

FERGUSON TOWNSHIP PLANNING COMMISSION
Regular Meeting Agenda
Monday, March 27, 2023, 6:00 PM

Hybrid Meeting

REMOTE PARTICIPANTS:

Join Zoom Meeting:

<https://us02web.zoom.us/j/81456701356>

Meeting ID: 814 5670 1356

[Zoom Access Instructions](#)

IN-PERSON PARTICIPANTS:

**Ferguson Township Municipal
Building**

**Main Meeting Room
3147 Research Drive
State College, PA**

I. CALL TO ORDER

II. CITIZENS INPUT

III. APPROVAL OF MINUTES

1. March 13, 2023, Regular Meeting Minutes

IV. OLD BUSINESS

V. NEW BUSINESS

1. Request for Consideration of a Modification/Waiver

Jenna Wargo, Director of Planning & Zoning

On March 17, 2023, Douglas Schaffer requested a modification from Chapter 22-306.3 – Minor Land Development Plan. Mr. Schaffer is proposing to convert an existing second-floor garage space into an apartment. The property is located at 1647 West Gatesburg Road (24-006-001A-0000) and is zoned Rural Agriculture (RA). The property is approximately 12.84 acres.

The applicant is requesting a modification from providing a Minor Land Development Plan. The garage already exists on the lot and the conversion to an apartment will only be on the second floor. The applicant has proposed submitting a Zoning and Building Permit with required documents.

Included in the agenda are the proposed drawings from the applicant. Staff has reviewed the request and is recommending approval of the modification/waiver from §22-306—Minor Land Development Plan to the Planning Commission.

Recommended motion: Move that the Planning Commission recommend approval of the Application for a Modification from §22-306—Minor Land Development Plan to the Board of Supervisors for 1647 West Gatesburg Road.

Staff Recommendation: That the Planning Commission recommend approval.



VI. COMMUNICATIONS TO THE COMMISSION

VII. OFFICIAL REPORTS AND CORRESPONDENCE

1. Board of Supervisors Report
2. CRPC Report
3. Land Development Plans

PLAN NAME	SUBMISSION DATE	REVIEW PERIOD	PLAN EXPIRATION
All Washed Up Auto Spa Preliminary Land Development Plan	September 12, 2022	First Review Comments returned September 29, 2022	May 16, 2023
Peace Center and Cemetery Preliminary Land Development Plan	May 18, 2021	Second Review comments returned October 12, 2022	May 16, 2023
IMBT Preliminary Subdivision Plan	January 31, 2022	Conditionally Approved September 6, 2022	April 16, 2023
1004 West College Ave Vertical Mixed-Use Building	March 14, 2022	Third Submission Received	May 3, 2023
Salvation Baptist Church Preliminary Land Development Plan	June 1, 2022	Conditionally Approved November 1, 2022	April 16, 2023
165 Volos Lane Minor Land Development Plan	June 3, 2022	Conditionally Approved September 20, 2022	May 16, 2023
LeCrone Minor Subdivision Plan	October 21, 2022	Conditionally Approved January 17, 2023	April 17, 2023
1900 Circleville Road	January 3, 2023	Staff First Review Comments returned January 20, 2023	June 11, 2023
LeCrone Preliminary Land Development Plan	February 1, 2023	First Review comments returned February 24, 2023	May 2, 2023
125 East Pine Grove Road Preliminary Land Development Plan	October 12, 2022	Third Review Comments returned March 3, 2023	May 7, 2023

4. Staff Updates

VIII. ADJOURNMENT

**FERGUSON TOWNSHIP PLANNING COMMISSION
REGULAR MEETING MINUTES
MONDAY, MARCH 13, 2023
6:00 PM**

ATTENDANCE

The Planning Commission held its first meeting of the month on Monday, March 13, 2023, as a hybrid meeting. In attendance:

Commission:

Jerry Binney – Chair
Dr. Ellen Taricani – Vice Chair
Rob Crassweller - Secretary
Jennifer Eccleston
Shannon Holliday
Bill Keough
Lisa Rittenhouse
Lewis Steinberg
Ralph Wheland

Staff:

Jenna Wargo – Director of Planning
Jeff Ressler - Zoning Administrator
Kristina Bassett – Community Planner

Others in attendance: Rhonda R. Demchak, Recording Secretary

I. CALL TO ORDER

Mr. Binney called the Ferguson Township Planning Commission’s regular meeting to order on Monday, February 13, 2023, at 6:00 p.m. and it has been advertised in accordance with the PA Sunshine Act as a hybrid meeting.

Ms. Wargo took roll call, and the Planning Commission had a quorum.

II. CITIZEN INPUT

There were no comments.

III. APPROVAL OF MINUTES

Mr. Steinberg moved that the Planning Commission **approve** the February 13, 2023, Regular Meeting Minutes. Mr. Wheland seconded the motion. The motion passed unanimously.

IV. NEW BUSINESS

1. REQUEST FOR CONSIDERATION OF A MODIFICATION/WAIVER

Ms. Wargo noted on November 14, 2022, PGH Real Estate Holdings, LLC requested a modification from Chapter 22-516 – Landscaping. The 125 East Pine Grove Road Preliminary Land Development Plan proposes the conversion of a single-family home into a restaurant with indoor and outdoor dining areas. The property is located at 125 East Pine Grove Road (24-009A-030-0000) and is zoned Village (V). The property is approximately 0.496 acres.

The applicant is requesting a modification from providing the required amount of plantings in the buffer yard under the ordinance. The lot is small in size with overhead utilities that the applicant claims are not conducive to successful plantings. The applicant has proposed alternative landscaping for the buffer yard requirements.

Included in the agenda are the proposed alternatives from the applicant and two

memos from the Township Arborist. The first is a memorandum with the Arborist's recommendation and the other outlines the Ferguson Township Tree Commission's recommendation on the request. Staff have reviewed the request and recognizes that §22-516 is challenging to apply to certain zoning districts and is recommending amending §22-516—Landscaping and approval to the Planning Commission.

Ms. Wargo reviewed the map that was included in the agenda packet.

Mr. Keough expressed concerns with trees that shed due to appearance as well as clogging of drains.

Mr. Crassweller pointed out that since the pollinator garden is listed as perennials, they should be listed on the plan. Ms. Wargo will ask the Township Arborist.

Mr. Keough stated that he liked this type of establishment being added to the Village District and noted that the intersection will be changing into a modified traffic circle.

Mr. Steinberg moved that the Planning Commission recommend **approval** of the Application for a Modification from §22-516—Landscaping to the Board of Supervisors for 125 East Pine Grove Road Mr. Wheland seconded the motion. The motion passed unanimously.

V. COMMUNICATIONS TO THE COMMISSION

There were none.

VI. OFFICIAL REPORTS AND CORRESPONDENCES

A. Board of Supervisors

Ms. Wargo reported that the Board decided to pause the proposed map amendment and that it will be sent back to the Pine Grove Mills Small Area Plan Committee. The Fairbrook Parks Master Plan will be advertised for a public hearing on March 21st. The Board adopted the Saybrook Park Master Plan. There were a lot of discussions around the COG Budget.

B. CRPC Meeting

Dr. Taricani noted they looked at three different land rezoning proposals that included widening Struble Road, adding on to Geisinger Graywoods, and a self-storage facility in Patton Township. The Committee reviewed the 10-year Staff Assessment and Comprehensive Plan.

Mr. Keough gave an update on the Whitehall Regional Park process as a member of the Park Authority. Mr. Keough reported that they are recruiting a new Director for Centre Region Parks due to a recent resignation. Mr. Keough gave an update on the Millbrook Marsh and reported that there are two construction projects that are currently being done. One being the addition to the Educational Building and building a Welcome Center near the marsh. Mr. Keough reported that part of the boardwalk will be shut down and noted that engineers are reviewing.

C. Land Development Plans

Ms. Bassett reviewed the Land Development Plans below.

PLAN NAME	SUBMISSION DATE	REVIEW PERIOD	PLAN EXPIRATION
All Washed Up Auto Spa Preliminary Land Development Plan	September 12, 2022	First Review Comments returned September 29, 2022	February 26, 2023
Farmstead View Preliminary Subdivision Plan	July 30, 2021	DENIED February 21, 2023	
Peace Center and Cemetery Preliminary Land Development Plan	May 18, 2021	Second Review comments returned October 12, 2022	March 7, 2023
IMBT Preliminary Subdivision Plan	January 31, 2022	Conditionally Approved September 6, 2022	April 16, 2023
1004 West College Ave Vertical Mixed-Use Building	March 14, 2022	Third Submission Received	May 3, 2023
MP Machinery Final Land Development Plan	January 26, 2023	Recorded	
Salvation Baptist Church Preliminary Land Development Plan	June 1, 2022	Conditionally Approved November 1, 2022	April 16, 2023
125 East Pine Grove Road Preliminary Land Development Plan	October 12, 2022	Third Review Comments returned February 28, 2023	May 7, 2023
165 Volos Lane Minor Land Development Plan	June 3, 2022	Conditionally Approved September 20, 2022	May 16, 2023
LeCrone Minor Subdivision Plan	October 21, 2022	Conditionally Approved January 17, 2023	April 17, 2023
1900 Circleville Road	January 3, 2023	Staff First Review Comments returned January 20, 2023	April 3, 2023
LeCrone Preliminary Land Development Plan	February 1, 2023	First Review comments returned February 20, 2023	May 2, 2023

Ms. Bassett reviewed briefly her memo regarding the Slab Cabin Run Water Quality Evaluation Report that was included in the agenda packet. Mr. Keough questioned the meaning and impact of the report. Ms. Bassett stated that the report means that the water quality is improving and is being used as a benchmark of what is being done correctly. Mr. Keough expressed fear that this will become an excuse and reason to limit further activity on properties where it runs through.

Mr. Binney encourage others to take the [State Transportation Survey](#). Ms. Wargo reported that there will be a Q&A session held on April 12, 2023.

D. Staff Updates

Ms. Wargo reported that the Terraced Streetscape District Rewrite - 2nd Public Meeting will be held on March 15th at 6:00 p.m. at the Township Building and via zoom.

Ms. Wargo reported that Ferguson Township started using T2 Parking Software.

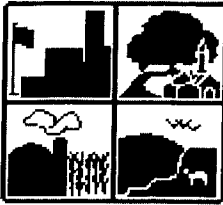
VII. Adjournment

Dr. Taricani made a motion to **adjourn** the March 13, 2023, Planning Commission meeting at 6:53 p.m. Mr. Keough seconded the motion passed unanimously.

Respectfully Submitted,

Ferguson Township Planning Commission
Monday, March 13, 2023
Page 4

Rob Crassweller, Secretary
For the Planning Commission



APPLICATION FOR CONSIDERATION OF A MODIFICATION

Ferguson Township, Centre County

Submittal Date: _____

A fee of \$50.00 is required at the time of submitting this application.

The undersigned hereby applies for approval of a modification/waiver, submitted herewith and described below:

Applicant Information

DOUGLAS & JANET SCHAUFLE
Name

1647 W GATESBURG RD WARRIORS MARK PA 16877
Street Address City Zip

814.574.2588 (C) 814.692.4755 (H)
Phone Number

Property/Plan Information

SCHAUFLE GARAGE - PARTIAL 2ND FLOOR GARAGE TO APARTMENT
Plan Name

Plan Number _____ Plan Date _____

1647 W GATESBURG RD 24-006-001A, 0000 -
Project Location Parcel Number

DOUGLAS & JANET SCHAUFLE
Name of Property Owner(s)

1647 W GATESBURG RD WARRIORS MARK PA 16877
Street Address City Zip

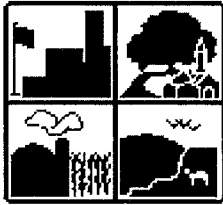
Application Type:

- Subdivision
- Terraced Streetscape District (TSD)
- Land Development
- Traditional Town Development (TSD) District

Modification/Waiver Request Information

Specific Section(s) of the Subdivision and Land Development Ordinance or Design Standards for which a Modification/Waiver is requested:

22-306.3



APPLICATION FOR CONSIDERATION OF A MODIFICATION

Ferguson Township, Centre County

State any proposed alternative(s) to the requirement:


PROVIDING DRAWINGS OF PROPOSED PROJECT,
SITE LOCATION SKETCH AND BUILDING PERMIT
APPLICATION.

Please state in full, the grounds and facts of the unreasonableness or hardship the Ferguson Township Subdivision and Land Development Ordinance has placed on the property.

THIS PROJECT IS A CONVERSION OF EXISTING SECOND
FLOOR GARAGE SPACE TO AN APARTMENT AS SHOWN ON
DRAWINGS. THE UNREASONABLENESS OR HARDSHIP IS
THE ADDITIONAL EXPENSE THAT WILL BE INCURRED
PROVIDING 22-306.3.

*If necessary, please continue with your hardship specification on another page.

The undersigned hereby represents that, to the best of their knowledge and belief, all information listed above is true, correct, and complete.


Signature

03/17/2023
Date

-For Office Use Only-

Date Received: _____ By: _____

Date Paid: _____ Check No.: _____ Amount: _____

Advertisement Dates: _____ Planning Commission Review Date: _____

Board of Supervisors Meeting Date: _____



CENTRE REGION CODE ADMINISTRATION
 2643 Gateway Drive Suite #2
 State College, PA 16801
 Tel: 814-231-3056
 WWW.CENTREREGIONCODE.ORG

Ferguson Township Planning Commission Meeting
 Building Permit No: _____
 Zoning Permit No: _____
 Water Permit: _____
 Sewer Permit: _____
 March 27, 2023

APPLICATION FOR ZONING AND BUILDING PERMIT

ADDRESS: _____

LOCATION OF PROPOSED WORK OR IMPROVEMENT

Municipality: FERGUSON Tax Parcel No: 24-006-, 001A, 0000-
 Street Address: 1647 W GATESBURG RD
 Rural Directions: BETWEEN RIDER FARM & GATES FARM

TYPE AND COST OF WORK OR IMPROVEMENT

Type of Property: <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Current Rental <input type="checkbox"/> Proposed Rental	Type of Improvement: <input type="checkbox"/> New building <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Repair, replacement <input type="checkbox"/> Demolition <input type="checkbox"/> Electrical ONLY <input type="checkbox"/> Sprinkler System ONLY	Building Information: Dimensions: Height (feet): <u>26 FT</u> No of Stories: <u>2</u> Total Square footage: <u>896 FT²</u> Type of sewage disposal: <input checked="" type="checkbox"/> Public or private company <input checked="" type="checkbox"/> Private (on lot septic tank, etc.) Type of water supply: <input checked="" type="checkbox"/> Public or private company <input checked="" type="checkbox"/> Private (well, cistern)
Declared cost <u>\$ 15,000</u>		

Describe proposed work:
CONVERT PORTION OF 2ND FLOOR OF GARAGE BUILT 2017-18 TO APARTMENT.

Role:	Name	Address	Phone No	Email
Owner	<u>DOUGLAS SCHAUFLE</u>	<u>1647 W GATESBURG RD WARRIORS MARK PA 16877</u>	<u>814.574.2588</u>	<u>dougschaufler@gmail.com</u>
Tenant				
Contractor	<u>DOUGLAS SCHAUFLE</u>	<u>SAME AS ABOVE</u>	<u>814.574.2588</u>	<u>SAME</u>
Design Professional	<u>C. CRAWFORD</u>	<u>702 TYLER AVE CLEARFIELD PA 16830</u>	<u>814.237.2105</u>	<u>CRAWFORD DRAFTING@gmail.com</u>

AFFIDAVIT

I hereby certify that I am the owner in fee or the authorized agent of the owner in fee of the property upon which the work authorized by the permit sought will be performed. All work will be performed in accordance with all applicable laws of the Commonwealth of Pennsylvania and this jurisdiction.

Signature of applicant <u>Doug Schaufler</u>	Address <u>WARRIORS MARK 1647 W GATESBURG RD 16877</u>	Application Date <u>03/17/2023</u>
Print Name <u>DOUGLAS SCHAUFLE</u>	Email/Phone <u>814.574.2588 dougschaufler@gmail.com</u>	Role <u>OWNER</u>

OFFICE USE ONLY

DETAILS

Square footage

Housing: _____

Basement:

 Finished: _____

 Unfinished: _____

Garage: _____

Total Square Footage: _____
 (must equal breakdown above)

Level of alteration

 I II III

Change of Use: _____

New Building: _____

Additional Notes:

Date	Spoke to	Voicemail/Email?	Initials

Site Plan – Required for zoning application. Applicant must fill in dimensions and indicate North.

SEE ATTACHMENTS

ZONING PLANS EXAMINER NOTES

Zone: _____ Lot Square Footage: _____ Percent Coverage: _____	Off-street parking spaces Enclosed: _____ Outdoors: _____		North √	Required	Provided
		Set Backs			
		Front			
		Right Side			
		Left Side			
		Rear			

Notes: _____

Approved: _____ Date approved: _____ Permit No.: _____

CODES PLANS EXAMINER NOTES

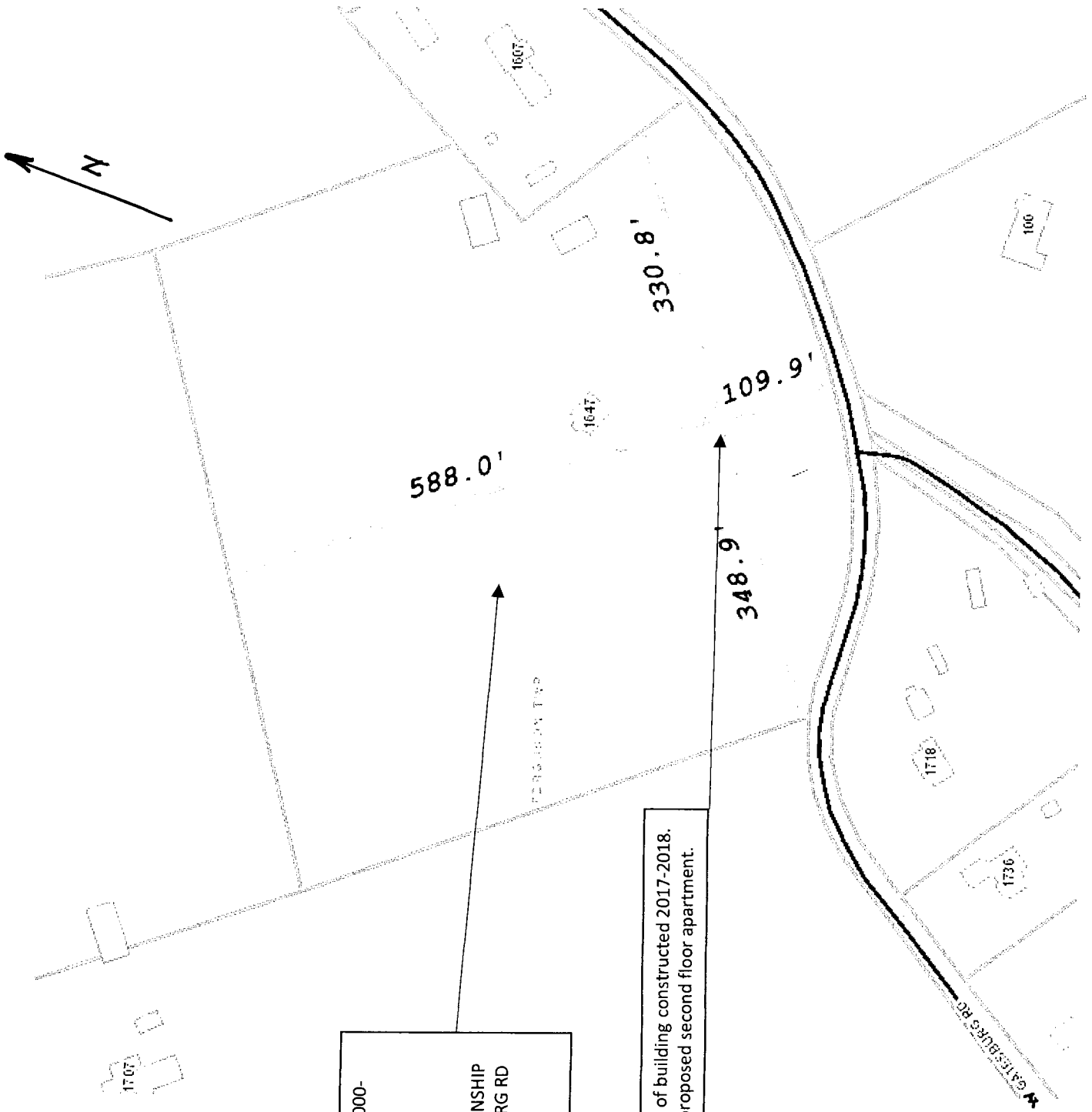
OCCUPANCY INFORMATION

Type of Construction: _____ Use Group: _____

FLOOR	# OF UNITS	MAX OCC LOADS	MAX LIVE LOAD (lbs per sq.ft.)	FLOOR	# OF UNITS	MAX OCC LOAD	MAX LIVE LOADS (lbs per sq.ft.)
BASEMENT				SEVENTH FLOOR			
FIRST FLOOR				EIGHTH FLOOR			
SECOND FLOOR				NINTH FLOOR			
THIRD FLOOR				TENTH FLOOR			
FOURTH FLOOR				ELEVENTH FLOOR			
FIFTH FLOOR				ROOF			
SIXTH FLOOR				OTHER			

Plan Approved: _____ Date Approved: _____

Building Permit No: _____ Date Permit Issued: _____
 Permit fee \$ _____ Deposit Paid \$ _____ Balance Due \$ _____
 Deposit Date _____ Check/Cash _____ By _____



Tax ID Number: 24-006-,001A,0000-
Parcel Type: Standard
Lot:
Deeded Acres: 12.84
Deed Book: 1258-1016
Municipalities: FERGUSON TOWNSHIP
Site Location: 1647 W GATESBURG RD
Property Type: A
Clean and Green: Y

Location of building constructed 2017-2018.
Site of proposed second floor apartment.

24-002-003-0000

24-003-001-0000

1607

24-006-001B,0000

24-006-001D,0000

24-006-001C,0000

W GATESBURG RD

24-006-001A,0000

FERGUSON TWP

1647

1651

MOBILE HOME
(REMOVED
08/2025)

24-002-001-0000

24-005A,019,0000

Impervious Surface Calculation Requirements

Impervious Surface – a surface that limits the infiltration of water into the ground, including but not limited to any rooftop surface or swimming pool, or any asphaltic pavement, concrete or compacted gravel; any of which is used for driveway, ditches or courts.

The Ferguson Township Zoning Ordinance places a maximum impervious surface percentage on developing land. This percentage varies for each zoning district. When any person applies for a zoning permit, he/she must supply the lot's total impervious surface amount, stated in square feet, including the proposed alterations. This information can be provided as follows:

Property Address: _____

Applicant Information

557,568 FT² Lot Area Square Footage

1881 FT² House (footprint)

4195 FT² Shed(s)

_____ Sidewalk(s)

800 FT² Driveway(s) (paved and gravel)

N/A Swimming Pool

208 FT² Wooden deck(s), Porches, Patios, etc.

_____ Any other surface that inhibits water from directly entering the ground

7084 FT² Total Impervious

Office Use Only

_____ Total Impervious _____ Lot Area = _____ % Impervious

Please call the zoning office if you have any questions: 238-4651 or email the zoning administrator at iressler@twp.ferguson.pa.us.

Application for Zoning Permits

To apply for a zoning permit, you must submit the following items to the zoning administrator:

1. A completed Application for Zoning Permit form and permit fee paid at the time of application. Application forms are available from the Township office or on-line.
2. A copy of a sewage permit is required if the zoning permit application is for a new structure needing sewer service or a use that requires different sewer needs (e.g. new dwelling or office building). Sewage permits are obtained from the sewage authority for off-site sewer service, or from the township sewage enforcement officer for on-site sewer service.
3. A copy of a water permit from the water authority or private company is required if the zoning permit application is for a new structure needing water service (e.g. new dwelling or office building). A water permit is not required if the property will be served by an onsite well.
4. A completed road occupancy permit application is required when access will be made onto a township road.
5. A Pennsylvania Department of Transportation highway occupancy permit is required when access will be made onto a state road.
6. An approved copy of a land development plan, if required, or a sketch plan showing the following information:
 - a. The property lines and dimensions of the lot.
 - b. The location and dimensions of all existing and proposed structures on the lot.
 - c. The existing and proposed uses of buildings.
 - d. The location and dimensions of all existing and proposed access points and driveways to the property.
 - e. The number and location of all existing and proposed parking spaces.
 - f. Distances marked between all existing and proposed structures to the front, rear, and side property lines.
 - g. Scale of the sketch plan (Example 1/8" = 1').
 - h. North arrow.
 - i. Identification of adjoining streets.
 - j. Identification of any easements that cross the property.
 - k. Location of the front, rear and side yard setbacks.

Ferguson Township
3147 Research Drive
State College, PA 16801
814-238-4651
814-238-3454 (fax)
www.twp.ferguson.pa.us

000000

Receipt No. 00021713

03/17/2023 02:02 PM

Douglas & Janet Schaufler

01 Zoning Permit
/MODIFICATION @
1647 W GATESBUR
G

50.00

Check # 11520

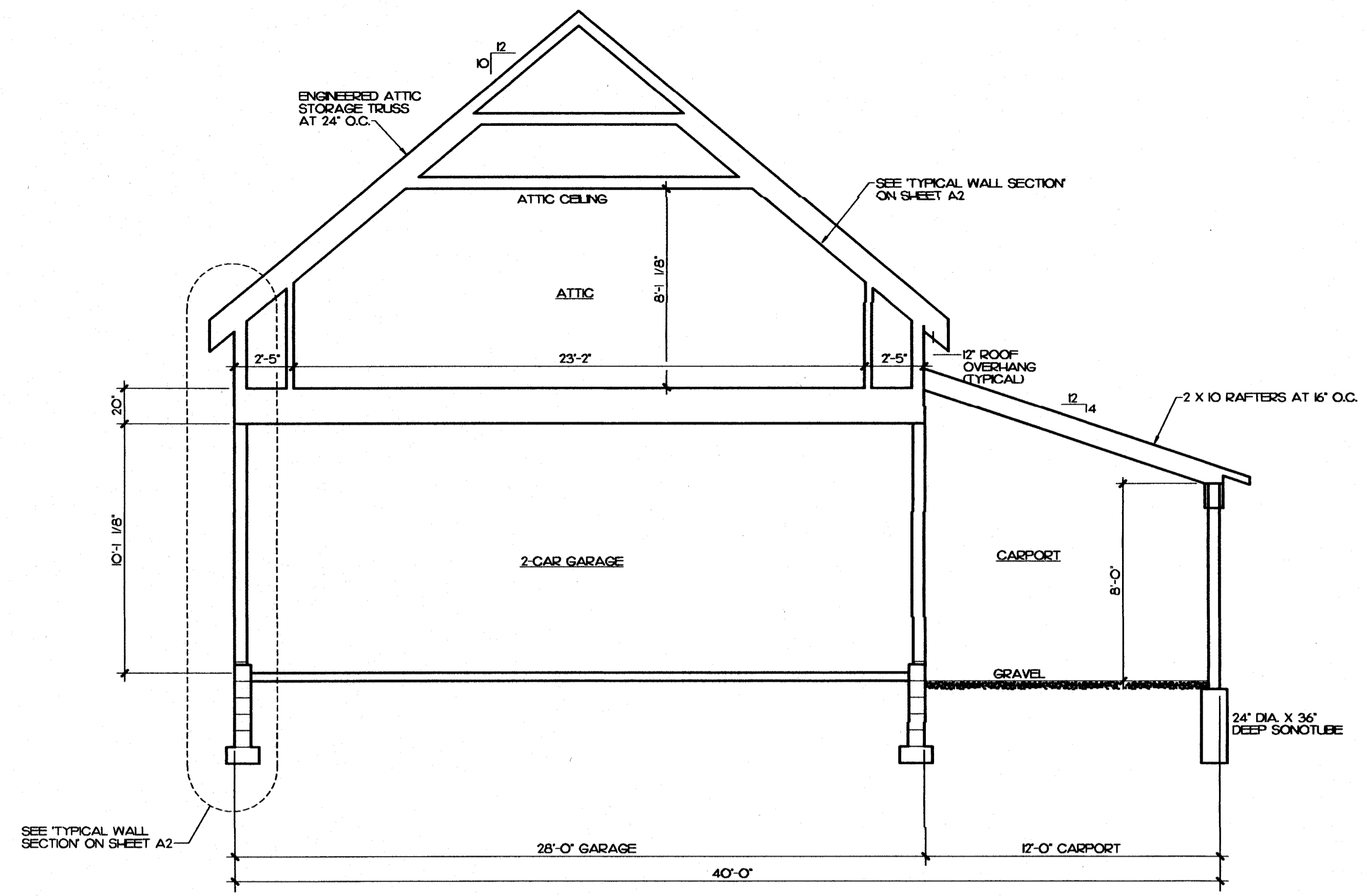
Receipt Total

50.00

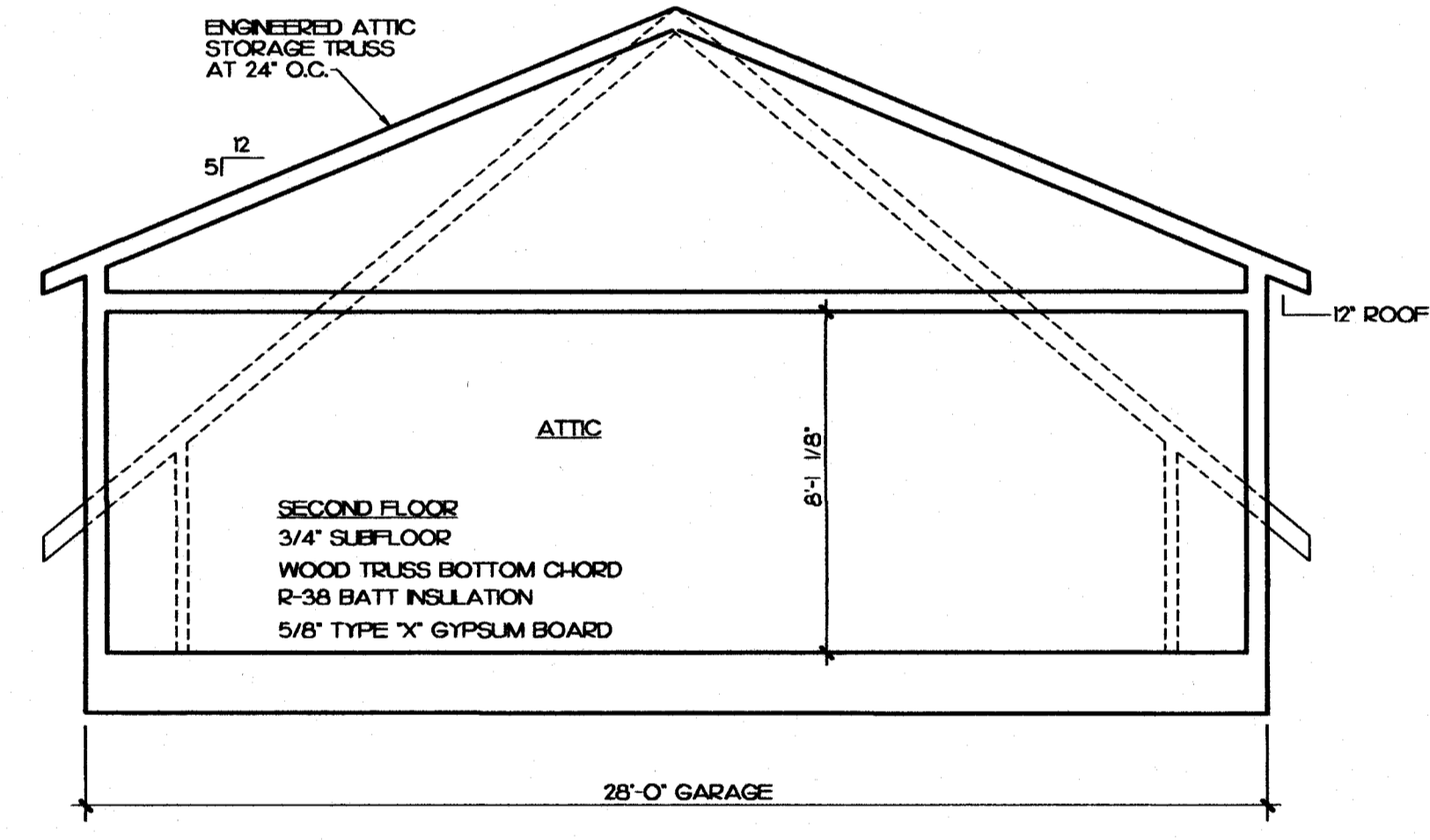
Payment Total

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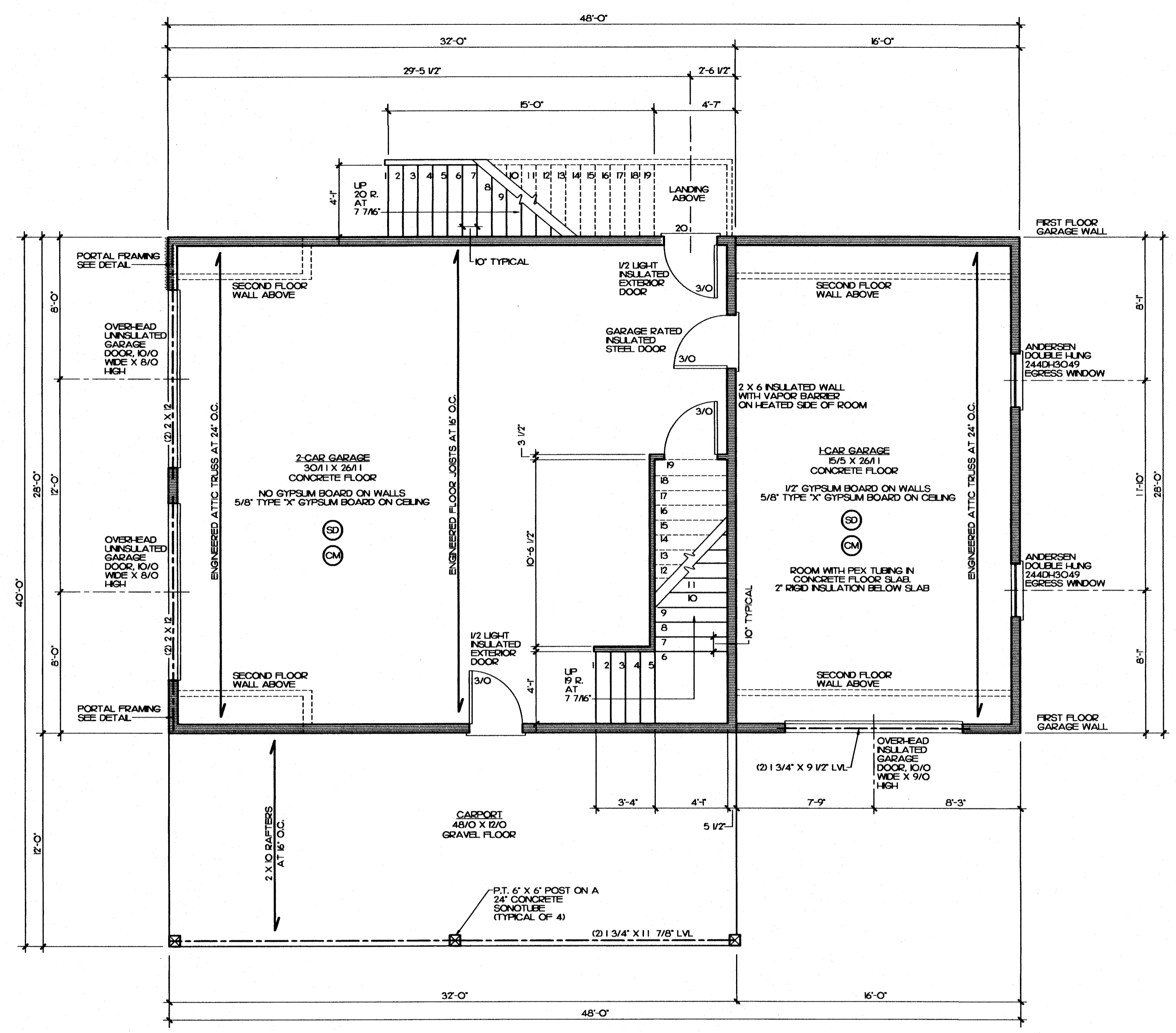
Thank you!



BUILDING SECTION
1/4"-0"



SHED ROOF BUILDING SECTION
1/4"-0"



FIRST FLOOR PLAN
1/4"-0"

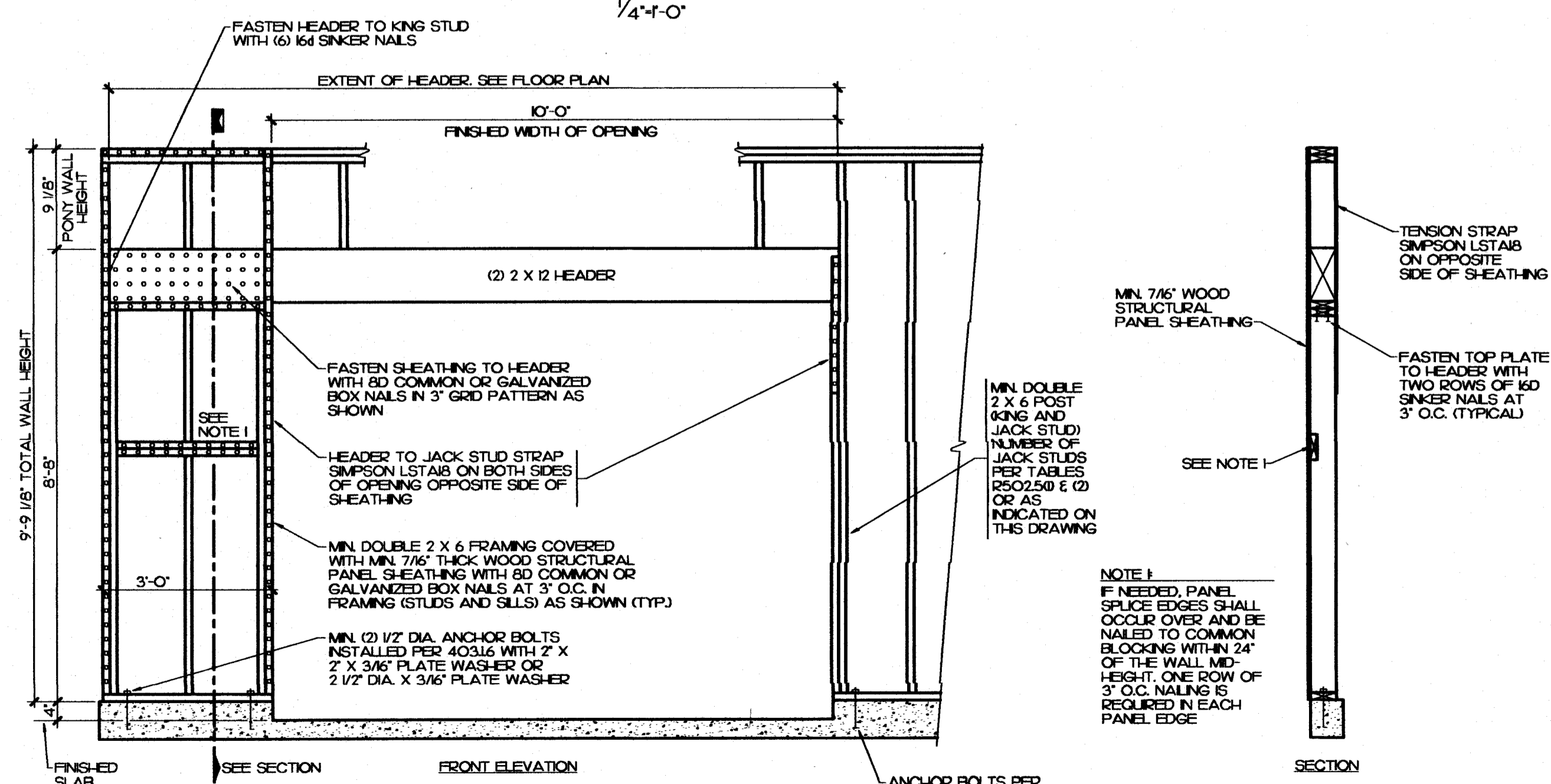
EXTERIOR WALLS SHOWN AS 6" WIDE AND INTERIOR WALLS SHOWN AS 3 1/2", UNLESS OTHERWISE NOTED.

ABBREVIATIONS

- 6/2 X 12/4 6"-2" WIDE X 12'-4" LONG (APPROXIMATE DIMENSIONS)
- (SD) SMOKE DETECTOR, SEE GENERAL NOTE 5.
- (CM) CARBON MONOXIDE DETECTOR, SEE GENERAL NOTE 17.
- WOOD STUD WALL (NON-LOAD BEARING)
- WOOD STUD WALL (LOAD BEARING)
- POURED CONCRETE

SQUARE FOOTAGE

GARAGE 1	896 SF.	** SF. INCLUDES THE OUTSIDE OF THE EXTERIOR WALLS.
GARAGE 2	448 SF.	
ATTIC	38 SF.	
APARTMENT	797 SF.	



GARAGE PORTAL DETAILS
1/2"-0"

REVISIONS	DATE	DESCRIPTION
1	4/10/17	REMOVED SECOND FLOOR APARTMENT SINCE NOT BEING BUILT NOW.

Drawings Prepared by:

CID CRAWFORD DRAFTING

8190 Jeanes Circle
Alexandria, PA 16611
Phone 814.237.2105
CrawfordDrafting.com

General Contractor:

New Garage for:

Mr. Douglas Schaufler
Wild Blumen Farm
Warriors Mark, PA 16877

Project:

A1

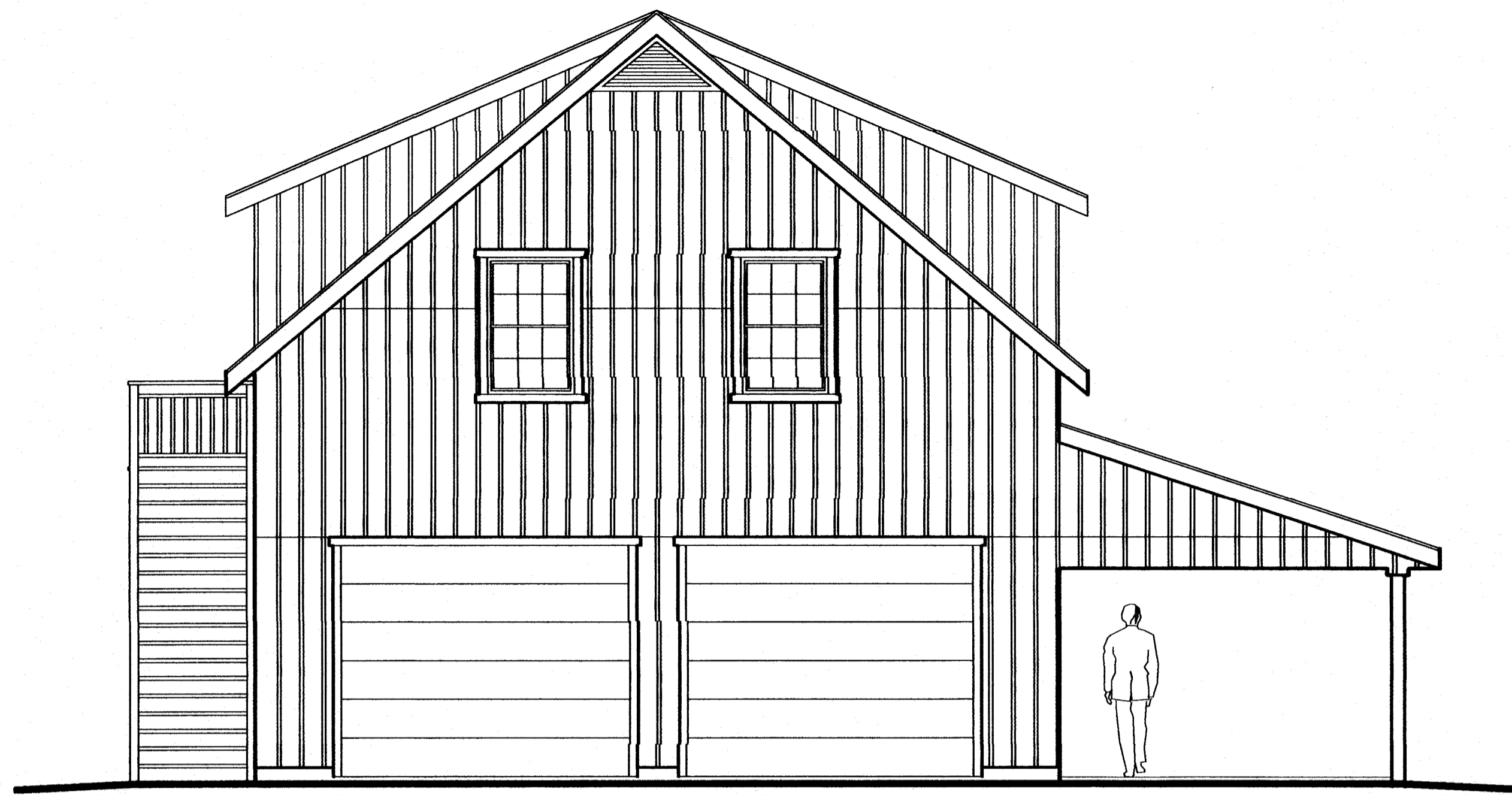
6/9/16

APPROVED AND ACCEPTED AS IS WITHOUT CHANGES OR APPROVED AND ACCEPTED WITH CHANGES AS NOTED

AUTHORIZED SIGNATURE

DATE

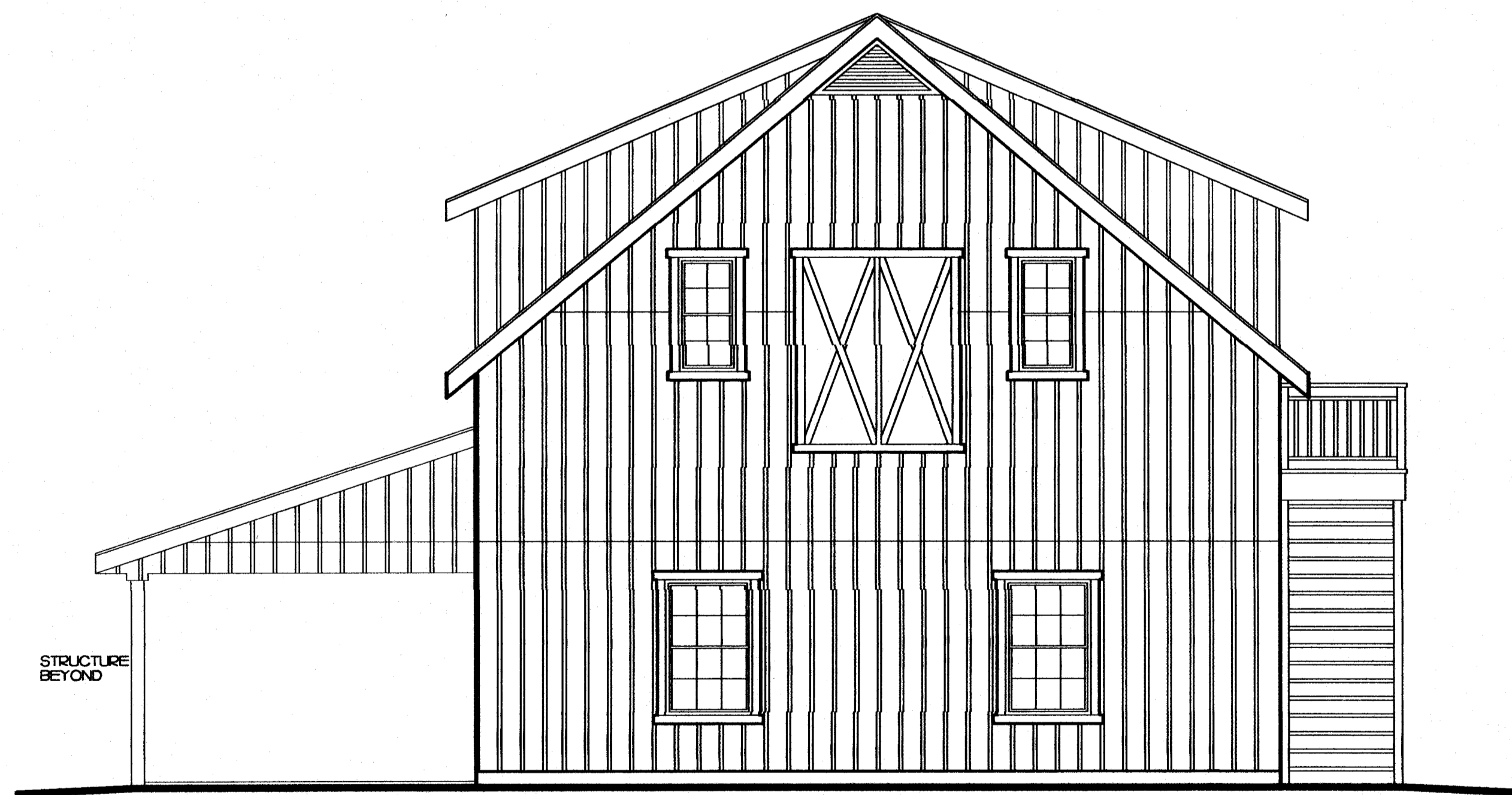
Owner Specifications Supersede These Drawings



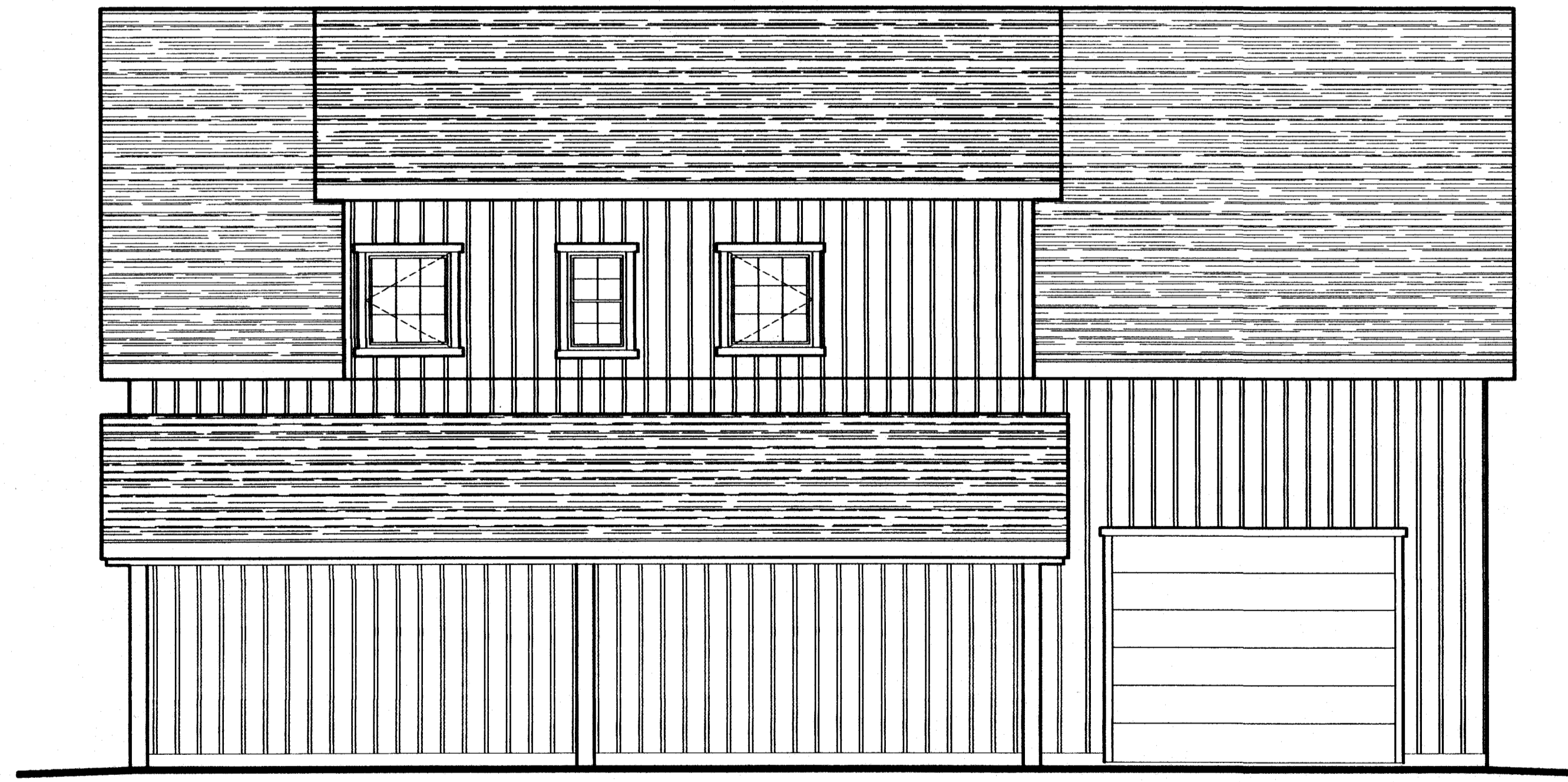
RIGHT EXTERIOR ELEVATION
1/4"=1'-0"



FRONT EXTERIOR ELEVATION
1/4"=1'-0"



LEFT EXTERIOR ELEVATION
1/4"=1'-0"



BACK EXTERIOR ELEVATION
1/4"=1'-0"

REVISIONS	DATE	DESCRIPTION

Drawings Prepared by:



8190 Jeans Circle
Alexandria, PA 16611
Phone 814.237.2105
CrawfordDrafting.com

General Contractor:

New Garage for:
Mr. Douglas Schaufler
Wild Blumen Farm
Warriors Mark, PA 16877

Exterior Elevations

APPROVED AND ACCEPTED AS IS WITHOUT CHANGES OR

APPROVED AND ACCEPTED WITH CHANGES AS NOTED

AUTHORIZED SIGNATURE

DATE

Owner Specifications Supersede These Drawings

Project:

A3

6/9/16



1647 W Gatesburg Rd



Location Map

