FERGUSON TOWNSHIP PLANNING COMMISSION Regular Meeting Agenda Monday, March 27, 2023, 6:00 PM

Hybrid Meeting

REMOTE PARTICIPANTS:

Join Zoom Meeting: https://us02web.zoom.us/j/81456701356 Meeting ID: 814 5670 1356 Zoom Access Instructions

IN-PERSON PARTICIPANTS:

Ferguson Township Municipal Building Main Meeting Room 3147 Research Drive State College, PA

I. CALL TO ORDER

II. CITIZENS INPUT

III. APPROVAL OF MINUTES

1. March 13, 2023, Regular Meeting Minutes

IV. OLD BUSINESS

V. NEW BUSINESS

1. Request for Consideration of a Modification/Waiver Jenna Wargo, Director of Planning & Zoning

On March 17, 2023, Douglas Schauffer requested a modification from Chapter 22-306.3 – Minor Land Development Plan. Mr. Schauffer is proposing to convert an existing second-floor garage space into an apartment. The property is located at 1647 West Gatesburg Road (24-006-001A-0000) and is zoned Rural Agriculture (RA). The property is approximately 12.84 acres.

The applicant is requesting a modification from providing a Minor Land Development Plan. The garage already exists on the lot and the conversion to an apartment will only be on the second floor. The applicant has proposed submitting a Zoning and Building Permit with required documents.

Included in the agenda are the proposed drawings from the applicant. Staff has reviewed the request and is recommending approval of the modification/waiver from §22-306—Minor Land Development Plan to the Planning Commission.

Recommended motion: Move that the Planning Commission recommend approval of the Application for a Modification from §22-306—Minor Land Development Plan to the Board of Supervisors for 1647 West Gatesburg Road.

Staff Recommendation: That the Planning Commission recommend approval.

Constant Contact ***

Visit the Township's Web Site <u>www.twp.ferguson.pa.us</u> and sign up for *Notify Me!* to receive email notices about Township Information.

VI. COMMUNICATIONS TO THE COMMISSION

VII. OFFICIAL REPORTS AND CORRESPONDENCE

- 1. Board of Supervisors Report
- 2. CRPC Report
- 3. Land Development Plans

PLAN NAME	SUBMISSION DATE	REVIEW PERIOD	PLAN EXPIRATION
All Washed Up Auto Spa Preliminary Land Development Plan	September 12, 2022	First Review Comments returned September 29, 2022	May 16, 2023
Peace Center and Cemetery Preliminary Land Development Plan	May 18, ,2021	Second Review comments returned October 12, 2022	May 16, 2023
IMBT Preliminary Subdivision Plan	January 31, 2022	Conditionally Approved September 6, 2022	April 16, 2023
1004 West College Ave Vertical Mixed-Use Building	March 14, 2022	Third Submission Received	May 3, 2023
Salvation Baptist Church Preliminary Land Development Plan	June 1, 2022	Conditionally Approved November 1, 2022	April 16, 2023
165 Volos Lane Minor Land Development Plan	June 3, 2022	Conditionally Approved September 20, 2022	May 16, 2023
LeCrone Minor Subdivision Plan	October 21, 2022	Conditionally Approved January 17, 2023	April 17, 2023
1900 Circleville Road	January 3, 2023	Staff First Review Comments returned January 20, 2023	June 11, 2023
LeCrone Preliminary Land Development Plan	February 1, 2023	First Review comments returned February 24, 2023	May 2, 2023
125 East Pine Grove Road Preliminary Land Development Plan	October 12, 2022	Third Review Comments returned March 3, 2023	May 7, 2023

4. Staff Updates

VIII. ADJOURNMENT

FERGUSON TOWNSHIP PLANNING COMMISSION REGULAR MEETING MINUTES MONDAY, MARCH 13, 2023 6:00 PM

ATTENDANCE

The Planning Commission held its first meeting of the month on Monday, March 13, 2023, as a hybrid meeting. In attendance:

Commission:

Jerry Binney – Chair Dr. Ellen Taricani – Vice Chair Rob Crassweller - Secretary Jennifer Eccleston Shannon Holliday Bill Keough Lisa Rittenhouse Lewis Steinberg Ralph Wheland

Staff:

Jenna Wargo – Director of Planning Jeff Ressler - Zoning Administrator Kristina Bassett – Community Planner

Others in attendance: Rhonda R. Demchak, Recording Secretary

I. CALL TO ORDER

Mr. Binney called the Ferguson Township Planning Commission's regular meeting to order on Monday, February 13, 2023, at 6:00 p.m. and it has been advertised in accordance with the PA Sunshine Act as a hybrid meeting.

Ms. Wargo took roll call, and the Planning Commission had a quorum.

II. CITIZEN INPUT

There were no comments.

III. APPROVAL OF MINUTES

Mr. Steinberg moved that the Planning Commission **approve** the February 13, 2023, Regular Meeting Minutes. Mr. Wheland seconded the motion. The motion passed <u>unanimously</u>.

IV. NEW BUSINESS

1. REQUEST FOR CONSIDERATION OF A MODIFICATION/WAIVER

Ms. Wargo noted on November 14, 2022, PGH Real Estate Holdings, LLC requested a modification from Chapter 22-516 – Landscaping. The 125 East Pine Grove Road Preliminary Land Development Plan proposes the conversion of a single-family home into a restaurant with indoor and outdoor dining areas. The property is located at 125 East Pine Grove Road (24-009A-030-0000) and is zoned Village (V). The property is approximately 0.496 acres.

The applicant is requesting a modification from providing the required amount of plantings in the buffer yard under the ordinance. The lot is small in size with overhead utilities that the applicant claims are not conducive to successful plantings. The applicant has proposed alternative landscaping for the buffer yard requirements.

Included in the agenda are the proposed alternatives from the applicant and two

memos from the Township Arborist. The first is a memorandum with the Arborist's recommendation and the other outlines the Ferguson Township Tree Commission's recommendation on the request. Staff have reviewed the request and recognizes that §22-516 is challenging to apply to certain zoning districts and is recommending amending §22-516—Landscaping and approval to the Planning Commission.

Ms. Wargo reviewed the map that was included in the agenda packet.

Mr. Keough expressed concerns with trees that shed due to appearance as well as clogging of drains.

Mr. Crassweller pointed out that since the pollinator garden is listed as perennials, they should be listed on the plan. Ms. Wargo will ask the Township Arborist.

Mr. Keough stated that he liked this type of establishment being added to the Village District and noted that the intersection will be changing into a modified traffic circle.

Mr. Steinberg moved that the Planning Commission recommend **approval** of the Application for a Modification from §22-516—Landscaping to the Board of Supervisors for 125 East Pine Grove Road Mr. Wheland seconded the motion. The motion passed unanimously.

V. COMMUNICATIONS TO THE COMMISSION

There were none.

VI. OFFICIAL REPORTS AND CORRESONDENCES

A. Board of Supervisors

Ms. Wargo reported that the Board decided to pause the proposed map amendment and that it will be sent back to the Pine Grove Mills Small Area Plan Committee. The Fairbrook Parks Master Plan will be advertised for a public hearing on March 21st. The Board adopted the Saybrook Park Master Plan. There were a lot of discussions around the COG Budget.

B. CRPC Meeting

Dr. Taricani noted they looked at three different land rezoning proposals that included widening Struble Road, adding on to Geisinger Graywoods, and a self-storage facility in Patton Township. The Committee reviewed the 10-year Staff Assessment and Comprehensive Plan.

Mr. Keough gave an update on the Whitehall Regional Park process as a member of the Park Authority. Mr. Keough reported that they are recruiting a new Director for Centre Region Parks due to a recent resignation. Mr. Keough gave an update on the Millbrook Marsh and reported that there are two construction projects that are currently being done. One being the addition to the Educational Building and building a Welcome Center near the marsh. Mr. Keough reported that part of the boardwalk will be shut down and noted that engineers are reviewing.

C. Land Development Plans

Ms. Bassett reviewed the Land Development Plans below.

Ferguson Township Planning Commission Monday, March 13, 2023 Page 3

PLAN NAME	SUBMISSION DATE	REVIEW PERIOD	PLAN EXPIRATION				
All Washed Up Auto Spa Preliminary Land Development Plan	September 12, 2022	First Review Comments returned September 29, 2022	February 26, 2023				
Farmstead View Preliminary Subdivision Plan	July 30, 2021	DENIED Februa	ary 21, 2023				
Peace Center and Cemetery Preliminary Land Development Plan	May 18, ,2021	Second Review comments returned October 12, 2022	March 7, 2023				
IMBT Preliminary Subdivision Plan	January 31, 2022	Conditionally Approved September 6, 2022	April 16, 2023				
1004 West College Ave Vertical Mixed-Use Building	March 14, 2022	Third Submission Received	May 3, 2023				
MP Machinery Final Land Development Plan	January 26, 2023	Record	ded				
Salvation Baptist Church Preliminary Land Development Plan	June 1, 2022	Conditionally Approved November 1, 2022	April 16, 2023				
125 East Pine Grove Road Preliminary Land Development Plan	October 12, 2022	Third Review Comments returned February 28, 2023	May 7, 2023				
165 Volos Lane Minor Land Development Plan	June 3, 2022	Conditionally Approved September 20, 2022	May 16, 2023				
LeCrone Minor Subdivision Plan	October 21, 2022	Conditionally Approved January 17, 2023	April 17, 2023				
1900 Circleville Road	January 3, 2023	Staff First Review Comments returned January 20, 2023	April 3, 2023				
LeCrone Preliminary Land Development Plan	February 1, 2023	First Review comments returned February 20, 2023	May 2, 2023				

Ms. Bassett reviewed briefly her memo regarding the Slab Cabin Run Water Quality Evaluation Report that was included in the agenda packet. Mr. Keough questioned the meaning and impact of the report. Ms. Bassett stated that the report means that the water quality is improving and is being used as a benchmark of what is being done correctly. Mr. Keough expressed fear that this will become an excuse and reason to limit further activity on properties where it runs through.

Mr. Binney encourage others to take the <u>State Transportation Survey.</u> Ms. Wargo reported that there will be a Q&A session held on April 12, 2023.

D. Staff Updates

Ms. Wargo reported that the Terraced Streetscape District Rewrite - 2nd Public Meeting will be held on March 15th at 6:00 p.m. at the Township Building and via zoom.

Ms. Wargo reported that Ferguson Township started using T2 Parking Software.

VII. Adjournment

Dr. Taricani made a motion to *adjourn* the March 13, 2023, Planning Commission meeting at 6:53 p.m. Mr. Keough seconded the motion passed unanimously.

Respectfully Submitted,

Ferguson Township Planning Commission Monday, March 13, 2023 Page 4

> Rob Crassweller, Secretary For the Planning Commission



APPLICATION FOR CONSIDERATION OF A MODIFICATION

Ferguson Township, Centre County

Submittal Date:

A fee of \$50.00 is required at the time of submitting this application.

The undersigned hereby applies for approval of a modification/waiver, submitted herewith and described below:

Applicant Information

	9 16877 _{Zip}
Street Address City 8/4.574.2588(c) 8/4.692.4755(H) Phone Number	
Street Address City	
Phone Number	. •
Property/Plan Information	
ropertyrian mormation	
SCHAUFLER GARAGE - PARTIAL 2 PLOOR GARAG	E TO APARTA
Plan Name	
	Ŷ
Plan Number Plan Date	
IGHT W COTESPURG PD	
1647 W GATESBURG RD 24-006-,001A Project Location Parcel Number	,0000 -
DOUGLAS & JANET SCHAUFLER	
lame of Property Owner(s)	
1647 W GATESBURG RD WARPIORS MARK PA	16877
treet Address City	Zip
Application Type	
Application Type: Subdivision Terraced Streetscape District (TSD)	
Subdivision Terraced Streetscape District (TSD)	
🛃 Land Development 🛛 🗌 Traditional Town Development (TSD) Distr	ict
Modification/Waiver Request Information	
pecific Section(s) of the Subdivision and Land Development Ordinance or I vhich a Modification/Waiver is requested:	Design Standards fo
when a mouncation warver is requested.	



APPLICATION FOR CONSIDERATION OF A MODIFICATION Ferguson Township, Centre County

State any proposed alternative(s) to the requirement:

PROVIDING DRAWINGS OF PROPOSED PROJECT,	
STTE LOCATION SKETCH AND BUILDING PERMIT	
APPLICATION.	

Please state in full, the grounds and facts of the unreasonableness or hardship the Ferguson Township Subdivision and Land Development Ordinance has placed on the property.

THIS PROJECT IS A CONVERSION OF EXISTING SECOND
FLOOR GARAGE SPACE TO AN APARTMENT AS SHOWN ON
DRAWINGS. THE UN REASON ABLENESS OR HARDSHIP IS
THE ADDITTONAL EXPENSE THAT WILL BE INCURRED
PROVIDING 22-306.3.

*If necessary, please continue with your hardship specification on another page.

The undersigned hereby represents that, to the best of their knowledge and belief, all information listed above is true, correct, and complete.

Signature

03/17/2023 Date

-For Office Use Only-

Date Received:	Ву:		
Date Paid:	Check No.:	Amount:	
Advertisement Dates:	Planning Cor	nmission Review Date:	
Board of Supervisors Meetin	g Date:		

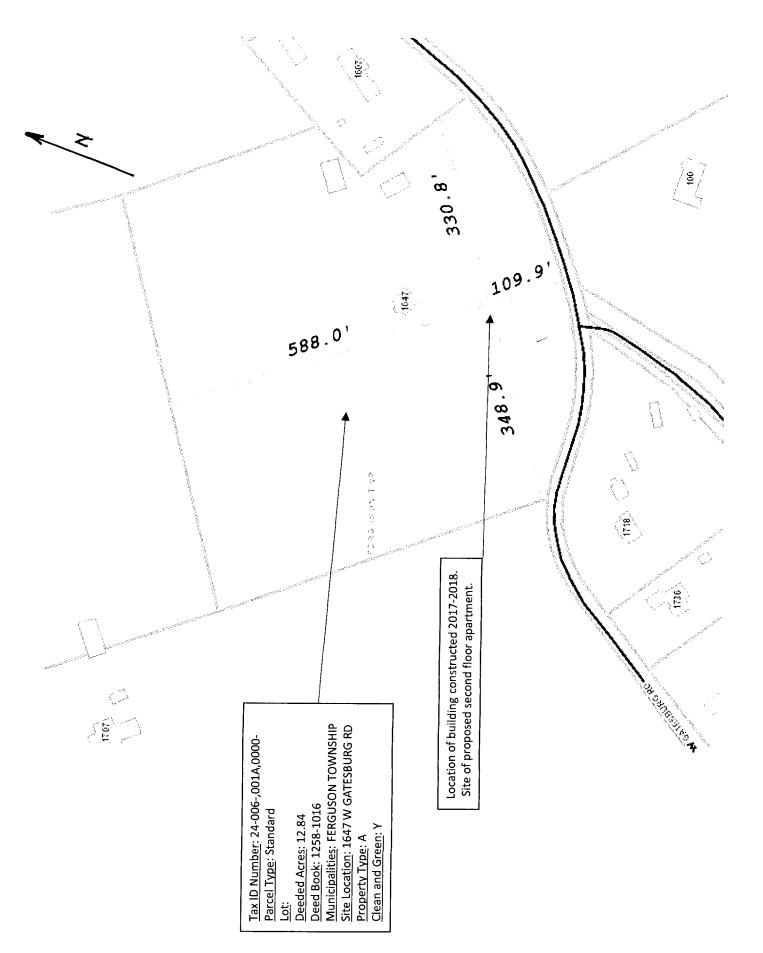
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Role: Owner Tenant Contractor Design Professional	Name Douglas schaufler	1647 W GATESBURG RD WARRIORS MARK ^M 16871 SAME AS ABOVE TOT TYLER AVE	814.574.2588 814.574.2588	CRAWFORD DRAFTINGe				
Role: Owner Tenant Contractor Design	Name Douglas schaufler	1647 W GATESBURG RD WARRIORS MARK ^M 16871 SAME AS ABOVE TOT TYLER AVE	814.574.2588 814.574.2588	CRAWFORD DRAFTINGe				
Role: Owner Tenant	Name Douislas scimurler	1647 W GATESBURG RD WARRIORS MARK ^M 16871	84.574.2588	dougschaufter@. gmail.com SAME				
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Role:	Name	1647 W GATESBURG RD	814.574.2588	dougs chaufler @				
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\$ 15,000		Sprinkler System ONLY	Public or privaPrivate (well, c					
Declared cos			Private (on lot septic tank, etc.) Type of water supply:					
Proposed	d Rental	Repair, replacement	Type of sewage dispose Dublic or priva	te company				
Current l	Rental	Alteration	Total Square footage:	896 FT2				
Commer Resident		New building Addition	Height (feet): 26 F No of Stories: 2	7				
Type of Prop		e of Improvement:	Building Information: Dimensions:					
TYPE AND C	OST OF WORK OR IMPROVE	MENT	····					
Rural Directi	ions: <u>BETWEEN RI</u>	DER FARM & GATES H	CARM					
	r: <u>FERGUSON</u> Ess: 1647 W GATESE	Tax Parcel N	o: <u>24-006-,00</u>	1A,0000-				
LOCATION C	DF PROPOSED WORK OR IMPR	OVEMENT						
EST: 1962	1	FOR ZONING AND BUI	LDING PERMIT					
	Tel: 814-231-3056		Sewer Permit:					
			Zoning Permit N Water Permit:	No:				
	2643 Gateway Drive		.	No: March 27, 2023				

OFFICE USE ONLY	
DETAILS	
Square footage	Level of alteration
Housing:	t H. III
Basement:	Change of Use:
Finished:	New Building:
Unfinished:	
Garage:	
Total Square Footage:	
(must equal breakdown above)	
Additional Notes:	
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ZONING PLANS EXA	MINER NOT	ES					
Zone: Lot Square Footage: Percent Coverage: Notes:		Enclose	et parking space	Set Backs Front Right Side Left Side Rear	North √	Required	Provided
Approved:			_ Date approve	d:	Pern	nit No.:	
CODES PLANS EXAMINE	R NOTES						
			OCCUPANCY I	NFORMATION			
	Туре о	f Construction	::	Use Group:		_	
FLOOR BASEMENT	# OF UNITS	MAX OCC LOADS	MAX LIVE LOAD (Ibs per sq.ft.)	FLOOR SEVENTH FLOOR	# OF UNITS	MAX OCC LOAD	MAX LIVE LOADS (Ibs per sq.ft.)
FIRST FLOOR				EIGHTH FLOOR			
SECOND FLOOR			· · · · · · · · · · · · · · · · · · ·	NINTH FLOOR			
THIRD FLOOR FOURTH FLOOR				TENTH FLOOR ELEVENTH FLOOR	<u>.</u>		
FIFTH FLOOR				ROOF			
SIXTH FLOOR				OTHER			
Plan Approved:				Date Approved:			
Building Permit No:			Date	Permit Issued:			
	Deposit Paid \$ Balance Due \$						
Deposit Date	Check/Cash By						



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Impervious Surface Calculation Requirments

Impervious Surface – a surface that limits the infiltration of water into the ground, including but not limited to any rooftop surface or swimming pool, or any asphaltic pavement, concrete or compacted gravel; any of which is used for driveway, ditches or courts.

The Ferguson Township Zoning Ordinance places a maximum impervious surface percentage on developing land. This percentage varies for each zoning district. When any person applies for a zoning permit, he/she must supply the lot's total impervious surface amount, <u>stated in square feet</u>, including the proposed alterations. This information can be provided as follows:

Property Address: _____

Applicant Information	
557, 568 FT2 Lot	Area Square Footage
<u>/88/ F72</u> Hou	se (footprint)
<u>4195 FTZ</u> Sho	:d(s)
Sid	ewalk(s)
<u>800 F7² Dri</u>	veway(s) (paved and gravei)
N/A Swi	mming Pool
208 F72 Wo	oden deck(s), Porches, Patios, etc.
An	y other surface that inhibits water from directly entering the ground
7084 F7 ² Tot	al Impervious
Office Use Only	
Total Impervio	us% Impervious

Please call the zoning office if you have any questions: 238-4651 or email the zoning administrator at <u>iressler@twp.ferguson.pa.us</u>.

Rev. 4-8-10

Application for Zoning Permits

To apply for a zoning permit, you must submit the following items to the zoning administrator:

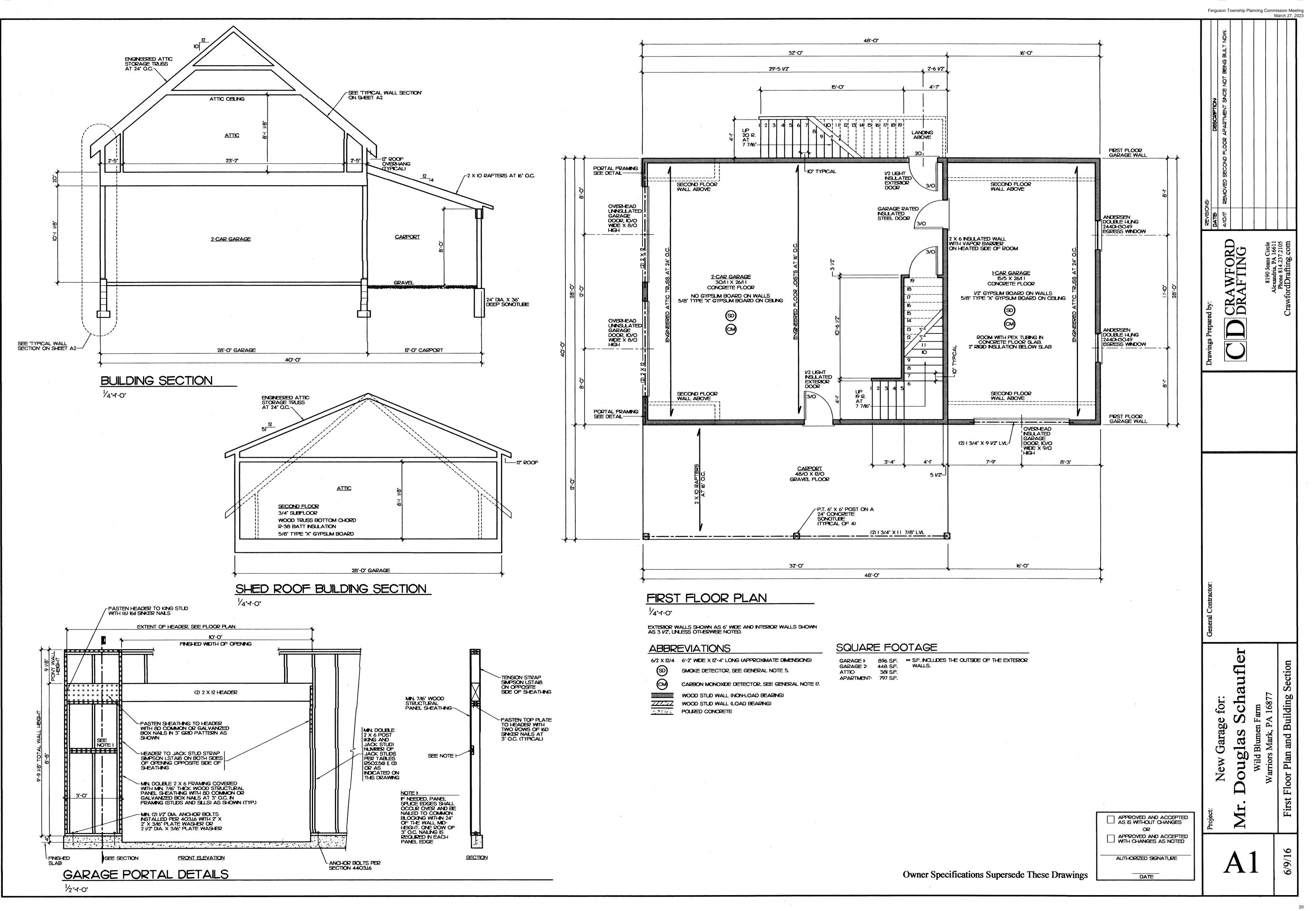
- 1. A completed Application for Zoning Permit form and permit fee paid at the time of application. Application forms are available from the Township office or on-line.
- 2. A copy of a sewage permit is required if the zoning permit application is for a new structure needing sewer service or a use that requires different sewer needs (e.g. new dwelling or office building). Sewage permits are obtained from the sewage authority for off-site sewer service, or from the township sewage enforcement officer for on-site sewer service.
- 3. A copy of a water permit from the water authority or private company is required if the zoning permit application is for a new structure needing water service (e.g. new dwelling or office building). A water permit is not required if the property will be served by an onsite well.
- 4. A completed road occupancy permit application is required when access will be made onto a township road.
- 5. A Pennsylvania Department of Transportation highway occupancy permit is required when access will be made onto a state road.
- 6. An approved copy of a land development plan, if required, or a sketch plan showing the following information:
 - a. The property lines and dimensions of the lot.
 - b. The location and dimensions of all existing and proposed structures on the lot.
 - c. The existing and proposed uses of buildings.
 - d. The location and dimensions of all existing and proposed access points and driveways to the property.
 - e. The number and location of all existing and proposed parking spaces.
 - f. Distances marked between all existing and proposed structures to the front, rear, and side property lines.
 - g. Scale of the sketch plan (Example 1/8" = 1').
 - h. North arrow.
 - i. Identification of adjoining streets.
 - j. Identification of any easements that cross the property.
 - k. Location of the front, rear and side yard setbacks.

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Ferguson Township 3147 Research Drive State College, PA 16801 814-238-4651 814-238-3454 (fax) www.twp.ferguson.pa.us 000000 Receipt No. 00021713 03/17/2023 02:02 PM Douglas & Janet Schaufler 01 Zoning Permit /MODIFICIATION @ 1647 W GATESBUR 50.00 G Check # 11520 Receipt Total 50.00 Payment Total 50.00 Thank you!



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Last Ser

THE FOLLOWING ARE CURRENT INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO- FAMILY DWELLINGS 2009'. SOME OF THE NOTES MAY NOT BE APPLICABLE, SINCE NOT PART OF THIS PROJECT. REFERENCE PAGE NUMBERS MAY VARY FROM CODE BOOK TO CODE BOOK. SEE IRC BOOK FOR ADDITIONAL REQUIREMENTS (EXCEPTIONS, ETC.) NOT INDICATED BELOW.

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE OF CODE AND SHALL ADHERE TO ALL REQUIREMENTS. ALL NOTES AND DETAILS ARE SUBJECT TO CHANGE BASED UPON MANUFACTURERS SPECIFICATIONS.

GENERAL NOTES

- I HABITABLE ROOMS TO COMPLY WITH LIGHT, VENTILATION AND HEATING REQUIREMENTS UNDER SECTIONS R303. BATHROOM VENTILATION REQUIREMENTS PER SECTION R303.3. (PAGE 53).
- 2. BEDROOM WINDOWS TO COMPLY WITH SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS. (PAGE 58). 3. DOOR FROM APARTMENT TO ATTIC REQUIRED TO BE A MIN. 1-3/8" SOLID DOOR, 20 MINUTE RATED PER
- SECTION R302.5.L 4. ATTIC ACCESS (MIN. 22" X 30") TO COMPLY WITH SECTION R807.1 (PAGE 43).
- 5. SMOKE ALARM LOCATIONS (SECTION R314) IN EACH BEDROOM AND IN THE IMMEDIATE VICINITY OF EACH BEDROOM, ON EACH LEVEL AND POWER SOURCE TO BE HARD WIRED WITH BATTERY BACKUP. ALARMS ARE NOT REQUIRED IN CRAWL SPACES AND UNINHABITABLE SPACES. WHEN ALARMS ARE MOUNTED ON CELING, THEY MUST BE PLACED 12" (MINU AWAY FROM WALL/CELING CORNER. (PAGES 62 AND 63). SMOKE ALARMS SHALL BE INTERCONNECTED AS MORE FULLY DESCRIBED IN SECTION R314.3.
- 6. GARAGE AND APARTMENT WALLS SEPARATED BY 1/2" (MIN) GYPSUM BOARD PER SECTION R309.2. (PAGE 58). GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT. 7. ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURES SPECIFICATIONS AND SUPERSEDE THESE DRAWINGS.
- 8. FIRE BLOCKING TO COMPLY WITH SECTION R6028. (PAGE 157).
- 9. PLUMBING TO COMPLY BEGINNING WITH CHAPTER 25. (PAGE 589).
- IO. ELECTRICAL TO COMPLY BEGINNING WITH CHAPTER 34. (PAGE 645).
- 11. HEATING AND COOLING PER PENNSYLVANIA ALTERNATIVE RESIDENTIAL ENERGY PROVISIONS. 12. VAPOR BARRIER TO BE KRAFT PAPER ON WARM IN WINTER SIDE OF WALL
- 13. ANDERSEN WINDOWS SPECIFIED. SEE PLANS FOR MODEL NUMBERS. UNITS WITH TEMPERED GLASS PER SECTION R308. (PAGE 55). CONTRACTOR SHALL VERFY ALL WINDOW MODEL NUMBERS SHOWN MEET THE MINIMUM SIZE AND THERMAL REQUIREMENTS.
- EGRESS WINDOWS MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET IN ALL AREAS EXCEPT GRADE FLOOR OPENINGS SHALL HAVE A NET MINIMUM CLEAR OPENING OF 5 SQUARE FEET. MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND MINIMUM NET CLEAR OPENING WIDTH OF 20" AS MORE FULLY DESCRIBED IN SECTION 1210 SECTION R310.
- 14. EXHAUST HOOD SYSTEMS WITH MORE THAN 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AS FULLY DESCRIBED IN SECTION 1503.4.
- 15. SEE LETTER FROM PA DESIGN PROFESSIONAL FOR STRUCTURAL ITEMS IN THIS PROJECT. 16. AR BARRIERS SHALL BE USED BEI-IND TUBS, SHOWERS AND FIREPLACES WITH FRAMED CHIMNEYS ON THE EXTERIOR WALL AS MORE FULLY DESCRIBED IN SECTION 1102.
- 17. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES (SECTION R3)5, PAGE 63).
- 18. MINIMUM ROOM AREAS TO COMPLY TO SECTION R304. (PAGE 54). 19. CEILING HEIGHT REQUIREMENTS PER SECTION R305. (PAGES 54 AND 55).
- 20. SITE ADDRESS NUMBERS SHALL BE MIN. OF 4" HIGH AND MIN. STROKE OF 1/2 INCH. SECTION R319.1 (PAGE 67) 21. CONTRACTOR SHALL REVIEW ALL THIRD PARTY DRAWINGS (PRECAST WALL SYSTEM, FLOORING SYSTEMS, ETC.) PRIOR TO ORDERING THE SYSTEMS TO ENSURE ALL DETALS, DIMENSIONS, ETC. WILL CONFORM TO
- THESE DRAWINGS. 22. CONTRACTOR SHALL REVIEW THESE DRAWING DIMENSIONS, DETAILS, MATERIALS, ETC. AND THE SITE CONDITIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE ADDRESSED TO CRAWFORD DRAFTING SERVICES FOR CORRECTION. UPON RECEPT OF THE CORRECTIONS, IF ANY
- CONTRACTOR AGREES TO ACCEPT THESE DRAWINGS "AS IS". 23. THESE DRAWINGS ARE A GUIDE FOR CONSTRUCTION AND HAVE BEEN REVIEWED BY THE OWNER. THE CONTRACTOR SHALL INFORM CRAWFORD DRAFTING OF ANY DETAILS, ETC. THAT THE CONTRACTOR WILL CONSTRUCT DIFFERENTLY THAN SHOWN IN THESE DRAWINGS PRIOR TO CONSTRUCTION. ALL FINAL CONSTRUCTION DETAILS SHALL BE DRAFTED PER THE DIRECTION OF THE CONTRACTOR PRIOR TO SUBMITTING THE DRAWINGS TO CENTRE REGION CODE AGENCY FOR A BUILDING PERMIT.
- 24. WINDOW SLL HEIGHT WILL BE MORE THAN 24" ABOVE THE FINISHED FLOOR WHEN DISTANCE TO GRADE IS MORE THAN 6" FROM THE SLL TO THE EXTERIOR FINISHED GRADE.

STAIR NOTES

- L STARS TO COMPLY WITH SECTIONS R31 L7 (STARWAYS), R31 L7.7 (HANDRALS) AND R312 (GUARDS). (PAGES 60, 61 AND 62).
- 2. STARS: MAX. RISE = 7 3/4", MIN. TREAD = 10", PER SECTION R31 L7.4.J AND R31 L7.4.2. (PAGE 60). * CENTER REGION CODE ALLOWS MAX. RISE OF 8 1/4" AND MIN. TREAD OF 9".
- 3. STARWAY HEAD ROOM TO BE A MINIMUM OF 6'-8" MEASURED VERTICALLY FROM THE SLOPED LINE THE TREAD NOSING OR FROM THE FLOOR SURFACE THE LANDING OR PLATFORM ON THAT PORTION OF THE STARWAY AS MORE FULLY DESCRIBED IN SECTION R31 1.7.2.
- 4. HANDRAL DIAMETER CRCULAR CROSS SECTION WITH OUTSIDE DIAMETER OF AT LEAST 1 1/4" BUT NO GREATER THAN 2" AS MORE FULLY DESCRIBED IN SECTION R31 17.7.3 (1) OR GRASPABLE FINGER RECESS AREA AS MORE FULLY DESCRIBED IN SECTION R31 17.7.3 (2). HANDRAL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS AS MORE FULLY DESCRIBED IN SECTION R31 1.7.7.2.
- HANDRALS SHALL BE PROVIDED ON AT LEAST ONE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS PER SECTION R31 L7.7.
- 5. GUARD HEIGHT TO COMPLY WITH SECTION R312.2, GUARD ON RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT. GUARDS ON OPEN STEPS MAY BE 34" IN HEIGHT. (PAGE 62).
- 6. PICKET SPACING TO COMPLY WITH SECTION R312.3, LESS THAN 4" (6" AT "TRIANGULAR OPENING"). (PAGE 62). 7. HANDRALS TO COMPLY WITH SECTION R31 L7.7 (FOR 4 OR MORE RISERS), HANDRAL GRIP SIZE TO COMPLY WITH SECTION R31 L7.7.3. (PAGES 60 AND 60).
- 8. STAIR ILLUMINATION TO COMPLY WITH SECTION R3117.8. (PAGE 6).

FOUNDATION NOTES

L SEE TYPICAL WALL SECTION FOR FOUNDATION WALL AND FOOTING SPECIFICATIONS. SEE CHAPTER FOR FOUNDATION, FOOTING, CRAWL SPACE, WOOD STUD AND MASONRY WALL REQUIREMENTS. (PAGE 7).

- 2. BOTTOM OF FOOTINGS SHALL BE MIN. DEPTH OF 36" BELOW GRADE.
- 3. BASEMENT AND GARAGE FLOOR 3,000# PSI WITH 6 MIL. VAPOR BARRIER (R405.2.2) OVER 4" STONE. GARAGE FLOOR TO COMPLY WITH SECTION R506. SEE TYPICAL WALL SECTION FOR THICKNESS OF CONCRETE SLABKS). (PAGE 144)
- 4. ANCHOR BOLTS TO BE 1/2" DIA., 6 FEET O.C. 12" FROM CORNER AND 12" FROM ENDS OF EACH PLATE AND 7" MIN. INTO MASONRY OR CONCRETE, SECTION R40316. (PAGE 77).

5. BACKFILL SHALL NOT BE PLACED AGAINST THE WALL UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR ABOVE, OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFILL SECTION R404.17 (PAGE 103).

- 6. FOR UNREINFORCED 4" SLABS, CONTROL JOINTS SHOULD BE 8' TO 10' O.C. IN EACH DIRECTION.
- 7. TERMITE SHIELD AS PER SECTION R318 (PAGE 66).
- 8. FOUNDATION DRAINAGE REQUIRED PER SECTION R405.1 (PAGES 105).

9. GRADE MUST BE AT LEAST 6" BELOW BOTTOM OF SIDING, SHEATHING AND WALL FRAMING 10. GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MIN. OF 6" WITHIN THE FIRST 10 FEET PER SECTION R4013 (PAGE 71). EXPECTIONS NOTED IN THIS SECTION.

11. FLOOR VAPOR RETARDER PER SECTION R506.2.3. (PAGE 144)

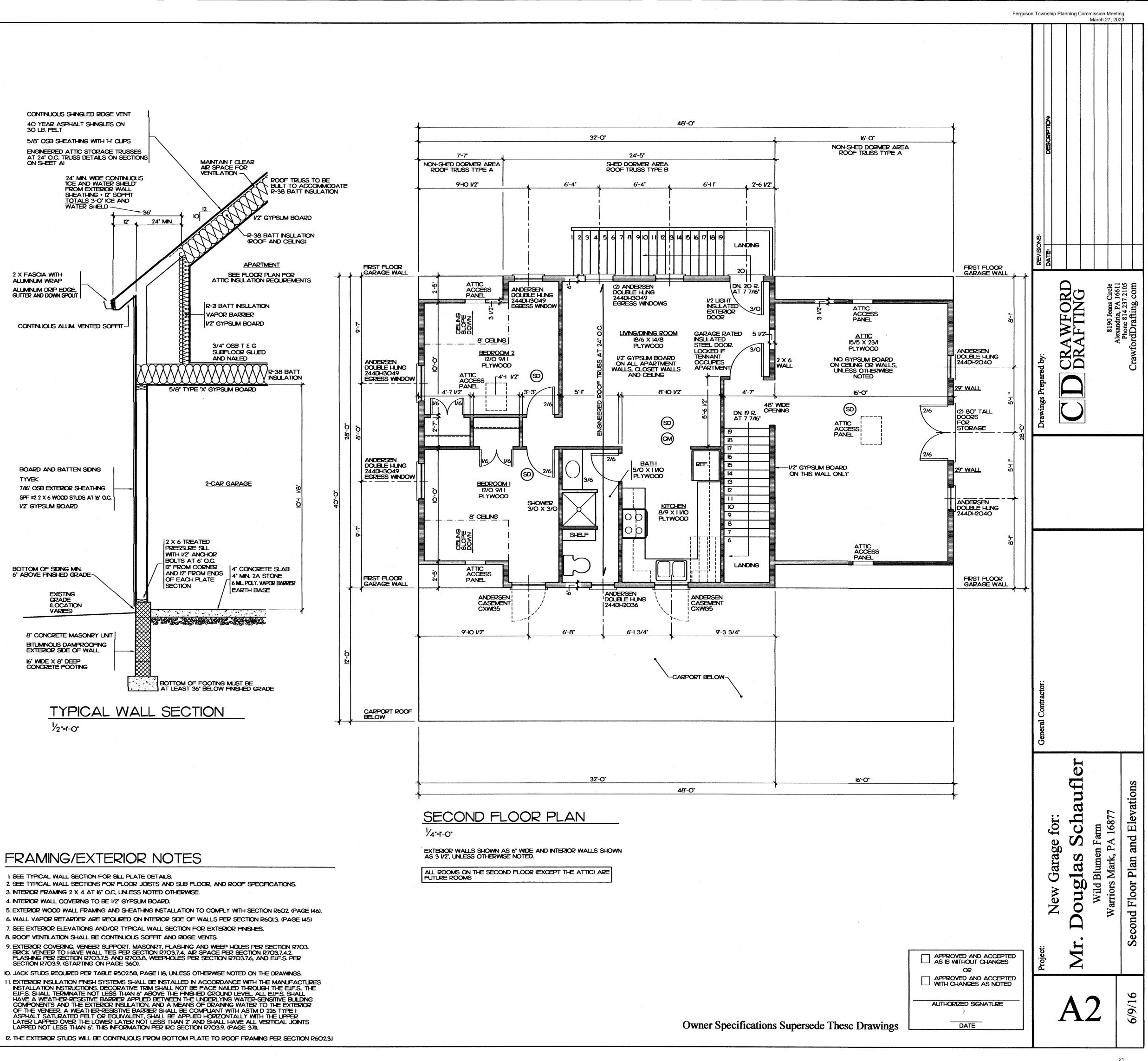
GENERAL STRUCTURAL NOTES

- LEXTERIOR FRAMING SPF #22 X 6 AT 16" O.C. SEE TYPICAL WALL SECTION FOR ALL OTHER EXTERIOR WALL DETAILS.
- 2. ALL FRAMING LUMBER SHALL BE #2 OR BETTER SPRUCE PINE FR (SPF) NORTH SPECIES. 3. THE FRAME OF ALL ALL EXTERIOR DECKS SHALL BE CONSTRUCTED OF PRESSURE TREATED WOOD LUMBER.
- 4. ALL HEADERS IN LOAD BEARING WALLS TO BE (2) 2 X 12, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- 5. ALL LVL'S SHALL BE AS MANUFACTURED BY LOUISIANA PACIFIC OR EQUAL WITH FL= 2,650 PSI AND E = 1,900,000 PSI, UNLESS NOTED OTHERWISE.
- 6. FOR EXTERIOR WALL SHEATHING, PROVIDE MINIMUM 7/6" APA RATED WOOD SHEATHING WITH ALL PANELS ATTACHED TO THE STUDS WITH 8D COMMON OR GALVANIZED BOX NALS AT 6' O.C. (PANEL EDGES) AND AT 12" O.C. (INTERMEDIATE SUPPORTS).
- 7. FOR ALL INTERIOR GYPSUM WALL BOARD (EXTERIOR WALLS AND INTERIOR WALLS), ATTACH TO STUDS WITH 5D COOLER NALS OR MINIMUM NO. 6 TYPE S OR W, 1 1/4" DRYWALL SCREWS AT 7" O.C. (PANEL EDGES) AND AT 12" O.C. (INTERMEDIATE SUPPORTS).
- 8. ALL CONSTRUCTION INCLUDING CONNECTIONS AND FASTENERS, UNLESS SPECIFICALLY NOTED ON THESE DRAWINGS, SHALL COMPLY WITH THE REQUREMENTS OF THE 2009 INTERNATIONAL RESIDENTIAL CODE.

* NOTES SUBJECT TO CHANGE PER STRUCTURAL ENGINEERS PROJECT DESIGN REQUIREMENTS.

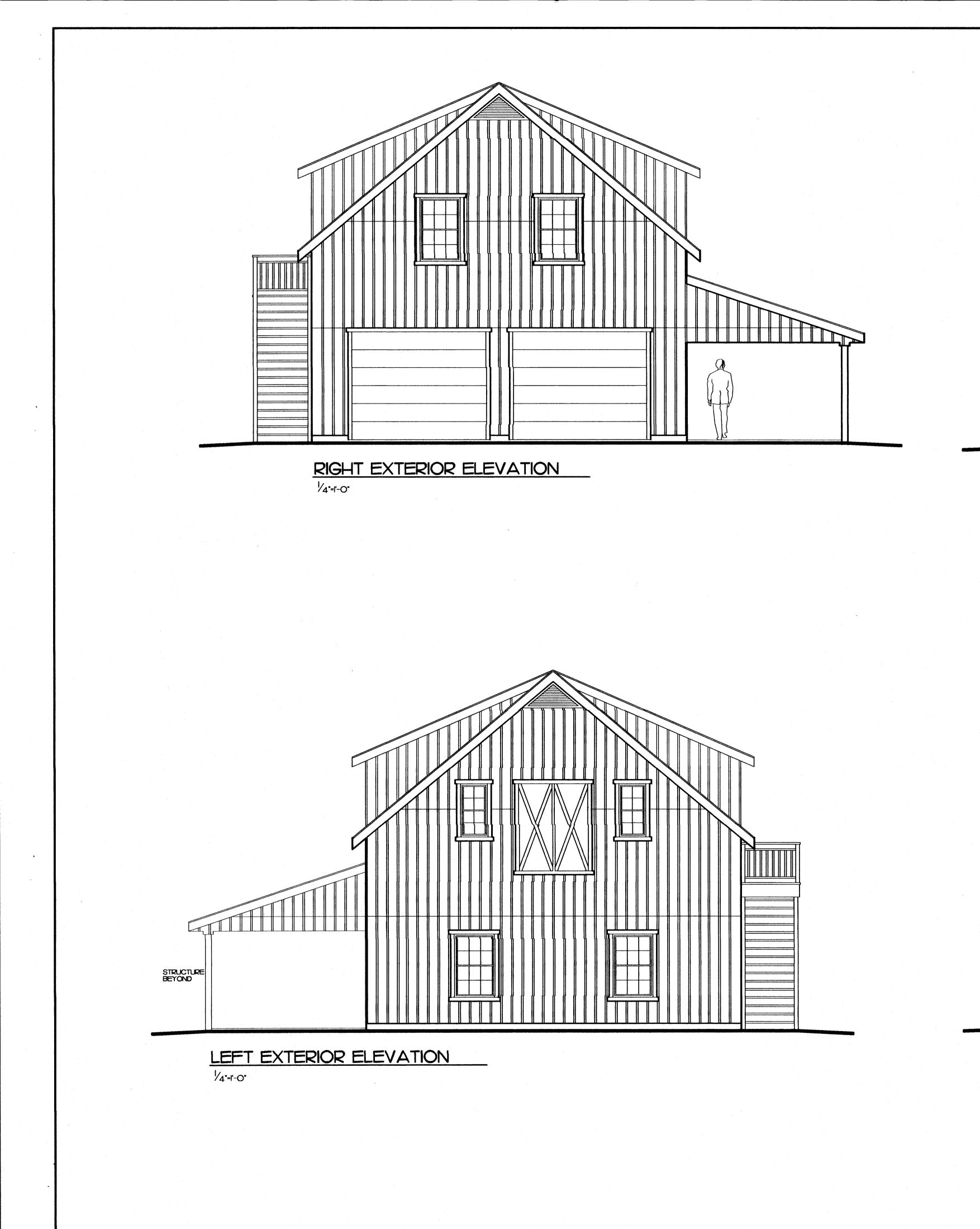
40 YEAR ASPHALT SHINGLES ON

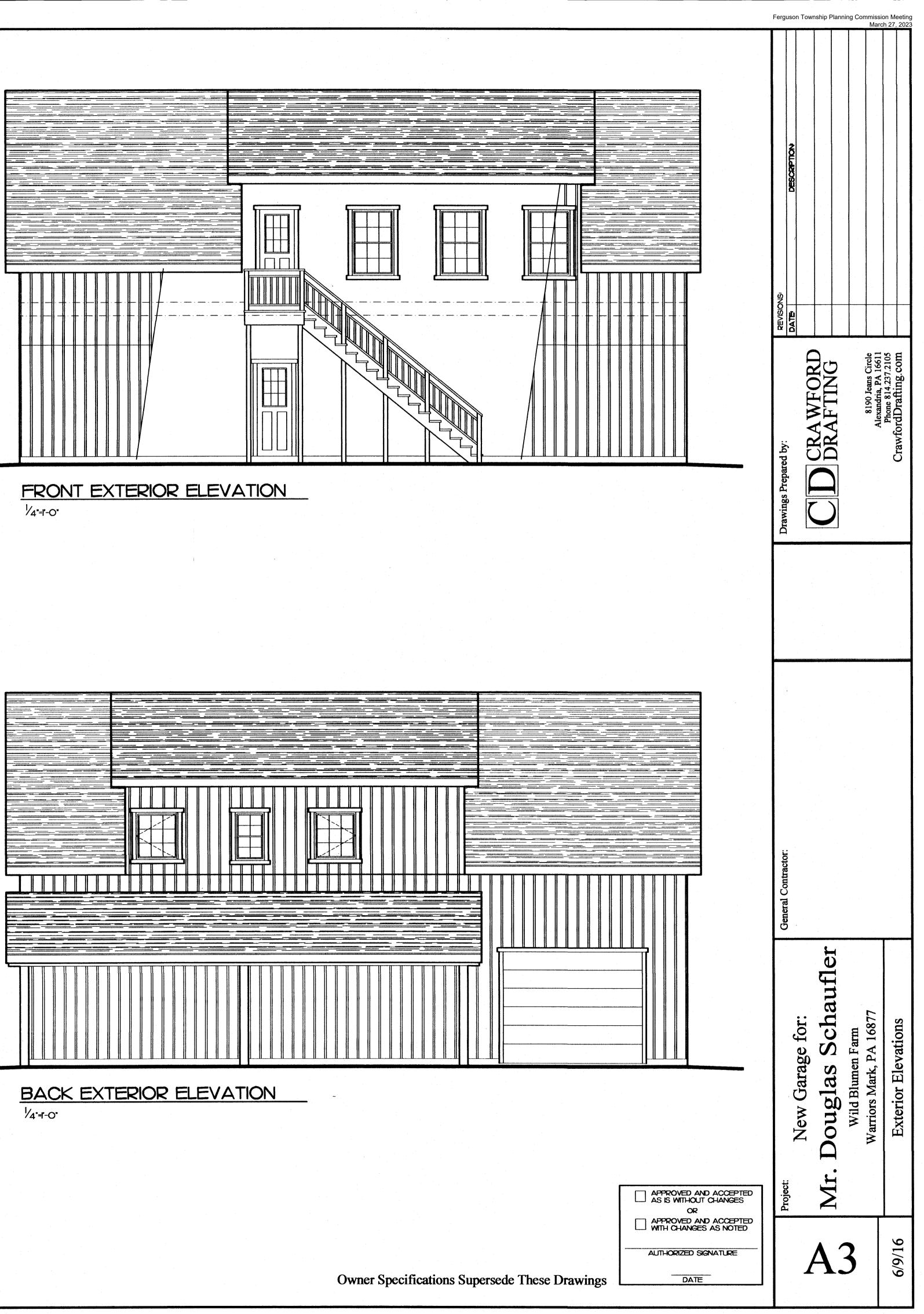
5/8" OSB SHEATHING WITH 'H' CLIPS

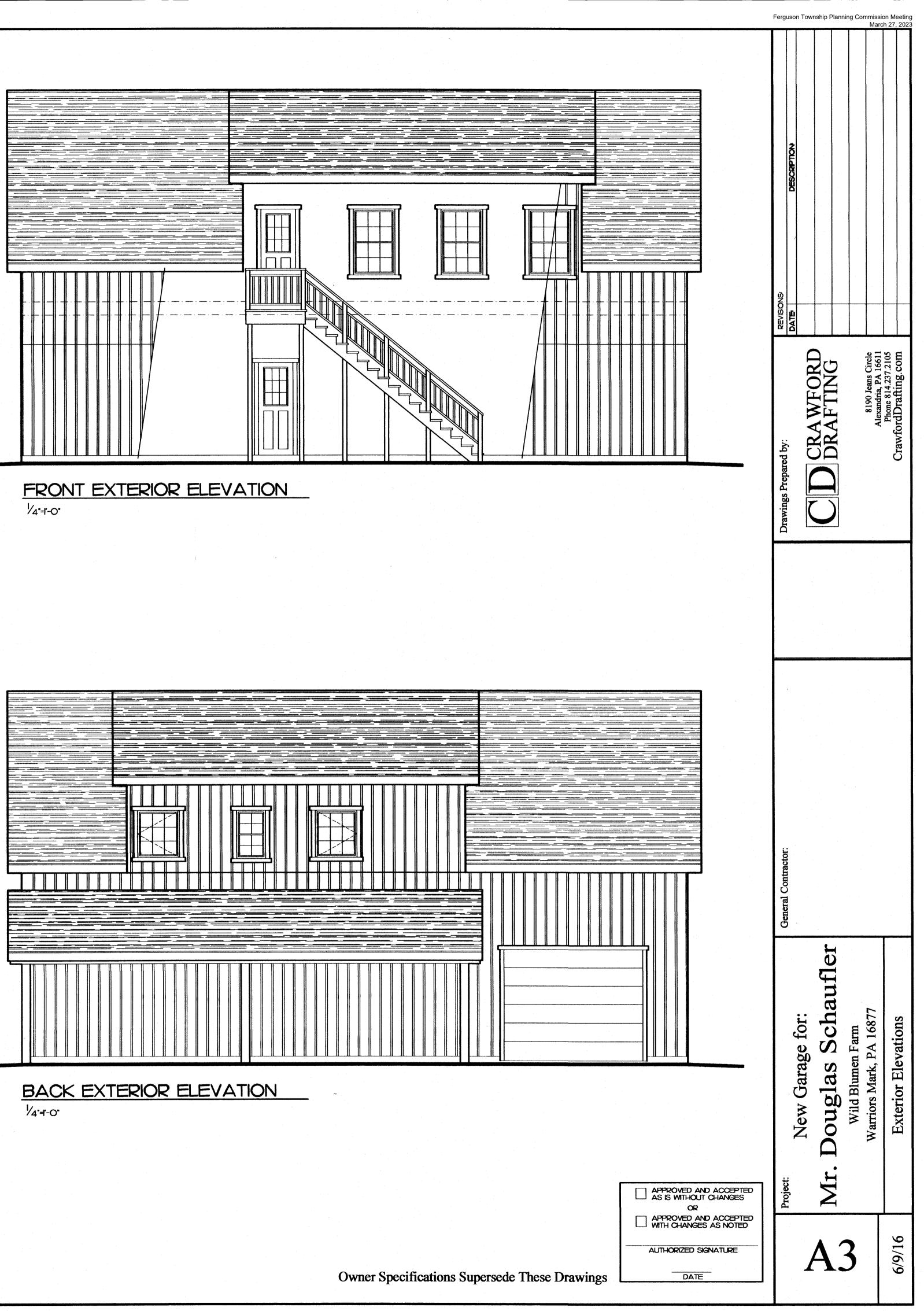


12. THE EXTERIOR STUDS WILL BE CONTINUOUS FROM BOTTOM PLATE TO ROOF FRAMING PER SECTION R602.31









740 Feet

185



