

FERGUSON TOWNSHIP PLANNING COMMISSION
Regular Meeting Agenda
Monday, January 9, 2023, 6:00 PM

Hybrid Meeting

REMOTE PARTICIPANTS:

Join Zoom Meeting:

<https://us02web.zoom.us/j/81456701356>

Meeting ID: 814 5670 1356

[Zoom Access Instructions](#)

IN-PERSON PARTICIPANTS:

**Ferguson Township Municipal
Building**

**Main Meeting Room
3147 Research Drive
State College, PA**

I. CALL TO ORDER

II. CITIZENS INPUT

III. APPROVAL OF MINUTES

1. December 12, 2022, Regular Meeting Minutes

IV. NEW BUSINESS

1. 'LECRONE-WEST COLLEGE AVENUE REPLOT' MINOR SUBDIVISION PLAN

Kristina Bassett, Community Planner

Provided with the agenda is the 'LeCrone-West College Avenue Replot' of tax parcels 24-004-079H-0000 (3490 West College Ave) and 24-004-079I-0000 (3510 West College Ave), submitted on October 21, 2022, and last revised December 21, 2022. The parcels are located within the General Commercial (C) and Corridor Overlay (COD) zoning districts.

This plan proposes a lot line adjustment to TP: 24-004-079H-000 (2.986 acres) and 24-004-079I (2.991 acres) to add an additional 1.456 acres (63,417 SF) to TP: 24-004-079H, for a total lot size of 4.442 acres. Sidewalks are proposed to be added along West College Avenue in front of 3490 West College Avenue connecting to the existing sidewalks at 3510 West College Avenue.

Recommended Motion: Move that the Planning Commission recommend approval to the Board of Supervisors of the 'LeCrone-West College Avenue Replot' Minor Subdivision Plan.

Staff Recommendation: Recommend approval to the Board of Supervisors.

2. REQUEST FOR MODIFICATION/WAIVER

a. 125 EAST PINE GROVE ROAD



Kristina Bassett, Community Planner

On November 14, 2022, PGH Real Estate Holdings, LLC requested a waiver from Chapter 22-512 – Sidewalks. The 125 East Pine Grove Road Preliminary Land Development Plan proposes the conversion of a single-family home into a restaurant with indoor and outdoor dining areas. The property is located at 125 East Pine Grove Road (24-009A-030-0000) and is zoned Village (V). It is approximately 0.496 acres.

The applicant is requesting a waiver from providing a sidewalk along Sparrow Alley. Sparrow Alley terminates at the end of applicant's property and a sidewalk along the alley would not provide a complete connection.

Staff has reviewed the request and isn't recommending any conditions.

Recommended Motion: Move that the Planning Commission recommend granting of the Request for Waiver from §22-512—Sidewalks to the Board of Supervisors.

Staff Recommendation: That the Planning Commission recommend granting of the request.

b. 125 EAST PINE GROVE ROAD

Kristina Bassett, Community Planner

On November 14, 2022, PGH Real Estate Holdings, LLC requested a waiver from Chapter 22-5C01.1.B – Off-Street Parking and Loading. The 125 East Pine Grove Road Preliminary Land Development Plan proposes the conversion of a single-family home into a restaurant with indoor and outdoor dining areas. The property is located at 125 East Pine Grove Road (24-009A-030-0000) and is zoned Village (V). It is approximately 0.496 acres.

The applicant is requesting to provide 19 parking spaces on-site instead of 21 spaces as required by ordinance. The applicant noted that 21 parking spaces does not make sense with the intended use of the building and the property is not large enough to provide two additional spaces.

Staff has reviewed the request and isn't recommending any conditions given that there is on-street parking located near the proposed restaurant.

Recommended Motion: Move that the Planning Commission recommend granting of the Request for Waiver from §22-5C01.1.B.—Off-Street Parking and Loading to the Board of Supervisors.

Staff Recommendation: That the Planning Commission recommend granting of the request.

3. 2022 STATE OF PLANNING REPORT

Kristina Bassett, Community Planner

The Pennsylvania Municipalities Planning Code (MPC) (§207.a) requires the Planning Commission keep a full record of its business and annually make a written report to the governing body by March 1 of each year. This is an opportunity to provide the community and elected officials with a review of the activities and achievements from the previous year. Included in the agenda is the draft 2022 State of Planning Report for review.

Recommended Motion: Move that the Planning Commission recommend approval of the 2022 State of Planning Report to the Board of Supervisors.

Staff Recommendation: That the Planning Commission receive the report and recommend approval.

V. COMMUNICATIONS TO THE COMMISSION

VI. OFFICIAL REPORTS AND CORRESPONDENCE

1. Board of Supervisors Report
2. CRPC Report
3. Land Development Plans

PLAN NAME	SUBMISSION DATE	REVIEW PERIOD	PLAN EXPIRATION
All Washed Up Auto Spa Preliminary Land Development Plan	September 12, 2022	Comments returned September 29, 2022	February 26, 2023
Farmstead View Preliminary Subdivision Plan	July 30, 2021	Conditionally Approved— June 21, 2022	February 25, 2023
Peace Center and Cemetery Preliminary Land Development Plan	May 18, ,2021	Second Review comments returned October 12, 2022	March 7, 2023
IMBT Preliminary Subdivision Plan	January 31, 2022	Conditionally Approved— September 6, 2022	February 6, 2023
1004 West College Ave Vertical Mixed-Use Building	March 14, 2022	Second Review comments returned October 5, 2022	February 27, 2023
MP Machinery Preliminary Land Development Plan	April 6, 2022	Conditionally Approved -- January 3, 2023	February 8, 2023
Minor Subdivision /Replot of TP 4-433-007-0000 and 24-433-008-0000 at 2151 and 2161 Sandy Drive	August 30, 2022	Conditionally Approved— October 3, 2022	February 8, 2023
Salvation Baptist Church Preliminary Land Development Plan	June 1, 2022	Conditionally Approved— November 1, 2022	January 30, 2023
125 East Pine Grove Road Preliminary Land Development Plan	October 12, 2022	Second Review Comments returned December 5, 2022	February 12, 2023

165 Volos Lane Minor Land Development Plan	June 3, 2022	Conditionally Approved— September 20, 2022	March 6, 2023
LeCrone Minor Subdivision Plan	October 21, 2022	PC Review January 9, 2023	March 5, 2023
1900 Circleville Road	January 3, 2023	Staff First Review – Comments due January 18, 2023	April 3, 2023

4. Staff Updates

VII. ADJOURNMENT

**FERGUSON TOWNSHIP PLANNING COMMISSION
REGULAR MEETING MINUTES
MONDAY, DECEMBER 12, 2022
6:00 PM**

ATTENDANCE

The Planning Commission held its first meeting of the month on Monday, December 12, 2022, as a hybrid meeting. In attendance:

Commission:

Jerry Binney – Chair
Dr. Ellen Taricani – Vice Chair
Rob Crassweller - Secretary
Bill Keough
Lisa Rittenhouse
Lewis Steinberg
Ralph Wheland
Qian Zhang

Staff:

Jenna Wargo – Director of Planning
Jeff Ressler - Zoning Administrator
Kristina Bassett – Community Planner

Others in attendance: Rhonda R. Demchak, Recording Secretary

I. CALL TO ORDER

Mr. Binney called the Ferguson Township Planning Commission's regular meeting to order on Monday, December 12, at 6:00 p.m. and it has been advertised in accordance with the PA Sunshine Act as a hybrid meeting.

Ms. Wargo took roll call, and the Planning Commission had a quorum.

II. CITIZEN INPUT

There were no comments.

III. APPROVAL OF MINUTES

Dr. Taricani moved that the Planning Commission **approve** the November 14, 2022, Regular Meeting Minutes. Ms. Rittenhouse seconded the motion.

Mr. Crassweller suggested adding West College Student Housing to the minutes under Dr. Taricani's communication she received regarding the close proximity of the sidewalk and road.

The motion passed unanimously

IV. NEW BUSINESS

1. MP Machinery and Testing at 2161 Sandy Drive Preliminary Land Development Plan

Ms. Bassett noted that provided in the agenda is the MP Machinery and Testing Preliminary Land Development Plan, dated May 3, 2022, and last revised December 6, 2022. This land development plan is located at 2161 Sandy Drive (TP: 24-433-007-0000). The parcel is approximately 1.436 acres and is zoned Light Industry, Research and Development (IRD).

This plan proposes the construction of an 8,088 SF addition to the existing building,

On April 5, 2022, the Board of Supervisors reviewed the parking analysis submitted to the Township on February 18, 2022 and approved three (3) additional parking spaces to be required for the proposed addition, resulting in 27 spaces shown on the land development plan with one loading zone space.

Staff has reviewed the resubmission and is recommending conditional approval of the plan. Provided with the agenda is a memorandum from the Community Planner dated December 07, 2022, describing the conditions.

Mr. Keough asked why this is just a preliminary plan and not a final preliminary. Ms. Wargo answered that in order for it to be a minor land development plan the addition would have been 1,000 sq. ft. Ms. Wargo verified that the Planning Commission and the Board of Supervisors will review both the preliminary and final land development plans.

Mr. Crassweller moved that the Planning Commission recommend **conditional approval** to the Board of Supervisors for the MP Machinery Testing at 2161 Sandy Drive Preliminary Land Development Plan subject to the conditions described in the Community Planner's memorandum dated December 7, 2022. Mr. Wheland seconded the motion. The motion passed unanimously.

2. Request for Consideration of a Modification/Waiver

Ms. Wargo stated that on December 2, 2022, Judy Brooks requested a modification from Chapter 22 – 5C01.1.B.(2) – Off-Street Parking and Loading. This section of the ordinance includes the parking calculations for required parking spaces on a site.

Ms. Brooks has been operating her business, Hair Studio 111, at 111 N. Butz Street since 2008 and has experienced significant business growth. She is requesting to add an additional stylist chair to accommodate her growing business.

Currently, the parking requirement for personal service establishments is one (1) space per 200 square feet of net floor area or 2 parking spaces per customer chair, whichever is greater. With the additional chair, the applicant would be required to provide two (2) additional parking spaces on site. Ms. Brooks is proposing to utilize on-street parking that is located in front of her business to satisfy the requirements.

Staff has reviewed the request and is recommending the Planning Commission approve the request because on-street parking is provided directly in front of the business and the building footprint (occupancy) isn't changing.

Mr. Keough asked if North Butz Street is part of the parking study that Ron Seybert is conducting. Ms. Wargo reported that the study was a request by the Board of Supervisors due to concerns that residents raised. Ms. Wargo stated that the initial concerns that were brought to the Public Works Department were that people are parking on the street longer than two hours. Mr. Keough asked why the request isn't going through the Zoning Hearing Board. Ms. Wargo answered that parking is now in the Subdivision and Land Development Ordinance (SALDO). Ms. Wargo stated that she would like to change the parking requirements from chairs to net square footage of the building.

Dr. Taricani moved that the Planning Commission **recommend approval** to the Board of Supervisors of the Request for Consideration of a Modification/Waiver of §22-5C01.1.B.(2) - Off-Street Parking and Loading requirements for Hair Studio

111. Mr. Wheland seconded the motion. The motion passed unanimously.

V. COMMUNICATIONS TO THE COMMISSION

Mr. Keough received a phone call regarding the request for consideration of a Modification/Waiver of §22-5C01.1.B.(2) - Off-Street Parking and Loading requirements for Hair Studio 111.

VI. OFFICIAL REPORTS AND CORRESPONDENCES

A. Board of Supervisors

Ms. Wargo reported that the Board opened up the Public Hearing for the 2023 Budget which will be adopted on December 13, 2022, and there was a discussion on the Whitehall Regional Park.

B. CRPC Meeting

Dr. Taricani reported that they met last Thursday and discussed the Toftrees Development that will consist of tearing down the existing hotel to build a new one. They reviewed a map of the Harris Township bike paths and making new parking spaces in the Boalsburg area around the museum. Dr. Taricani stated that they talked about the new PSU Master Plan for Landscaping.

C. Land Development Plans

Ms. Bassett compiled the following plans:

PLAN NAME	SUBMISSION DATE	REVIEW PERIOD	PLAN EXPIRATION
All Washed Up Auto Spa Preliminary Land Development Plan	September 12, 2022	Comments returned September 28, 2022	February 26, 2023
Farmstead View Preliminary Subdivision Plan	July 30, 2021	Conditionally Approved— June 21, 2022	February 25, 2023
Peace Center and Cemetery Preliminary Land Development Plan	May 18, 2021	Second Review comments returned October 12, 2022	March 7, 2023
IMBT Preliminary Subdivision Plan	January 31, 2022	Conditionally Approved— September 6, 2022	February 6, 2023
1004 West College Ave Vertical Mixed-Use Building	March 14, 2022	Second Review comments returned October 5, 2022	February 25, 2023
MP Machinery Preliminary Land Development Plan	April 6, 2022	PC Review on December 12, 2022	February 8, 2023
Minor Subdivision /Replot of TP 4-433-007-0000 and 24-433-008-0000 at 2151 and 2161 Sandy Drive	August 30, 2022	Conditionally Approved— October 3, 2022 RECORDED 12/7/22	
Salvation Baptist Church Preliminary Land Development Plan	June 1, 2022	Conditionally Approved— November 1, 2022	January 30, 2023
125 East Pine Grove Road Preliminary Land Development Plan	October 12, 2022	Second Review Comments returned December 6, 2022	February 12, 2023
165 Volos Lane Minor Land Development Plan	June 3, 2022	Conditionally Approved— September 20, 2022	March 6, 2023
LeCrone Minor Subdivision Plan	October 21, 2022	Under Second Staff Review, comments due December 16, 2022	March 5, 2023

Dr. Taricani asked what happens with the construction in the winter at the Whitehall Regional Park. Mr. Keough reported that the digging of trenches, the placing of piping, covering of the pipes, etc. is nearing the end. Mr. Keough stated that work can continue if the weather cooperates. The contractor has agreed that if work needs to stop that they will not re-stage but to continue with the last parts of the underground work that needs to be done.

D. Staff Updates

Ms. Wargo reported they finished with evaluations and prepping for next year.

Mr. Keough requested at some point to have Ron Seybert update the Planning Commission of the traffic environment in Ferguson Township. Ms. Wargo will follow-up with Mr. Seybert.

VII. Adjournment

Mr. Keough made a motion to **adjourn** the December 12, 2022, Planning Commission meeting at 6:29 p.m. The motion passed unanimously.

Respectfully Submitted,

Rob Crassweller, Secretary
For the Planning Commission



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: Planning Commission

FROM: Kristina Bassett, Community Planner

DATE: January 9, 2023

SUBJECT: Replot of Tax Parcels 24-004-079H & 24-004-079I/LeCrone Minor Subdivision

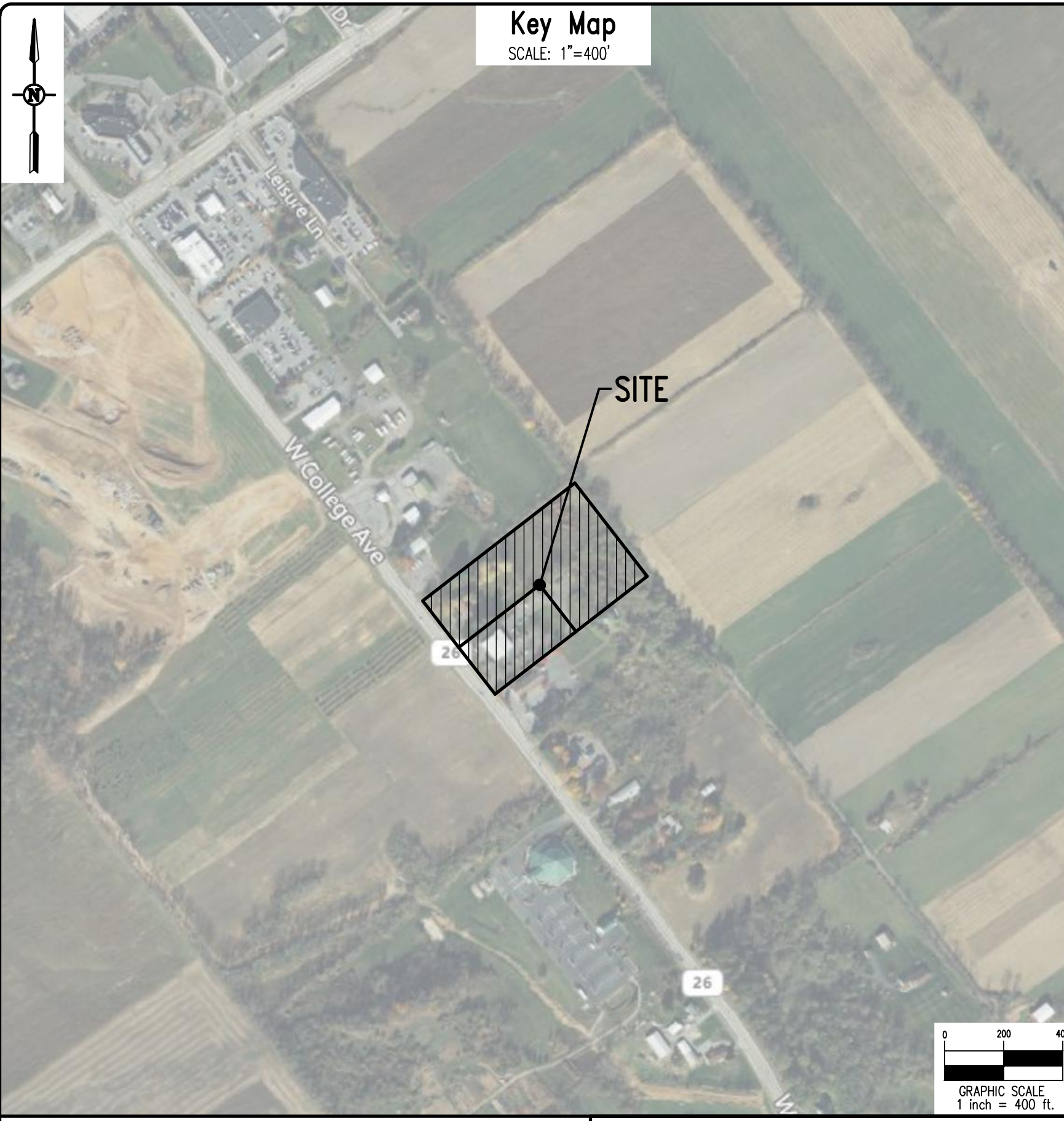
Included in the agenda is the Replot of Tax Parcels 24-004-079H & 24-004-079I, submitted on October 21, 2022, by Penn Terra Engineering Inc. on behalf of their client, Craig LeCrone. The proposed replot/subdivision is located at 3490 and 3510 West College Avenue. The parcels are located within the General Commercial (C) zoning district and Corridor Overlay District (COD).

The purpose of this plan is to replot the lot line that separate the adjacent parcels. The lot (Lot 1) at 3490 West College Avenue is 2.986 acres. The lot (Lot 2) at 3510 West College Avenue is 2.991 acres. The replot proposes to add 1.456 acres from Lot 2 to Lot 1. Sidewalks are proposed to be added along West College Avenue in front of 3490 West College Avenue connecting to the existing sidewalks at 3510 West College Avenue.

Staff has reviewed the plan and is recommending approval pending outstanding review comments detailed at the bottom of this memorandum.

Outstanding Staff Comments, Community Planner, Zoning Administrator and Township Engineer:

1. A GIS-compatible digital copy of the plan in accordance with Township requirements must be provided to the Township prior to final plan signature. (Chapter 22, Section 304.6)
2. The plan must be signed, all fees paid to the Township, and the plan recorded within the plan deadline.
3. Surety must be posted for all public improvements. (Chapter 22, Section 304)



PROJECT NOTES:

- General Site Information:
 - Owner of Record: Tax Parcel 24-004-079H Craig W. & Kerri A. LeCrone 912 Blair Street Hollidaysburg, PA 16648 Record Book 2285, Page 492 Lot Address: 3490 W. College Ave State College, PA 16801 Corridor Overlay
 - Record Book/Page: 3490 W. College Ave State College, PA 16801
 - Zoning: General Commercial (C) Corridor Overlay
 - Building Setbacks: Front-40' Side-25' Rear-50' 45' Max
 - Building Height: Existing Lot Size: 130,074 S.F. / 2.986 Acres Addition To Lot: 63,417 S.F. / 1.456 Acres Proposed Lot Size: 193,491 S.F. / 4.442 Acres
 - Lot Coverage: Max. Coverage Allowed: 80% - 154,793 S.F. Max. Building Coverage Allowed: 45% - 87,071 S.F. Existing Building Coverage (After Replot): 0 S.F. Existing Pavement, Sidewalks, etc.: 12,077 S.F. Total Coverage: 12,077 S.F. (6%)
 - Existing Use: Vacant Proposed Use: Vacant
- Purpose of this plan is to Replot Tax Parcels 24-004-079H and 24-004-079I.
- Act 287 Utility Information:
 - Serial No. 20220190695
 - Underground utility locations are approximate and were determined for visible location, PA One Call utility responses and/or best available plan information. All utility locations should be verified prior to any construction, utility information and locations should be considered approximate. Contractor shall notify PA One Call prior to any excavation.
 - Electric: West Penn Power, 2800 E. College Ave., State College, PA 16801; Phone: (814) 237-5721
 - Telephone: Verizon, Facility Management Center; 224 S. Allen Street, State College, PA 16801; Phone: (814) 231-6511
 - TV Cable: Comcast; 60 Decibel Road, State College, PA 16801; Phone: (814) 238-5050
 - Gas: Columbia Gas; 2550 Carolan Drive, State College, PA 16801; Phone: (814) 238-4651
 - Sanitary Sewer: University Area Joint Authority (UAJA); 1576 Spring Valley Road, State College, PA 16801; Phone: (814) 238-9662
 - Water: State College Borough Water Authority (SCBWA); 1201 West Branch Road, State College, PA 16801; Phone: (814) 238-6766
 - Stormwater & Traffic Signals: Ferguson Township; 3147 Research Drive, State College, PA 16801; Phone: (814) 238-4651
- Reference:
 - "3510 West College Avenue, Minor Alteration Plan", dated October 1, 2014, recorded in Plat Book 89, page 19.
 - "3510 West College Avenue, Minor Alteration Plan", dated July 24, 2013, recorded in Plat Book 88, page 1.
 - "Preliminary/Final Land Development Plan for Envirotec Systems Official Inspection Facility", dated March 28, 1994, recorded in Plat Book 48, pages 73-74.
 - "Lot Consolidation Plan for Envirotec Systems Official Inspection Facility", dated March 28, 1994, recorded in Plat Book page 38.
- Easement:
 - Existing 25' drainage easement. Refer to Prelim/Final Land Development Plan for Envirotec Systems Official Inspection Facility, recorded in PB 48, page 73-74.
 - Existing 10' utility easement in the middle of Tax Parcels 24-04-79H and 24-04-79I. Refer to Property Survey Sidney Friedman by Engineering Centre Inc., recorded in PB 15, page 75. Existing easement shall be eliminated on these parcels per this plan.
 - Existing 20' sanitary sewer easement. Refer to Revised Right-Of-Way Agreement in RB 1175, page 0607.
 - Proposed 20' sanitary sewer easement for existing lateral on proposed Tax Parcel 24-04-79H for the benefit of proposed Tax Parcel 24-04-79I.
 - Proposed variable width access and parking easement on proposed Tax Parcel 24-04-79H for the benefit of proposed Tax Parcel 24-04-79I.
- Horizontal datum is based on Pennsylvania State Plane Coordinates, North American Datum of 1983 (PA NAD 83) North Zone U.S. Feet.
- Vertical datum is based on North American Vertical Datum of 1988 (NAVD 88). Site Benchmark is the existing manhole located at the east side of the existing building. Top Casting = 1210.68'.
- This Record Plan conforms with the Plan receiving final approval by the Ferguson Township Board of Supervisors on _____. All improvements are or will be installed in accordance with such Plan in a manner and time so specified therein.
- A PennDOT HOP for installation of the sidewalk is required prior to issuance of a zoning permit.

EXISTING & PROPOSED FEATURES LEGEND

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Bituminous Areas
- Existing Gravel Areas
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Fiber Optic Line
- Existing Sanitary Sewer w/ Manhole
- Existing Sanitary Sewer Force Main w/ Air Release Valve
- Existing Water Line w/ Valve
- Existing Overhead Utility Line w/ Pole
- Existing Manhole
- Existing Utility Pole
- Existing Utility Main Valve
- Existing Utility Lateral Valve
- Existing Utility Meter
- Existing Ballard
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Mail Box
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Row / Tree Mass
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub
- PROPOSED CONCRETE SIDEWALK

SOILS LEGEND

- Soil cover on the site consists of:
- HaB - Hagerstown silt loam, 3%-8% Slopes
- OnB - Oqueon-Hagerstown complex, 3%-8% Slopes
- OnC - Oqueon-Hagerstown complex, 8%-15% Slopes

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Property Corner Found
- Property Corner To Be Set

Owners Certification: TP# 24-004-079H & TP# 24-004-079I

Commonwealth of Pennsylvania County of _____

On this _____ day of _____, 20____

undersigned owner, personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

Owner _____

Owner _____

witness my hand and seal, this date _____

Notary Public _____ Commission Expires _____

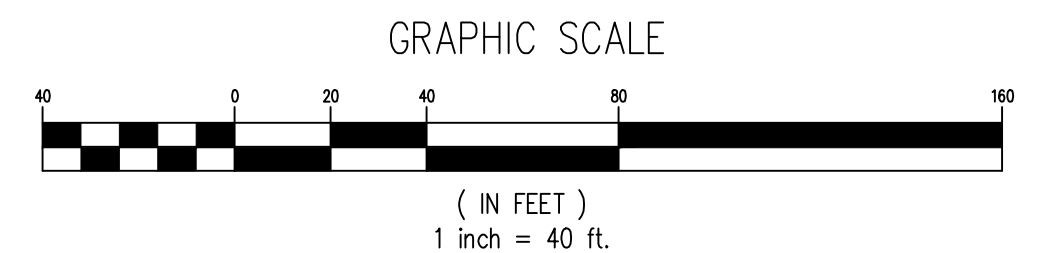
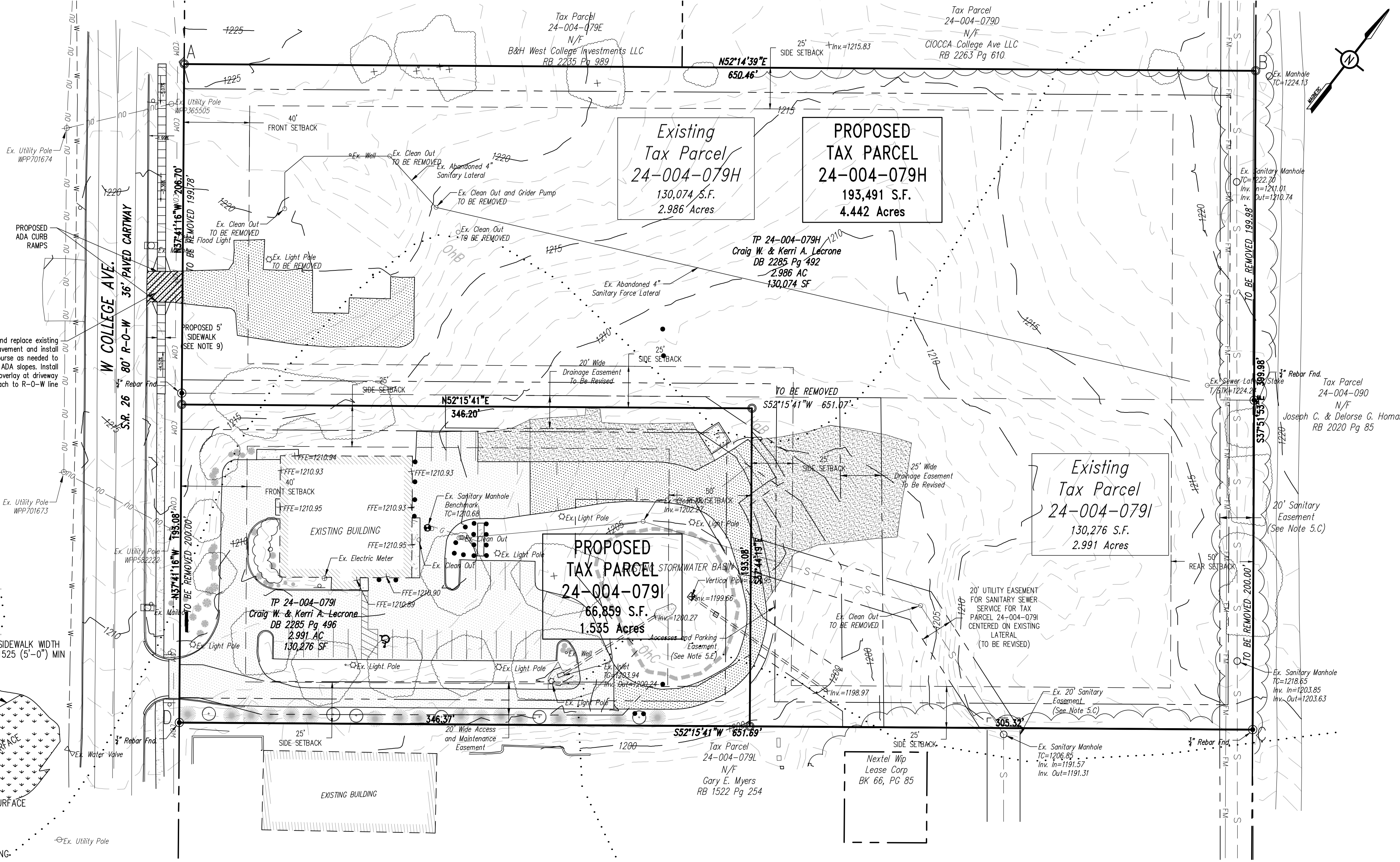
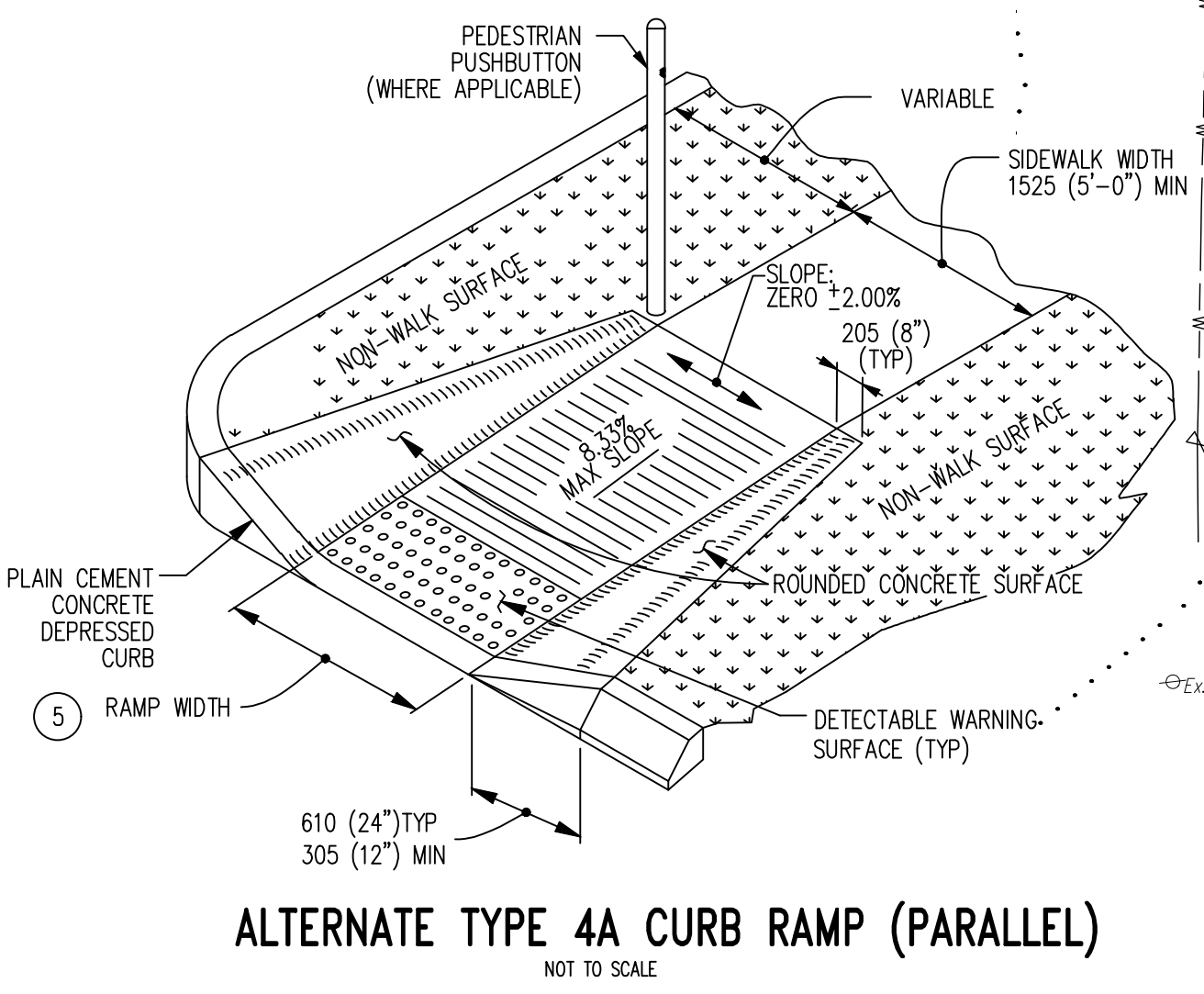
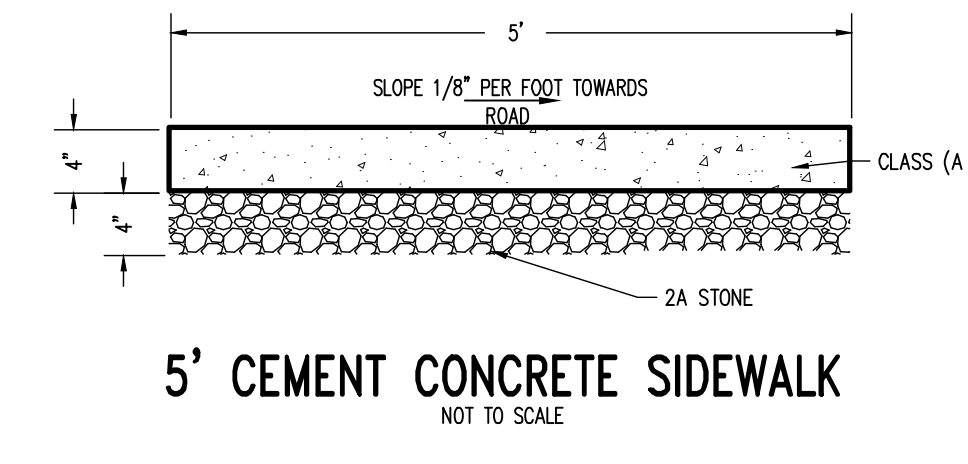
Professional Land Surveyor Certification

I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

Signature _____ Date _____

GEODETIC GPS POINTS

POINT	LATITUDE	LONGITUDE
A	40° 45' 23.107"	77° 52' 27.057"
B	40° 45' 27.050"	77° 52' 20.382"
C	40° 45' 23.933"	77° 52' 17.186"
D	40° 45' 19.985"	77° 52' 23.875"



PennTerra ENGINEERING INC.

CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ADEL DRIVE
COLUMBIA, PA 17512
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REGISTERED PROFESSIONAL ENGINEER
JOHN C. SEPP
ENGINEER 04003-E
PENNSYLVANIA

REGISTERED PROFESSIONAL LAND SURVEYOR
NEVIN L. GROVE
LAND SURVEYOR 000017
PENNSYLVANIA

Designer: C.J.W.
Draftsman: C.J.W.
Proj Manager: M.A.T.
Surveyor: XXX
Perimeter Ok: _____
Book: XXX Pg. XXX
File: 21137-LOT REPLOT
Layout: TEST LAYOUT

Date	Description	REVISIONS
12/21/2022	REV PER TOWNSHIP COMMENTS	CM
12/21/2022	REV PER TOWNSHIP COMMENTS	CM

LECRONE-WEST COLLEGE AVENUE REPLOT

FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

RECORD PLAN: REPLOT OF TAX PARCELS 24-004-079H & 24-004-079I

PROJECT NO. 21137
DATE: OCTOBER 21, 2022
SCALE: 1" = 40'
SHEET NO. 1



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: Planning Commission

FROM: Kristina Bassett, Community Planner

DATE: January 9, 2023

SUBJECT: Application for Consideration of a Modification/Waiver

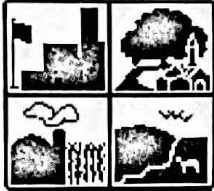
On November 14, 2022, PGH Real Estate Holdings, LLC requested a waiver from Chapter 22-512 – Sidewalks. The 125 East Pine Grove Road Preliminary Land Development Plan proposes the conversion of a single-family home into a restaurant with indoor and outdoor dining areas. The property is located at 125 East Pine Grove Road (24-009A-030-0000) and is zoned Village (V). The property is approximately 0.496 acres.

The applicant is requesting a waiver from providing a sidewalk along Sparrow Alley. Sparrow Alley terminates at the end of applicant's property and a sidewalk along the alley would not provide a complete connection.

Staff has reviewed the request and isn't recommending any conditions.

Recommended Motion: Move that the Planning Commission recommend granting of the Request for Waiver from §22-512—Sidewalks to the Board of Supervisors.

Staff Recommendation: That the Planning Commission recommend granting of the request.



APPLICATION FOR CONSIDERATION OF A MODIFICATION
Ferguson Township, Centre County

Submittal Date: 11/14/2022

A fee of \$50.00 is required at the time of submitting this application.

The undersigned hereby applies for approval of a modification/waiver, submitted herewith and described below:

Applicant Information

PGH Real Estate Holdings LLC

Name		
1323 Sandpiper Drive	State College	16801
Street Address	City	Zip
814-777-7863		
Phone Number		

Property/Plan Information

125 E Pine Grove Road

Plan Name	
<hr/>	
Plan Number	Plan Date
Pine Grove Mills	24-009A
Project Location	Parcel Number

PGH Real Estate Holdings LLC

Name of Property Owner(s)		
125 E Pine Grove Road	Pine Grove Mills	16868
Street Address	City	Zip

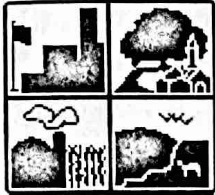
Application Type:

- Subdivision
- Terraced Streetscape District (TSD)
- Land Development
- Traditional Town Development (TSD) District

Modification/Waiver Request Information

Specific Section(s) of the Subdivision and Land Development Ordinance or Design Standards for which a Modification/Waiver is requested:

22-512 - Sidewalks (Ord. No. 1050, 11/18/2019)



APPLICATION FOR CONSIDERATION OF A MODIFICATION

Ferguson Township, Centre County

State any proposed alternative(s) to the requirement:

The proposed alternative is to not provide sidewalk along Sparrow Alley.

Please state in full, the grounds and facts of the unreasonableness or hardship the Ferguson Township Subdivision and Land Development Ordinance has placed on the property.

A sidewalk along Sparrow Alley does not make sense at this time as the sidewalk would lead to nowhere. It seems impractical to create a sidewalk along this alley that terminates at the end of this property.

*If necessary, please continue with your hardship specification on another page.

The undersigned hereby represents that, to the best of their knowledge and belief, all information listed above is true, correct, and complete.

Elizabeth Grace
Signature

11/14/22
Date

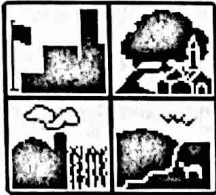
-For Office Use Only-

Date Received: _____ By: _____

Date Paid: _____ Check No.: _____ Amount: _____

Advertisement Dates: _____ Planning Commission Review Date: _____

Board of Supervisors Meeting Date: _____



APPLICATION FOR CONSIDERATION OF A MODIFICATION

Ferguson Township, Centre County

State any proposed alternative(s) to the requirement:

The proposed alternative is to provide 19 parking spaces instead of the 21 required by the ordinance.

Please state in full, the grounds and facts of the unreasonableness or hardship the Ferguson Township Subdivision and Land Development Ordinance has placed on the property.

21 parking spaces does not make sense with the intended use of the building and the property is not large enough to provide the two additional spaces.

*If necessary, please continue with your hardship specification on another page.

The undersigned hereby represents that, to the best of their knowledge and belief, all information listed above is true, correct, and complete.

Elizabeth A. Rose
Signature

11/14/22
Date

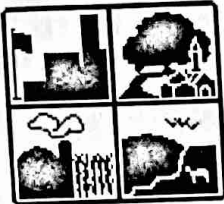
-For Office Use Only-

Date Received: _____ By: _____

Date Paid: _____ Check No.: _____ Amount: _____

Advertisement Dates: _____ Planning Commission Review Date: _____

Board of Supervisors Meeting Date: _____



APPLICATION FOR CONSIDERATION OF A MODIFICATION

Ferguson Township, Centre County

Submittal Date: 11/14/2022

A fee of \$50.00 is required at the time of submitting this application.

The undersigned hereby applies for approval of a modification/waiver, submitted herewith and described below:

Applicant Information

PGH Real Estate Holdings, LLC

Name
1323 Sandpiper Dr **State College** **16801**
Street Address City Zip
814-777-7863
Phone Number

Property/Plan Information

125 E. Pine Grove Road Development

Plan Name
10/07/22 rev 11/11/22
Plan Date
Plan Number
125 E Pine Grove Road **24-009A-,030-,0000-**
Project Location Parcel Number

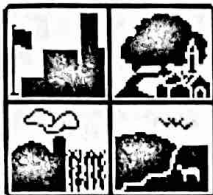
PGH Real Estate Holdings, LLC

Name of Property Owner(s)
125 E Pine Grove Road **Pine Grove Mills** **16868**
Street Address City Zip

Application Type:
 Subdivision Terraced Streetscape District (TSD)
 Land Development Traditional Town Development (TSD) District

Modification/Waiver Request Information

Specific Section(s) of the Subdivision and Land Development Ordinance or Design Standards for which a Modification/Waiver is requested:
22-516



APPLICATION FOR CONSIDERATION OF A MODIFICATION

Ferguson Township, Centre County

State any proposed alternative(s) to the requirement:

NORTH SIDE YARD: Living fence instead of structural fence as an alternative to the buffer yard requirements. Landscaping trees/shrubs along back buffer with respect to overhead utility and adjacent trees and in keeping with character of Village District. Red Bud Trees (common in the Village District) desired to promote cohesive community beautification. SOUTH: Landscaping with respect to overhead utility lines and existing tree spread on the adjacent property. SOUTHEAST: Adjacent to public roadway (Sparrow Alley) to be considered as road frontage with no landscaping. SOUTHWEST: A fence with a vining plant conducive of the Village District character.

Please state in full, the grounds and facts of the unreasonableness or hardship the Ferguson Township Subdivision and Land Development Ordinance has placed on the property.

The amount of planting required in buffer yards under the ordinance and in conjunction with the small size of the parcel would reduce the usable portion of the property to a point that would make the development not feasible for the intended use. In addition, the close proximity of trees located to proposed outdoor eating and gathering areas would have negative affects. Negative affect include bird droppings, excessive fall leaf accumulation, and attraction of bees and other insects that would all detract from the pleasant experience and usefulness of the proposed outdoor use area.

*If necessary, please continue with your hardship specification on another page.

The undersigned hereby represents that, to the best of their knowledge and belief, all information listed above is true, correct, and complete.

Elizabeth Grace
Signature

11/14/22
Date

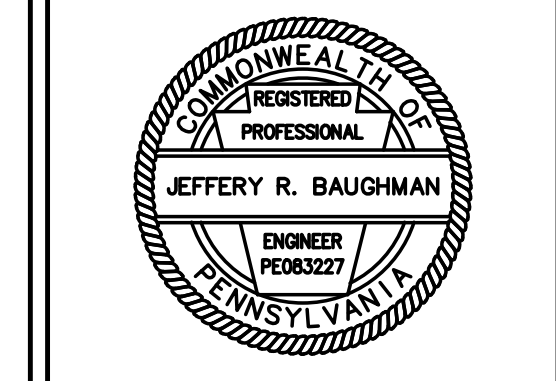
-For Office Use Only-

Date Received: _____ By: _____

Date Paid: _____ Check No.: _____ Amount: _____

Advertisement Dates: _____ Planning Commission Review Date: _____

Board of Supervisors Meeting Date: _____



SURVEYOR ----- CES
CADD ----- JUN
DESIGNER ----- DDC
MANAGER ----- MRV
FILE:
21-330_ELIZABETH GROVE ADD PARKING_LD_COVER.DWG

REV 1 - 11/11/22 - TWP COMMENTS

REVISIONS

PGH REAL ESTATE HOLDINGS LLC

125 E PINE GROVE ROAD DEVELOPMENT

FERGUSON TOWNSHIP, CENTRE COUNTY, PA
SHEET NAME

COVER SHEET

PROJECT NO.
21-330

DATE
10/07/2022

SCALE	SHEET NO.
N.T.S	A1

PRELIMINARY LAND DEVELOPMENT PLAN

125 E. PINE GROVE ROAD DEVELOPMENT

PGH REAL ESTATE HOLDINGS LLC

FERGUSON TOWNSHIP
CENTRE COUNTY, PENNSYLVANIA
OCTOBER 7, 2022

DRAWING INDEX

- A01 COVER SHEET
- C01 EXISTING CONDITIONS PLAN
- C02 DEMOLITION PLAN
- C03 SITE PLAN
- C04 GRADING PLAN
- C04.1 SITE SECTIONS
- C05 UTILITY PLAN
- C06 POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
- C07 EROSION AND SEDIMENT CONTROL PLAN
- D1-D2 DETAILS
- LANDSCAPE PLAN:**
- L01 LANDSCAPE PLAN
- L01 LANDSCAPE DETAILS
- LIGHTING PLAN:**
- E.01 LEGEND AND GENERAL NOTES
- E1.0 SITE PLAN
- E1.1 LIGHTING CALCULATIONS
- E2.0 DETAILS AND DIAGRAMS

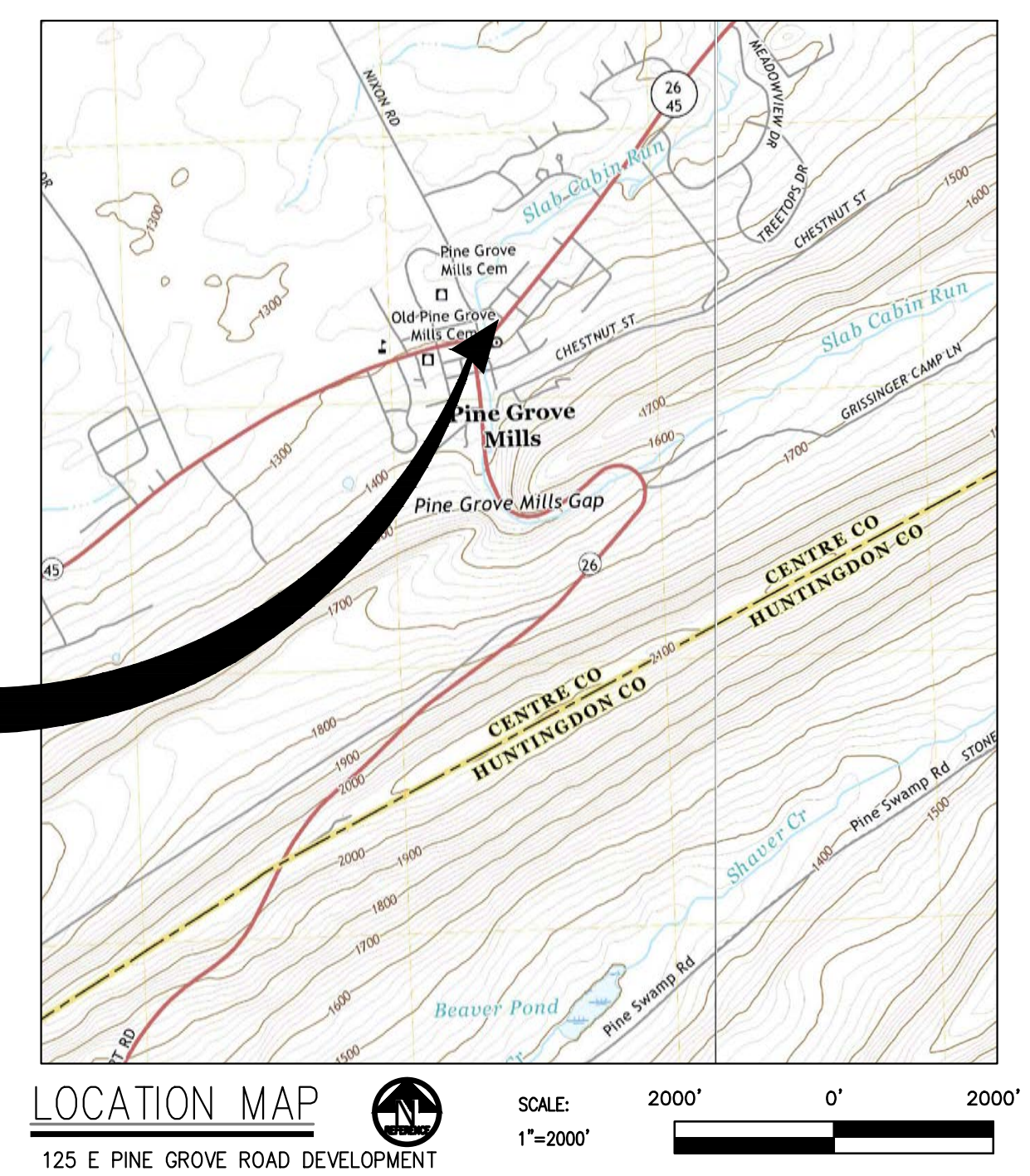
SITE INFORMATION

- A. OWNER OF RECORD: PGH REAL ESTATE HOLDINGS LLC
- B. TAX PARCEL: 24-009A--030--0000-
- C. DEED BOOK/PAGE NUMBER: DB 2277 PG 540
- D. PROPERTY SIZE: 0.496 AC.
- E. ZONING: VILLAGE ZONING DISTRICT
- F. SITE USE EXISTING: STRUCTURE / YARD
- G. SITE USE PROPOSED: STRUCTURE / YARD / PARKING LOT
- IMPERVIOUS CHANGE: 16,941 SF

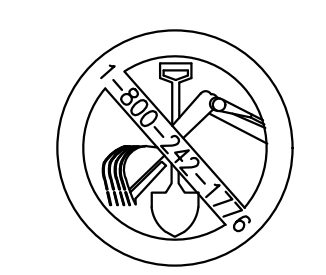
ZONING REQUIREMENTS

- SITE IS ZONED: V - VILLAGE
- ZONE REQUIREMENTS**
- 1. MIN. LOT SIZE: 7,500 SQ.FT.
 - 2. MIN LOT WIDTH: 25 FEET
 - 3. MIN. BUILDING SETBACKS:
 - FRONT YARD: 0 FEET
 - SIDE YARD: 3 FEET
 - REAR YARD: 20 FEET (PRINCIPAL)
 - 5 FEET (ACC. STRUCT.)
 - 4. MAX BUILDING HEIGHT: 40 FEET (PRINCIPAL)
 - 24 FEET (ACC. STRUCT.)
 - 5. MAX. LOT COVERAGE: 75% (IMPERVIOUS)

PROJECT LOCATION



LOCATION MAP
125 E PINE GROVE ROAD DEVELOPMENT
SCALE: 2000' 0' 2000'
1"=2000'



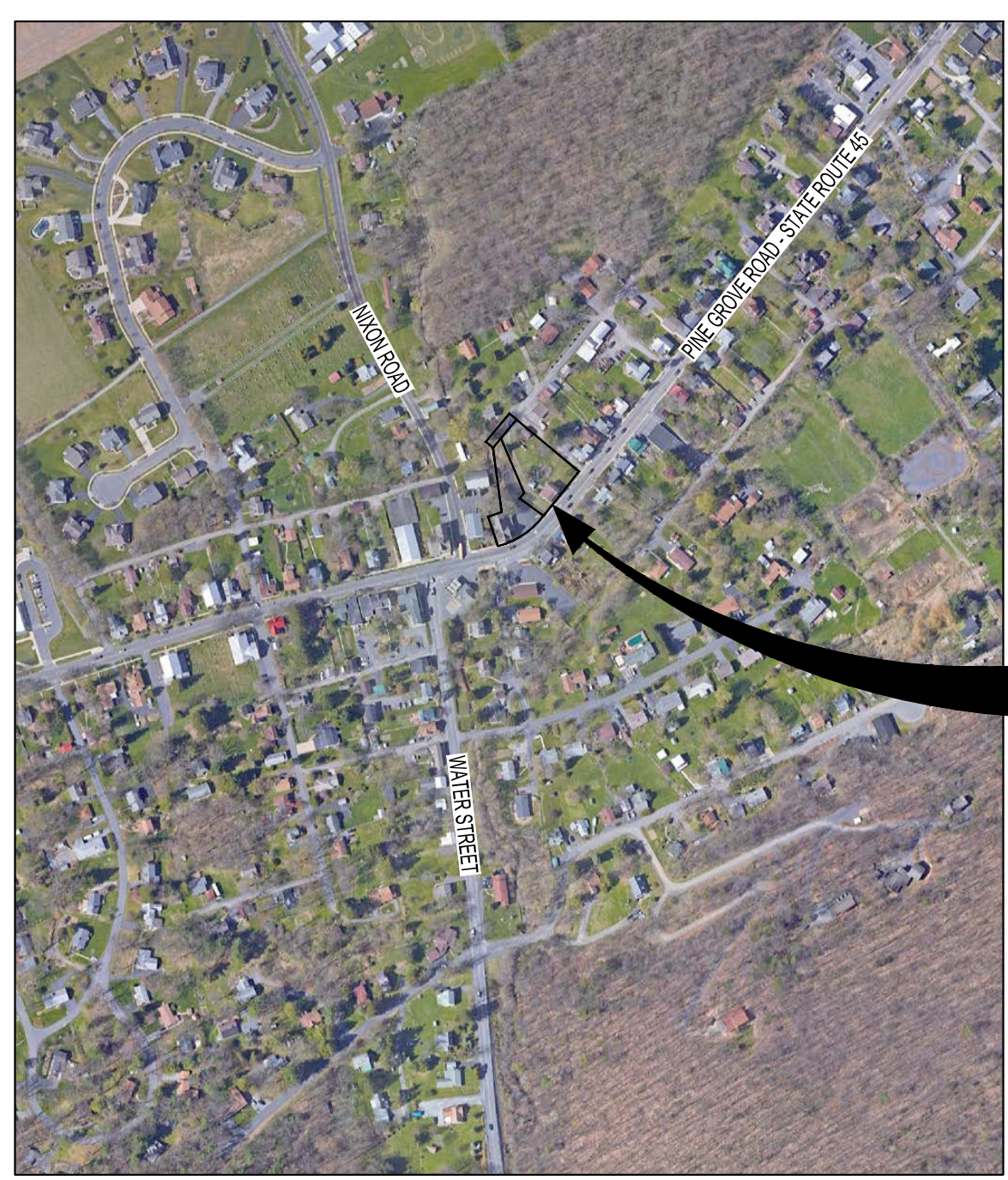
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY

ACT 172 UTILITY & PA ONE CALL INFORMATION

- 1. PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - BEFORE YOU DIG CALL THE PA ONE CALL SYSTEM TELEPHONE NUMBER 1-800-242-1776. PA ONE CALL SERIAL NO. 20221441879
- 2. ALL UTILITY INFORMATION AND LOCATIONS ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE. ALL UTILITY LOCATIONS SHOULD BE VERIFIED IN THE FIELD. CONTRACTOR SHALL NOTIFY PA ONE CALL (1-800-242-1776) AT LEAST 3 DAY PRIOR TO ANY EXCAVATION.

GENERAL UTILITY & PA ONE CALL INFORMATION

- ALL UTILITY INFORMATION AND LOCATIONS SHOWN ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE. ALL UTILITY LOCATIONS SHOULD BE VERIFIED IN THE FIELD. CONTRACTOR SHALL NOTIFY PA ONE CALL (1-800-242-1776) AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION.
- ELECTRIC - PENN STATE UNIVERSITY 152R PHYSICAL PLANT BUILDING UNIVERSITY PARK, PA 16802 CONTACT: CYLE VOGT PHONE: 814-865-1583
 - SANITARY SEWER - PENN STATE UNIVERSITY WASTEWATER TREATMENT BUILDING 501 UNIVERSITY DRIVE STATE COLLEGE, PA 16801 CONTACT: DAVE SWISHER PHONE: 814-867-6123
 - WATER - PSU WATER SERVICES 209 WATER TREATMENT PLANT UNIVERSITY PARK, PA 16802 CONTACT: JIM BAIRD PHONE: 814-863-5536
 - TELEPHONE - VERIZON PENNSYLVANIA, INC. 303 WALNUT STREET, STRAWBERRY SQUARE, 11TH FLOOR HARRISBURG, PA 17101 PHONE: 717-255-5113
 - GAS - PENN STATE UNIVERSITY 113 PHYSICAL PLANT BUILDING UNIVERSITY PARK, PA 16802 CONTACT: RON PRISTASH PHONE: 814-863-0978
 - COMMUNICATIONS - PENN STATE UNIVERSITY-TELECOMMUNICATIONS 112 UNIVERSITY SUPPORT BUILDING 2 UNIVERSITY PARK, PA 1680 PHONE: 814-865-3988
 - CABLE - COMCAST 80 DECHBEL ROAD STATE COLLEGE, PA 16801 PHONE: 800-266-2278



KEY MAP
SCALE: 1"=400'

GENERAL NOTES:

1. THIS PLAN IS TO EXPAND PARKING FOR A PROPOSED COMMERCIAL BUSINESS AT 125 E PINE GROVE ROAD.
2. UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE BASED ON ABOVE GROUND APPURTENANCES AND SUPPLEMENTAL INFORMATION SUPPLIED BY THE UTILITY PROVIDERS. NO LOCATION BY EXCAVATION WAS COMPLETED.
3. NO CONSTRUCTION MATERIALS, DEBRIS, CLEANING SOLUTIONS, WASH WATER OR OTHER FORMS OF ILLICIT DISCHARGES SHALL ENTER THE STORM SEWER SYSTEM.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION.
5. WORK SITE SHALL BE PROTECTED AT ALL TIMES. BARRICADES, WARNING SIGNS, GUARDS, LIGHTS, ETC. SHALL BE ERECTED AS REQUIRED. NO TRENCHES OR EXCAVATIONS MAY REMAIN OPEN OVERNIGHT OR BE LEFT UNPROTECTED.
6. ALL CONSTRUCTION AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF PENN D.O.T. PUBLICATION 408 AND THESE DRAWINGS, WHERE THESE DOCUMENTS CONFLICT, THE MOST RESTRICTIVE SHALL APPLY.
7. ALL WORK RELATING TO THIS PROJECT SHALL BE SUBJECT TO ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, AND REGULATIONS REGARDING OCCUPATIONAL SAFETY AND HEALTH, ENVIRONMENTAL PROTECTION, AND CONSTRUCTION STANDARDS. NOTHING CONTAINED IN THE SPECIFICATIONS OR THE DRAWINGS SHALL BE CONSTRUED TO CONFLICT WITH SUCH LAWS, CODES, ORDINANCES, OR REGULATIONS, AND IN THE EVENT OF SUCH CONFLICT ANY REQUIREMENT IMPOSED BY LAW, ORDINANCE, OR REGULATION SHALL BE DEEMED CONTROLLING.
8. CONTRACTOR SHALL NOT DISTURB ANY GROUND BEYOND THE IMMEDIATE AREA REQUIRED FOR THE EX. DEMOLITION AND THE NEW CONSTRUCTION. CONTRACTOR SHALL MINIMIZE EXCAVATION, DISTURBANCE AND COMPACTION WITHIN THE IMMEDIATE CONSTRUCTION AREA. ALL DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS.
9. ALL EXISTING CONCRETE, ASPHALT PAVEMENT, ETC. THAT IS NOT SPECIFIED FOR REPLACEMENT SHALL BE PROTECTED DURING CONSTRUCTION (SPECIFICALLY, CONSTRUCTION VEHICLES ENTERING THE SITE).
10. NO UTILITIES, OTHER THAN THOSE INDICATED, SHALL BE INTERRUPTED OR DISTURBED FOR THIS PROJECT.
11. COMPACT EACH LAYER TO THE REQUIRED PERCENTAGE OF MAXIMUM DRY DENSITY OR RELATIVE DRY DENSITY FOR EACH AREA CLASSIFICATION INDICATED BELOW, BEFORE COMPACTION, MOISTEN OR AERATE EACH LAYER AS NECESSARY TO PROVIDE OPTIMUM MOISTURE CONTENT. SEE ENGINEER FOR COMPLETE SPECIFICATIONS.
PERCENTAGE OF MAXIMUM DENSITY REQUIREMENTS: COMPACT SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DENSITY, IN ACCORDANCE WITH ASTM D 1557 (MODIFIED PROCTOR):
 - A. UNDER STRUCTURES, BUILDING SLABS AND STEPS, COMPACT TOP 12 INCHES OF SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 95 PERCENT MAXIMUM DENSITY.
 - B. UNDER LAWN OR UNPAVED AREAS, COMPACT TOP 6 INCHES OF SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 90 PERCENT MAXIMUM DENSITY.
 - C. UNDER WALKWAYS, COMPACT TOP 6 INCHES OF SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 95 PERCENT MAXIMUM DENSITY.
15. FURNISH BACKFILL AND FILL SOIL MATERIALS FREE OF CLAY, ROCK, OR GRAVEL LARGER THAN 2 INCHES IN ANY DIMENSION; DEBRIS; WASTE; FROZEN MATERIALS; VEGETATION; AND OTHER DELETERIOUS MATTER. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. DO NOT PLACE BACKFILL OR FILL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN, OR CONTAIN FROST OR ICE.
16. ALL EXCAVATION IS UNCLASSIFIED AND INCLUDES (WITHOUT LIMITATION THERETO) THE EXCAVATION AND REMOVAL OF ALL SOIL, SHALE, ROCK OR ROCK FORMATIONS, BOULDERS, EXISTING FOUNDATIONS, FILL, AND ANY TYPE OF SUBSURFACE CONDITION ENCOUNTERED IN THE CONTRACT AREA. NO CLAIMS FOR EXTRA COMPENSATION OR EXTENSION OF CONTRACT TIME BECAUSE OF THE NATURE OF SUBSURFACE CONDITIONS ENCOUNTERED WILL BE CONSIDERED.
17. THE CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND CONSTRUCTING STABLE, TEMPORARY EXCAVATIONS AND SHOULD SHORE, SLOPE, OR BENCH THE SIDES OF THE EXCAVATIONS AS REQUIRED TO MAINTAIN STABILITY OF BOTH THE EXCAVATION SIDES AND BOTTOM. THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING THE GUIDELINES PRESENTED IN FEDERAL REGISTER, VOLUME 54, NO. 209 (OCTOBER 1989), THE UNITED STATES DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SECTION TITLED "CONSTRUCTION STANDARDS FOR EXCAVATION, 29 CFR, PART 1926, SUBPART P."
18. A DRIVEWAY PERMIT IS REQUIRED FROM PENNDOT FOR ACCESS TO A STATE HIGHWAY PRIOR TO ISSUANCE OF A ZONING PERMIT.
19. A STORMWATER PRE-CONSTRUCTION MEETING IS REQUIRED WITH FERGUSON TOWNSHIP, THE CONTRACTOR, DESIGNER, AND OWNER PRIOR TO ANY EARTH DISTURBANCE.

OWNER'S CERTIFICATION
T.P. 24-009A--030--0000--
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF CENTRE
ON THIS _____ DAY OF _____, 2022, BEFORE ME THE UNDERSIGNED OFFICER PERSONALLY APPEARED, ELIZABETH GROVE, OWNER OF PGH REAL ESTATE HOLDING LLC, IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT SHE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF OF THE OWNER, AND THAT THE OWNER ACKNOWLEDGES THE SAME TO BE THEIR ACT AND DEED, AND THAT THE OWNER DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

SIGNATURE OF LAND OWNER REPRESENTATIVE
WITNESS MY HAND AND SEAL THIS _____ DAY OF _____, 2022.
NOTARY PUBLIC _____ COMMISSION EXPIRES _____

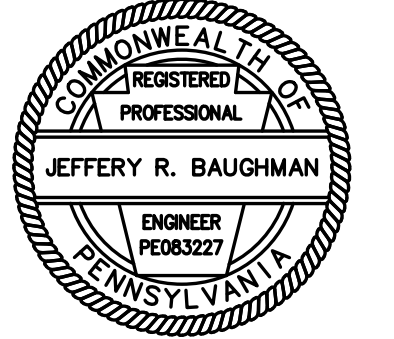
DESIGN ENGINEER
I, _____, DO HEREBY CERTIFY THAT THIS LAND DEVELOPMENT PLAN MEETS ALL DESIGN CRITERIA OF THE FERGUSON TOWNSHIP ZONING AND LAND DEVELOPMENT/SUBDIVISION REGULATIONS.

MUNICIPAL ENGINEER CERTIFICATION
I, _____, HAVE REVIEWED THE LAND DEVELOPMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE FERGUSON TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

FIRE DIRECTOR CERTIFICATION
THE FIRE DIRECTOR HAS REVIEWED THIS PLAN FOR COMPLIANCE WITH APPLICABLE FIRE PROTECTION STANDARDS AND DOES HEREBY CERTIFY THE COMPLIANCE WITH THOSE STANDARDS HAS BEEN DEMONSTRATED.
FIRE DIRECTOR _____ DATE _____

FERGUSON TOWNSHIP PLANNING COMMISSION
FERGUSON TOWNSHIP PLANNING COMMISSION APPROVED:
CHAIR _____ DATE _____
SECRETARY _____ DATE _____

FERGUSON TOWNSHIP BOARD OF SUPERVISORS
FERGUSON TOWNSHIP BOARD OF SUPERVISORS APPROVED:
CHAIR _____ DATE _____
SECRETARY _____ DATE _____



SURVEYOR ----- CES
CADD ----- JJN
DESIGNER ----- DDC
MANAGER ----- MRV
FILE:
21-330 DESIGN DWG

REV 1 - 11/11/22 - TWP COMMENTS

REVISIONS

PGH REAL ESTATE HOLDINGS LLC

125 E PINE GROVE ROAD DEVELOPMENT

FERGUSON TOWNSHIP,
CENTRE COUNTY, PA

SHEET NAME

EXISTING CONDITIONS PLAN

PROJECT NO.

21-330

DATE

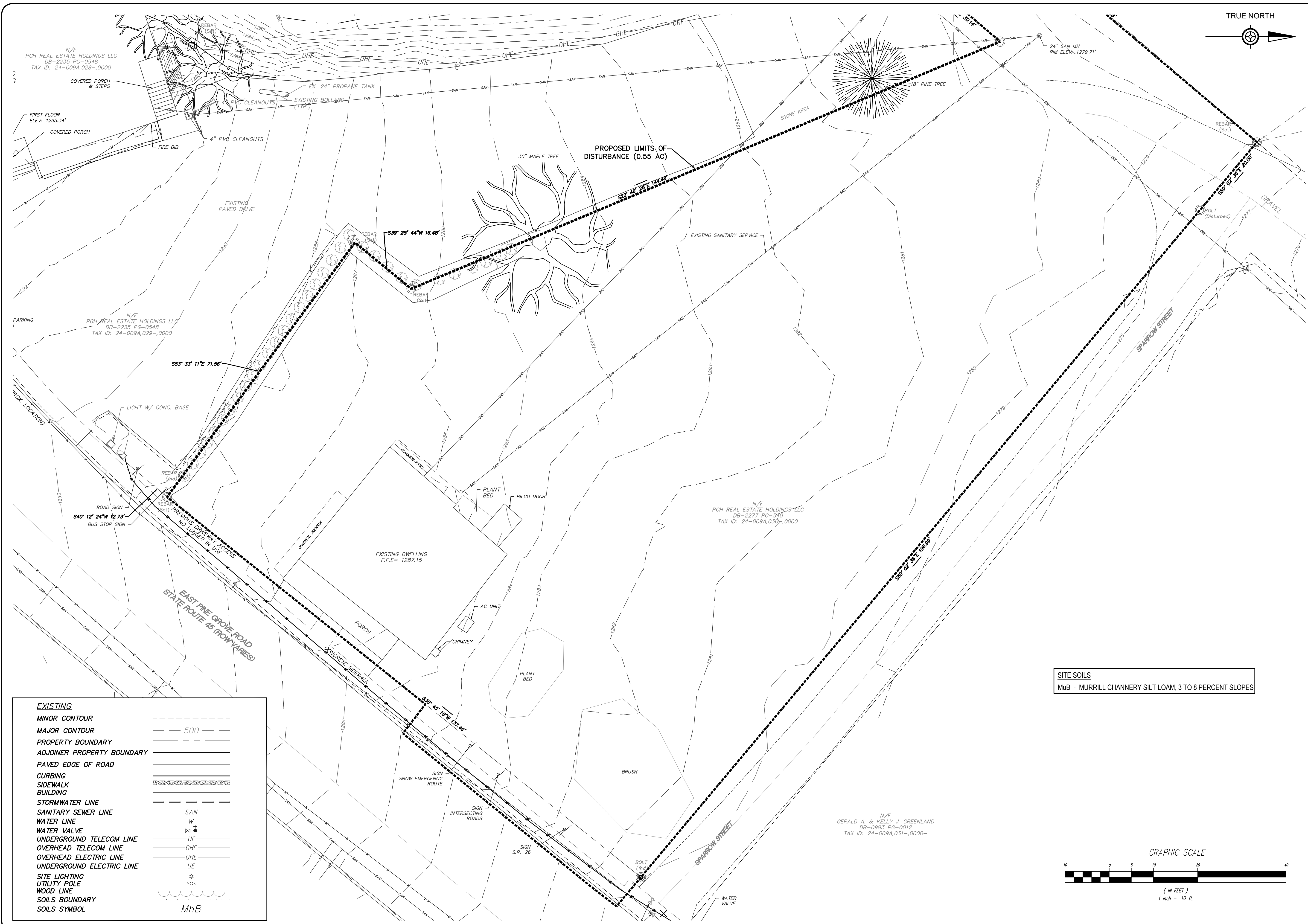
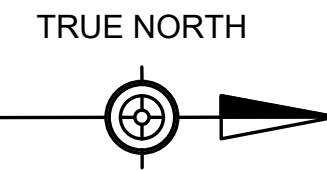
10/07/2022

SCALE

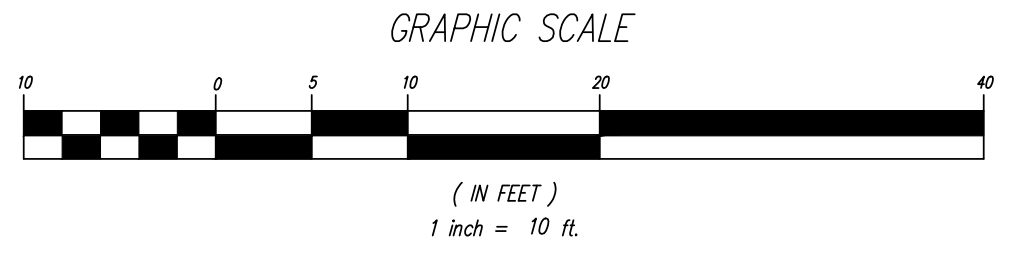
AS NOTED

SHEET NO.

C01

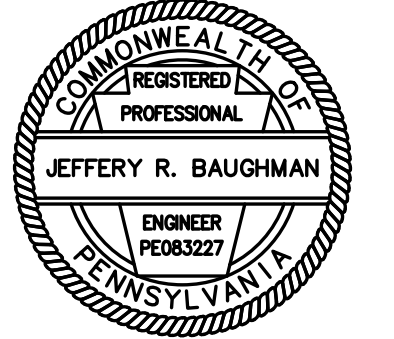


SITE SOILS
MuB - MURRILL CHANNERY SILT LOAM, 3 TO 8 PERCENT SLOPES



EXISTING	
MINOR CONTOUR	-----
MAJOR CONTOUR	----- 500
PROPERTY BOUNDARY	-----
ADJOINER PROPERTY BOUNDARY	-----
PAVED EDGE OF ROAD	-----
CURBING	-----
SIDEWALK	-----
BUILDING	-----
STORMWATER LINE	-----
SANITARY SEWER LINE	----- SAN
WATER LINE	----- W
WATER VALVE	-----
UNDERGROUND TELECOM LINE	----- UC
OVERHEAD TELECOM LINE	----- OHC
OVERHEAD ELECTRIC LINE	----- OHE
UNDERGROUND ELECTRIC LINE	----- UE
SITE LIGHTING	-----
UTILITY POLE	-----
WOOD LINE	-----
SOILS BOUNDARY	-----
SOILS SYMBOL	MhB

N/F
GERALD A. & KELLY J. GREENLAND
DB-0993 PG-0012
TAX ID: 24-009A,031-0000-



SURVEYOR ----- CES
CADD ----- JJN
DESIGNER ----- DDC
MANAGER ----- MRV
FILE: 21-330 DESIGN.DWG

REV 1 - 11/11/22 - TWP COMMENTS

REVISIONS

PGH REAL ESTATE HOLDINGS LLC

125 E PINE GROVE ROAD DEVELOPMENT

FERGUSON TOWNSHIP,
CENTRE COUNTY, PA

SHEET NAME

DEMOLITION PLAN

PROJECT NO.

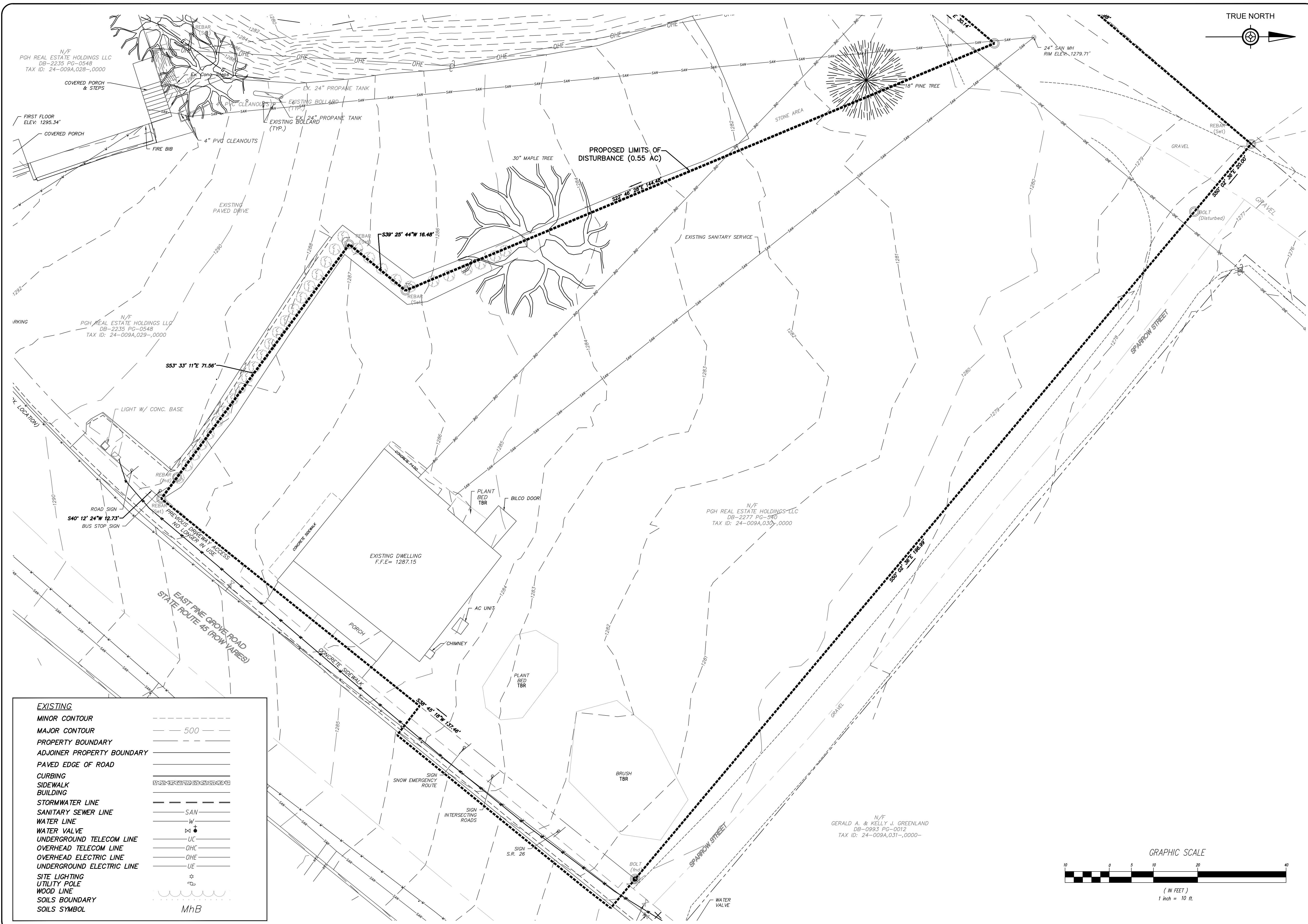
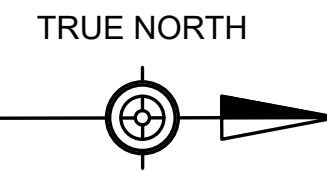
21-330

DATE

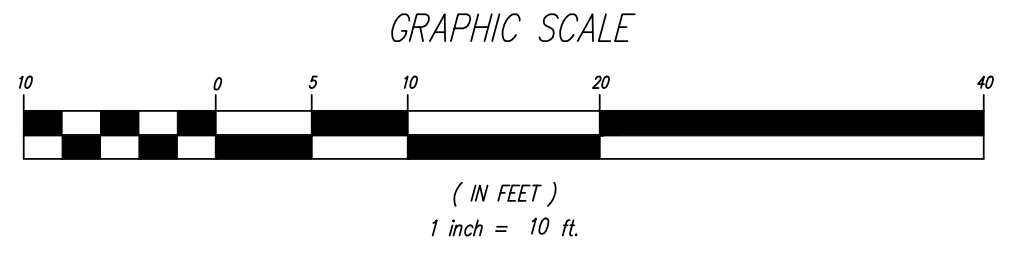
10/07/2022

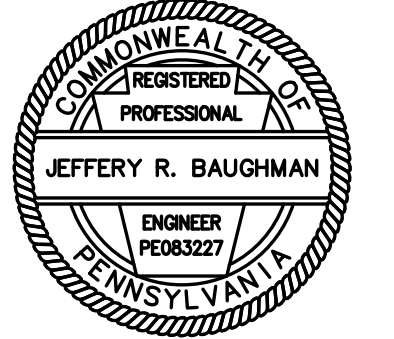
SCALE SHEET NO.

AS NOTED C02



EXISTING	
MINOR CONTOUR	--- 500 ---
MAJOR CONTOUR	----- 500 -----
PROPERTY BOUNDARY	-----
ADJOINER PROPERTY BOUNDARY	-----
PAVED EDGE OF ROAD	=====
CURBING	=====
SIDEWALK	=====
BUILDING	=====
STORMWATER LINE	----- SAN -----
SANITARY SEWER LINE	----- W -----
WATER LINE	----- UC -----
WATER VALVE	----- OHC -----
UNDERGROUND TELECOM LINE	----- OHE -----
OVERHEAD TELECOM LINE	----- UE -----
OVERHEAD ELECTRIC LINE	-----
UNDERGROUND ELECTRIC LINE	-----
SITE LIGHTING	-----
UTILITY POLE	-----
WOOD LINE	-----
SOILS BOUNDARY	-----
SOILS SYMBOL	MhB





SURVEYOR ----- CES
CADD ----- JJN
DESIGNER ----- DDC
MANAGER ----- MRV
FILE: 21-330 DESIGN DWG

REV 1 - 11/11/22 - TWP COMMENTS

REVISIONS

PGH REAL ESTATE HOLDINGS LLC

125 E PINE GROVE ROAD DEVELOPMENT

FERGUSON TOWNSHIP, CENTRE COUNTY, PA

SHEET NAME

SITE PLAN

PROJECT NO.

21-330

DATE

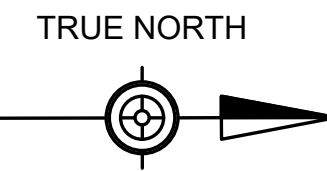
10/07/2022

SCALE

AS NOTED

SHEET NO.

C03

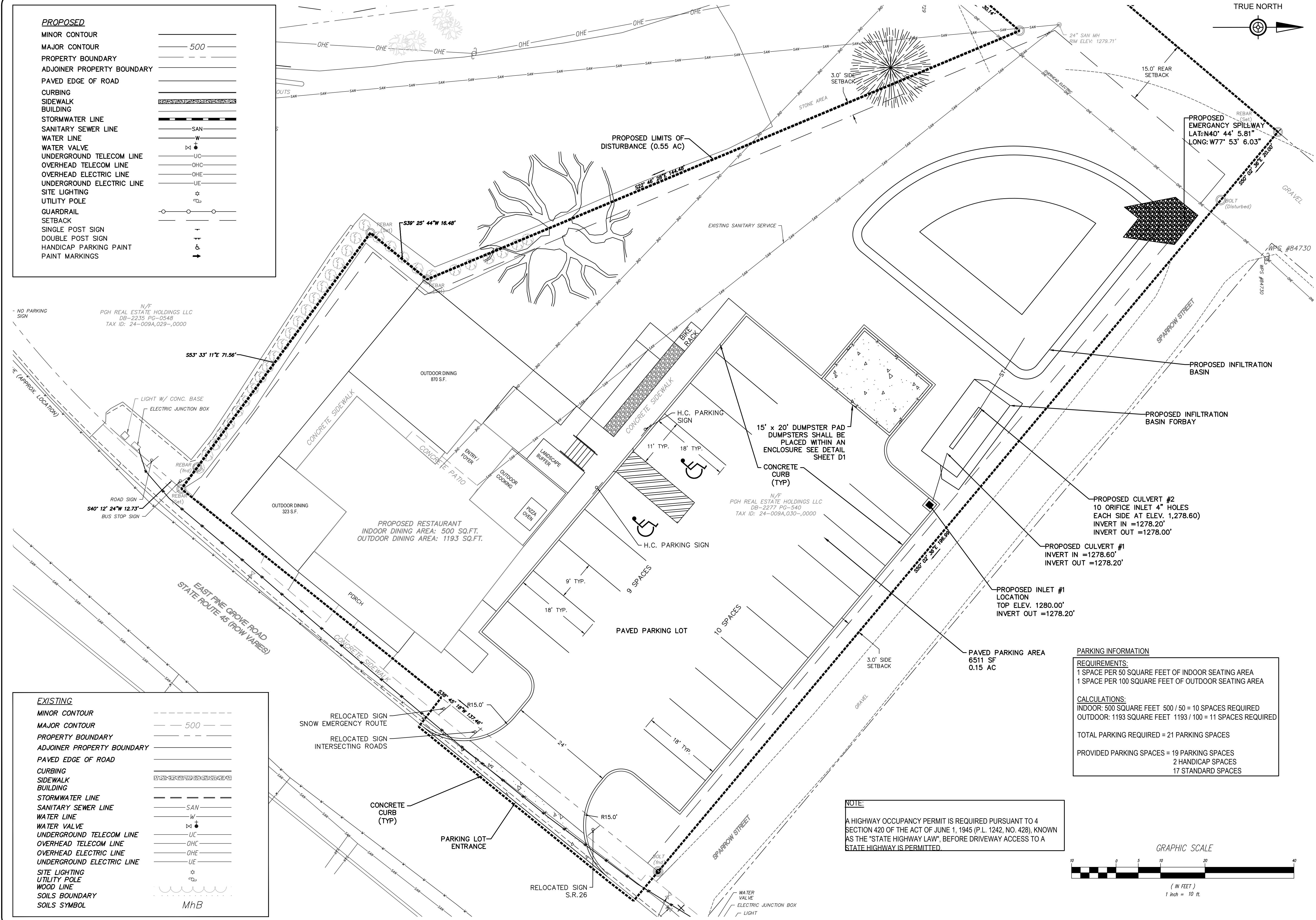


PROPOSED

MINOR CONTOUR	---
MAJOR CONTOUR	----- 500
PROPERTY BOUNDARY	-----
ADJOINER PROPERTY BOUNDARY	-----
PAVED EDGE OF ROAD	=====
CURBING	=====
SIDEWALK	=====
BUILDING	=====
STORMWATER LINE	----- SAN
SANITARY SEWER LINE	----- SAN
WATER LINE	----- W
WATER VALVE	----- W
UNDERGROUND TELECOM LINE	----- UC
OVERHEAD TELECOM LINE	----- OHC
OVERHEAD ELECTRIC LINE	----- OHE
UNDERGROUND ELECTRIC LINE	----- UE
SITE LIGHTING	-----
UTILITY POLE	-----
GUARDRAIL	-----
SETBACK	-----
SINGLE POST SIGN	-----
DOUBLE POST SIGN	-----
HANDICAP PARKING PAINT	-----
PAINT MARKINGS	-----

N/F
PGH REAL ESTATE HOLDINGS LLC
DB-2235 PG-0548
TAX ID: 24-009A,029--0000

N/F
PGH REAL ESTATE HOLDINGS LLC
DB-2277 PG-540
TAX ID: 24-009A,030--0000



PARKING INFORMATION

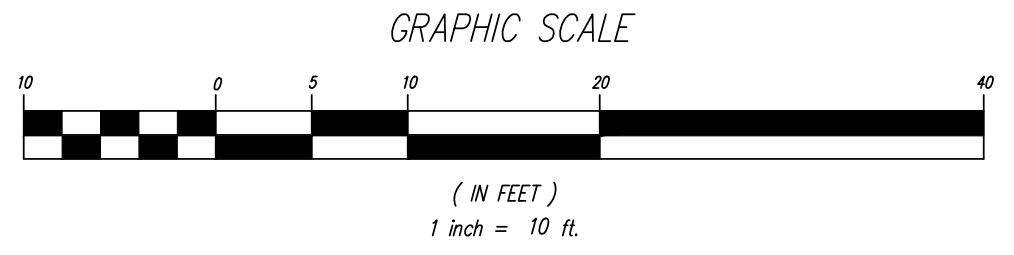
REQUIREMENTS:
1 SPACE PER 50 SQUARE FEET OF INDOOR SEATING AREA
1 SPACE PER 100 SQUARE FEET OF OUTDOOR SEATING AREA

CALCULATIONS:
INDOOR: 500 SQUARE FEET 500 / 50 = 10 SPACES REQUIRED
OUTDOOR: 1193 SQUARE FEET 1193 / 100 = 11 SPACES REQUIRED

TOTAL PARKING REQUIRED = 21 PARKING SPACES

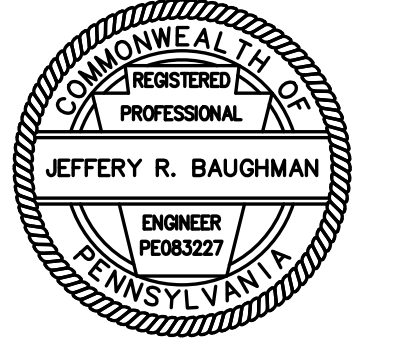
PROVIDED PARKING SPACES = 19 PARKING SPACES
2 HANDICAP SPACES
17 STANDARD SPACES

NOTE:
A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO 4 SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW", BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.



EXISTING

MINOR CONTOUR	---
MAJOR CONTOUR	----- 500
PROPERTY BOUNDARY	-----
ADJOINER PROPERTY BOUNDARY	-----
PAVED EDGE OF ROAD	=====
CURBING	=====
SIDEWALK	=====
BUILDING	=====
STORMWATER LINE	----- SAN
SANITARY SEWER LINE	----- SAN
WATER LINE	----- W
WATER VALVE	----- W
UNDERGROUND TELECOM LINE	----- UC
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OVERHEAD ELECTRIC LINE	----- OHE
UNDERGROUND ELECTRIC LINE	----- UE
SITE LIGHTING	-----
UTILITY POLE	-----
WOOD LINE	-----
SOILS BOUNDARY	-----
SOILS SYMBOL	MhB



SURVEYOR ----- CES
CADD ----- JJJ
DESIGNER ----- DDC
MANAGER ----- MRV
FILE: 21-330 DESIGN DWG

REV 1 - 11/11/22 - TWP COMMENTS

REVISIONS

PGH REAL ESTATE HOLDINGS LLC

125 E PINE GROVE ROAD DEVELOPMENT

FERGUSON TOWNSHIP, CENTRE COUNTY, PA

SHEET NAME

GRADING PLAN

PROJECT NO.

21-330

DATE

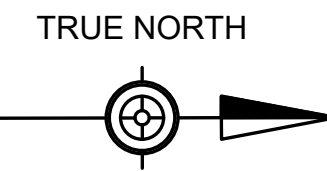
10/07/2022

SCALE

AS NOTED

SHEET NO.

C04

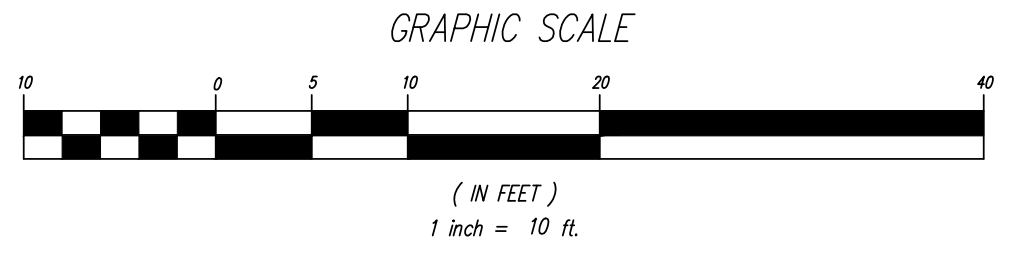
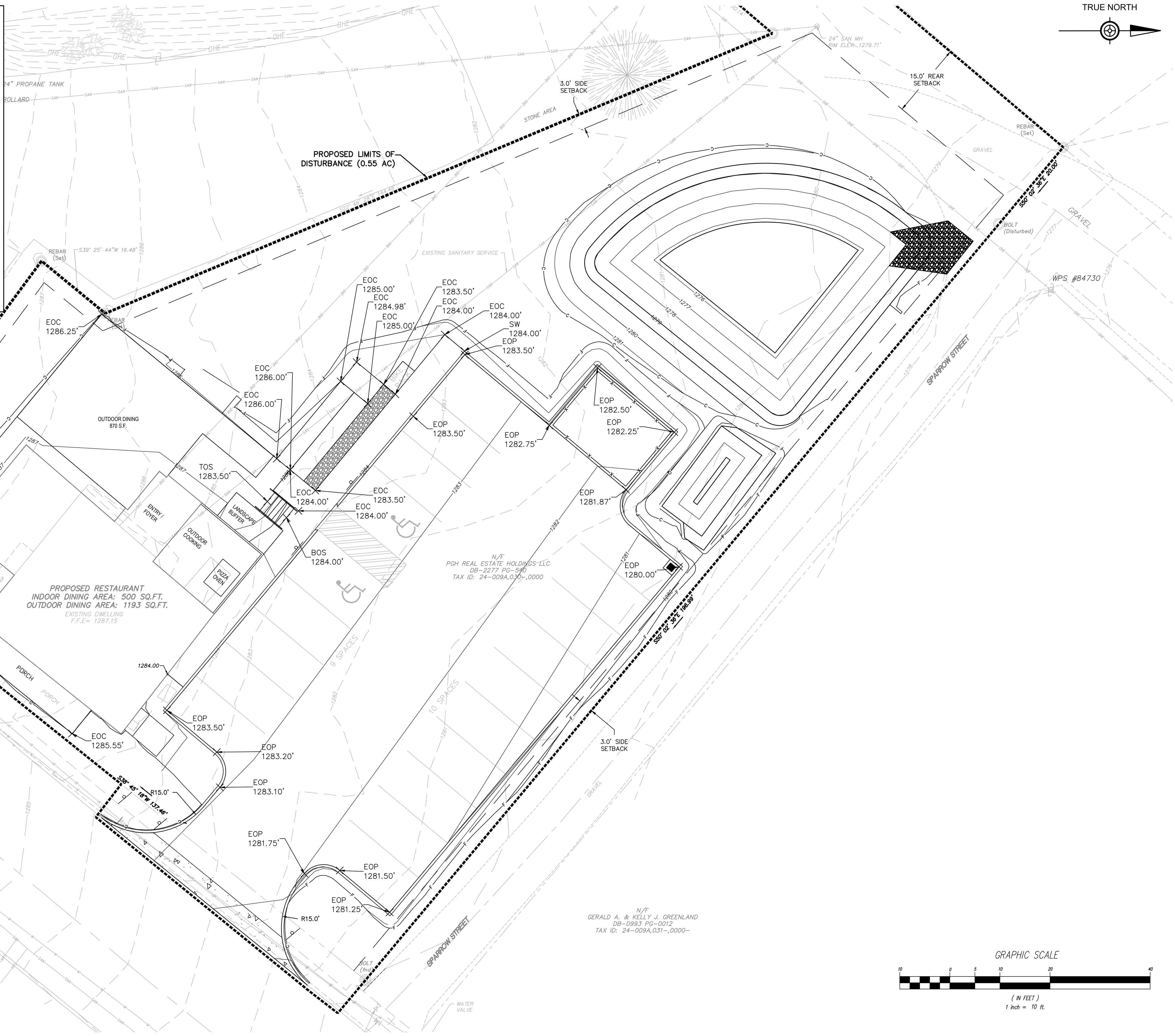


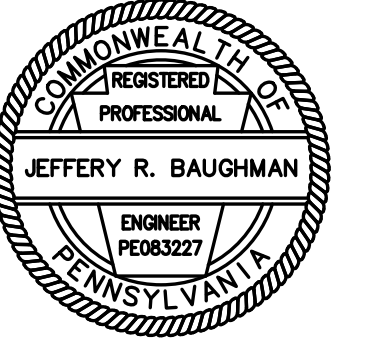
PROPOSED

MINOR CONTOUR	---
MAJOR CONTOUR	500
PROPERTY BOUNDARY	---
ADJOINER PROPERTY BOUNDARY	---
PAVED EDGE OF ROAD	---
CURBING	---
SIDEWALK	---
BUILDING	---
STORMWATER LINE	---
SANITARY SEWER LINE	SAN
WATER LINE	W
WATER VALVE	WV
UNDERGROUND TELECOM LINE	UC
OVERHEAD TELECOM LINE	OHC
OVERHEAD ELECTRIC LINE	OHE
UNDERGROUND ELECTRIC LINE	UE
SITE LIGHTING	SL
UTILITY POLE	UP
GUARDRAIL	GR
SETBACK	---
SINGLE POST SIGN	1
DOUBLE POST SIGN	2
HANDICAP PARKING PAINT	---
PAINT MARKINGS	---

EXISTING

MINOR CONTOUR	---
MAJOR CONTOUR	500
PROPERTY BOUNDARY	---
ADJOINER PROPERTY BOUNDARY	---
PAVED EDGE OF ROAD	---
CURBING	---
SIDEWALK	---
BUILDING	---
STORMWATER LINE	---
SANITARY SEWER LINE	SAN
WATER LINE	W
WATER VALVE	WV
UNDERGROUND TELECOM LINE	UC
OVERHEAD TELECOM LINE	OHC
OVERHEAD ELECTRIC LINE	OHE
UNDERGROUND ELECTRIC LINE	UE
SITE LIGHTING	SL
UTILITY POLE	UP
WOOD LINE	WL
SOILS BOUNDARY	---
SOILS SYMBOL	MhB





SURVEYOR ----- CES
CADD ----- JJN
DESIGNER ----- DDC
MANAGER ----- MRV
FILE:
21-330 DESIGN DWG

REV 1 - 11/11/22 - TWP COMMENTS

REVISIONS

**PGH REAL
ESTATE
HOLDINGS LLC**

**125 E PINE
GROVE ROAD
DEVELOPMENT**

FERGUSON TOWNSHIP,
CENTRE COUNTY, PA

SHEET NAME

SITE SECTIONS

PROJECT NO.

21-330

DATE

10/07/2022

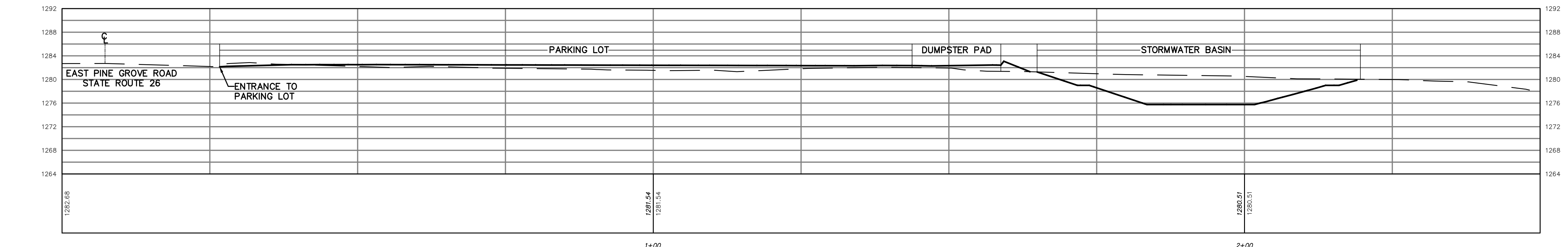
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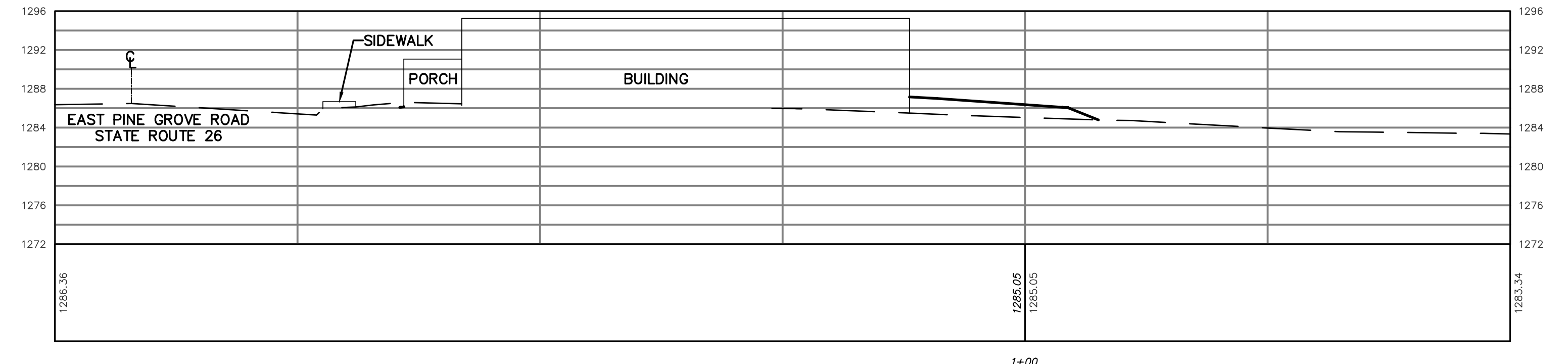
SHEET NO.

C04.1

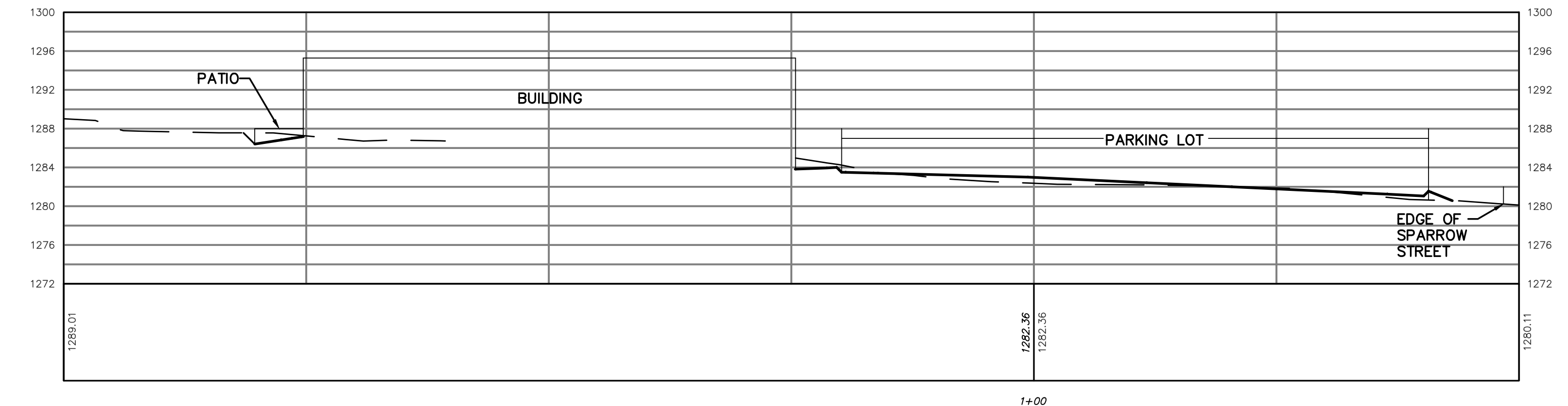
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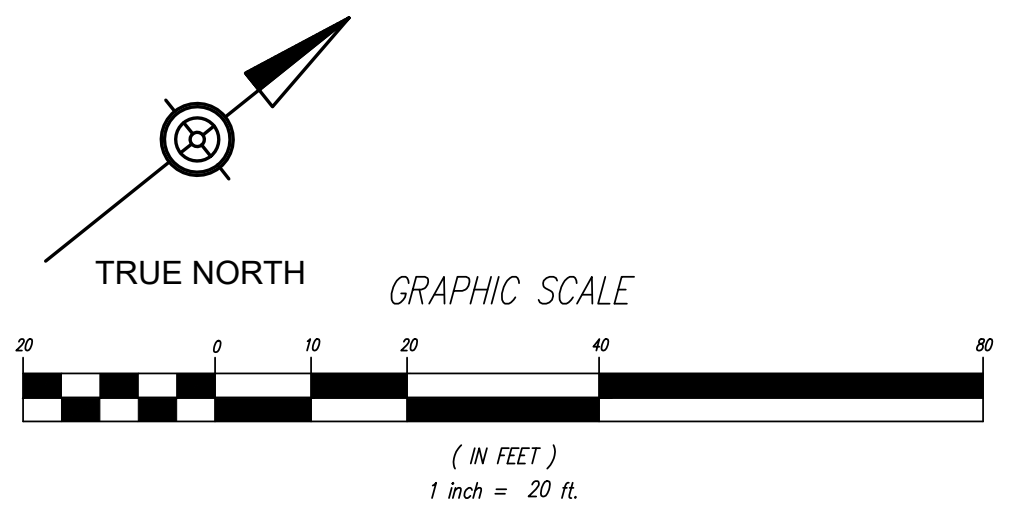
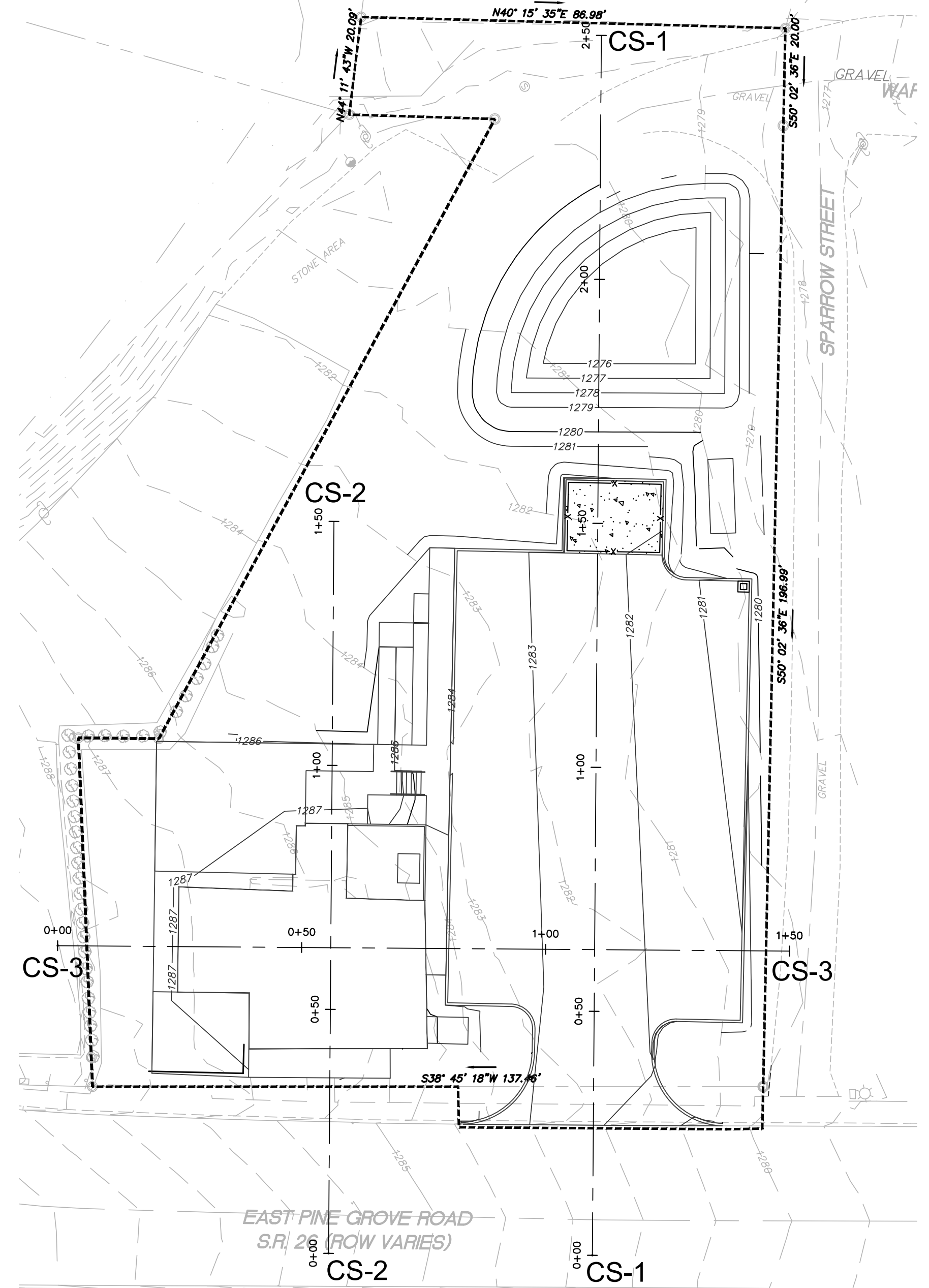
CS-1
HORIZONTAL: 1"=10'
VERTICAL: 1"=10'

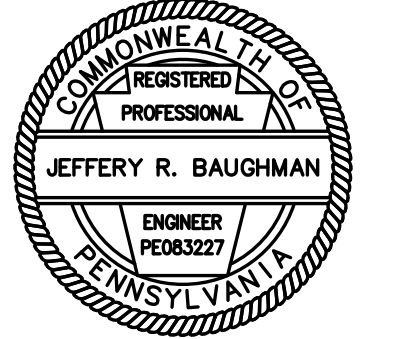


CS-2
HORIZONTAL: 1"=10'
VERTICAL: 1"=10'



CS-3
HORIZONTAL: 1"=10'
VERTICAL: 1"=10'





SURVEYOR ----- CES
CADD ----- JJJ
DESIGNER ----- DDC
MANAGER ----- MRV
FILE:
21-330 DESIGN DWG

REV 1 - 11/11/22 - TWP COMMENTS

REVISIONS

PGH REAL ESTATE HOLDINGS LLC

125 E PINE GROVE ROAD DEVELOPMENT

FERGUSON TOWNSHIP,
CENTRE COUNTY, PA

SHEET NAME

UTILITY PLAN

PROJECT NO.

21-330

DATE

10/07/2022

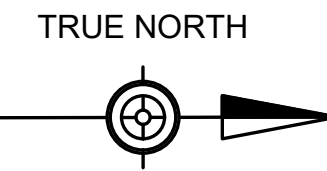
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AS NOTED

SHEET NO.

C05

24

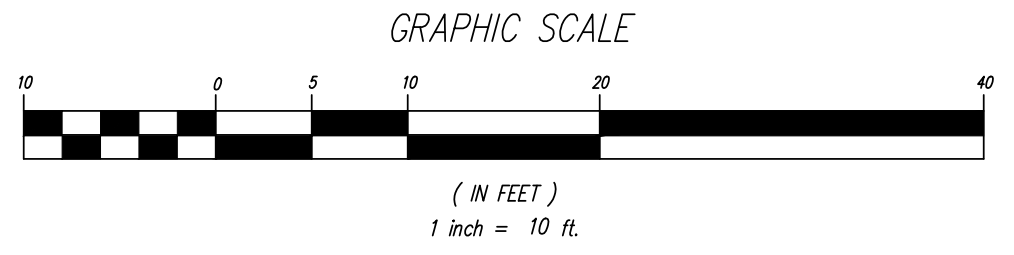
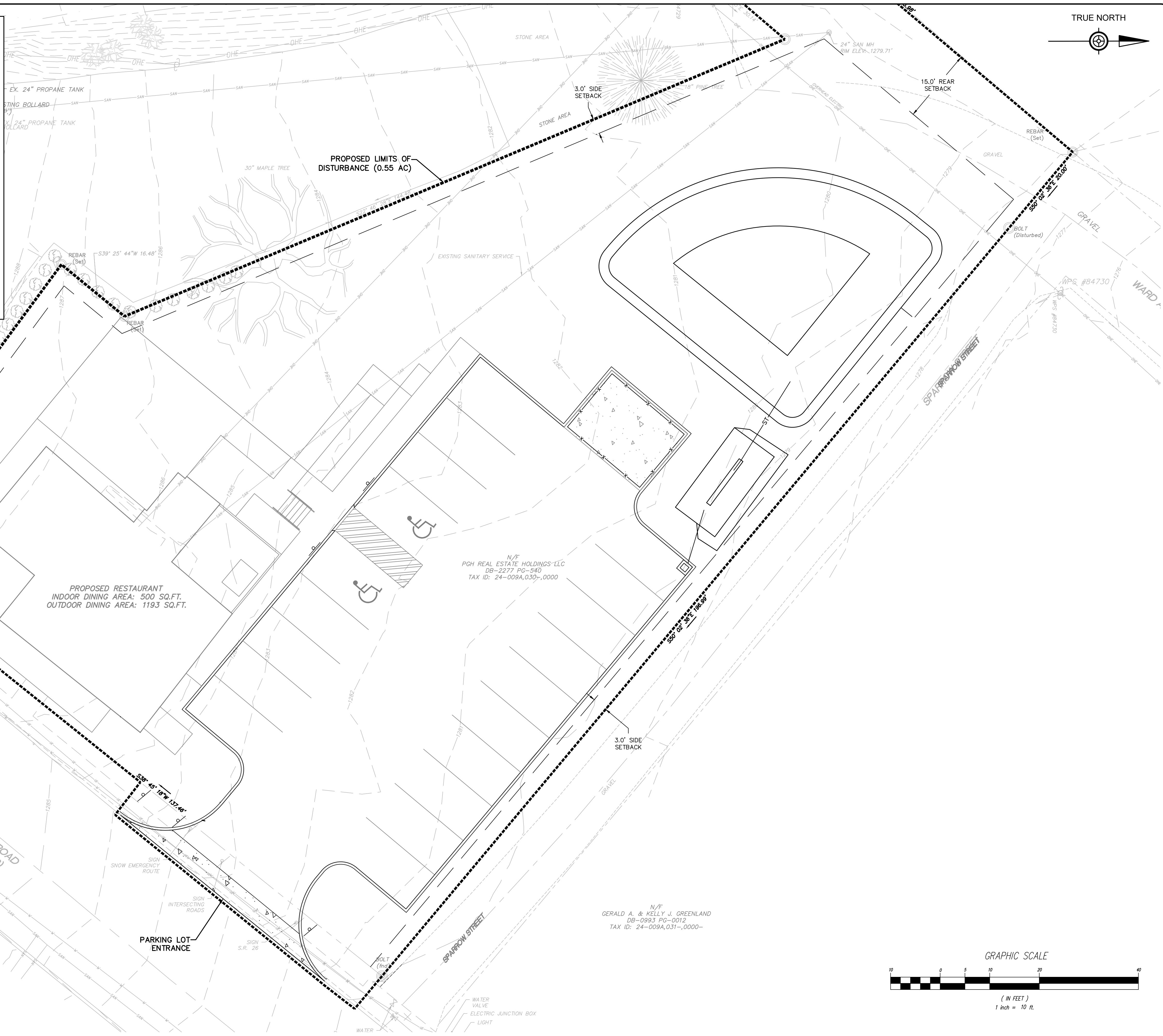


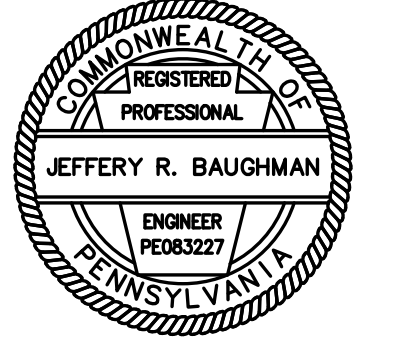
PROPOSED

MINOR CONTOUR	---
MAJOR CONTOUR	----- 500
PROPERTY BOUNDARY	=====
ADJOINER PROPERTY BOUNDARY	=====
PAVED EDGE OF ROAD	=====
CURBING	=====
SIDEWALK	=====
BUILDING	=====
STORMWATER LINE	----- SAN
SANITARY SEWER LINE	----- SAN
WATER LINE	----- W
WATER VALVE	----- W
UNDERGROUND TELECOM LINE	----- UC
OVERHEAD TELECOM LINE	----- OHC
OVERHEAD ELECTRIC LINE	----- OHE
UNDERGROUND ELECTRIC LINE	----- UE
SITE LIGHTING	----- *
UTILITY POLE	----- O
GUARDRAIL	----- G
SETBACK	----- 1
SINGLE POST SIGN	----- 1
DOUBLE POST SIGN	----- 1
HANDICAP PARKING PAINT	----- H
PAINT MARKINGS	----- P

EXISTING

MINOR CONTOUR	---
MAJOR CONTOUR	----- 500
PROPERTY BOUNDARY	=====
ADJOINER PROPERTY BOUNDARY	=====
PAVED EDGE OF ROAD	=====
CURBING	=====
SIDEWALK	=====
BUILDING	=====
STORMWATER LINE	----- SAN
SANITARY SEWER LINE	----- SAN
WATER LINE	----- W
WATER VALVE	----- W
UNDERGROUND TELECOM LINE	----- UC
OVERHEAD TELECOM LINE	----- OHC
OVERHEAD ELECTRIC LINE	----- OHE
UNDERGROUND ELECTRIC LINE	----- UE
SITE LIGHTING	----- *
UTILITY POLE	----- O
WOOD LINE	----- W
SOILS BOUNDARY	----- MhB
SOILS SYMBOL	----- MhB





SURVEYOR ----- CES
CADD ----- JJJ
DESIGNER ----- DDC
MANAGER ----- MRV
FILE:
21-330 DESIGN DWG

REV 1 - 11/11/22 - TWP COMMENTS

REVISIONS

PGH REAL ESTATE HOLDINGS LLC

125 E PINE GROVE ROAD DEVELOPMENT

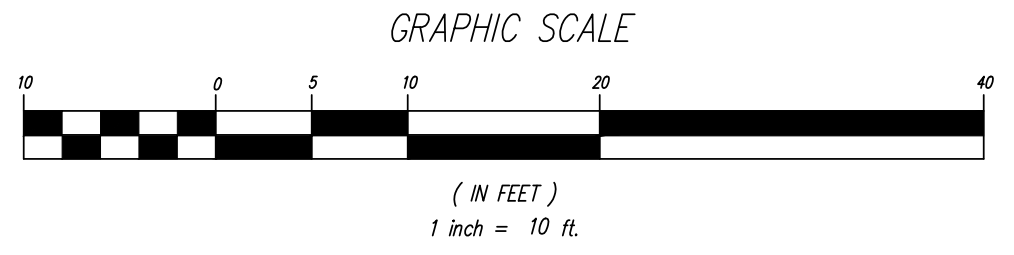
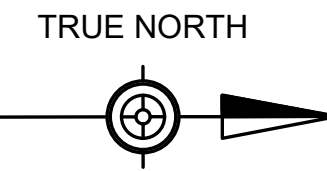
FERGUSON TOWNSHIP,
CENTRE COUNTY, PA

EROSION AND SEDIMENT CONTROL PLAN

PROJECT NO.
21-330

DATE
10/07/2022

SCALE	SHEET NO.
AS NOTED	C07

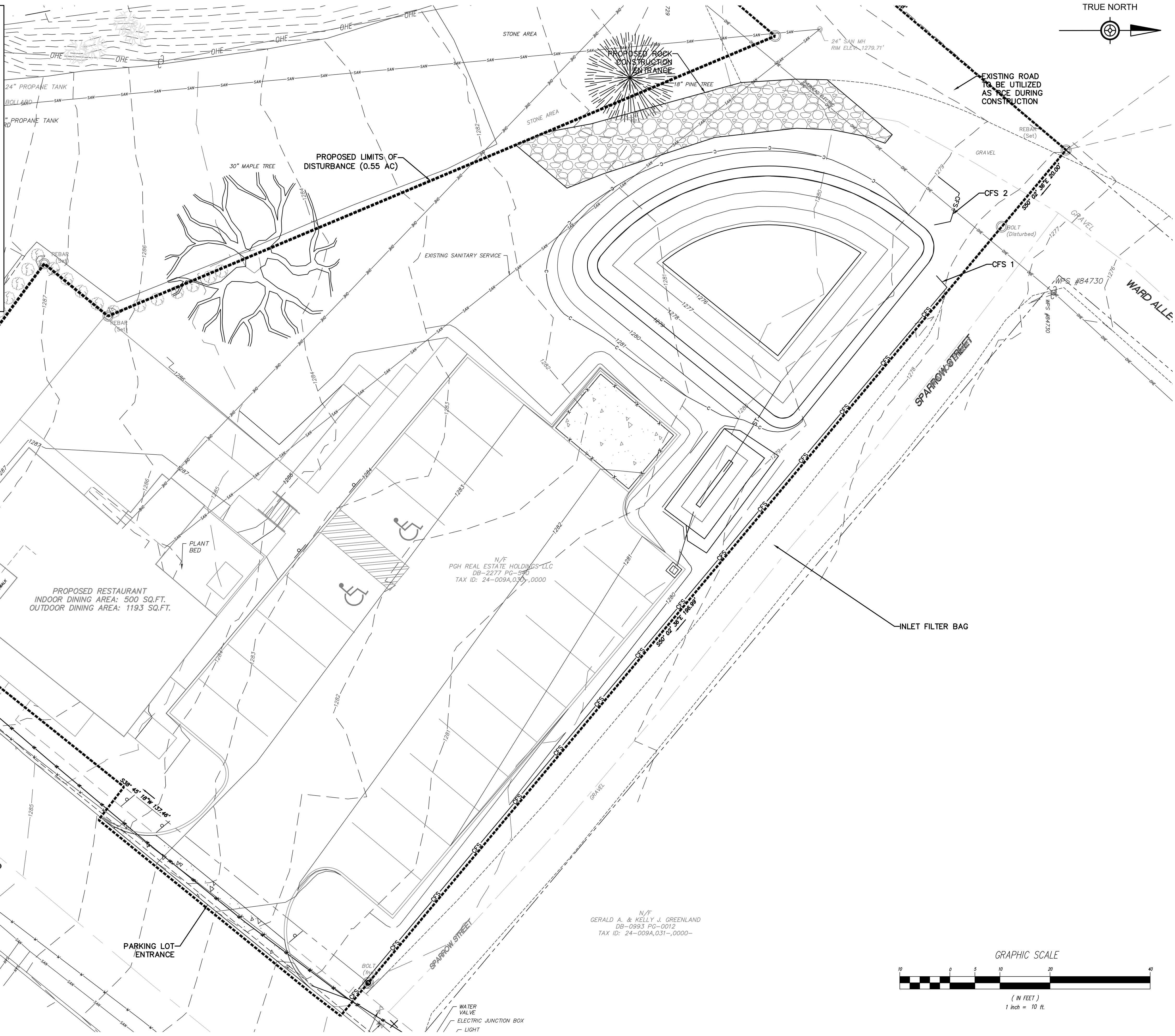


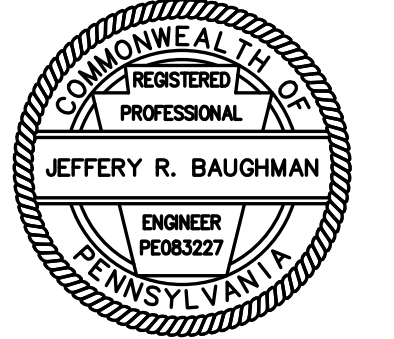
PROPOSED

MINOR CONTOUR	---
MAJOR CONTOUR	----- 500
PROPERTY BOUNDARY	---
ADJOINER PROPERTY BOUNDARY	---
PAVED EDGE OF ROAD	---
CURBING	---
SIDEWALK	---
BUILDING	---
STORMWATER LINE	---
SANITARY SEWER LINE	---
WATER LINE	---
WATER VALVE	---
UNDERGROUND TELECOM LINE	---
OVERHEAD TELECOM LINE	---
OVERHEAD ELECTRIC LINE	---
UNDERGROUND ELECTRIC LINE	---
SITE LIGHTING	---
UTILITY POLE	---
GUARDRAIL	---
SETBACK	---
SINGLE POST SIGN	---
DOUBLE POST SIGN	---
HANDICAP PARKING PAINT	---
PAINT MARKINGS	---

EXISTING

MINOR CONTOUR	---
MAJOR CONTOUR	----- 500
PROPERTY BOUNDARY	---
ADJOINER PROPERTY BOUNDARY	---
PAVED EDGE OF ROAD	---
CURBING	---
SIDEWALK	---
BUILDING	---
STORMWATER LINE	---
SANITARY SEWER LINE	---
WATER LINE	---
WATER VALVE	---
UNDERGROUND TELECOM LINE	---
OVERHEAD TELECOM LINE	---
OVERHEAD ELECTRIC LINE	---
UNDERGROUND ELECTRIC LINE	---
SITE LIGHTING	---
UTILITY POLE	---
WOOD LINE	---
SOILS BOUNDARY	---
SOILS SYMBOL	MhB





SURVEYOR ----- CES
CADD ----- JJJ
DESIGNER ----- DDC
MANAGER ----- MRV
FILE:
21-330 DESIGN DWG

REV 1 - 11/11/22 - TWP COMMENTS

REVISIONS

PGH REAL ESTATE HOLDINGS LLC

125 E PINE GROVE ROAD DEVELOPMENT

FERGUSON TOWNSHIP, CENTRE COUNTY, PA

SHEET NAME

DETAILS

PROJECT NO.

21-330

DATE

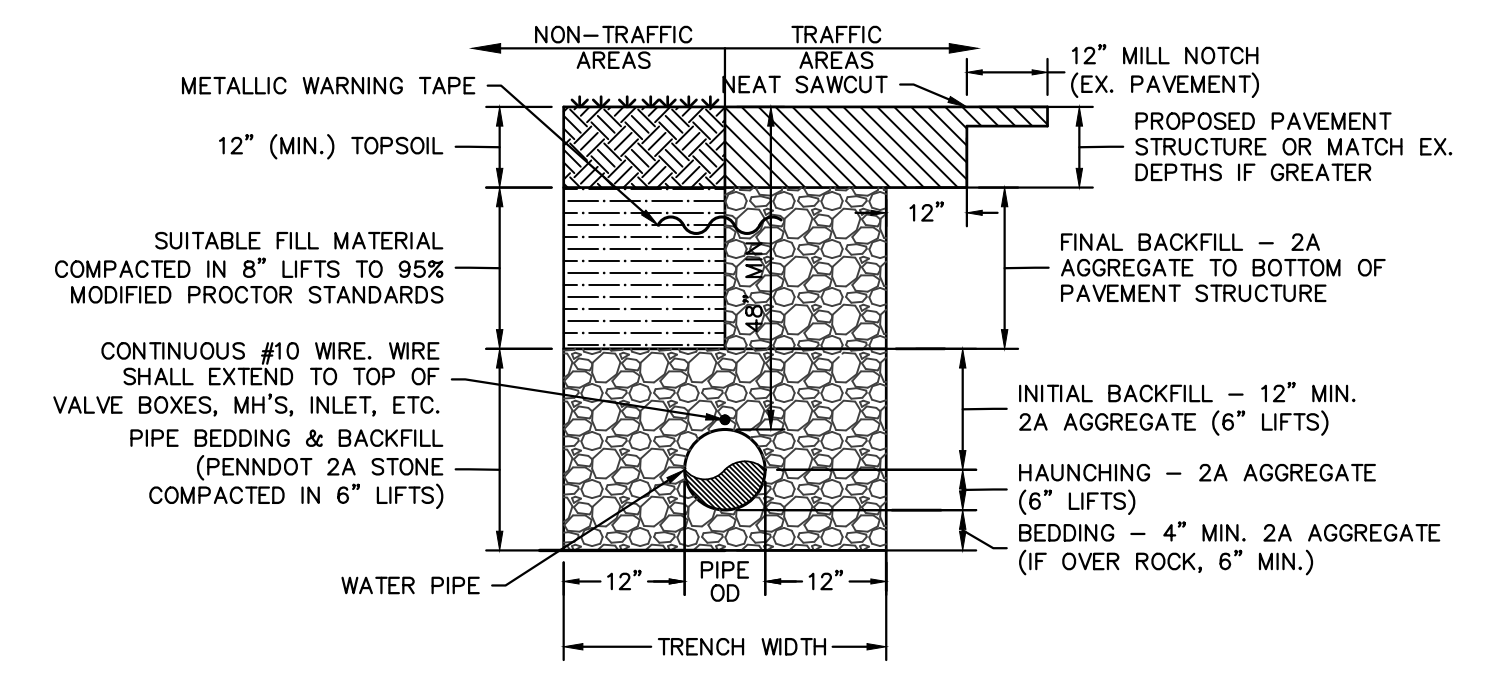
10/07/2022

SCALE

N.T.S

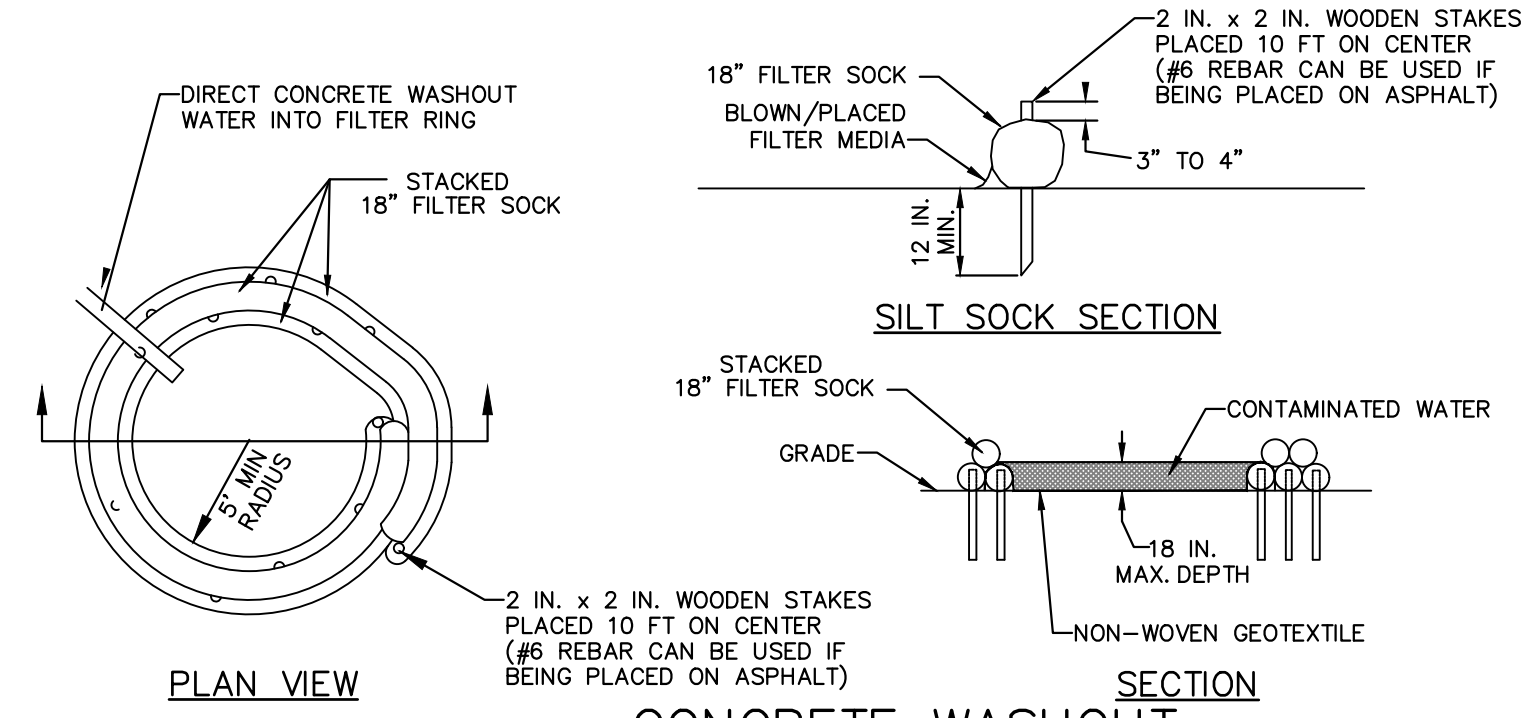
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D1

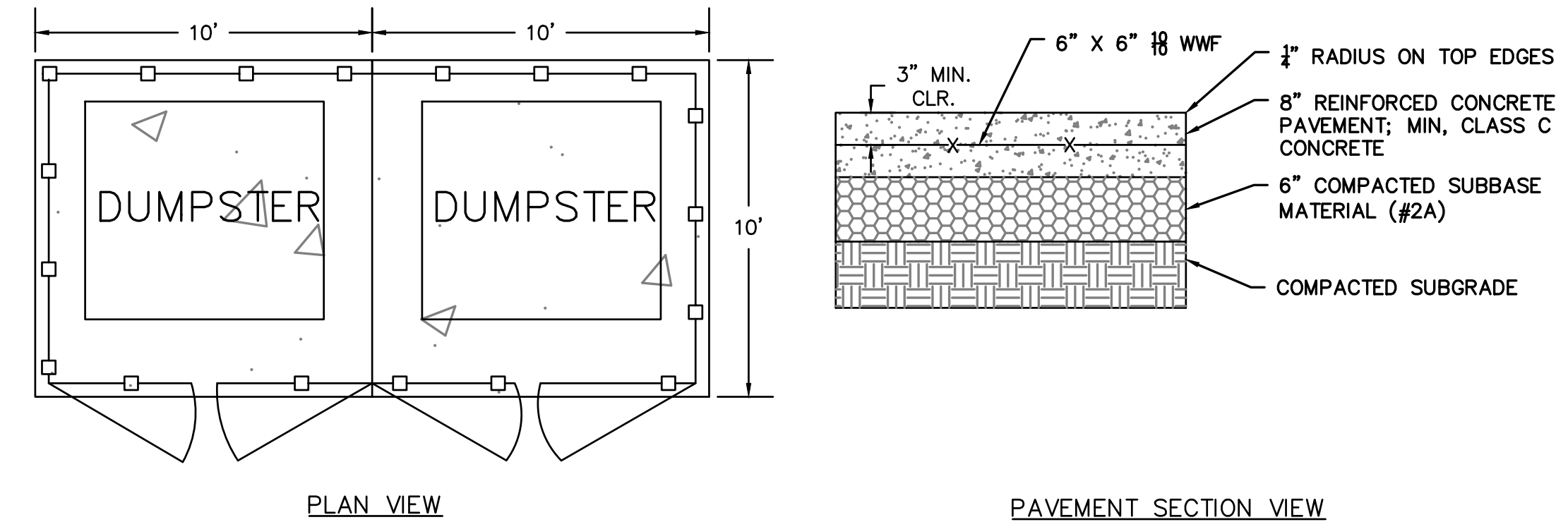


NOTES:
1. WATER LINE MAX. DEPTH 8' TO CROWN OF PIPE.
2. CLAY DIKES INSTALLED ON PIPE RUNS OVER 300' IN LENGTH.

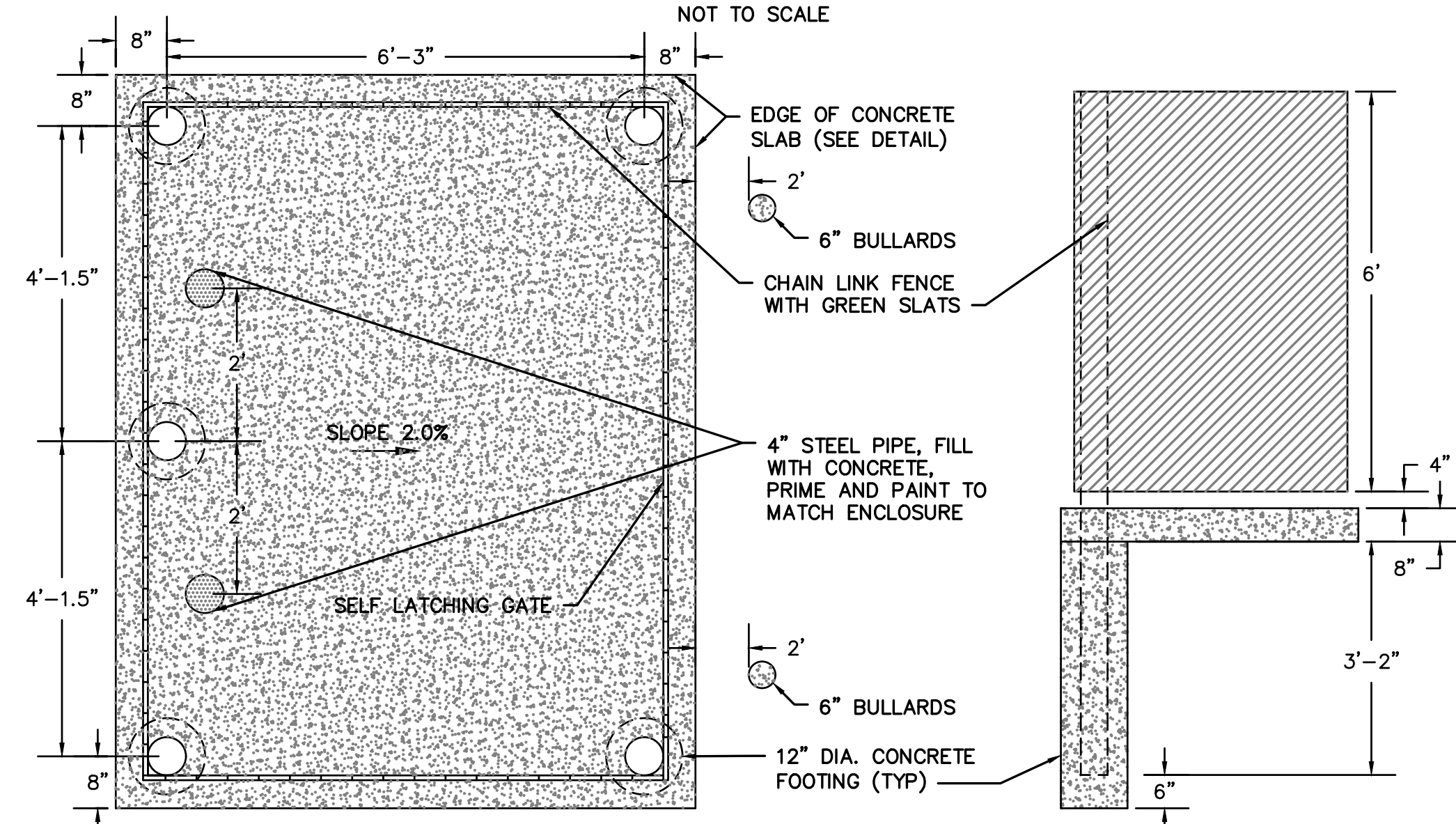
WATER LINE INSTALLATION
N.T.S.



CONCRETE WASHOUT
N.T.S.

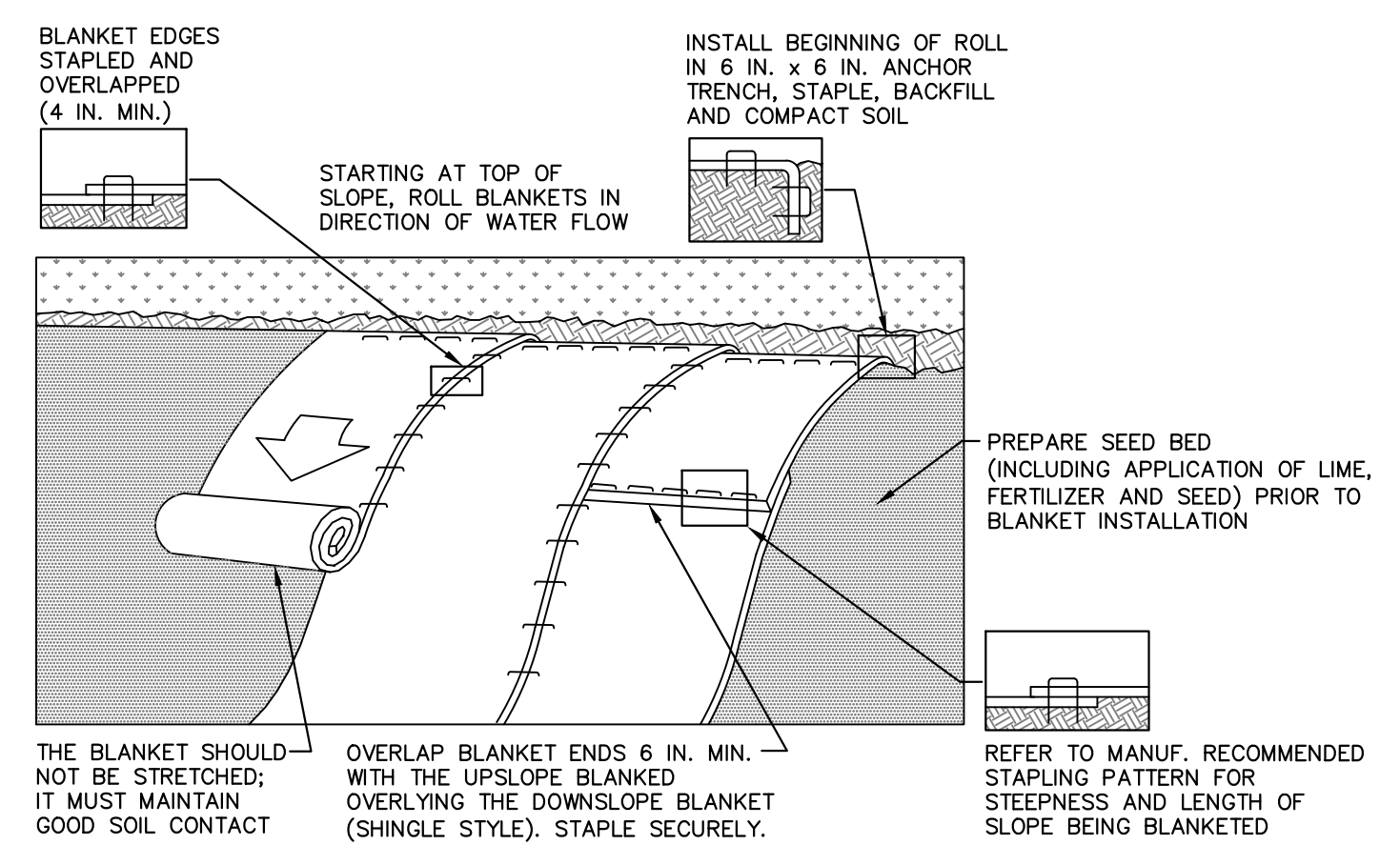


DUMPSTER PAD DETAIL
NOT TO SCALE



NOTE: GATE SHALL BE SELF LATCHING.

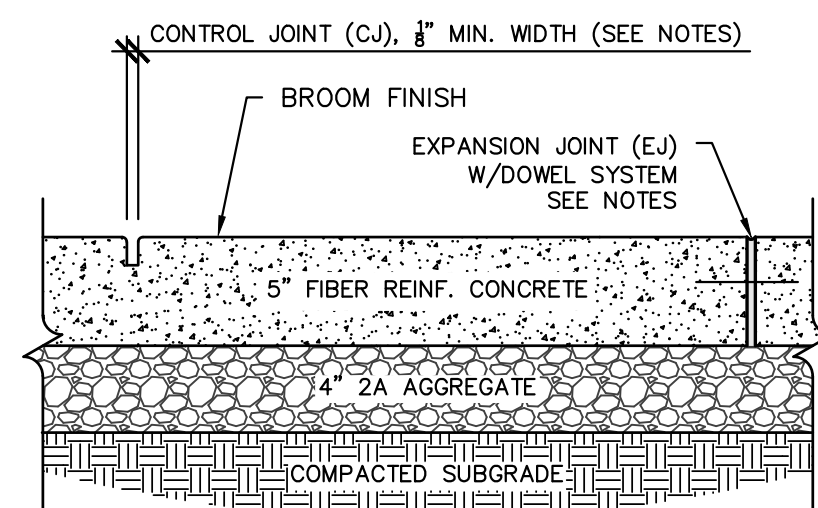
DUMPSTER SCREEN DETAIL
NOT TO SCALE



NOTES:

- SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.
- PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.
- BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
- THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

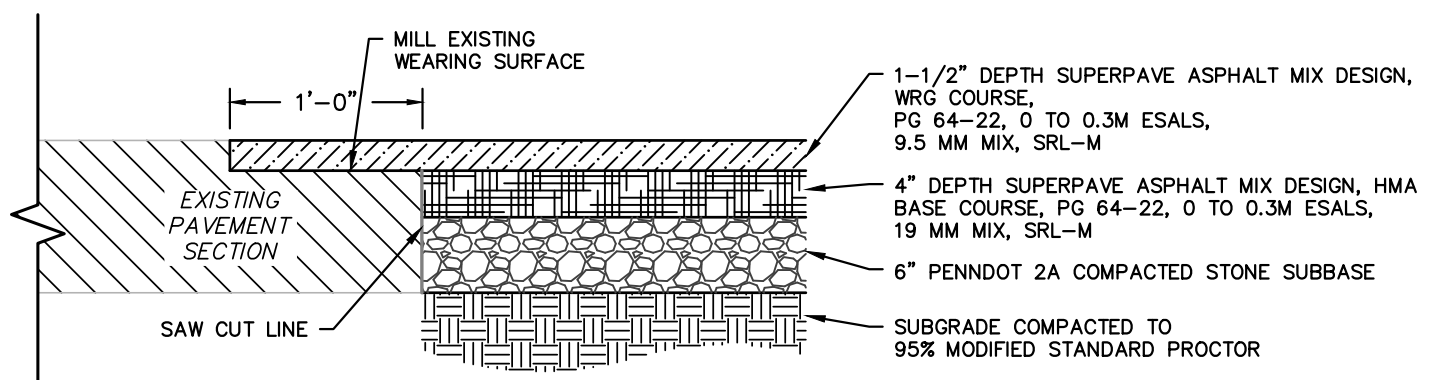
EROSION CONTROL BLANKET INSTALLATION
N.T.S.



NOTES:

- 1. SIDEWALK CROSS SLOPE NOT TO EXCEED 2%.
- 2. PLACE EXPANSION JOINTS (EJ) AT 20'-0" O/C MAX, FOLLOWING THE GUIDELINES BELOW:
2.1. INSTALL 5" LONG "SPEED LOAD" SLEEVES, BY GREENSTREAK (OR APPROVED EQUAL), AND 10" LONG, 1/2" SMOOTH DOWELS AT 42" O.C. (MINIMUM TWO DOWELS PER EJ.)
- 2.2. INSTALL ASPHALT IMPREGNATED MATERIAL, CLOSED-CELL BACKER ROD AND POLYURETHANE SEALANT.
2.2.1. FOR JOINTS 1/4" TO 1/2" WIDE, THE SEALANT WIDTH TO DEPTH RATIO SHALL BE EQUAL.
2.2.2. JOINTS GREATER THAN 1/2" WIDE, SEALANT DEPTH SHALL BE 1/2".
- 2.3. PROTECT JOINT SEALANT FROM PEDESTRIAN AND VEHICULAR TRAFFIC UNTIL IT COMPLETELY CURES.
- 3. SCORE LINES BETWEEN EXPANSION JOINTS TO BE 1-1/4" DEEP TOOLED CONTROL JOINTS (CJ) UNLESS OTHERWISE NOTED. SEE PLANS AND SPECS FOR SPACING.
- 4. PROVIDE 1/2" ISOLATION JOINT WITH SEALANT ALONG BUILDING/RETAINING WALLS.

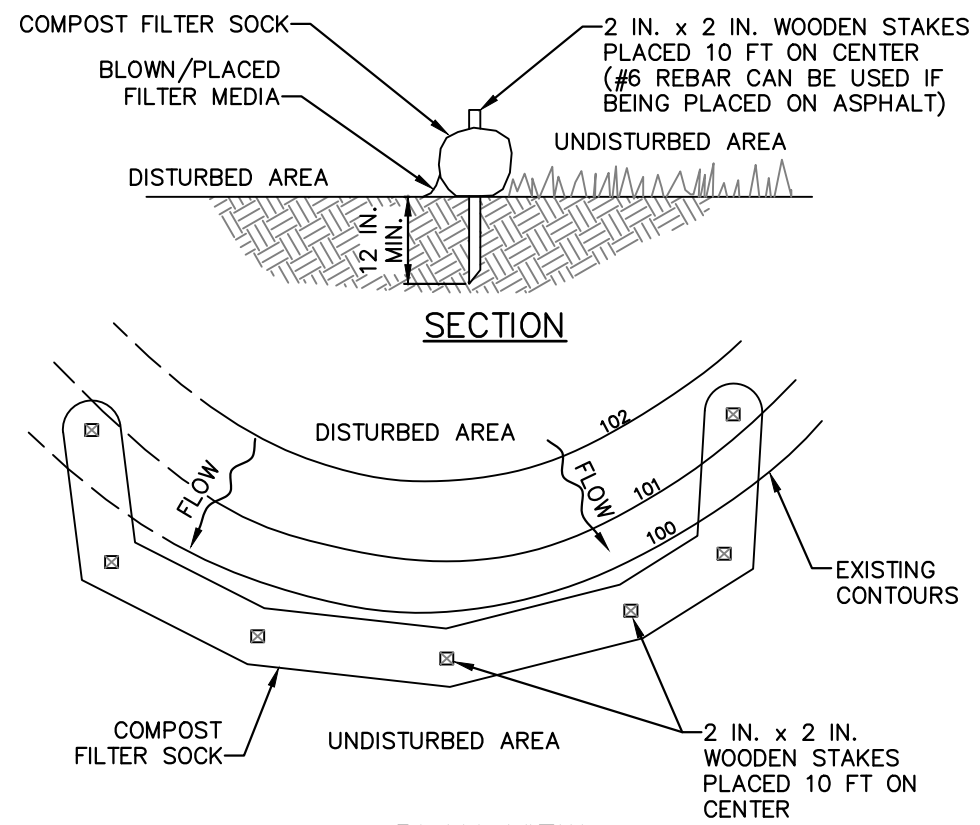
CONCRETE SIDEWALK
N.T.S.



NOTES:

- 1. SAWCUT & SEAL FINISHED JOINTS PER PENNDOT PUB 408, SECTION 469, CURRENT EDITION.

STANDARD ASPHALT PAVEMENT
N.T.S.

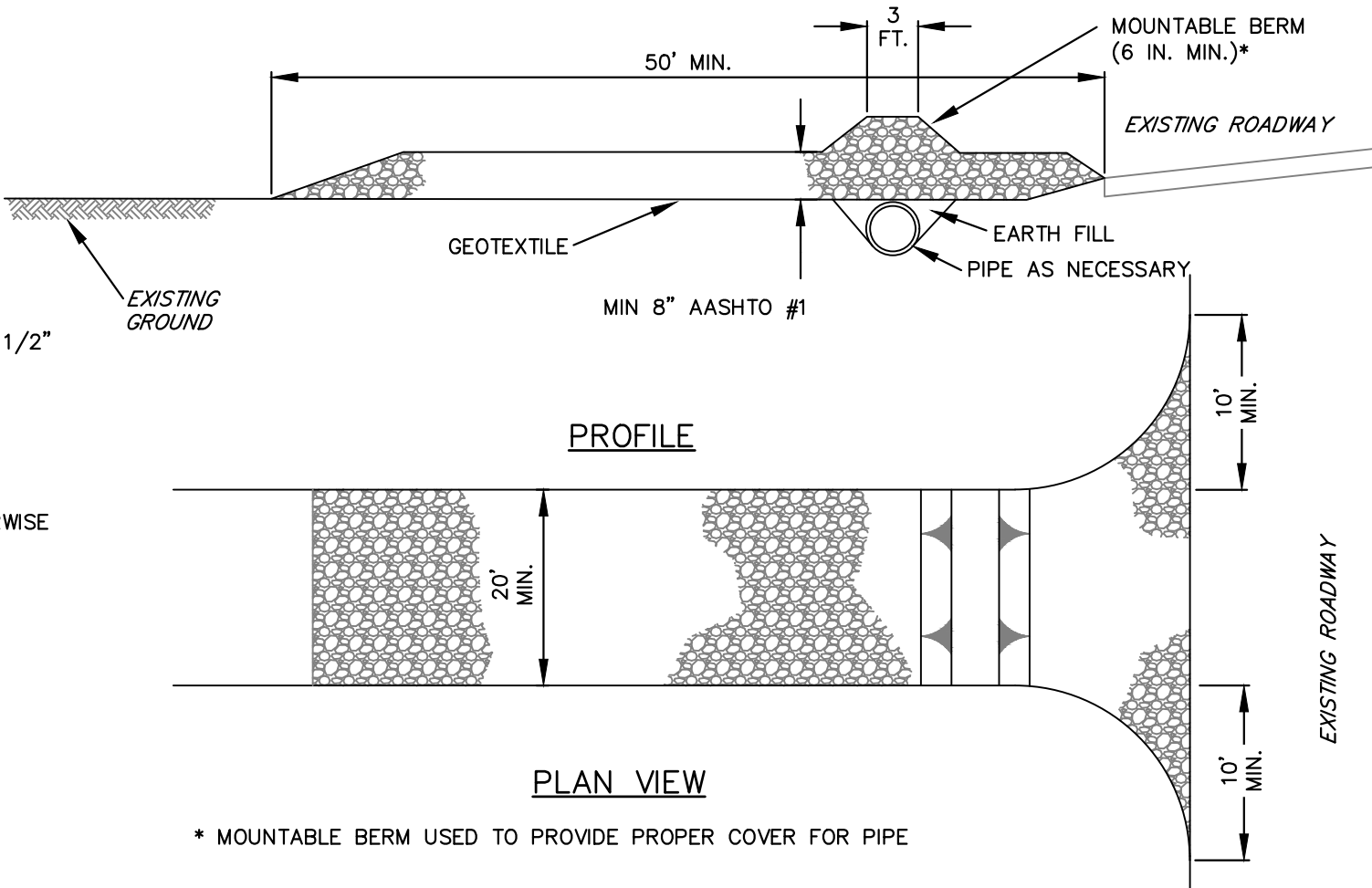


SOCK NO.	DIAMETER	LOCATION	SLOPE PERCENT	SLOPE LENGTH ABOVE BARRIER
1	12"	SPARROW ST	5.512%	127'
2	12"	POND	4.310%	73'
3	12"	POND	3.704%	15'

NOTES:

- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
- COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
- COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
- BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

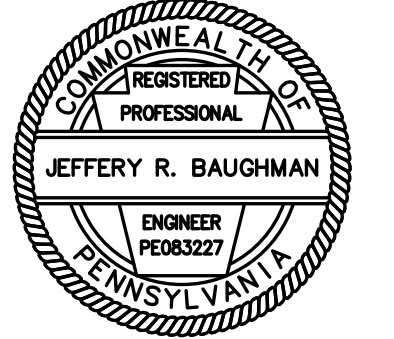
COMPOST FILTER SOCK
N.T.S.



NOTES:

- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. INSTALL GEOTEXTILE AROUND INTERFACE AREAS WITH GROUND CONTACT. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
- MOUNTable BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
- MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.
- REMOVE THE ROCK CONSTRUCTION ENTRANCE WHEN NO LONGER REQUIRED. REMOVE AND PROPERLY DISPOSE OF ALL ROCK, GEOTEXTILE AND ACCUMULATED SEDIMENT. BACK FILL AND STABILIZE PAVING AS INDICATED IN THE PLANS

ROCK CONSTRUCTION ENTRANCE
N.T.S.



SURVEYOR ----- CES
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**125 E PINE
GROVE ROAD
DEVELOPMENT**

FERGUSON TOWNSHIP,
CENTRE COUNTY, PA

SHEET NAME

DETAILS

PROJECT NO.

21-330

DATE

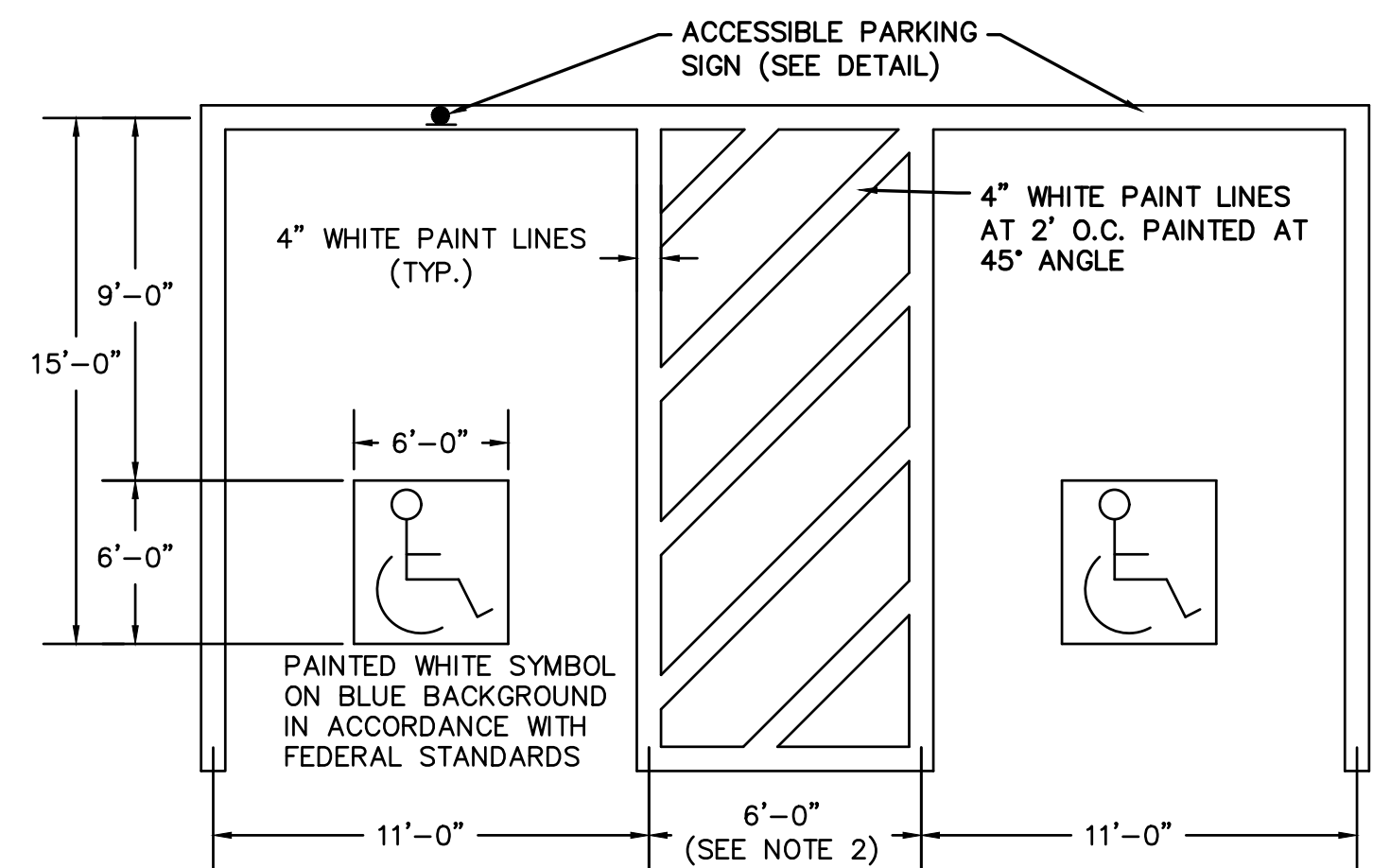
10/07/2022

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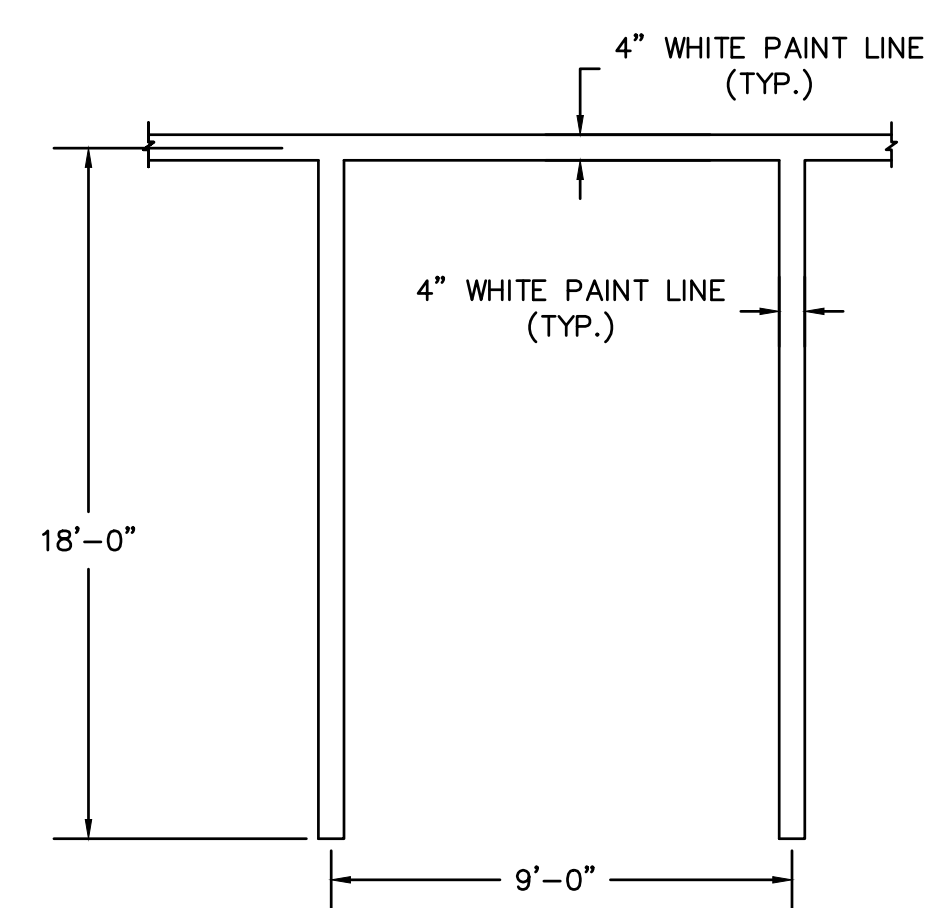
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SHEET NO.

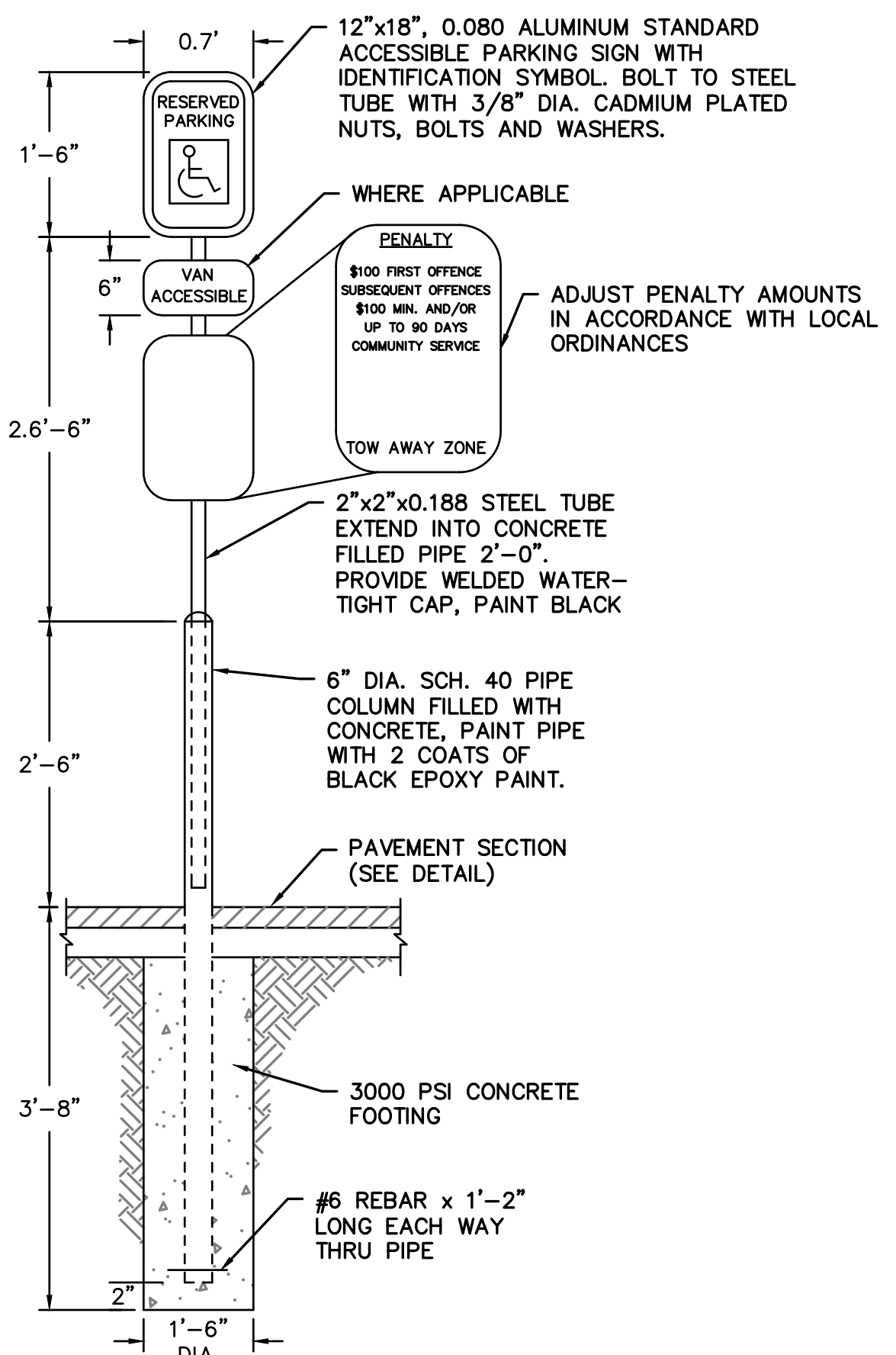
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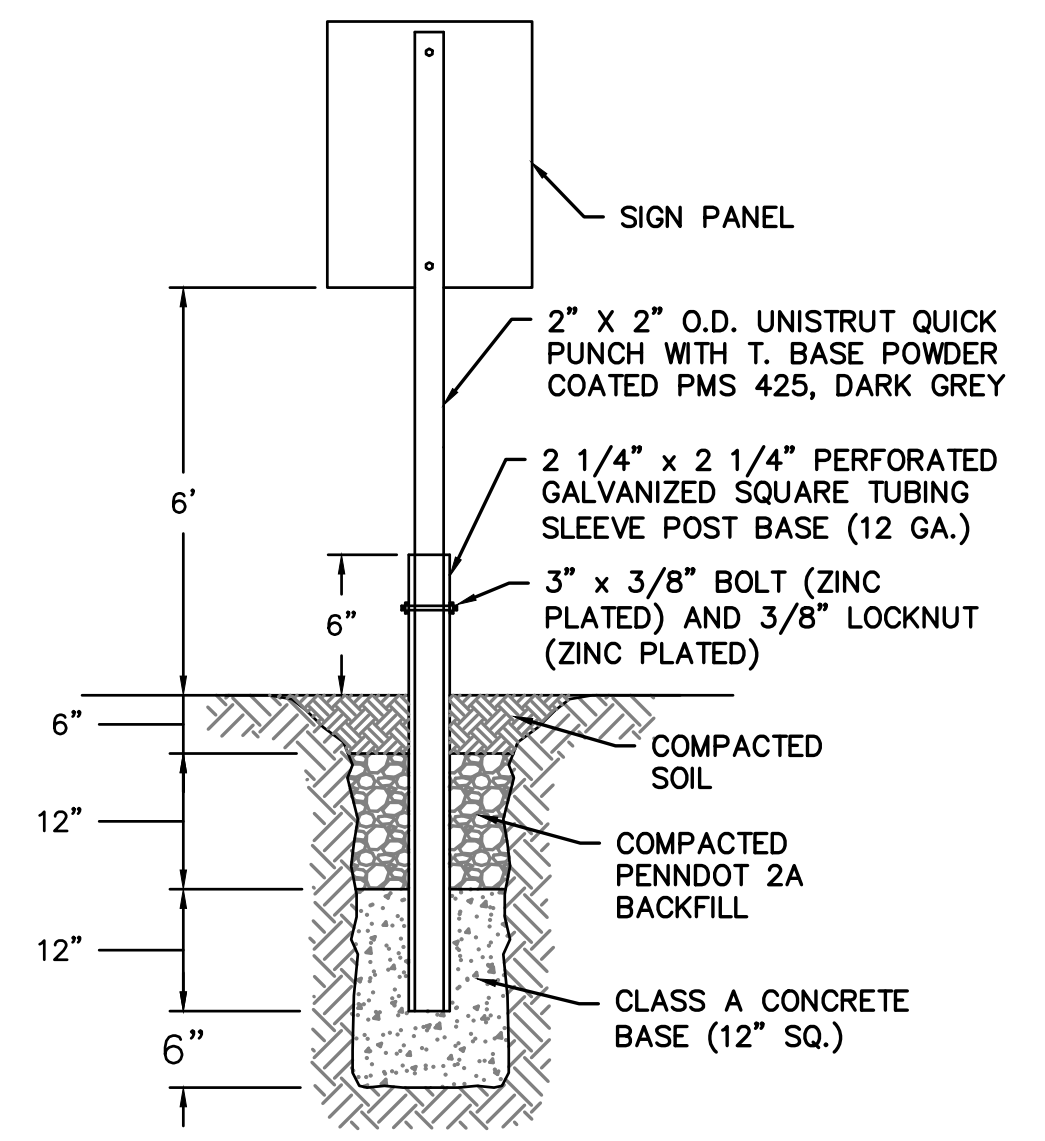
TYPICAL ACCESSIBLE PARKING SPACE DETAIL
NOT TO SCALE



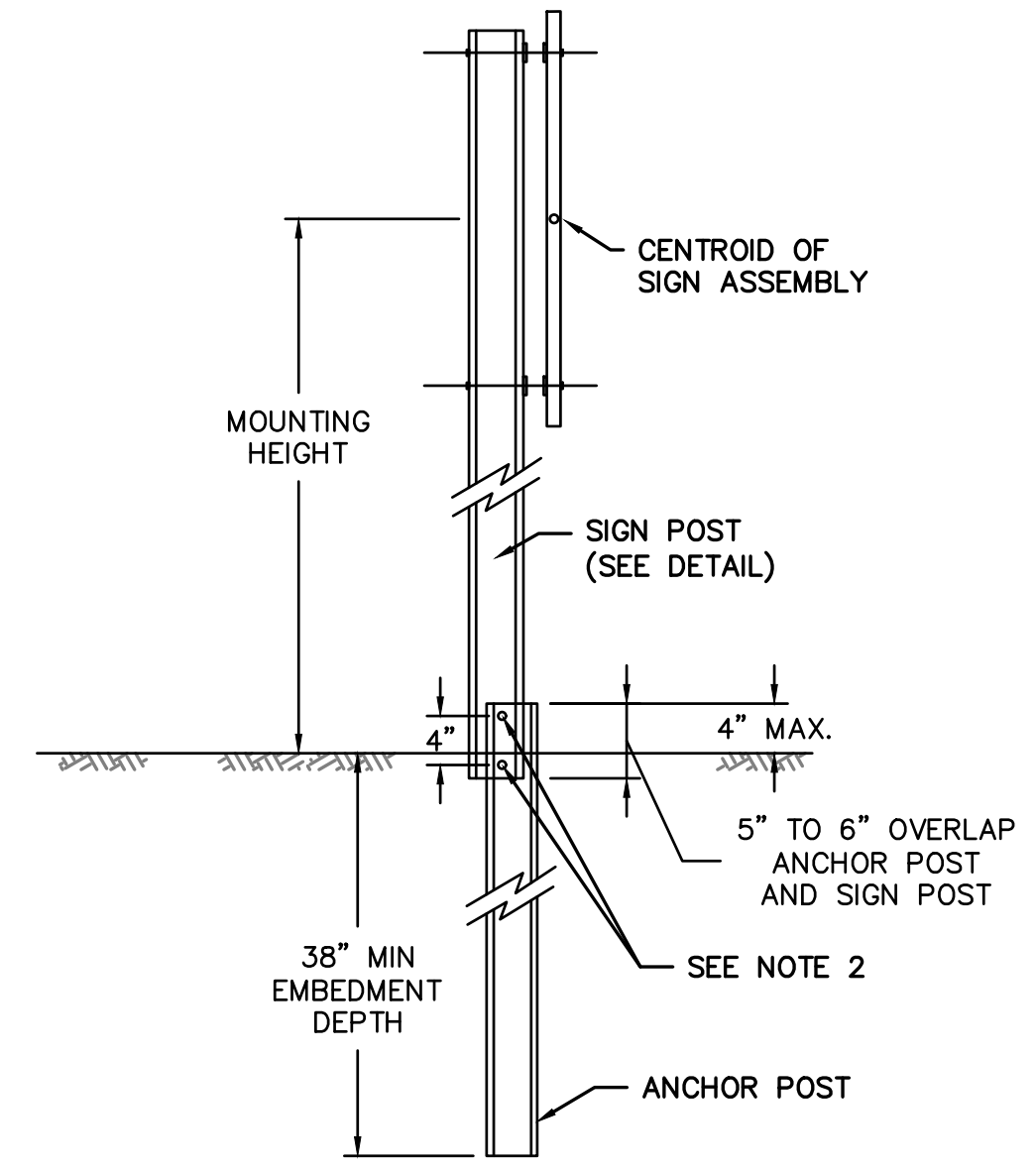
TYPICAL PARKING SPACE DETAIL
NOT TO SCALE



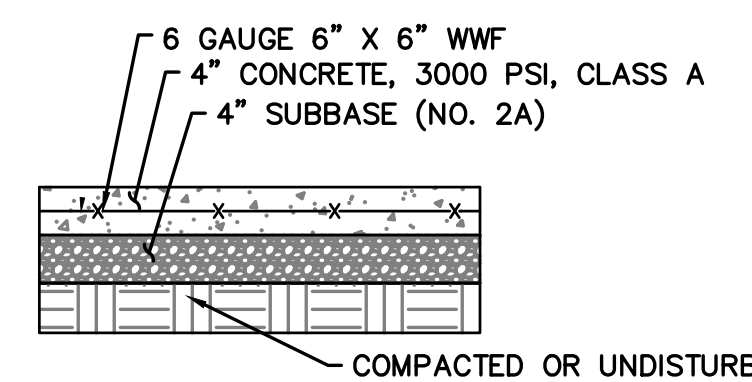
TYPICAL ACCESSIBLE PARKING SIGN
NOT TO SCALE



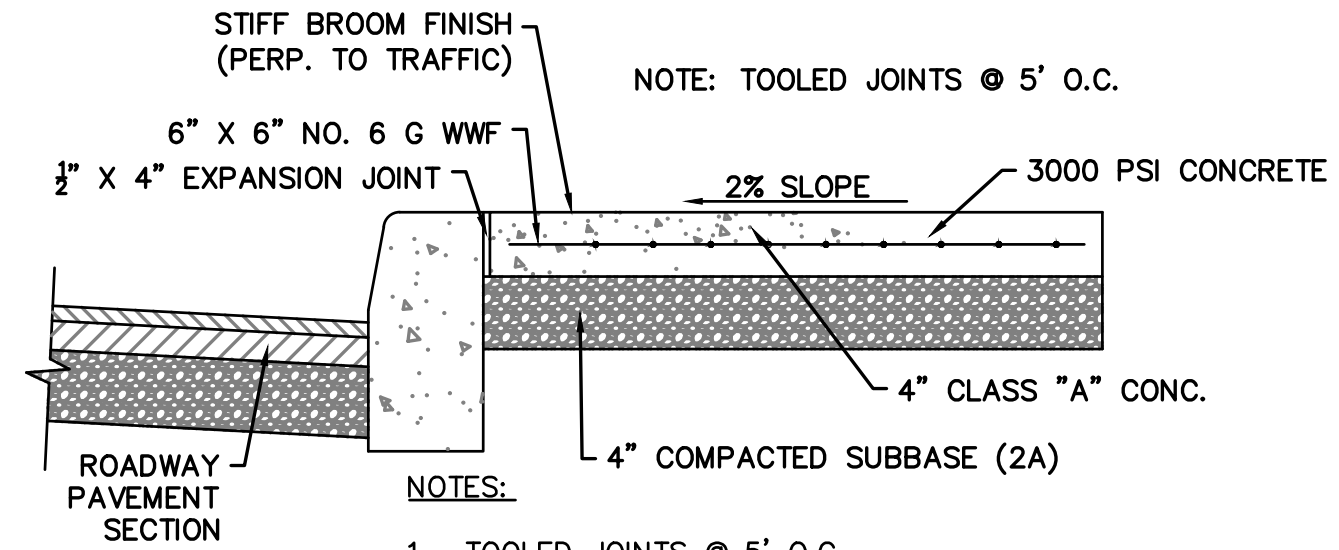
POST-MOUNTED SIGN DETAIL
NOT TO SCALE



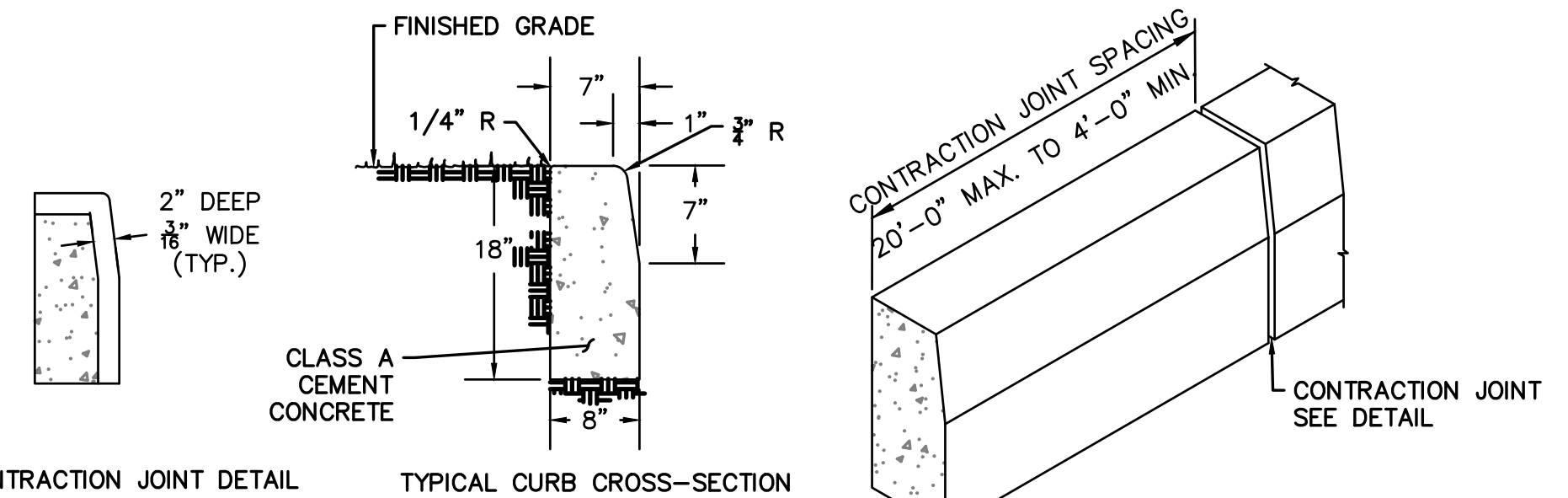
BREAKAWAY SIGN POST (TYPE B) DETAIL
NOT TO SCALE



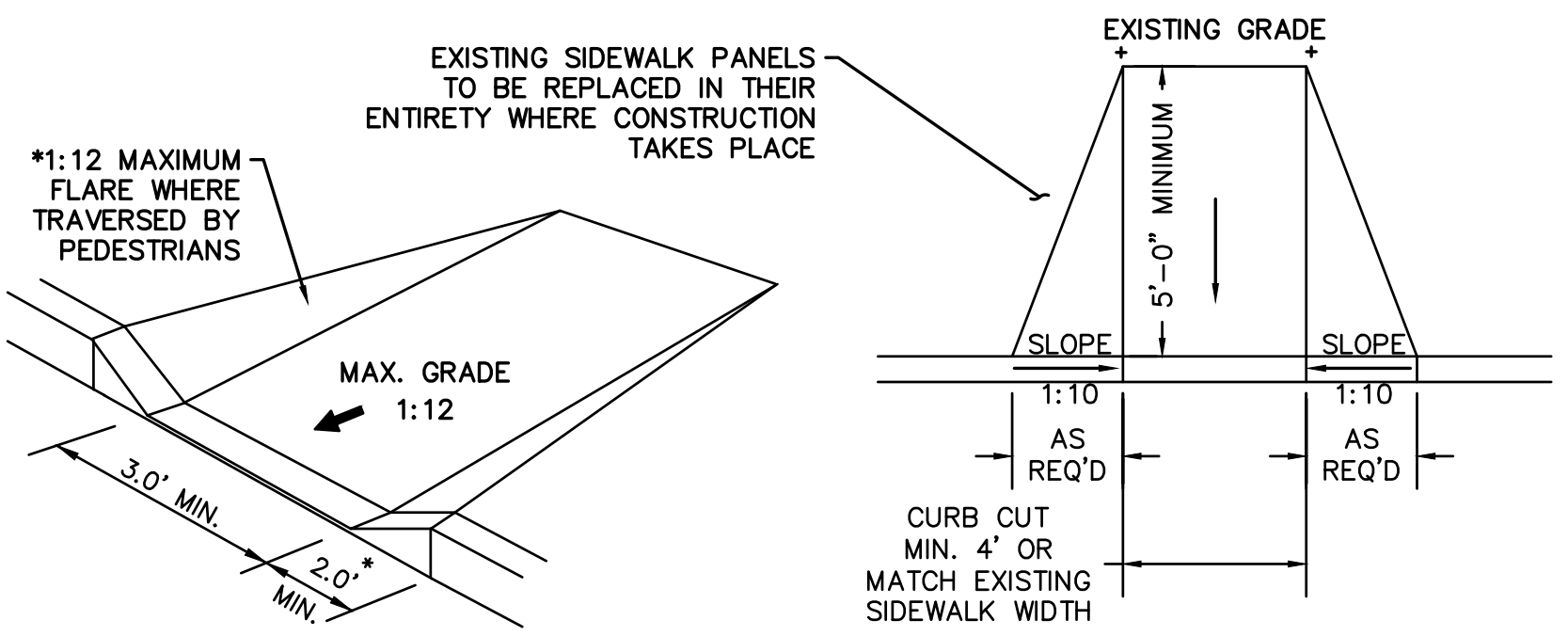
CONCRETE SIDEWALK/ BIKE RACK PAD DETAIL
NOT TO SCALE



SIDEWALK SECTION
NOT TO SCALE



CONCRETE CURB DETAIL
NOT TO SCALE



ACCESSIBLE RAMP DETAIL
NOT TO SCALE

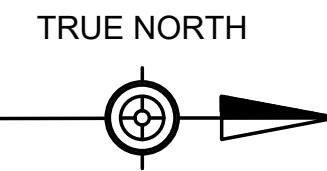
- NOTES:
1. TO BE USED FOR ALL NEW SIGN INSTALLATIONS & EXISTING SIGN RELOCATIONS.
 2. ANCHOR BOLT, SPACER, LOCKNUT AND WASHER IN ACCORDANCE WITH PENNDOT PUB 408, LATEST EDITION.
 3. REFER TO PENNDOT PUB. 111M, TC-8600 STANDARD DETAILS FOR ADDITIONAL APPLICABLE INFORMATION.

- NOTES:
1. TO BE USED FOR ALL NEW SIGN INSTALLATIONS & EXISTING SIGN RELOCATIONS.

- NOTES:
1. PROVIDE 3/4" EXPANSION JOINT EVERY 20' O.C. UTILIZING POLYURETHANE JOINT FILLER 3/4" BELOW THE TOP OF SIDEWALK.
 2. PROVIDE TRANSVERSE TOOLED CONTROL JOINT EVERY 5' O.C.
 3. ALL SIDEWALKS WILL NEED TO HAVE A BROOM FINISH SO THEY PROVIDE A NON-SLIP SURFACE.
 4. ALL CONCRETE MUST MEET ALL SPECIFICATIONS WITHIN PENNDOT PUBLICATION 408, MOST CURRENT EDITION, FOR MATERIALS AND TESTING.

- NOTES:
1. CONSTRUCT ALL CURBING IN ACCORDANCE WITH PENNDOT ROADWAY CONSTRUCTION DRAWING (RC-64). PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUB. 408, SECTION 630 FOR PLAIN CONCRETE CURB.
 2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
 3. PLACE 3/4-INCH PREMOLDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.

- NOTES:
1. ALL TRANSITIONS ARE TO BE TROWELED SMOOTH-NO SHARP EDGES
 2. SEE SITE AND BUILDING PLANS FOR RAMP LOCATIONS
 3. RAMP CONSTRUCTION IN ACCORDANCE WITH PA DOT STANDARDS (RC-67M)

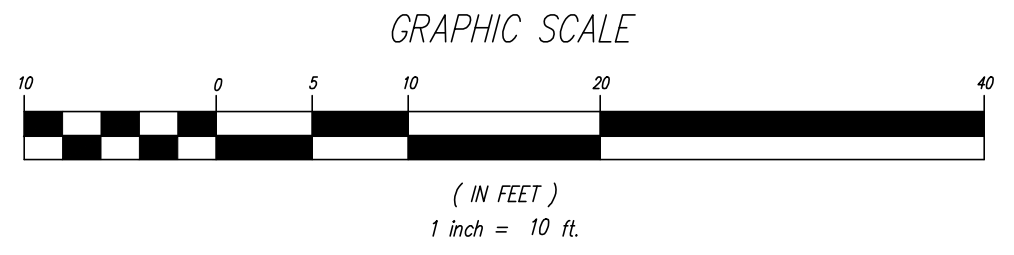
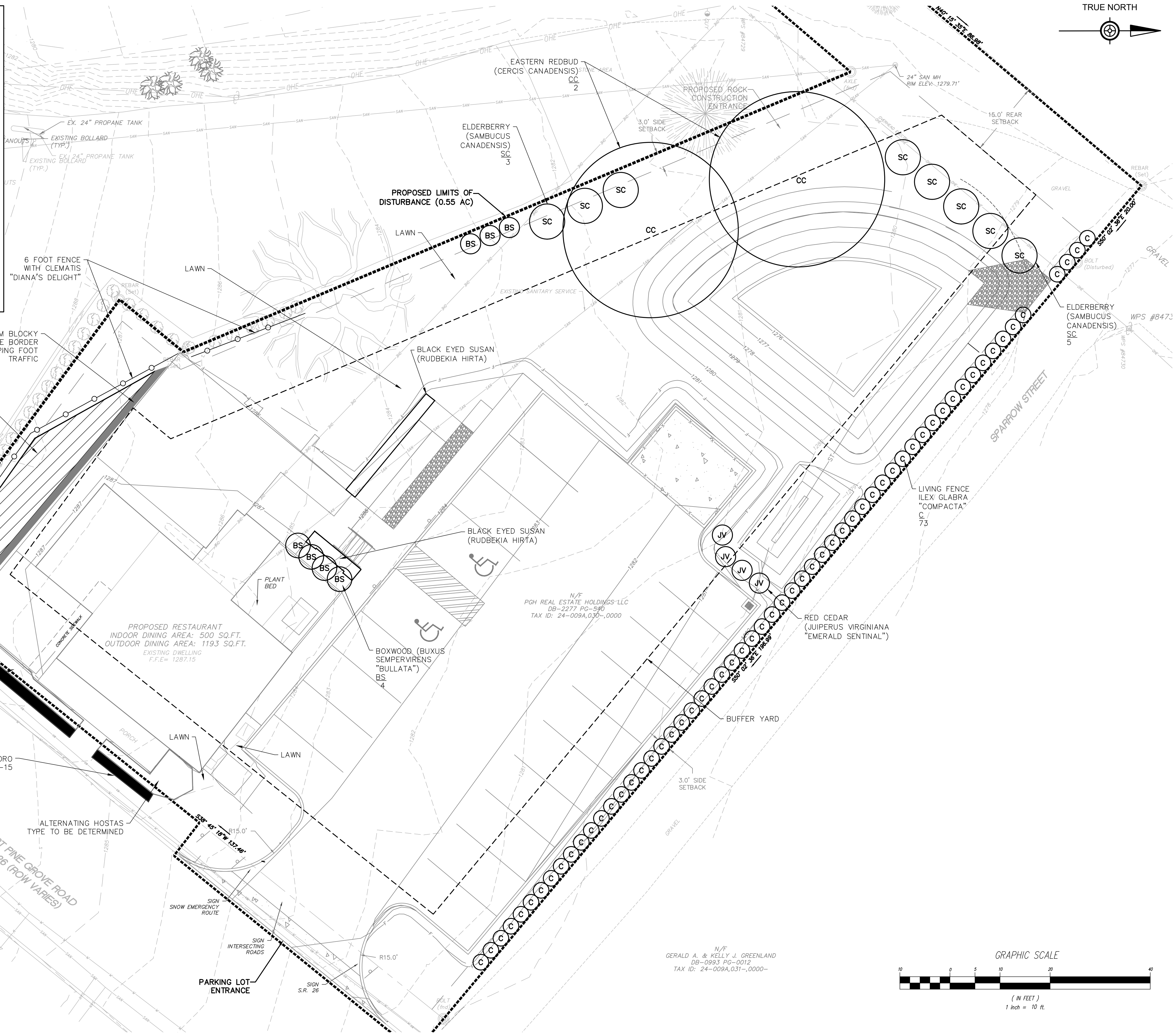


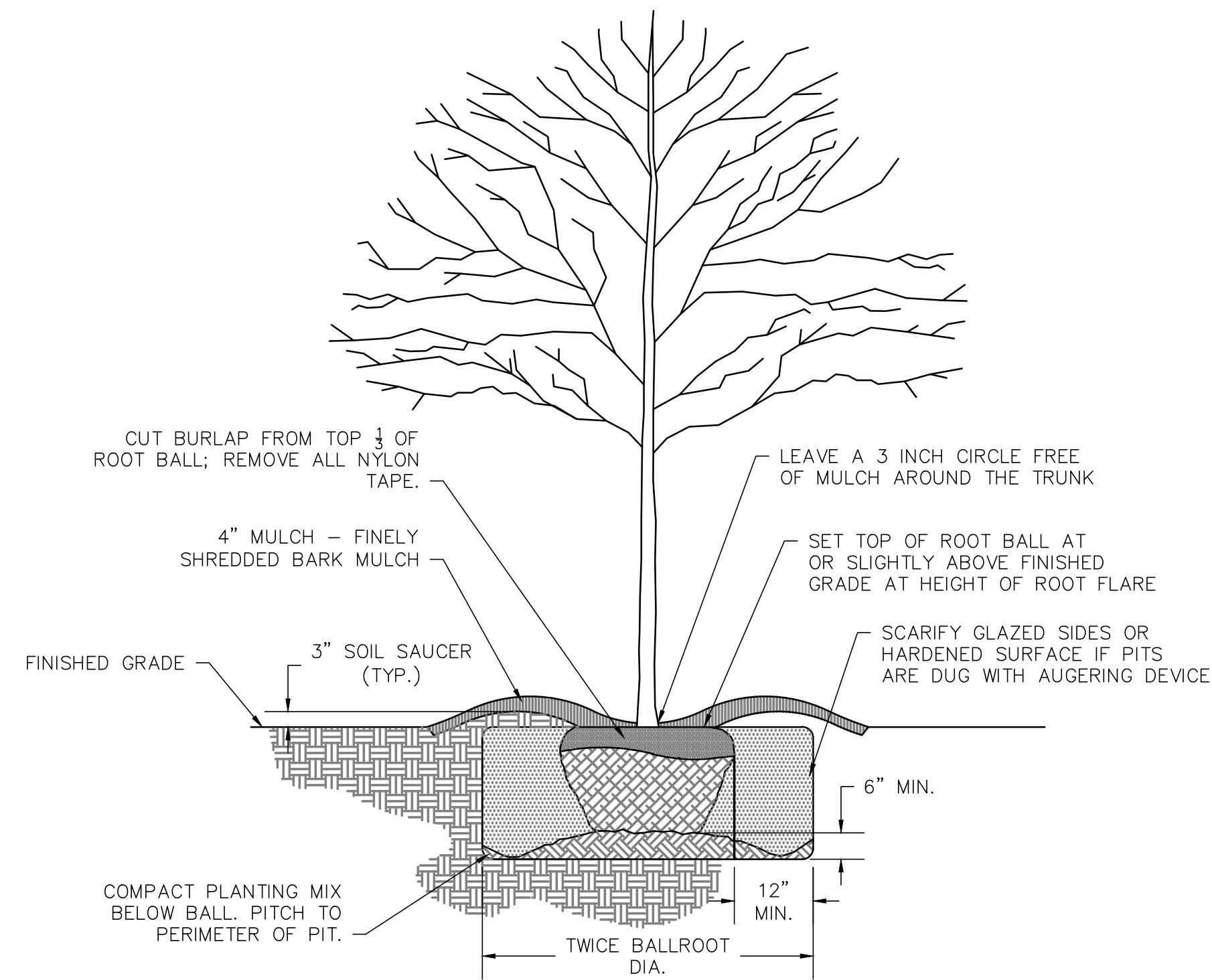
PROPOSED

MINOR CONTOUR	---
MAJOR CONTOUR	----- 500
PROPERTY BOUNDARY	=====
ADJOINER PROPERTY BOUNDARY	=====
PAVED EDGE OF ROAD	=====
CURBING	=====
SIDEWALK	=====
BUILDING	=====
STORMWATER LINE	----- SAN
SANITARY SEWER LINE	----- SAN
WATER LINE	----- W
WATER VALVE	----- UC
UNDERGROUND TELECOM LINE	----- OHC
OVERHEAD TELECOM LINE	----- OHE
OVERHEAD ELECTRIC LINE	----- UE
UNDERGROUND ELECTRIC LINE	----- UE
SITE LIGHTING	-----
UTILITY POLE	-----
GUARDRAIL	-----
SETBACK	-----
SINGLE POST SIGN	-----
DOUBLE POST SIGN	-----
HANDICAP PARKING PAINT	-----
PAINT MARKINGS	-----

EXISTING

MINOR CONTOUR	---
MAJOR CONTOUR	----- 500
PROPERTY BOUNDARY	=====
ADJOINER PROPERTY BOUNDARY	=====
PAVED EDGE OF ROAD	=====
CURBING	=====
SIDEWALK	=====
BUILDING	=====
STORMWATER LINE	----- SAN
SANITARY SEWER LINE	----- SAN
WATER LINE	----- W
WATER VALVE	----- UC
UNDERGROUND TELECOM LINE	----- OHC
OVERHEAD TELECOM LINE	----- OHE
OVERHEAD ELECTRIC LINE	----- UE
UNDERGROUND ELECTRIC LINE	----- UE
SITE LIGHTING	-----
UTILITY POLE	-----
WOOD LINE	-----
SOILS BOUNDARY	-----
SOILS SYMBOL	MhB



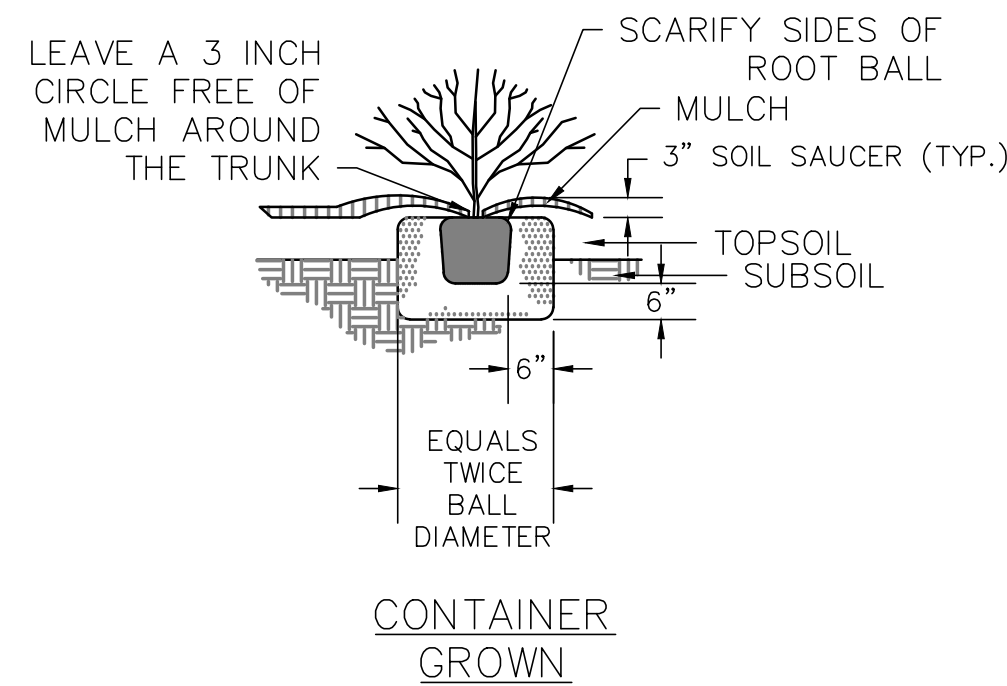


NOTES:

1. PRUNE ANY DEAD BRANCHES AT THE TIME OF PLANTING.
2. REJECT ANY PLANTS THAT APPEAR SIGNIFICANTLY STRESSED OR DYING

DECIDUOUS TREE PLANTING

NOT TO SCALE



NOTES:

1. PLANT TO HEIGHT OF ROOT FLARE

SHRUB PLANTING

NOT TO SCALE

PLANTING NOTES:

1. TREES AND SHRUBS SHOULD BE PLANTED AFTER FINAL GRADING HAS BEEN PERFORMED, BUT BEFORE THE PERMANENT SEED, MULCH AND FERTILIZER IS APPLIED.
2. UPON DELIVERY ALL TREES AND SHRUBS SHALL BE INSPECTED FOR HEALTH AND VIGOR. TREE LIMBS SHOULD BE PLIABLE, GREEN AND WITHOUT DRY OR DEAD TWIGS. BARK SHOULD BE INTACT WITH NO OPEN WOUNDS. TREE SHOULD BO BE VISIBLY AFFECTED WITH FUNGUS, INSECT OR OTHER DETRIMENTAL PEST. ANY TREE AND SHRUBS EXHIBITING ANY OF THESE CHARACTERISTICS SHALL BE RETURNED TO THE SUPPLIER AND REPLACED WITH ACCEPTABLE STOCK.
3. **PLANTING DATES:** TREES AND SHRUBS SHOULD BE PLANTED EITHER DURING THE SPRING OR FALL SEASONS.
SPRING PLANTING: TREES SHOULD BE PLANTED AFTER THE GROUND HAS THAWED BUT BEFORE BUD BREAK IN THE SPRING. SEASONS VERY AND ADJUSTMENTS SHOULD BE MADE TO PERFORM PLANTING DURING SUITABLE CONDITIONS. RED CEDAR SHOULD BE PLANTED IN THE SPRING. FALL PLANTING OF RED CEDAR IS ACCEPTABLE BUT WILL NORMALLY RESULT IN HIGHER DIE-OFF RATES THAN SPRING PLANTING.
SUMMER PLANTING: IF PLANTING IS TO BE DONE BETWEEN APRIL 30TH AND SEPTEMBER 25TH, THE NEW PLANTINGS MUST BE WATERED EVERY OTHER DAY DURING PERIOD OF NO MEASURABLE PRECIPITATION. A WATERING IS CONSIDERED SUFFICIENT IF SATURATION OF THE GROUND HAS OCCURRED TO A MINIMUM DEPTH OF SIX INCHES AFTER WATER CEASES. AVOID EXCESSIVE WATERING THAT WASHES AWAY FILL SOIL AROUND THE ROOT BALL OR ATTEMPTS TO PUSH THE ROOT BALL UPWARD OUT OF THE PLANTING HOLE.
4. ALL DIRECTIONS AND DETAILS PROVIDED ON THE DETAIL SHEET SHOULD BE FOLLOWED FOR SUCCESSFUL TRANSPLANTING OF DELIVERED NURSERY STOCK PLANT MATERIAL. THE PLANTING HOLE SHALL BE PREPARED AS SHOWN ON THE DETAILS SHEET OF THE PLANTING PLAN. A PLANTING HOLE, A MINIMUM OF TWO TIMES THE ROOT BALL DIAMETER SHALL BE EXCAVATED FOR THE PLANTINGS. A SOLID BASE SHALL BE PREPARED FOR PLACEMENT OF ROOT BALL. SOIL SHOULD BE REPLACED AND PACKED FIRMLY AROUND THE TREE OR SHRUB ROOT MASS.

MASTER LANDSCAPE SCHEDULE

SYMBOL	QUANTITIES	SCIENTIFIC NAME	COMMON NAME	TYPE	PLANT SPACING (FT.) O.C.	PLANT HT AT INSTALL (FT)	MATURE HT (FT.)	MATURE SPREAD (FT.)	
TREES									
JV	JV	4	JUNIPERUS VIGINIANA "EMERALD SENTINEL"	RED CEDAR	CONTAINER OR B&B	4.0	6.0 MINIMUM	15	7
CC	CC	2	CERCIS CANADENSIS	EASTERN REDBUD	B&B	AS SHOWN	6.0 MINIMUM	20-30	25-35
SHRUBS									
BS	BS	8	BUXUS SEMPERVIRENS "BULLATA"	BOXWOOD	CONTAINER	2.5	2.5 MINIMUM	6	5
C	C	73	ILEX GLABRA "COMPACTA"	INKBERRY	CONTAINER	2.5	2.5 MINIMUM	3-4	4-6
SC	SC	8	SAMBUCUS CANDENSIS	ELDERBERRY	CONTAINER	AS SHOWN	3.0 MINIMUM	6-8	6-8
HERBACEOUS PLANTS									
		18	RUDBECKIA HIRTA	BLACKEYED SUSAN	CONTAINER	2.0	NA	NA	NA
		45	HEMEROCALLIS "STELLA DE ORO"	DAYLILLY STELLA DE ORO	CONTAINER	2.0	NA	NA	NA
		18	CLEMATIS "DIANA'S DELIGHT"	CLEMATIS	QT CONTAINER MIN	3.0	NA	NA	NA
		TBD	HOSTA "REGAL SPLENDOR"	HOSTA	CONTAINER	TBD	NA	NA	NA

SURVEYOR	-----	CES
CADD	-----	EMK
DESIGNER	-----	DDC
MANAGER	-----	MRV
FILE:		
		21-330 DESIGN_LANDSCAPE.DWG

REV 1 - 11/11/22 - TWP COMMENTS

REVISIONS

PGH REAL ESTATE HOLDINGS LLC

125 E PINE GROVE ROAD

FERGUSON TOWNSHIP, CENTRE COUNTY, PA

SHEET NAME

LANDSCAPING DETAILS

PROJECT NO.

21-330

DATE

10/07/2022

SCALE	SHEET NO.
AS NOTED	L01

ELECTRICAL LEGEND AND ABBREVIATIONS

ABBREVIATIONS	ABBREVIATIONS
A AMPERE(S)	UC UNDERCOUNTER/CABINET
AC ABOVE COUNTER OR AIR CONDITIONER	UG UNDERGROUND
AFG ABOVE FINISHED CEILING	UON UNLESS OTHERWISE NOTED
AFF ABOVE FINISHED FLOOR	V VOLT(S)
AFI ARC FAULT CIRCUIT INTERRUPTER	VA VOLT AMPERES
AHJ AUTHORITY HAVING JURISDICTION	W WATT(S) OR WIRE
AHU AIR HANDLING UNIT	WG WIREGUARD
AIC AMPERES INTERRUPTING CURRENT	WH ELECTRIC WATER HEATER
BFC BELOW FINISHED CEILING	WP WEATHERPROOF
C CONDUIT	XFMR TRANSFORMER
CATV CABLE TELEVISION	
CB CIRCUIT BREAKER	
CKT CIRCUIT	
CT CURRENT TRANSFORMER	
CU CONDENSING UNIT	
DISC DISCONNECT	
DWG(S) DRAWING(S)	
(E) EXISTING, TO REMAIN - MAINTAIN CIRCUIT CONTINUITY TO EXISTING DEVICES. FOR LUMINAIRES, CLEAN LENSES AND REPLACE FAILED LAMPS, UNLESS OTHERWISE NOTED. NEW LAMPS ARE TO MATCH EXISTING LAMP'S COLOR TEMPERATURE. FOR WIRING DEVICES CLEAN FACEPLATES, UNLESS OTHERWISE NOTED.	
EG ELECTRICAL CONTRACTOR OR EMPTY CONDUIT	
EDH ELECTRIC DUCT HEATER	
EF EXHAUST FAN	
EHP ELECTRIC HEATING PANEL	
(ER) EXISTING TO RELOCATE - MAINTAIN CIRCUIT CONTINUITY TO DEVICES. REMOVE, RELOCATE OR REWORK ANY CONDUIT AND WIRING TO FACILITATE NEW CONSTRUCTION. FOR LUMINAIRES EXISTING TO BE RELOCATED, CLEAN LENSES AND REPLACE FAILED LAMPS, UNLESS OTHERWISE NOTED. NEW LAMPS ARE TO MATCH EXISTING LAMP'S COLOR TEMPERATURE. FOR WIRING DEVICES, PROVIDE NEW DEVICE AND FACEPLATE TO MATCH EXISTING COLORS, UNLESS OTHERWISE NOTED.	
EM EMERGENCY	
EPO EMERGENCY POWER OFF	
ENC ELECTRIC WATER COOLER	
ENH ELECTRIC WALL HEATER	
(EX) EXISTING TO BE DEMOLISHED - MAINTAIN CIRCUIT CONTINUITY DURING AND AFTER DEMOLITION TO EXISTING CIRCUITS AND DEVICES TO REMAIN. REMOVE, RELOCATE OR REWORK ANY CONDUIT AND WIRING TO FACILITATE NEW CONSTRUCTION.	
F FUSE	
FLA FULL LOAD AMPS	
G GROUND	
GC GENERAL CONTRACTOR	
GF GROUND FAULT CIRCUIT INTERRUPTER	
HP HORSEPOWER	
IDF INTERMEDIATE DATA FRAME	
I _{SC} SHORT CIRCUIT CURRENT	
KV KILOVOLTS	
KVA KILOVOLT AMPERE(S)	
KW KILOWATT(S)	
LT6 LIGHTING	
MC MECHANICAL CONTRACTOR	
MCA MINIMUM CIRCUIT AMPS	
MCB MAIN CIRCUIT BREAKER	
MDC MAIN DISTRIBUTION CENTER	
MDF MAIN DATA FRAME	
MLO MAIN LUGS ONLY	
NL NIGHT LIGHT/SECURITY LIGHT, CONNECT LIGHTS AHEAD OF LOCAL SWITCHING TO OPERATE CONTINUOUSLY	
NO NORMALLY OPEN	
OAE OR APPROVED EQUAL	
P POLE	
PH PHASE	
PNL PANEL	
REC RECEPTACLE	
(RL) RELOCATE - MAINTAIN CIRCUIT CONTINUITY TO NEW LOCATION OF EXISTING DEVICES(S). REMOVE, RELOCATE OR REWORK ANY CONDUIT AND WIRING TO FACILITATE RELOCATION. FOR LUMINAIRES, CLEAN LENSES AND REPLACE FAILED LAMPS, UNLESS OTHERWISE NOTED. NEW LAMPS ARE TO MATCH EXISTING LAMP'S COLOR TEMPERATURE. FOR WIRING DEVICES, PROVIDE NEW DEVICE AND FACEPLATE TO MATCH EXISTING COLORS, UNLESS OTHERWISE NOTED.	
SCA SHORT CIRCUIT CURRENT AVAILABLE	
SW SWITCH	
TVSS TRANSIENT VOLTAGE SURGE SUPPRESSION	

ABBREVIATIONS	ABBREVIATIONS
??-?? EQUIPMENT DESIGNATION	
REVISION DESIGNATION	
KEY NOTE DESIGNATION	
DETAIL REFERENCE	
FLOOR BOX KEY	
SITE SYMBOLS	
— E-UG — UNDERGROUND ELECTRIC	
— E-OH — OVERHEAD ELECTRIC	
----- C-UG----- UNDERGROUND COMMUNICATION	
— TEC-OH — OVERHEAD COMMUNICATION	
— W — UNDERGROUND WATER	
— G — UNDERGROUND GAS	
— S — UNDERGROUND STORM	
■ DIRECT BURIED ELECTRICAL HANDHOLE	
LIGHTING SYMBOLS	
○ CEILING LUMINAIRE - SURFACE MOUNTED	
⊗ CEILING LUMINAIRE - RECESSED	
⊙ WALL MOUNTED LUMINAIRE	
⊕ PENDANT MOUNTED LUMINAIRE	
⊙ WALL WASH LUMINAIRE - SURFACE MOUNTED	
⊗ WALL WASH LUMINAIRE - RECESSED	
⊙ PHOTO CELL	
LED/FLUORESCENT LUMINAIRE - SURFACE MOUNTED RI INDICATES FIXTURE TYPE	
LED/FLUORESCENT LUMINAIRE - RECESSED	
LINEAR PENDANT LUMINAIRE (FILLED CIRCLE INDICATES POWER FEED END) (LENGTH AS SHOWN ON DRAWING)	
FLUORESCENT STRIP LUMINAIRE/UNDER CABINET LUMINAIRE (LENGTH AS SHOWN ON DRAWING)	
FLUORESCENT COVE OR SLOT LUMINAIRE (LENGTH AS SHOWN ON DRAWING)	
LINEAR WALL MOUNT WITH INTEGRAL OCC SENSOR	
COMBINATION EXIT SIGN AND DUAL-HEAD EMERG LUMINAIRE	
SINGLE FACE EXIT LUMINAIRE - CEILING MOUNTED	
DUAL FACE EXIT LUMINAIRE - CEILING MOUNTED	
SINGLE FACE EXIT LUMINAIRE - WALL MOUNTED	
DUAL FACE EXIT LUMINAIRE - WALL MOUNTED	
EGRESS ARROWS	
TRACK LIGHTING (NUMBER OF HEADS AS SHOWN ON DRAWING)	
REMOTE EMERGENCY LIGHTING HEAD	
EMERGENCY LUMINAIRE WITH INTEGRAL BATTERY PACK	
NIGHT-LIGHT LUMINAIRE	
NIGHT LIGHT LUMINAIRE, THROUGH THE WALL MOUNTING	
POLE MOUNTED LUMINAIRE	
POST-TOP LUMINAIRE	
POST-TOP TWIN HEAD LUMINAIRE	
BOLLARD LUMINAIRE	
IN-GRADE FLOOD LUMINAIRE	
ABOVE-GRADE FLOOD LUMINAIRE	
STEP-LIGHT LUMINAIRE	
EXTERIOR WALL MOUNTED SITE LUMINAIRE	
UNSWITCHED NIGHTLIGHT FIXTURE	

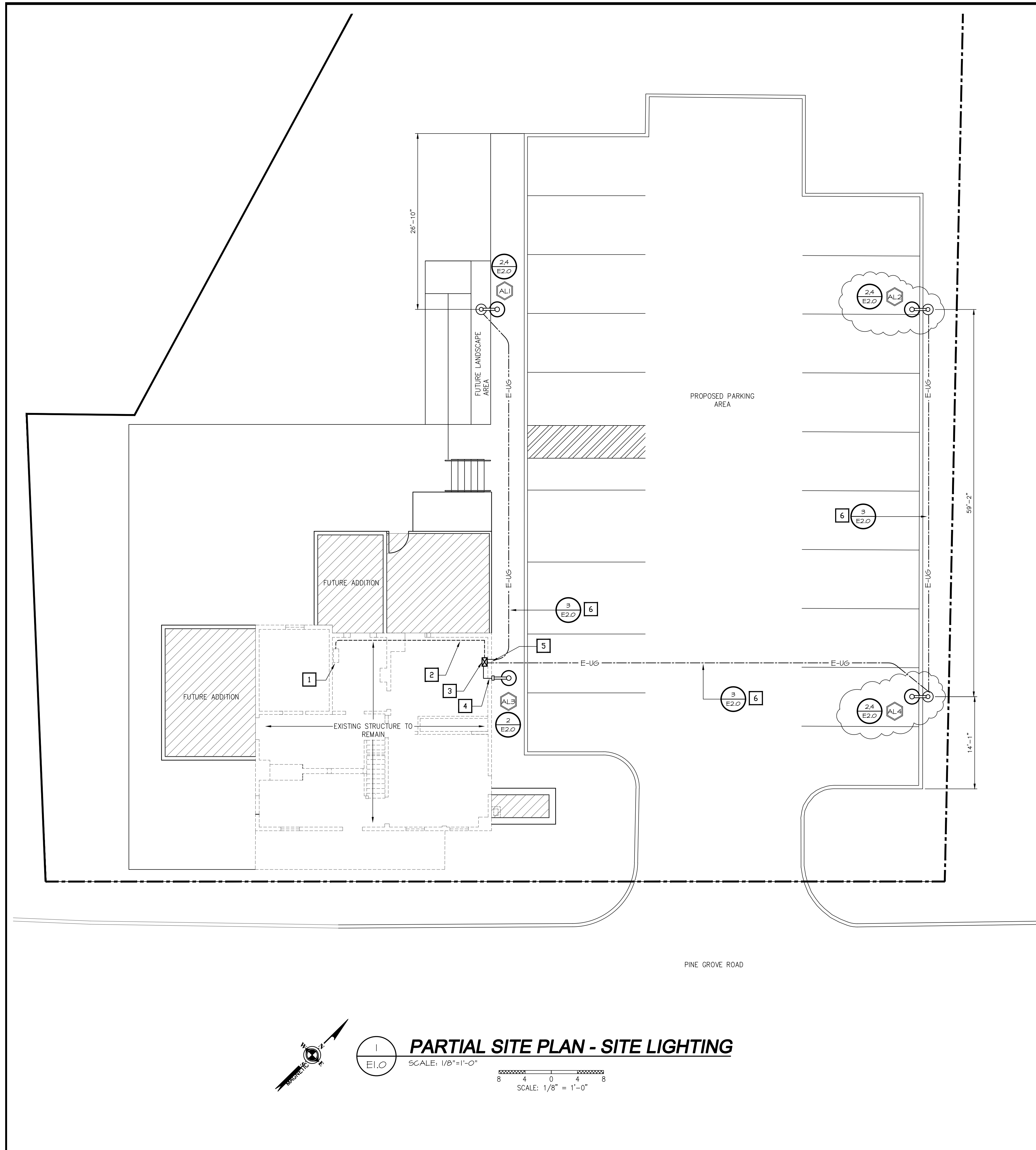
LIGHTING CONTROL SYMBOLS	POWER SYMBOLS
Ⓢ SINGLE POLE SWITCH (+48" AFF, UON)	Ⓢ SURFACE MOUNTED PANELBOARD OR LOADCENTER
Ⓢ ₃ THREE-WAY SWITCH (+48" AFF, UON)	FLUSH MOUNTED PANELBOARD OR LOADCENTER
Ⓢ ₄ FOUR-WAY SWITCH (+48" AFF, UON)	SINGLE RECEPTACLE (+18" AFF, UON)
Ⓢ _F FAN AND/OR FANLIGHT SWITCH (+48" AFF, UON)	20A 120V 5-20R DUPLEX RECEPTACLE (+18" AFF, UON) (T = TVSS)
Ⓢ _K KEY OPERATED SWITCH (+48" AFF, UON)	20A 120V 5-20R 6FCI PROTECTED DUPLEX RECEPT (+18" AFF, UON)
Ⓢ _P SWITCH WITH PILOT LIGHT (ILLUMINATED WHEN ON) (+48" AFF, UON)	20A 120V 5-20R AFCI PROTECTED DUPLEX RECEPT (+18" AFF, UON)
Ⓢ _T TIMER SWITCH (+48" AFF, UON)	20A 120V 5-20R QUAD RECEPTACLE (+18" AFF, UON)
Ⓢ _L LIGHTING CONTACTOR	20A 120V 5-20R 6FCI PROTECTED QUAD RECEPTACLE (+18" AFF, UON)
Ⓢ _{PC} PHOTOELECTRIC CELL	ISOLATED GROUND DUPLEX RECEPTACLE SPLIT WIRED AND/OR SWITCHED RECEPTACLE (+18" AFF, UON)
Ⓢ _C TIME CLOCK	CEILING MOUNTED DUPLEX RECEPTACLE (CR = CORD REEL DEVICE)
Ⓢ _D DIMMER SWITCH (+48" AFF, UON)- DIMMER STYLE SHALL MATCH STYLE OF TOGGLE SWITCH STYLE CHOSEN BY ARCHITECT. PROVIDE DIMMER-TYPE COMPATIBLE WITH LAMP SOURCE AND RATED FOR CONNECTED LOAD)	RECESSED CLOCK RECEPTACLE (+48" AFF, UON)
Ⓢ _{OS} OCCUPANCY SENSOR (+48" AFF, UON)-	IN-FLOOR DUPLEX RECEPTACLE
Ⓢ _{OS2} DUAL RELAY OCCUPANCY SENSOR SWITCH (+48" AFF, UON)	IN-FLOOR DOUBLE DUPLEX RECEPTACLE
Ⓢ _{OS3} THREE-WAY OCCUPANCY SENSOR SWITCH (+48" AFF, UON)	IN-FLOOR COMBINATION RECEPTACLE/TELEPHONE/ DATA DEVICE
Ⓢ _{OS4} DIGITAL LIGHTING CONTROL SYSTEM WALL SWITCH (+48" AFF, UON) - = NUMBER OF BUTTONS REQUIRED	4" 5Q BOX WITH 1" CONDUIT TO ABOVE CL6
Ⓢ _{OS5} DIGITAL LIGHTING CONTROL SYSTEM DIMMER SWITCH (+48" AFF, UON)	JUNCTION BOX
Ⓢ _{OS6} DIGITAL LIGHTING CONTROL SYSTEM SCENE SWITCH (+48" AFF, UON)	WALL MOUNTED JUNCTION BOX
Ⓢ _{OS7} DIGITAL LIGHTING CONTROL SYSTEM WALL SWITCH OCCUPANCY SENSOR, DUAL TECH (+48" AFF, UON) - = NUMBER OF BUTTONS REQUIRED	MOTOR
Ⓢ _{OS8} DIGITAL LIGHTING CONTROL SYSTEM PARTITION SWITCH (+48" AFF, UON)	HP RATED TOGGLE SWITCH (+48" AFF, UON)
Ⓢ _{OS9} OCCUPANCY SENSOR - LINE VOLTAGE	PUSH BUTTON, TYPE AS NOTED (+48" AFF, UON)
Ⓢ _{OS10} OCCUPANCY SENSOR - LOW-VOLTAGE	PULL BOX
Ⓢ _{OS11} OCCUPANCY SENSOR POWER PACK	PLUGMOLD (LENGTH AS SHOWN ON DRAWING)
	SURFACE RACEWAY (+18" AFF, UON) (LENGTH AS SHOWN ON DRAWING)
	CABLE TRAY (LENGTH AS SHOWN ON DRAWING)
	CONDUIT END BUSHING
	CONDUIT UP
	CONDUIT DOWN
	CONDUIT BREAK SYMBOL
	GROUND ROD
	MULTI-SERVICE TEL/POWER POWER POLE
	PHONE/DATA OUTLET
	WIRELESS ACCESS POINT (POWER OVER ETHERNET) POE

POWER SYMBOLS	FIRE ALARM SYMBOLS
Ⓢ CIRCUIT BREAKER	Ⓢ WALL MOUNTED STROBE ONLY NOTIFICATION APPLIANCE (IS INDICATES CANDELA RATING)
Ⓢ FUSE	Ⓢ WALL MOUNTED COMBINATION STROBE/HORN NOTIFICATION APPLIANCE
Ⓢ SWITCH	Ⓢ WALL MOUNTED EXTERIOR WEATHERPROOF COMBINATION STROBE/ HORN
Ⓢ DRAW-OUT CIRCUIT BREAKER	Ⓢ COMB SMOKE/CO DETECTOR
Ⓢ CIRCUIT BREAKER WITH GROUND FAULT PROTECTION	Ⓢ COMB SMOKE/CO DETECTOR WITH AUDIBLE BASE
Ⓢ FUSED SWITCH WITH GROUND FAULT PROTECTION	Ⓢ HEAT DETECTOR
Ⓢ METER	Ⓢ DUCT SMOKE DETECTOR
Ⓢ AMMETER	Ⓢ MANUAL PULL STATION-DUAL ACTION
Ⓢ VOLTMETER	Ⓢ INDIVIDUAL ADDRESSABLE MODULE WITH RELAY
Ⓢ CURRENT TRANSFORMER	Ⓢ FIRE ALARM CONTROL PANEL
Ⓢ POTENTIAL TRANSFORMER	Ⓢ FIRE ALARM ANNUCIATOR PANEL
Ⓢ ENGINE GENERATOR SET	
Ⓢ AUTOMATIC TRANSFER SWITCH	
Ⓢ ENCLOSED CIRCUIT BREAKER	
Ⓢ DISCONNECT SWITCH	
Ⓢ FUSED DISCONNECT SWITCH	
Ⓢ MOTOR STARTER	
Ⓢ SHUNT TRIP ELEVATOR DISCONNECT SWITCH	
Ⓢ DRY TYPE TRANSFORMER	
Ⓢ CURRENT TRANSFORMER	
Ⓢ UTILITY POLE	
Ⓢ GROUNDING ELECTRODE CONDUCTOR	
Ⓢ GROUND BUSS	
Ⓢ GROUND ROD	
Ⓢ MAN HOLE	
Ⓢ HAND HOLE	
Ⓢ FEEDER SIZE TAG, SEE FEEDER SCHEDULE	
Ⓢ PANELBOARD	
Ⓢ LOAD CENTER	

GENERAL NOTES
(THESE NOTES APPLY TO ALL ELECTRICAL DRAWINGS)
A. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO VISIT THE SITE, PRIOR TO BID, TO VERIFY DIMENSIONS AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS. NO EXTRAS WILL BE GIVEN FOR ADDITIONAL WORK WHICH IS REQUIRED DUE TO CONTRACTOR'S FAILURE TO FAMILIARIZE HIMSELF WITH THE SITE AND FACILITIES.
B. THE ELECTRICAL CONTRACTOR SHALL COORDINATE PHASING OF THE WORK WITH THE GENERAL CONTRACTOR AND THE ARCHITECT.
C. THE ELECTRICAL CONTRACTOR SHALL VERIFY ALL ROUGH-IN REQUIREMENTS FOR ELECTRICALLY OPERATED EQUIPMENT WITH THE EQUIPMENT SUPPLIERS.
D. COORDINATE ELECTRICAL DEVICE LOCATIONS WITH CHAIR RAILS, CORNER GUARDS, DOOR TRIMS, ETC. NOTIFY ARCHITECT OF CONFLICTING LOCATIONS.
E. WHERE USED IN THESE DRAWINGS, THE TERM "PROVIDE" SHALL IMPLY "FURNISH AND INSTALL".
F. ALL WORK SHALL COMPLY WITH THE LATEST ADOPTED STATE AND LOCAL CODES, AS WELL AS FEDERAL, STATE, AND MUNICIPAL REGULATIONS.
G. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL FIELD DIMENSIONS, LOCATIONS AND CONDITIONS PRIOR TO THE PURCHASE OF ANY MATERIALS AND COMMENCEMENT OF WORK. NOTIFY THE ARCHITECT OF ALL DISCREPANCIES THAT WILL AFFECT THE WORK FOR RESOLUTION.

GENERAL ELEC SITE NOTES
1. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS SO THAT HE CLEARLY UNDERSTANDS HIS RESPONSIBILITY IN RELATIONSHIP TO THE WORK TO BE PERFORMED.
2. THE PROJECT DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE PERFORMED. HOWEVER, THE DRAWINGS ARE NOT INTENDED TO SHOW EVERY CONDUIT, FITTING, BOX, EQUIPMENT OR APPURTENANCE REQUIRED TO BE FURNISHED AND INSTALLED OR DISCONNECTED AND REMOVED.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTUAL LOCATIONS OF FACILITIES AND VERIFICATION OF DIMENSIONS. IN ADDITION, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND FOR THE COORDINATION OF WORK OF HIS TRADE SO THAT WORK OF ALL TRADES WILL BE PERFORMED IN AN ORDERLY MANNER AND WITH THE LEAST INTERFERENCE.
4. ALL WORK BY THE CONTRACTOR SHALL BE PERFORMED IN A NEAT, WORKMANLIKE MANNER, SO AS NOT TO DAMAGE ANY NEW OR EXISTING SURFACE, BUILDING COMPONENTS, EQUIPMENT, ETC. WHERE DAMAGE OF SUCH OCCURS, THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR NECESSARY FOR THE COMPLETE RESTORATION OF THE DAMAGED EQUIPMENT OR SURFACE.
5. ALL ELECTRICAL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE 2017 NATIONAL ELECTRICAL CODE.
6. ALL UNDERGROUND RACEWAYS SHALL BE SCHEDULE 40 PVC, AT INDICATED BURIAL DEPTHS. EXTERIOR RACEWAYS ROUTED ABOVE GROUND SHALL BE GALVANIZED RIGID STEEL, CONVERTED UNDERGROUND, PRIOR TO VERTICAL SNEEP. MINIMUM BURIAL DEPTH OF 6" IS PERMITTED USING RIGID STEEL CONDUITS IF DEEMED NECESSARY.
7. CONTRACTOR SHALL COORDINATE THE ROUTING OF THE UNDERGROUND RACEWAYS WITH THE OWNER PRIOR TO EXCAVATION.
8. CONTRACTOR SHALL PATCH ALL EXISTING BITUMINOUS & CONCRETE SURFACES DISTURBED BY WORK OF THIS PROJECT.
9. CONTRACTOR SHALL REPLACE ALL DAMAGED LANDSCAPE MATERIALS INCLUDING, BUT NOT LIMITED TO: GRASS, SHRUBBERY, PLANTS, TREES AND OTHERS AS INDICATED OR DIRECTED IN THE FIELD.
10. CONTRACTOR SHALL PROVIDE ALL NECESSARY POLES, FIXTURES AND ACCESSORIES AS SPECIFIED.
11. CONTRACTOR SHALL COORDINATE FINAL LOCATION OF POLE BASES IN FIELD WITH THE FINAL SITE LIGHTING PLANS. CONTRACTOR SHALL STAKE PROPOSED POLE LOCATIONS AND VERIFY THE LOCATIONS WITH THE OWNER PRIOR TO AUGURING.
12. EXISTING LIGHTING SYSTEMS SHALL BE MAINTAINED OPERATIONAL THROUGHOUT CONSTRUCTION PERIOD UNTIL SUCH TIME THAT ALL NEW FIXTURES ARE OPERATIONAL. TEMPORARY LIGHTING SYSTEMS SHALL BE PROVIDED WHERE NECESSARY.
13. ALL EQUIPMENT SHALL BE UL LISTED AND LABELED.
14. CONTRACTOR SHALL CONTACT THE PA ONE-CALL SYSTEM (800-242-1176) A MINIMUM OF FOUR (4) WORKING DAYS PRIOR TO ANY EXCAVATION.
CONTRACT RESPONSIBILITIES
ALL WORK INDICATED ON THESE DRAWINGS AND RELATED SPECIFICATIONS IS INTENDED TO BE PERFORMED BY THE ELECTRICAL CONTRACTOR UNLESS OTHERWISE NOTED.

POWER-UP ELECTRICAL DESIGN SERVICES, LLC 802 Brush Oaks Dr Altoona, PA 16602 P: (814) 207-8432 mackm@powerupelectricaldesign.com																
PGH Real Estate Holdings, LLC Parking Lot Lighting 125 East Pine Grove Rd Pine Grove Mills, Pa 16868																
<table border="1"> <tr> <td></td> <td>FERGUSON TOWNSHIP REVIEW</td> <td></td> <td></td> </tr> <tr> <td></td> <td>FINAL - ISSUED TO OWNER</td> <td></td> <td></td> </tr> <tr> <td></td> <td>99% OWNER REVIEW</td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td>SUBMISSIONS</td> </tr> </table>		FERGUSON TOWNSHIP REVIEW				FINAL - ISSUED TO OWNER				99% OWNER REVIEW						SUBMISSIONS
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			SUBMISSIONS													
Project No.: 2022-42 Drawn By: mwm Checked By: MWM																
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Sheet Title LEGEND AND GENERAL NOTES																
Sheet No. E0.1																



GENERAL NOTES (THIS SHEET ONLY)

A. REFER TO DWG E0.1 FOR GENERAL NOTES THAT APPLY TO ALL DRAWINGS.

B. ALL RACEWAYS SHALL INCLUDE AN INSULATED EQUIPMENT GROUNDING CONDUCTOR FOR ALL BRANCH CIRCUITS AND FEEDERS. CONDUIT IS NOT PERMITTED TO ACT AS AN EQUIPMENT GROUNDING CONDUCTOR UNLESS OTHERWISE NOTED.

C. CONTRACTOR SHALL DERATE CONDUCTORS WHERE FOUR (4) OR MORE CURRENT CARRYING CONDUCTORS ARE INSTALLED IN ANY SINGLE RACEWAY. INCREASE CONDUCTOR SIZE IN ACCORDANCE WITH NEC ART 315.B.2.4.

D. BRANCH CIRCUITS SHALL CONSIST OF CONDUCTORS NO SMALLER THAN 12AWG FOR 20 AMP CIRCUITRY.

E. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL ROUGH-INS WITH OTHER TRADES FOR ALL ELECTRICAL SERVICES REQUIRED BY OTHER TRADES.

F. ALL UNDERGROUND RACEWAYS SHALL BE INSTALLED A MINIMUM 24" BELOW FINISHED GRADE WITH LOCATOR TAPE BURIED 1'-0" BFG.

KEY NOTES

- 1 EXISTING ELECTRICAL SERVICE PANEL TO REMAIN. PROVIDE NEW AREA LIGHTING BRANCH CIRCUIT BREAKER AND REVISE EXISTING SCHEDULE. ALL NEW OVERCURRENT PROTECTIVE DEVICES SHALL MATCH EXISTING MFR AND TYPES FOR NEW AREA LIGHTING BRANCH CIRCUIT.
- 2 INSTALL NEW AREA LIGHTING BRANCH CIRCUIT IN 3/4" EMT CONDUIT ALONG BASEMENT WALL FROM EXISTING SERVICE PANEL TO LOCATION OF NEW JUNCTION BOX. INSTALL AS HIGH AS POSSIBLE ON BASEMENT WALL.
- 3 INSTALL NEW 12"x12"x4" SCREW COVER JUNCTION BOX AT ELEVATION ON BASEMENT WALL TO INTERCEPT EXTERIOR UNDERGROUND RACEWAY ENTRIES INTO BUILDING.
- 4 INSTALL BUILDING MOUNTED AREA LIGHTING CONDUIT ON EXTERIOR WALL UP TO FIXTURE LOCATION UNLESS FISHING IN INTERIOR WALLS IS POSSIBLE.
- 5 ALL BUILDING EXTERIOR WALL PENETRATIONS SHALL BE SEALED WATERTIGHT.
- 6 NEW UNDERGROUND DIRECT BURIED AREA LIGHTING BRANCH CIRCUIT CONSISTING OF ONE (1) 1" PVC SCH40 DIRECT BURIED CONDUIT. REFER TO DIAGRAMS FOR CONDUCTOR INFORMATION.

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Parking Lot Lighting
125 East Pine Grove Rd
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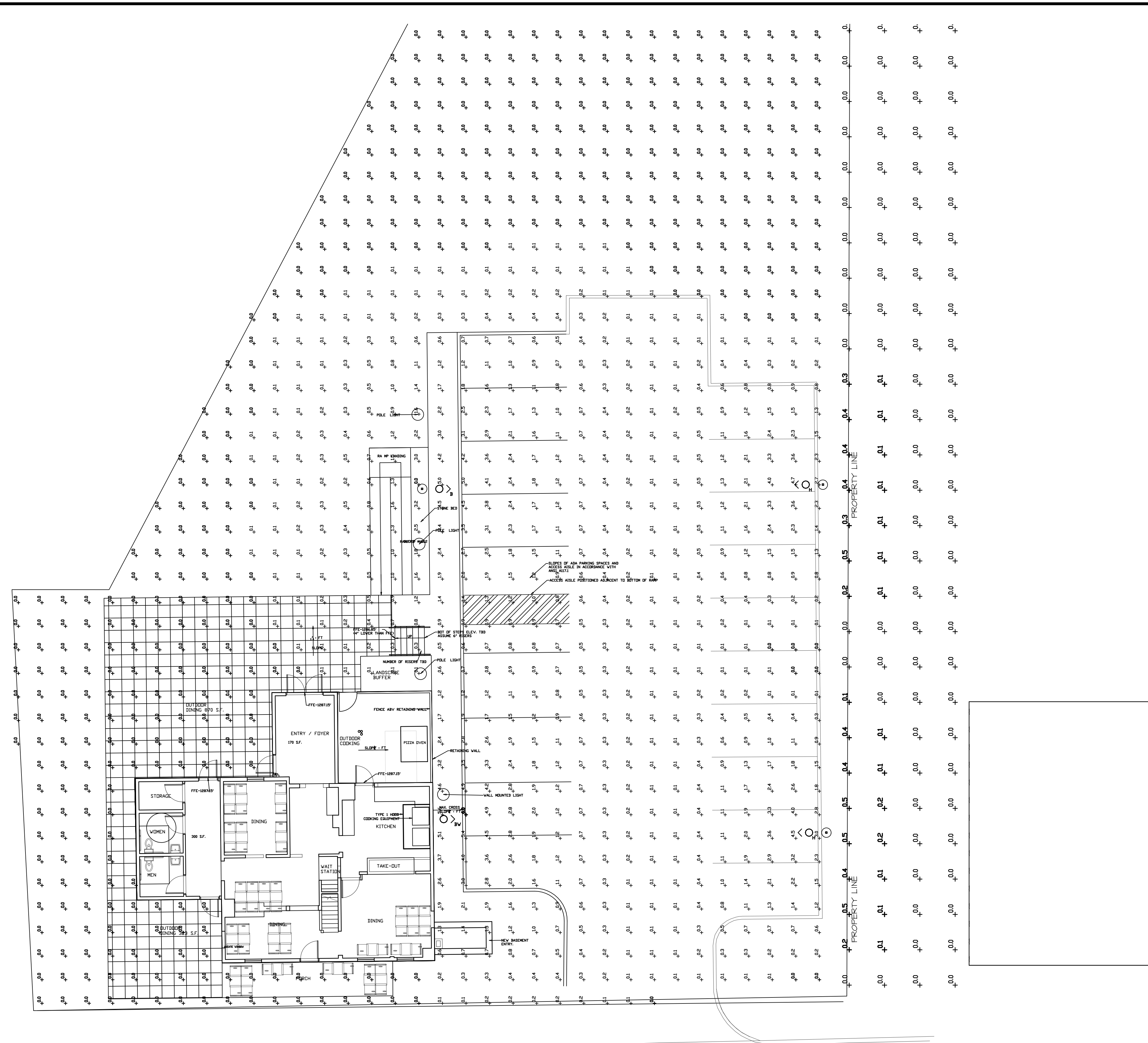
SUBMISSIONS	
11-10-22	FERGUSON TOWNSHIP REVIEW
10-4-22	FINAL - ISSUED TO OWNER
9-29-22	99% OWNER REVIEW

Project No.: 2022-42
Drawn By: mwm
Checked By: MWM

Sheet Title
SITE PLAN

Sheet No.
E1.0

PARTIAL SITE PLAN - SITE LIGHTING
SCALE: 1/8" = 1'-0"
SCALE: 1/8" = 1'-0"



Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FULL SITE	+	0.5 fc	6.0 fc	0.0 fc	N/A	N/A
SPARROW ST	+	0.1 fc	0.5 fc	0.0 fc	N/A	N/A
ADJACENT HOUSE GLARE SIDE(Copy)	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
-O>	A		0	Lumica	CP04XX 12LE005 20W 120V L4 30K	Concept	1	2170	0.89	21.9	Max: 937cd
-O>	B		1	Lumica	CP04XX 24LE005 40W 120V L4 30K	Concept	1	4339	0.89	42	Max: 1874cd
-O>	H		2	Lumica	CP04XX 12LE005 20W 120V L4 30K HSS	Concept	1	1738	0.89	21.79	Max: 874cd
O>	BW		1	Lumica	CP04XX 24LE005 40W 120V L4 30K	Concept	1	4339	0.89	42	Max: 1874cd

NOTES FOR PLAN REVIEWER

THE PREVIOUS SUBMISSION TO FERGUSON TOWNSHIP WAS REJECTED BASED ON LIGHTING LEVEL CALCULATIONS AT THE PROPERTY LINE EXCEEDING THE FERGUSON TOWNSHIP LIGHTING ORDINANCE REQUIREMENTS.

THE DESIGNER HAS REVIEWED THE CALCULATIONS AND THE FOLLOWING CHANGES WERE MADE TO MEET THE MAINTAINED MAXIMUM LIGHTING LEVELS AT THE PROPERTY LINE BASED ON TABLE 127 OF SECTION 4-127 IN THE ORDINANCE (0.5FC MAX MAINTAINED):

FIXTURE SUPPORT ARM LENGTHS WERE CONFIRMED AND MORE ACCURATELY REPRESENTED IN THE CALCULATION. FIXTURE SPACING FROM POLE TO CENTER OF LAMP INCREASED BY 1'-0".

POLE BASE LOCATIONS WERE READJUSTED TO BE AS FAR AWAY FROM THE PROPERTY LINE AS POSSIBLE WHILE NOT INFRINGING ON THE PHYSICAL CURBS OF THE PARKING AREA.

BASED ON THE SLOPING GRADE AT THE SITE, CALCULATION LEVELS ARE MORE ACCURATELY REPRESENTED BASED ON THE KNOWN GRADE SLOPING FROM WEST-TO-EAST ON THE SITE. THIS WAS RECREATED IN THE CALCULATION SOFTWARE.

POLE HEIGHTS WERE NOT CHANGED AS THE DESIGNER IS STRIVING TO NOT IMPOSE LAMP GLARE INTO THE ADJACENT RESIDENCE WINDOWS WHILE MEETING THE TOWNSHIP'S REQUIREMENTS.

SITE LIGHTING PHOTOMETRICS
 SCALE: NONE
 E.I.1

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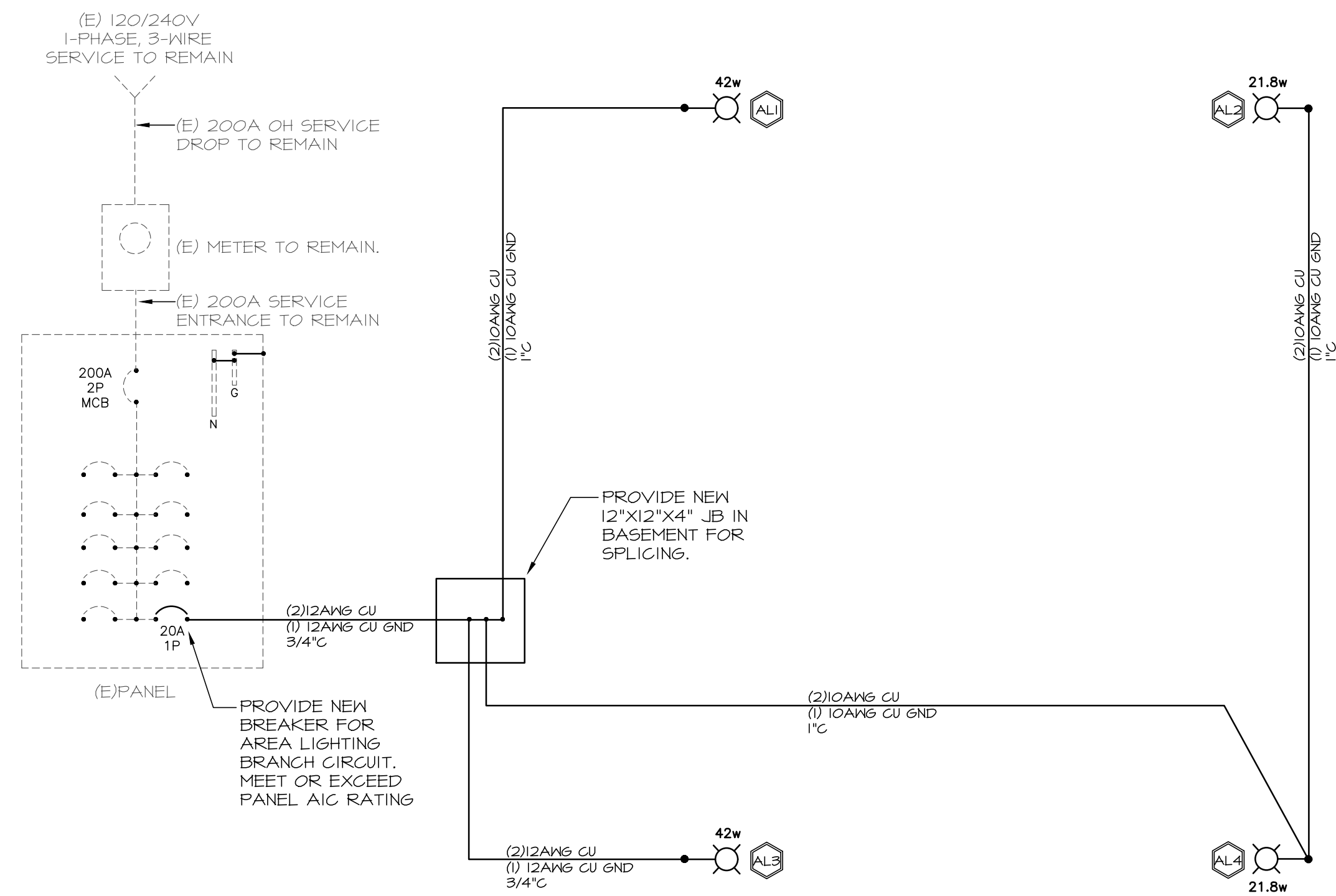
REVISION	DATE	BY	DESCRIPTION
FERGUSON TOWNSHIP REVIEW	11-10-22		
FINAL - ISSUED TO OWNER	10-4-22		
99% OWNER REVIEW	9-29-22		
SUBMISSIONS			

Project No.: 2022-42
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 Checked By: MWM

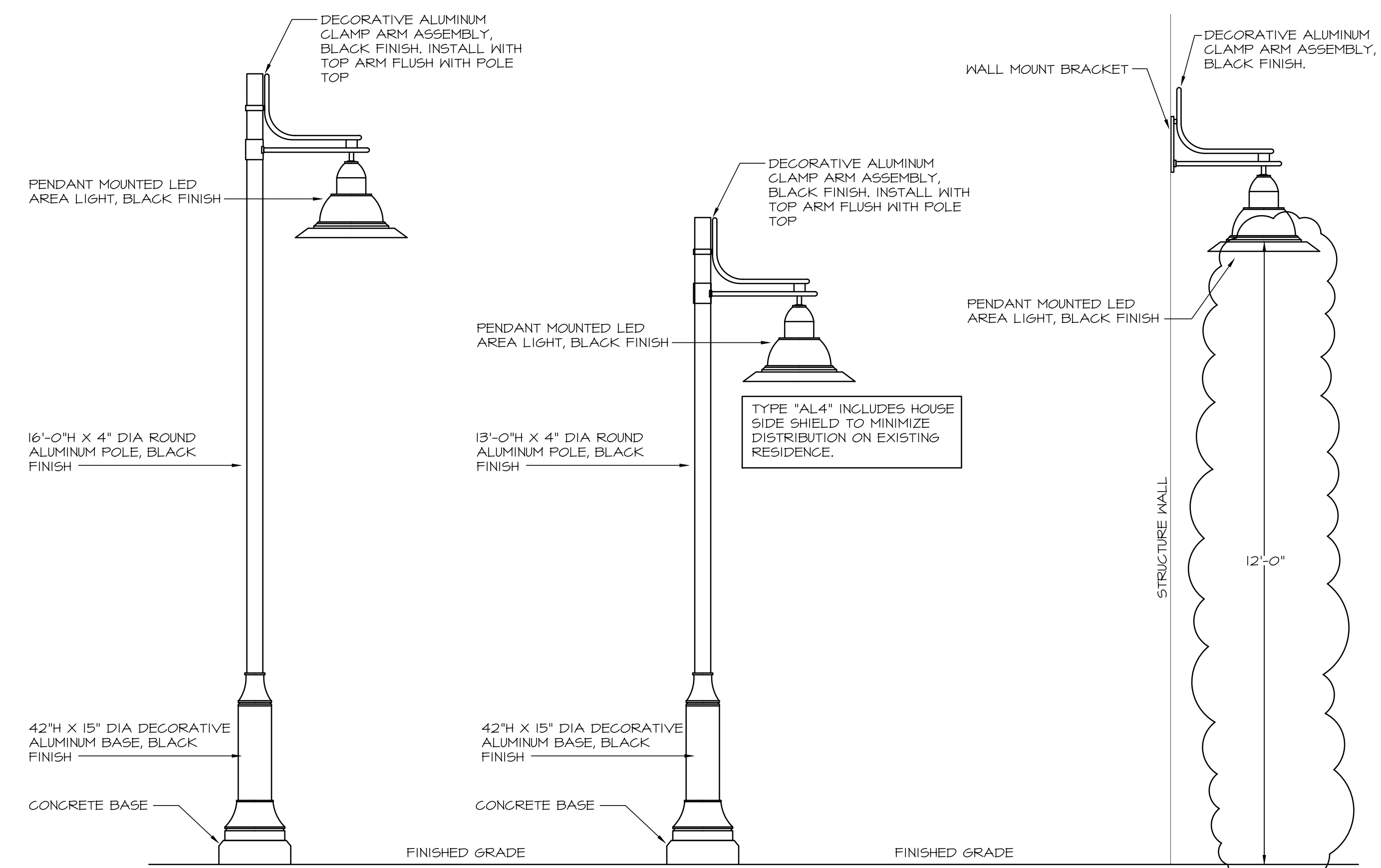
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Sheet Title
LIGHTING CALCULATIONS

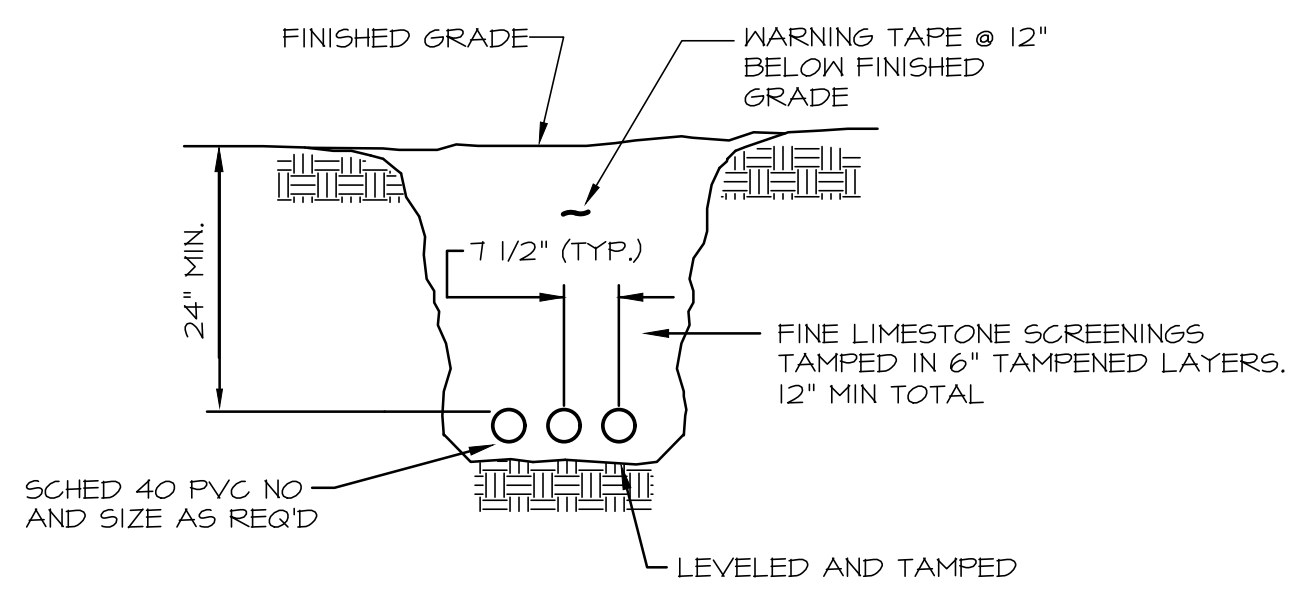
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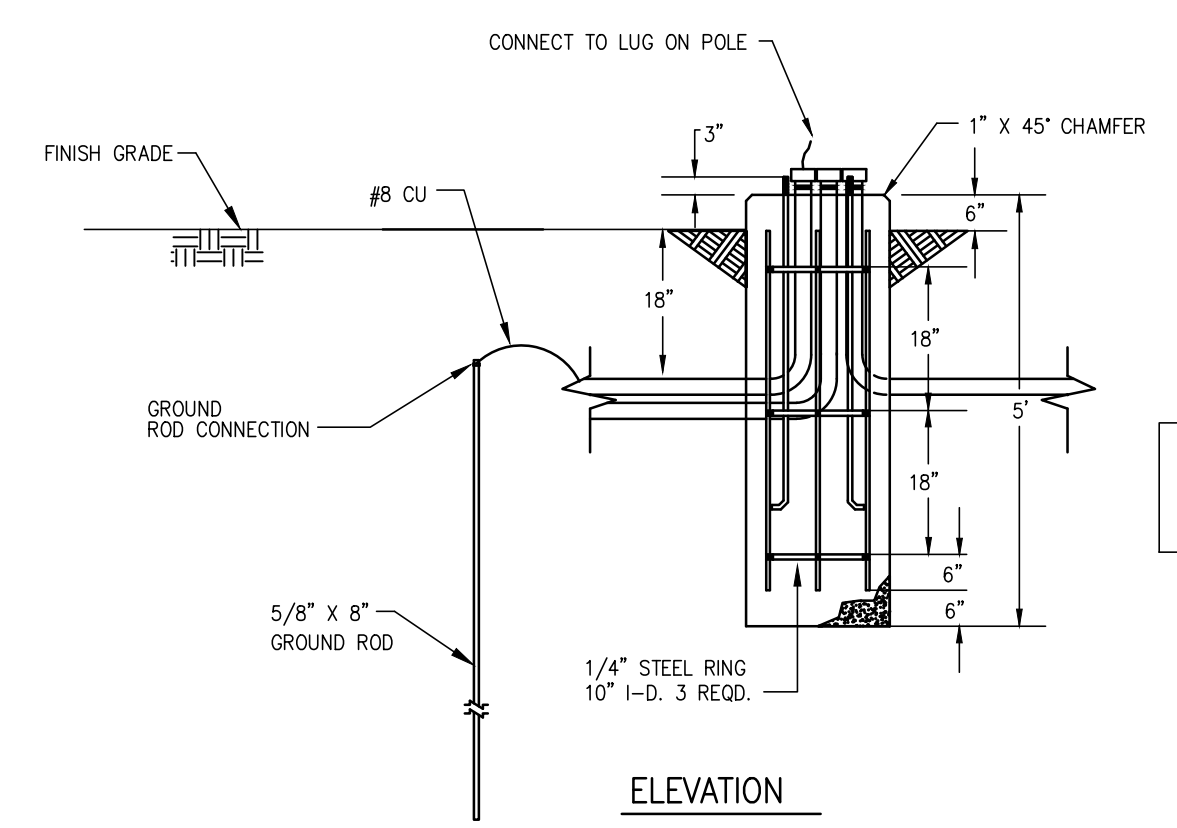
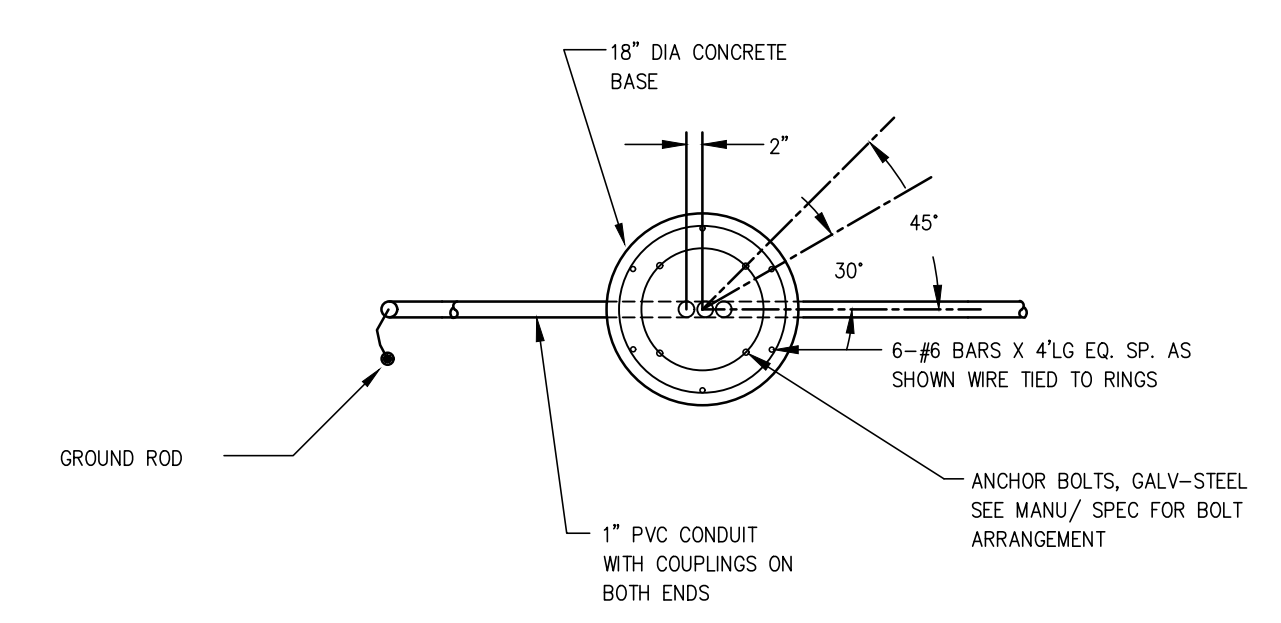
1 PARTIAL BUILDING 1-LINE DIAGRAM
 E2.0 SCALE: NONE



2 SITE LIGHTING ASSEMBLY DETAILS
 E2.0 SCALE: NONE



3 DIRECT BURIED CONDUIT DETAIL
 E2.0 SCALE: NONE NOTE: NUMBER OF CONDUITS MAY VARY



4 LIGHT POLE BASE DETAIL
 E2.0 SCALE: NONE

SITE LIGHTING FIXTURE SCHEDULE

FIXTURE DESIGNATION	ASSEMBLY/FIXTURE DESCRIPTION	LUMINAIRE INFORMATION				POLE/MOUNTING INFORMATION				REMARKS			
		NUMBER OF LAMPS AND RESPECTIVE WATTAGE	LUMINAIRE MANUFACTURER	LUMINAIRE MODEL NUMBER	VOLTAGE	LUMINAIRE MOUNTING	ASSY WATTAGE	TOTAL QTY	TOTAL WATTAGE				
AL1	SINGLE ARM POLE MOUNTED LED AREA LIGHT TYPE IV DISTRIBUTION	40 WATT 3000K LED	LUMCA	CPM0406-EKF-24LED05-40W-30K-L4-120-BK-BTP	120	SINGLE ARM	42	1	42	16'-0", 4"DIA ROUND STRAIGHT ALUMINUM W/ DECORATIVE BASE AND ARM	16'H 4"DIA .188"TH	ARM: LUMCA M1A-CF42-BK BASE: LUMCA WB15 (42'H)	POLE ARM AND FIXTURE TO BE BLACK FINISH. PROVIDE BUTTON TYPE PHOTOCELL ON LUMINAIRE. POLE MIN 5.2EPA 9000PH
AL2	SINGLE ARM POLE MOUNTED LED AREA LIGHT TYPE IV DISTRIBUTION	20 WATT 3000K LED	LUMCA	CPM0406-EKF-12LED05-20W-30K-L4-120-BK-BTP	120	SINGLE ARM	22	1	22	13'-0", 4"DIA ROUND STRAIGHT ALUMINUM W/ DECORATIVE BASE AND ARM	13'H 4"DIA .188"TH	ARM: LUMCA M1A-CF42-BK BASE: LUMCA WB15 (42'H)	POLE ARM AND FIXTURE TO BE BLACK FINISH. PROVIDE BUTTON TYPE PHOTOCELL ON LUMINAIRE. POLE MIN 5.2EPA 9000PH
AL3	SINGLE ARM WALL MOUNTED LED AREA LIGHT TYPE IV DISTRIBUTION	40 WATT 3000K LED	LUMCA	CPM0406-EKF-24LED05-40W-30K-L4-120-BK-BTP	120	SINGLE ARM	42	1	42	DECORATIVE ARM WITH WALL MOUNT BRACKET	N/A	ARM: LUMCA MA-CF42-BK	ARM AND FIXTURE TO BE BLACK FINISH. PROVIDE BUTTON TYPE PHOTOCELL ON LUMINAIRE. 12'-0" MH
AL4	SINGLE ARM POLE MOUNTED LED AREA LIGHT TYPE IV DISTRIBUTION WITH HOUSE SIDE SHIELD	20 WATT 3000K LED	LUMCA	CPM0406-EKF-12LED05-20W-30K-L4-120-BK-BTP-HSS	120	SINGLE ARM	22	1	22	13'-0", 4"DIA ROUND STRAIGHT ALUMINUM W/ DECORATIVE BASE AND ARM	13'H 4"DIA .188"TH	ARM: LUMCA M1A-CF42-BK BASE: LUMCA WB15 (42'H)	POLE ARM AND FIXTURE TO BE BLACK FINISH. PROVIDE BUTTON TYPE PHOTOCELL ON LUMINAIRE AND HOUSE SIDE SHIELD. POLE MIN 5.2EPA 9000PH

NOTE: ALL LED LAMPS SHALL INCORPORATE A MIN 70 CRI

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9-29-22	99% OWNER REVIEW	

Project No.: 2022-42
 Drawn By: mwm
 Checked By: MWM

DETAILS AND DIAGRAMS

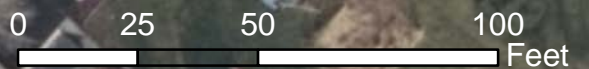
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125 East Pine Grove Road

Sparrow Alley

East Pine Grove Road





TOWNSHIP OF FERGUSON

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Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: Planning Commission

FROM: Kristina Bassett, Community Planner

DATE: January 9, 2023

SUBJECT: Application for Consideration of a Modification/Waiver

On November 14, 2022, PGH Real Estate Holdings, LLC requested a waiver from Chapter 22-5C01.1.B – Off-Street Parking and Loading. The 125 East Pine Grove Road Preliminary Land Development Plan proposes the conversion of a single-family home into a restaurant with indoor and outdoor dining areas. The property is located at 125 East Pine Grove Road (24-009A-030-0000) and is zoned Village (V). It is approximately 0.496 acres.

The applicant is requesting to provide 19 parking spaces on-site instead of 21 spaces as required by ordinance. The applicant noted that 21 parking spaces does not make sense with the intended use of the building and the property is not large enough to provide two additional spaces.

Staff has reviewed the request and isn't recommending any conditions given that there is on-street parking located near the proposed restaurant.

Recommended Motion: Move that the Planning Commission recommend granting of the Request for Waiver from §22-5C01.B.—Off-Street Parking and Loading to the Board of Supervisors.

Staff Recommendation: That the Planning Commission recommend granting of the request.



STATE OF PLANNING ANNUAL REPORT 2022

**FERGUSON TOWNSHIP
PLANNING & ZONING DEPARTMENT**

PREPARED DECEMBER 2021

2021 ANNUAL REPORT OF ACTIVITIES FOR:

Ferguson Township Planning Commission Ferguson Township Planning & Zoning Department

In 2021, the Planning Commission held 16 regular meetings and 1 joint meeting with the Ferguson Township Board of Supervisors to discuss community-wide planning issues.

PLANNING COMMISSION

- Jeremie Thompson, Chair
- Jerry Binney, Vice-Chair
- Rob Crassweller, Secretary
- Ralph Wheland
- William Keough
- Shannon Holliday
- Dr Ellen Taricani
- Qian Zhang - Alternate
- Lisa Rittenhouse - Alternate
- Lewis Steinberg - Alternate



PLANNING STAFF

- Jenna Wargo, AICP, Planning & Zoning Director
- Jeff Ressler, Zoning Administrator
- Kristina Bassett, Community Planner

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COMMUNITY PLANNING

Annual Activities

Each year, the Planning Commission completes a number of routine activities. In 2022, these activities included reviewing and preparing a 2022 Work Program and meeting schedule, providing reports and recommendations to Board of Supervisors, and commenting on the proposed Capital Improvements Program for 2023-2027.

2022 Work Program

The Board of Supervisors reviewed and approved the 2022 Planning Commission Work Program during their January 24, 2022 meeting. Key responsibilities of Planning Commission in 2022 were to:

- meet PA Municipalities Planning Code (MPC) requirements;
- perform mandated land development and subdivision review;
- review the Township's Zoning and Subdivision and Land Development ordinances;
- review the Township's Official Map amendments;
- Assist in the implementation of the Pine Grove Mills Small Area Plan and navigate a post-pandemic economy and the impacts on land use.

Other task performed by the Planning Commission:

- review MP Machinery's Parking Analysis;
- review Burkett Farm application for Agricultural Security Area
- participated in the Strategic Plan Survey
- review an application for a text amendment to allow wireless communication facilities in the TTD;
- review an application for a text amendment to allow home burials in the TSD and Source Water Protection Zone II;
- reviewed the mobile food truck ordinance;
- reviewed an ordinance amendment to wireless communication facilities in accordance to The Small Wireless Facilities Deployment Act (Act 50), Chapter 21-Streets and Sidewalks and Chapter 27-Zoning, Section 710-Wireless Communication Facilities, and Section 1102, Definitions were amended as a result;
- investigated elder cottages as a use in various zoning districts;
- examined design guidelines, the vision for the Terraced Streetscape District and develop a Request for Proposals (RFP) for professional services to rewrite the zoning district ordinance;
- participate in public meetings and a charrette with consultant for the Terraced Streetscape District rewrite;

2022 FERGUSON TOWNSHIP PLANNING COMMISSION WORK PROGRAM

Approved by Planning Commission on : December 7, 2021
Approved by Board of Supervisors on : December 13, 2021

Key: I= Initiate Planning, IP= In Progress

BOS=Refer to Board of Supervisors

R/C=Review and Comment, C=Complete

H = High, M = Medium, L = Low

ROUTINE ACTIVITIES		Priority	Board Goals	1st Qtr	2nd Qtr	3rd Qtr	4th Qtr	Comments
1	Plan Reviews	H	These activities vary greatly in their scope and support the Strategic Plan Goals	All routine items take place on an as needed basis.				Ferguson Township Long Range Growth Management Plan
2	Subdivision Reviews	H						
3	Items referred by the Board	H						
4	Capital Improvements Program	H						
5	Interaction with CRPC	H						
6	FTPC Reports to the Board	H						
7	State of Planning Report	H						

ORDINANCE AMENDMENTS		Priority	Board Goals	1st Qtr	2nd Qtr	3rd Qtr	4th Qtr	Comments
8	Terraced Streetscape District Rewrite	H	Goal 3: Growth Management	—			→	RFP to be posted 1st quarter
9	Zoning/SALDO Ordinance Amendments	H	Goal 3: Growth Management	IP				
10	Village Zoning District	M	Goal 3: Growth Management			R/C	BOS	This will involve coordination with PGMAC and FTPW
11	Riparian Buffer Ordinance Review	M	Goal 4: Environmental Stewardship		R/C			
12	TSD/PGM Ped Mobility Connection Possibilities - Official Map Review	H	Goal 3: Growth Management	IP				
13	Act 50 Ordinance Amendment	M	Goal 3: Growth Management		R/C			
14	Minor Alteration Process Review	H	Goal 3: Growth Management	R/C				

PLAN IMPLEMENTATION & REVISIONS		Priority	Board Goals	1st Qtr	2nd Qtr	3rd Qtr	4th Qtr	Comments
15	Assist with implementation activities as identified in the Pine Grove Mills Small Area Plan	M	These activities vary greatly in their scope and support the Strategic Plan	As needed				Implementation of priority recommendations/items and identification of partnerships/resources needed.
16	Participate in revisions to the 2009 Recreation, Park, and Open Space Plan	H	Goal 4: Environmental Stewardship	As needed				This will involve coordination with Ferguson Township Parks Committee

ADDITIONAL DUTIES		Priority	Board Goals	1st Qtr	2nd Qtr	3rd Qtr	4th Qtr	Comments
17	Alley and Private Streets Study	L	Goal 3: Growth Management	—			→	This will involve coordination with FTPW
18	Recreation Economy in Ferguson Township	L	Goal 2: Economic Development	R	—		→	This will involve coordination with PGMAC
19	Elder Cottages Research	L	Goal 3: Growth Management	—			→	
20	Provide input and technical assistance where necessary to the Ferguson Township Climate Action Ad Hoc Advisory Board	L	Goal 4: Environmental Stewardship	As needed				

Capital Improvement Program

The Capital Improvement Program is a planning document used for the Township's budget process. The program identifies capital projects, provides a planning schedule and identifies options for financing the plan. It is the link between the Township's annual budget and the Comprehensive Plan and Strategic Plan.

The process for preparing the 2023-2027 Capital Improvements Program (CIP) kicked off May 2021. In order for staff to begin drafting the 2023-2027 CIP, staff requested Planning Commission to review the previous CIP, for feedback on the projects that were previously approved.

ZONING UPDATE

Ordinance Updates

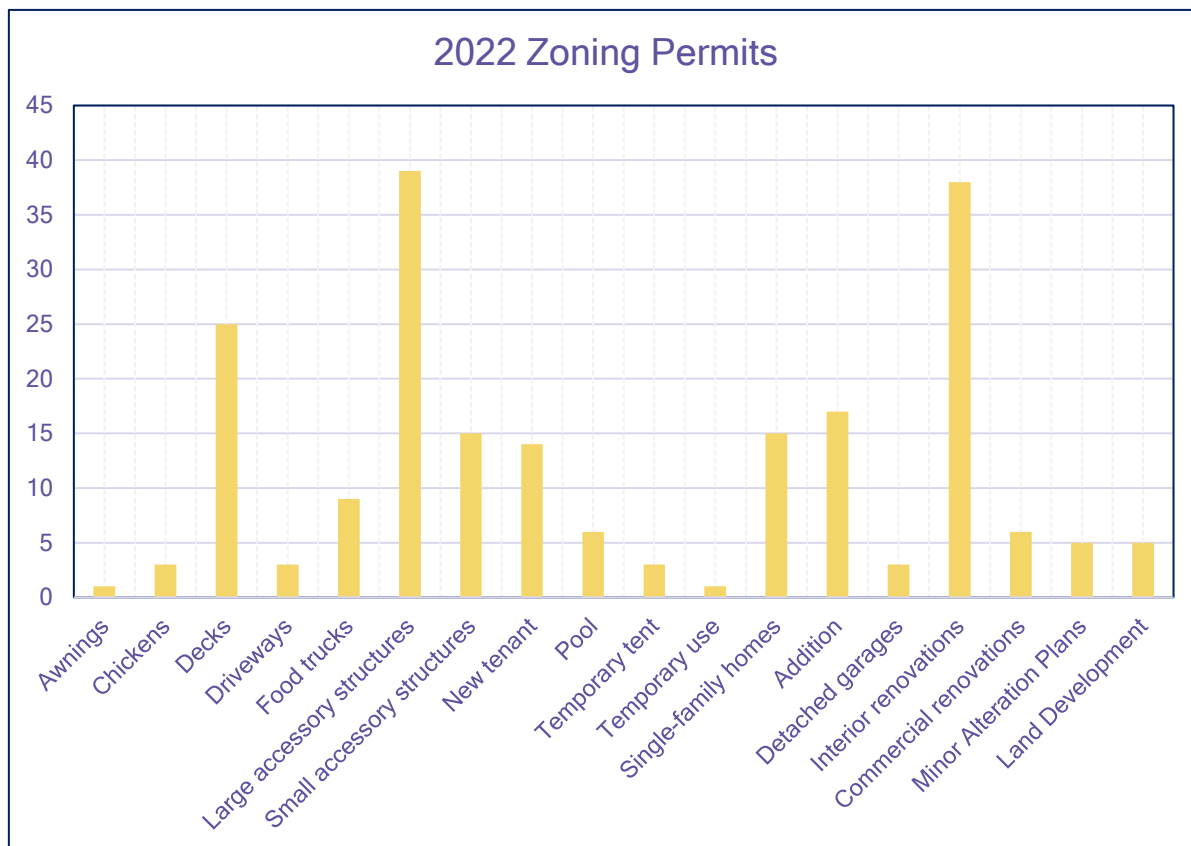
- Chapter 16, Parks and Recreation, Part 1, Section 106, Regulated Uses and 107, Centre Region Parks and Recreation Department. (Ordinance 1076 3/15/2022)
 - This part of the ordinance was amended to allow for Mobile Food Truck vendors in Parks.
- Chapter 22, Subdivision and Land Development, Section 202, Definitions, Section 301, General, Section 303, Review of Preliminary Plan, Section 304, Review of Final Plan, Section 306, Minor Subdivision and Minor Alteration Plan, Section 401, Preliminary Plan Contents and Review, Section 506, Water Supply, Section 5C01, General Regulations, Section 5C02, Bicycle Parking Regulations and Establishing Section 516, Landscaping. (Ordinance 1076 3/15/2022)
 - This part of the ordinance updated errors and omissions from the November 19, 2019 comprehensive update.
- Chapter 27, Zoning, District Regulations, Section 205.13, Rural Agriculture (RA) District Quick, Section 205.3 Agriculture Research (AR) District Quick, Section 209, Yard Requirements, Section 302, Planned Residential Development (PRD), Section 303, Traditional Town Development, Section 304, Terraces Street (TS) District, Section 401, Corridor Overlay District Requirements, Section 502, Standards for Specific Uses, Section 702, Slope Controls, Repealing 707, Landscaping, Amending 713, Solar Collectors and Solar-Related Equipment, Section 717, Bed and Breakfast, Section 718, Regional Parks and Outdoor Recreational Facilities, Section 719, Short-Term Rentals, Section 721, Home Occupation, Section 722, Temporary Used, Section 723, Food Trucks, Section 905, Occupancy Permits and Section 1102, Definitions. (Ordinance 1076 3/15/2022)
 - This part of the ordinance updated errors and omissions from the November 19, 2019 comprehensive update.



- Code of Ordinances, Appendix D, Official Map (Ordinance 1077 5/16/2022)
 - This amendment updated the Bike Facilities on the Official Map for consistency with the recently updated Regional Bike Plan.
- Chapter 16, Parks and Recreation, Section 101, Definitions, Section 102, Interpretation of Rules and Regulations, Section 103, Conduct Prohibited in Parks, Section 105, Traffic Control, Section 106, Regulated Uses, and Section 107, Centre Region Parks and Recreation Department (Ordinance 1078 8/16/2022)
 - This ordinance was amended for consistency with amendments made to Chapter 27, Section 723 - Mobile Food Vendors.
- Chapter 27, Zoning, Part 7, Supplemental Regulations, Section 710, Tower-Based Wireless Communications Facilities and Part 11, Definitions; Section 1102, Definitions. (Ordinance 1080 11/1/2022)
 - This amendment removed all Small Wireless Facilities regulations from Chapter 27, Zoning.
- Chapter 21, Streets and Sidewalks, Part 6, Non-Tower Small Cell Wireless Communication Facilities in the Right-of-Way (Ordinance 1080 11/1/2022)
 - This ordinance established regulations for Non-Tower Small Cell Wireless Communication Facilities in the Right-of-Way for compliance with Act 50.

Zoning Permits

In 2022, The Ferguson Township Zoning Administrator approved 208 zoning permits. \$10,870 were collected from permit fees. The most requested permit was for Large Accessory Structures Renovations with 39. Large accessory structures include large sheds, solar



installations, electric vehicle charging stations and antenna. Second most permits issued were for Interior Renovations (residential) with 38 permits.

Conditional Uses

A use permitted by right is a use expressly permitted in a zoning ordinance for which the zoning officer has authority to determine conformance with ordinance requirements and approve and issue a zoning permit. A use permitted by conditional use is also expressly permitted in a zoning ordinance, and subject to a hearing and decision of the governing body. The function of these public hearings is to determine whether the conditional use application is consistent with the public interest as expressed in specific standards and criteria established in the zoning ordinance. Planning Commission reviews and makes recommendations to the Board of Supervisors on Conditional Uses before the public hearing. In 2022, Planning Commission reviewed one conditional use application.

- Farmstead View Flag Lot

An application for a conditional use permit for property located at 139 Farmstead Lane (TP: 24-022-306-0000) requesting to subdivide the lot and create a flag lot. A flag lot is permitted through the Conditional Use process.

Decision: The Board of Supervisor's granted the Applicant's request for a Conditional Use as a flag lot on **April 19, 2022**.

Modification/Waivers

A Modification and waiver is a use permitted in a subdivision and land use ordinance (SALDO) for which the Board of Supervisors has authority to grant a modification or waiver from a provision of said ordinance due to a hardship to the applicant because of peculiar conditions pertaining to the particular property. The Township may impose conditions when granting any modification and/or waiver. The Planning Commission shall review all modifications and/or waivers to determine compliance with the requirements of the ordinance and shall provide its recommendation for action, along with any conditions to be imposed upon approval, to the Board of Supervisors.

- Rogan/264 Sycamore Drive Land Development Plan - Requested a modification/waiver from Chapter 22.401.C.1.g - General, landscaping plan and lighting plan. The Subdivision was a minor subdivision. Planning Commission recommended approval to the Board of Supervisors with no additional conditions. Approval was received at the March 15, 2022 Regular Board of Supervisors Meeting.
- Centre Animal Veterinary Hospital (Tussey Tracks, LLC) - Requested a modification/waiver from Chapter 22.5A09 - Streetscape Design Standards. The plan was located in the Terraced Streetscape Zoning District. Section 22-5A09 of the Ferguson Township Code of Ordinances requires a specific set of design standards for the zoning district. The TSD design guidelines were to be reviewed in an upcoming rewrite, applicant requested to maintain current 6' sidewalks along property. Planning Commission recommended approval to the Board of Supervisors with no additional conditions. Approval was received at the April 5, 2022 Regular Board of Supervisors Meeting.
- Farmstead View Subdivision - Requested a modification/waiver from Chapter 22.515.3.D.2–Tree Preservation and Protection. This section of the ordinance requires the applicant to preserve 20% of the existing tree canopy in good condition, non-invasive species and in line with the Zoning Ordinance Regulations. The proposed plan showed 17.3% of existing tree canopy being

saved and remediation of the remaining 2.7%. Planning Commission recommended approval (with a 5-2 vote) to the Board of Supervisors and recommended to the developer to save the Red Pine Tree. The Board of Supervisors unanimously denied the modification/waiver request at the April 19, 2022 meeting.

- Nittany Dental - Requested a modification/waiver from Chapter 22.301–General. This section of the ordinance defines the subdivision and land development review process. The request was to have the plan proceed as a Minor Alteration Plan. Staff recommended the plan to proceed as a Minor Land Development Plan as it did not meet the criteria for a Minor Alteration Plan. Planning Commission recommended denial of the modification/waiver as submitted but recommended approval of the plan to proceed as a Minor Land Development Plan to the Board of Supervisors. The Board of Supervisors unanimously approved the modification/waiver request to proceed as a Minor Land Development Plan at the April 19, 2022 meeting.
- Aaron Plaza (500 West Aaron Drive, Building 1, Suite1) - Requested a modification/waiver from Chapter 22.306.1&2–Minor Alteration Plan. This section of the ordinance permits any change in use that doesn't result in additional parking on-site to proceed as a minor alteration plan. The applicant requested to proceed with only a zoning permit as only interior renovations were proposed. Planning Commission recommended approval of the modification/waiver request to the Board of Supervisors with the condition the applicant supplies the net square foot interior calculation to be a part of the zoning permit.
- Centre Volunteers in Medicine @ 2026 Sandy Drive - Requested a modification/waiver from Chapter 22.301–General. This section of the ordinance defines the subdivision and land development review process and requires certain proposals to proceed as a preliminary and then final land development plan. Preliminary/final land development plan or a minor alteration plan. The request was to have the plan proceed as a Minor Land Development Plan. Planning Commission recommended approval of the modification/waiver request to the Board of Supervisors. The Board of Supervisors unanimously approved the

modification/waiver request to proceed as a Minor Land Development Plan at the
May 3, 2022 meeting.

PLAN REVIEWS

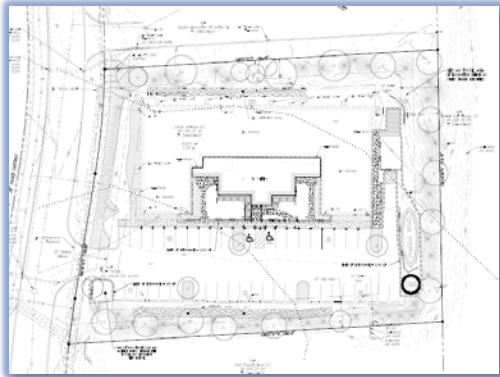
Land Development Plans

264 Sycamore Drive Preliminary/Final LDP

This land development plan proposed to construct a single-family home located at 264 Sycamore Drive. The 7.57-acre lot contains slopes that are greater than 25%, therefore a land development plan is required.

The plan was approved by the Board of Supervisors on March 16, 2022.

Centre Volunteers in Medicine Land Development Plan



This land development plan proposed the expansion of the existing building. The building will be expanded in the front by enclosing two alcoves bringing the footprint of the building to 13,107 square feet. Accessibility to the building from the parking lot will be improved as well.

The plan was approved by the Board of Supervisors on
May 3, 2022.

Orchard Square Final Land Development Plan

The land development plan proposed the construction of a 19,856 square foot Commercial/retail shopping center with associated parking and utilities. As proposed, there will be 3 retail store fronts and 119 parking spaces, including 5 ADA handicap spaces provided. The retail spaces are proposed to be 10,722 square feet, 6,483 square feet and 2,566 square feet.



The final plan was approved by the Board of Supervisors on April 5, 2022.

Centre Animal Hospital Land Development Plan

This land development plan proposed the construction the addition of 620 square feet to the existing 5,551 square foot building. Also proposed was the reconfiguration and expansion of the parking lot for better flow.

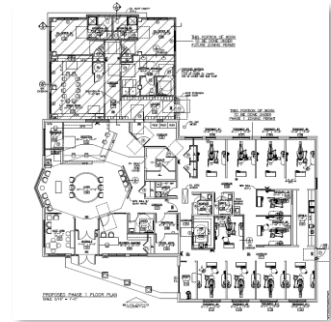
The plan was conditionally approved by the Board of Supervisors on July 19, 2022



Nittany Dental Minor Land Development Plan

The minor land development plan proposed a 1,603 square foot addition to the existing building enclosing the drive-thru canopy for additional office space.

The final plan was conditionally approved by the Board of Supervisors on July 19, 2022.



165 Volos Lane Minor Land Development Plan

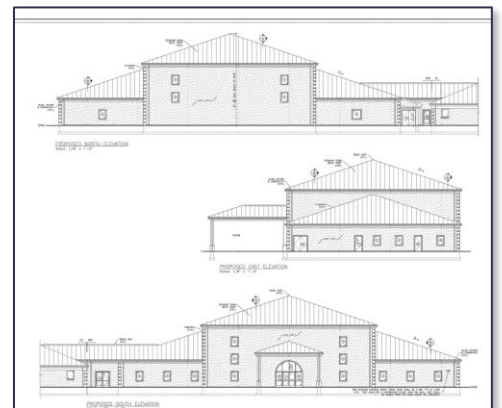
The land development plan proposed to construct a second residential home on the lot. The Board of Supervisors will determined that sidewalks are required.

The final plan was conditionally approved by the Board of Supervisors on September 20, 2022.

Salvation Baptist Church Preliminary Land Development Plan

The land development plan proposed a fellowship hall and garage adjacent to the existing church. The fellowship hall and garage were on the original 2004 Church LDP but was never constructed.

The preliminary plan was conditionally approved by the Board of Supervisors on November 1, 2022.

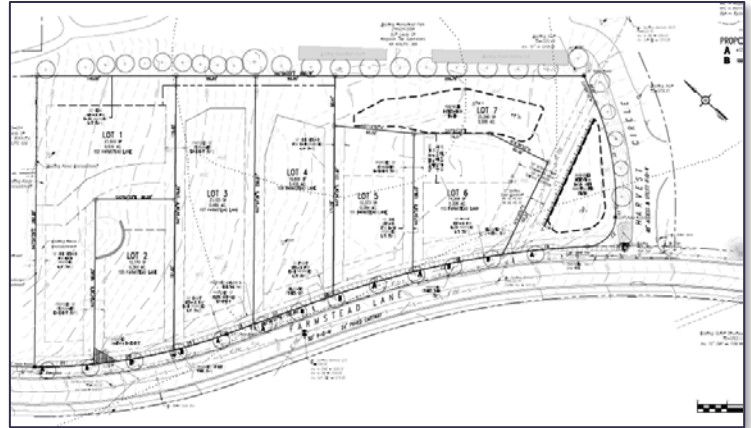


Subdivision/Replot Plan Reviews

Farmstead Lane Preliminary Subdivision

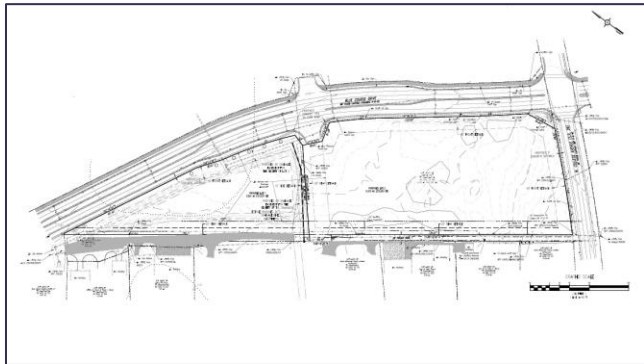
This subdivision plan proposed to subdivide the lot at 137 Farmstead Lane into seven lots, six lots for single-family homes and one stormwater retention lot.

The plan was conditionally approved by the Board of Supervisors on June 21, 2022.



Imbt Preliminary Subdivision

This subdivision plan proposed to subdivide Tax Parcel 24-004-,017A,0000- into one Commercial lot and one stormwater management lot. Located on the northwest corner of Blue Course Drive and West College Avenue. The current lot is approximately 9.25 acres and is zone General Commercial (C). Proposed Lot 1 will be 6.313 acres and proposed Lot 2 will be 2.921 acres.

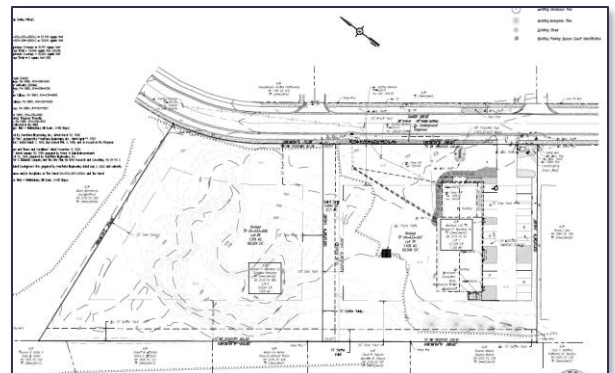


The plan was approved by the Board of Supervisors on September 6, 2022.

2151 Sandy Drive and 2161 Sandy Drive Replot (MP Machinery)

This minor subdivision plan proposed to expand Lot 7 (TP 24-433-7) by 20 feet in width, increasing Lot 7's area by 4,800 square feet. Lot 8 conveyed the land width and area to lot 7. This replot will allow MP Machinery to expand their building and add an additional driveway.

The plan was conditionally approved by the Board of Supervisors at their October 4, 2022 meeting.



Minor Alterations

All applications for approval of a minor alteration plan shall be reviewed and approved by the Township Zoning Administrator.

- **Northland Center - Metro T-Mobile**
 - Change of use for Metro T-Mobile

- **PSU Golf Course - Walker Clubhouse**
 - Parking lot changes and interior renovations

- **The Cottages at State College**
 - Post Final changes for landscaping
- **Little Bears Daycare (Greenleaf Lot 23R)**
 - Change of use from Office to Daycare
- **1510 Martin Street (2 Minor Alterations)**
 - Addition and subdividing building space for additional tenants
- **Penn State University Applied Research Lab @3011 Research Drive**
 - Added a 20.5' x 5.02' concrete pad for air cooled condensing units
- **3510 West College Avenue**
 - Landscaping, parking, removal of street median and lighting

- **West Cherry Lane Multi-Use Building**
 - Landscaping changes

Other Plans Reviewed

This is a list of plans that are still under review as of January 4, 2022 but have yet to receive a recommendation to be put before the Board of Supervisors.

- The Peace Center and Cemetery
- 1004 West College Ave Mixed-Use Building
- MP Machinery Preliminary Land Development Plan
- All Washed Up Auto Spa Preliminary Land Development Plan
- 125 East Pine Grove Road Preliminary Land Development Plan
- LeCrone Minor Subdivision Plan

ZONING PRACTICE

Unique Insights | Innovative Approaches | Practical Solutions

Making Drive-Thrus a Boon, Not a Bane



In This Issue: [The Drive-Through Genome Project](#) | [The Pandemic Push](#)
[Floating Zones and Mapped Overlays](#) | [A Proposed Regulatory Framework](#)
[Conclusions](#) | [References](#)

Making Drive-Thrus a Boon, Not a Bane

By Dwight Merriam, FAICP

In considering drive-through service as a planning and zoning issue, we might look back to the first zoning case to make its way to the U.S. Supreme Court, *Euclid v. Ambler* (1926), where the court in upholding zoning famously said: “A nuisance may be merely a right thing in the wrong place—like a pig in the parlor instead of the barnyard.” Most zoning is ultimately contextual. So too it is with drive-throughs, which are exceedingly beneficial for everyone in some locations, and utterly destructive to some objectives of planning and zoning when they are allowed in the wrong places. The challenge, sometimes a conundrum, is to decide when they are appropriate and, if so, how to best regulate them, leveraging the benefits and avoiding the burdens.

This issue of *Zoning Practice* explores how good planning and zoning can respond to increased demand for drive-through service since the onset of the COVID-19 pandemic. It begins with a quick look back to the days of car-hops and their effects on subsequent

drive-through services. Then, recognizing how the pandemic has affected a sea change in service, it looks at how drive-through and related services have evolved and where they may go, with good planning and regulation, for the benefit of all.



A prototype Taco Bell drive-through in Brooklyn Park, Minnesota (Credit: Taco Bell Corp.)

The Drive-Through Genome Project

We most often think of inertia as uniform motion in a straight-line, but it is equally the resistance to change. Zoning is often like that, evidencing a resistance to change and reflecting irrelevancies of the past. If we could ever have a genome project in zoning, including drive-throughs, we doubtless would find that current regulations and the difficulties we have in deciding where and how they might be used can be found in the DNA of zoning from the 1950s, when carhops were the rage. They probably date to the early 1920s, the term reportedly derived from bellhop. The film, *American Graffiti* (1973), set in 1962, featured Mel's Drive-In on South Van Ness in San Francisco, though the movie was set in Modesto, California. For a diversion from the seriousness of planning and zoning for drive-throughs, you may wish to watch [Bob's Big Boy 1947 training film for carhop service](#), including some views of parking layout and queuing that only a planner might appreciate.



■ A mid-20th century drive-in restaurant (Credit: Getty Images)

Ryland Heights, Kentucky, for example, reflects that carhop history by defining a drive-in eating establishment to be inclusive of carhops: “A restaurant where consumption of food is encouraged in a vehicle on the premises, where food is provided by ‘car-hop’ or self-service, with or without incidental sit-down and carry-out facilities” ([§7.0](#)).

The Pandemic Push

Reference to carhops continues today and has had a rebirth in the response to the pandemic, as communities sought ways to increase flexibility in food service and retailing, generally, to provide social distancing and a contactless experience. Bellevue, Kentucky, is illustrative in recently adding a new reference to car hops with this change to its regulations:

DRIVE IN. An establishment offering food and beverages which ~~are sold within the building, or to persons where the consumption is encouraged~~ while in motor a vehicles on the premises. *Food is generally provided by “car-hop” or self-service.* in an area designated for drive-in or drive-thru service, and for consumption on or off the premises. Food and beverages are served in disposable containers. [emphasis added] ([Ordinance No. 2021-06-05](#))

It is hard to overstate what the pandemic did to promote drive-through service. In March 2020, two months after the first case of COVID-19 in the U.S., Wendy’s reported that 90 percent of its sales were drive-through (Coley 2020). Restaurants across the country “pivot[ed] to an old-fashioned carhop model,” as one report on what a 93-year-old owner of a restaurant had to do to keep open during the pandemic in Cloquet, Minnesota (Hollingsworth 2021). The decision to go to other service models was often not voluntary. One restaurant, eight months into the pandemic, was ordered to shut down and defied the order, had its liquor license suspended, and incurred fines, only to switch to delivery service and a carhop model to escape being closed (Kurylandchick 2020).

The changes from inside service to carhops, drive-through, drive-up, and carry out was widespread, including chains like Steak 'n Shake, Bob's Big Boy, and White Castle. As one restaurant manager put it: "A lot of our regulars are older people who want to be safe... Even after COVID ends, we're going to keep doing it..." (Kim 2021). It is this resurgence in service to cars, particularly from locations that had not previously offered drive-up or drive-through, that now impels the interest in determining how to provide those advantages to consumers, while preventing the nuisances that these services sometimes cause. Alan Hess, an architect who wrote *Googie Redux: Ultramodern Roadside Architecture*, believes we can use the drive-in experience from more than half a century ago to solve current problems:

It had a purpose, and still has a purpose. If out of this we can gain a new respect for the automobile, which in many ways has been a scapegoat for the demise of cities and communal living, we will have an "old" tool that we can use in a new way to solve problems we had no idea we were ever going to face (Kiniry 2020).

Floating Zones and Mapped Overlays

Walkability and drive-throughs do not mix well in many situations. Driveways in and out endanger pedestrians and cyclists and create some commercial sprawl by consuming frontage. They can coexist with careful site planning and site-specific review, review that provides the greatest discretion for the local government, the applicant, and other stakeholders (Davis 2016).

The best approach may be a floating zone just for drive-through, drive-up, and take-out service. With a floating zone, a concept plan is reviewed, and then a purely legislative, policy decision is made to allow the zone to descend and apply to the site. Courts have held that the tired "spot zoning" claim does not apply

to small-area and even single-lot floating zones, in part because the standards can apply to other parcels (Vasser 2021; McCarthy 2006). The applicant's concept site planning costs are small, making them more willing to make modifications. Courts almost always defer to legislative decisions, less so with administrative decisions like special permit or conditional uses. All around, even though it may seem complicated, which it is not, the floating zone is nearly perfect for the drive-through and related uses.

The best approach may be a floating zone just for drive-through, drive-up, and take-out service.

The "secret sauce," however, that will make the floating zone a tasty addition to the regulations is found in the criteria for where the floating zone can land and what criteria are applied in making that decision. That takes a lot of hard thought. Have in mind that [1974 Burger King jingle](#), "hold the pickles, hold the lettuce, special orders don't upset us." Make each drive-through a special order, applying the locational and decisional criteria that you carefully thought out in advance. Consider testing those regulations, before you enact them, by trying to apply them to sites throughout the community. Do some role playing. It can be fun, actually, but it also will help surface problems, both procedural and substantive, with your draft regulations. Not many planning bodies do this, but it can be highly effective.

Another approach, though somewhat less desirable because it comes with less discretion, might be a fine-grained overlay zone coupled with a conditional use. With the overlay zone, the underlying zoning remains, and it enables additional regulations to be applied in subareas on top of the existing zone.

Most regulations permit drive-throughs, conditionally or otherwise, in an entire zoning district. That leaves the door open to applications for drive-throughs where they are not appropriate. It is better to take a hard look at where they can work and make that an overlay. If using the floating zone, the criteria for landing the floating zone can use an overlay to limit the areas where applications are permitted. It does not approve the floating zone in advance, but it makes a clear statement as to where they might be possible.

Two strategies might help in enabling some drive-through service along pedestrian-focused streetscapes. One is not a drive-through at all, but drive-up, where curbside service is allowed with people delivering goods to a vehicle along the curb, typically as one form of “buy online pick up in store” (BOPIS) service. Add that to your book of planners’ acronyms, and impress your friends. BIPOS, which is less expensive for retailers than drive-through service, requires short-term parking. This avoids curb cuts and is practical today with smartphone ordering. Some measure of how digital sales have increased just recently can be seen at McDonalds, where digital sales in its six biggest markets are up 60 percent in just one year, totaling over five billion dollars and 30 percent of sales (Maze 2022). The Harvard Business Review reports that, one year into the pandemic, retailers offering curbside pickup had jumped 44 percent and 40 percent of Americans want to continue curbside pickup, BOPIS, and delivery (Ketzenberg and Akturk 2021). The challenge is to provide for sufficient curbside space to meet the need and to avoid double parking during high volumes. There was widespread local experimentation during the pandemic, and much can be learned from that in fashioning local drive-up standards.

The other strategy in areas where you need to protect walkability is to plan for multiple, adjoining sites to share entrance and exit drives to reduce curb cuts. This is typically done with abutting commercial-use parking lots, as in Zebulon, North Carolina: “Parking lot connections shall join parking lots on two or more different lots... A parking lot connection shall be included on at least



*A bank in Portland, Oregon, with a dedicated bike-through lane
(Credit: [Richard Drdul / Flickr](#))*

two sides of a lot except when conditions prevent connections ...” (§5.1.8.D). For this to work, there must be pre-planning of how separately owned properties might connect through cross-easements or some form of association.

A Proposed Regulatory Framework

The same issues appear across the full range of drive-through regulations. What differentiates them are the standards to be applied, which vary greatly. Here is a rough outline of what might be in a regulation, but it is by no means a model. One size does not fit all.

Purpose

Start with a statement about the purpose. This is visioning to a degree. Think what you want to accomplish with drive-through service. Maybe something like: Drive-through service is enabled in appropriate locations to improve service to customers, permit people with disabilities to have equal access, protect the public from contagion, and promote economic development.

Salt Lake City is more specific ([§21A.40.060.A](#)):

Purpose: The regulations of this section are intended to allow for drive-through facilities by reducing the negative impacts they may create. Of special concern are noise from idling cars and voice amplification equipment, lighting, and queued traffic interfering with on-site and off-site traffic and pedestrian flow. The specific purposes of this section are to

1. reduce noise, lighting, and visual impacts on abutting uses, particularly residential uses;
2. promote safer and more efficient on-site vehicular and pedestrian circulation; [and]
3. reduce conflicts between queued vehicles and traffic on adjacent streets.

Definitions

Much of any regulation is found in the definition of what is regulated. A typical definition of *drive-through service* is like this one from Brunswick, Maine ([§1.7](#)):

Any structure through which a product or service is provided directly to a customer seated in a motor vehicle including, but not limited to, take-out or pick-up windows, banking terminals, automatic teller machines and other facilities commonly referred to as drive-up, drive-through, or take-out. This definition excludes gasoline service stations, car washes, drive-in theatres, and drive-in restaurants where orders are taken and food delivered to a motor vehicle that remains in a parking space.

This definition suggests the range of drive-through uses and expressly excludes carhops. It does not acknowledge curbside service and BOPIS. For a more holistic view of curb functions, see San Francisco's [Curb Management Strategy](#) (2020) and guidance from the Boston Region Metropolitan Planning Organization (2019; 2022).

With nearly all zoning regulation, the definition is key as to what is in and what is out. Spend a good part of your time here defining what you mean by drive-through, drive-up, walk-up, BIPOS, carhop, and so on.

Applicability

Will your regulations include only new construction, or also rebuilding or replacement of existing drive-throughs and alterations to add new drive-through service? If there is existing drive-through service, it might be prudent to require as a condition of approval that there be a review when the floor area of the building serviced is expanded, say by 25 percent or 1,000 square feet, as that will likely increase traffic at the drive-through.

Submission Requirements

What will your regulations require applicants to submit before final approval? Important elements of the site plan are a parking and circulation plan, driveway locations, and placement of audio equipment. An on- and off-site litter cleanup plan, with a schedule and map, are worth considering. Almost always a traffic study by a qualified person, usually a professional engineer, is required. The traffic study, based on the specific identified use of the property, should describe peak hours of operations, volume of customers per hour, stacking space for anticipated volume of drive-through vehicles, turning movements, roadway capacity, and the level of service of nearby streets.

Building Design

Canopies for service windows can have a substantial visual impact. Regulating color and how many colors, where it is permitted by law, might be included, as well as prohibiting corporate colors and patterns on the canopies which are ersatz signs. Drive-through facilities, including windows and other related features, should be architecturally compatible with the building and the existing and planned streetscape.

Access

The total width of access lanes in and out should be limited, something in the order of 25 feet, unless a turning lane is required.

Typical regulations provide for access-way width, often 10 feet, and minimum turning radii of 10 feet. Sometimes it is specified that the width of curved segments of the stacking lane be 12 feet.

Specify that drive-through lanes to and from drive-through windows and order boards shall not obstruct on-site vehicular traffic flow to and from required parking and loading spaces or other driveways providing ingress and egress into and within the site. Sometimes, regulations may require entrances and exits be separated by some distance, say 25 feet, from abutting properties. That may foreclose drive-throughs at some sites. Using the floating zone approach could allow more flexibility in all the dimensional standards by offering suggested, but not mandated, design requirements.

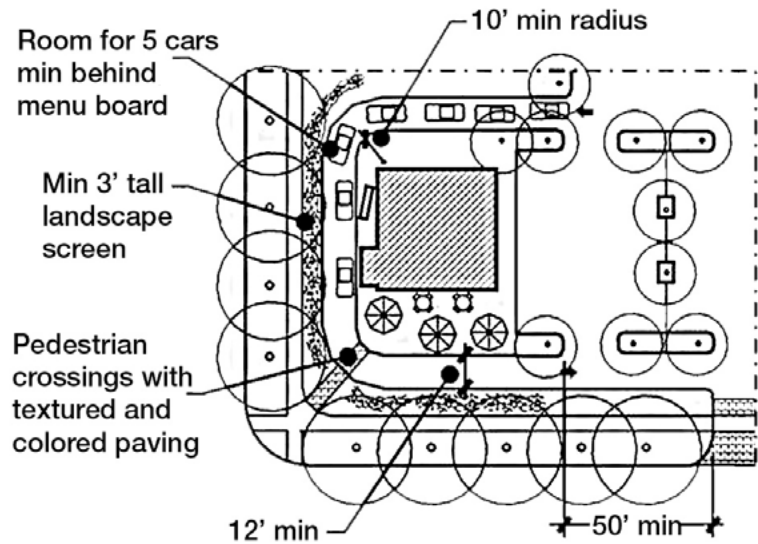
Each entrance to, and exit from, a drive-through lane should be clearly marked to show the direction of traffic flow by signs and pavement markings or raised curbs.

To limit damage to buildings in the vicinity of drive-through facilities, a minimum of 10 feet of clear height may be required for the drive-through lane with bollards located adjacent to drive-through windows to prevent damage to the building from vehicles.

As noted in the context of drive-throughs on walkable streetscapes, where possible the design should include joint-use and cross-access connections, even where a present connection is not feasible, just as would be done with a temporary cul-de-sac and stub road. There are no obvious standards for how long that unused connection might be, but some limitation is reasonable. The accessway need not be constructed with the current development if a physical connection is impossible at the time, but the approval should require construction when joint use or cross access is feasible.

Landscaping

Typical regulations may require a landscaped strip between the access drive and parking and screening of the of the access drives from the roadway. It is difficult to be highly specific about landscaping because site design for drive-throughs varies greatly.



Elk Grove, California's zoning code includes an illustration of its landscaping requirements for drive-throughs (Figure 23.78-1) (Credit: City of Elk Grove)

Stacking

This is perhaps the hardest standard to settle on. Frankly, it is a crapshoot. The objective is to keep vehicles from backing up onto the street, but even with a traffic study, it is a guessing game. Some regulations measure stacking length in numbers of vehicles, but how long is a vehicle with a couple of feet front and back for spacing? A Mini Cooper is 12.9 feet, a Ford Super Duty LWB Crew Cab is almost twice as long at 22.2 feet. The best approach may be to have a single total length for the queue. Queue lengths vary by uses in some regulations.

The problems in establishing the "right" stacking length are many. There is not much data by uses. The size of the use matters in how many vehicles will be in line. How popular the destination may be is unpredictable. [I once got stuck in a line down the street with police directing traffic when my then-young son talked me into taking him to Connecticut's first Sonic restaurant and gave up after an hour.]

In 2022, a wildly popular Chick-fil-A in Santa Barbara, California, had such a backup that the street was blocked every day for 70 to 91 minutes, causing the city to consider declaring it a public nuisance (Lee 2022). That was avoided by a traffic

management plan addressing employee parking, not allowing truck deliveries during peak hours, a widened driveway, and a new third lane for waiting customers (Hayden 2022).

The takeaway from these bad experiences is to plan for the worst: contingency plans for traffic control at the opening of the store; required expansion of the stacking, if it proves necessary, with design built into the site plan; escalating penalties for back-ups; requiring the operator to engage off-duty police officers to direct traffic if necessary; and a clear understanding that the drive-through will be lost, or at least temporarily suspended, if there are problems with back-ups.

Required queue lengths are minimums. Extra-long required queue lengths are wasteful. The operator can make the stacking longer if they think it is necessary. If they elect to do the minimum and can defend it with the traffic report, then they must bear the burden of underestimating.

Stacking lengths are often in the range of 120–160 feet for restaurants and 80 feet, more or less, for retail and banking. Elk Grove, California, bucks the trend a bit by requiring 180 feet for *drive-up windows and bank tellers*, while going to 60 feet for *nonfood and/or nonbeverage businesses* ([§23.78.030.A.2](#)).

Regulations may provide for decreasing or increasing the recommended length based on a traffic report by a professional engineer. The decision to modify requirements for queuing, and perhaps other design requirements, should be based on written findings of fact that the alternate design, given the characteristics of the site, will be equally or more effective in protecting on- and off-site pedestrian and vehicular traffic safety and minimizing traffic congestion.

One solution to the conundrum of site- and use-specific differences might be to have a preapplication meeting with the applicant or even a two-step permitting process to establish acceptable stacking and access design based on a preliminary traffic report before the full application is prepared for the development. The scale of the development and its configuration is driven in large part by the need to handle the drive-through, and bifurcating the approval may facilitate better

design and ultimate approval. It is not in anyone's interest to have to deny a fully engineered site plan over a dispute about stacking length.

Stacking necessarily requires knowing where it starts and ends. Windows and menu/order boards should be placed as far to the rear of the building as possible to increase available stacking. The starting point measurement is often an offset of some distance, say 25 feet, from the curb line or, if there is no curb line, to the edge of the sidewalk if there is one, and otherwise to the edge of the street pavement. The end point is the pick-up window.

Walk-up windows might be encouraged, not just enabled, in the regulations or even mandated, especially in areas considered most walkable and where people are more dependent on walking and cycling.

According to David Sullivan, U.S. Manager of Traffic and Transportation Planning for SLR, operators should place the order board far enough behind the pick-up window to ensure it does not constrain service. For example, if it takes 30 seconds to place an order and two minutes to fulfill an order, the order board should be about four cars from the pick-up window.

In some settings where preservation of the streetscape is of special concern, it may be advisable to mandate that the service window be at the back of the building and that no part of the accessway be used for queuing. A graphic can help.

Importantly, the queue space should not interfere with the safe use of the required parking spaces and their required drives, interior pedestrian and other circulation, and the accessway from any public street. However, Sullivan notes that it may be okay to block employee parking or trash storage areas if access to those areas is not essential during peak drive-through usage periods.

Conceptual
Retail Service Window
Drive-Through Restaurant or Pharmacy



Pharmacy

Conceptual
Retail Teller
Drive-Through Bank



Bank

Standish, Maine, includes examples of pedestrian-friendly site designs for drive-throughs in its Form Based Code Village Districts regulations (§181-7.1) (Credit: Town Planning and Urban Design Collaborative / Town of Standish)

Noise

Those loudspeakers at the order windows can be a problem. To reduce the potential nuisance, regulations may include a setback of order windows from residential properties, say 40 feet. Outside speaker use might be prohibited during certain hours, but that would effectively shut down the business during those hours. Hours of operation, of course, is an important consideration as many drive-through restaurants are now open late and even 24/7. Outdoor loudspeakers for any drive-through window might be limited to a noise level below 50 dB at the closest property line, nearest building of a separate use, or a public sidewalk off-site.

Lighting

There is nothing special about lighting with drive-throughs, but generally property owners and regulators are not doing the best job possible with lighting. It is most often too much and, more recently, too harsh with LED lighting. Guidance is available in the [Outdoor Lighting](#) collection in APA's [Research KnowledgeBase](#) and in a *PAS Memo*

titled "[the Future of Outdoor Lighting](#)." In developing new drive-through regulations, it might be timely to consider revamping lighting requirements.

Walk-Up and Bike-Up Service

But what about pedestrians and cyclists? The safety issues for people on foot and on bicycles using vehicular lanes would seem to preclude joint use, but Portland, Oregon, thinks otherwise ([§33.224.070](#)):

When a drive-through facility is open and other pedestrian-oriented customer entrances to the business are unavailable or locked, the drive-through facility must serve customers using modes other than a vehicle such as pedestrians and bicyclists.

Salt Lake City enabled joint use by cyclists in 2014, only to have the state legislature enact a law the next year prohibiting local governments from requiring a business to "allow a person other than a person in a motorized vehicle to use the drive-through service" ([§10-8-44.6](#)).

What can be done? Provide for them expressly in the zoning regulations as Madison, Wisconsin, does by authorizing a *walk-up service window* as a conditional use when located within 10 feet of a public right-of-way (§28.151). Many ordinances permit walk-up automated teller machines, but few allow other services.

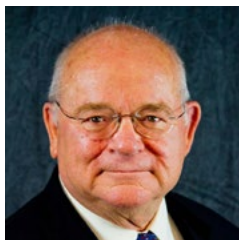
Walk-up windows might be encouraged, not just enabled, in the regulations or even mandated, especially in areas considered most walkable and where people are more dependent on walking and cycling. Incentives might be offered, such as modest increase in lot coverage or building floor area, excluding them from setbacks, or a partial tax abatement for a few years. Waiving application fees for the addition of walk-up/bike-up windows might be a good idea.

Businesses always have the right to make their own decisions on service to walk-ups and cyclists. Reach out to them. Offer some design solutions. Honor the ones who do the right thing. Promote the advantages: they deter crime with more

“eyes on the street,” they are interesting and promote walkability by making the street more pedestrian friendly, and they are a great convenience for shoppers who need not walk into a store to be served with the added benefit that they preserve the opportunity for social distancing that many continue to find is essential to their being out in public (Malouff 2012).

Conclusions

We can learn much from the long history of drive-in and drive-through service, particularly in the context of the recent pandemic experience. The public wants it in all its variations, needs it, and expects to continue to use it. The challenge is to plan for these new and evolved types of service and to find way to make sure they work on individual sites. The effort is worth it. The public’s interest will be served, economic development and redevelopment promoted, walkability protected and enhanced, and public nuisances avoided. That is what good planning is all about.



About the Author

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