

**FERGUSON TOWNSHIP PLANNING COMMISSION
REGULAR MEETING AGENDA**

Monday, October 11, 2021

6:00 PM

Zoom Meeting

<https://us02web.zoom.us/j/83268113138>

Meeting ID: 832 6811 3138

- I. **Call To Order**
- II. **Citizen Input**
- III. **Approval of Regular Meeting Minutes**
 - A. September 27, 2021
- IV. **Unfinished Business**
- V. **New Business**

A. Land Development Plans

i. Orchard Square Preliminary Land Development Plan

Penn Terra Engineering, Inc. submitted, on behalf of their client, The Orchard Square Preliminary Land Development Plan. This plan proposes the construction of a 19,856 square foot Commercial Shopping Center, associated parking and utilities. As proposed, there will be 3 store fronts with 100 parking spaces. The lot, T.P. 24-004-067F,0000-, is 0.115 acres. The parcel is located within the General Commercial (C) Zoning District and within the Corridor Overlay District.

Staff has reviewed the proposed Orchard Square Preliminary Land Development Plan and is not recommending any conditions to be included with the plan.

Recommended Motion: *That the Planning Commission make a recommendation to the Board of Supervisors to approve the Orchard Square Preliminary Land Development Plan subject to the conditions described in the Community Planner's memorandum dated October 7, 2021.*

Staff Recommendation: Staff recommends that the Planning Commission review the Orchard Square Preliminary Land Development Plan and recommend approval to the Board of Supervisors pending outstanding review comments.

B. Community Planning

i. Rediscover State College Campaign

Brad Groznik from Groznik PR requested to attend a meeting with the Planning Commission on a potential campaign for the Centre Region called 'Rediscover State College'. The goal of this campaign is to promote the region to people considering moving back to State College for a higher quality of life.

The Rediscover State College website can be viewed at the following URL:

<https://www.rediscoverstatecollege.com/>

VI. Official Reports and Correspondences

- A. Board of Supervisors
- B. CRPC Report
- C. Land Development Plans
- D. Staff Updates

VII. Adjournment

**FERGUSON TOWNSHIP PLANNING COMMISSION
REGULAR MEETING MINUTES
MONDAY, SEPTEMBER 27, 2021
6:00 PM**

ATTENDANCE

The Planning Commission held its second meeting of the month on Monday, September 27, 2021, as a zoom meeting. In attendance:

Commission:

Jeremie Thompson – Chair
Jerry Binney – Vice Chair
Robert Crassweller
Bill Keough
Lisa Rittenhouse
Dr. Ellen Taricani
Lewis Steinberg
Qian Zhang – Alternate

Staff:

Jenna Wargo, Planning & Zoning Director
Kristina Bassett, Community Planner
Jeff Ressler, Zoning Administrator
David Pribulka, Township Manager

Others in attendance: Rhonda Demchak, Recording Secretary; Laura Dininni, Chair, Ferguson Township Board of Supervisors; Wes Glebe, Ferguson Township Residents; Christopher Bruce, Ferguson Township Resident; Chad Stafford, Civil Engineer, Penn Terra Engineering

I. CALL TO ORDER

Mr. Thompson called the Ferguson Township Planning Commission's regular meeting to order on Monday, September 27, 2021, at 6:00 p.m. Mr. Thompson noted that the Planning Commission meeting had been advertised in accordance with the PA Sunshine Act as a virtual zoom meeting. Persons attending and wanted to participate were asked to enter their name, municipality, and topic by utilizing the Q&A bubble at the bottom of the screen.

Ms. Wargo took roll call, and the Planning Commission had a quorum.

II. CITIZEN INPUT

There were none.

III. APPROVAL OF REGULAR MEETING MINUTES SEPTEMBER 13, 2021

Dr. Taricani moved that the Planning Commission **approve** the minutes of August 23, 2021. Mr. Crassweller seconded the motion. The motion passed unanimously.

Due to a scheduling conflict with the Township Manager, Jerry Binney moved that the Planning Commission start with the Draft Ordinance Amendment under Community Planning. Dr. Taricani seconded the motion. The motion passed unanimously

IV. COMMUNITY PLANNING

A. Draft Ordinance Amendment – Turf Grass, Weeds and Other Vegetation

Mr. Pribulka noted that the Board of Supervisors reviewed a draft amendment to the Township's Turf Grass, Weeds and Other Vegetation Ordinance on September 7, 2021. Comments on the ordinance have been incorporated in the revised draft that is included in the agenda packet. The amendments include an increase in the permitted height of

managed turf grass from six inches to eight inches; requirements to establish a mowed buffer around any installation; and removal of the audit provisions, as well as other minor amendments. The Board referred the amendments to Planning Commission for review and comment. There is an Ordinance Enforcement Officer that routinely patrols the Township and there is a process if there is a violation. Several years ago, native landscape gardens were added to the ordinance, but not many have taken advantage of the permit process.

Ms. Zhang asked how the ordinance of height is enforced. Mr. Pribulka noted that it is mostly complaint driven and the Township has a part-time Ordinance Enforcement Officer.

Mr. Steinberg asked what the standard is in other regions of Centre County. Mr. Pribulka noted it is mostly 6-8 inches but have seen it go to 10 inches.

Mr. Crassweller noted that the ordinance doesn't define what a weed is. Mr. Pribulka stated that it is subject to interpretation and will refine the language as appropriate. Mr. Crassweller asked if there were any provisions for field mice or moles. Mr. Pribulka noted that the 2-foot buffer surrounding any native landscape should deter nuisance animals.

Mr. Keough asked how many of the violations with the 6-inch grass occur with occupied homes. Mr. Pribulka noted that it is not common, but there have been violations. Mr. Keough asked if anyone spoke with PSU about the differences between 6-inch to 8-inch. Mr. Pribulka will reach out to the Extension Office for consultation. Mr. Pribulka noted that he has researched the differences in heights and has found no differences in keeping out invasive insects/species. Mr. Keough expressed concerns with changing the heights because 6 inches is common to the Homeowners Association and is opposed to the proposed change. Mr. Keough felt that the only reason this is being presented because of one incident where the resident didn't comply.

Dr. Taricani noted that 8-inch-high grass is a significant amount.

Ms. Rittenhouse stated that she lives in an HOA and noted that some will try to sidestep the HOA by going to the Township to get their way. Ms. Rittenhouse stated it is a consistent issue in Foxpointe.

Mr. Steinberg concurred with Mr. Keough to keep it at 6 inches.

Ms. Zhang asked if language could be added to the ordinance to address the HOA's. Mr. Pribulka noted it could be added but does not suggest having subset regulations. Mr. Pribulka stated that it is legally permissible for a HOA covenant to be more restrictive than the Township ordinances.

Mr. Keough asked why grow zone was removed from the ordinance and suggested adding back into the ordinance. Mr. Pribulka noted that the policy refers to green infrastructure, but the signage, marketing material, etc. are called grow zones. Mr. Keough suggested adding low-mow, no-mow meadows, and grow zones to the last sentence under B of Green Infrastructure. Mr. Pribulka will work the language back into the ordinance.

Mr. Thompson stated that there are residents in the northeast of the Township that are concerned with increasing the height. Mr. Thompson expressed concerns with pesticides not being properly applied. Mr. Pribulka noted that the Township has certified applicators on staff for roadside spraying.

Mr. Keough moved that the Planning Commission **recommend** approval of the Turfgrass, Weeds, and Other Vegetation ordinance proposed and maintain the 6-inch grass height that is in the current ordinance. Mr. Binney seconded the motion. The motion passed unanimously.

V. UNFINISHED BUSINESS

A. Zoning and SALDO Updates

Ms. Wargo noted that Comprehensive updates to the Township's Zoning and Subdivision and Land Development (SALDO) Ordinances were adopted in November 2019 by the Board of Supervisors. While applying the new regulations, staff has identified additional areas within the ordinance that need to be amended. The Board was presented with a redlined copy of staff's proposed amendments at the August 2, 2021 Board of Supervisors meeting. The board identified additional amendment that they would like to see included. Those comments are reflected in this redlined draft. On September 13, 2021, Planning Commission reviewed the first draft of amendments and provided input to staff. Staff has updated the redlined draft to reflect those comments as well. Ms. Wargo noted it will be an ongoing process.

Mr. Keough thanked the staff for reworking the language on page 2 of 18 in the agenda packet.

Mr. Steinberg had concerns regarding the disputed review fees about the clarity and could they pay the fee first then dispute. Ms. Wargo noted that the language is from the MPC and legally can't withhold approving a land development plan. Mr. Binney asked if interest could be charged. Ms. Wargo will look into but doubts that it can be done. Ms. Wargo will consult with the Township solicitor regarding the fees.

Mr. Keough asked how the fire hydrants requirements are handled in the RR and RA zones for residential properties because it is not listed. Ms. Wargo stated that there isn't a requirement but there is an exemption placed in the water supply requirement. Mr. Keough suggested getting clarity regarding the exemptions. Mr. Keough noted in the western end of the Township many years ago if there were three or more houses in a subdivision, the subdivider had to install a water tank in the ground. Mr. Keough would like to know if the tanks are still in the ordinance, if so, he suggested removing. Ms. Rittenhouse stated that Harris Township still has the ordinance where the developer can place holding tanks or sprinklers.

VI. NEW BUSINESS

A. Land Development Plans

i. **Rogan/Sycamore Drive Subdivision Application for Consideration of a Modification/Waiver from §22.306. – Minor Subdivision**

Ms. Bassett reported that Penn Terra Engineering, Inc. on behalf of their client, has requested a modification/waiver from Section 22.306. – Minor Subdivision. This section has a process that outlines requirements for submission, however the definition of a Minor Subdivision was omitted from the most recent update of the Subdivision and Land Development Ordinance. The plan is to split one lot into two. There was no fee due to the omission by the staff.

Ms. Bassett reviewed and gave an overview of the lot via a slide.

Mr. Keough moved that the Planning Commission **make** a recommendation to the Board of Supervisors to approve or deny the Application for Consideration of a Modification from §22.306. – Minor Subdivision. Mr. Crassweller seconded the motion. The motion passed unanimously.

ii. Rogan/Sycamore Drive Subdivision Application for Consideration of a Modification/Waiver from §22-512.1.E. – Sidewalks

Ms. Bassett reported that Penn Terra Engineering, Inc. on behalf of their client, has requested a modification/waiver from Section 22.512.1.E. – Sidewalks. This section states that sidewalks are required along both sides of all private streets and/or driveways serving more than three units unless a modification is granted by the Board of Supervisors. Only two lots are being proposed, each with approximately 50 foot frontage to the lot. No sidewalks currently exist along Sycamore Drive. The roadside berms along Sycamore Drive are rip rap lined channels and if sidewalks would be developed along Sycamore Drive, it would require the sidewalks to be placed into the lots and outside of the right-of-way.

Mr. Binney moved that the Planning Commission **make** a recommendation to the Board of Supervisors to approve or deny the Application for Consideration of a Modification from §22.512.1.E. – Sidewalks. Dr. Taricani seconded the motion. The motion passed unanimously.

iii. Rogan/Sycamore Drive Subdivision Application for Consideration of a Modification/Waiver from §506.1.B. & G. – Water Supply

Ms. Bassett reported that Penn Terra Engineering, Inc. on behalf of their client, has requested a modification/waiver from Section 22.506.1.B & G. – Water Supply. These sections require a fire hydrant to be provided along public roads for the protection of buildings. The spacing between fire hydrants shall not exceed 1000 feet in developments of one and two-family dwellings as measured along the center line of the fire apparatus access roads. Since the proposed house on Lot 1R is set back on the lot, it is not within the required distance from the fire hydrant.

The applicant wishes to install a National Fire Protection Association (NFPA) 13D Sprinkler System in the planned home(s) in lieu of relocating the fire hydrant as required by the Township's Ordinance. Relocating the fire hydrant requires an extension of nearly 700 linear feet and upgrading the current water infrastructure from 4" to 6" pipe. Installing the NFPA 13D Sprinkler System is financially feasible and provides a better opportunity for fire control in the proposed home. The Alpha Fire Chief has reviewed this request and supports.

Mr. Keough asked if the sprinkler system commitment will be included in a later land development plan. Ms. Wargo stated that they will need to submit a land development plan for the homes.

Mr. Crassweller moved that the Planning Commission **make** a recommendation to the Board of Supervisors to approve or deny the Application for Consideration of a Modification from §22.506.1.B. & G. – Water Supply. Mr. Keough seconded the motion. The motion passed unanimously.

iv. Rogan/Sycamore Drive Subdivision Application for Consideration of a Modification/Waiver from §22-301. General

Ms. Bassett reported that the applicant is requesting to go through the land development process as a Preliminary/Final land development plan instead of two separate plans. Public utilities will be available to connect to the home and minimal earth disturbances will occur on the site.

Mr. Binney moved that the Planning Commission make a recommendation to the Board of Supervisors to approve or deny the Application for Consideration of a Modification from §22.301. – General. Mr. Keough seconded the motion. The motion passed unanimously.

v. Rogan/Sycamore Drive Preliminary Subdivision

Ms. Bassett reported that Penn Terra Engineering, Inc. submitted, on behalf of their client, The Rogan/Sycamore Drive Subdivision. The Rogan/Sycamore Drive Subdivision is a 10.152 acre lot located on Sycamore Drive and is currently undeveloped. The purpose of this plan is to subdivide Tax Parcel 24-009A,254-,0000- into two lots, proposed Lot 1A and Lot 1R. The existing lots are 0.547 acres, 0.414 acres, and 0.268 acres respective to the Tax Parcels listed above. Lot 1A is proposed to be 2.586 acres. Lot 1R is proposed to be 7.566 acres. The parcel is located within the Single Family Residential (R1) zoning district. Ms. Bassett shared her screen to review the plan.

Mr. Thompson noted that it appears that access will need to cross over an intermitted stream. Mr. Chad Stafford, Civil Engineer, Penn Terra stated that it is essentially a water swale from the mountain above and there is an existing pipe at the crossing. There is an agreement in place between the two homeowners. Mr. Crassweller expressed concerns with the mountainside because of the slope and the water that is there. Ms. Bassett and Ms. Wargo stated that is why the Township requires a land development plan for steep slopes and will address those issues. Mr. Crassweller stated there have been a lot of problems with the subdivision in the past and is not in favor. Ms. Bassett noted that the Public Works Department installed new inlets and stormwater piping and it has helped a lot.

Mr. Keough expressed his concerns with construction vehicles being able to cross the culvert and perhaps place a note on the plan. Mr. Keough suggested adding further language to the plan regarding no further subdivision will be allowed.

Mr. Thompson also concurs with Mr. Keough regarding construction vehicles. Mr. Stafford noted that the driveway is wider than Sycamore Drive at 26 feet wide.

Mr. Keough moved that the Planning Commission *make* a recommendation to the Board of Supervisors to approve or deny the draft ordinance. Mr. Thompson seconded the motion. The motion passed 4-1 with Mr. Crassweller opposing.

VII. COMMUNITY PLANNING – CONTINUED

B. MOBILE FOOD VENDOR SURVEY

Ms. Wargo noted that at the September 13th Planning Commission meeting, staff was directed to investigate the viability of meeting with the local mobile food vendors to discuss the Township's regulations for food trucks and allow for input. This task has proven to be unfeasible due to lack of contact information for the vendors. As an alternative, staff has created a draft survey for review and input by Planning Commission that the Township can distribute to vendors for their input, as well as include on the Township's social media accounts. Included in the agenda is the

draft survey.

Mr. Binney would like to know if any of them operate in the vicinity of other restaurants. Ms. Bassett stated that Ferguson Township doesn't allow them to be in the vicinity of other eating establishments. Ms. Wargo noted that the current ordinance was changed to allow with permission from the property owner.

Mr. Keough stated that he wants the mobile food vendors to be successful and to provide a service. Mr. Keough would like to know what their business model would be and suggested having a meeting with them. Ms. Wargo noted that staff has contacted the food inspector for vendor contact information. Ms. Wargo noted that it is not an easy process to find contact information and noted that the manager is not comfortable postponing amendments to hold a meeting with all the vendors. Ms. Wargo recommended that a meeting in the winter would be ideal. Mr. Keough stated he has no problem in delaying discussions but expressed concerns with not having the meeting due to the unfeasibility. Mr. Keough stated that the Planning Commission is going to initiate an additional study to try to make it better and will give to the Board of Supervisors later.

Mr. Binney suggested talking with the vendor at Myers Dairy for their business model. Ms. Rittenhouse suggested having a sub-committee because in order to get the vendors together, you need an inside person who is in the food industry. Ms. Rittenhouse stated it is difficult to reach the vendors, but perhaps talk with Clem to pull them all together. Ms. Wargo will reach out to Clem.

Ms. Wargo stated that since COVID-19 there have been no issues with the food trucks near restaurants.

Mr. Steinberg stated that there are restaurants that don't want a food truck on the public street outside of their venue. Mr. Binney concurred and suggested having a waiver from a restaurant that states it can't be within so many feet of the establishment.

Mr. Keough noted that we don't regulate competing restaurants and asked why government is imposing regulations with the food truck industry. Mr. Steinberg stated that food trucks involve the township roads, so it needs to have regulations.

Mr. Crassweller suggested adding the places that they can't be located to keep it simple. Ms. Wargo noted that they did look at that idea and did add the other zoning districts to the ordinance.

Mr. Thompson added that there are food trucks offering Grubhub.

VIII. OFFICIAL REPORTS AND CORRESPONDENCES

A. Board of Supervisors

Ms. Bassett reported that the Board approved the Flag Lot on Greenwood Circle and discussed the official map.

B. CRPC Report

Dr. Taricani reported that they will be meeting next week during the lunch hour.

C. Land Development Plans

Ms. Bassett reported that the Centre Animal Hospital submitted a plan to expand their building and a lot consolidation.

D. Staff Updates

Ms. Wargo reported they will be interviewing for Faye Drawl's position in mid-October.

Mr. Keough stated that the developer for the student housing building on the corner of Buckhout and College Avenue has started surveying. Mr. Keough noted that one of the survey markers is 3 feet into the alley next to the adjacent apartment building owned by the Yocum's. Mr. Keough asked if staff could look into the survey marker. Ms. Wargo will investigate.

Mr. Thompson noted that PennDot held meetings to discuss the [State College Area Connector project](#).

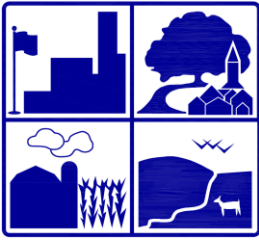
Mr. Keough asked if there has been any indication of a high-speed railway coming from Philadelphia through State College onto Pittsburgh. Mr. Thompson stated that he can't confirm but did hear something about it. Mr. Thompson watched a recorded roundtable discussion regarding new service routes for Amtrak that will connect Pittsburgh to Philadelphia to New York.

IX. Adjournment

Mr. Binney made a motion to adjourn the September 27, 2021, Planning Commission meeting at 8:45 p.m.

Respectfully Submitted,

Rob Crassweller, Secretary
For the Planning Commission



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: Planning Commission

FROM: Kristina Bassett, Community Planner

DATE: October 7, 2021

SUBJECT: Orchard Square Preliminary Land Development Plan

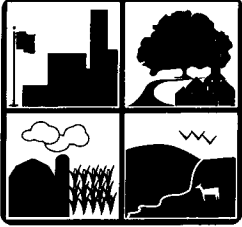
The land development plan proposes the construction of a 19,856 square foot Commercial/retail shopping center with associated parking and utilities. As proposed, there will be 3 retail store fronts and 119 parking spaces, including 5 ADA handicap spaces provided. The retail spaces are proposed to be 10,722 square feet, 6,483 square feet and 2,566 square feet.

The lot, Tax Parcel 24-4-67F, is 0.115 acres. It is located in the General Commercial (C) Zoning District and within the Corridor Overlay District.

Staff has reviewed the proposed Orchard Square Preliminary Land Development Plan and is not recommending any conditions be included with the plan.

Recommended Motion: the Planning Commission make a recommendation to the Board of Supervisors to approve the Orchard Square Preliminary Land Development Plan pending outstanding comments attached below.

Staff Recommendation: The Planning Commission make a recommendation to the Board of Supervisors to approve the Orchard View Preliminary LDP, dated August 11, 2021 and last revised on September 29, 2021 pending outstanding comments.



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: Kristina Bassett, Community Planner

FROM: Jeffrey Ressler, Zoning Administrator

DATE: October 7, 2021

SUBJECT: Orchard Square Land Development Plan 2nd Review

1. The location of signs as regulated by the Signs Regulations must be included on the plan. [Chapter 19, Part 1] (Chapter 22, Section 401.1.A.(1).m) **Comment Addressed.**
2. The face area of signs as regulated by the Signs Regulations must be included on the plan. [Chapter 19, Part 1] (Chapter 22, Section 401.1.A.(1).m) **Comment Remains**
3. The height of signs as regulated by the Signs Regulations must be included on the plan. [Chapter 19, Part 1] (Chapter 22, Section 401.1.A.(1).m) **Comment Remains.**
4. The proposed ground sign in the Corridor Overlay District shall not exceed ten feet in height above grade except that the sign height is permitted to be an additional three feet higher with a landscaped base elevated with each mounding up to three feet tall. Chapter 27-401.1.H. **Comment Remains.**
5. Proposed loading zone is not permitted in drive aisles. **Comment Addressed.**
6. Handicapped parking signs should also list that vehicles may be towed. **Comment Addressed.**
7. Proposed street address and address for each unit, if applicable, must be included on the plan. (Chapter 22, Section 401.1.A.3.q) **Comment Addressed.**
8. The roof top mechanicals shall be screened by fencing or other means at least $\frac{3}{4}$ the height of the system. Chapter 27-401.1.G, **Comment Addressed.**
9. A statement of the calculations used to determine the number of required parking spaces must be included on the plan. (Chapter 22, Section 401.C.1.e) The required parking can be calculated on Net Floor area instead of gross floor area. **Comment addressed.**
10. The property is located in the Source Water Protection Overlay District Zone II. Note number 2a on the plan should be revised to add that this property is in the Source Water Protection Overlay District Zone II. **Comment Addressed.**
11. The plan will need to contain a notes as required in Chapter 22-514.2.A. **Comment Addressed.**
12. The plan must comply with the requirements of Chapter 22-514.2.B.1. **Comment Addressed.**
13. The registered design professional shall prepare a report to the Ferguson Township Planning Commission demonstrating compliance with the requirements of this section, including any recommended mitigating measures designed to ensure compliance. Chapter 22-514.2.D. **Comment Addressed**



TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801
Telephone: 814-238-4651 • Fax: 814-238-3454
www.twp.ferguson.pa.us

TO: Kristina Aneckstein, Community Planner
FROM: Ron Seybert, Township Engineer
DATE: October 5, 2021
SUBJECT: Orchard Square Preliminary Land Development Plan
Third Review (ES – 426)

I have completed my third review of the ‘*Orchard Square Preliminary Land Development Plan*’ consisting of 15 sheets and ‘*Orchard Square Stormwater Management Site Plan*’ consisting of 5 sheets both as prepared by PennTerra Engineering, dated August 11, 2021, last revised September 29, 2021. The following are comments from my review. All prior resolved comments have been removed.

Stormwater Management Site Plan Set:

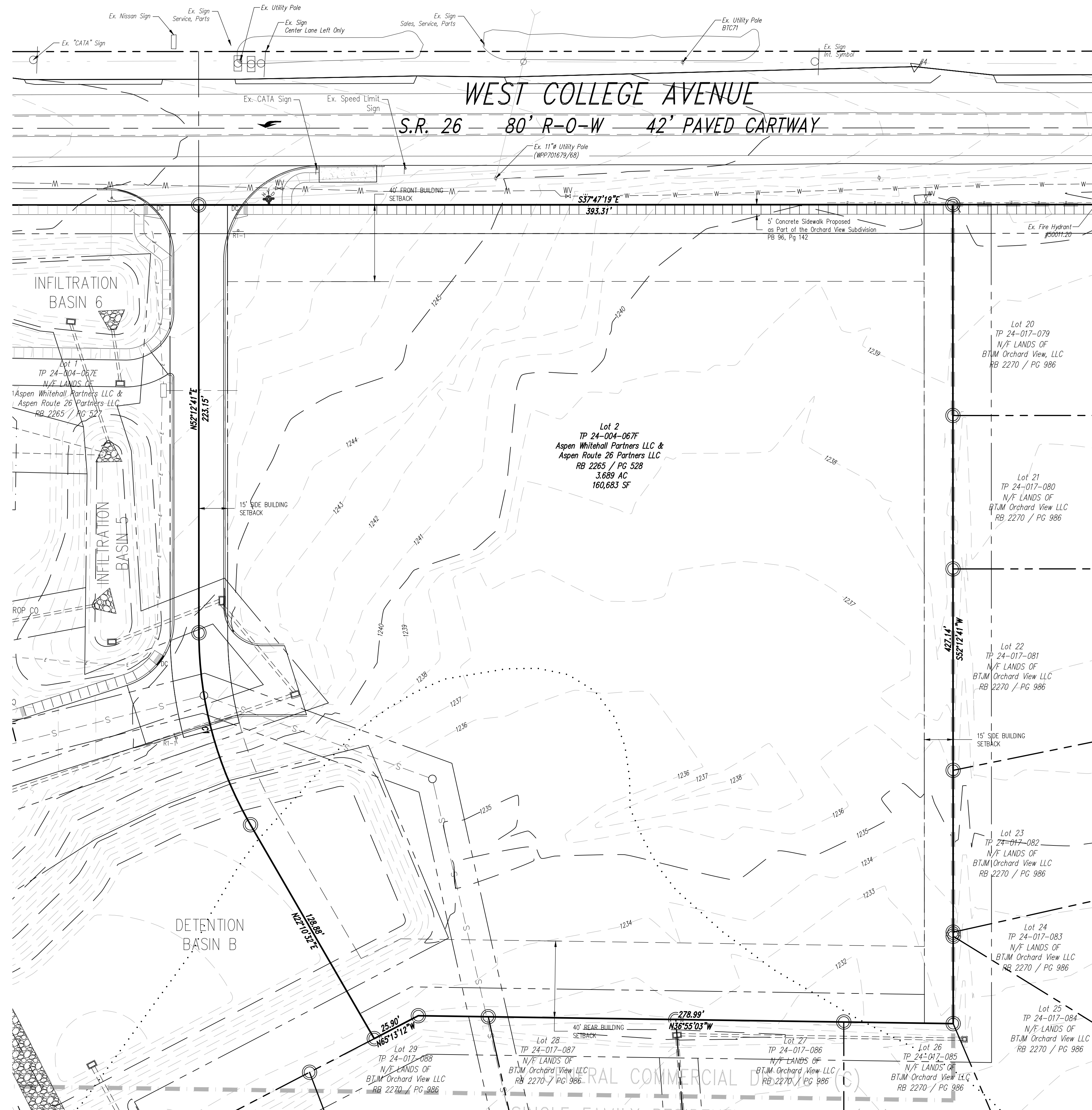
2. Once all of the plan comments from NTM are addressed, I will prepare the stormwater agreement for applicant signature. **Pending.**

If you or the applicant have any questions on these comments, please contact me.

Copy: Scott Brown/Aaron Jolin, NTM

GENERAL SITE DEMOLITION NOTES

- The Contractor is responsible for obtaining all local and state permits required for demolition work.
- The Contractor shall indemnify and hold harmless the Owner and/or architect and engineer for any and all injuries and/or damages to personnel, equipment and/or existing facilities in the demolition and construction described in the plans and specifications.
- Existing conditions as depicted on these plans are general and illustrative in nature and do not include mechanical, electrical and miscellaneous structures. It is the responsibility of the Contractor to examine the site and be familiar with existing conditions prior to bidding on the demolition work for this project. If conditions encountered during examination are significantly different than those shown, the Contractor shall notify the architect and engineer immediately.
- All existing utilities not to be removed or abandoned are to remain operational at all times. Appropriate existing utilities shall remain in service until replacement/relocated utilities are operational.
- All demolition waste and construction debris shall be removed by the Contractor and disposed of in a state approved waste site and in accordance to all local and state codes and permit requirements.
- All utility removal, relocation, cutting, capping and/or abandonment shall be coordinated with the appropriate utility company.
- The burning of cleared material and debris shall not be allowed.
- Erosion and sedimentation control measures around areas of demolition shall be installed prior to initiation of demolition activities. Refer to plan and details for site specific information including tree protection details, if necessary.
- Asbestos or hazardous materials, if found on site, shall be removed by a licensed hazardous materials Contractor. Contractor shall notify Owner immediately if hazardous materials are encountered.
- Contractor shall protect all corner pins, monuments, property corners, and benchmarks during demolition activities. If disturbed, Contractor shall have disturbed items reset by a licensed surveyor at no additional cost to the Owner.
- Contractor shall adhere to all local, state, federal, and OSHA regulations operating demolition equipment around utilities.
- Contractor shall provide and maintain traffic control measures in accordance with the PennDOT standards, and as required by local agencies working in and/or along streets, roads, highways, etc. It shall be the Contractor's responsibility to obtain approval and coordinate with local and/or state agencies regarding the need, extent, and limitations associated with installing and maintaining traffic control measures.
- Contractor shall protect at all times adjacent structures and items from damage due to demolition activities.
- Contractor shall coordinate existing facilities utility disconnects with the Owner a minimum 7 days prior to anticipated demolition of structures.
- Contractor shall refer to Construction Plans for other pertinent information where applicable.
- Contractor shall replace or repair to Owner's satisfaction all curb, utilities, sidewalks, landscaping, etc. damaged during construction that are not indicated to be removed.
- Contractor shall be responsible for all costs and work required to adjust existing and proposed utilities and appurtenances to finish grades within the limit of work.
- All paving to be removed shall be sawcut to provide a sharp clean edge. All sidewalks to be removed shall be sawcut at the nearest joint. Existing pavement shall be removed as required for new curb, walkway, or utility construction.
- Contractor shall verify the location of manholes, inlets valves, etc. Contractor shall test pit existing utilities as deemed necessary within the limits of construction to determine the exact location and depth as required. Report any discrepancies from that indicated on the plan to the architect. All existing utilities shall be retained unless marked otherwise, and appurtenances shall be adjusted to final grade. Damage to existing conditions and utilities to remain shall be repaired as required to the Owner's satisfaction at the expense of the Contractor.
- Contractor shall coordinate with utilities companies on installation, relocation or replacement of electrical, phone, gas and cable services.



SURVEY FEATURES LEGEND

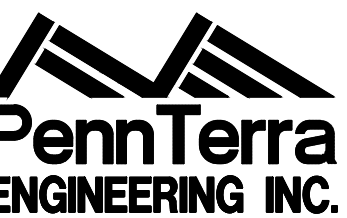
- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Zoning Boundary
- Property Corner Found
- Property Corner To Be Set
- PennTerra Control Point
- Project Benchmark

EXISTING FEATURES LEGEND

- Existing Curbing & Edge of Pavement
- Existing Bituminous Areas
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Overhead Utility Line w/ Pole
- Existing Gas Line
- Existing Underground Electric
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Guy Wire
- Existing Sign
- Existing Soil Limit Line / Boundary

EXISTING CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C1	104.85'	200.00'	53.66'	N 37° 11' 36" E	103.65'	30° 02' 10"



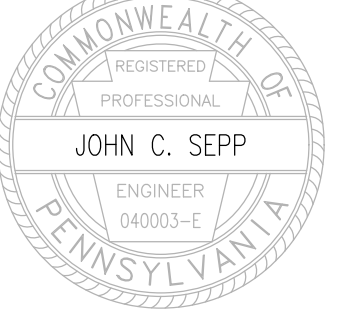
CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

WWW.PENNTERRA.COM

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Designer	CJW
Draftsman	CJW
Proj. Manager	MAT
Surveyor	MAK / DJE
Perimeter Ok.	
Book	543 Pg 1
File	17125.10-PRC-02-EXCON & DEMO
Layout	EX. CON & DEMO

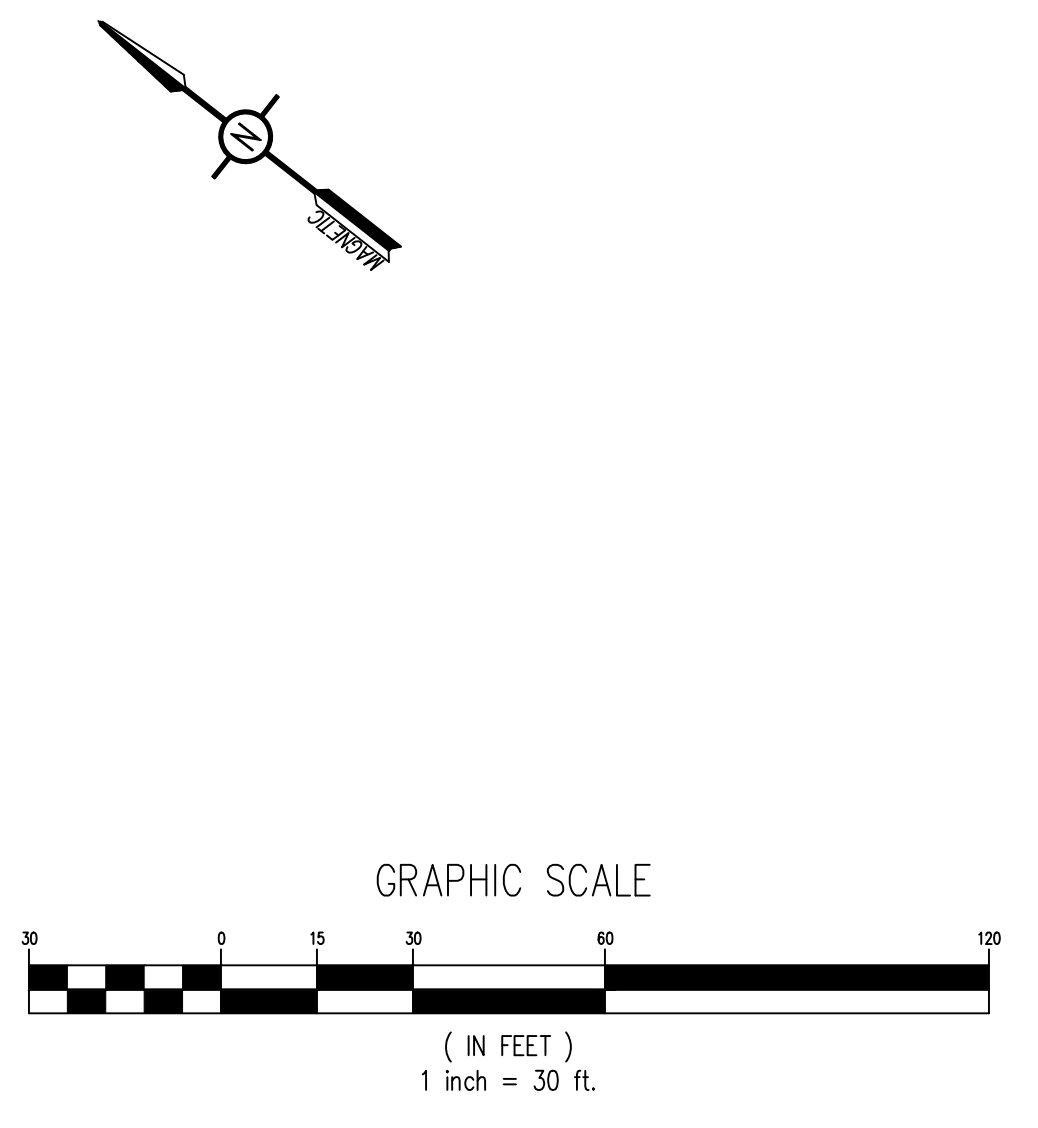
Date	Description	REVISIONS
9/28/21	REVISED PER TWP COMMENTS	CJW
9/30/21	REVISED PER TWP COMMENTS	CJW

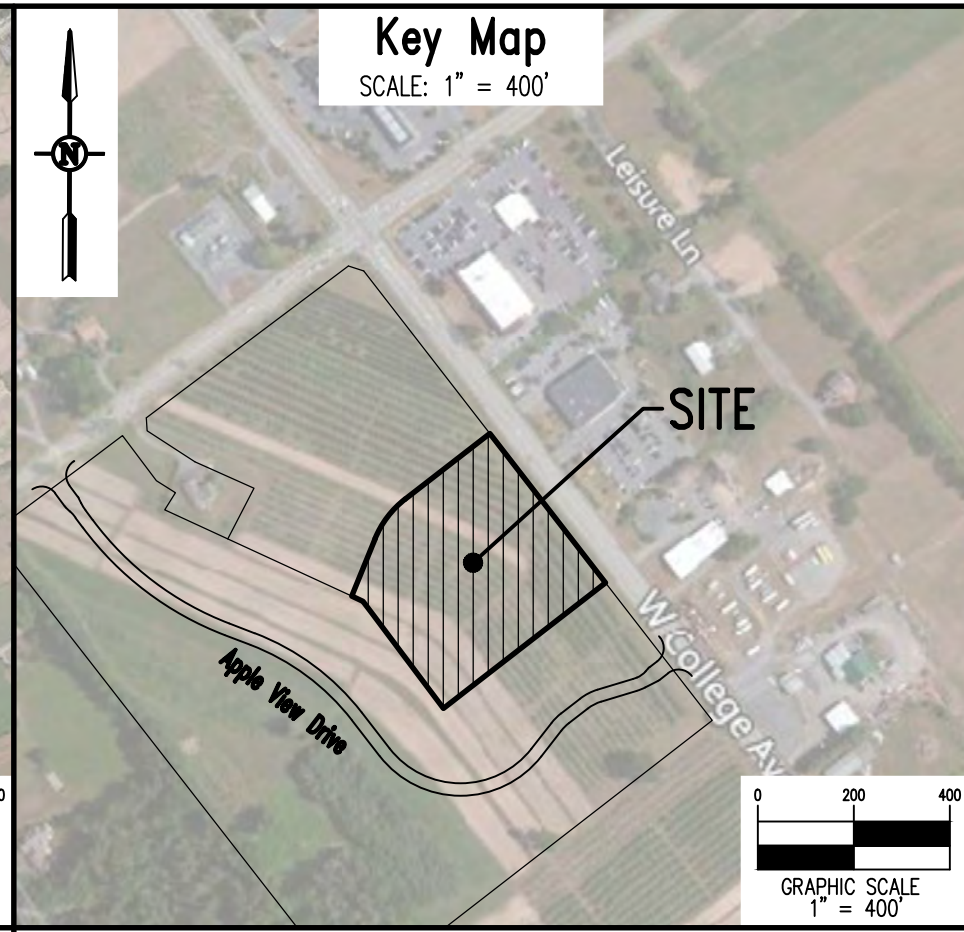
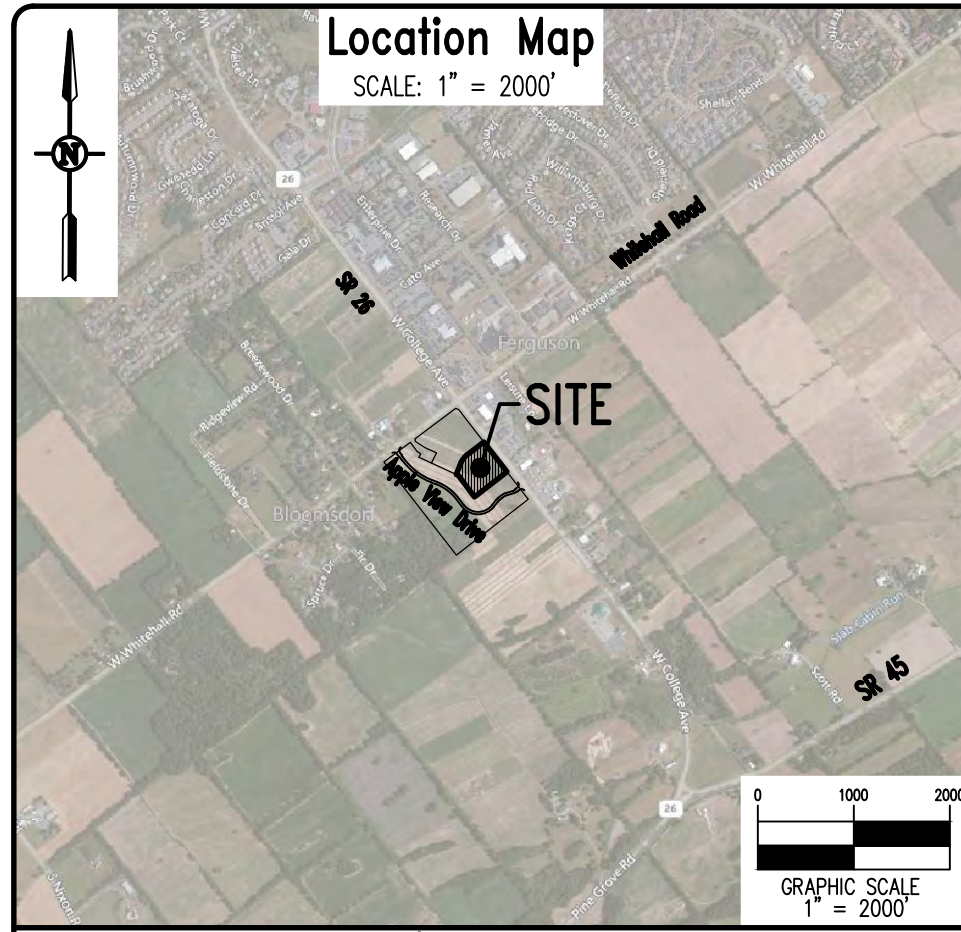
ORCHARD SQUARE
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

EXISTING CONDITIONS & DEMOLITION PLAN

PROJECT NO.	17125.10
DATE	AUGUST 11, 2021
SCALE	1" = 30'
SHEET NO.	2





Project Notes:

1. General Site Information:
 - a. Owner Information: Aspen Whitehall Partners LLC / Aspen Route 26 Partners LLC
116 Union Avenue
Allentown, PA 18602
74-04-667F
 - b. Tax Parcel Numbers: Record Book 2265, Page 528
 - c. Deed Information: 3,689 AC (160,683 SF)
 - d. Total Parcel Area: 3,689 AC (160,683 SF)
 - e. Property Address: 3351 West College Avenue
State College, PA 16801
 - f. Municipality: Ferguson Township
 - g. Zoning: General Commercial District (C)
Corridor Overlay District
 - h. Existing Site Use: Vacant Lot
 - i. Proposed Site Use: Commercial Shopping Center
 - j. Minimum Lot Size: 0.115 AC (5,000 SF)
 - k. Maximum Building Coverage: 45% (72,307 SF)
 - l. Proposed Building Coverage: 12% (19,892 SF)
 - m. Maximum Building Height: 40'
 - n. Proposed Building Height: 26'
 - o. Maximum Impervious: 80% (128,546 SF)
 - p. Proposed Impervious: Pavement - 1.31 AC (56,967 SF); Sidewalk - 0.18 AC (7,831 SF); Building - 0.46 AC (19,892 SF)
 - q. Total Impervious: 84,790 SF (53%)
 - r. Source Water Protection: The site is within the Ferguson Township Source Water Protection Overlay District I
2. Building Setbacks:
 - a. Zoning (General Commercial/Corridor Overlay):
Front: 50' - Reduced to 40' per below
If a property is located within the General Commercial Zoning District, the setback may be reduced to 40' when abutting a corridor street per §27-210.1.C(2)(b).
Side: 15'
Rear: 50' - Reduced to 40' per below
Rear yard setback as designated in the underlying zoning may be reduced up to 10 feet when the designated rear yard does not abut a corridor street §27-210.1.C(2)(d).
3. Parking:
 - a. Required Parking Spaces:
General Retail (10,370 SF): 1 space per 200 SF of Net Floor Area (NFA)
General Retail (6,330 SF): 1 space per 200 SF of Net Floor Area (NFA)
General Retail (2,365 SF): 1 space per 200 SF of Net Floor Area (NFA)
 - b. Parking Calculation:
10,370 SF General Retail Store / 200 SF NFA = 52 Spaces
6,330 SF General Retail / 200 SF NFA = 32 Spaces
2,365 SF General Retail / 200 SF NFA = 12 Spaces
Total Parking Spaces Required = 96 Spaces
 - c. Total Parking Spaces Provided:
116 Spaces including 5 ADA Handicap Spaces
 - d. Bicycle Parking Calculation:
Short Term: General Retail (19,095 SF): 1 space per 5,000 SF of Net Floor Area (NFA)
19,095 SF General Retail / 5,000 SF NFA = 4 Short Term Bicycle Parking Spaces
Long Term: General Retail (19,095 SF): 1 space per 10,000 SF of Net Floor Area (NFA)
19,095 SF General Retail / 10,000 SF NFA = 2 Long Term Bicycle Parking Spaces
4. Act 287 Utility Information: (Serial Number: 20180362948)
All utility locations should be verified prior to any construction. Utility information and locations should be considered approximate. contractor shall notify you one call prior to any excavation.
 - a. Water: State College Borough Water Authority
1201 West Branch Road, State College, PA 16801; (814) 238-6766
 - b. Sanitary Sewer: University Area Joint Authority
1576 Spring Valley Road, State College, PA 16801; (814) 238-9682
 - c. Telephone: Verizon
224 South Allen Street, State College, PA 16801; (814) 231-6511
 - d. Electric: West Penn Power Company
2900 East College Avenue, State College, PA 16801; (814) 237-5721
 - e. Cable Television: Comcast
60 Decibel Road, State College, PA 16801; (800) 992-3515
 - f. Gas: Columbia Gas of Pennsylvania
2550 Carson Drive, State College, PA 16801; (814) 238-6775
 - g. Storm Sewer: Ferguson Township
3147 Research Drive, State College, PA 16801; (814) 238-4651
5. Natural Site Features & Survey Information:
 - a. Soil limits and descriptions have been taken from the Natural Resources Conservation Service Web Soil Survey dated March 2019.
 - b. There are not wetlands on the site according to the National Wetland Inventory Mapping (U.S. Fish & Wildlife Service) for State College, PA last updated March 2019.
 - c. There are no portions of this site located within a Zone X 100-year Flood Plain according to the Federal Emergency Management Agency (FEMA) Map Number 420770319F, effective date May 4, 2009.
 - d. Contours shown are taken from survey data collected in the field by PennTerra Engineering, Inc.
 - e. Horizontal Datum is Pennsylvania North Zone State Plane Coordinates, North American Datum of 1983 (PA NAD83) U.S. Feet.
 - f. Elevation Datum is the North American Vertical Datum of 1988 (NAVD 88).
 - g. The Project Benchmark is a masonry nail set on the southwest corner of the electric vault located on Tax Parcel 24-004-067A along West Whitehall Road. Elevation = 1254.41'.
6. Easement Information:
 - a. All lots may be subject to future easements in favor of utility companies. Any future easements will be reflected in the deed for said lot.
7. All pedestrian walkways, open space lots, drainage easements, detention basins, and all drainage structures located outside of the street R-0-W shall be maintained by Aspen Whitehall Partners LLC/Aspen Route 26 Partners LLC.
8. For additional information, refer to:
 - a. "Traner Farm Final Subdivision Plan", prepared by PennTerra Engineering, Inc., dated April 19, 2019, last revised May 27, 2020 and recorded at Centre County Recorder of Deeds in Book 95, Page 196 on September 22, 2020.
 - b. "Orchard View Preliminary/Final Subdivision Plan", prepared by PennTerra Engineering, Inc., dated May 14, 2019, last revised April 8, 2021, and recorded at Centre County Recorder of Deeds in Book 96, Page 143 on May 5, 2021.
 - c. "State College, PA (Whitehall Road) Sheets Preliminary/Final Land Development Plan", prepared by PennTerra Engineering, Inc., dated April 19, 2019, last revised January 27, 2021 and recorded at Centre County Recorder of Deeds in Book 96, Page 124 on April 6, 2021.
 - d. "Stormwater Management Agreement (Declaration of Stormwater Access and Maintenance Easement)" for 3351 West College Avenue dated February 5, 2021 and recorded at the Centre County Recorder of Deeds in Record Book 2265, Page 623.
 - e. "Traner Farm Final Subdivision Plan, Stormwater Management Site Plan", prepared by PennTerra Engineering, Inc., dated January 27, 2020 last revised May 27, 2020 and as-built approval of the Stormwater Management Site Plan by Ferguson Township on _____.
 - f. "Orchard Square Preliminary Land Development Plan, Erosion and Sedimentation Control Plan", prepared by PennTerra Engineering, Inc., dated August 11, 2021 last revised September 10, 2021, and approved by Centre County Conservation District on _____.
 - g. "Preliminary Geologic Investigation-Hanser Farms", prepared by CMT Laboratories, Inc., dated May 1, 2019.
9. Face area and height for all signs shall conform to the Ferguson Township Sign Ordinance.
10. The date of application for a Zoning Permit is August 11, 2021.
11. This Record Plan conforms with the plan receiving final approval by the Ferguson Township Board of Supervisors on _____, All improvements are or will be installed in accordance with such plan in a manner and time so specified therein.
12. No proposed structures will have a built-in fire suppression system.
13. As-Built drawings/documentation (including verification of infiltration testing) of the stormwater management facilities must be prepared in accordance with Chapter 26 (§26-402.0.4) and submitted to Ferguson Township at the completion of construction as a prerequisite of issuance of Occupancy Permit or release of the Surety Bond. A narrative and photographic documentation for critical stages of construction and for the infiltration surface prior to placement of filter fabric/amended soils must be submitted to Ferguson Township.
14. A Stormwater Management Site Plan/PCSM Plan and Soil Erosion & Sedimentation Control Plan have been prepared for State College PA (Whitehall Road) Lot 2, dated _____ and last revised _____.
15. A highway occupancy permit is required pursuant to Section 420 of the Act of June 1, 1945 (P.L. 1242, No. 428), known as the "State Highway Law", before driveway access to a State Highway is permitted. The PennDOT Highway Occupancy Permit 02027434 was issued for the construction of the existing shared access drive with TP 24-004-67E at West College Avenue.
16. A pre-construction conference is required prior to starting work on the stormwater management BMPs.
17. Approved Stormwater Management Site Plans must be on site at all times during construction.
18. A Declaration of Easements, Covenants, and Restrictions (EOR) between the owners of Tax Parcel 24-004-067E (Lot 1) and Tax Parcel 24-004-67F (Lot 2), and the Leaseholder of Lot 1 (Sheets, Inc.) for the construction and maintenance of shared access and stormwater management facilities located on Lots 1 and 2. The EOR Agreement is recorded in RB 2265, PG 666 at the Centre County Recorder of Deeds Office.
19. Per Appendix A, Source Water Protection Overlay District Map, dated January 2, 2019, the development site is within the Township-wide Source Water Protection Zone II Overlay District and is not within 10,000 feet of any of the existing public wells shown in the map.
20. Storage and Use of Chemicals shall be comply with all associated state and federal laws.

Owner's Certification

State of _____
County of _____

On this _____ day of _____, 20____,

personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

witness my hand and seal, this date _____

Notary Public _____ Commission Expires _____

Township Planning Commission
Ferguson Township Planning Commission Approved

Chairman _____ Date _____

Secretary _____ Date _____

Township Supervisors
Ferguson Township Supervisors Approved

Chairman _____ Date _____

Secretary _____ Date _____

Township Engineer Certification

I, _____, have reviewed and hereby certify that the plan meets all engineering design standards and criteria of the Ferguson Township Code of Ordinances.

Design Engineer Certification

I, _____, hereby certify that this plan meets all design requirements of the Subdivision and Land Development Ordinance, Zoning Ordinance and all other applicable Chapters of the Ferguson Township Code.

Professional Land Surveyor Certification

I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

Signature _____ Date _____

Fire Chief Certification

I have reviewed and hereby certify that the location of Fire Lanes and Fire Hydrants shown on this plan are adequate.

Fire Chief _____ Date _____

PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

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Seal
Seal

Designer _____ C.J.W.
Draftsman _____ C.J.W.
Proj/Manager _____ MAT
Surveyor _____ MAX / JDF
Perimeter Ok _____
Book _____ 543 Pg _____ 1
File _____ 1712510-PRE-03-SIGNATURES & NOTES
Layout _____ SIG&NOTES

DATE	REVISIONS
9/28/21	REVISED PER TWP COMMENTS
9/29/21	REVISED PER TWP COMMENTS
Date	Description

ORCHARD SQUARE

FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

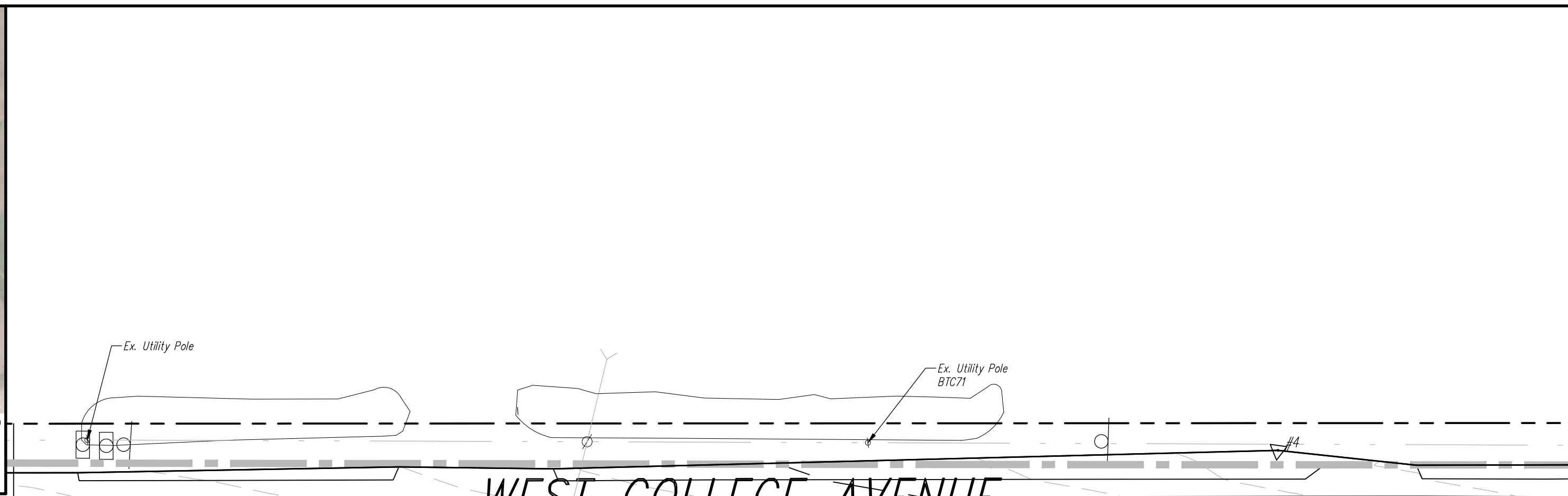
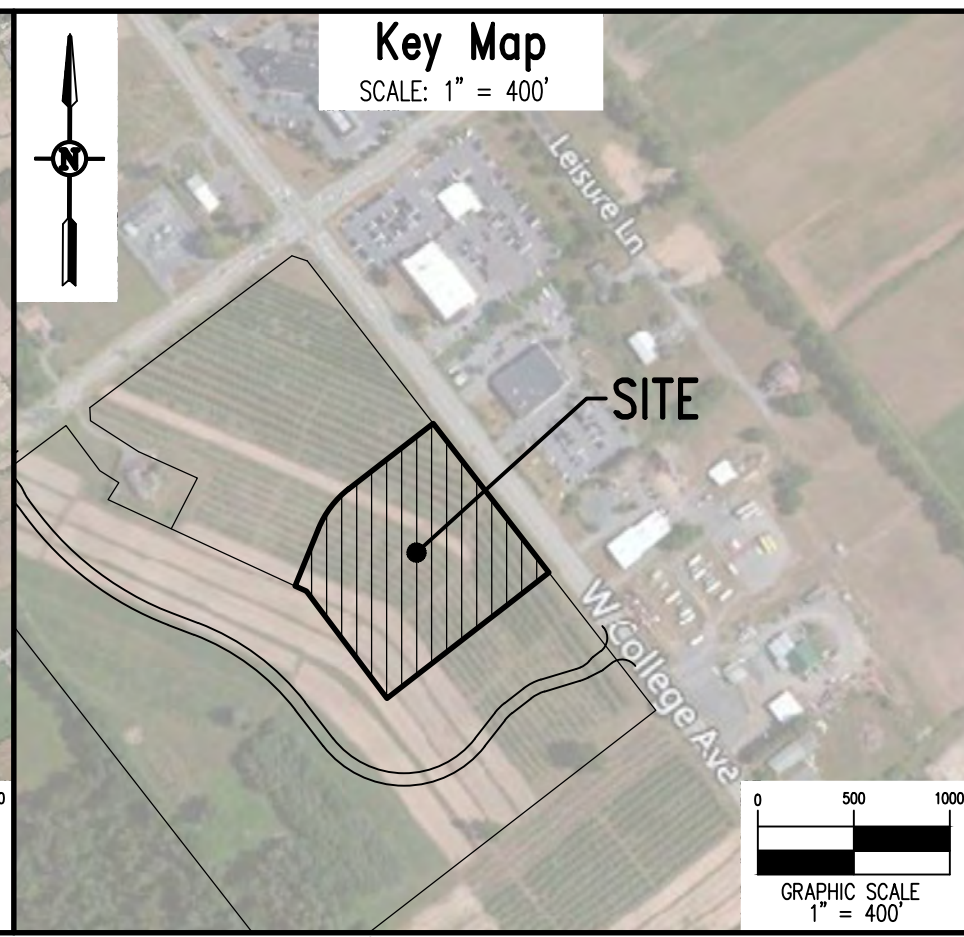
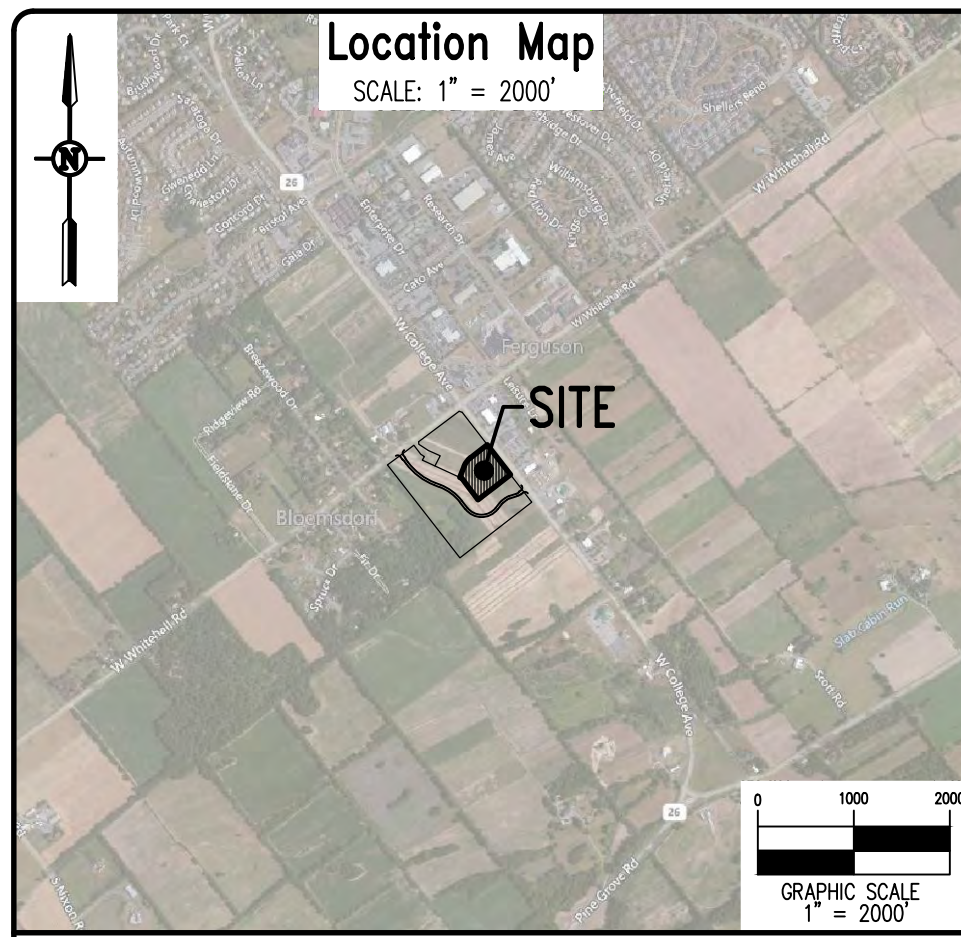
PRELIMINARY LAND DEVELOPMENT PLAN

SIGNATURES & NOTES

PROJECT NO.
17125.10

DATE
AUGUST 11, 2021

SCALE SHEET NO.
NONE 3



SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- - - Adjoining Property Line
- - - Building Setback Line
- - - Easement Line
- - - Zoning Boundary
- Property Corner Found
- Property Corner To Be Set
- △# PennTerra Control Point
- ◆ Project Benchmark

EXISTING FEATURES LEGEND

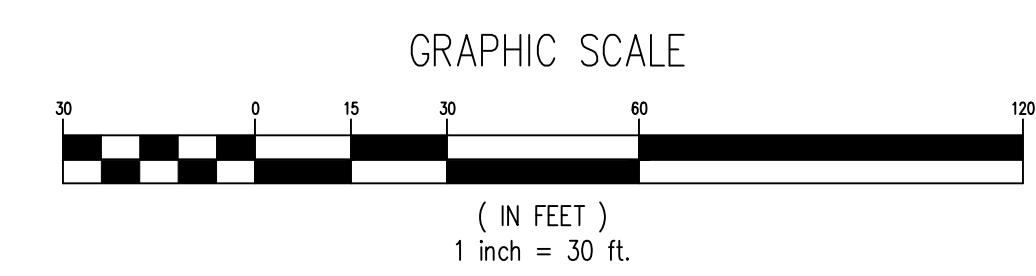
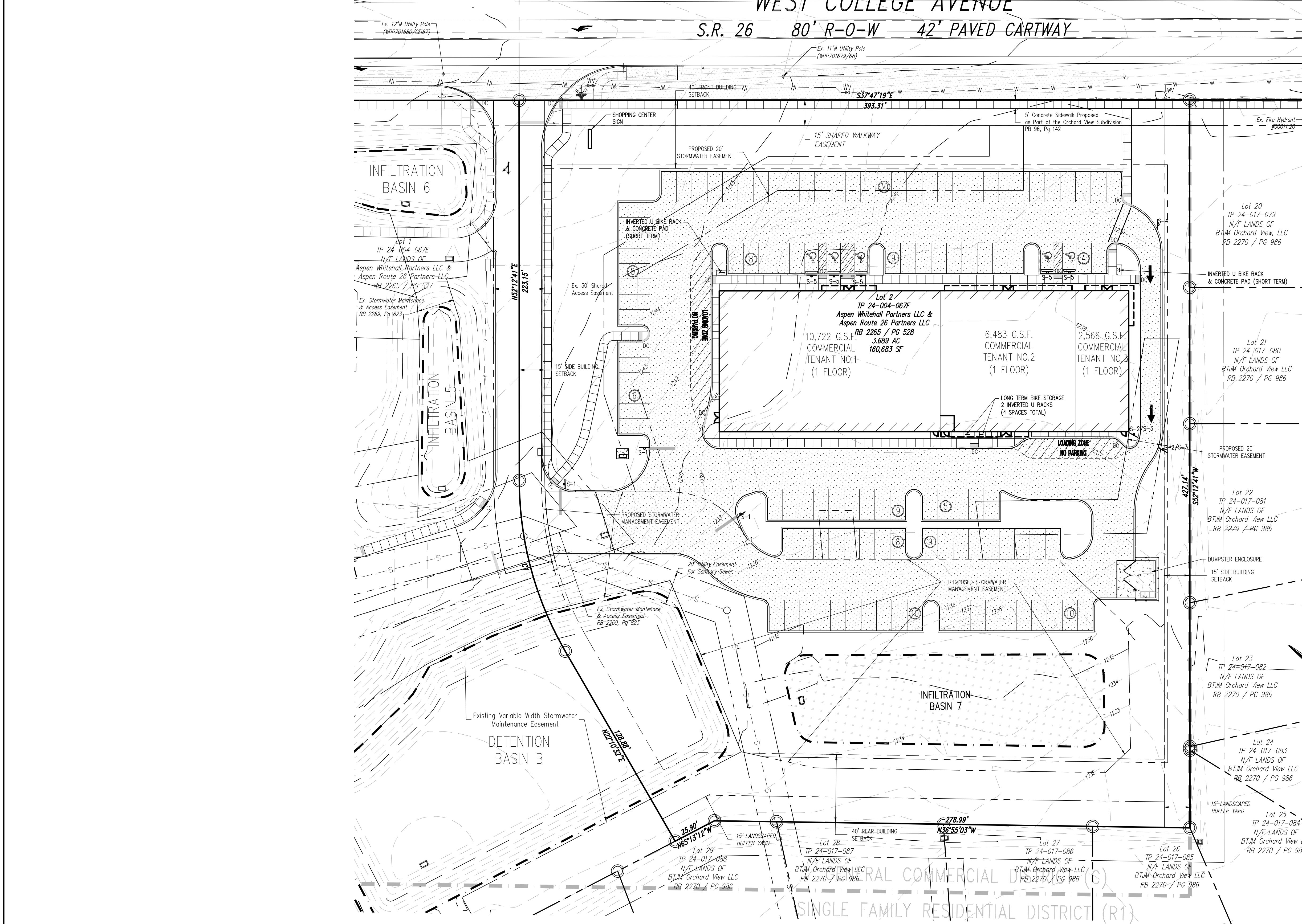
- Existing Curbing & Edge of Pavement
- Existing Bituminous Areas
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Overhead Utility Line w/ Pole
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Guy Wire
- Existing Sign
- Existing Soil Limit Line / Boundary
- Existing Soil Type

PROPOSED FEATURES LEGEND

- ▭ PROPOSED BUILDING
- ▭ PROPOSED CURBING & EDGE OF PAVEMENT
- ▭ PROPOSED CONCRETE SIDEWALK
- ▭ PROPOSED CONCRETE AREAS
- ▭ PROPOSED BITUMINOUS PAVEMENT AREAS
- ▭ PROPOSED STORMWATER BASIN/BEST MANAGEMENT PRACTICE (BMP) FACILITIES
- ▭ PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- ▭ PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- ▭ PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)
- ▭ PROPOSED PARKING STALL COUNT
- ▭ PROPOSED SIGN W/ LABEL
- ▭ PROPOSED DEPRESSED CURB W/ CURB TRANSITION
- ▭ PROPOSED HANDICAPPED RAMP

EXISTING CURVE TABLE

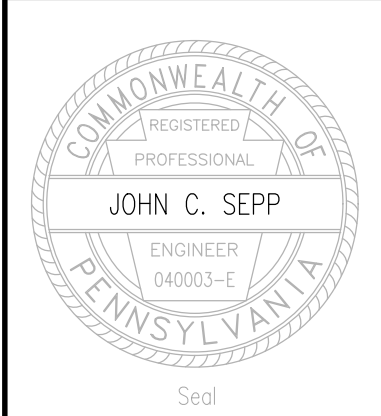
CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C1	104.85'	200.00'	53.66'	N 37° 11' 36" E	103.65'	30° 02' 10"



PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 Fax: 814-237-2308

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Designer	CJW
Draftsman	CJW
Proj/Manager	MAT
Surveyor	MAK/ADF
Perimeter Ok	
Book	543 Pg 1
File	17125.10-PRE-04-RECORD
Layout	RECORD

Date	Description	REVISIONS
9/28/21	REVISED PER TWP COMMENTS	CJW
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ORCHARD SQUARE
 FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

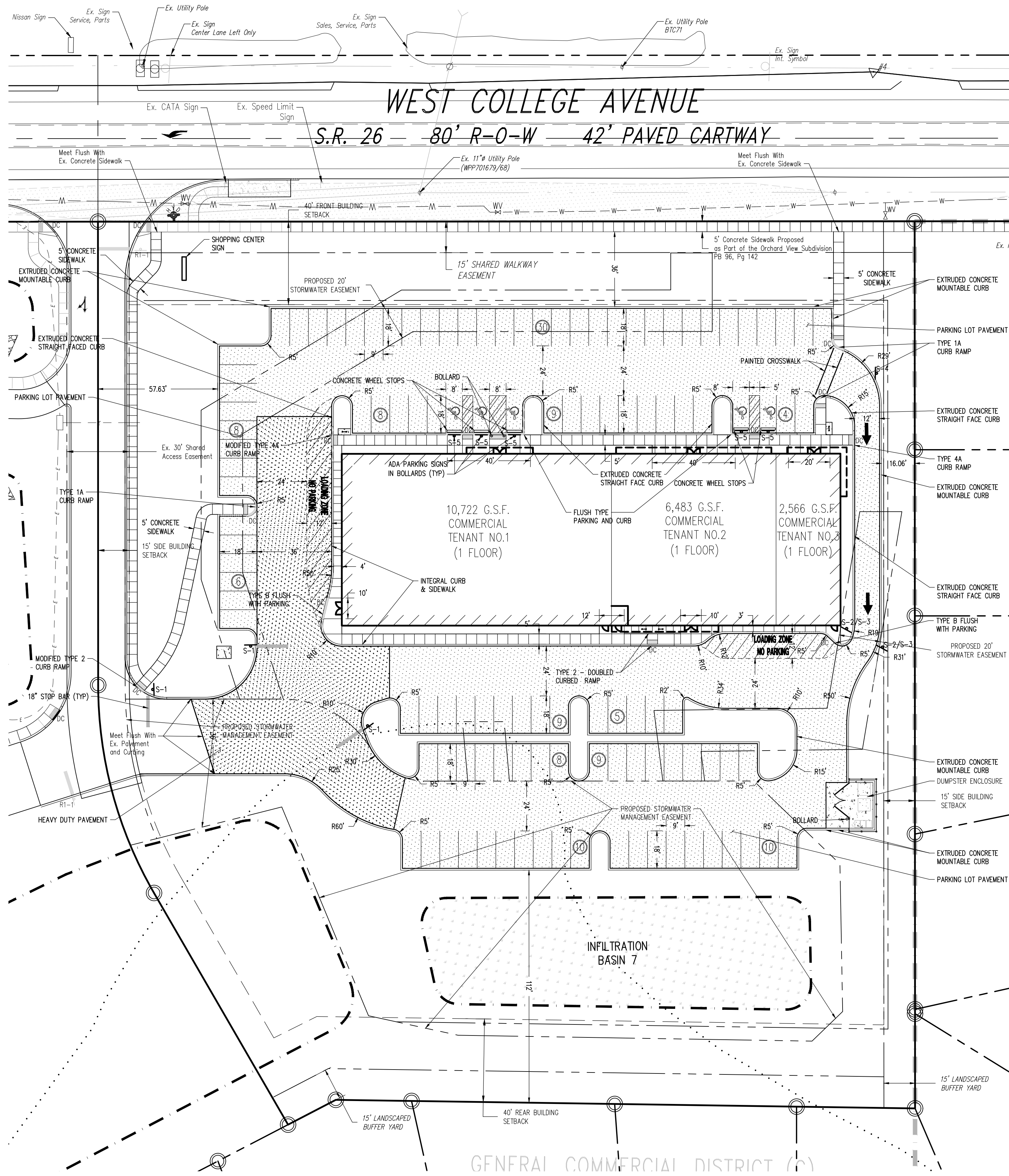
RECORD PLAN

PROJECT NO.	17125.10
DATE	AUGUST 11, 2021
SCALE	1" = 30'
SHEET NO.	4

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CONSTRUCTION NOTES

- Field survey data prepared by PennTerra Engineering, Inc. Contractor shall field verify all information and contact the site Owner or Owner's representative in the event of a discrepancy.
- The Project Benchmark is a masonry nail set on the southwest corner of the electric vault located on Tax Parcel 24-004-067A along West Whitehall Road. Elevation = 1254.41'.
- The Contractor shall verify the location of manholes, inlets valves, etc. Contractor shall test pit existing utilities as deemed necessary within the limits of construction to determine the exact location and depth as required. All existing utilities shall be retained unless marked otherwise, and appurtenances shall be adjusted to final grade. Damage to existing conditions and utilities to remain shall be repaired as required to the Owner's satisfaction at the expense of the Contractor. Contractor shall notify Owner or Owner's representative in the event of potential conflicts or discrepancies of existing utilities.
- All areas disturbed during construction, not designated to receive paving or mulch, shall be fine graded, topsoiled, & seeded unless otherwise noted in the construction drawings, site specifications or instructed by the Owner.
- The Contractor shall repair or replace all curb, pavement, utilities, sidewalks, landscaping, etc., within the site damaged during construction that are not indicated to be removed. All repairs or replacements are at the Contractor's expense.
- The Contractor shall be responsible for all costs and work required to adjust existing and proposed utilities and appurtenances to finished grades within the limits of work.
- The Contractor shall be responsible for coordination with utility companies on location/removal and/or replacement of electrical, phone, gas, sanitary, water, and cable services.
- All paving to be removed shall be sawcut to provide a sharp clean edge. Existing bituminous pavement shall be removed as required for new curb, walkway, or utility construction. Refer to detail sheets for specific curb type of installation. Contractor shall then mill and/or patch bituminous paving and install scratch course as required to meet existing or proposed grades. All new bituminous paving joints shall be sealed with AC-20. Is there a new standard?
- The Contractor shall verify elevations of existing paving at new paving connection locations before the paving subbase installation and report any discrepancies that will affect the drainage of the areas to the Owner's representative.
- The Contractor shall notify Owner before any placement and compaction of fills on the site. Fill areas shall be prepared and compacted per the project specifications and certified by the Owner's testing agency. Contractor shall be responsible for removal, retesting, and replacement of fills not meeting the specifications. The Contractor is also responsible for all expenses associated with replacement of fills not meeting the specifications.
- The Contractor shall notify assigned inspection agency before any retaining wall construction. Retaining walls shall be constructed per the project specification approved building permit and certified by the assigned inspection agency.
- The Contractor shall maintain one set of contract documents on site to be utilized for record documents. Field records of the depth and locations of all underground service utilities (water, sanitary sewer, storm drains, primary and secondary electric, gas, and cable television) shall be added to the record set by the Contractor as well as all field revisions and adjustments.
- The Contractor shall contact PA one call system @ 1-800-242-1776 at least three (3) days before construction activities.
- All fill material brought on to the job by the Contractor must comply with all applicable D.E.P. regulations regarding clean fill.
- The Contractor shall provide and maintain traffic control measures in accordance with the PennDOT standards, and as required by local agencies when working in and/or along streets, roads, highways, etc. It shall be the Contractor's responsibility to obtain approval of the traffic control plan?
- The Contractor shall refer to the architectural plans for the exact location of utility entrances, building dimensions, roof leaders exit doors, exit ramps, and porches. All site work shall be done in accordance with the plans prepared by PennTerra Engineering, the current regulations of the governing municipality, and all other pertinent federal, state & local laws. Any conflicts between the architectural plans and site plans shall be reported immediately to the Owner's representative.
- The Contractor shall comply at all times with applicable federal, state and local laws, provisions, and policies governing safety and health, including the Federal Construction Safety Act (Public Law 91-54), Federal Register, Chapter XVII, Part 1926 of Title 29 regulations, occupational safety and health regulations for construction, and subsequent publications updating these regulations.
- All site work shall be done in accordance with the plans prepared by PennTerra Engineering Inc., the current requirements of the Ferguson Township, Centre County, the applicable sections of the PennDOT Standard Specifications for Roadway Construction, and all other pertinent federal and state laws.
- Any areas designated for approved septic systems must remain undisturbed. Any damage to approved septic areas shall be the responsibility to the contractor.
- The storage or removal of excess topsoil shall be coordinated with the owner or owner's representative.



SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- - - - - Adjoining Property Line
- - - - - Building Setback Line
- - - - - Easement Line
- - - - - Zoning Boundary
- Property Corner Found
- Property Corner To Be Set
- ▲ # PennTerra Control Point
- ◆ Project Benchmark

EXISTING FEATURES LEGEND

- Existing Curbing & Edge of Pavement
- Existing Bituminous Areas
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Overhead Utility Line w/ Pole
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- > Existing Guy Wire
- Existing Sign

PROPOSED FEATURES LEGEND

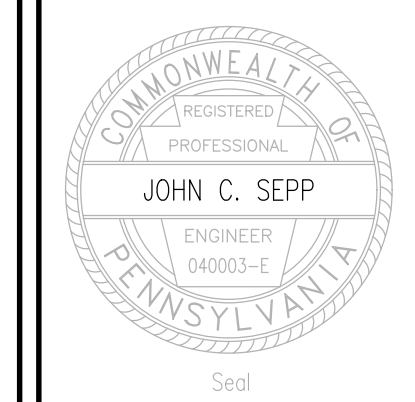
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PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
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Designer: C.J.W.
 Draftsman: C.J.W.
 Proj/Manager: MAT
 Surveyor: MAK/ADE
 Perimeter Cl.
 Book: 543, Pg: 1
 File: 17125-10-PRC-05-GEOMETRY
 Layout: GEOMETRY

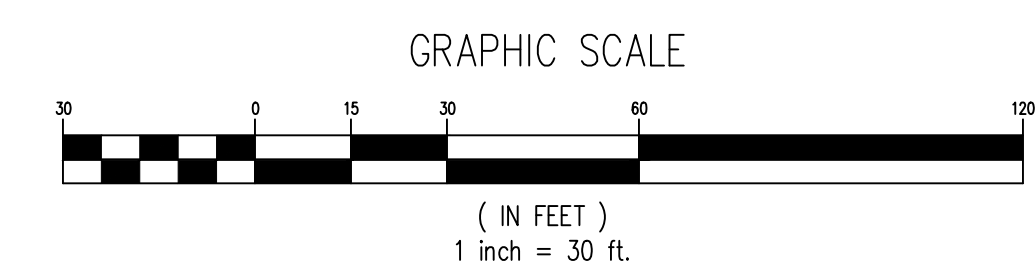
Date	Description	REVISIONS
9/28/21	REVISED PER TWP COMMENTS	C.M.
9/30/21	REVISED PER TWP COMMENTS	C.M.

ORCHARD SQUARE
 FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

GEOMETRY & MATERIALS PLAN

PROJECT NO.
17125.10
 DATE
AUGUST 11, 2021
 SCALE
1" = 30'
 SHEET NO.
5



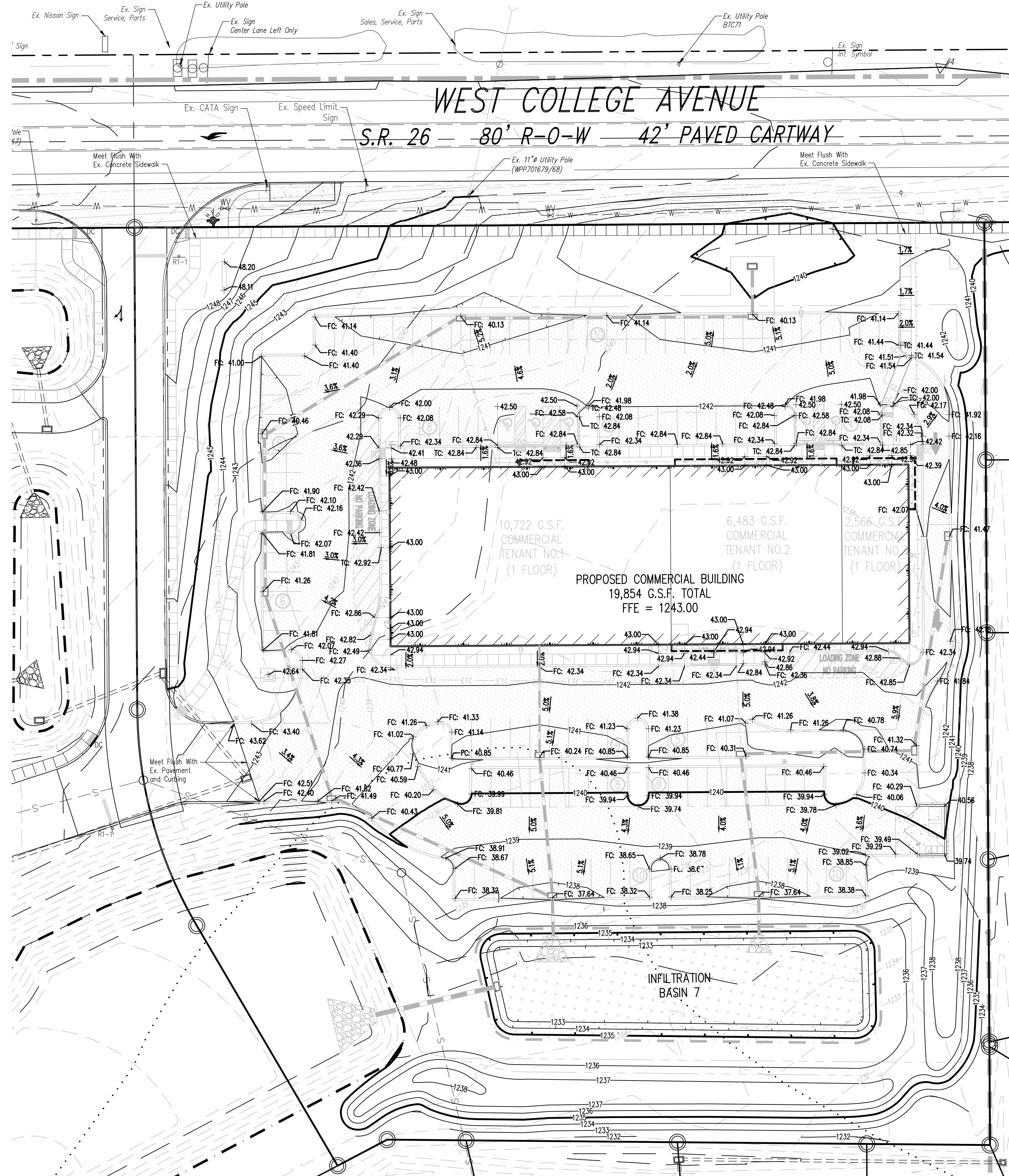
GRADING NOTES

- The Contractor shall be responsible for examining the areas and conditions under which the project is to be constructed prior to the submission of a bid. Submission of a bid shall be construed to mean the Contractor has reviewed the site and is familiar with conditions and constraints of the site. Should this be in the General Construction notes?
- Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify po one call 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
- All existing trees, vegetation, pavements, concrete foundations, structures and organic topsoil shall be stripped and removed from new construction areas unless noted otherwise.
- Maximum slopes shall be 3:1 (horizontal:vertical) unless noted otherwise.
- All areas not paved shall be sodded, topsoiled, seeded, mulched or landscaped unless otherwise noted in the construction drawings, site specifications or instructed by the Owner.
- Contractor shall refer to the geotechnical report prior to initiation of any earthwork activity.
- Contractor shall refer to other plans within this construction set for other pertinent information.
- The maximum slope within all the handicapped spaces shall be 2.00% in any direction.
- The maximum slope for all on-site sidewalks shall be 4.90% with a maximum cross slope of 2.00% and curb ramps shall have a maximum slope of 8.30%.
- Proposed spot elevation are to bottom of curb unless noted otherwise.
- The Contractor shall notify Owner's testing agency before any placement and compaction of fills on the site. Fill areas shall be prepared and compacted per the project specifications and certified by the Owner's testing agency. Contractor shall be responsible for removal, retesting, and replacement of fills not meeting the specifications. The Contractor is also responsible for all expenses associated with replacement of fills not meeting the specifications.
- All fill material brought on to the job by the Contractor must comply with all applicable D.E.P. regulations regarding clean fill.
- Refer to the latest version of the Orchard Square Stormwater Management Site Plan set.

ADA ACCESSIBILITY GUIDELINES

Notable Guidelines per 2010 ADA Standards for Accessible Route Design:

- The running slope of walking surfaces shall not be steeper than 1:20, and the cross slope of walking surfaces shall not be steeper than 1:48.
- The clear width of walking surfaces shall be 36 inches minimum.
- Handrails shall be provided along accessible route walking surfaces with running slopes steeper than 1:20 except at curb ramps.
- Door openings shall provide a clear width of 32 inches minimum. Openings more than 24 inches deep shall provide a clear opening of 36 inches minimum.
- Ramp runs shall have a running slope not steeper than 1:12, and the cross slope of ramp runs shall not be steeper than 1:48.
- The rise for any ramp run shall be 30 inches maximum.
- Ramps shall have landings at the top and bottom of each ramp run, and must comply with Section 405.7 of the 2010 ADA Standards.
- Curb ramps shall not be steeper than 1:20, curb ramp side flares shall not be steeper than 1:10, and landings shall be provided at the tops of curb ramps.
- Curb ramp landings shall be 36 inches minimum, and the landing clear width shall be at least as wide as the curb ramp (excluding flared sides).
- Parking spaces shall comply with Section 502 of the 2010 ADA Standards.
- Handicap car parking spaces shall be 96 inches wide minimum and van parking spaces shall be 132 inches wide minimum, and shall have an adjacent access aisle complying with Section 502.3 of the 2010 ADA Standards.
- Access aisles serving car and van parking spaces shall be 60 inches wide minimum, and shall extend the full length of the parking space(s) they serve.
- Reference 2010 ADA Standards for Accessible Route Design for additional information.



SURVEY FEATURES LEGEND

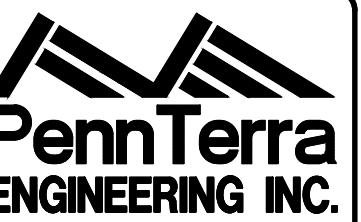
- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Zoning Boundary
- Property Corner Found
- Property Corner To Be Set
- PennTerra Control Point
- Project Benchmark

EXISTING FEATURES LEGEND

- Existing Bituminous Areas
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Overhead Utility Line w/ Pole
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Guy Wire
- Existing Sign
- Existing Soil Limit Line / Boundary
- Existing Soil Type

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- PROPOSED SPOT ELEVATION
- PROPOSED GRADE SLOPE
- PROPOSED STORM SEWER W/ TYPE C INLET
- PROPOSED STORM SEWER ROOF DRAIN
- PROPOSED STORM SEWER INLET - TYPE M
- PROPOSED STORM SEWER INLET - TYPE C
- PROPOSED STORMWATER BASIN / BEST MANAGEMENT PRACTICE (BMP) FACILITIES
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)
- PROPOSED PARKING STALL COUNT
- PROPOSED SIGN W/ LABEL
- PROPOSED DEPRESSED CURB W/ CURB TRANSITION
- PROPOSED HANDICAPPED RAMP

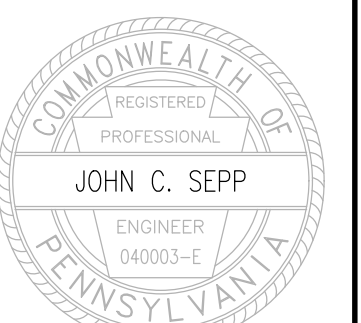


PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

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Draftsman	CJW
Proj/Manager	MAT
Surveyor	MAK/ADF
Perimeter Ok.	
Book	543 Pg 1
File	17125.10-PRE-06-GRADING
Layout	GRADING

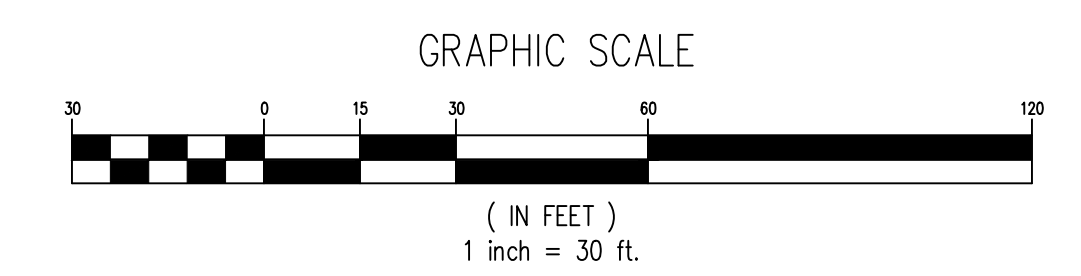
Date	Description	REVISIONS
9/28/21	REVISED PER TWP COMMENTS	CJW
9/29/21	REVISED PER TWP COMMENTS	CJW

ORCHARD SQUARE
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

GRADING & STORMWATER MANAGEMENT PLAN

PROJECT NO.	17125.10
DATE	AUGUST 11, 2021
SCALE	1" = 30'
SHEET NO.	6



UTILITY NOTES

- All site work shall be done in accordance with the plans prepared by PennTerra Engineering Inc., the current requirements of the governing municipality, the applicable sections of the PennDOT standard specifications for roadway construction and all other pertinent federal and state laws.
- The Contractor shall comply at all times with applicable federal, state and local laws, provisions, and policies governing safety and health, including the federal construction safety act (public law 91-54), federal register, chapter xvii, part 1926 of title 29 regulations, occupational safety and health regulations for construction, and subsequent publications updating these regulations.
- The Contractor shall be responsible for examining the areas and conditions under which the project is to be constructed prior to the submission of a bid. Submission of a bid shall be construed to mean the Contractor has reviewed the site and is familiar with conditions and constraints of the site.
- Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify on one call at 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
- It is the responsibility of the Contractor to bid and perform all utility work in compliance to all applicable local and state codes and regulations. The Contractor shall be responsible for all fees associated with the installation, testing and final acceptance of all proposed utilities construction.
- Contractor shall be responsible for all fees associated with the installation, inspection, testing and final acceptance of all proposed utility construction.
- Contractor shall coordinate with the appropriate utility company on the addition, removal and/or relocation of utilities and utility poles and the extension of all proposed utilities to the proposed facilities.
- All utilities shall be installed in accordance with the specifications of the respective utility company. It is the responsibility of the Contractor to ensure all utilities are installed correctly to meet project requirements whether performed by the Contractor or not.
- Contractor shall verify all utility service connections at the proposed building with the architectural/mechanical/plumbing/electrical plans.
- An as-built drawing of new utility services shall be prepared by the Contractor and submitted to the Owner upon completion of the project.
- All sanitary sewer & water lines shall have 4' minimum coverage.
- All water service lines shall be constructed with 48" minimum cover.
- All public water main construction and all private water main & lateral service construction shall be in accordance with the water authority's standards and specifications.
- All 8" public water lines shall be ductile iron pipe class 52 min manufactured in accordance with AWWA C150 & C151 standards, & shall be cement lined, and bituminous seal coated inside & out in accordance with AWWA C140 standards.
- All private water mains shall be ductile iron Class 52 min manufactured in accordance with ANSI/AWWA C150 & C151 standards, & shall be cement lined, and bituminous seal coated inside & out in accordance with ANSI/AWWA C140 standards.
- All 6" water service lines to fire hydrants off of the 8" water main shall be ductile iron Class 52 manufactured in accordance with ANSI/AWWA C150 & C151 standards, shall be cement lined & shall be bituminous seal coated inside & out in accordance with ANSI/AWWA C140 standards. PVC is acceptable to some authorities.
- All sanitary sewer service laterals shall be in accordance with the sanitary sewer authority's standards and specifications. PVC pipe material shall be as shown on plan.

STATE COLLEGE BOROUGH WATER AUTHORITY

All private water main & lateral service construction shall be in accordance with State College Borough Water Authority's (SCBWA) "material & installation specifications for "private" distribution lines, service lines & fire hydrants", latest edition

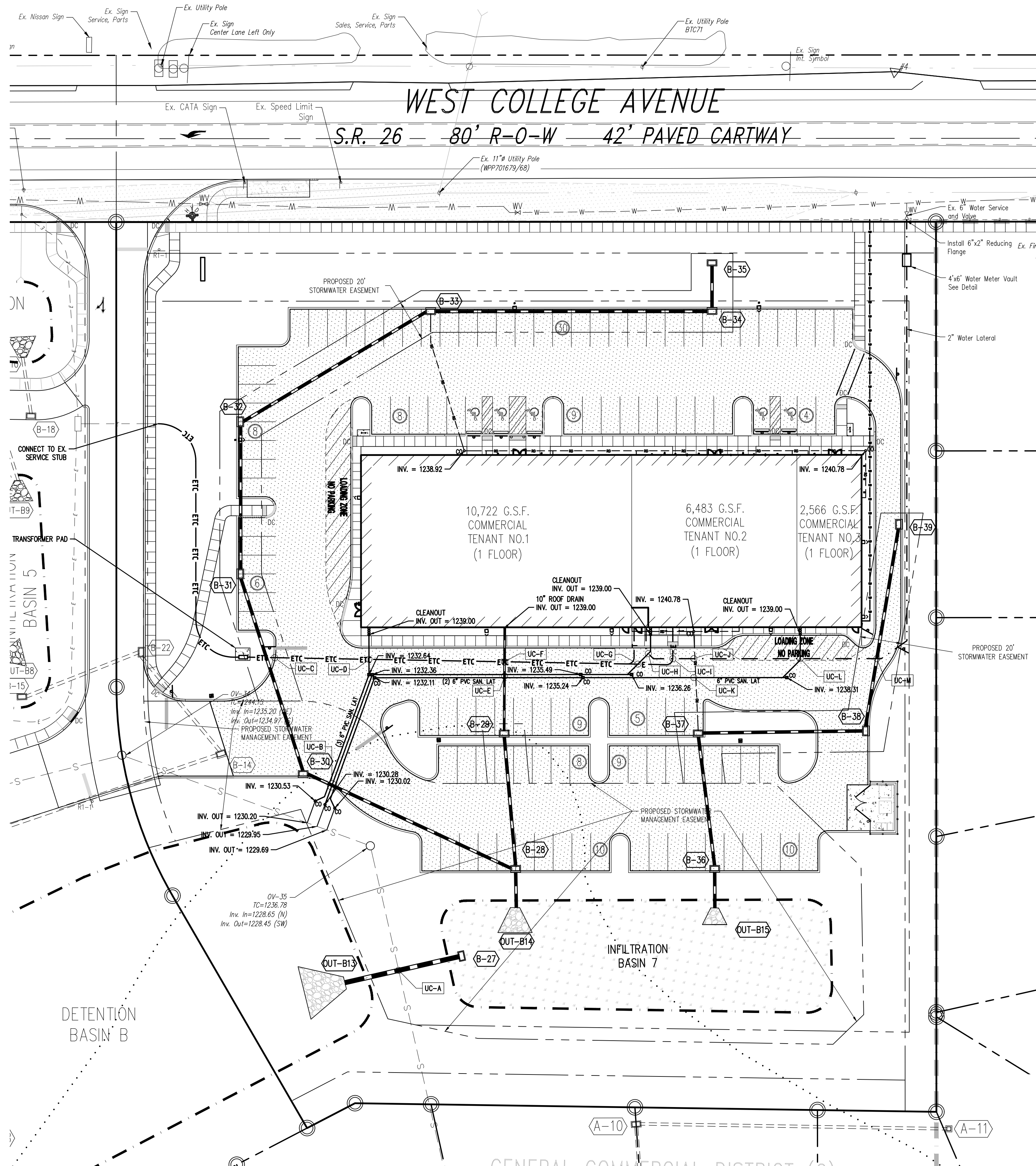
All water line pipes shall meet the State College Borough Water Authority's "public water main, service connections & fire hydrant specifications for Contractor installation" as well as "material & installation specifications for "private" distribution lines, service lines & fire hydrants", latest edition.

UNIVERSITY AREA JOINT AUTHORITY

Sanitary sewer laterals & clean-outs beyond UAJA's utility easement shall be PVC schedule 40 in accordance with UAJA specifications. Sanitary sewer laterals within the utility easement shall be PVC SDR-35.

Contractor shall coordinate depths of non-gravity utility lines gravity line inverts & other non-gravity lines to obtain adequate depths, clearances, & coverage.

The Contractor shall refer to the architectural plans for the exact location of utility entrances, building dimensions, roof leaders exit doors, exit ramps, and porches. All site work shall be done in accordance with the plans prepared by PennTerra Engineering, the current regulations of the governing municipality, and all other pertinent federal, state & local laws. Any conflicts between the architectural plans and site plans shall be reported immediately to the Owner's representative



SURVEY FEATURES LEGEND

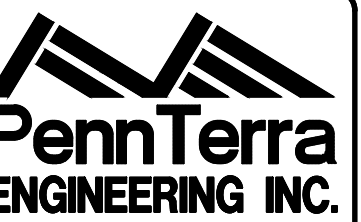
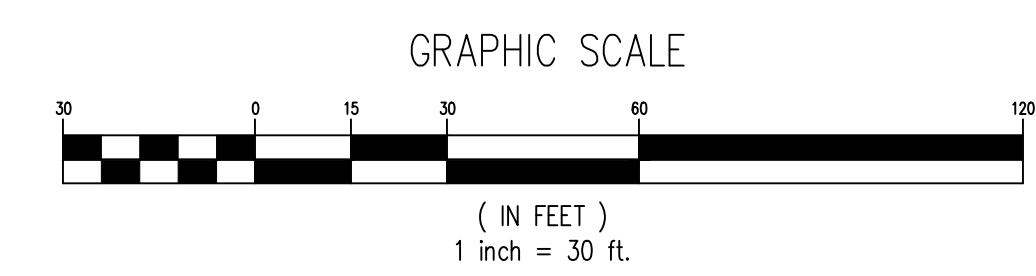
- Property Line, Lot Line or Right of Way Line
- - - - - Adjoining Property Line
- - - - - Building Setback Line
- - - - - Easement Line
- - - - - Zoning Boundary
- Property Corner Found
- Property Corner To Be Set
- △# PennTerra Control Point
- ◆ Project Benchmark

EXISTING FEATURES LEGEND

- Existing Curbing & Edge of Pavement
- Existing Bituminous Areas
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Overhead Utility Line w/ Pole
- Existing Underground Electric
- Existing Gas Line
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- > Existing Guy Wire
- Existing Sign

PROPOSED FEATURES LEGEND

- ▭ PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- ▨ PROPOSED CONCRETE SIDEWALK
- ▨ PROPOSED CONCRETE AREAS
- ▨ PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED 6" PVC SANITARY SEWER LATERAL W/ CLEAN OUT
- PROPOSED SINGLE UNIT DOMESTIC WATER SERVICE LATERAL W/ CURB BOX
- PROPOSED STORM SEWER W/ TYPE C INLET
- PROPOSED STORM SEWER ROOF DRAIN
- PROPOSED GAS LINE
- PROPOSED COMBINED UTILITY CONDUIT
- PROPOSED STORM SEWER INLET - TYPE M
- PROPOSED STORM SEWER INLET - TYPE C
- PROPOSED WATER SERVICE VALVE
- PROPOSED CLEAN-OUT
- PROPOSED CLEAN-OUT W/ CONC. PAD
- ▭ PROPOSED STORMWATER BASIN/ BEST MANAGEMENT PRACTICE (BMP) FACILITIES
- ▭ PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- ▭ PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)
- PROPOSED PARKING STALL COUNT
- PROPOSED SIGN W/ LABEL
- PROPOSED DEPRESSED CURB W/ CURB TRANSITION
- PROPOSED HANDICAPPED RAMP
- PROPOSED LIGHT FIXTURE & POLE
- PROPOSED LIGHT FIXTURE
- PROPOSED LIGHT FIXTURE
- UTILITY CROSSING LABEL (SEE SHEET 12 FOR TABLE)

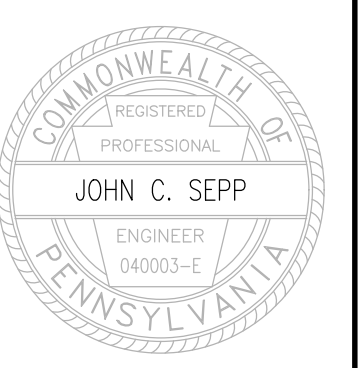


CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
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Proj/Manager	MAT
Surveyor	MAK/ADE
Perimeter Ok.	
Book	543, Pg 1
File	17125.10-PRE-07-UTILITIES
Layout	UTILITIES

Date	Description	REVISIONS
9/28/21	REVISED PER TWP COMMENTS	CM
9/30/21	REVISED PER TWP COMMENTS	CM

ORCHARD SQUARE
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

UTILITY PLAN

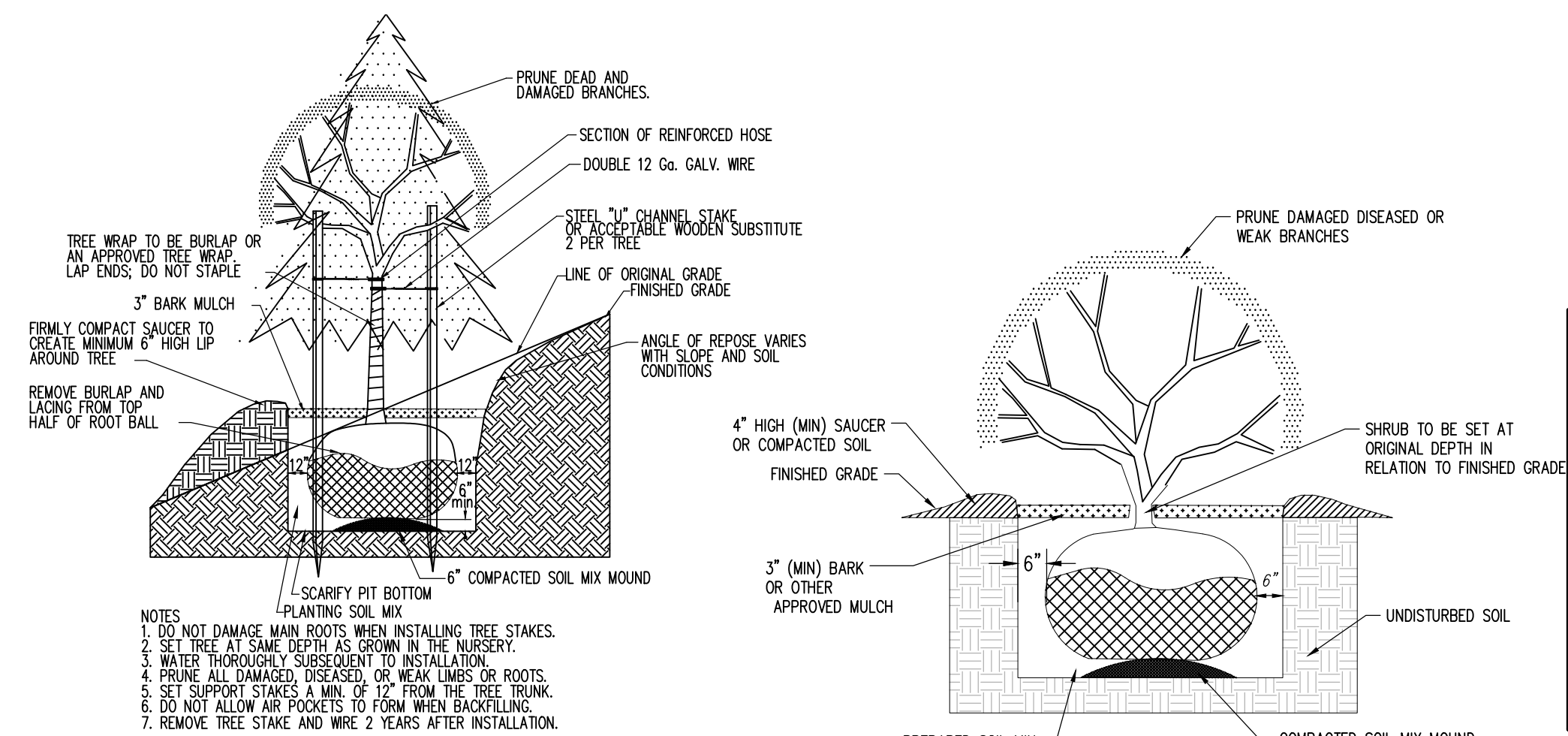
PROJECT NO.	17125.10
DATE	AUGUST 11, 2021
SCALE	1" = 30'
SHEET NO.	7

PLANTING SCHEDULE					
SYMBOL	KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE
CANOPY TREES					
	T-1	5	Katsura Tree	Cercidiphyllum japonica	2" Cal.
	T-2	4	Scarlet Oak	Quercus coccinea	2" Cal.
	T-3	6	London Planetree	Platanus x acerifolia	2" Cal.
	T-4	10	Armstrong Maple	Acer x freemanii 'Armstrong'	2" Cal.
	T-5	6	Silver Linden	Tilia tomentosa	2" Cal.
	T-6	6	Thornless Honeylocust	Gleditsia triacanthos inermis	2" Cal.
	T-7	5	Red Sunset Maple	Acer rubrum 'Red Sunset'	2" Cal.
UNDERSTORY/EVERGREEN TREES					
	E-1	20	Norway Spruce	Picea abies	6' HT.
	E-2	16	Red Pine	Pinus resinosa	6' HT.
	E-3	23	Concolor Fir	Abies concolor	6' HT.
SHRUBS					
	S-1	41	Ninebark	Physocarpus opulifolius	36"
	S-2	63	Ruby Slipper Oakleaf Hydrangea	Hydrangea quercifolia 'Ruby Slipper'	36"
	S-3	20	Burkwood Viburnum	Viburnum x burkwoodii	36"
	S-4	47	Bottlebrush Buckeye	Aesculus parviflora	36"
	S-5	58	Red Chokeberry	Aronia arbutifolia	36"
	S-6	25	Red Twig Dogwood	Cornus sericea	36"
	S-7	42	Pink Summersweet	Clethra alnifolia 'Rosea'	36"
	S-8	69	Densiformis Yew	Taxus x media 'Densiformis'	36"
	S-9	10	English Spreading Yew	Taxus baccata 'Repandens'	36"
	S-10	20	Elijah Blue Fescue	Festuca ovina glauca 'Elijah Blue'	3.5" Pots 15" O.C.

NOTE: ALL TREES AND SHRUBS SHALL BE PLANTED IN ACCORDANCE WITH THE "GUIDE TO PLANTING IN FERGUSON TOWNSHIP".

LANDSCAPE NOTES

- Trees are to be mulched individually in a 4" diameter circle.
- The mulch is to be double shredded hardwood bark mulch, well-aged and dark in color. Apply the mulch 3-4" thick.
- Plant material substitutions may only be permitted at the approval of the owner and approving municipality prior to planting.
- Any plantings which do not survive for a period of one year from the date of planting are to be replaced by the landscape contractor at no additional cost to the Owner.
- All new plant material is to be kept watered by the landscape contractor when working on site until acceptance of the completion of the landscape or end of the season (then resume next season until project is completed). The owner will be responsible for watering thereafter.
- All disturbed areas not being planted in trees or shrubs are to be fine graded with 6" of topsoil and seeded with a hardy perennial grass seed mixture and mulched with straw.
- Gross must be 2 inches high over 90% of the seeded areas prior to acceptance by the owner.
- All caliper measurements for landscaping shall be measured at 6" above the root ball.
- Quantities of plant material noted on the planting schedule are to be verified with quantities shown on the plan which will have priority.
- See sheet ES2 for lawn and basin bottom seed mixes.

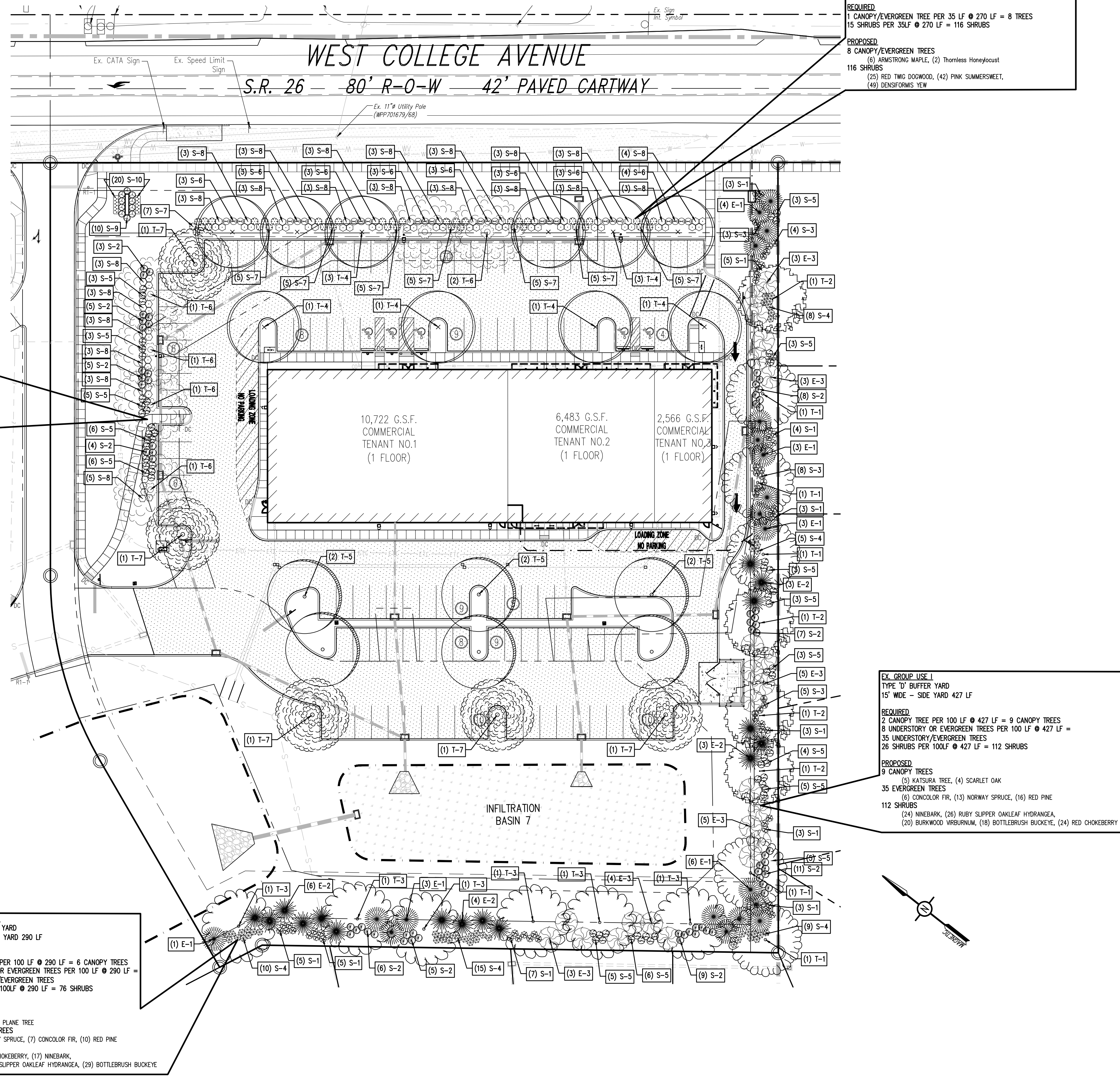


TYPICAL TREE PLANTING (ON SLOPES)

NOT TO SCALE

TYPICAL SHRUB PLANTING DETAIL

NOT TO SCALE



CORRIDOR OVERLAY DISTRICT
 PARKING BUFFER
 12' WIDE - 270 LF

REQUIRED:
 1 CANOPY/EVERGREEN TREE PER 35 LF @ 270 LF = 8 TREES
 15 SHRUBS PER 35LF @ 270 LF = 116 SHRUBS

PROPOSED:
 8 CANOPY/EVERGREEN TREES
 (5) ARMSTRONG MAPLE, (2) THORNLESS HONEYLOCUST
 116 SHRUBS
 (25) RED TWIG DOGWOOD, (42) PINK SUMMERSWEET,
 (49) DENSIFORMIS YEW

CORRIDOR OVERLAY DISTRICT
 PARKING BUFFER
 10' WIDE - 136 LF

REQUIRED:
 1 CANOPY/EVERGREEN TREE PER 35 LF @ 136 LF = 4 TREES
 15 SHRUBS PER 35LF @ 136 LF = 59 SHRUBS

PROPOSED:
 4 CANOPY/EVERGREEN TREES
 (4) THORNLESS HONEYLOCUST
 60 SHRUBS
 (17) RUBY SLIPPER OAKLEAF HYDRANGEA,
 (20) DENSIFORMIS YEW, (23) RED CHOKEBERRY

EX. GROUP USE 1
 TYPE 'D' BUFFER YARD
 15' WIDE - SIDE YARD 427 LF

REQUIRED:
 2 CANOPY TREE PER 100 LF @ 427 LF = 9 CANOPY TREES
 8 UNDERSTORY OR EVERGREEN TREES PER 100 LF @ 427 LF =
 35 UNDERSTORY/EVERGREEN TREES
 26 SHRUBS PER 100LF @ 427 LF = 112 SHRUBS

PROPOSED:
 9 CANOPY TREES
 (5) KATSURA TREE, (4) SCARLET OAK
 35 EVERGREEN TREES
 (5) CONCOLOR FIR, (13) NORWAY SPRUCE, (16) RED PINE
 112 SHRUBS
 (24) NINEBARK, (26) RUBY SLIPPER OAKLEAF HYDRANGEA,
 (20) BURKWOOD VIBURNUM, (18) BOTTLEBRUSH BUCKEYE, (24) RED CHOKEBERRY

EX. GROUP USE 1
 TYPE 'D' BUFFER YARD
 15' WIDE - REAR YARD 290 LF

REQUIRED:
 2 CANOPY TREE PER 100 LF @ 290 LF = 6 CANOPY TREES
 8 UNDERSTORY OR EVERGREEN TREES PER 100 LF @ 290 LF =
 24 UNDERSTORY/EVERGREEN TREES
 26 SHRUBS PER 100LF @ 290 LF = 76 SHRUBS

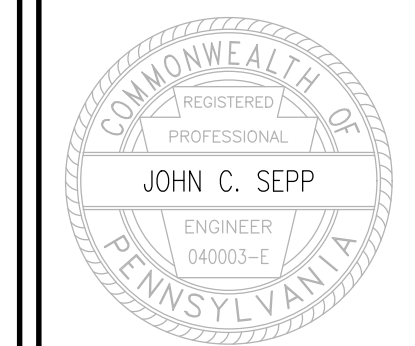
PROPOSED:
 6 CANOPY TREES
 (6) LONDON PLANE TREE
 24 EVERGREEN TREES
 (7) NORWAY SPRUCE, (7) CONCOLOR FIR, (10) RED PINE
 77 SHRUBS
 (11) RED CHOKEBERRY, (17) NINEBARK,
 (20) RUBY SLIPPER OAKLEAF HYDRANGEA, (29) BOTTLEBRUSH BUCKEYE

PennTerra ENGINEERING INC.
 CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 Fax: 814-237-2308

LANCASTER REGION OFFICE:
 3904 B ABEL DRIVE
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 PH: 717-522-5031
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Draftsman	C.J.W.
Proj. Manager	MAT.
Surveyor	MAK./JDF.
Perimeter Ok.	
Book	543 Pg 1
File	17125-19-PRE-09-LANDSCAPE
Layout	LANDSCAPE

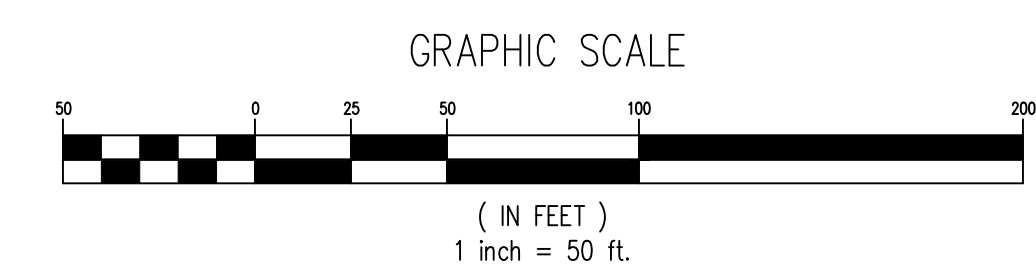
9/28/21	REVISED PER TWP COMMENTS
9/29/21	REVISED PER TWP COMMENTS
C.J.W.	
Date	Description
	REVISIONS

ORCHARD SQUARE
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 PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

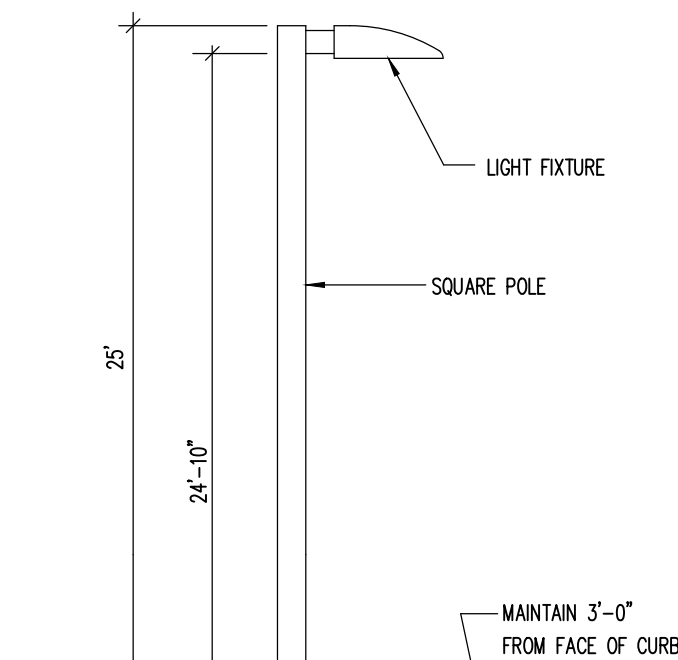
LANDSCAPING PLAN

PROJECT NO.	17125.10
DATE	AUGUST 11, 2021
SCALE	1" = 30'
SHEET NO.	8

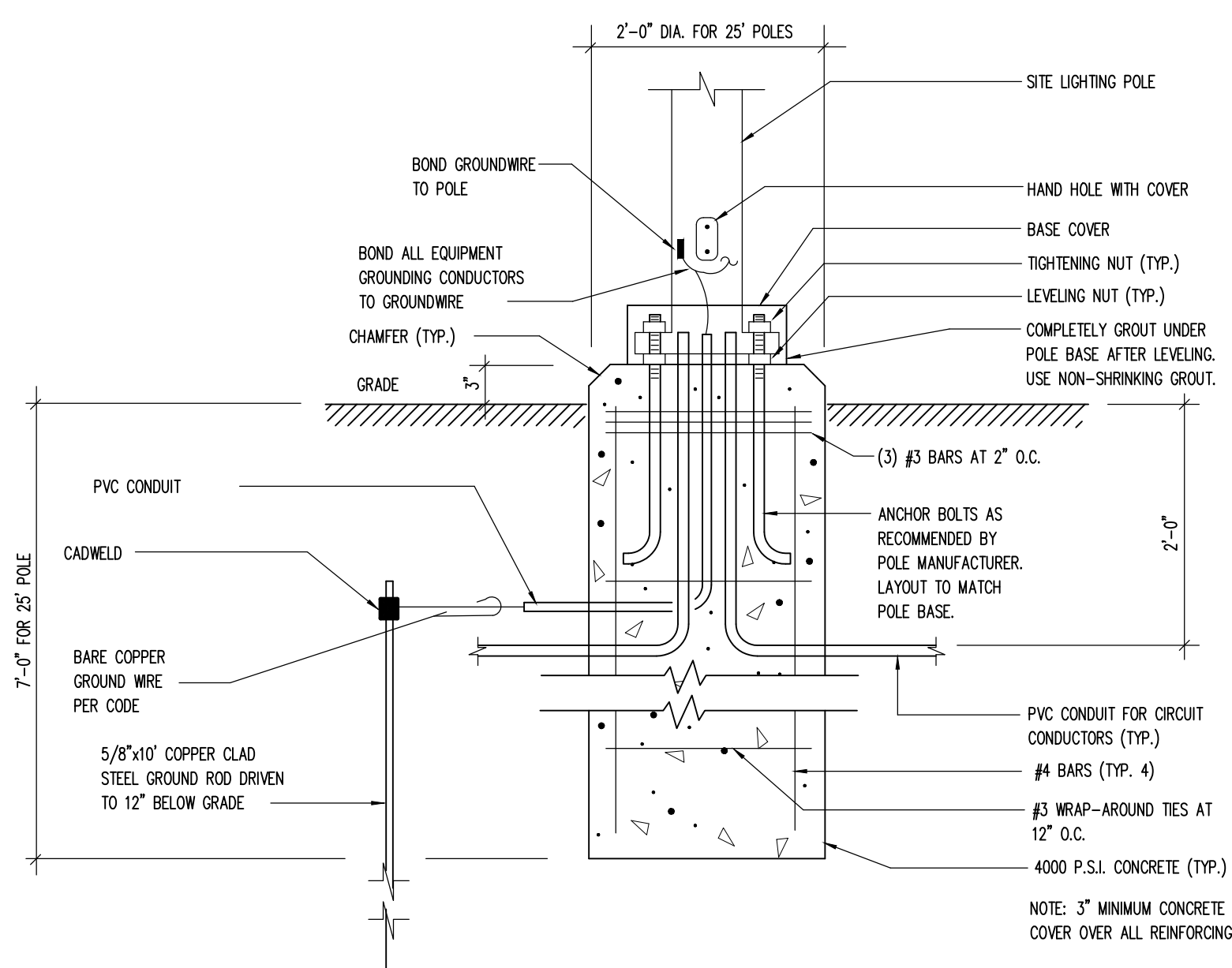


ELECTRICAL NOTES

1. Electrical contractor shall verify and coordinate all existing and new underground facilities with all contractors, utility companies, etc. before beginning any underground construction.
2. Wiring under all pavement surfaces shall be in PVC conduit size as indicated - minimum size 1". Electrical contractor shall field verify location of all roadways, walkways, patios, terraces, etc. and provide conduit under all locations for wiring access.
3. All circuits shall be complete with ground wire.
4. All conduit shall be set at a minimum depth of 24".
5. All wiring trenches shall be run as close as possible to all curbs - no wiring shall run through the center of any island, planter, terrace, courtyard, etc. Electrical contractor shall verify conduit location in the field before excavating.
6. Contractor shall provide electrical design services and drawings per latest building & electrical code standards for lighting connections, circuitry & controller, and shall be responsible for any code approvals for the design.
7. Proposed fixtures for curfew lighting shall be installed on same circuit to be set to remain on post after-business hours. All other proposed fixtures shall be set to be turned off after-business hours.
8. Electrical installation for lighting shall include required wiring and conduit to 5' outside of the building. Building contractor to supply control panels, timing clocks and connection to exterior wiring.



SITE LIGHTING POLE DETAIL - TYPE A & B FIXTURES
NOT TO SCALE

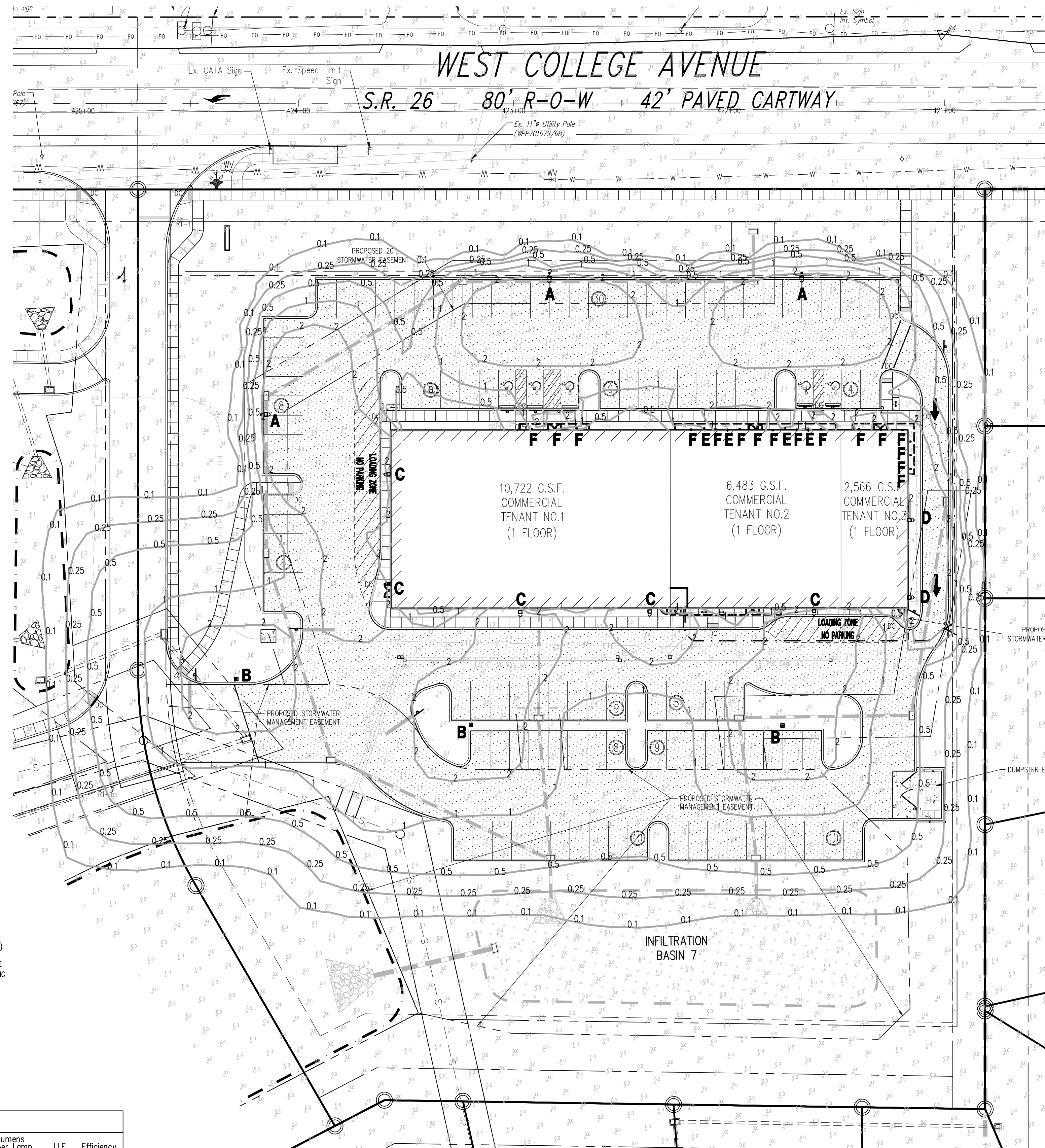


Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PAVED AREA		2.0	6.9	0.4	fcx17.3:1	5.0:1
TRESPASS		0.3	6.9	0.0	fc+ N/A	N/A

LUMINAIRE SCHEDULE

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Filename	Lumens per Lamp	LLF	Efficiency
⬢	A	3	LSI INDUSTRIES, INC	SLM-LED-24L-SIL-F1-40-70CRI-IL	SLICE MEDIUM LED, 24,000 lms, FORWARD THROW DISTRIBUTION, 4,000 CCT, 70 CRI, INTEGRAL LOUVER HSS, 25" MOUNTING HEIGHT	SLM-LED-24L-SIL-F1-40-70CRI-IL.ies	15717	1	100%
⬢	B	3	LSI INDUSTRIES, INC	SLM-LED-24L-SIL-SW-40-70CRI	SLICE MEDIUM LED, 24,000 lms, TYPE V DISTRIBUTION, 4,000 CCT, 70 CRI, 25" MOUNTING HEIGHT	SLM-LED-24L-SIL-SW-40-70CRI.ies	23670	1	100%
⌒	C	5	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GWC-AF-01-LED-E1-14FT-600	GALLEON WALL LUMINAIRE (1) 70 CRI, 4000K, 915mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE IV FORWARD THROW OPTICS, 11" MOUNTING HEIGHT	GWC-AF-01-LED-E1-14FT-600.ies	263	1	100%
⌒	D	2	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GWC-AF-01-LED-E1-14W-600	GALLEON WALL LUMINAIRE (1) 70 CRI, 4000K, 915mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE IV WIDE OPTICS, 8" MOUNTING HEIGHT	GWC-AF-01-LED-E1-14W-600.ies	260	1	100%
⌒	E	4	BOOM Converted by LUMICOT 07.01.2015 / M.S.	31074 LED 5.3W, 7" MOUNTING HEIGHT	31074 LED 5.3W, 7" MOUNTING HEIGHT	31074_BEGA_JES.ies	318	1	100%
⬢	F	16	COOPER LIGHTING SOLUTIONS - HALO (FORMERLY EATON)	SMD6R6927WH	6" Round Surface Mount, 600 lm, (42) 2700K CCT, 90 CRI LEDS, 10" MOUNTING HEIGHT	SMD6R6927WH.ies	18	1	100%



SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Zoning Boundary
- Property Corner Found
- Property Corner To Be Set

EXISTING FEATURES LEGEND

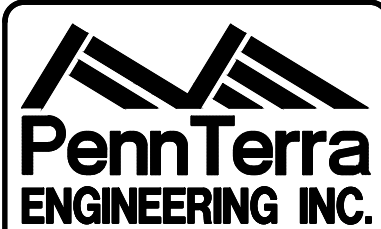
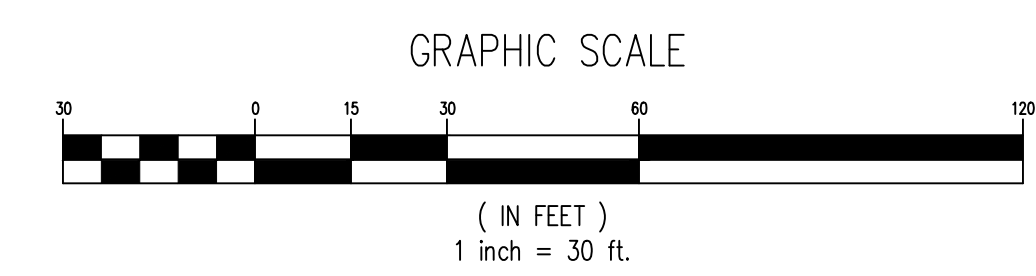
- Existing Curbing & Edge of Pavement
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Overhead Utility Line w/ Pole
- Existing Underground Electric
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Guy Wire
- Existing Sign

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED 6" PVC SANITARY SEWER LATERAL W/ CLEAN OUT
- PROPOSED SINGLE UNIT DOMESTIC WATER SERVICE LATERAL W/ CURB BOX
- PROPOSED STORM SEWER W/ TYPE C INLET
- PROPOSED STORM SEWER ROOF DRAIN
- PROPOSED GAS LINE
- PROPOSED COMBINED UTILITY CONDUIT
- PROPOSED STORM SEWER INLET - TYPE M
- PROPOSED STORM SEWER INLET - TYPE C
- PROPOSED CLEAN-OUT
- PROPOSED CLEAN-OUT W/ CONC. PAD
- PROPOSED STORMWATER BASIN/ BEST MANAGEMENT PRACTICE (BMP) FACILITIES
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)
- PROPOSED PARKING STALL COUNT
- PROPOSED SIGN W/ LABEL
- PROPOSED DEPRESSED CURB W/ CURB TRANSITION
- PROPOSED HANDICAPPED RAMP

LIGHTING LEGEND

- FOOT CANDLES AT GROUND ELEVATION
- FOOT CANDLE CONTORS

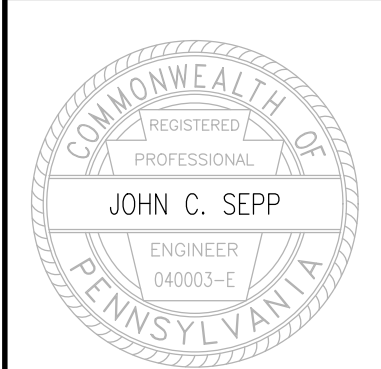


CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

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Designer	CJW
Draftsman	CJW
Proj/Manager	MAT
Surveyor	MAK/ADE
Perimeter Ck.	
Book	543 Pg 1
File	17125-10-PR-10-LIGHTING
Layout	LIGHTING

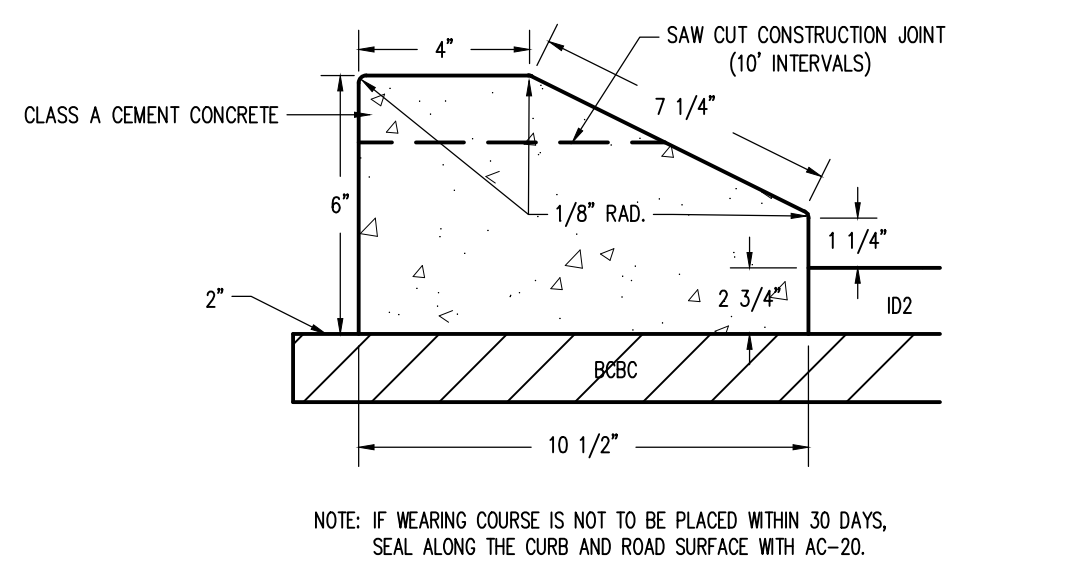
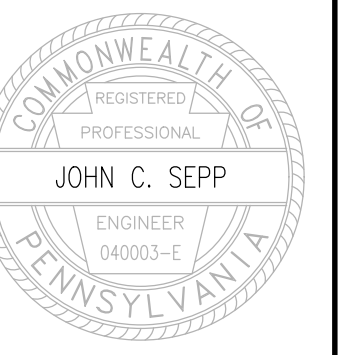
Date	Description
9/28/21	REVISED PER TWP COMMENTS
9/29/21	REVISED PER TWP COMMENTS
9/30/21	REVISED PER TWP COMMENTS
	REVISIONS

ORCHARD SQUARE
FERGUSON TOWNSHIP
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PENNSYLVANIA

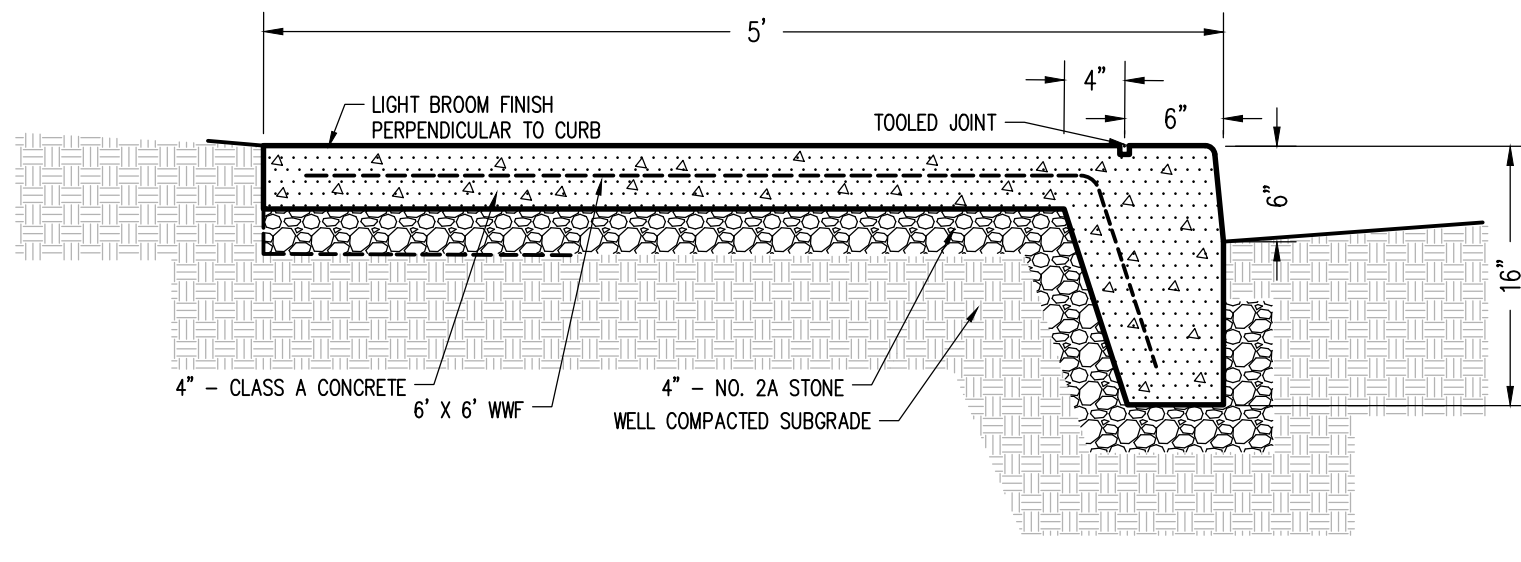
PRELIMINARY LAND DEVELOPMENT PLAN

LIGHTING PLAN

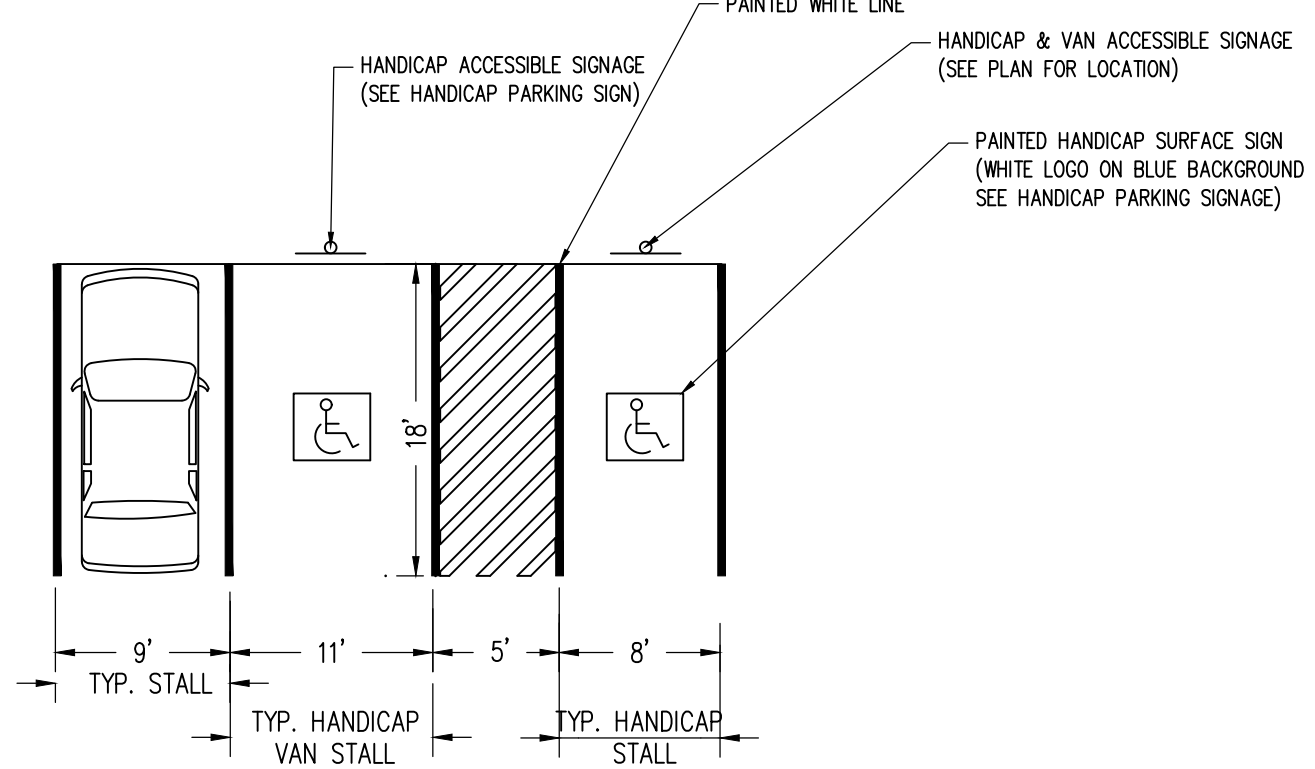
PROJECT NO.	17125.10
DATE	AUGUST 11, 2021
SCALE	1" = 30'
SHEET NO.	9



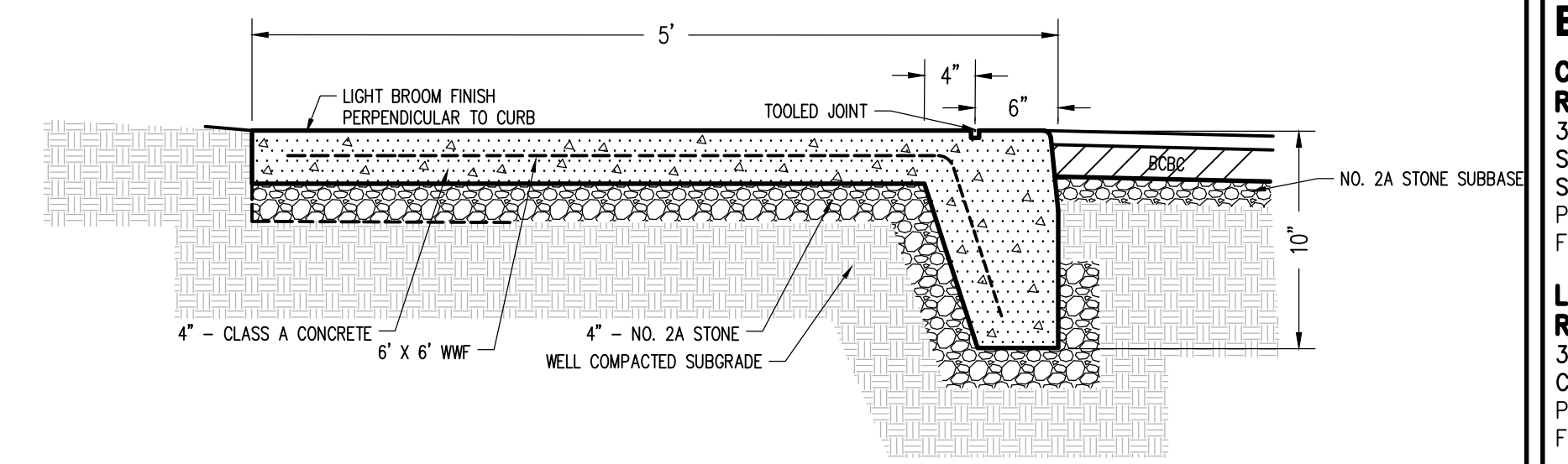
EXTRUDED CONCRETE MOUNTABLE CURB DETAIL
NOT TO SCALE
P05004



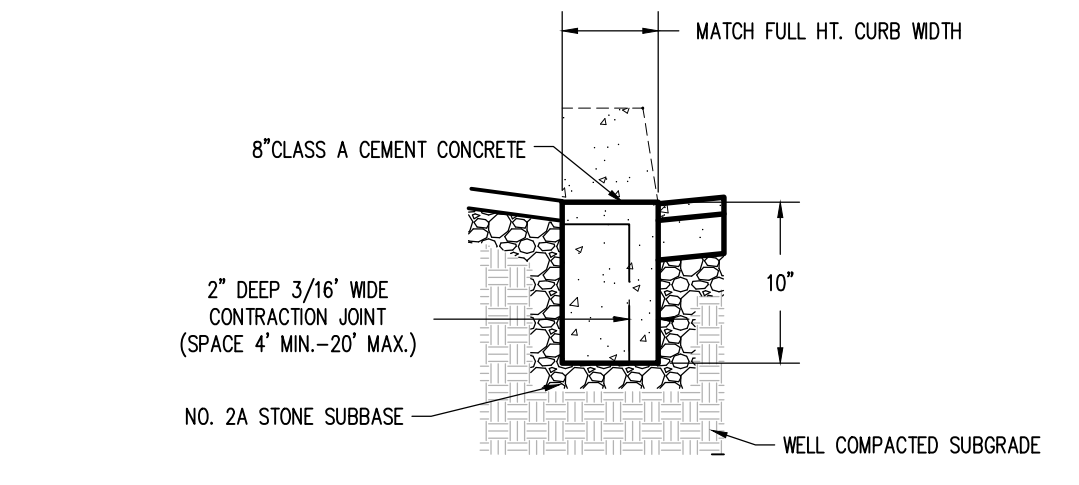
INTEGRAL CURB & SIDEWALK 5' WIDE
NOT TO SCALE



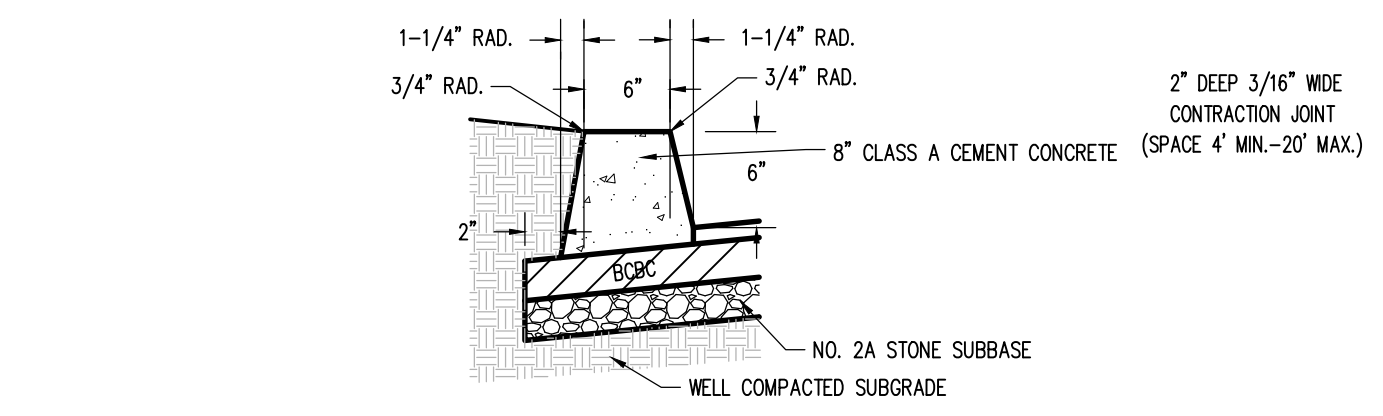
TYPICAL HANDICAP PARKING
NOT TO SCALE



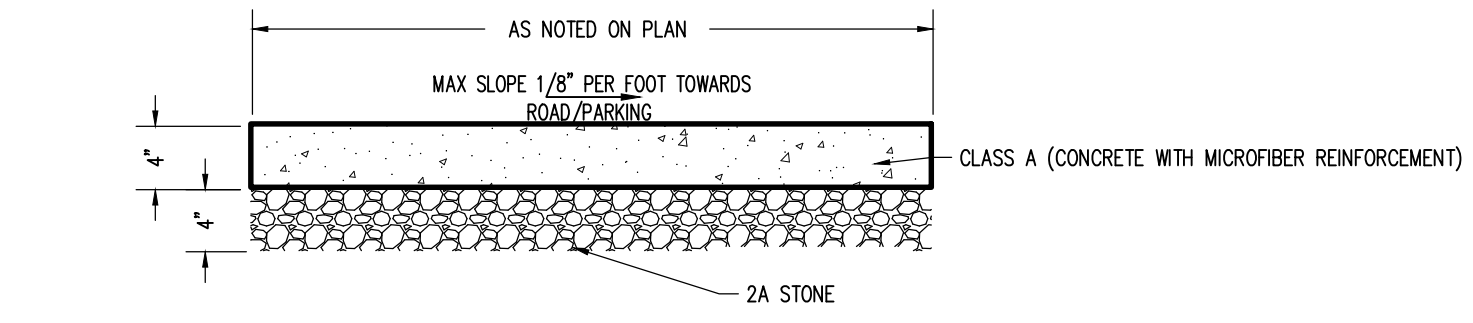
INTEGRAL CURB & SIDEWALK 5' WIDE FLUSH WITH ADA PARKING
NOT TO SCALE



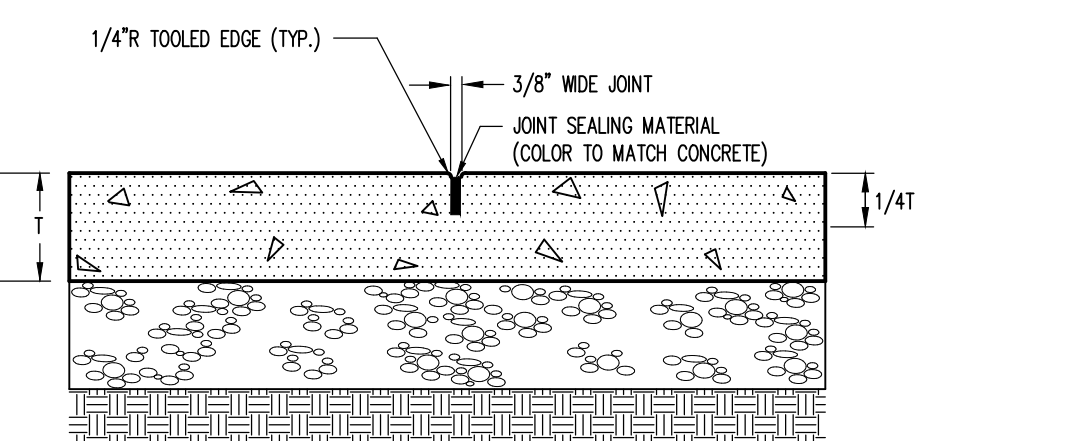
DEPRESSED CONCRETE CURB
NOT TO SCALE



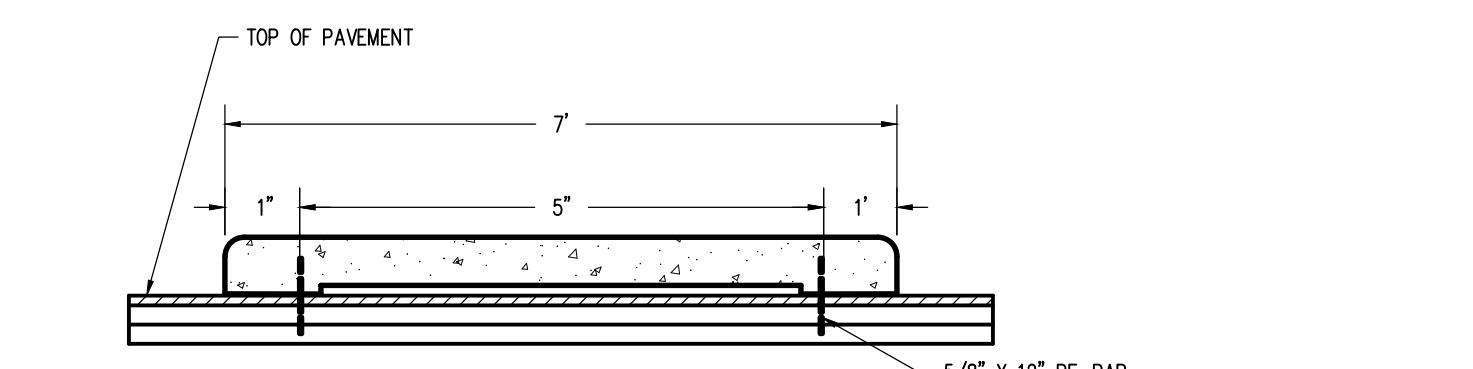
6" EXTRUDED STRAIGHT FACE CONCRETE CURB
NOT TO SCALE
P05000



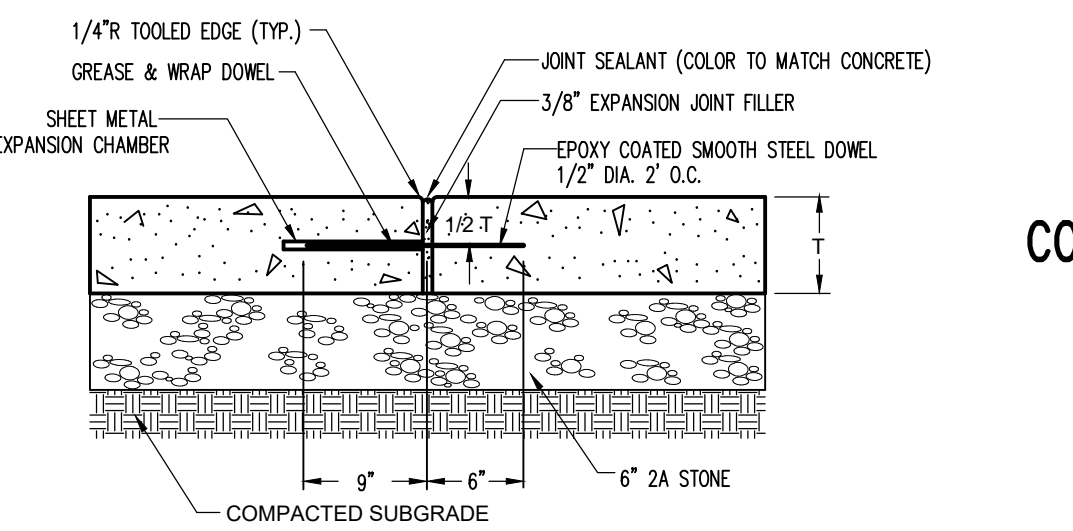
5' CEMENT CONCRETE SIDEWALK
NOT TO SCALE



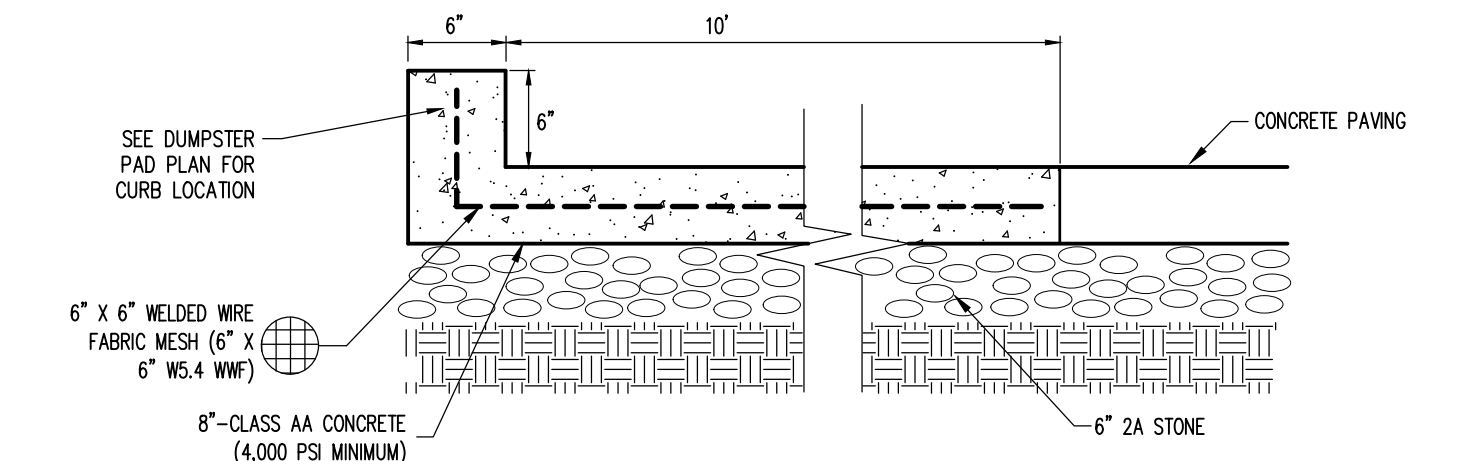
CONCRETE CONTROL JOINT
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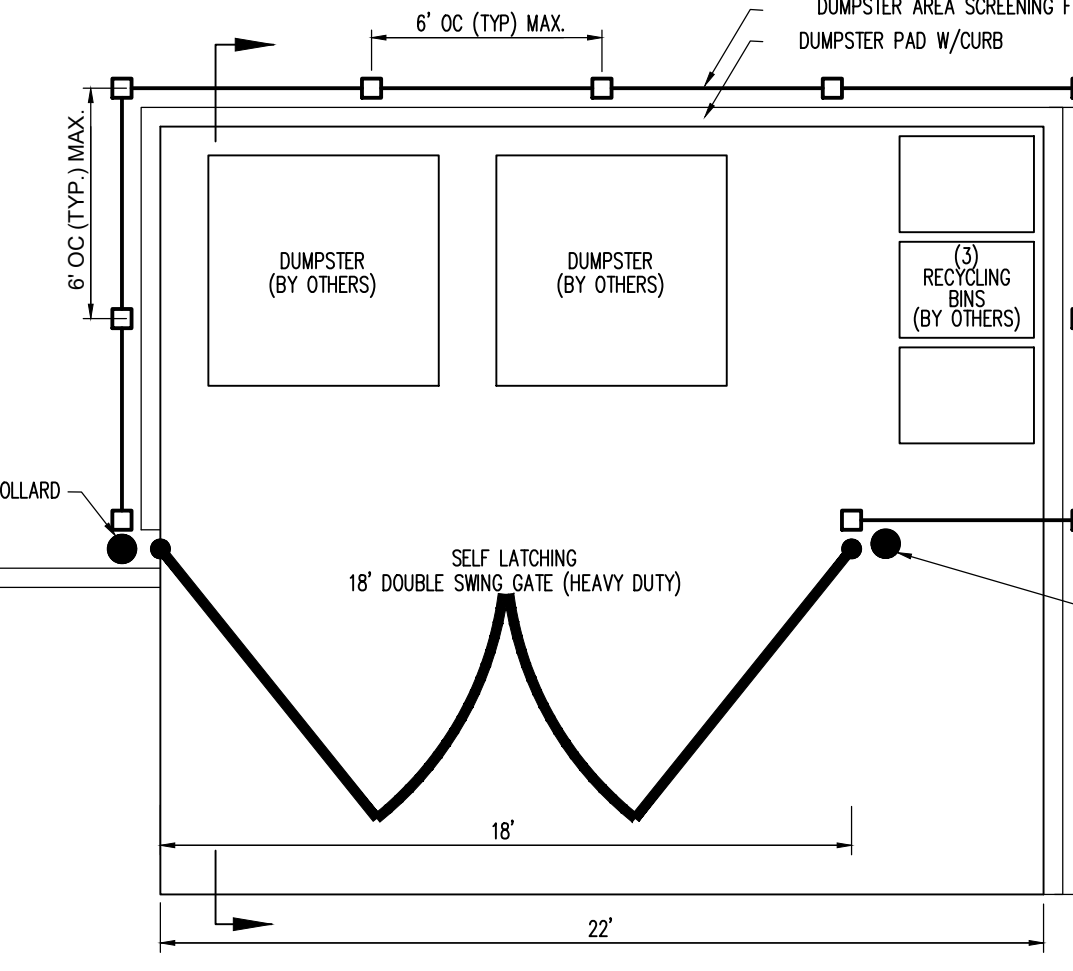
CONCRETE BUMPER BLOCK
NOT TO SCALE
P05023



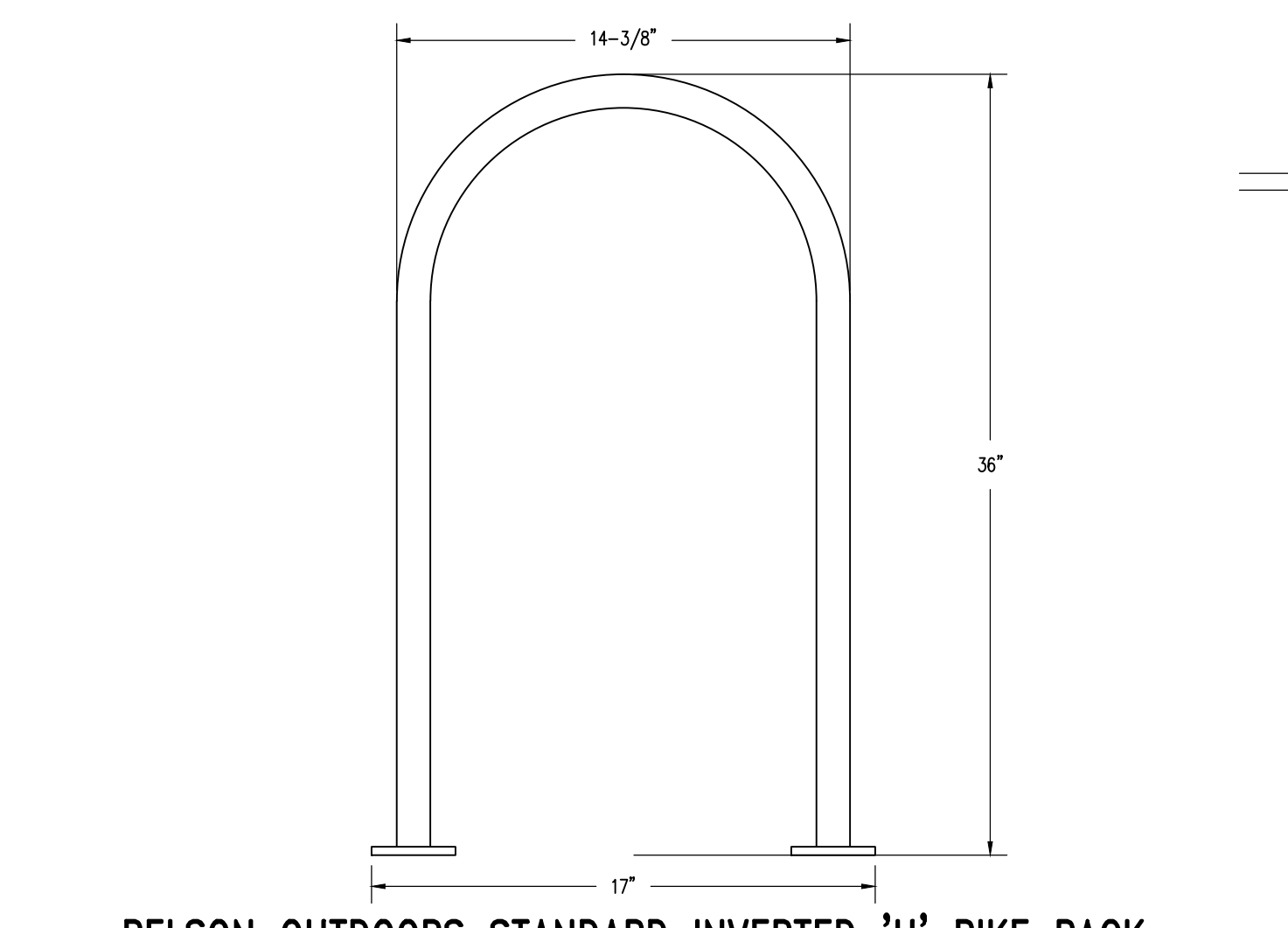
CONCRETE EXPANSION JOINT
NOT TO SCALE



DUMPSTER PAD CROSS SECTION
NOT TO SCALE

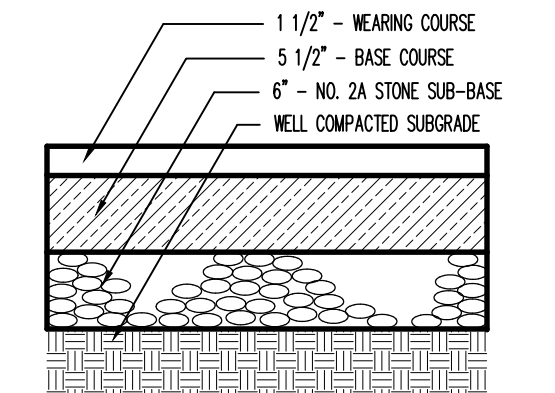


DUMPSTER PAD W/SCREENING FENCE
NOT TO SCALE

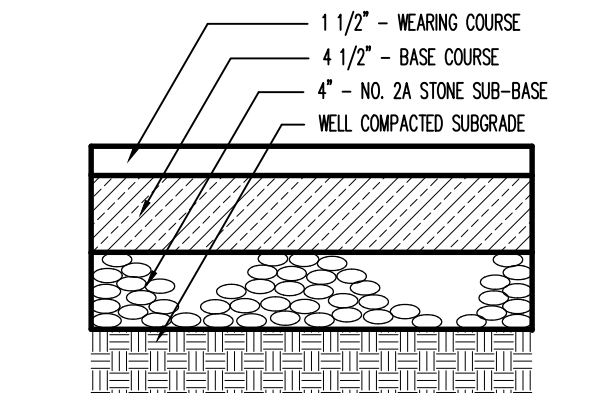


BELSON OUTDOORS STANDARD INVERTED 'U' BIKE RACK
NOT TO SCALE

NOTES:
1. USE MODEL 5801SM FROM BELSON OUTDOORS OR APPROVED EQUAL.
2. COLOR TO BE SELECTED BY ARCHITECT.



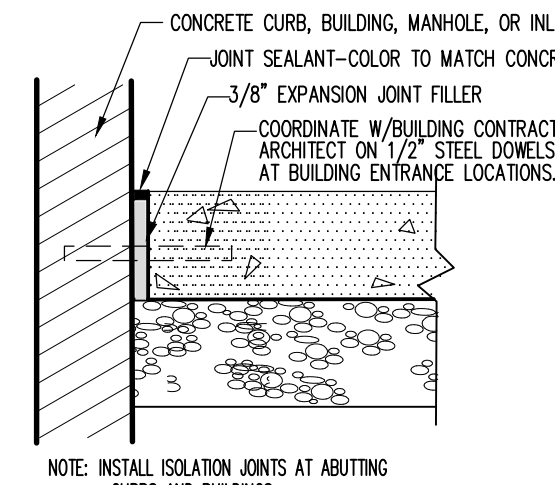
DRIVEWAY ENTRANCE PAVEMENT SECTION
NOT TO SCALE



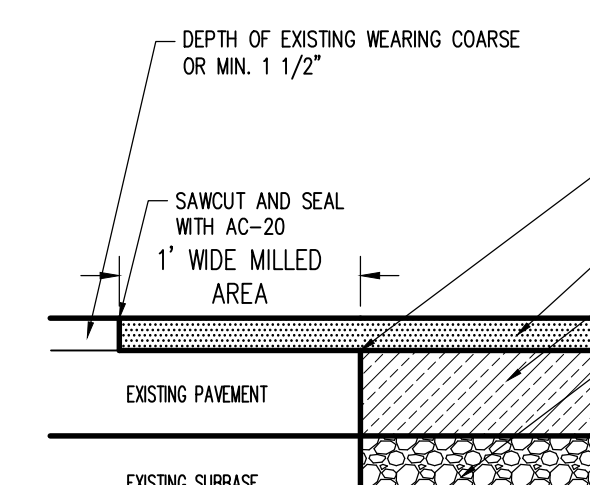
PARKING LOT PAVEMENT SECTION
NOT TO SCALE

NOTES:
1. WEARING COURSE SHALL BE: SUPERPAVE 9.5MM WEARING COURSE, PG 64-22, SR-4, < 0.3 TO 3.0 MILLION ESALS, 50 CRATION.
2. BASE COURSE SHALL BE: SUPERPAVE 25MM BASE COURSE, PG 64-22, < 0.3 TO 3.0 MILLION ESALS, 50 CRATION.

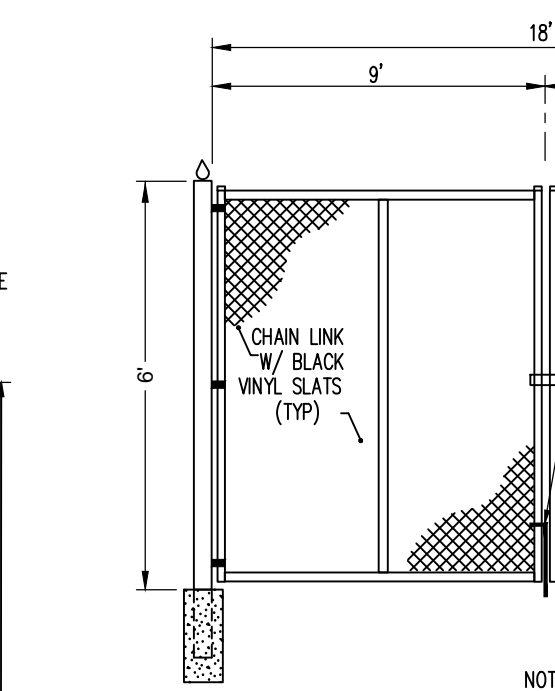
NOTES:
1. WEARING COURSE SHALL BE: SUPERPAVE 9.5MM WEARING COURSE, PG 64-22, SR-4, < 0.3 TO 3.0 MILLION ESALS, 50 CRATION.
2. BASE COURSE SHALL BE: SUPERPAVE 25MM BASE COURSE, PG 64-22, < 0.3 TO 3.0 MILLION ESALS, 50 CRATION.



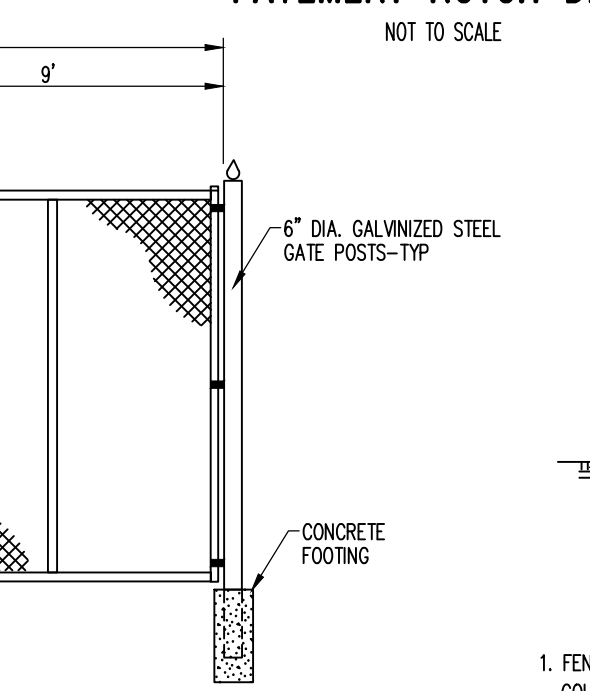
CONCRETE ISOLATION JOINT
NOT TO SCALE



PAVEMENT NOTCH DETAIL
NOT TO SCALE

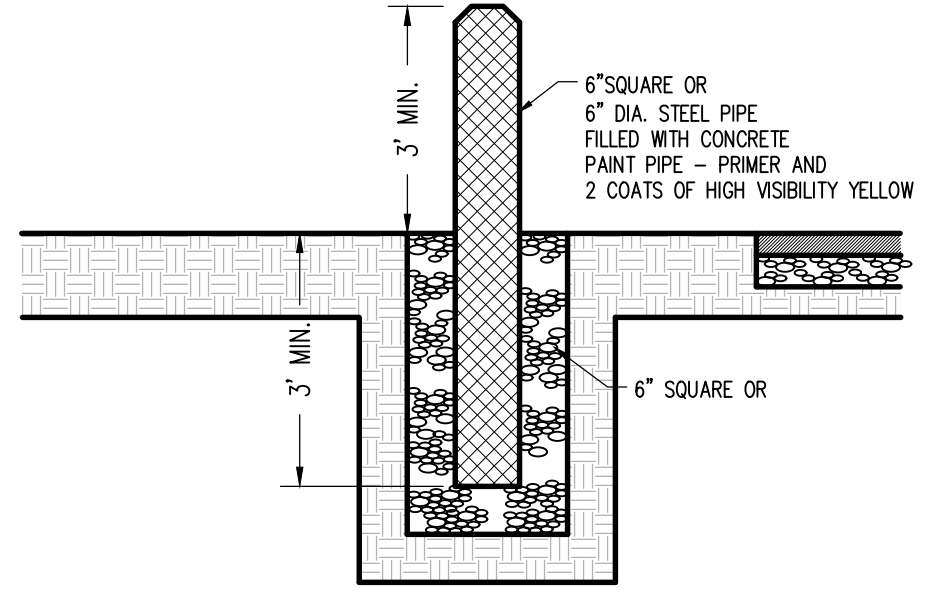


DUMPSTER SCREENING GATE
NOT TO SCALE

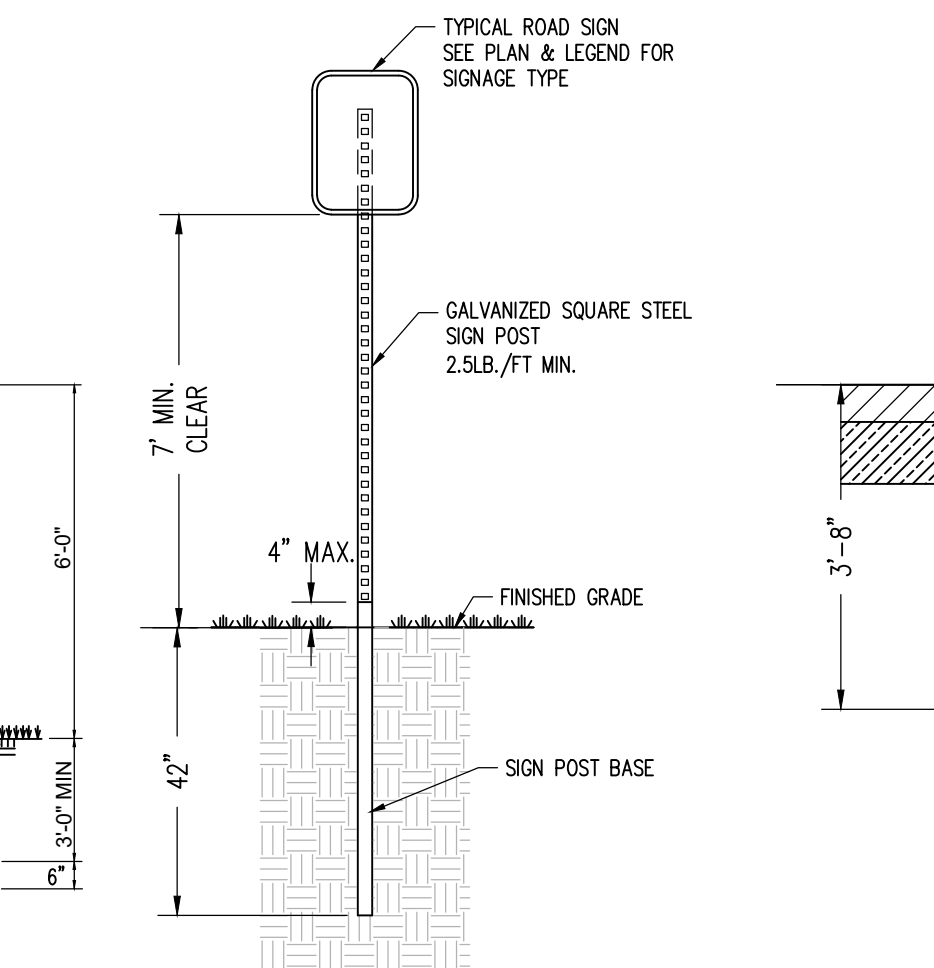


DUMPSTER & BUFFER YARD SCREENING FENCE
NOT TO SCALE

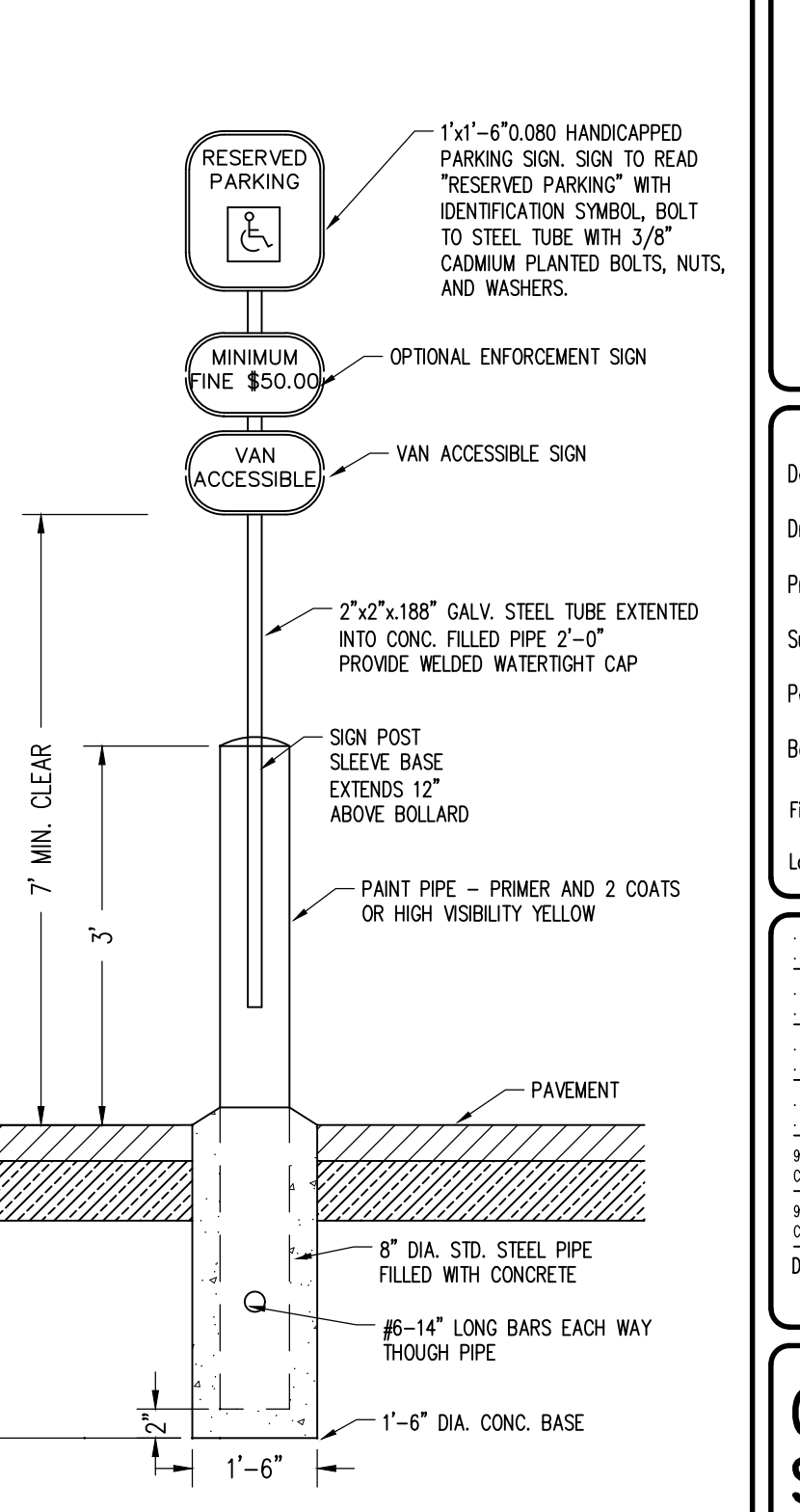
NOTES:
1. FENCE SHALL BE BUFTTECH CHESTERFIELD 'CERTAGRAN', 6' HIGH, COLOR NATURAL CLAY, PRIVACY FENCE BY CERTAINTED OR APPROVED EQUAL MATCHING TIMBER DESIGN.
2. REFER TO WEBSITE FOR ADDITIONAL INSTALLATION AND PRODUCT INFORMATION.
<http://www.certainteed.com/products/fence-railling-deck/fence/buifttech>



STEEL BOLLARD DETAIL
NOT TO SCALE

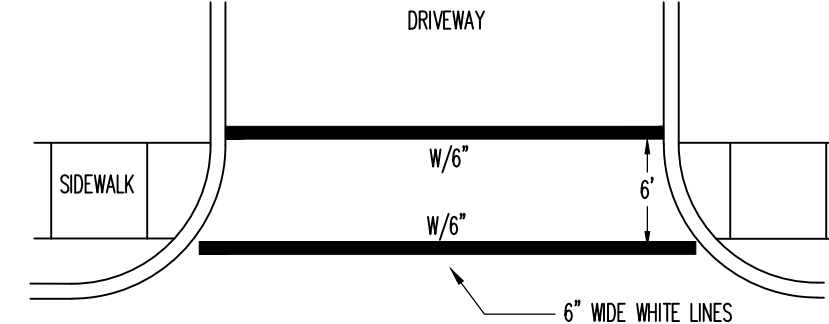


SIGN POST
NOT TO SCALE

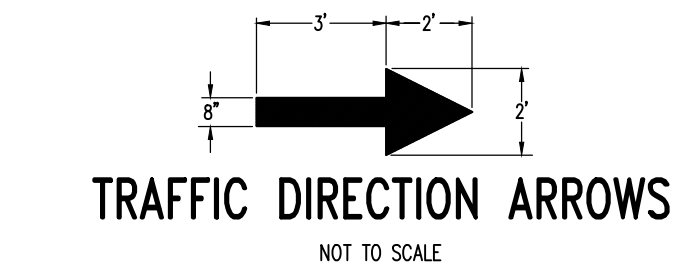


HANDICAP SIGN POST
NOT TO SCALE

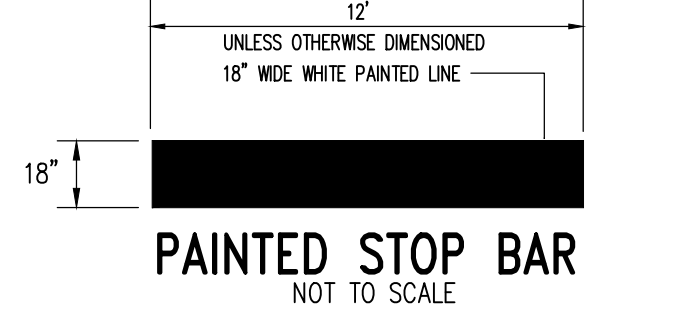
HANDICAPPED PARKING SIGN SHALL CONFORM WITH STATE AND LOCAL CODES AND REGULATIONS.



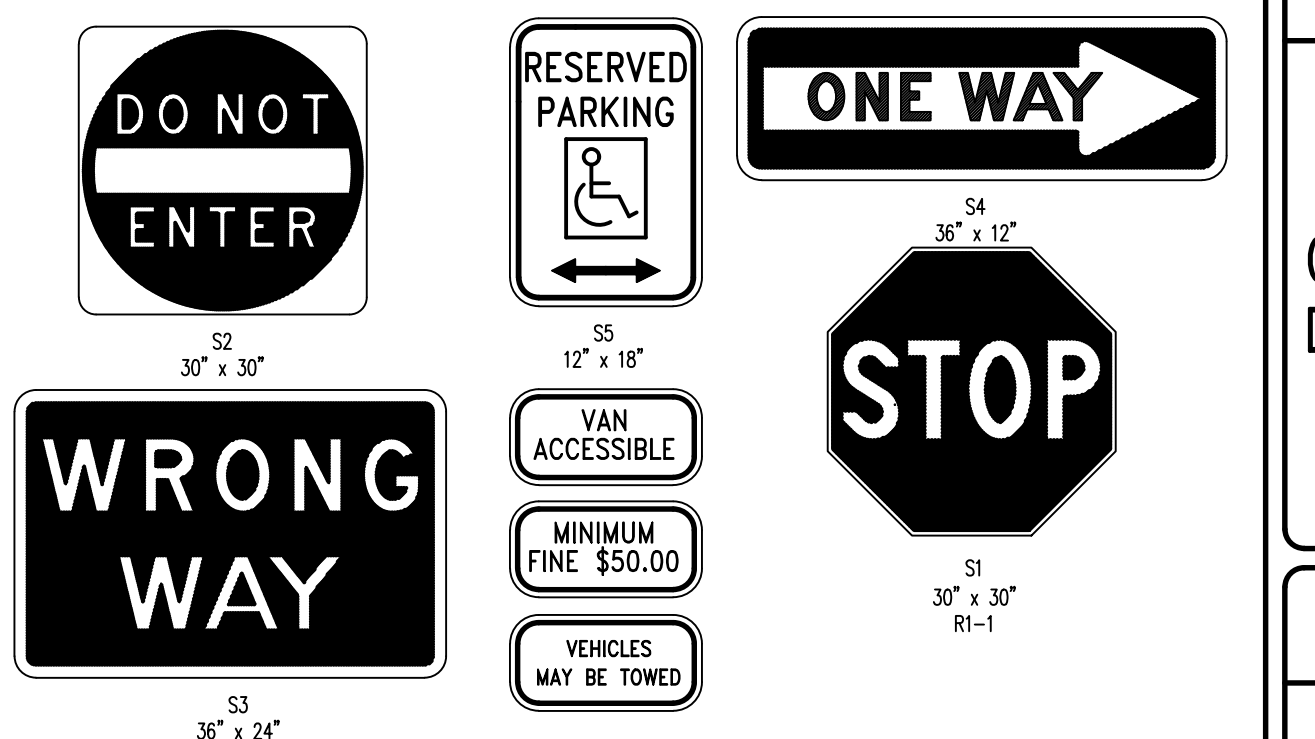
CROSSWALK DETAIL
NOT TO SCALE



TRAFFIC DIRECTION ARROWS
NOT TO SCALE



PAINTED STOP BAR
NOT TO SCALE



NOTES:
1. SIGNS TO BE PENNDOT TYPE III HIGH INTENSITY SHEETING OR BETTER.

SIGN DETAILS
NOT TO SCALE

Designer	CJW
Draftsman	CJW
Proj/Manager	MAT
Surveyor	MAK/ADF
Perimeter Ok	
Book	543 Pg 1
File	17025.10-PRE-11-DETAILS
Layout	DETAILS (1)

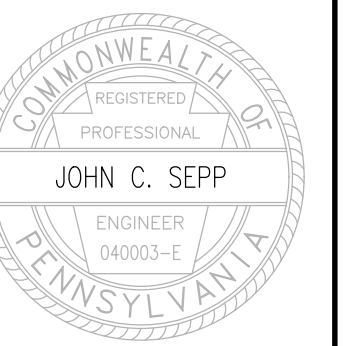
9/28/21	REVISED FOR TWP COMMENTS
9/29/21	REVISED FOR TWP COMMENTS
9/30/21	REVISED FOR TWP COMMENTS
Date	Description
REVISIONS	

ORCHARD SQUARE
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

GENERAL SITE DETAILS

PROJECT NO.	17125.10
DATE	AUGUST 11, 2021
SCALE	N.T.S
SHEET NO.	10



Designer	CJW
Draftsman	CJW
Proj Manager	MAT
Surveyor	MAK/LOE
Perimeter Ok.	
Book	543 Pg 1
File	17125.10-PRE-11-DETAILS
Layout	DETAILS (3)

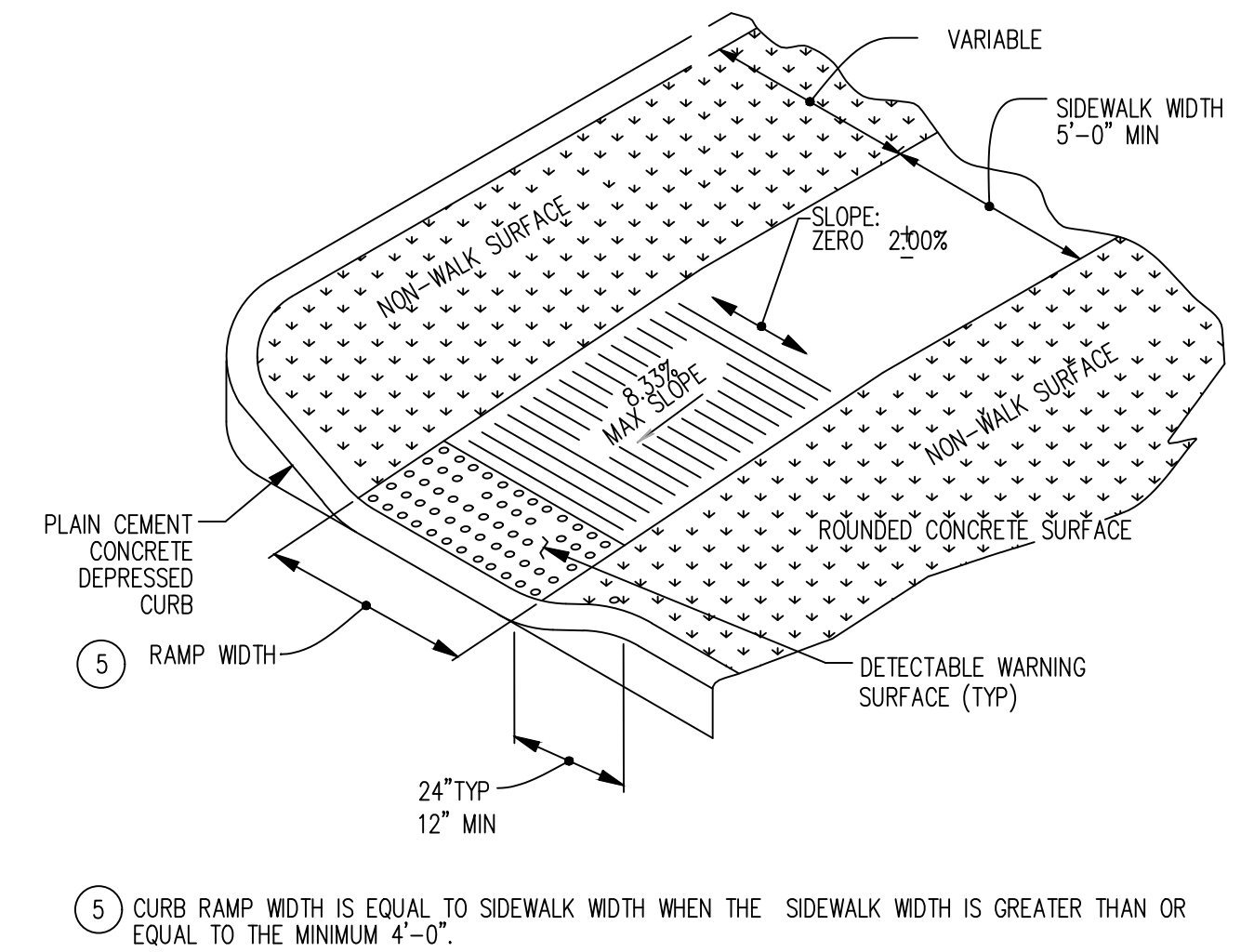
DATE	DESCRIPTION	REVISIONS
9/28/21	REVISED PER TWP COMMENTS	CM
9/30/21	REVISED PER TWP COMMENTS	CM

ORCHARD SQUARE
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

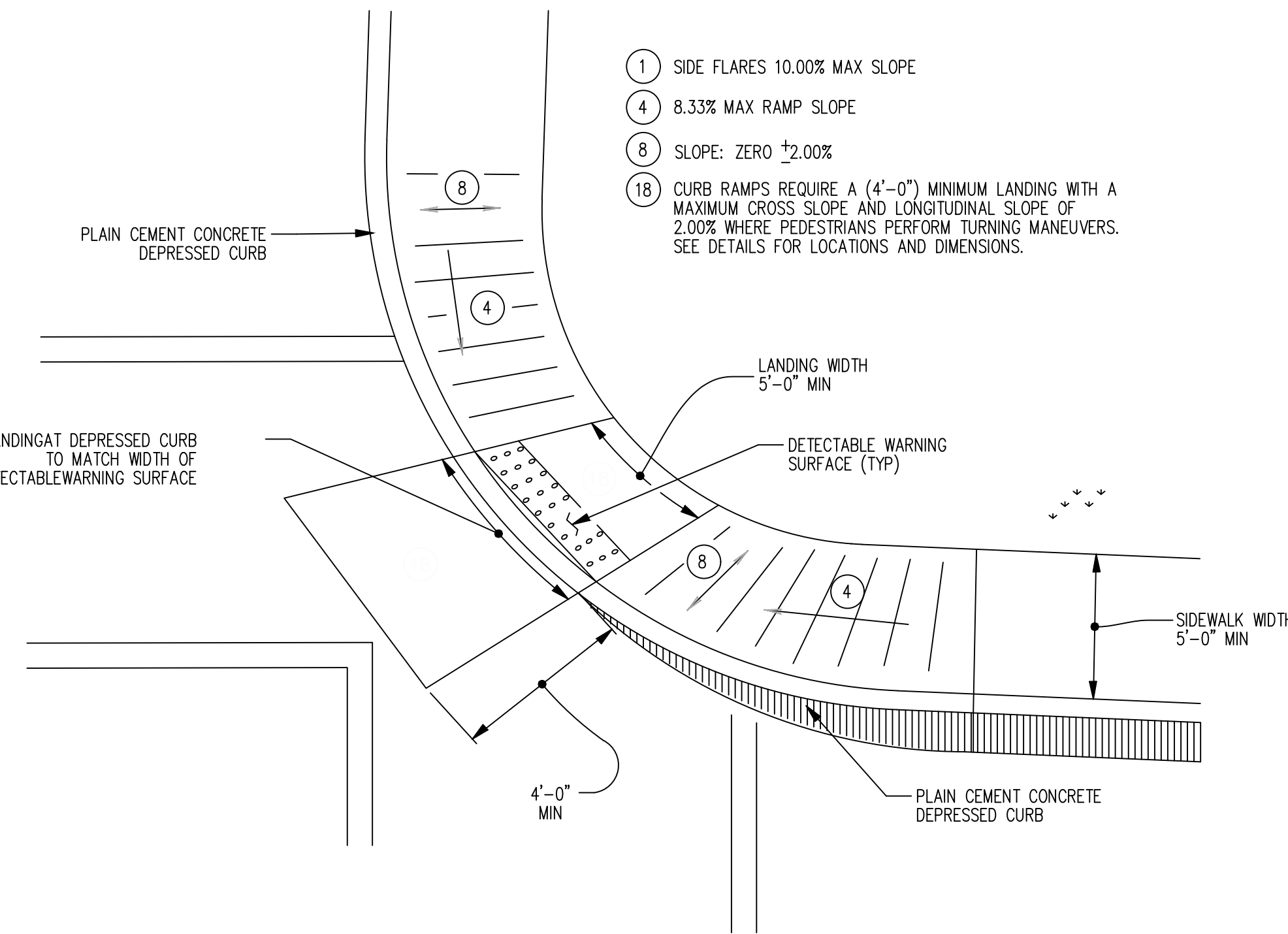
PRELIMINARY LAND
DEVELOPMENT PLAN

CURB RAMP
DETAILS

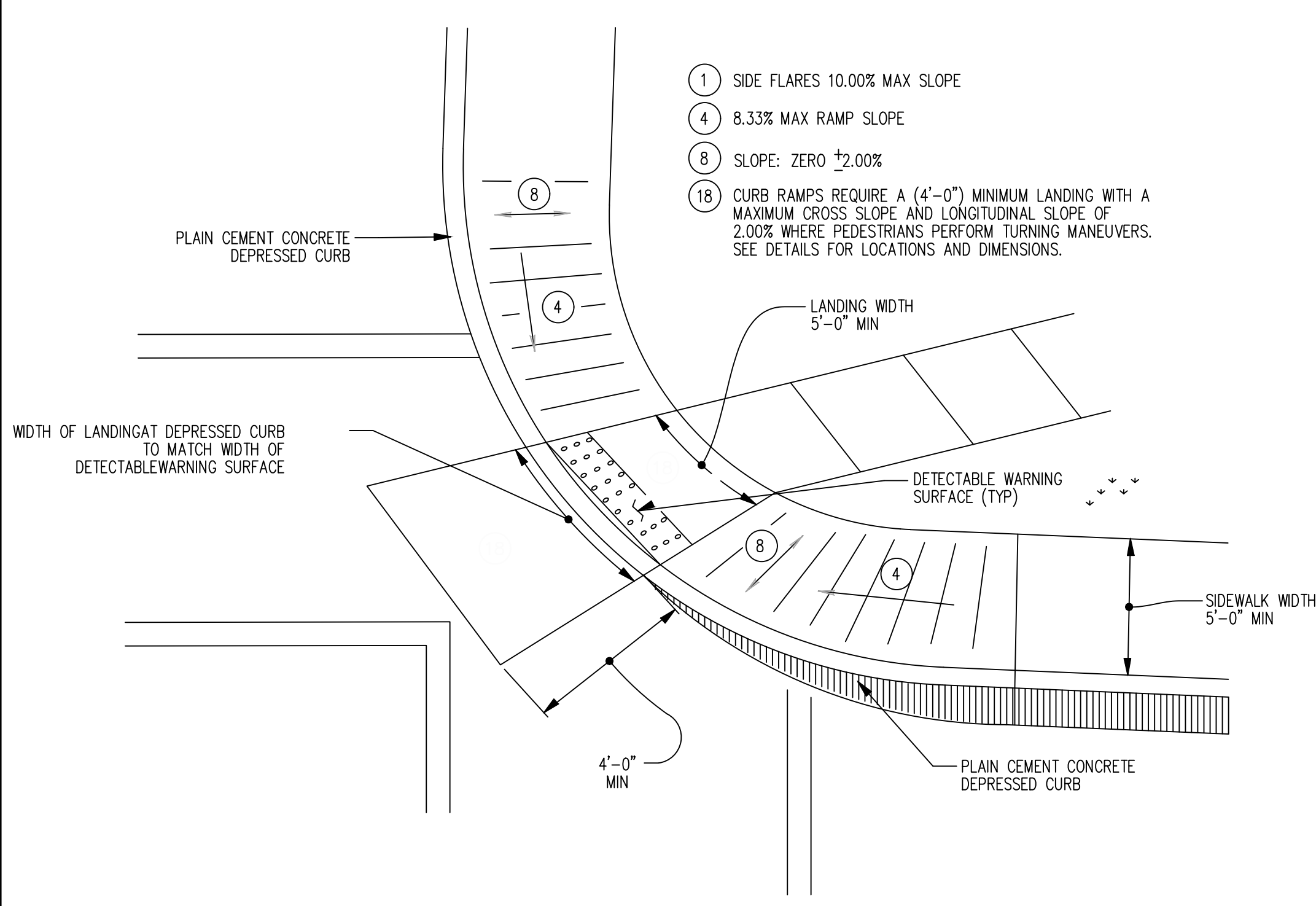
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DATE	AUGUST 11, 2021
SCALE	N.T.S
SHEET NO.	11



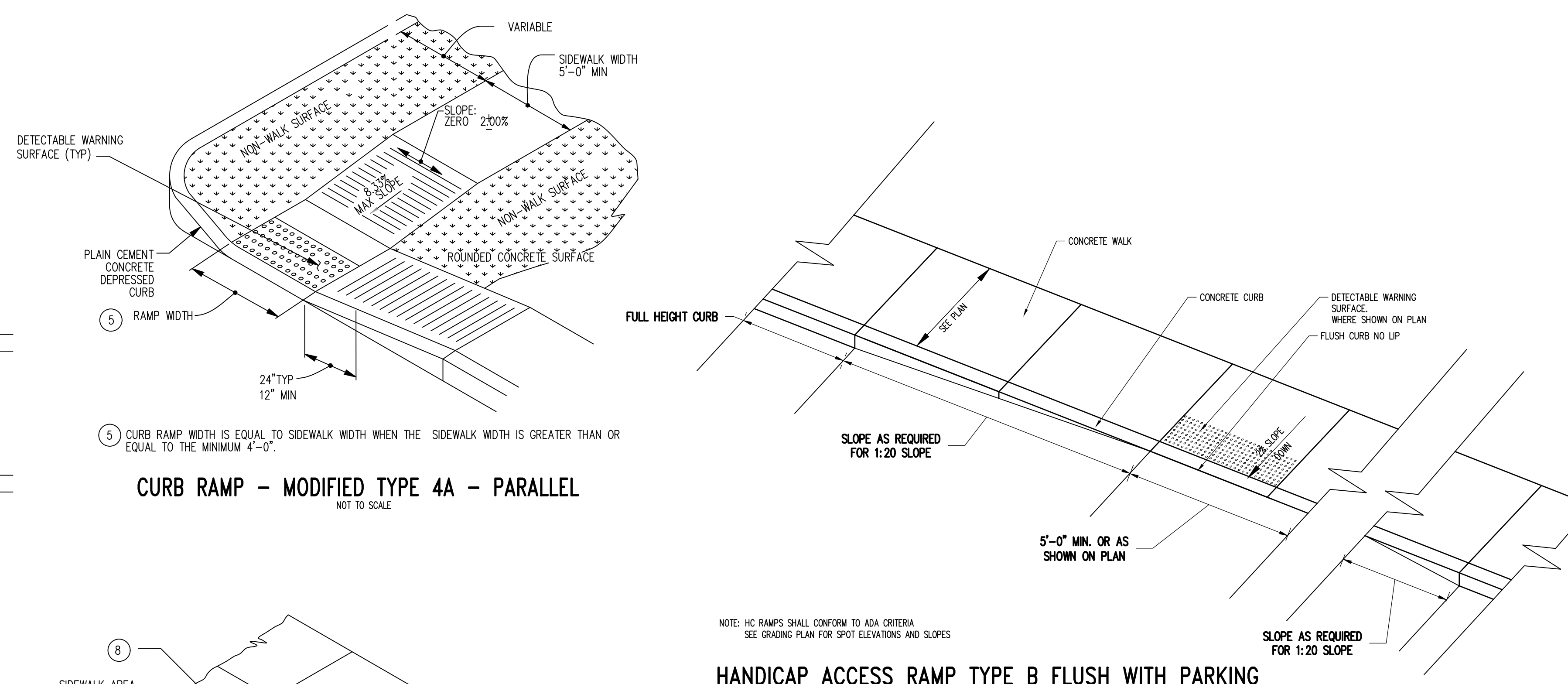
CURB RAMP - TYPE 4A - PARALLEL
NOT TO SCALE



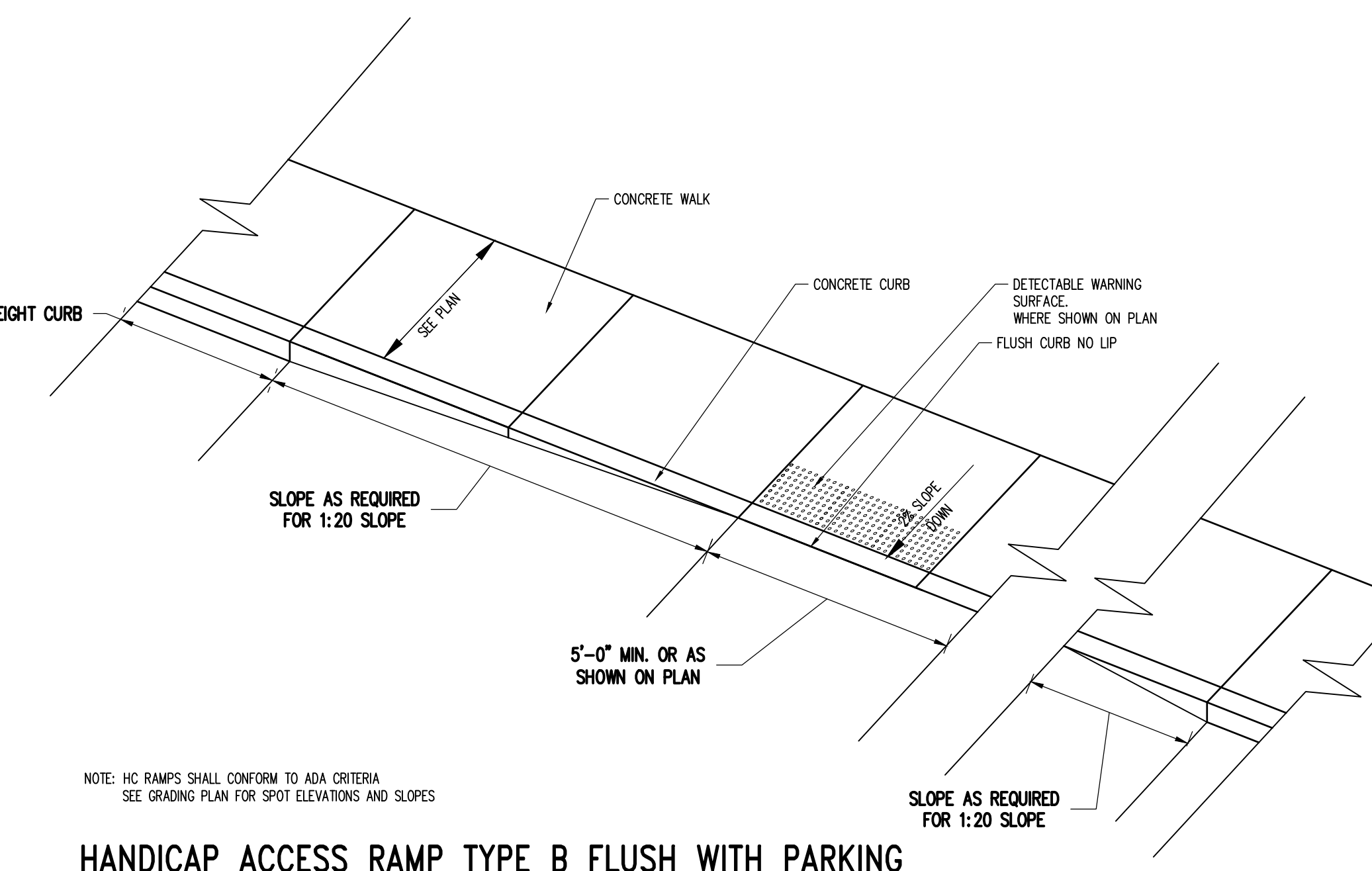
CURB RAMP - TYPE 2
NOT TO SCALE



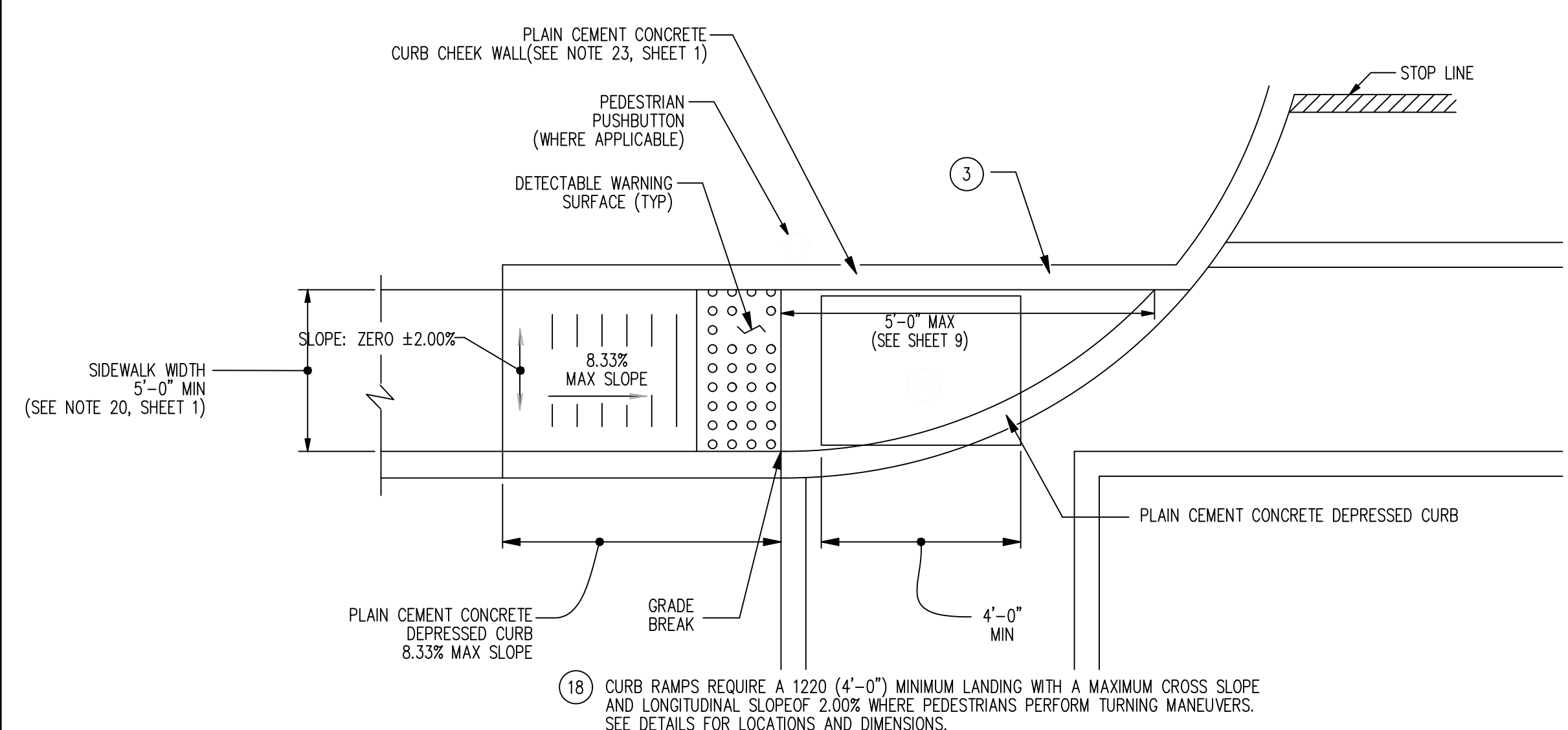
CURB RAMP - MODIFIED TYPE 2
NOT TO SCALE



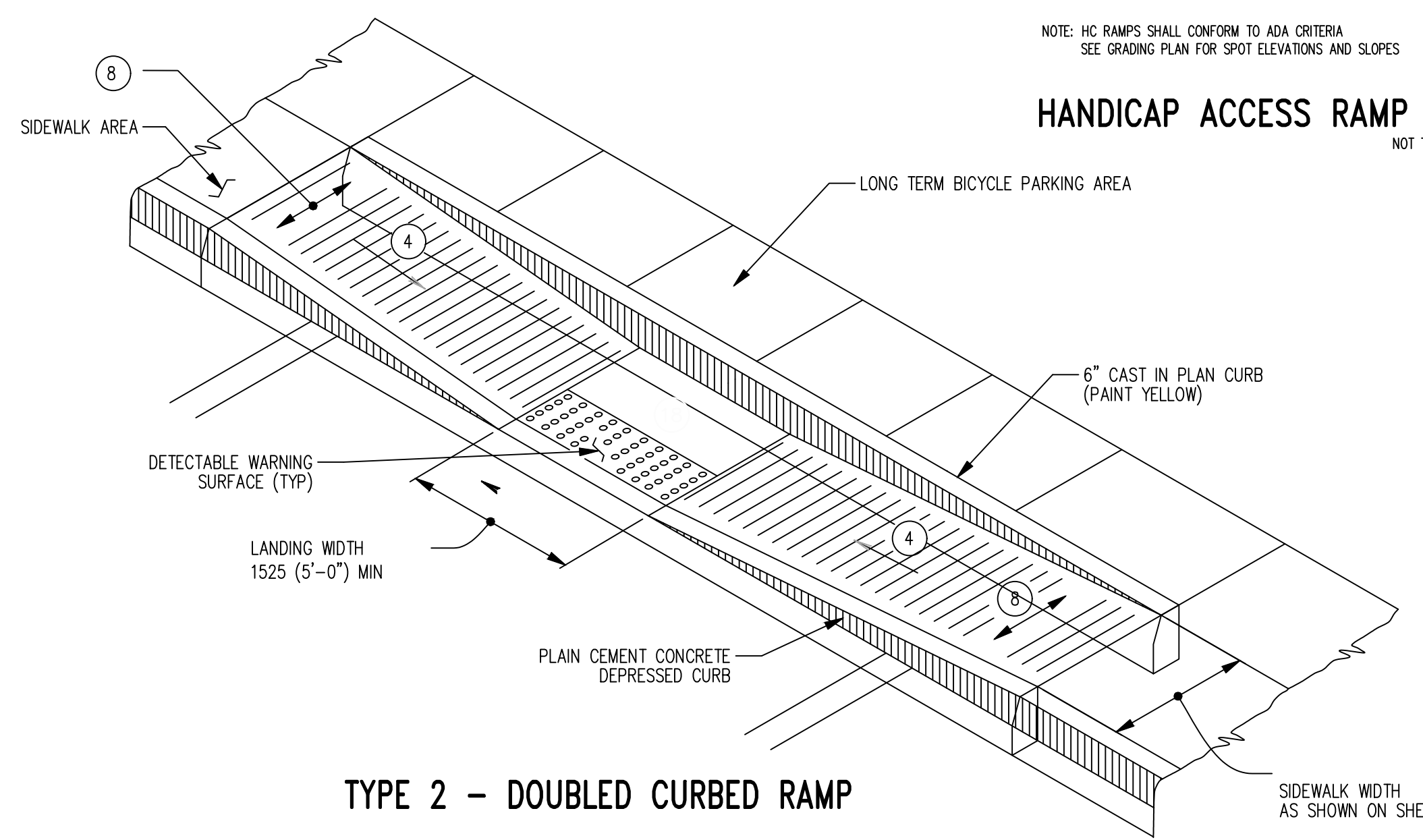
CURB RAMP - MODIFIED TYPE 4A - PARALLEL
NOT TO SCALE



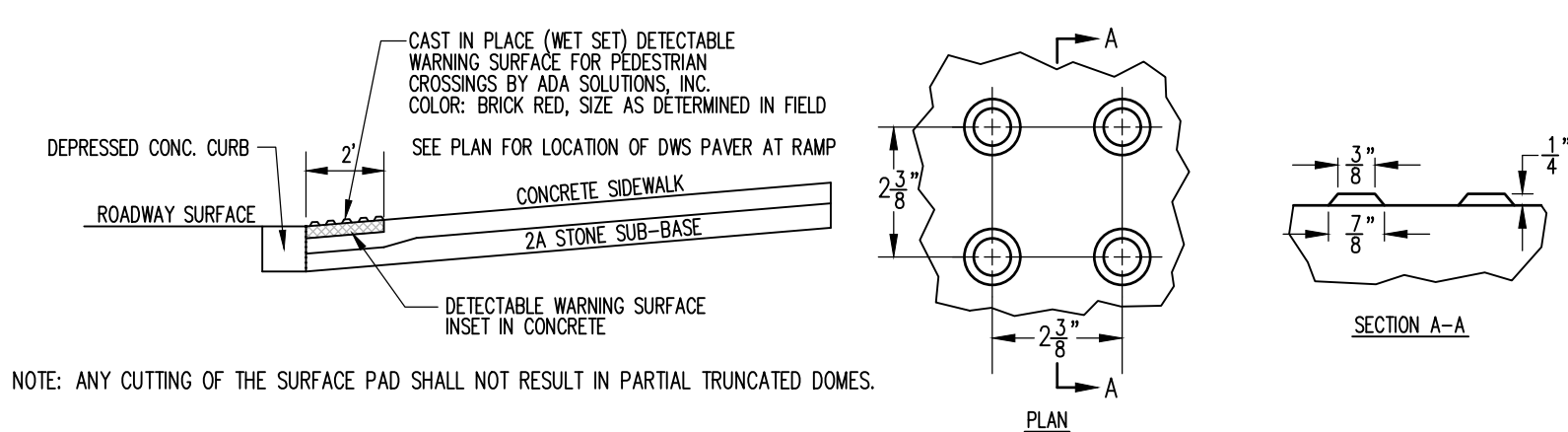
HANDICAP ACCESS RAMP TYPE B FLUSH WITH PARKING
NOT TO SCALE



TYPE 1A CURB RAMP
NOT TO SCALE



TYPE 2 - DOUBLED CURBED RAMP
NOT TO SCALE



DETECTABLE WARNING SERVICE / RAMP CROSS SECTION
NOT TO SCALE

STORMWATER MANAGEMENT NOTES

- All site work shall be done in accordance with the plans prepared by PennTerra Engineering, Inc., the current requirements of the governing municipality, the applicable sections of the PennDOT standard specifications for roadway construction, and all other pertinent federal and state laws.
- The Contractor shall comply at all times with applicable federal, state and local laws, provisions, and policies governing safety and health, including the federal construction safety act, as amended.
- The Contractor shall be responsible for examining the areas and conditions under which the project is to be constructed prior to the submission of a bid. Submission of a bid to be constructed to mean the Contractor has reviewed the site and is familiar with conditions and constraints of the site.
- Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify on one call 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
- An as-built drawing of new utility services shall be prepared by the Contractor and submitted to the Owner upon completion of the project.
- All storm pipe shall be as noted. All joints shall be watertight.
- Contractor shall refer to other plans within this construction set for other pertinent information.
- Co-permittee requirements: Contractor to complete Pennsylvania Department of Environmental Protection (D.E.P.) forms and make application to become co-permittee of the individual NPDES permit prior to commencing any land disturbance. Contractor shall assume full responsibility for any fines or other measures assessed by regulatory agencies due to improper or deficient installation and / or maintenance of the temporary erosion and sedimentation control measures and post-construction stormwater measures installed. Contractor shall remain a co-permittee of the National Pollutant Discharge Elimination System (NPDES) permit until the notice of termination of the NPDES permit has been issued by the PA D.E.P.
- Notice of termination services: Contractor shall be responsible for the services for the notice of termination of the NPDES permit. This includes but is not limited to the following:
 - How a licensed professional or designer on-site to observe the critical stages of construction noted in the post-construction stormwater management plan. The licensed professional or designer will be responsible for signing the required certification forms and certifying that the facilities have been built according to the approved plans, processing and recording any required forms and the as-built survey through the PA D.E.P. until the notice of termination is received.
 - Prepare an as-built topographic survey sealed by a licensed surveyor from the Commonwealth of Pennsylvania of the stormwater management facilities (infiltration basin, rain garden and outlet structures, outlet pipes, tops of berms and spillways).
 - Provide double-ring infiltrometer tests as outlined in the December 2006 PA D.E.P. Stormwater BMP manual of the produced basin bottom soil mix prior to installation to certify that the soil mix meets the infiltration requirements noted on the plans.
- Contractor shall have a licensed professional submit as-built drawings/documentation (including verification of infiltration testing) of the stormwater management facilities prepared in accordance with chapter _____ of the governing municipality's code of ordinances and submitted to the governing municipality at the completion of construction as a prerequisite of issuance of occupancy permit or release of the surety bond. A narrative and photographic documentation for critical stages of construction and for the infiltration surface prior to placement of filter fabric/amended soils must also be submitted to the governing municipality.
- As-built infiltration testing in infiltration basins shall be performed at the top of the finished native soil layer prior to topsoil placement. This testing is in addition to the testing identified in Note 9.c. The number of infiltration tests performed shall be in accordance with the governing municipality's code of ordinances.

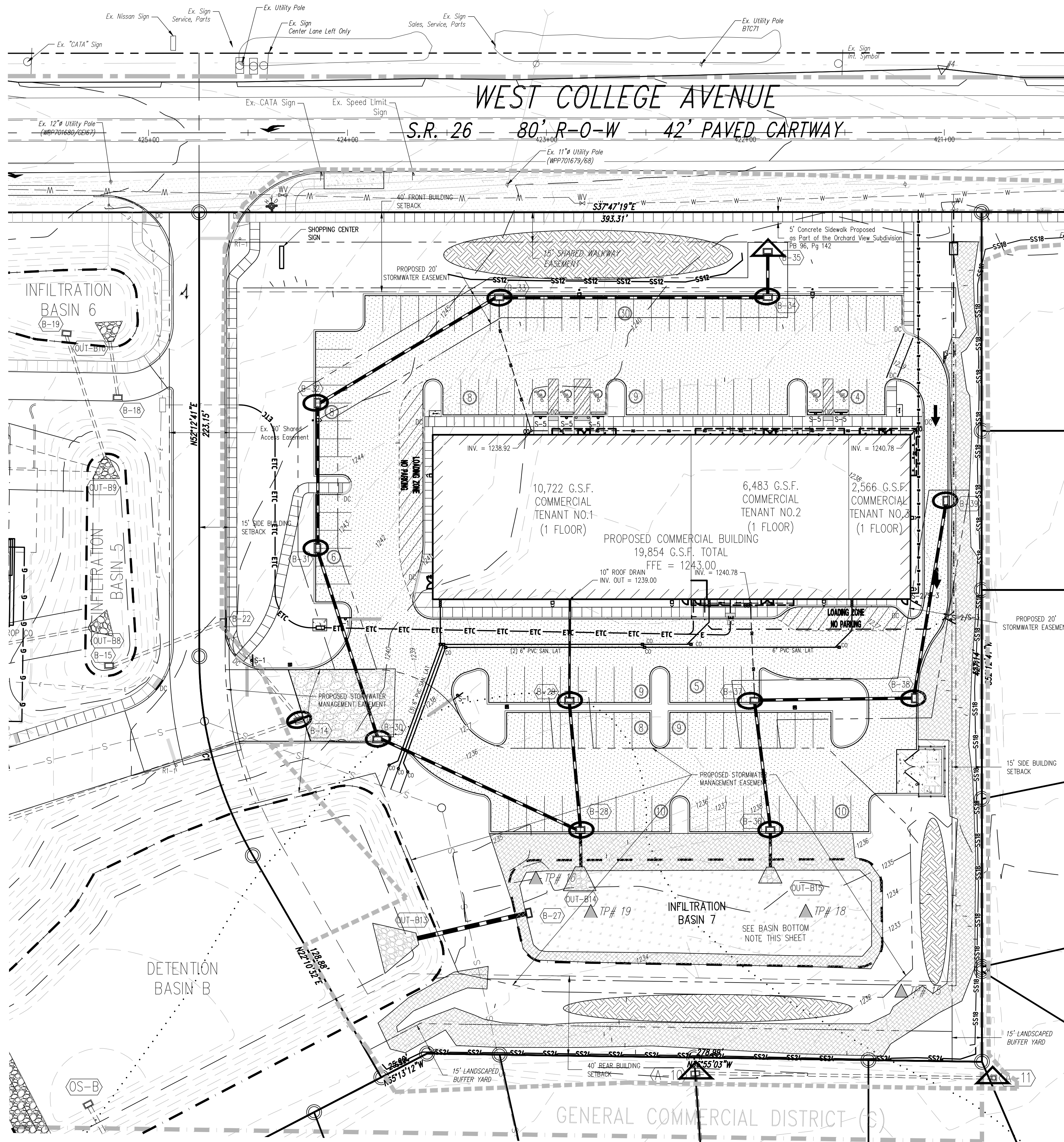
CRITICAL STAGES OF CONSTRUCTION NOTES

The following stages of construction require that a licensed professional or designer registered within the Commonwealth of Pennsylvania be present onsite. Notice shall be given two weeks prior to commencing construction activities for which the licensed professional be present. The general site contractor shall be responsible for supplying & coordinating the licensed professional. The licensed professional will be required to certify and seal as-built drawings at the end of construction that the stormwater facilities have been built to the specifications on the post construction stormwater management plans and details. The contractor shall then file this certification with the Centre County Conservation District when the Notice of Termination (NOT) document is completed.

- In order to ensure the basin floor is not compacted, equipment shall not be permitted to operate within the basin when the floor is less than 36" from subgrade elevation. A typical infiltration facility bottom excavation detail has been provided on the plans for construction. Alternatively, the contractor may develop their own plan and methods for bottom excavation. The contractor must review the proposed plan/methods with the licensed professional during the coordination meeting.
- Once subgrade of the facility has been reached, and prior to topsoil placement, the licensed professional and responsible testing firm shall be notified to schedule infiltration testing verification of the subgrade.
- A typical rock over excavation detail has been provided on the plans. Once subgrade of the basin floor has been reached, the contractor shall request the licensed professional review the subgrade to determine if rock over excavation is required.
- Infiltration testing of the final basin floor elevation to verify infiltration rates of the soil mixture (i.e. topsoil and amendments) placed on the basin floor is required. The contractor shall coordinate infiltration testing with the licensed professional and responsible testing firm. It is recommended that this soil mixture also be tested prior to placement.
- The contractor must notify the licensed professional of the installation of the outlet structure, outfall pipe and anti-seep collars prior to backfill to ensure installation has been completed in accordance with the approved plan.
- Compaction testing reports are required on the basin berm. The contractor shall coordinate compaction testing with the licensed professional and responsible testing firm.
- Berms shall be installed and compacted in conformance with the requirements of the local municipality's Stormwater Management Ordinance. If the municipality does not specify compaction requirements, then all berms shall be installed as follows:
 - Whenever berm fill material in excess of 3 feet in height is to be used, each layer of compacted fill shall be tested to determine its density per ASTM D2922 or ASTM D3017.
 - All berm lifts shall be 8" or less.
 - The density of each layer shall be 98% of a Standard Proctor Density analysis per ASTM D698.
- All proposed vegetation within the limits of construction shall be established to a 70% uniform vegetated cover prior to final notice of termination certification.

BASEIN BOTTOM NOTE

The Infiltration Basin Bottom must be protected from compaction and sedimentation at all times during construction. Infiltration Basin Bottom 7 shall be initially excavated to be 1' foot above the final bottom elevation, as indicated on the Staging of Earth Moving Activities Sequence Step D on Sheet E52. The basin bottom shall remain at this interim elevation through construction until site stabilization is achieved, as indicated on the Staging of Earth Moving Activities Sequence Step L on Sheet E52.



SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Project Benchmark

SOILS LEGEND

- Soil cover on the site consists of:
- HaA - Hagerstown Silt Loam, 0-3% Slopes
 - HaB - Hagerstown Silt Loam, 3-8% Slopes

EXISTING FEATURES LEGEND

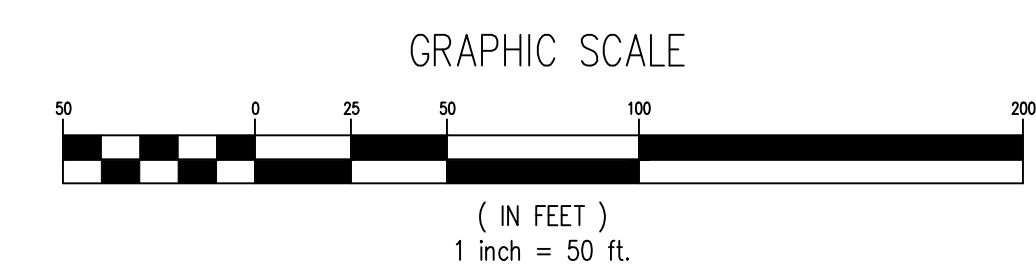
- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Gravel Areas
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Storm Sewer Line w/ Inlet

PROPOSED FEATURES LEGEND

- Proposed Building
- Proposed Curbing & Edge of Pavement
- Proposed Concrete Sidewalk
- Proposed Concrete Areas
- Proposed Bituminous Pavement Areas
- Proposed Retaining Wall
- Proposed Minor Contours w/ Elevation (1's & 2's)
- Proposed Major Contours w/ Elevation (5's & 10's)
- Proposed Storm Sewer w/ Type C Inlet
- Proposed Storm Sewer Roof Drain
- Proposed Storm Sewer Trench Drain
- Proposed Fire Hydrant
- Proposed Utility Manhole
- Proposed 18" Utility Pole
- Proposed Storm Sewer Inlet - Type M
- Proposed Storm Sewer Inlet - Type C

EROSION & SEDIMENTATION CONTROL LEGEND

- NPDES Boundary Line
- Limit of Disturbance
- Construction Entrance
- Inlet Protection - Type M
- Inlet Protection - Type C
- Inlet Protection - Type C - Filter Bag
- RIP-RAP APRON
- Erosion Control Lining (Curlex II or Approved Equal)
- Topsoil Stockpile
- 12" Silt Sock
- 18" Silt Sock
- 24" Silt Sock



PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

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REGISTERED PROFESSIONAL
JOHN C. SEPP
ENGINEER
PA0003-E
PENNSYLVANIA

Designer: C.J.W.
Draftsman: XXXX
Proj/Manager: MAT
Surveyor: MAK/ADE
Perimeter Ok.
Book: 543, Pg: 1
File: 17125.10-PRE-E&S-01-PLAN
Layout: E&S-PLAN

REVISIONS

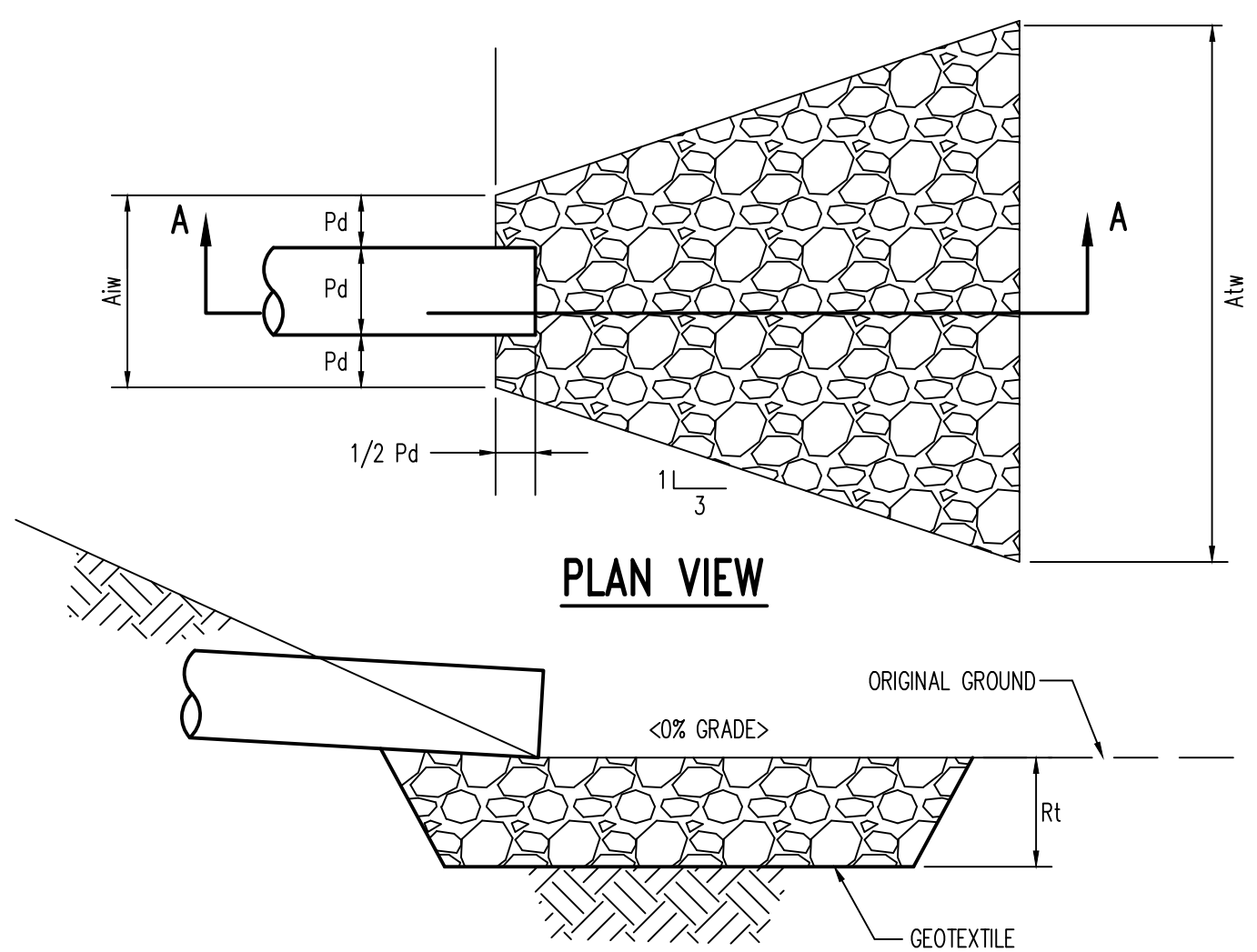
Date	Description
9/28/21	REVISED FOR TWP COMMENTS
9/29/21	REVISED FOR TWP COMMENTS

ORCHARD SQUARE
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

EROSION & SEDIMENTATION CONTROL PLAN

PROJECT NO. 17125.10
DATE: AUGUST 11, 2021
SCALE: 1" = 30'
SHEET NO. ES1



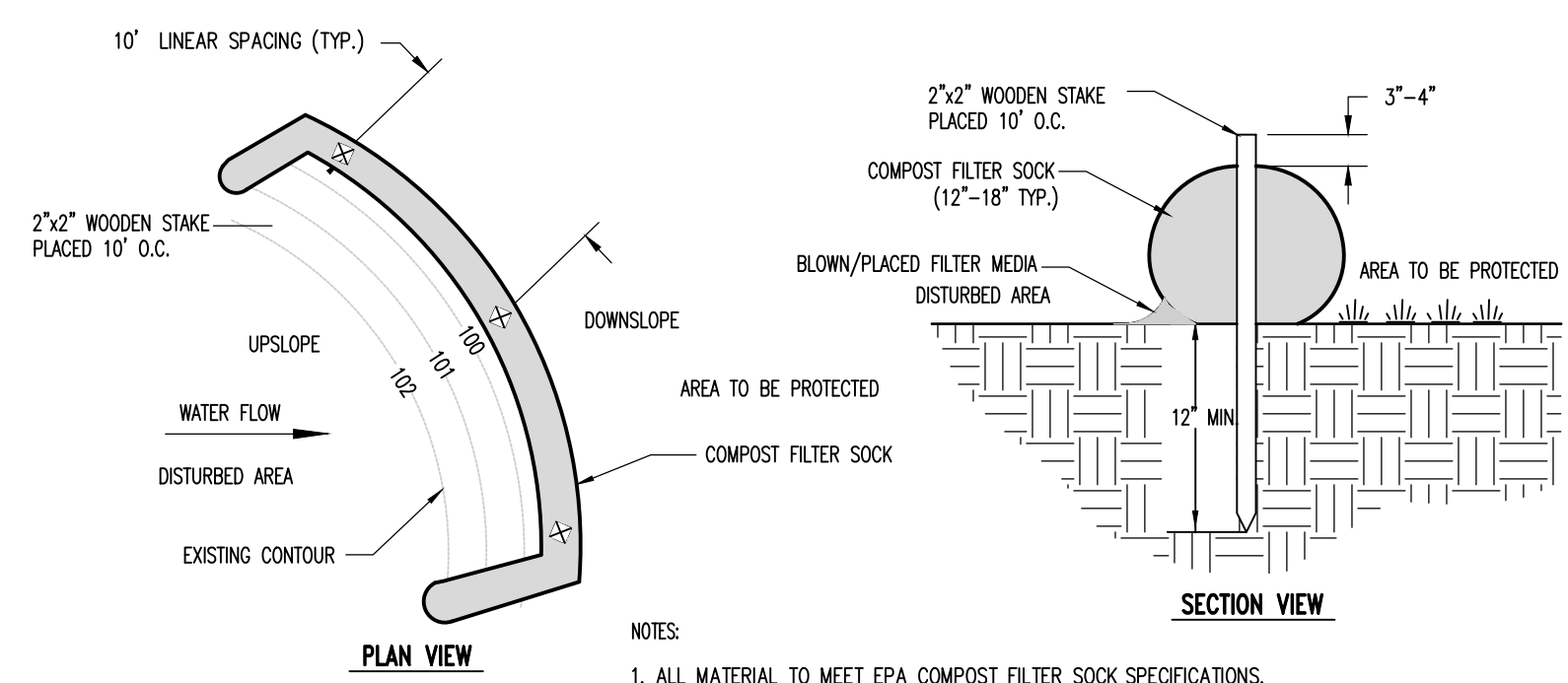
PLAN VIEW

SECTION A-A

OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON		
		SIZE (R-)	THICK. Rt (IN)	LENGTH Al (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)
OUT-B13	24	R-4	18	20	6.00	26.00
OUT-B14	18	R-4	18	12	4.50	12.00
OUT-B15	15	R-4	18	8	3.75	11.75

- NOTES:**
- All aprons shall be constructed to the dimensions shown. Terminal widths shall be adjusted as necessary to match receiving channels.
 - All aprons shall be inspected at least weekly and after each runoff event. Displaced riprap within the apron shall be replaced immediately.
 - Extend riprap on back side of apron to at least 1/2 depth of pipe on both sides to prevent scour around the pipe.

RIPRAP APRON
NOT TO SCALE



PLAN VIEW

SECTION VIEW

- NOTES:**
- ALL MATERIAL TO MEET EPA COMPOST FILTER SOCK SPECIFICATIONS.
 - SILT SOCK COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
 - SILT SOCKS DEPICTED ARE FOR USE ON MINIMAL SLOPES. GREATER SLOPES MAY REQUIRE LARGER SILT SOCKS PER THE ENGINEER.
 - COMPOST MATERIAL TO BE DISPersed ON SITE, AS DETERMINED BY ENGINEER.

TABLE 4.1
Compost Sock Fabric Minimum Specifications

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years

Two-Ply Systems

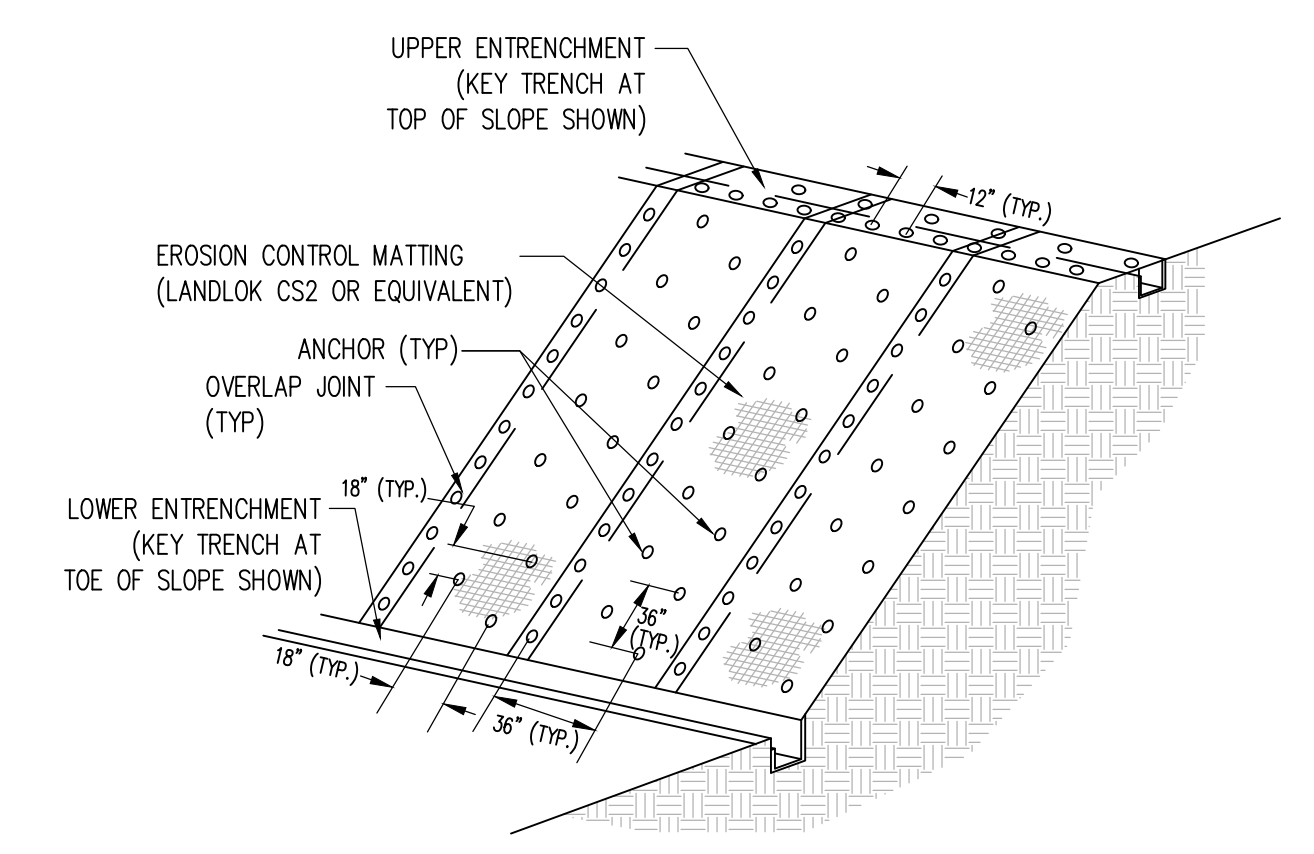
Inner Containment Netting	HDPE biaxial net
	Continuously wound
Outer Filtration Mesh	Fusion-welded junctures
	3/4"x3/4" Max. aperture size
Outer Filtration Mesh	Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch)
	3/16" Max. aperture size

Sock fabrics composed of burlap may be used on projects lasting 6 months or less.

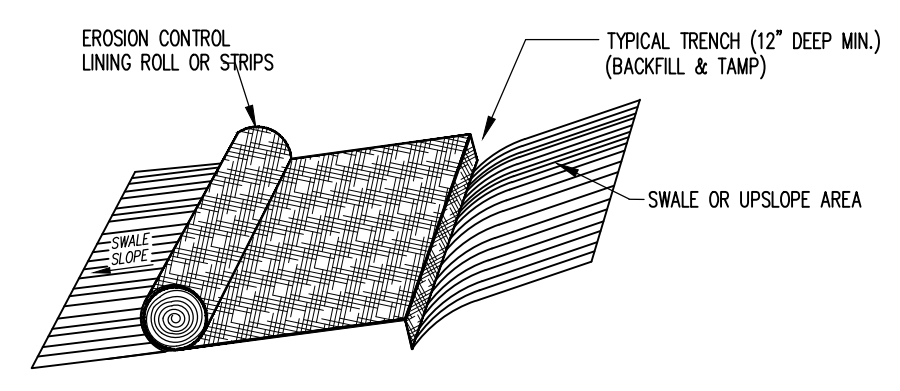
TABLE 4.2
Compost Standards

Organic Matter Content	25%-100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5-8.5
Moisture Content	30%-60%
Particle Size	30% - 50% pass through 3/8" sieve
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum

COMPOST FILTER SOCK DETAIL
NOT TO SCALE



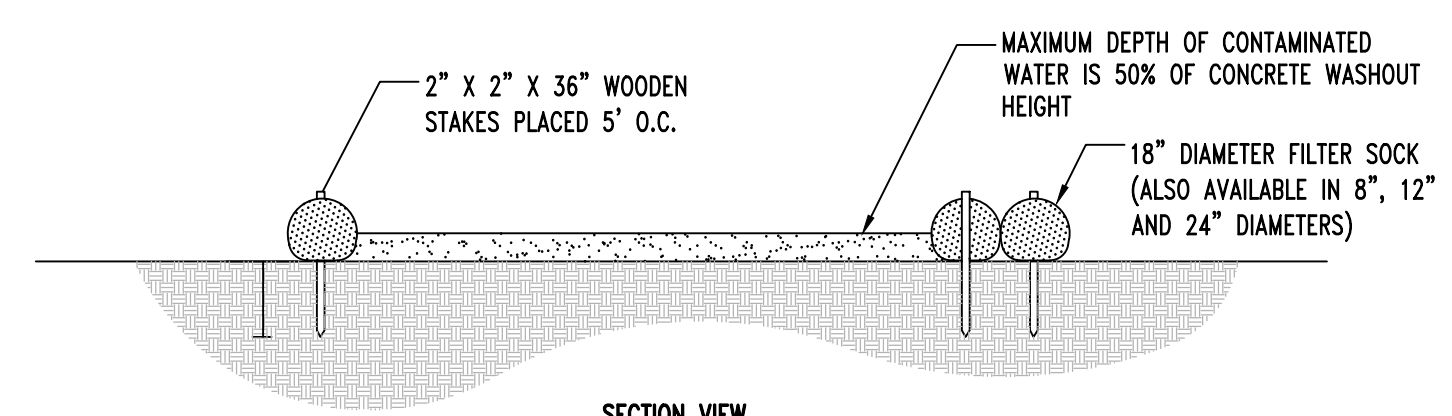
ON SLOPES



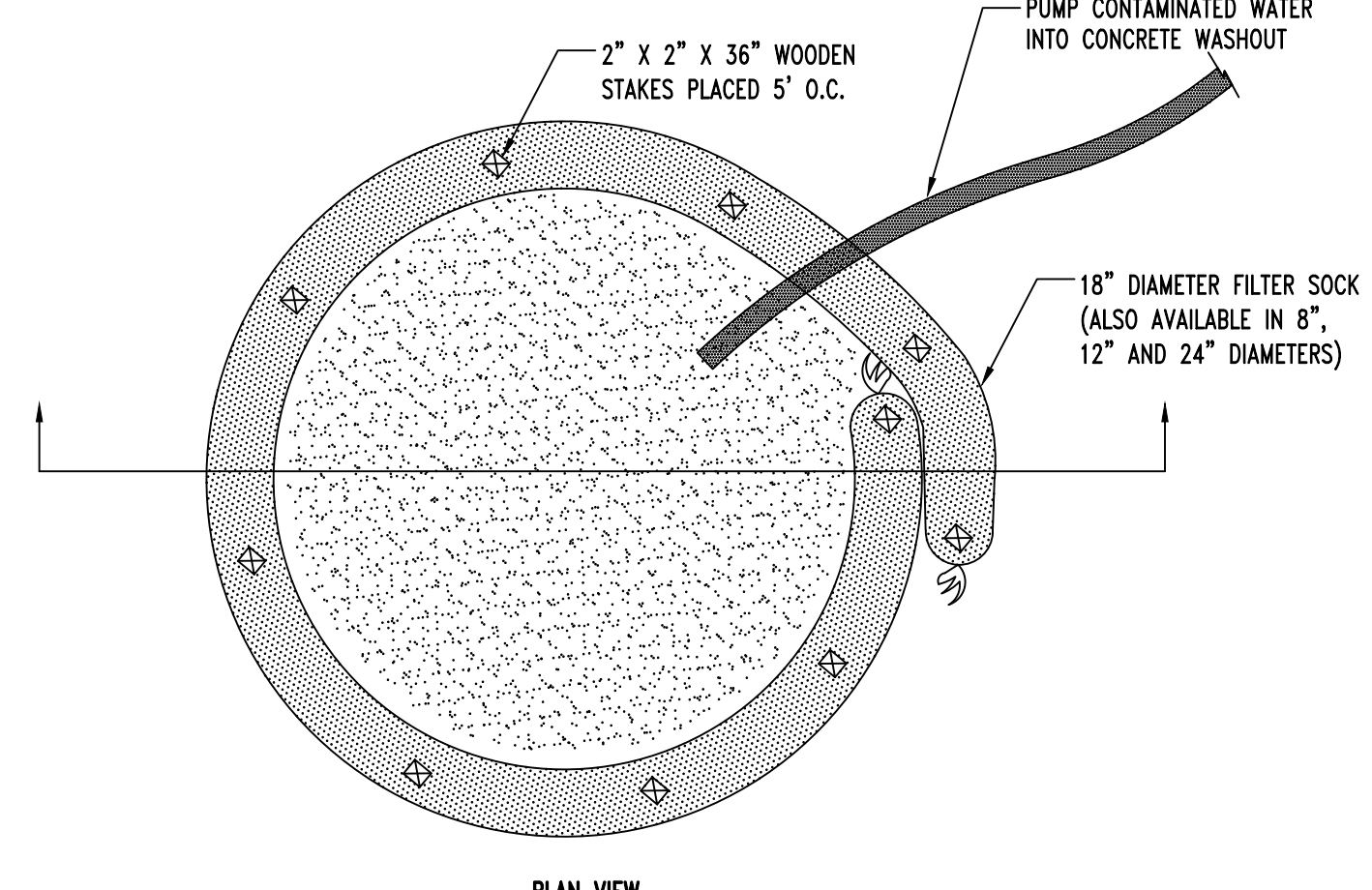
TYPICAL ANCHORING PATTERN

- INSTALLATION NOTES:**
- PRIOR TO EROSION CONTROL LINING, INSTALLATION, STABILIZATION SHALL BE AS FOLLOWS:
 - SPREAD TOPSOIL
 - SEED SLOPE WITH THE PERMANENT SEEDING MIXTURE
 - BEING APPROPRIATE SLOPE MATTING INSTALLATION AS FOLLOWS BELOW
 - BURY TOP END OF THE STRIPS IN A TRENCH 12" DEEP (MIN.) X 6" WIDE (MIN.)
 - TAMP TRENCH FULL OF SOIL. SECURE WITH ROW OF STAPLES
 - 12" SPACING - 4" AWAY FROM TRENCH
 - OVERLAP AND BURY UPPER END OF LOWER STRIP. OVERLAP END OF TOP STRIP 4" AND STAPLE
 - INSTALL DOUBLE ROW OF STAPLES AT EACH STRIP END (4" ABOVE AND BELOW TRENCH)
 - OVERLAP STRIPS AND STAPLE EVERY 18" O.C. ALONG OVERLAP IF MULTIPLE STRIPS ARE REQUIRED ALONG WIDTH OF SLOPE.

EROSION CONTROL LINING INSTALLTION
NOT TO SCALE



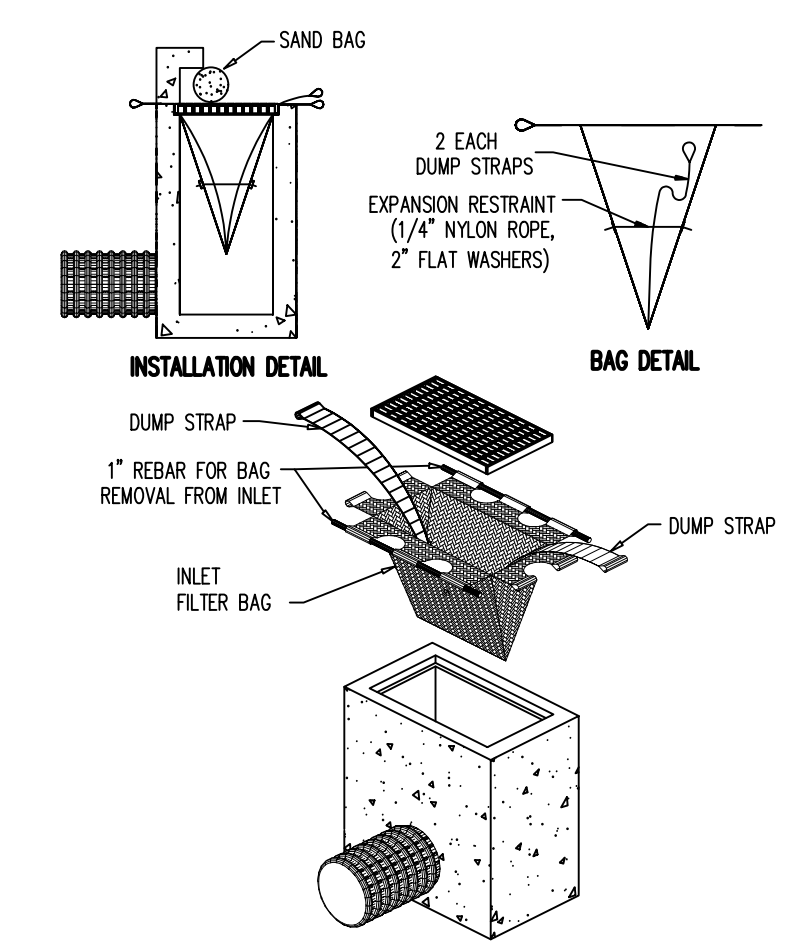
SECTION VIEW



PLAN VIEW

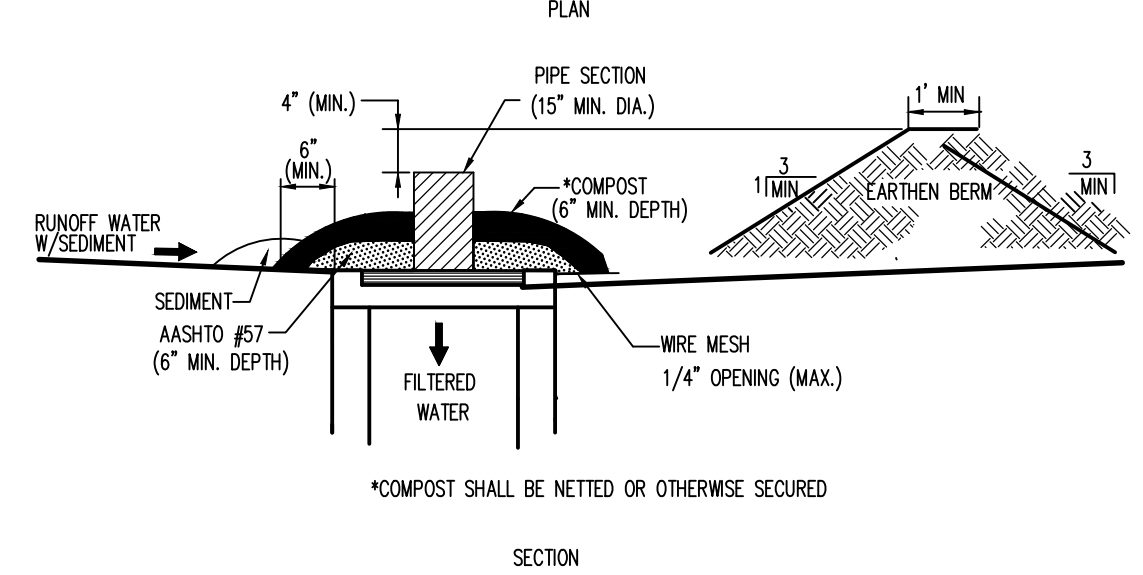
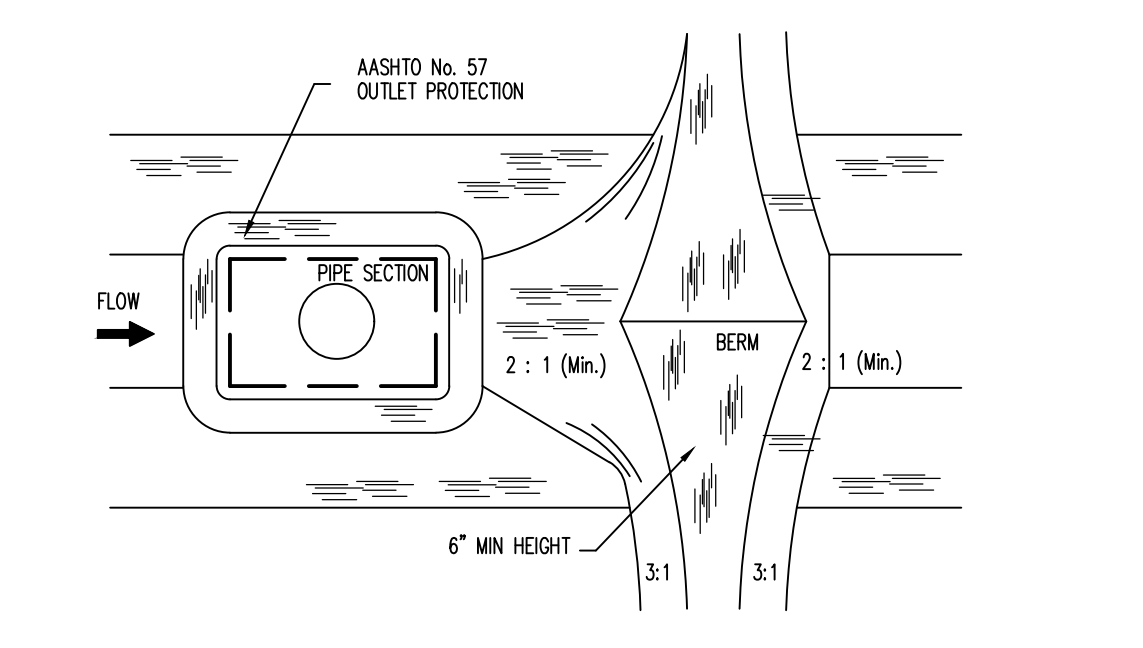
- NOTES:**
- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE
 - CONCRETE WASHOUT MAY BE STACKED IN A PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT AND STABILITY
 - CONCRETE WASHOUT MAY BE DIRECT SEEDED AT THE TIME OF INSTALLATION
 - A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE FILTER SOCKS.

CONCRETE WASHOUT AREA
NOT TO SCALE

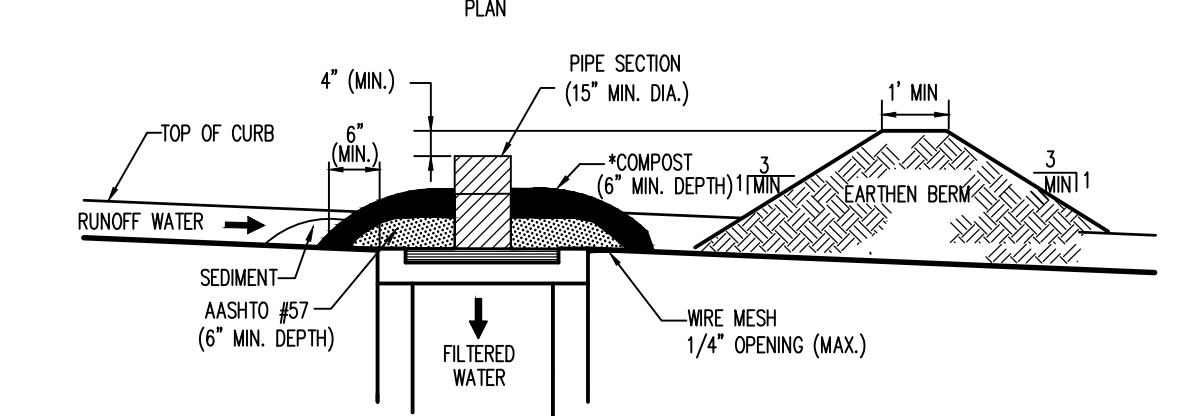
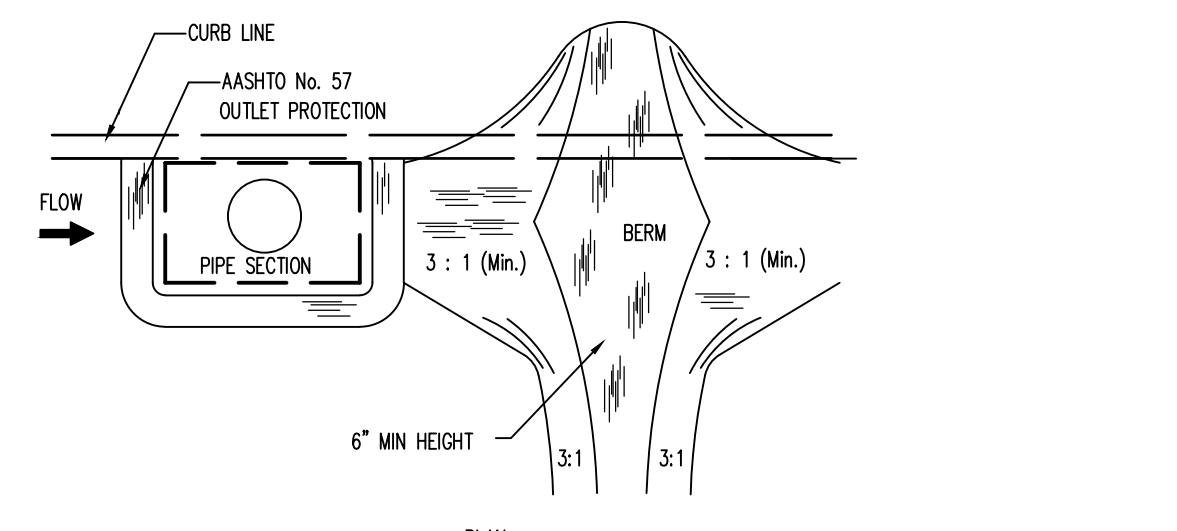


INLET FILTER BAG (TYPE C)
NOT TO SCALE

- INLET FILTER BAG NOTES:**
- FILTER BAG SHOULD TRAP PARTICLES LARGER THAN 150 MICRONS.
 - WHEREVER FILTER BAGS ARE USED THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS.
 - INLET FILTER BAGS SHOULD BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT.
 - FILTER BAGS SHOULD BE CLEANED AND/OR REPLACED WHEN BAG IS 1/2 FULL.
 - DAMAGED FILTER BAGS SHOULD BE REPLACED.
 - NEEDED REPAIRS SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION.



DROP INLET FILTER W/ EARTHEN BERM (TYPE M)
NOT TO SCALE



DROP INLET FILTER W/ EARTHEN BERM (TYPE C)
NOT TO SCALE

PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 Fax: 814-237-2308

LANCASTER REGION OFFICE:
 3904 B ABEL DRIVE
 COLUMBIA, PA 17512
 PH: 717-522-5031
 Fax: 717-522-5046

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COMMONWEALTH OF PENNSYLVANIA
 REGISTERED PROFESSIONAL ENGINEER
 JOHN C. SEPP
 ENGINEER 140003-E

Designer: C.J.W.
 Draftsman: XXXX
 Proj/Manager: MAT
 Surveyor: MAX/ADF
 Perimeter Ok.
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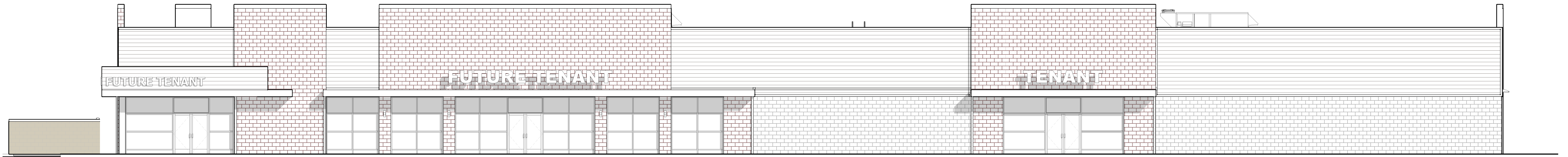
Date	Description	REVISIONS
9/28/21	REVISED PER TWP COMMENTS	CJM
9/29/21	REVISED PER TWP COMMENTS	CJM

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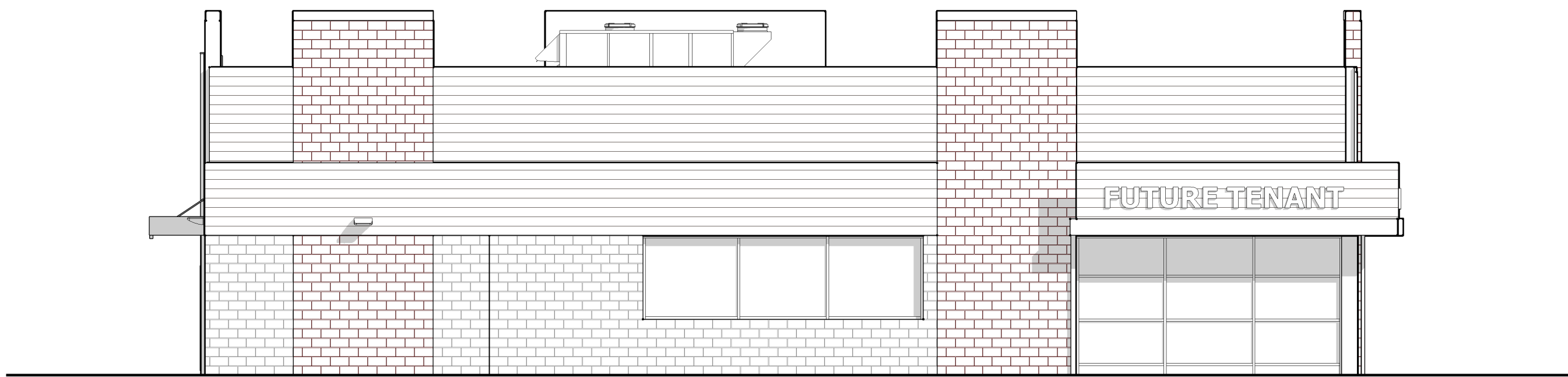
PRELIMINARY LAND DEVELOPMENT PLAN

EROSION & SEDIMENTATION CONTROL DETAILS

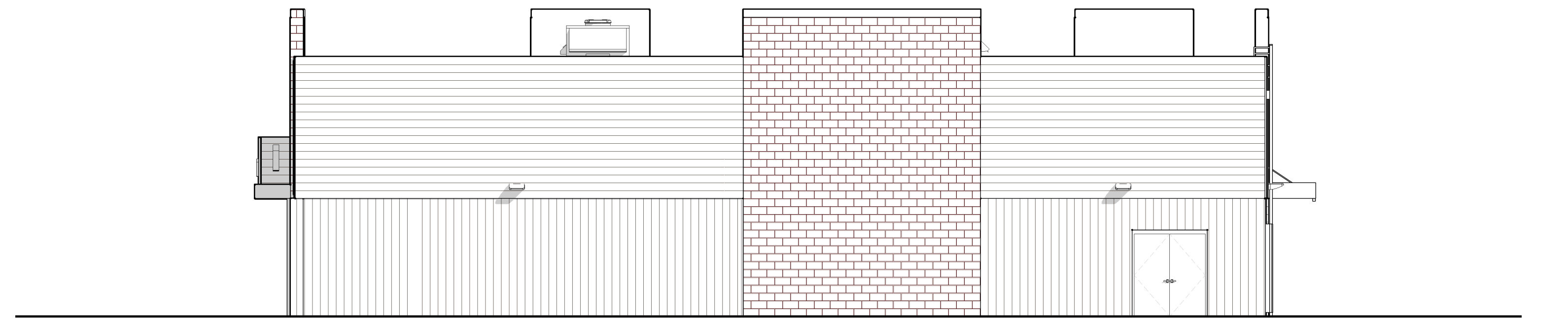
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17125.10
DATE
AUGUST 11, 2021
SCALE
N.T.S
SHEET NO.
ES3



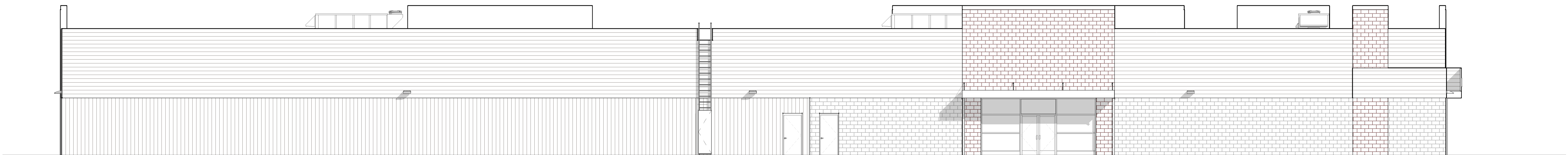
FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION

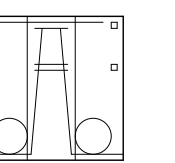


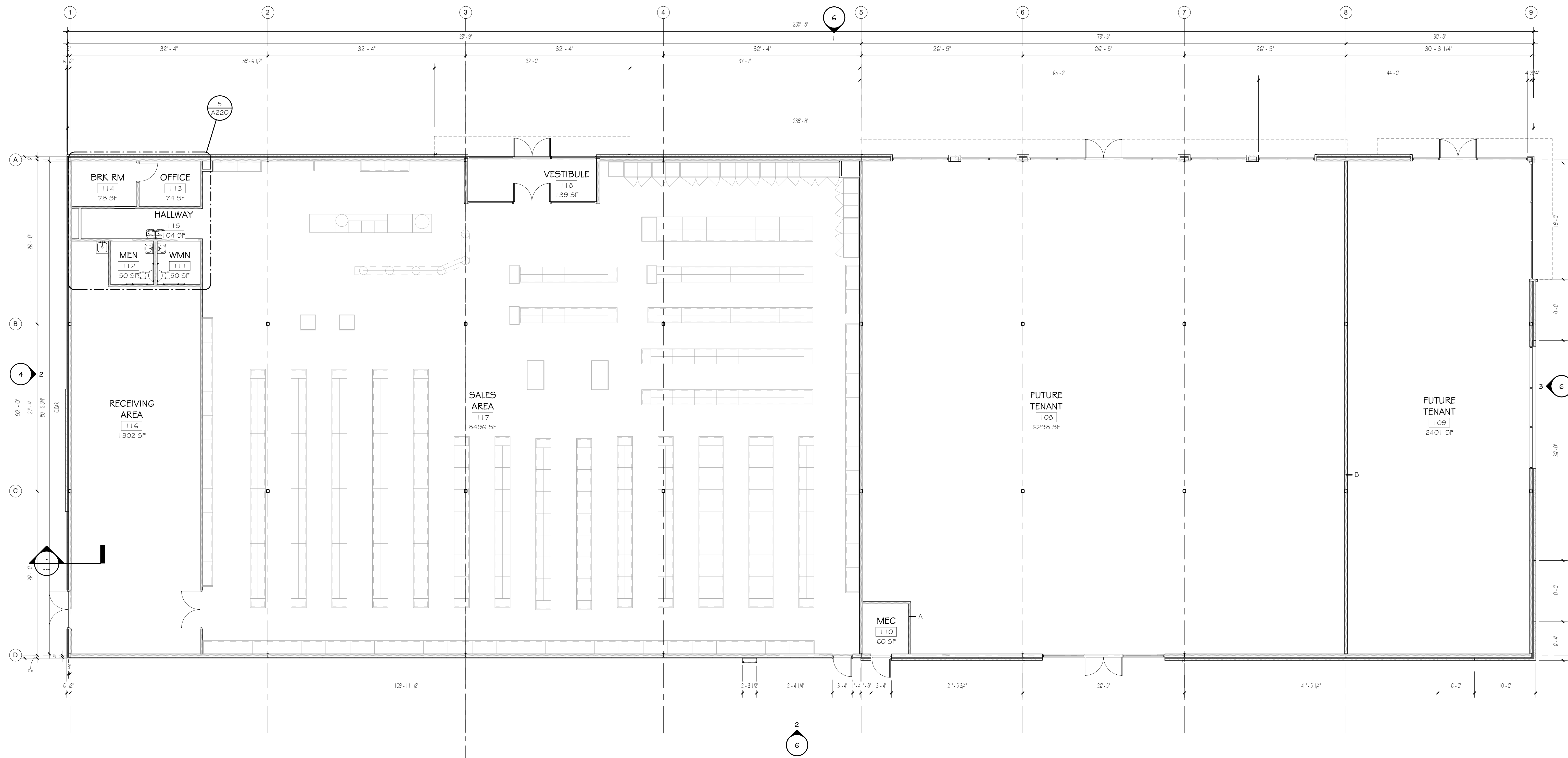
REAR ELEVATION

HARNER FARM

ELEVATIONS

David B. Albright, A.I.A. Architect
06/17/21 1/8" = 1'-0"





1 FIRST FLOOR PLAN
 1/8" = 1'-0"

HARNER FARM

FRIST FLOOR PLAN

david b. albright, a.i.a architect
 06/17/21 1/8" = 1'-0"

