff	Completed
Per 9/5/19 CRPC Memo	CRPC Non-Editorial Comments 49-86	Updated applicable language per October coordination with Township Staff	Completed
501C	Parking required for a community garden.	Keep as is	No change
501C	Country Club Parking	Revised ratio based upon seating capacity of various facilities/amenities	Completed
501C	Spillover Parking Ratio	Reinsert spillover parking ratio policy	Completed
501C	Adjust to say classroom ratio to sq ft	Updated ratio reference	Completed
502C.2	Reword to say zoning permit from building permit	Updated text	Completed
705 and 801	Similar language within sections 705 and 801	Delete unnecessary portions of section 801	Completed
507	Clarity of language associated with easement as conditions of plan approvals	Criteria added to identify easement status as related to approval; also reference sidewalks	Completed
	* All other Tree Commission-related comments reviewed with Township Staff in May 2019 were refined as applicable of the above and incorporated into the May 2019 draft		completed
	* 2017-2018 Township Staff comments incorporated into previous drafts		completed

FERGUSON TOWNSHIP PLANNING COMMISSION
REGULAR MEETING MINUTES
Monday, SEPTEMBER 9, 2019
6:00 PM

ATTENDANCE

The Planning Commission held its first meeting of the month on Monday, September 9, 2019 at the Ferguson Township Municipal Building. In attendance were:

Commission:

Bill Keough, Chair-person
Ralph Wheland
Erik Scott
Jeremie Thompson
Jerry Binney
Shannon Holliday
Rob Crassweller, Secretary
Dr. Ellen Taricani-Alternate

Staff:

Kristina Aneckstein, Community Planner
Jeff Ressler, Zoning Administrator

Others in attendance were: Summer Krape, Recording Secretary; Laura Dininni, Ferguson Township Board Member; Ben Beldin, representative from Gwin, Dobson, and Foreman.

I. CALL TO ORDER

Mr. Keough called the Planning Commission meeting to order on Monday, September 9, 2019 at 6:04 pm.

II. CITIZEN INPUT

No citizen's input. Mr. Keough stated that this is not on the agenda but he received communications from the Centre Municipal training program. They informed him that they will be having different training sessions around the county and as a Planning Commission member you will be receiving information on them.

III. MUSSER GAP 2 VALLEYLANDS (MG@V)

Ms. Aneckstein introduced Ms. Deb Nardone executive director of the Clear Water Conservancy and Charima Young from Penn State. They will be giving the Commission a presentation on the Musser Gap 2 Valleylands initiative. Ms. Young stated that they will be doing a recap of where they have landed after all of the collaboration with the public. Ms. Young stated that they have done surveys, have had three public meetings and a stake holders meeting. They had over 300+ participants that gave them ideas of what they would/wouldn't like to see. After all of these meetings they have settled on five ideas. Ms. Nardone stated that they have generated five different themes from the surveys. The first theme is habitat creation this idea really revolves around habitat protection. Increasing biodiversity, forested corridors all along the trail, meadow areas for habitat, look out points and bird observation platforms.

The second theme was designed around farm land while balancing high diversity for wildlife habitat. Ms. Nardone stated that currently a lot of the property is being leased for agriculture and with this idea you will see agriculture continue to be there. There was some discussion on moving conventional Ag into sustainable Ag. This idea opens partnerships up with local breweries/other organizations that could benefit from crop production. The third theme was recreation, and this idea has been persistent and consistent in all discussions. Recreation

and education based ideas would be bird observation points, stream access and crossings. It was noted in all public meetings that there is a need for a safer crossing across route 45. The fourth theme is focused around water resource protection. This is reforestation, connectivity, water quality improvements and partnerships with adjacent land owners for habitat improvement. This idea was consistently highlighted as the most important consideration. There are opportunities to do storm water, agricultural runoff ideas, and collaborative opportunities to work with the land owners. Theme five would be minimal intervention and maintain the land as is. Leave the agriculture in place, make a safer crossing across route 45, some trail enhancement and maintenance but for the most part leaving everything as is.

At their last meeting they really asked people to prioritize the ideas and what they would really like to see out of all of five ideas. They heard idea four, water resource protection; idea one, habitat creation; and idea three, passive recreation were the top three ideas that most people felt should be integrated into the site. Ms. Young explained that for the fall they will not have a class but they will have a project and they will be working on a feasibility study of these ideas. Ms. Young asked if the Commission had any feedback on this project. Ms. Taricani asked if they spoke with the homeowners that live close to the project. Ms. Young stated that they have had number public meetings so they have spoken to some of the close residents. Ms. Nardone stated that they do have relationships with a lot of the adjacent land owners. Mr. Crassweller asked about Penn State's risk management given the landscape of this project. Ms. Young stated that this will be a part of the feasibility class. Mr. Crassweller also inquired about the parking for the project. Ms. Nardone stated that there is a parking area that right now isn't signed well but is very well used at the top the project is also very close to the Whitehall Road Regional Park and they will have an abundance of parking. Meetings have also brought up ideas regarding parking, such as more signage and location of signs. Mr. Keough stated that he has some concern about clearly identifying the difference between ownership and management of the project.

IV. WATKINS SUBDIVISION

Ms. Aneckstein stated that the Watkins Subdivision is a new subdivision that Penn Terra submitted this week. This subdivision is located at 550 Bloomsdorf Drive. The purpose is to divide the lot into two parcels. The existing lot is currently around three acres and the revised lot will be around three and a half acres, and the other lot will be around one acre. Ms. Aneckstein stated that the lot is currently serviced by the State College Borough Water Authority and has sewer septic and the second lot will have well water and septic. Mr. Keough stated that there may be a discrepancy with the water service asked Ms. Aneckstein to clarify the water service for the existing lot and new lot. She will look into this and take these comments and give them to the engineer. Mr. Keough also asked staff to look into how many lots can be put in, especially regarding the closeness of the septic systems. Mr. Keough stated that he spoke with staff regarding park fee and lieu. Mr. Ressler stated that based on the new proposed ordinance it would not require park land fee and lieu.

V. SCBWA REPLOT/SCBWA WATER TREATMENT FACILITY LAND DEVELOPMENT PLAN

Ms. Aneckstein stated that a representative from the SCBWA couldn't be here tonight but Ken Beldin a representative from Gwin Dobson and Foreman is present to answer any questions. Ms. Aneckstein stated that the property is located at 3062 Ernest Lane in State

College. The SCBWA property and the Gary and Carol Myers property will be blended together and the purpose of this replot is to allow the water authority to build their water treatment facility on this lot and outside of the flood plain. The SCBWA was granted several variances that mostly had to do with the construction of the roadway to the facility. Mr. Keough stated that the Commission has seen this plan multiple times. Mr. Wheland asked about the variances for the minimum lot area in the RA and the non-conforming use that were granted and if they met the criteria. Mr. Ressler stated that the Zoning Hearing Board felt it was warranted to grant the variances given the hardship. Mr. Keough stated that there will need to be two separate actions. First is the replot of the SCBWA land, based on information from staff the only thing needed is signatures. Mr. Keough entertained a motion to approve the SCBWA and Gary and Carol Myers replot. Mr. Jerry Binney moved the motion, Mr. Wheland seconded and the motion passed unanimously.

Mr. Keough stated that the with the land development plan Commission is recommending nine conditions as a part of the approval to the Board of Supervisors. Mr. Crassweller moved the motion, Mr. Binney seconded and the motion passed unanimously.

X. SALDO/ZONING ORDINANCE UPDATE

Mr. Keough explained that the Commission has been asked to look over the ordinance update. Ms. Aneckstein highlighted issues from Carolyn's memo that are still issues that haven't been resolved. Ms. Aneckstein stated that the first issue is whether or not to eliminate the industrial area. Mr. Crassweller stated that the Township will need to have an inter municipal agreement in place and ready to go before eliminating this. Mr. Keough stated that at the moment we don't have an agreement. Mr. Keough's thought is we pass the ordinance with the industrial use in it and then if the Board of Supervisors would like to remove it then they could pursue an inter municipal agreement and then remove it. The next issue is incinerators. Ms. Aneckstein stated that this needs a definition and an area where it is allowed. Mr. Scott asked if there are currently any farmers in the area using incinerators. Mr. Wheland stated that it is usually big operations that use them. Mr. Wheland stated that more commonly people are composting their deceased animals. Mr. Wheland stated that it as an accessory use for agricultural use so why not keep it. Mr. Keough stated there needs to be a way to distinguish incinerators. Such as agricultural and non-agricultural or industrial incinerators vs. all other incinerators. Mr. Keough also suggested looking for the state's definition of an incinerator. Mr. Keough moved on to issue number three the removal of mining/quarrying. Mr. Crassweller stated that a soil pit is something completely different and shouldn't be listed under mining/quarrying. Mr. Keough suggested not giving soil pits a definition and just removing mining/quarrying because soil pits is something different. Mr. Ressler agreed with Mr. Keough by stating that no one will be going out and checking for soil pit permits. Mr. Keough stated the fourth issue is assigning traditional farm structures as a conditional use in all AR categories or keeping them as a permitted use by right. The Commission discussed and stated they feel they should keep it. Ms. Laura Dinnini took the stand and stated that the BOS were talking about nontraditional farm structures as a conditional use in the AR.

Mr. Keough stated that his recollection of that discussion was that there will be housing units in RR and also have some Ag activities. The concern is where housing units are located do we want open those areas to Ag activities because of the issue of proximity. This is in relation to item number seven, kennels. Ms. Dinnini stated that the Ag Ad Hoc recommendations were two acres and that changed but that wasn't the main issue. It was some of the other uses such as kennels. What is the appropriate parcel size and

appropriate uses in the diversity of the RR district. Mr. Wheland stated to make a definition for special exception. Mr. Ressler stated special exception is a use that is appropriate for public health safety and welfare for the zoning district in which it is permitted but is subject to specific standards and criteria. The municipal planning code relies on the Zoning Hearing Board to grant special requests. Mr. Keough asked what if we treated kennels in the RR zone like we treat mining and quarrying as a special exception.

Mr. Scott suggested bringing the consultant back and the Commission agreed. Mr. Keough asked if it would be possible to have a Carolyn by phone at our next meeting. Ms. Aneckstein stated that she can see if she is available. Mr. Keough stated the Commission needs to have a clear list of what needs asked. Category of kennels and definition, the category special exception regarding kennel and mining/quarrying. Can kennel appear under principal uses under more than one category under area and bulk regulation.

XI. SUMMARY OF ACTIVE PLANS

Ms. Aneckstein stated that not much has changed since last meeting. The Commission saw the water authority replot of lands and water treatment facility tonight. There is a meeting scheduled later this week with Stahl Sheaffer Engineering, CRPR and staff to discuss the landscaping plan at the Whitehall Road Regional Park. Harner Farm, Sheetz and Orchard View is waiting for the traffic study to be complete. Mr. Keough stated that the public meeting to discuss the comprehensive plan has been cancelled at rescheduled for November 14th at 7:00 pm at the State College high school.

XII. CENTRE REGIONAL PLANNING COMMISSION REPORT

Mr. Thompson stated they were updated on the Scott Road pump station and they plan to move forward. Update on biking in the Centre Region, learned different things about biking. Atherton street paving will start sept 17th. The next meeting will be October 7, 2019 at 12:15 pm they will be meeting with COG transportation and land use committee.

XIII. APPROVAL OF REGULAR MEETING MINUTES AUGUST 26, 2019

Mr. Keough asked for a motion to approve the August 28, 2019 minutes. Mr. Wheland moved the motion, Mr. Crassweller seconded and the motion passed unanimously.

XIV. ADJOURNMENT

The Planning Commission meeting for Monday September 9, 2019 was adjourned at 9:15 pm.

Respectfully Submitted,

Rob Crassweller, Secretary
For the Planning Commission