

TOWNSHIP OF FERGUSON

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FERGUSON TOWNSHIP PARKS AND RECREATION COMMITTEE Meeting Agenda Thursday, August 19, 2021, 4:00 P.M.

Hybrid Meeting

REMOTE PARTICIPANTS:

Join Zoom Meeting:

<https://us02web.zoom.us/j/83725986340>

Meeting ID: 837 2598 6340

[Zoom Access Instructions](#)

IN-PERSON PARTICIPANTS:

Ferguson Township Municipal Building
Conference Room
3147 Research Drive
State College, PA 16801

I. CALL TO ORDER

II. CITIZEN'S INPUT

III. APPROVAL OF MINUTES

IV. UNFINISHED BUSINESS

1. RECREATION, PARKS AND OPEN SPACE Plan Update KICK-OFF MEETING

Narrative

The Board of Supervisors awarded the HRG contract to update the Recreation, Parks and Open Space Plan (RPOS). Nichole Mendinsky, HRG Project Manager, and her team joins us to kick-off the RPOS Plan Update project and review project scope, proposed schedule, goals for the plan, and public engagement process. Staff will provide regular updates on opportunities for the public to engage and provide feedback throughout the process on the Township's website: <https://www.twp.ferguson.pa.us/ferguson-township-parks/pages/recreation-parks-and-open-space-plan>

Recommended motion: That the Committee receive a brief, high-level, presentation from HRG reviewing the project scope, proposed schedule, goals for the plan and public engagement process.

STAFF RECOMMENDATION

That the Committee **receive** the presentation from HRG.

2. SONGBIRD SANCTUARY PARK MASTER PLAN

Narrative

The Township acquired 9 acres of the property identified as Natural Area Conservation on the 2008 Ferguson Township Official Map. In 2019, staff, along with the Parks and Recreation Committee, presented to the Parks and Recreation Committee the Master Plan draft. Engineering staff are preparing the cost estimate to include in the pre-final master plan. Engineering staff will also provide comments after a review of the drafted written narrative that will be considered for the pre-final Master Plan. The Master Plan recommends passive recreational amenities such as walking and natural

pedestrian and bike paths, educational kiosks, bird nesting boxes, educational signage, and benches based on citizen input received at the public meetings held. The Parks and Recreation Committee should review and provide any final comments to staff for a final plan narrative report and master plan map that will be considered by the Assistant Township Manager and Township Manager. A final report and map will be presented at a future Board of Supervisors Regular Meeting for the Board to consider approving by resolution.

Recommended motion: That the Committee review and provide comments for a pre-final recommendation to the Township Manager.

STAFF RECOMMENDATION

That the Committee **review and comment** for a pre-final recommendation to the Township Manager.

3. HOMESTEAD PARK PLAYGROUND EQUIPMENT INSTALLATION

Narrative

The master plan for Homestead Park includes play equipment installation in the open space area, located in the northern side of the park, behind Yorkshire Circle cul-de-sac. The Assistant Township manager mailed a postcard to invite public opinion survey responses from residents living on Yorkshire Circle, Berkshire Drive, Cambridge Drive and Farmstead Lane with property that abuts against the park. Attached to this agenda is a copy of the neighboring property owner responses to the opinion survey, picture of the postcard, and webpage submission form. Ferguson Township Assistant Township Manager, Township Assistant Engineer, Township Playground Safety Inspector, Centre Region Parks and Recreation Director and Maintenance Supervisor met to discuss opinion survey responses and explore considerations and preliminary options. Provided with this agenda is a list of options with associated cost estimates on Homestead Park playground equipment installation for the review and a recommendation from the Parks and Recreation Committee.

Recommended motion: That the Committee recommend a playground equipment installation option to the Township Manager.

STAFF RECOMMENDATION

That the Committee **recommend** a playground equipment installation option to the Township Manager.

4. INTRODUCTION OF CECIL IRVIN PARK – PROPOSED PHASE 2.1 FOR COMMENT

Narrative

In 2014, the Township coordinated the construction of Phase 1 of the Westfield-Hillside, former name of the now known as Cecil Irvin Park, Master Plan which was prepared by HRG in 2011. Attached is the updated draft of Cecil Irvin Park Phase 2.1R. Township Engineer and Assistant Township Engineer will collaborate to provide cost estimates based on a pre-final Phase 2.1R to include in the 2022 Department of Conservation and Natural Resources (DCNR) Community Conservation and Partnerships Program (C2P2) grant application. Staff is discussing and exploring features and amenities of Phase 2.1R and solicit input from the Parks and Recreation Committee on the following items:

- a. Size and extent of developed amphitheater
- b. Parking considerations to accommodate anticipated use of amphitheater
- c. Restroom location option
- d. Construction of shared use path to include the full perimeter walking trail and the cross trail that would provide access to amphitheater; and extend the connection

along Nixon Road to Sunday Drive to connect to the existing path along Nixon Road that leads into PGM.

- e. Additional miscellaneous amenities such as trash receptacles, benches, and picnic tables to include in project estimate
- f. Landscaping in this phase? Tree buffer plantings between park and the adjoining residents?
- g. Monument sign along Nixon Road?

STAFF RECOMMENDATION

That the Committee *defer providing comments for a final recommendation to staff until the next meeting in preparation of an updated Phase 2.1 map and cost estimate.*

V. REPORTS

- 1. Staff Report
- 2. Centre Region Parks and Recreation Authority Report – Mr. Bill Keough

VI. OPEN DISCUSSION

VII. ADJOURNMENT

**FERGUSON TOWNSHIP PARKS AND RECREATION COMMITTEE
MEETING MINUTES
THURSDAY, July 15, 2021
4:00 P.M.**

I. ATTENDANCE

The Parks and Recreation Committee held its regular meeting on Thursday, July 17, 2021, via Zoom in attendance were:

Committee:

Norris Muth- Chairperson
Tessa Antolick- Vice Chair
Jerry Learn-Secretary
Dr. Shawna Doerksen
Connie Puckett
Bill Keough
Rob DeMayo
Rick Tetzlaff-Absent

Staff:

Centrice Martin, Assistant Manager-Absent
Summer Brown, Recording Secretary
Dave Pribulka, Township Manager
Jeff Ressler, Zoning Administrator

Others in attendance: Laura Dininni, Ferguson Township Resident/BOS member.

II. CALL TO ORDER

Dr. Norris Muth called the Thursday, July 15, 2021 Park and Recreation meeting to order at 4:04 pm.

III. CITIZEN'S INPUT

None.

IV. APPROVAL OF MINUTES

Dr. Muth called for a motion to approve the June 17, 2021 minutes. Mr. Jerry Learn stated that there were two typos that needed to be addresses. The typos included "Amphitheatre" and "play equipment". Dr. Shawna Doerksen moved to approve the minutes with the corrections, Ms. Connie Puckett seconded the motion, and the motion passed unanimously.

V. SPECIAL REPORTS

1. CENTRE REGION PARKS AND RECREATION AUTHORITY REPORT – BILL KEOUGH

Mr. Keough stated that he has several things to report on in his Authority report. The Authority was previously a part of a bio blitz and had planned to continue. However, the blitz was delayed last year due to COVID. The Authority plans to participate again this year and will be using the same eleven parks used the first time. Mr. Keough is happy to report that the active adult center is opening at full capacity on Monday. Parks and Recreation will now be getting facility condition assessments. They have received several reports already-these assessments will help them look at programming, infrastructure, and budgeting. Parks and Recreation has a long relationship with State College Area School District. Parks & Recreation rely on SCASD facilities and they are working on a draft contract for long-term use of school facilities. The Millbrook Marsh will be getting an addition to the already existing building and welcome pavilion. Mr. Keough stated that staffing is a big issue this summer, part time help is significantly lower this year.

2. ANNUAL PLAYGROUND SAFETY INSPECTION PRESENTATION – JEFF RESSLER, ZONING ADMINISTRATOR

Township Zoning Administrator/Playground Safety inspector Mr. Jeff Ressler is present to explain playground safety inspections and to answer questions the Committee may have. Mr. Ressler stated that he gets recertified every 3 years. His job is to look at hazards and reduce life threatening/debilitating issues such as: entanglement hazards, surfacing, head/neck

entrapment. Mr. Ressler showed the Committee tools that he uses when conducting inspections. Mr. Pribulka stated that this a topic of continued discussion between the Township and Parks and Recreation on whose responsibility it is to fix these hazards. Mr. Ressler stated that these inspections are done once a year, but if a concern is reported he will do an assessment. Dr. Doerksen asked if records were kept for when playground equipment is installed and if there are life expectancies of equipment. Mr. Ressler stated that he works with Parks & Recreation to update/replace equipment. The Committee discussed an annual report of playground inspections/life expectancy for them to review.

VI. UNFINISHED BUSINESS

1. REVIEW OF PROPOSALS FOR RECREATIONS, PARKS, AND OPEN SPACE PLAN UPDATE

Dr. Muth stated that the Committee is here to review and recommend a proposal for the Recreation, Parks, and Open Space plan update. The Committee discussed the scorecard and the proposals. The Committee agreed that YSM scored high for all members. Dr. Muth stated that he felt YSM's proposal came in first largely because of the quality they hit all they marks. Mr. Rob DeMayo, Ms. Tessa Antolick, and Mr. Learn all agreed. Mr. Pribulka stated that both YSM & HRG have both done work on master plans for the Township. Ms. Dininni stated that she has had different experiences with YSM both good & bad and discussed her experiences with the Committee. **Mr. Jerry learn moved to recommend that the Board of Supervisors award the contract to YSM, Mr. DeMayo seconded the motion, and the motion passed unanimously.**

VII. STAFF REPORTS

1. MANAGER'S REPORT

Mr. Pribulka stated that the RPOS is on the BOS agenda for Monday July 19th. Mr. Pribulka stated that the CIP has been sent to BOS and two works sessions are scheduled. The parks portion will be discussed Wednesday the 21st. Meetings can be attended in person or virtually. Haymarket park equipment update is being reviewed by staff and once recommendations have been made they will be brought in front of the Committee. Ferguson Township is sponsoring an agro tourism event called "Route 45 Getaway" the Township is working with the Happy Valley Adventure Bureau. This even will connect Millheim to Ferguson Township and everyone in between.

VIII. OPEN DISCUSSION

IX. ADJOURNMENT

Dr. Muth entertained a motion to adjourn the Thursday, July 15, 2021 Parks and Recreation meeting at 5:45 pm.

RESPECTFULLY SUBMITTED,

JERRY LEARN, SECRETARY
FOR THE PARKS AND RECREATION COMMITTEE

Songbird Sanctuary Park Master Plan

Ferguson Township, Centre County, Pennsylvania
2019-2021

Prepared for:

Ferguson Township Board of Supervisors, Centre County Pennsylvania

Steering Committee:

Andrew McKinnon, Parks and Recreation Committee Member

Jon Kaufmann, Ferguson Township Resident and Shaver's Creek Environmentalist

Kathie Vondracek, Parks and Recreation Committee Member

Norris Muth, Parks and Recreation Committee Member

Lance King, Ferguson Township Arborist

Kristina Aneckstein, Ferguson Township Community Planner

David Pribulka, Township Manager

Centrice Martin, Assistant Township Manager

Illustrative map prepared by Jenna Wargo, Planning and Zoning Director

Introduction

Songbird Sanctuary Park is a passive park in Ferguson Township, Centre County. Songbird Sanctuary Park serves the nearby residents and schools, Young Scholars, Goddard School, and State College Area High School in the southeast portion of the municipality. Songbird Sanctuary was acquired by the Township in 2016 and this document serves as the first (pre-final draft) master plan. Incremental developments have occurred in stages since that time. Incremental developments include invasive species removal, pollinator habitat area and tree plantings. This master plan will propose passive amenities only, maintenance plan, and summarize the master planning process.

Planning Process

The Songbird Sanctuary Park Master Plan provides a vision for the park into the next decade and beyond. The park planning process for the Master Plan included four main parts:

1. Inventory and Assessment of the Natural Resources
2. Park Master Planning
3. Public Participation
4. Costs and Implementation Strategy

Community Background

Ferguson Township was formed in 1801 and was named for Thomas Ferguson, an early settler. The Township encompasses approximately 50 square miles and the 2010 U.S. Census population counted 17,690 residents. The 2018 American Community Survey estimated the population at 18,837.

The municipality has home rule governance and is a member of the Centre Region Council of Governments (CRCOG). CRCOG includes six municipalities in the State College Region. Ferguson Township surrounds State College Borough, home to Penn State University, to the north, west, and south.

Songbird Sanctuary Park is one of twelve municipal parks owned by Ferguson Township. As part of a Pine Hall Drainage Area Evaluation performed by Sweetland Engineering in 2004, this 8.99-acre property, formerly owned by private citizen, was identified for being a natural absorption area for upstream drainage which provides stormwater infiltration. The property was added to the Township Official Map as a Natural Area Conservation for having both significance for passive recreation and environmental benefits. In 2016, the Township acquired the 8.99-acre property bounded by Owens Drive and Blue Course Drive.

Township municipal parks are acquired and developed by Ferguson Township. Centre Region Parks and Recreation (CRPR), an agency managed by and provides services for CRCOG municipality members, provides maintenance and recreation programming for 54 municipal parks owned by participating municipality CRCOG members.

Inventory and Assessment of Natural Resources

Songbird Sanctuary Park is an undeveloped park site with a pollinator area located in the southern portion of the park. The site is undeveloped with a developed pollinator garden and parking spaces in the cul-de-sac of Owens Drive. A natural vegetative buffer separates the park from most of the nearby parcels.

General Site Data

Size/Location

The Park, as it exists today, is 8.99-acres in size and is located South of the Waffle Shop, 1610 West College Avenue, State College, and continues along Blue Course Drive until property boundaries abut against residential properties situated in Kennelworth Court in Ferguson Township.

Access

Vehicular access to the site is provided from Owens Drive, State College in Ferguson Township, Centre County. Pedestrians or bicyclists may also access the site from the sidewalk along Blue Course Drive, State College, between the traffic light at the corner of Blue Course Drive and West College Avenue and the traffic light where Blue Course Drive intersects with Westerly Park Way.

Existing and Surrounding Land Use

The existing land use is municipal passive park. Surrounding land uses include:

- Commercial zoned property lot is positioned (in front) of property along West College Avenue
- Single family residential lots surround the park on the southside
- Undeveloped wooded area border the (left side), on the other side of Blue Course Drive.
- Undeveloped land, owned by Penn State, (property type V) is on the other side of West College Avenue

Natural Resources

Vegetation

The site currently has a mixed stand of vegetation. The Northern part of the tract is dominated by a grove of Aspen. The area of the property near Owen's Drive is composed of a lot of Black Walnut. As such, not much other woody plant material is found in this section.

The remainder of the site aside from the pollinator garden is made up of the usual successional species. Tress such as Black Locust, Boxelder Maple, and other mature trees can be found scattered throughout the central and southern portions of the tract. 1.25 acres of native tree and shrub plantings, and a half an acre designated to develop a pollinator garden in the northern section of the property.

Invasive Species

Invasive species were noted throughout the entire wooded area of the park. Controlling non-native and invasive plants is important for the long-term health of the vegetation and habitat for wildlife.

Drainage Patterns

There is a stormwater detention basin that serves the Waffle Shop property that does discharge to the north of the property.

Man-made Resources and Influences

Stormwater Infiltration

A closed depression due to a small berm was reported in the Pine Hall Stormwater Analysis Findings and Recommendations report (2003). There is also a stormwater detention basin that serves the Waffle Shop property that does discharge in the northern area of the property.

Pollinator Garden

The pollinator garden is maintained in its current location and will continue to serve as a green infrastructure use. The approximately ¼ acre pollinator garden was planted in the spring of 2019. The garden design and planting plan was prepared by Penn State University Master Gardeners. Over two dozen species of native plants were selected that provide season long food sources for pollinators. Species include Coneflower, Butterflyweed, Aster, Milkweed, and others.

Site Analysis Conclusions

The site analysis determines the best uses for the park site. The analysis of existing site conditions greatly influences the park design and master planning. Key conclusions of site analysis include:

- The floodplains to the west of the property.
- The natural wooded landscape should remain intact to preserve the environmental benefits that provide significant stormwater infiltration and to offer site visitors a peaceful exploration outdoor experience.
- The park is encumbered with invasive plant species. These detrimental plants should be eradicated from the site and replaced with native species.
- Numerous mature shade and ornamental trees are established in the park site. These trees should be maintained, as possible. Unhealthy and hazard vegetation should be removed.
- The shaded areas within the park provide a nice setting for passive recreational experiences.

- Walking path(s), or the construction of the path, should not disrupt the low-lying areas proven to be effective at infiltrating stormwater or the stormwater detention basin that serves as a discharge area for the Waffle Shop property.
- The constraints throughout the park should be considered and respected in the design. Constraints that were identified to aid in determining the alignment included; (1) connectivity to an accessible parking space, (2) avoidance of slopes that would not meet accessibility guidelines, (3) avoidance of the low lying areas that retain stormwater after precipitation events that provide information infiltration of the stormwater, and (4) avoidance of mature trees that might be impacted by construction of the walking path.
- A significant portion of the site contains slopes in excess of 5 percent which will be a challenge for adding amenities that meet Americans with Disabilities Act (ADA) requirements.

Public Participation

Ferguson Township Steering Committee

Ferguson Township assembled a Steering Committee to guide the park planning process. Committee members included municipal staff, the State College Bird Club, Nittany Bike Association, the Centre County Master Gardeners, and the Ferguson Township Parks and Recreation Committee. The committee's guiding principle during the master planning process was to keep the Park in its natural state to preserve its environmental benefits, providing a few passive park features for recreation, and preserving the privacy of the surrounding neighborhoods.

Online Opinion Survey

Ferguson Township staff created a survey along with Steering Committee members for nearby residents of Songbird Sanctuary Park. The goal of the survey was to gauge resident interest in the park and what amenities would like to see added into the park's master plan.

Survey findings include:

- When asked how many times per week, on average, do you anticipate visiting Songbird Sanctuary; most respondents stated they would make occasional visits (55.56%) which was followed by one or more times per week, Monday through Friday (22.22%). Once or more times per weekend, Saturday through Sunday & multiple visits weekly and weekend had the same amount of responses (11.11%).
- When ranking the passive park features that you would like to see incorporated into the proposed Songbird Sanctuary Passive Park design; the top three answers included (1) reestablish wildlife with native plants was the most popular answer, followed by native plant life (2) remove invasive plants, and (3) finally pollinator habitat. The following answers are in order of popularity: walking areas (4), natural scenic areas with benches or

some kind of seating (5), keep it as natural as is (6), bird watching (7), bird box (8), quiet areas for meditation (9), Natural walking paths with interpretive signs for guidance and educational walks (10), biking path (11), access pathway from sidewalk on Blue Course Drive (12), community garden (13), pathway between Park and McBath Street (14), picnic areas (15), additional parking along Blue Course Drive with permeable paving (16).

- When ranking the passive park features that you would NOT like to see incorporated into the proposed Songbird Sanctuary Passive Park design, the least popular were picnic areas, followed by pathway between Park and McBath Street, and additional parking along Blue Course Drive with permeable paving. These are followed by community garden (4), biking path (5), and access pathway from sidewalk on Blue Course Drive (6). The rest of the ranking closely follow the most popular rankings.

Public Meetings

Ferguson Township hosted two public meetings at the cul-de-sac on Owens Drive. Twenty residents attended the meetings. Those in attendance were invited to complete the online survey and offer suggestions on what they would like to see be implemented into the master plan.

Public Meeting #1

The Township hosted its first public meeting for Songbird Sanctuary Park on July 10, 2019. Residents had the opportunity to speak with Ferguson Township staff and members of the steering committee about the further development of Songbird Sanctuary. One resident suggested collaborating with Nittany Valley Charter School so students could participate in volunteer services at the park. When discussing amenities, a resident mentioned that the Township should not over develop the park and ensure that is habitable for the resident wildlife. Another suggested that residents should not be allowed walk their dogs in the park to not disturb the wildlife.

Public Meeting #2

A second public meeting was hosted on July 20, 2020. This was another opportunity to residents to receive information on what has been done by the Steering Committee for Songbird Sanctuary and provide feedback to Township Staff. One resident suggested that the park should have a remote grass drop-off for nearby residents.

Findings of the Public Participation Process

- *Protect and Enhance Natural Resources*
- *Park Linkages*
- *Relationship to Surrounding Land Use*

Conceptual Plan

The Master Plan (draft) was/is presented to Parks and Recreation Committee at public meeting and available on Township website for review and comment from all stakeholders including residents, municipal staff, and Ad Hoc Steering Committee. Public comment regarding the master plan included (as of 11-15-2019):

- Provide up to three (3) benches
- Install Kiosk to highlight:
 - Park policies
 - Park infiltration area
 - Park history, benefits, amenities
 - iNaturalist
 - ebird
- Create a natural path
- Provide a section of natural path that is American Disability Act (ADA) accessible
- Continue invasive plant removal
- Develop invasive plant management maintenance plan
- Maintain pollinator habitat area
- Provide entrance with signage from Blue Course Drive for pedestrians
- Consider a water bowl for wildlife
- Provide bird box amenities
- Provide screech owl box
- Provide bee box
- Provide boot station
- Provide additional plantings for a tree buffer zone along the perimeter of the property
- Add trash bin
- Natural meadow plantings

Songbird Sanctuary (DRAFT) Master Plan

The Master Plan design and narrative (draft) was developed for Songbird Sanctuary Park to reflect recommendations from the Steering Committee and public. The design and narrative is a consolidation of the ideas and comments from review of the Committee's brainstorming activities that then morphed into conceptual scenarios for the public to prioritize a list of amenities for one cohesive master plan for the park site.

Guiding Principles

The following guiding principles were defined for the Songbird Sanctuary Master Plan, based on the findings of the planning and public participation process:

- Maintain the existing natural resources and environmentally sensitive areas on the site
- Minimize the amount of earthwork to protect and preserve the site's natural characteristics
- Enhance the convenience of accessing the park that meet American Disability Act (ADA) requirements
- Explore opportunities to enhance the natural aspects of the site and that incorporate passive features that promote wildlife
- Develop trails to encourage walking and healthy activity.

Site Amenities

Natural Trail System

An alignment for an accessible walking path was considered to connect the Shared Use Path along Blue Course Drive through Songbird Sanctuary to Owens Drive. The walking path would be constructed of an aggregate material that meets accessibility requirements and be at least 5 feet wide. The path will not be designed to support trucks or other types of larger maintenance vehicles and would not be considered a shared use path. The general alignment of this accessible walking path is depicted on the proposed masterplan. ADA route signage will be placed along the accessible route at each park path intersection to inform pedestrians the accessible walkway.

Constraints identified to aid in determining the alignment included 1. Connectivity to an accessible parking space 2. avoidance of slopes that would not meet accessibility guidelines, 3. Avoidance of the low-lying areas that retain stormwater after precipitation events that provide infiltration of the stormwater, and 4. Avoidance of mature trees that might be impacted by construction of the walking path.

The proposed walking path would begin at the accessible parking space and will require some curb to be replaced as well as a landing area constructed adjacent to the space and connect to the path. Appropriate signing and paving markings for the parking space will be installed.

The accessible route from a designated parking space will proceed in a westerly direction staying approximately 30 feet from the adjoining Owens Drive parcel and continuing toward Blue Course Drive. Generally, the ground surface in the east/west direction is relatively level, so meeting the requirement of 5 percent maximum slope will not be difficult. There is a very short section adjacent to the existing shared use path along Blue Course Drive that may exceed the 5 percent slope but can be corrected with some minor placement of stone fill.

The alignment of the path as it proceeds from Owens Drive toward Blue Course Drive was selected to be the most direct route from Owens Drive to Blue Course Drive and be adjacent to the areas that are low lying and store and infiltrate stormwater, within encroaching upon them. There is a stormwater detention basin that serves the Waffle Shop property that does discharge to the north of the proposed walking path and may cause stormwater to cross over the path during certain stormwater events. The alignment selected stays on the highest ground possible where that stormwater crosses the walking path.

Along the entire route, existing trees of various size and type are proposed to remain situated. A construction technique will be used to elevate the walking path above the natural grade and not disturb any existing tree roots. A geotextile material will be placed on the existing soils and aggregate placed and compacted on this material to establish the walking path. This approach will also minimize disturbance of soils that infiltrate stormwater.

Parking

The existing parking spaces at the end of Owens Drive were evaluated to determine which space would best meet accessibility guidelines. The second parking space heading south on Owens Drive (just before the rock apron) is proposed for converting to an accessible parking space. The accessible parking space will be stripped and identified with a sign and located on level ground.

[place picture of parking spaces at owens drive]

Entry Plaza

A kiosk is developed at the at the southern end of Owens Drive near the accessible parking space with an information kiosk and a bench. The plaza provides a meeting area for visitors with a kiosk to display information such as trail length, park policies, etc. Also, available at, or nearby, the entry plaza will be a boot station, water bowl, dog deposit box, and trash and recycle bins.

Mile Markers

Mile markers will be located along trails to identify trail length in one-tenth-mile intervals.

Park Signs

- **Park entry sign** The parking area will require a park entry sign as well as the pedestrian entrance off Blue Course Drive. The two (2) signs will include the park name, Township name, and CRPR logo.
- **Parking space ADA sign** – The parking space named ADA accessible will be visible with a sign that communicates compliance with the Americans with Disabilities Act (ADA) requirements.
- **Interpretative Signs** Interpretative signs will provide information about the natural features of the park. Potential interpretative signs include:
 - Low/No-mow meadow
 - Environmental characteristics of park such as the drainage and groundwater recharge
 - Value of green infrastructure

Water Bowl

A large, shallow bowl of water for the birds for birds to perch and hydrate.

Bird Nest Boxes

Bird nest boxes will be placed throughout the park. Songbird Sanctuary provides ample space to attract a variety of species through pairing bird nest boxes. The placing of bird nest boxes will involve public participation and knowledge of good habitats for nest boxes.

Natural Resource Enhancement/Sustainable Green Components

- Sustainability and Green Design Considerations
The master plan incorporates passive recreation to blend seamlessly into the existing natural landscape to preserve the environmentally sensitive area. Minimal development allows for nonspecific uses and requires little dedicated active infrastructure. Park development will maintain natural landscape, promote biodiversity, enhance habitats, promote reforestation, and not disturb the area.

- Americans with Disabilities Act (ADA)
 - **Accessible Routes** An accessible route will be provided from an accessible parking space to facilities and activity areas in park settings. An accessible route will be developed to be firm, stable and slip resistant with a running slope that does not exceed 1:20 feet or 5 percent slope. The width for the accessible slope will be at a minimum of five feet to allow two-way travel. The natural trail in Songbird Sanctuary Park is envisioned to present a dual loop with a connecting path directly from Owens Drive cul-de-sac directly to Blue Course Drive that meets ADA requirements. The area north of the ADA accessible path is noted as exceeding the maximum slope and would disrupt drainage flows as well as the mature trees to bring in compliance with ADA standards.

Songbird Sanctuary Master Plan Map – Pre-Final MAP



Park Development Costs

Achieving the vision presented in the master plan for Songbird Sanctuary Park will require capital expenditures. It is anticipated that the enhancements will not require a phasing approach. To guide the enhancement of Songbird Sanctuary, cost estimates are prepared to correspond to the various phases of development as determined by the Steering Committee.

Item No.	Work Item	No. of Units	Unit Cost	Total Cost
	Site Preparation			
	Natural Trail			
	Site Amenities			
	Kiosk	1		
	Boot Brush	1		
	Bench	4		
	Bird Nest Box	15		
	Water Bowl	1		
	Trash and Recycle bin	2		
	Dog Deposit Box	2		
	Signage			
	Park Entry Signs	2		
	Interpretative Sign	5		
	Handicap Accessible Parking Sign	1		
	ADA Route Signs	5		
	Parking and Access Drive Improvements			

Public Opinion Responses on Homestead Park Playground Equipment

Type of Playground Equipment	Additional Comments	Ferguson Township Staff Notes
Option 2: School Age (5-12)		
Option 2: School Age (5-12)	equipment by the Pavilion Both Option 2&3 would be an asset to the neighborhood.	
Childhood (ages 5 and under)		
Option 2: School Age (5-12)		
Option 3: Fitness and Wellness (9 and older)		
	looks as if it will be in someone's (the houses on Berkshire) backyard essentially, which seems unfair to them as none of those houses have a fence, nor were any residents aware of the playground going in until just now.	Ferguson Township mailed a postcard to the residents living at the properties that abutted against the Homestead Park property. The postcard invited residents to provide their input on the type of playground equipment to reflect the interest and ages of children in the neighborhood. Options included the following: 1) Option 1: Early Childhood (Ages 5 and under) 2) Option 2: School Ages (Ages 5-12) 3) Option 3: Fitness and wellness (9 and older) Copy of postcard is on tab below named Postcard. Additionally, a copy of the webpage form is tab named 'Webpage Form'
Option 4: Keep as Open Space	If playground is chosen, my vote is one for 5-12 year olds, as the other	
	space we a losing in the park. Several trees have been planted in the upper field, taking away from space my children use for things like flying a kite or throwing a softball when the activity field is in use by organized groups (quite often during the school year). And the plot adjacent to farmstead lane was sold, more space lost. I would be open to plans for school age (5-12) IF THERE WAS A PLAN. But when my wife asked for the master plans on what will be put in	
Option 4: Keep as Open S	(referenced in the flyer we received),	

Neighborhood Residents Invited to Share Preference for a New Playground Equipment at Homestead Park!

The Homestead Park Master Plan includes the installation of playground equipment in the upper lot near the cul-de-sac. Ferguson Township invites residents to select their recommended option for the playground equipment. Options for consideration include the following:

- Option 1: Early Childhood (Ages 5 and under)
- Option 2: School Ages (5-12)
- Option 3: Fitness and Wellness (9 and older)

Visit Ferguson Township website to select and submit your response by June 21, 2021. URL website:

www.twp.ferguson.pa.us/homestead-park-playground-equipment



Township of

FERGUSON
Pennsylvania

Phone: 814-238-4651

Fax: 814-238-3454

E-mail: cmartin@twp.ferguson.pa.us

Ferguson Township
3147 Research Drive
State College, PA 16801



Lorem ipsum
111 Road
State College, PA 16801



Township of

FERGUSON

Pennsylvania

Homestead Park Playground Equipment

The Homestead Park Master Plan includes the installation of playground equipment in the cul-de-sac. Residents are invited to provide their input on the type of play ground equipment, the interest and ages of children in the neighborhood. The playground equipment will be provided by Playworld. If you have any questions, please contact Assistant Township Manager, [Centric](#), at 238-4651.

Name

Address

Type of Playground Equipment *

- Option 1: Early Childhood (ages 5 and under)
- Option 2: School Age (5-12)
- Option 3: Fitness and Wellness (9 and older)
- Option 4: Keep as Open Space

Additional Comments

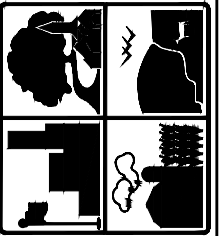
Submit



it

the upper lot near
pment to reflect
urchased from
e [Martin](#) at 814-





**FERGUSON TOWNSHIP
DEPT. OF PUBLIC WORKS & ENGINEERING**

3147 RESEARCH DRIVE
STATE COLLEGE, PA 16801
PHONE: 814-238-4651
FAX: 814-238-3454
www.twp.ferguson.pa.us

8-2-21

HOMESTEAD PARK PLAYGROUND
CONTRACT 2021-C18

CONCEPT PLAN

REV. DATE



HOMESTEAD PARK PLAYGROUND IMPROVEMENTS

Project # 2021-C18

Engineers Estimate - CONCEPT Plan

OPTION 1: CLUBHOUSE JUNCTION 500-1914

QTY	ITEM No. UNIT	DESCRIPTION	UNIT PRICE	TOTAL
1	9000-0001 EA	PLAYWORLD PLAY STRUCTURE; CLUBHOUSE JUNCTION, PRODUCT 500-1914	\$72,189.00	\$72,189.00
1	9000-0002 LS	PRODUCT# 500-1914, EQUIPMENT INSTALLATION	\$27,361.00	\$27,361.00
1	9000-0003 LS	FERGUSON TOWNSHIP IN-HOUSE COST	\$5,742.46	\$5,742.46
			OPTION 1 SUB-TOTAL:	\$105,292.46

OPTION 2: TOWER TOUR FUN-1499

QTY	ITEM No. UNIT	DESCRIPTION	UNIT PRICE	TOTAL
1	9000-0004 EA	PLAYWORLD PLAY STRUCTURE; TOWER TOUR, PRODUCT# FUN-1499	\$66,023.00	\$66,023.00
1	9000-0005 LS	FUN-1499, EQUIPMENT INSTALLATION	\$25,028.00	\$25,028.00
1	9000-0003 LS	FERGUSON TOWNSHIP IN-HOUSE COST	\$5,742.46	\$5,742.46
			OPTION 2 SUB-TOTAL:	\$96,793.46

OPTION 3: CHALLENGERS 350-1733

QTY	ITEM No. UNIT	DESCRIPTION	UNIT PRICE	TOTAL
1	9000-0006 EA	PLAYWORLD PLAY STRUCTURE; CHALLENGERS, PRDUCT# 350-1733	\$35,515.00	\$35,515.00
1	9000-0007 LS	PRODUCT# 350-1733 EQUIPMENT INSTALLATION	\$13,099.00	\$13,099.00
1	9000-0003 LS	FERGUSON TOWNSHIP IN-HOUSE COST	\$5,742.46	\$5,742.46
			OPTION 3 SUB-TOTAL:	\$54,356.46

OPTION 4: PLAYCUBES 10.0 CSL

QTY	ITEM No. UNIT	DESCRIPTION	UNIT PRICE	TOTAL
1	9000-0008 EA	PLAYWORLD PLAY STRUCTURE; PLAYCUBES, PRODUCT# PLAYCUBES-10CSL	\$46,712.00	\$46,712.00
1	9000-0009 LS	PLAYCUBES-10CSL EQUIPMENT INSTALLATION	\$16,415.00	\$16,415.00
1	9000-0003 LS	FERGUSON TOWNSHIP IN-HOUSE COST	\$5,742.46	\$5,742.46
			OPTION 4 SUB-TOTAL:	\$68,869.46

OPTION 5: CHALLENGERS 350-1742

QTY	ITEM No. UNIT	DESCRIPTION	UNIT PRICE	TOTAL
1	9000-0010 EA	PLAYWORLD PLAY STRUCTURE; CHALLENGERS, PRODUCT# 350-1742	\$33,713.00	\$33,713.00
1	9000-0011 LS	350-1742 EQUIPMENT INSTALLATION	\$12,370.00	\$12,370.00
1	9000-0003 LS	FERGUSON TOWNSHIP IN-HOUSE COST	\$5,742.46	\$5,742.46
			OPTION 5 SUB-TOTAL:	\$51,825.46

PUBLIC WORKS TO PERFORM IN-HOUSE

QTY	ITEM No. UNIT	DESCRIPTION	UNIT PRICE	TOTAL
82	9000-00012 CY	ENGINEERED WOOD FIBER (MATERIAL ONLY)	\$24.93	\$2,044.48
1	9000-0013 ROLL	CLASS 4, TYPE A GEOTEXTILE	\$750.48	\$750.48
72	9000-0014 LF	4" PERF. UNDER-DRAIN PIPE (ONLY MATERIAL)	\$1.00	\$72.00
44	9000-0015 TON	SUBBASE 6" DEPTH (2B) UNDER-DRAIN (MATERIAL ONLY)	\$15.00	\$660.00
7	9000-0016 CY	TOPSOIL	\$67.00	\$469.00
79	9000-0017 SY	SEEDING AND SOIL SUPPLEMENTS AND MULCHING	\$1.50	\$118.50
1	9000-0018 LB	INFILTRATION SEED MIX (ERNMX-127)	\$31.00	\$31.00
3	9000-0019 CY	CLASS A CONCRETE FOR SIDEWALK	\$180.00	\$540.00
1	9000-0020 EA	DETECTIBLE WARNING SURFACE	\$265.00	\$265.00
1	9000-0021 CY	CLASS A CONCRETE FOR CURB	\$180.00	\$180.00
2	9000-0022 TON	19.0 MM WEARING, SRL-L PG 64-22, <0.3 MILLION ESALS (ADA ACCESSIBLE SIDEWALK (3" DEPTH))	\$56.00	\$112.00
1	9000-0023 LS	HANDICAP PARKING PAVEMENT MARKINGS	\$250.00	\$250.00
1	9000-0024 LS	HANDICAP PARKING SIGN	\$250.00	\$250.00
			FTPW SUB-TOTAL	\$5,742.46

BUDGET: \$75,000.00



800.262.8448
717.243.0439 Fax
ely@pa.net
PO Box 396
Carlisle, PA 17013
GeorgeElyAssociates.com

August 2, 2021

PROPOSAL
Homestead Park
Playground Equipment

Ryan T. Scanlan
Assistant Township Engineer
Ferguson Township
3147 Research Drive
State College, PA 16801
Office: (814) 238-4651
Direct: (814) 272-7009
RScanlan@Twp.Ferguson.PA.us



Table with 4 columns: Quantity, Item ID, Description, and Price. Includes items like Challengers play structure and Playmakers play structure.

Prices reflect PA State Contract COSTARS-014-011 - additional discount + shipping

Due to unpredictable raw material, fuel, and labor costs, prices are only effective for 30 days

Prices include delivery & installation (prevailing wage rates)
Prices do not include unloading or storage, removal of any existing equipment, site preparation or excavation, or recommended resilient material
Prices do not include any necessary permits or sealed engineering

Allow 8-10 weeks for delivery; installation to follow
Payment Terms: 50% deposit, Net 20 days

To place an order, please select from above, choose colors, indicate shipping & billing addresses, contact name & phone number, sign below & return with deposit...

X _____

Thank you, Dave Ely

We accept MC, Visa, Disc, & Amex.
(ADD 2% for credit card purchases)
Buyer agrees to pay a monthly late charge of 2% commencing 30 days after invoice date.



Playmakers® Clubhouse Junction

Product: 500-1914

Ages 5-12

Space Required

42' 10" x 42' 11"

(13,05m x 13,08m)

Product Details

Size: 30' 8" x 30' 9" x 16' 5"H

Capacity: 63

Color: Available in any Playworld color(s).

Weight: 5159 lb

Install Hours: 68

Fall Height: 8' 0"

Complies With:

ASTM F1487

CPSC PUB.325

Prices are approximate. Prices shown in U.S. Dollars. Prices do not include freight, custom fees, surfacing or installation. Please contact your authorized Playworld Representative for pricing.



Challengers®, Play Fundamentals Tower Tour

Product: FUN-1499

Ages 5-12

Space Required
37' 9" x 43' 3"
(11,51m x 13,18m)

ky Towers®

Product Details

Size: 25' 4" x 30' 11" x 17' 1"H

Weight: 4265 lb

Fall Height: 8' 0"

Capacity: 63

Install Hours: 64

Complies With:

ASTM F1487

CPSC PUB.325

EN1176*

* Indicates complicity with minor changes and/or additions. Please [contact your playground professional](#) for details.

Prices are approximate. Prices shown in U.S. Dollars. Prices do not include freight, custom fees, surfacing or installation. Please contact your authorized Playworld Representative for pricing.



Challengers®

350-1733

Product: 350-1733

Ages 5-12

Space Required

29' 10" x 37' 10"

(9,09m x 11,53m)

Product Details

Size: 17' 4" x 25' 8" x 13' 10"H

Capacity: 38

Color: Available in any Playworld color(s)

Weight: 2223 lb

Install Hours: 42

Fall Height: 9' 0"

Complies With:

ASTM F1487

CPSC PUB.325

Prices are approximate. Prices shown in U.S. Dollars. Prices do not include freight, custom fees, surfacing or installation. Please contact your authorized Playworld Representative for pricing.



PlayCubes® 10.0CSL

Product: PLAYCUBES-10CSL



Ages 5-12

Space Required

34' 0" x 45' 6"

(10,36m x 13,87m)

Product Details

Size: 21' 9" x 33' 3" x 10' 10"H

Capacity: 66

Color: Available in any Playworld color(s).

Weight: 2042 lb

Install Hours: 34

Fall Height: 8' 5"

Complies With:

ASTM F1487

CPSC PUB.325

CAN/CSA-Z614

EN1176*

* Indicates complicity with minor changes and/or additions. Please contact your playground professional for details.

Prices are approximate. Prices shown in U.S. Dollars. Prices do not include freight, custom fees, surfacing or installation. Please contact your authorized Playworld Representative for pricing.



Challengers®

350-1742

Product: 350-1742

Ages 5-12

Space Required

29' 7" x 37' 3"

(9,02m x 11,35m)

Product Details

Size: 17' 4" x 25' 2" x 15' 11"H

Capacity: 31

Color: Available in any Playworld color(s).

Weight: 2530 lb

Install Hours: 39

Fall Height: 6' 0"

Complies With:

ASTM F1487

CPSC PUB.325

Prices are approximate. Prices shown in U.S. Dollars. Prices do not include freight, custom fees, surfacing or installation. Please contact your authorized Playworld Representative for pricing.

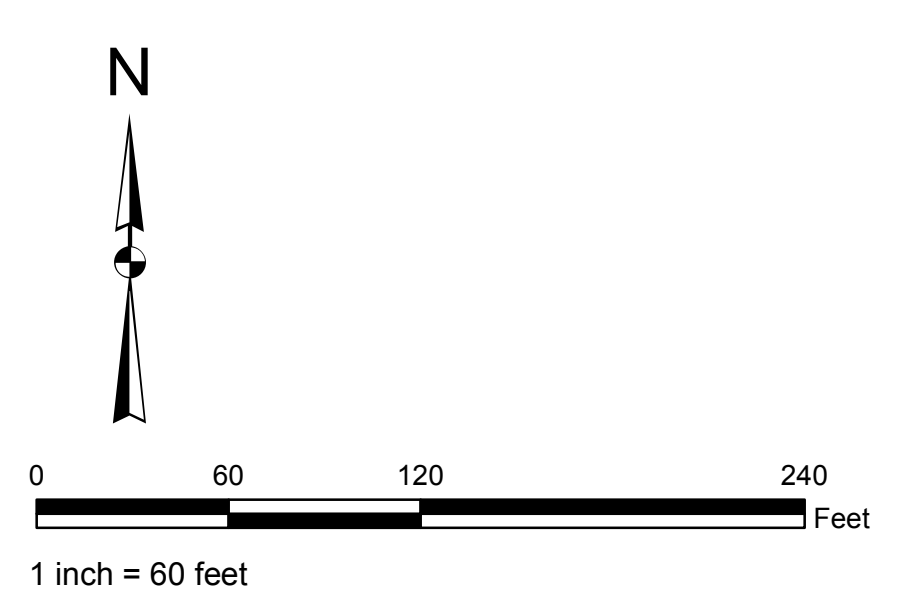
Project Location



LEGEND

- PROPOSED**
- PROPOSED BITUMINOUS DRIVEWAY
 - PROPOSED CONCRETE CIRCLE
 - PROPOSED CONCRETE EDGING
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED GRASS AREA
 - PROPOSED GRIT PATH/WALKWAY
 - PROPOSED LANDSCAPING
 - PROPOSED PAVILLION
 - PROPOSED PERMIABLE SURFACE/PARKING
- EXISTING**
- EXISTING CONCRETE WALKWAY
 - EXISTING GRASS AREA
 - EXISTING PERGULA
 - EXISTING PLAYGROUND (MULCH)
 - EXISTING BIKE PATH
 - TRASH RECEPTACLE
 - WATERLINES
 - SANITARY
 - STORMWATER PIPE
 - STORMWATER STRUCTURE
 - NEIGHBORHOOD SIDEWALKS
- CONTOURS**
- MINOR (2')
 - MAJOR (10')
- SOIL CLASSIFICATION**
- HUB

NOTES:
 TOPOGRAPHIC DATA WAS OBTAINED FROM LIDAR DATA
 PROPOSED AND FUTURE DATA IS BASED ON WESTFIELD/HILLSIDE
 FARM ESTATES PARK MASTER SITE DEVELOPMENT PLAN
 PREPARED BY HRG, INC. DATED MARCH 12, 2013.
 THERE ARE NO FLOODPLAINS OR WETLANDS LOCATED
 ON SUBJECT PROPERTY.



4/5/2018

CECIL IRVIN PARK PHASE 2.1R

SITE DEVELOPMENT PLAN
 FERGUSON TOWNSHIP
 CENTRE COUNTY, PENNSYLVANIA





a

**Staff Report
August 19, 2021**

1. Board of Supervisors awarded HRG with the Recreation, Parks and Open Space Plan (RPOS) Plan Update contract and expressed interest in a contract supplement for the add alternate of \$15,000 to have up to 3 park development sites prepared for the Township. Staff is coordinating with HRG to present the Board with a contract supplement for review and approval.
2. Centre Region Parks and Recreation (CRPR) shared that the 2021 BioBlitz will take place during September 1-30, utilizing the iNaturalist App. CRPR is holding a special training session on August 30 to help resident's setup the app for this Nationwide event sponsored by the National Recreation and Park Association. See attached flyer.
3. Mr. Learn and Ms. Antilock met to review the Farmstead View Preliminary Subdivision review. Attached is a copy of the memo provided to Ms. Aneckstein.
4. A resident reported he observed five dead trees at Fairbrook Park. Staff will conduct a site visit to determine how best to respond.



— JOIN OUR — Parks for Pollinators BIOBLITZ

Bees are champion pollinators!

Join Our BioBlitz!

Centre Region Parks and Recreation is hosting a local BioBlitz--part of a nationwide, fun challenge to see how many pollinator species can be found in September! You can participate by exploring nature and wildlife in designated Centre Region parks, while using the iNaturalist App. It is FREE to join! Follow the link or click on the QR code to the right to register.

September 1-30



Register and learn more about how the app works!

www.bit.ly/CRPRBioBlitz



iNaturalist App Training

For those of you using the iNaturalist App for the first time, Agency staff will provide a short training opportunity (via Zoom) on Monday, August 30 at 6:30 PM. Once you register, you will indicate that you're interested in this training seminar.





TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801

Telephone: 814-238-4651 • Fax: 814-238-3454

www.twp.ferguson.pa.us

To: Kristina Aneckstein, Ferguson Township Community Planner

From: Centrice Martin, Assistant Township Manager, on Behalf of the Parks and Recreation Subcommittee

Date: August 13, 2021

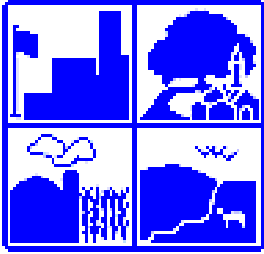
Subject: Farmstead View Preliminary Subdivision Plan

In accordance with Ferguson Township's municipal code, Chapter 22 Subdivision and Development, Park 5: Design and Improvement Standards, Section 22-513 Public Use and Service Areas, provision (H) Fee in Lieu of Dedication, the Parks and Recreation Subcommittee has reviewed the 'Farmstead View Preliminary Subdivision Plan,' dated July 29, 2021.

This plan proposes to subdivide Tax Parcel 24-22-306-0000 into 6 single-family residential lots and 1 stormwater management. The existing lot, located at 139 Farmstead Lane, is 3.037 acres and is currently a vacant field housing a storage barn. The parcel is located within the Single Family Residential (R1) Zoning District.

Ms. Antolick and Mr. Learn have reviewed the plan and recommend the Board of Supervisors accept a fee-in-lieu of the dedication of new parkland, provided by the developer to meet the parkland requirements.

On behalf of the Parks and Recreation Committee, Ms. Antolick and Mr. Learn have reviewed the plan and recommend the Planning Commission consider a fee-in-lieu to be more beneficial to the Township's residents than the dedication of parkland.



TOWNSHIP OF FERGUSON

3147 Research Drive, State College, Pennsylvania 16801
Telephone: 814-238-4651 Fax: 814-238-3454

August 2, 2021

Ferguson Township Planning & Zoning Department
Director, Community Planner, Zoning Administrator
3147 Research Drive
State College, PA 16801

Ronald A. Seybert, P.E., Ferguson Township
3147 Research Drive
State College, PA 16801

Christopher Schnure
Centre County Planning & Community Development
420 Holmes Street
Bellefonte, PA 16823

Corey Rilk, Greg Kausch (CATA) & Shelly Mato (Recycling
& Refuse)
Centre Regional Planning Agency
2643 Gateway Drive
State College, PA 16801

Steve Bair, Director, Centre Region Fire Protection
400 West Beaver Ave
State College, PA 16801

Elizabeth Dupuis, Esquire
330 Innovation Blvd
State College, 16803

Scott Brown, PE, NTM Engineering
341 Science Park Rd Suite 203
State College, PA 16803

Marc McDill, FTTC mmcdill@twp.ferguson.pa.us
Parks & Recreation Committee
Tantolick@twp.ferguson.pa.us,
jlearn@twp.ferguson.pa.us

Al Sam, Township Arborist Consultant
3147 Research Drive
State College, PA 16801

State College Borough Water Authority (SCBWA) via
email brian@scbwa.org

University Area Joint Authority (UAJA) via email
cmiller@uaja.com

Nittany Dental Preliminary Land Development Plan

PennTerra Engineering, Inc. submitted, on behalf of their client, The Farmstead View Preliminary Subdivision Plan. This plan proposes to subdivide Tax Parcel 24-22-306-0000 into 6 single-family residential lots and 1 stormwater management. The existing lot, located at 139 Farmstead Lane, is 3.037 acres and is currently a vacant field housing a storage barn. A parkland fee-in-lieu of \$17,640 will be provided by the developer to meet the parkland requirements. The parcel is located within the Single Family Residential (R1) Zoning District.

Please Reference ES #421 in all Correspondence.

Per §22-303.3 please have review comments back to me by August 16, 2021, **(Plan Expiration date is October 28, 2021).**

Thank you.

Sincerely,

Respectfully,

Kristina Aneckstein

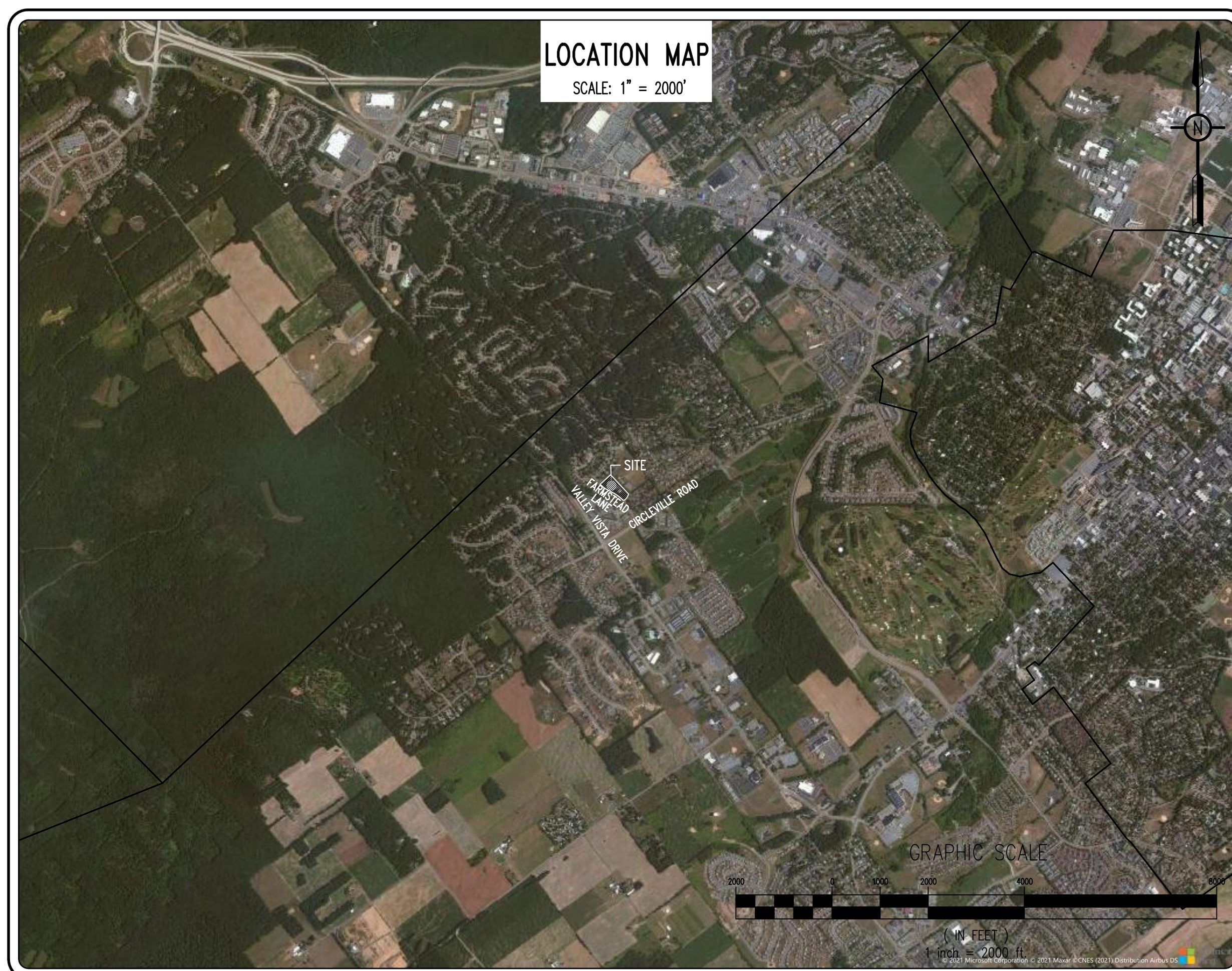
Kristina Aneckstein
Community Planner

cc: Correspondence File/Plan File/TP-24-22,306-,0000-/Laserfische/1966-1Aa

FARMSTEAD VIEW

PRELIMINARY SUBDIVISION PLAN

FERGUSON TOWNSHIP * CENTRE COUNTY * PENNSYLVANIA
 JULY 29, 2021



PennTerra
 ENGINEERING, INC.

CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 Fax: 814-237-2308

LANCASTER REGION OFFICE:
 3904 B ABEL DRIVE
 COLUMBIA, PA 17512
 PH: 717-522-5031
 Fax: 717-522-5046

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TABLE OF CONTENTS	
SHEET	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	SIGNATURES & NOTES
4	RECORD PLAN
5	GRADING PLAN
6	UTILITY PLAN
7	UTILITY DETAILS
8	GENERAL CONSTRUCTION DETAILS
ES1	EROSION & SEDIMENTATION CONTROL PLAN
ES2	EROSION & SEDIMENTATION CONTROL DETAILS
ES3	EROSION & SEDIMENTATION CONTROL NARRATIVE

ACT 287 UTILITY INFORMATION
 (SERIAL NUMBER: 20211123505)

SANITARY SEWER
 UNIVERSITY AREA JOINT AUTHORITY
 1576 SPRING VALLEY ROAD
 STATE COLLEGE, PA 16801
 PHONE: (814) 238-9662

PUBLIC WATER
 STATE COLLEGE BOROUGH WATER AUTHORITY
 1201 WEST BRANCH ROAD
 STATE COLLEGE, PA 16801
 PHONE: (814) 238-6766

NATURAL GAS
 COLUMBIA GAS OF PENNSYLVANIA
 2550 CAROLEAN INDUSTRIAL DRIVE
 STATE COLLEGE, PA 16801
 PHONE: (814) 238-6775

ELECTRIC
 WEST PENN POWER COMPANY
 2800 EAST COLLEGE AVENUE
 STATE COLLEGE, PA 16801
 PHONE: (814) 237-5721

TELEPHONE
 VERIZON
 224 SOUTH ALLEN STREET
 STATE COLLEGE, PA 16801
 PHONE: (814) 231-6511

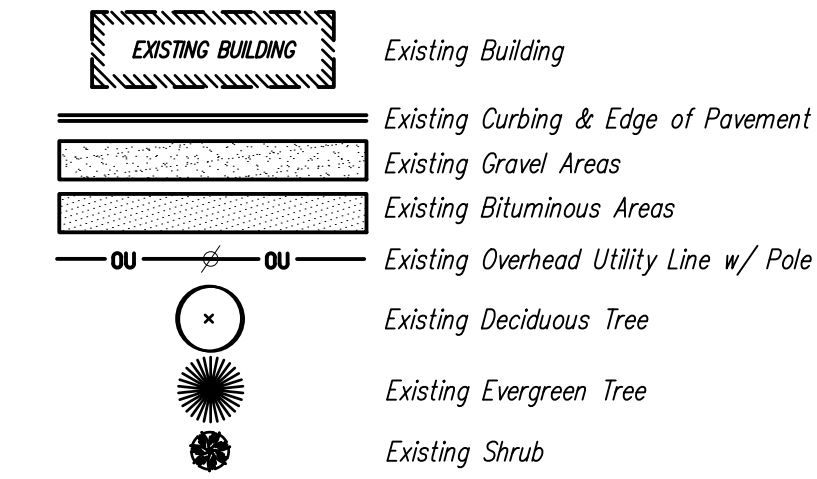
CABLE TELEVISION
 COMCAST
 60 DECIBEL ROAD
 STATE COLLEGE, PA 16801
 PHONE: (800) 992-3515

BEFORE YOU DIG ANYWHERE IN
 PENNSYLVANIA | CALL 1-800-242-1776
 NON-MEMBERS MUST BE CONTACTED DIRECTLY

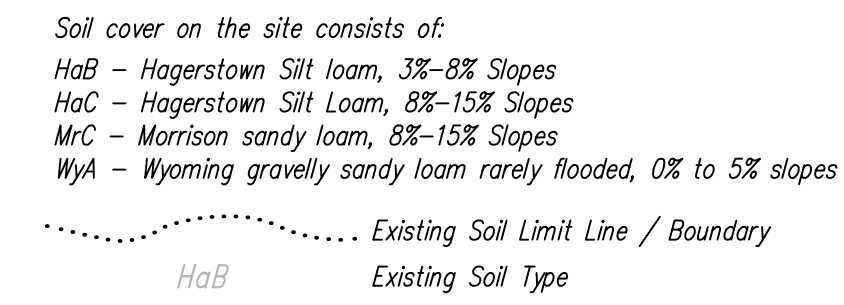
GENERAL SITE DEMOLITION NOTES

- The Contractor is responsible for obtaining all local and state permits required for demolition work.
- The Contractor shall indemnify and hold harmless the Owner and/or architect and engineer for any and all injuries and/or damages to personnel, equipment and/or existing facilities in the demolition and construction described in the plans and specifications.
- Existing conditions as depicted on these plans are general and illustrative in nature and do not include mechanical, electrical and miscellaneous structures. It is the responsibility of the Contractor to examine the site and be familiar with existing conditions prior to bidding on the demolition work for this project. If conditions encountered during examination are significantly different than those shown, the Contractor shall notify the architect and engineer immediately.
- All existing utilities not to be removed or abandoned are to remain operational at all times. Appropriate existing utilities shall remain in service until replacement/relocated utilities are operational.
- Existing above and below ground structures within the limits of new construction noted to be removed shall be razed unless noted otherwise this construction set, architectural plans and/or project specifications. This includes foundation slabs, walls, and footings.
- All demolition waste and construction debris shall be removed by the Contractor and disposed of in a state approved waste site and in accordance to all local and state codes and permit requirements.
- All utility removal, relocation, cutting, capping and/or abandonment shall be coordinated with the appropriate utility company.
- The burning of cleared material and debris shall not be allowed.
- Erosion and sedimentation control measures around areas of demolition shall be installed prior to initiation of demolition activities. Refer to plan and details for site specific information including tree protection details, if necessary.
- Asbestos or hazardous materials, if found on site, shall be removed by a licensed hazardous materials Contractor. Contractor shall notify Owner immediately if hazardous materials are encountered.
- Contractor shall protect all corner pins, monuments, property corners, and benchmarks during demolition activities. If disturbed, Contractor shall have disturbed items reset by a licensed surveyor at no additional cost to the Owner.
- Contractor shall adhere to all local, state, federal, and OSHA regulations operating demolition equipment around utilities.
- Contractor shall provide and maintain traffic control measures in accordance with the PennDOT & Township standards, and as required by local agencies working in and/or along streets, roads, highways, etc. It shall be the Contractor's responsibility to obtain approval and coordinate with local and/or state agencies regarding the need, extent, and limitations associated with installing and maintaining traffic control measures.
- Contractor shall protect at all times adjacent structures and items from damage due to demolition activities.
- Contractor shall coordinate existing facilities utility disconnects with the Owner a minimum 7 days prior to anticipated demolition of structures.
- Contractor shall refer to Construction Plans for other pertinent information where applicable.
- Contractor shall replace or repair to Owner's satisfaction all curb, utilities, sidewalks, landscaping, etc. damaged during construction that are not indicated to be removed.
- Contractor shall be responsible for all costs and work required to adjust existing and proposed utilities and appurtenances to finish grades within the limit of work.
- All paving to be removed shall be sawcut to provide a sharp clean edge. All sidewalks to be removed shall be sawcut at the nearest joint. Existing pavement shall be removed as required for new curb, walkway, or utility construction.
- Contractor shall verify the location of manholes, inlets valves, etc. Contractor shall test pit existing utilities as deemed necessary within the limits of construction to determine the exact location and depth as required. Report any discrepancies from that indicated on the plan to the architect. All existing utilities shall be retained unless marked otherwise, and appurtenances shall be adjusted to final grade. Damage to existing conditions and utilities to remain shall be repaired as required to the Owner's satisfaction at the expense of the Contractor.
- Contractor shall coordinate with utilities companies on installation, relocation or replacement of electrical, phone, gas and cable services.

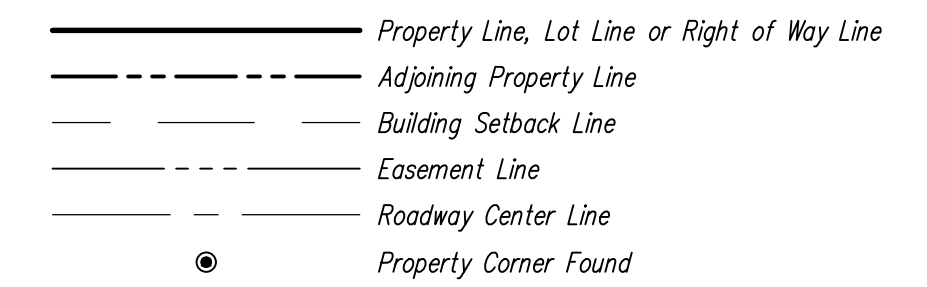
DEMOLITION FEATURES LEGEND



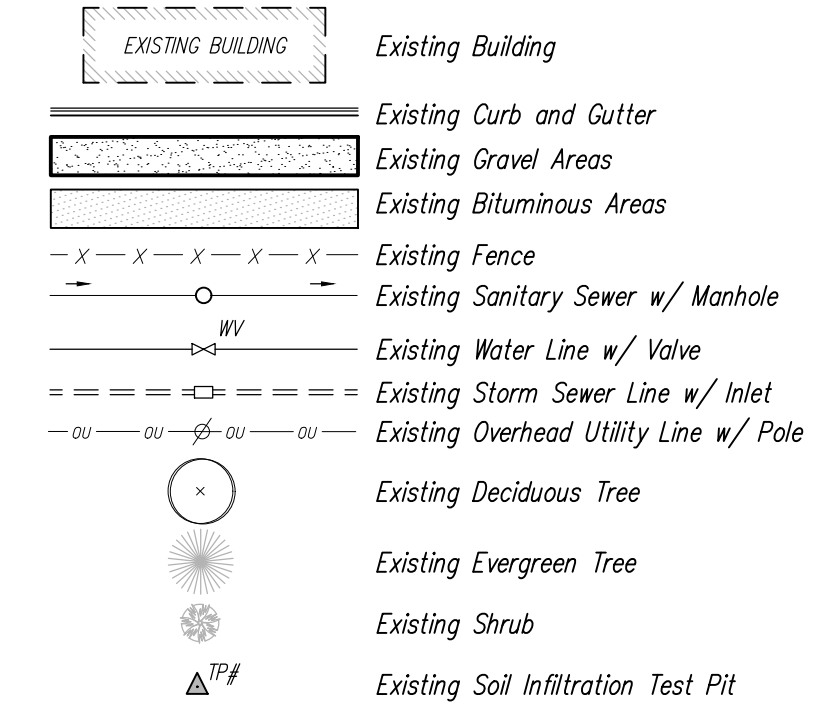
SOILS LEGEND



SURVEY FEATURES LEGEND



EXISTING FEATURES LEGEND

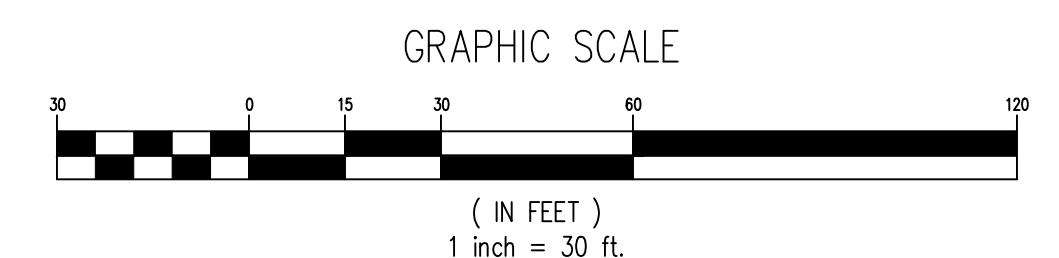
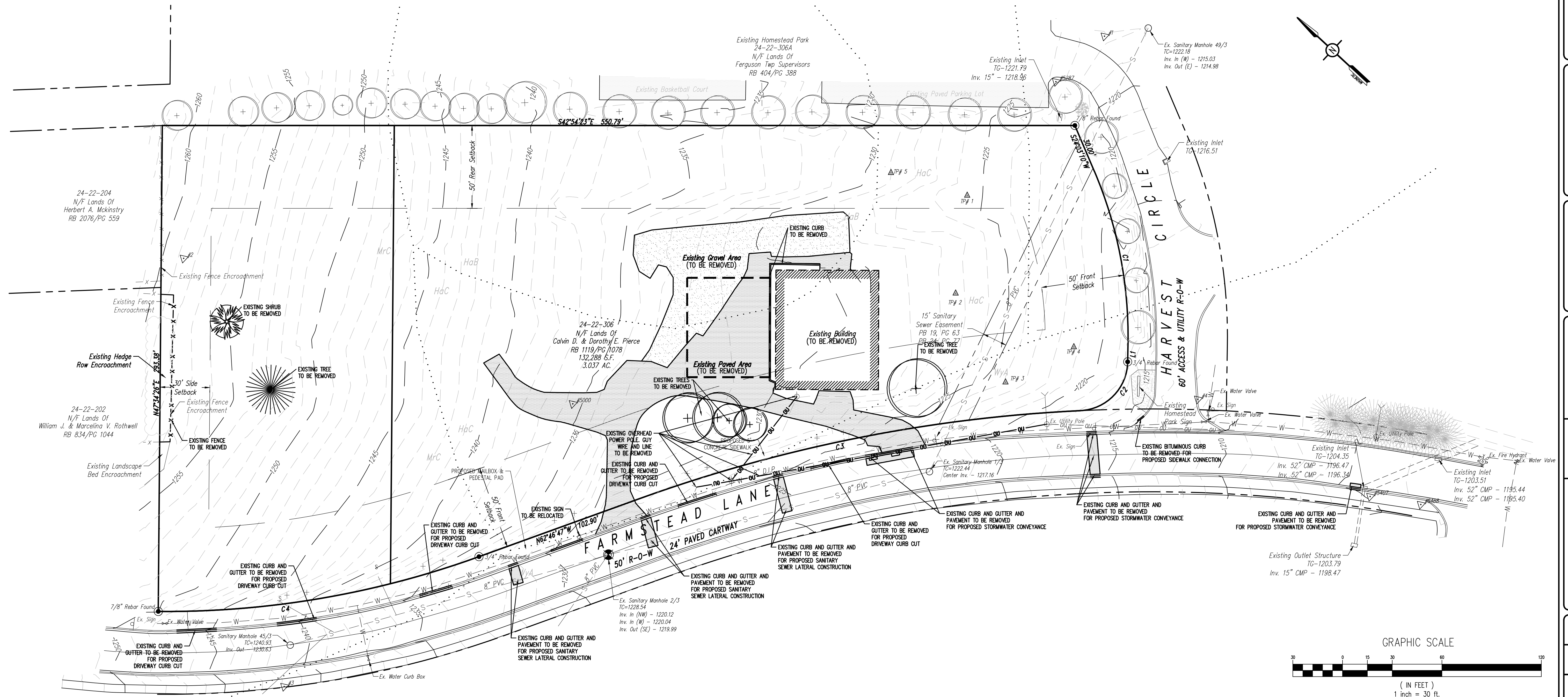


EXISTING CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C1	106.74'	255.00'	54.16'	N 36° 02' 40" E	105.96'	23° 59' 00"
C2	45.21'	30.00'	28.14'	S 88° 47' 38" E	41.05'	86° 20' 25"
C3	272.48'	910.00'	137.27'	N 54° 12' 06" W	271.46'	17° 09' 22"
C4	197.41'	555.81'	99.76'	S 52° 36' 17" E	196.37'	20° 21' 00"

EXISTING LINE TABLE

LINE	DIRECTION	LENGTH
L1	S 48° 02' 10" W	11.06'

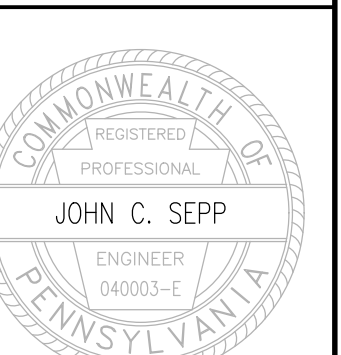


CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

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Designer	MLH
Draftsman	XXX
Proj. Manager	MAT
Surveyor	BRK
Perimeter Ok.	
Book	Pg
File	2020-PRC-02-ELCON & DEMO
Layout	EX. CON & DEMO

Date	Description
	REVISIONS

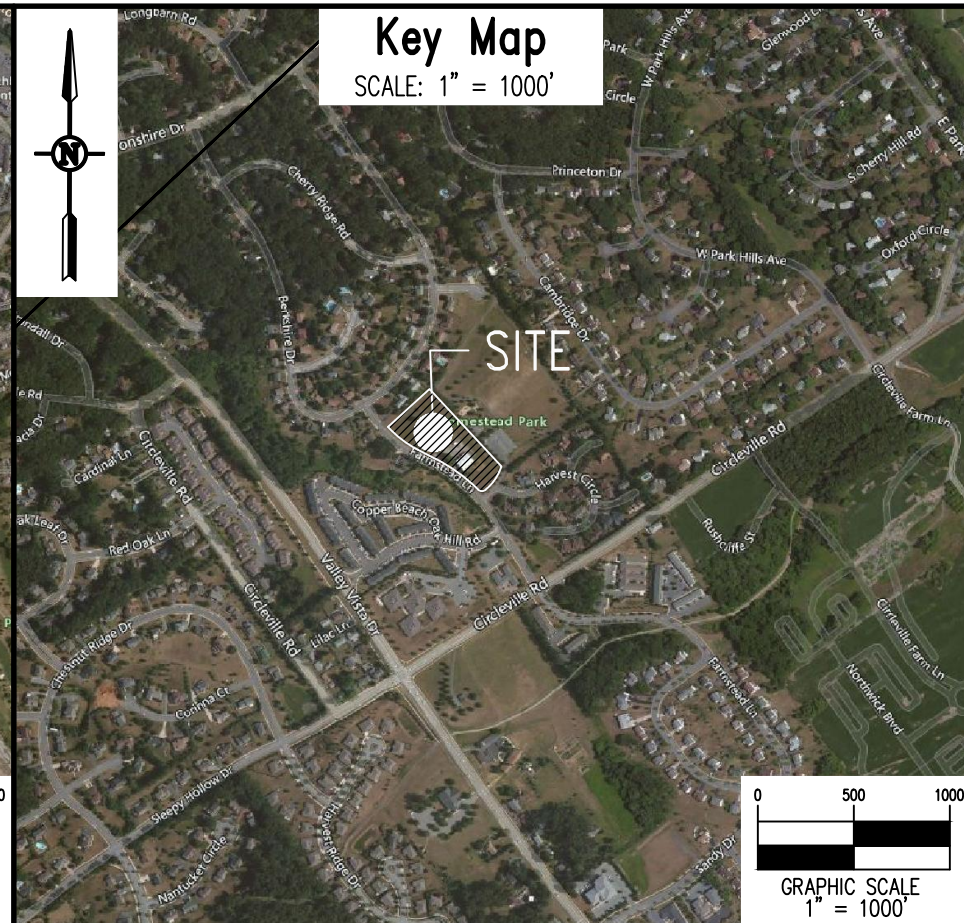
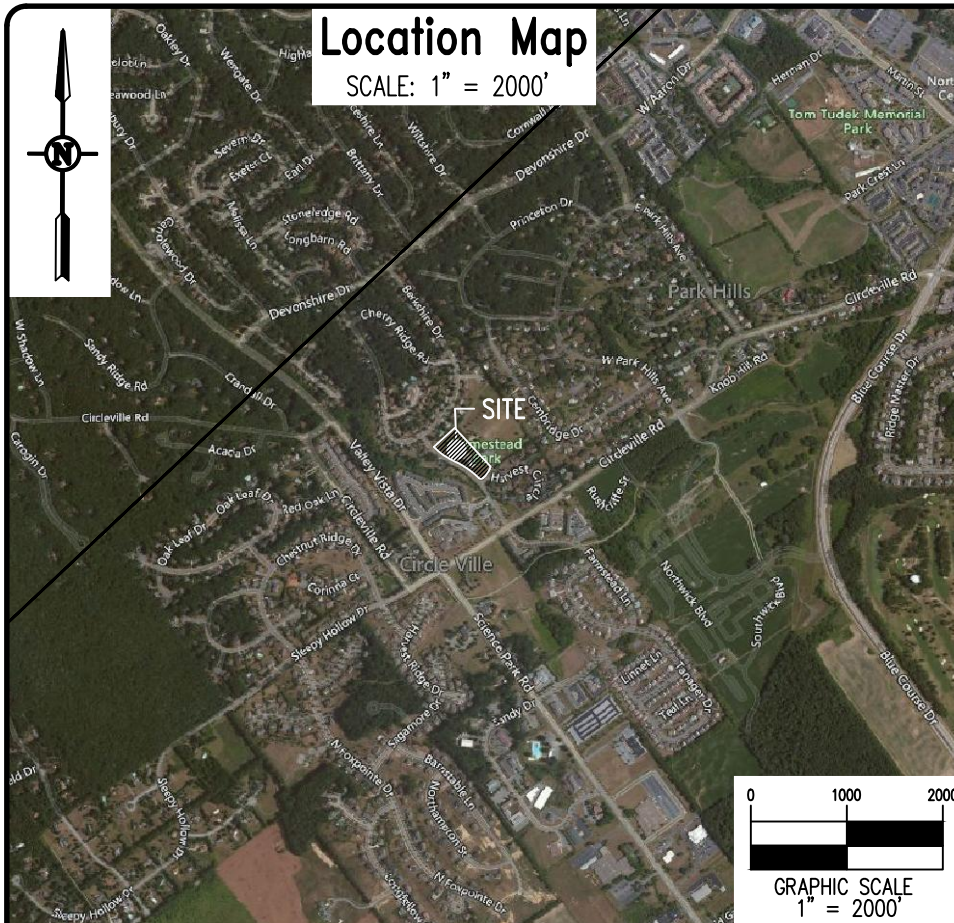
FARMSTEAD VIEW

FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY SUBDIVISION PLAN

EXISTING CONDITIONS & DEMOLITION PLAN

PROJECT NO.	20290
DATE	JULY 29, 2021
SCALE	1" = 30'
SHEET NO.	2



Project Notes:

- General Site Information:
 - a. Owner Information: Calvin D. & Dorothy E. Pierce
67 Fields Drive
New Castle, PA 16101
 - b. Developer Information: Farmstead Developer, LLC
1764 Cambridge Drive
State College, PA 16803
 - c. Tax Parcel Number: 24-22-306
 - d. Deed Information: Record Book 1119, Page 1078
 - e. Property Address: 139 Farmstead Lane
State College, PA 16801
 - f. Municipality: Ferguson Township
 - g. Zoning: Single Family Residential District (R-1)
 - h. Existing Site Use: Storage Building
 - i. Proposed Site Use: Single Family Residential
 - j. Lot Size: 3.037 AC (132,288 SF)
 - k. Maximum Building Coverage: 30% (39,686 SF)
 - l. Proposed Building Coverage: 0.00% (0 SF) (12.85%, 17,000 S.F. Assumed for stormwater design. Separate site plans to be submitted for Zoning Permit for each lot.)
 - m. Maximum Impervious Coverage: 50% (66,144 SF)
 - n. Proposed Impervious Coverage: Pavement/Concrete Area: 2.05% (2,712 SF) (Proposed Sidewalk)
Residential Lots Impervious: 20.24% (26,775SF) (Assumed Lot Development - Dwelling, Driveway & Entrance Walks)
Total Impervious Coverage: 22.29% (29,487 SF)
 - o. Maximum Building Height: 40'
 - p. Proposed Building Height: 0' (No Buildings Proposed)
 - q. Total Number of Lots: 7 (Includes 6 Residential Lots and 1 Stormwater Management Lot)

- Building Setbacks:
 - Existing: Proposed Single Family Residential (R-1):
Front: 50' Front: 25'
Side: 30' Side: 10'
Rear: 50' Rear: 30'
- purpose of this plan is to subdivide existing Tax Parcel Number 24-22-306 into 6 Single Family Residential lots, 1 Stormwater Management Lot, and install all associated utilities.

- Act 287 Utility Information: (Serial Number: 2021123505)
All utility locations should be verified prior to any construction. utility information and locations should be considered approximate. contractor shall notify pa one call prior to any excavation.
 - a. Water: State College Borough Water Authority
1201 West Branch Road, State College, PA 16801; (814) 238-6766
 - b. Sanitary Sewer: University Area Joint Authority
1576 Spring Valley Road, State College, PA 16801; (814) 238-9662
 - c. Telephone: Verizon
224 South Allen Street, State College, PA 16801; (814) 231-6511
 - d. Electric: West Penn Power Company
2800 East College Avenue, State College, PA 16801; (814) 237-5821
 - e. Cable television: Comcast
60 Decibel Road, State College, PA 16801; (800) 992-3515
 - f. Gas: Columbia Gas of Pennsylvania
2550 Carolean Drive, State College, PA 16801; (814) 238-6775
 - g. Stormwater & Traffic Signals: Ferguson Township
3147 Research Drive, State College, PA 16801; (814) 238-4651

- Natural Site Features & Survey Information:
 - a. Soil limits and descriptions have been taken from the Natural Resources Conservation Service Web Soil Survey dated June 2020.
 - b. There are no wetlands on the site according to the National Wetland Inventory Mapping (U.S. Fish & Wildlife Service) for State College, PA last updated July 2019.
 - c. There are no portions of this site within Flood Plain according to the Federal Emergency Management Agency (FEMA) Map Number 4202700617F, effective date May 4, 2009.
 - d. Contours shown are taken from survey data collected in the field by PennTerra Engineering, Inc.
 - e. Horizontal Datum is Pennsylvania North Zone State Plane Coordinates, North American Datum of 1983 (PA NAD83) U.S. Feet.
 - f. Elevation Datum is the North American Vertical Datum of 1988 (NAVD 88).
 - g. The Project Benchmark is a Sanitary Manhole (Manhole 2/3) in the center of Farmstead Lane, TC Elevation = 1228.54.
 - h. There are no sinkholes on site according to the Preliminary Geologic Investigation prepared by DMT Laboratories, Inc., dated June 15, 2021.

- Easement Information:
 - a. There is a 10' Utility and Sidewalk Easement located along the street frontage of all lots on Farmstead Lane.
 - b. There is a 20' Stormwater Easement thru Lots 2-6. Easement shall be created by and included in the deed for these lots.
 - c. There is a 10' Sanitary Sewer Easement thru Lot 2 to serve Lot 1. Easement shall be created by and included in the deed for these lots.
 - d. There is an Existing Sanitary Sewer Easement thru Lot 7. Easement shall be created by and included in the deed for these lots.
- Street Lighting: Each lot shall be equipped with a "dusk 'til dawn" photocell controlled lamp on a post placed on the front lawn within 15' of the driveway.
- Any signage required by the Township shall be acquired and erected at the expense of the developer.
- Property monuments and pins shall be set after lot development and landscaping is completed.
- Farmstead Lane is an existing road with a 50' R-O-W and a 26' paved cartway.
- All pedestrian walkways, drainage easements, detention basins, and all drainage structures located outside of the street R-O-W shall be maintained by the Farmstead View's Home Owner's Association in accordance with the recorded HOA documents. All sidewalks adjacent to residential lots shall be maintained in accordance with the recorded HOA documents.

- For additional information, refer to:
 - a.
 - b.
 - c. A Stormwater Management Site Plan Report/PCSM Plan and Soil Erosion & Sedimentation Control Plan have been prepared for Farmstead View, dated July 29, 2021.
 - d. "Infiltration Analysis, 139 Farmstead Lane" prepared by DMT Laboratories, Inc., dated June 16, 2021.
- As-Built drawings/documentation of the stormwater management facilities must be prepared in accordance with Chapter 26 §26-402D.4 and submitted to Ferguson Township at the completion of construction as a prerequisite of the release of surety and issuance of Occupancy Permit.

- Street trees along Farmstead Lane shall be as follows: (Min. Spacing: 41', Max. Spacing: 50', Min. Caliper: 2") (Refer to Record Plan, Sheet 4). Due to potential conflicts with driveway entrances and construction equipment, the installation of street trees within this subdivision shall be done all at the same time after all sidewalks are completed in this phase. Street tree planting shall be in compliance with Chapter 25 (Shade Trees) of the Ferguson Township Subdivision Ordinance.
- No structure is required to have a built-in fire suppression system.
- This Record Plan Conforms with the plan receiving final approval by the Ferguson Township Board of Supervisors on _____, All improvements are or will be installed in accordance with such plan in a manner and time so specified therein.
- No land is being dedicated to public use. A fee-in-lieu payment of \$17,640 will be provided by the developer to meet the parkland requirement. The calculations for this payment are as follows based on the Ferguson Township 2019 Fee Schedule:
Parkland fee-in-lieu = \$1,225.00 per person. Fee is based on 2.4 dwelling units per acre
\$1,225.00 per person * 2.4 persons per dwelling unit = \$2,940 per dwelling unit
\$2,940 per dwelling unit * 6 dwelling units = \$17,640 fee-in-lieu payment
- No more than 6 dwelling units may be constructed on the land which is the subject of this Subdivision Plan unless additional land is dedicated to the Township of Ferguson for parkland and/or the Board of Supervisors accepts an additional fee-in-lieu of dedication of parkland.
- The 20' Stormwater Access Easement between Lots 1-7 shall be subject to the following; No structures, landscaping & above ground obstructions shall be located within the Easement Area except for the Easement delineation items proposed and shown on the Record Plan. The 20' Easement area is to be kept open for access and shall be maintained in accordance with the recorded HOA Documents.

Owner's Certification: TP# _____

State of _____
County of _____

On this the _____ day of _____, 20____

I, _____ personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

witness my hand and seal, this date _____

Notary Public _____ Commission Expires _____

Storm Water Facilities Acknowledgement

I/We, _____ the landowner(s), my/our heirs and assigns, acknowledge the Stormwater Management System to be a permanent facility which can be altered or removed only after approval of a revised plan by the Ferguson Township Board of Supervisors. The stormwater management system is to be maintained in accordance with the approved ownership and maintenance program.

Professional Land Surveyor Certification

I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

Signature _____ Date _____

Storm Water Certification

I, _____ hereby certify that the Stormwater Management Plan meets all design standards and criteria of the Ferguson Township Stormwater Management Ordinance.

Design Engineer Certification

I, _____ hereby certify that this land development meets all design requirements of the Subdivision and Land Development Ordinance, Zoning Ordinance and all other applicable Chapters of Ferguson Township Code.

Township Engineer Certification

I, _____ have reviewed and hereby certify that the plan meets all engineering design standards and criteria of the Ferguson Township Code of Ordinances.

Municipal Storm Water Certification

I, _____, 20____ have reviewed the Stormwater Management Plan in accordance with the design standards and criteria of the Ferguson Township Stormwater Management Ordinance.

Township Planning Commission

Ferguson Township Planning Commission Approved

Chairman _____ Date _____
Secretary _____ Date _____

Township Supervisors

Ferguson Township Supervisors Approved

Chairman _____ Date _____
Secretary _____ Date _____

Fire Chief Certification

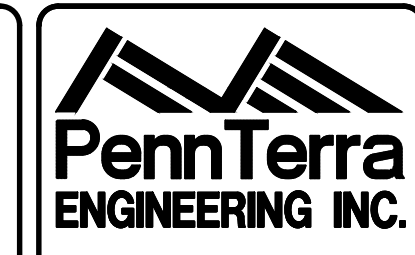
I have reviewed and hereby certify that the location of Fire Lanes and Fire Hydrants shown on this plan are adequate.

Fire Chief _____ Date _____

STORMWATER FACILITIES MAINTENANCE PROGRAM:
ALL STORMWATER MANAGEMENT FACILITIES ON THE FARMSTEAD VIEW SITE NOT CONTAINED IN A FERGUSON TOWNSHIP RIGHT-OF-WAY SHALL BE OWNED AND MAINTAINED BY THE OWNER/DEVELOPER (FARMSTEAD DEVELOPER, LLC). FERGUSON TOWNSHIP SHALL HAVE THE UNINTERRUPTED RIGHT TO ACCESS THE PROPERTY TO INSPECT THE STORMWATER FACILITIES. THE FACILITIES THAT WILL REQUIRE MAINTENANCE ARE THE INLETS, STORM SEWER PIPES, DETENTION BASIN WITH CONSTRUCTED FILTER, INFILTRATION BASIN AND ALL BASIN OUTLET STRUCTURES. ALL STORMWATER FACILITIES SHOULD BE INSPECTED AND MAINTAINED AS FOLLOWS:

STORMWATER BMP MAINTENANCE ITEM	MAINTENANCE DUTY	OCCURRENCE INTERVAL
STORM SEWER INLETS AND PIPES	STORM SEWER INLETS AND PIPES SHALL BE CLEANED OF ALL DEBRIS, LITER, AND OTHER DELETERIOUS MATERIAL.	MONTHLY OR AFTER EACH RAINFALL EVENT PRODUCING 1" OR MORE OF RAINFALL
RIP RAP APRONS	THE RIP-RAP APRONS AT THE OUTLETS OF THE PIPES NEED TO BE INSPECTED TO ENSURE PROPER EROSION PROTECTION. IF EROSION OCCURS, ADDITIONAL RIP-RAP SHOULD BE ADDED.	MONTHLY OR AFTER EACH RAINFALL EVENT PRODUCING 1" OR MORE OF RAINFALL
DETENTION BASINS WITH CONSTRUCTED FILTER-GENERAL	THE STORMWATER DETENTION BASIN WITH CONSTRUCTED FILTER SHALL BE CLEANED OF DEBRIS AND IF ANY EROSION IS PRESENT THE AREA IS TO BE BACKFILLED WITH TOPSOIL AND SEEDED WITH A PERMANENT MIXTURE. THE OUTLET STRUCTURES SHALL BE KEPT CLEAN OF TRASH AND DEBRIS.	MONTHLY OR AFTER EACH RAINFALL EVENT PRODUCING 1" OR MORE OF RAINFALL
DETENTION BASIN WITH CONSTRUCTED FILTER - VEGETATION - FIRST GROWING SEASON	ONE END OF SEASON MOWING SHALL BE DONE IN LATE FALL/WINTER. USE A WALK BEHIND BRUSH HOG MOWER OR STRING TRIMMER TO TRIM THE MEADOW TO A HEIGHT OF 8" (NOTE: A LAWN MOWER IS NOT RECOMMENDED AS THE MOWER HEIGHT WILL BE TOO LOW AND NATIVE SEEDINGS WILL BE KILLED). MOWING SHOULD CEASE BY MID-SEPTEMBER. PROBLEM WEEDS SHOULD BE HAND PULLED OR SPOT SPRAYED WITH AN APPROVED HERBICIDE (SUCH AS RODEO). ALL CLIPPINGS IN EXCESS OF TWO INCHES IN LENGTH SHALL BE REMOVED FROM THE BASIN.	AS REQUIRED WITHIN FIRST GROWING SEASON
DETENTION BASIN WITH CONSTRUCTED FILTER - VEGETATION SECOND GROWING SEASON AND BEYOND	TRIM STANDING PLANTS CLOSE TO THE GROUND (APPROXIMATELY 2"), IT WILL REDUCE THE LIKELIHOOD OF THE MEADOW BEING INVADED BY SHRUBS. PROBLEM WEEDS SHOULD BE HAND PULLED OR SPOT SPRAYED WITH AN APPROVED HERBICIDE (SUCH AS RODEO). ALL CLIPPINGS IN EXCESS OF TWO INCHES IN LENGTH SHALL BE REMOVED FROM THE BASIN. IF PONDING WATER REMAINS WITHIN THE BASIN MORE THAN 72 HOURS AFTER A STORM EVENT, TILING OF THE FILTER MEDIA ON THE BASIN BOTTOM IS NEEDED. REPLACEMENT OF THE FILTER MEDIA MAY BE NECESSARY IF DEWATERING PROBLEMS CONTINUE.	ANNUALLY IN FALL
INFILTRATION BASIN - GENERAL	THE STORMWATER INFILTRATION BASIN SHALL BE CLEANED OF DEBRIS AND IF ANY EROSION IS PRESENT THE AREA IS TO BE BACKFILLED WITH TOPSOIL AND SEEDED WITH A PERMANENT MIXTURE. THE OUTLET STRUCTURES SHALL BE KEPT CLEAN OF TRASH AND DEBRIS. VEHICULAR TRAFFIC IN INFILTRATION BASIN SHALL BE LIMITED TO THE MAXIMUM EXTENT POSSIBLE. NO VEHICULAR TRAFFIC SHOULD OPERATE WITHIN THE BASIN BOTTOM WHEN THE SOILS ARE SATURATED.	MONTHLY OR AFTER EACH RAINFALL EVENT PRODUCING 1" OR MORE OF RAINFALL
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INFILTRATION BASIN - VEGETATION SECOND GROWING SEASON AND BEYOND	TRIM STANDING PLANTS CLOSE TO THE GROUND (APPROXIMATELY 2"), IT WILL REDUCE THE LIKELIHOOD OF THE MEADOW BEING INVADED BY SHRUBS. PROBLEM WEEDS SHOULD BE HAND PULLED OR SPOT SPRAYED WITH AN APPROVED HERBICIDE (SUCH AS RODEO). ALL CLIPPINGS IN EXCESS OF TWO INCHES IN LENGTH SHALL BE REMOVED FROM THE BASIN. VEHICULAR TRAFFIC IN INFILTRATION BASIN SHALL BE LIMITED TO THE MAXIMUM EXTENT POSSIBLE. NO VEHICULAR TRAFFIC SHOULD OPERATE WITHIN THE BASIN BOTTOM WHEN THE SOILS ARE SATURATED.	ANNUALLY IN FALL

* DOCUMENTATION OF INSPECTIONS MUST BE MAINTAINED BY THE OWNER AND SUBMITTED TO TOWNSHIP UPON REQUEST. MAINTENANCE INSPECTIONS MAY BE PERFORMED BY THE TOWNSHIP TO ENSURE PROPER FUNCTIONING OF ALL STORMWATER FACILITIES.



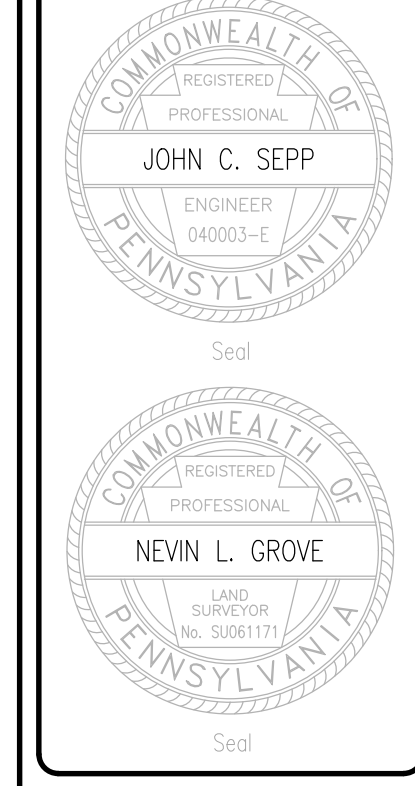
Central Pennsylvania Region Office:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

Lancaster Region Office:
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COLUMBIA, PA 17512
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Designer _____ MLH
Draftsman _____ MLH
Proj/Manager _____ MAT
Surveyor _____ BRK
Perimeter Ok _____
Book _____ Pg _____
File: 2020-03-SIGNATURES & NOTES
Layout: _____ SIG&NOTES

Date	Description

FARMSTEAD VIEW

FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

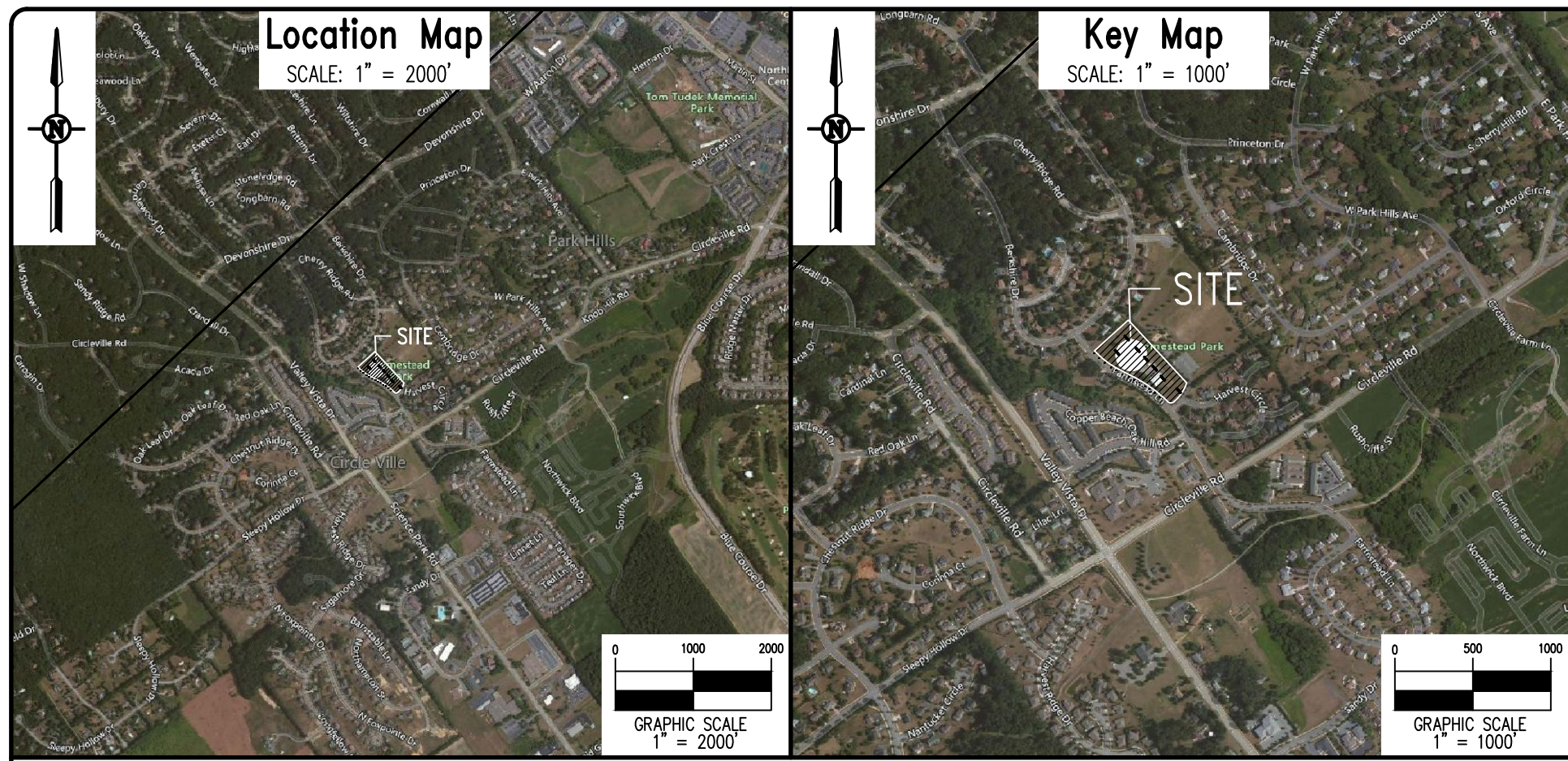
PRELIMINARY SUBDIVISION PLAN

SIGNATURES & NOTES

PROJECT NO.
20290

DATE
JULY 29, 2021

SCALE: AS SHOWN SHEET NO.: **3**



EXISTING CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C1	106.74'	255.00'	54.16'	N 36° 02' 40" E	105.96'	23° 59' 00"
C2	45.21'	30.00'	28.14'	S 88° 47' 38" E	41.05'	86° 20' 25"
C3	272.48'	910.00'	137.27'	N 54° 12' 06" W	271.46'	17° 09' 22"
C4	197.41'	555.81'	99.76'	S 52° 36' 17" E	196.37'	20° 21' 00"

EXISTING LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S 48° 02' 10" W	11.06'

PROPOSED CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C5	96.12'	910.00'	48.10'	N 48° 38' 58" W	96.07'	6° 03' 07"
C6	81.76'	910.00'	40.91'	N 54° 14' 58" W	81.73'	5° 08' 52"
C7	83.70'	910.00'	41.88'	N 59° 27' 30" W	83.67'	5° 16' 12"
C8	10.90'	910.00'	5.45'	N 62° 26' 11" W	10.90'	0° 41' 11"
C9	55.89'	555.81'	27.97'	S 59° 53' 57" E	55.86'	5° 45' 39"
C10	81.41'	555.81'	40.78'	S 52° 49' 22" E	81.34'	8° 23' 31"
C11	60.12'	555.81'	30.09'	S 45° 31' 42" E	60.09'	6° 11' 50"

PROPOSED LINE TABLE		
LINE	DIRECTION	LENGTH
L2	N 62° 46' 47" W	74.40'
L3	N 62° 46' 47" W	28.49'

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- Property Corner Found
- Property Corner To Be Set

EXISTING FEATURES LEGEND

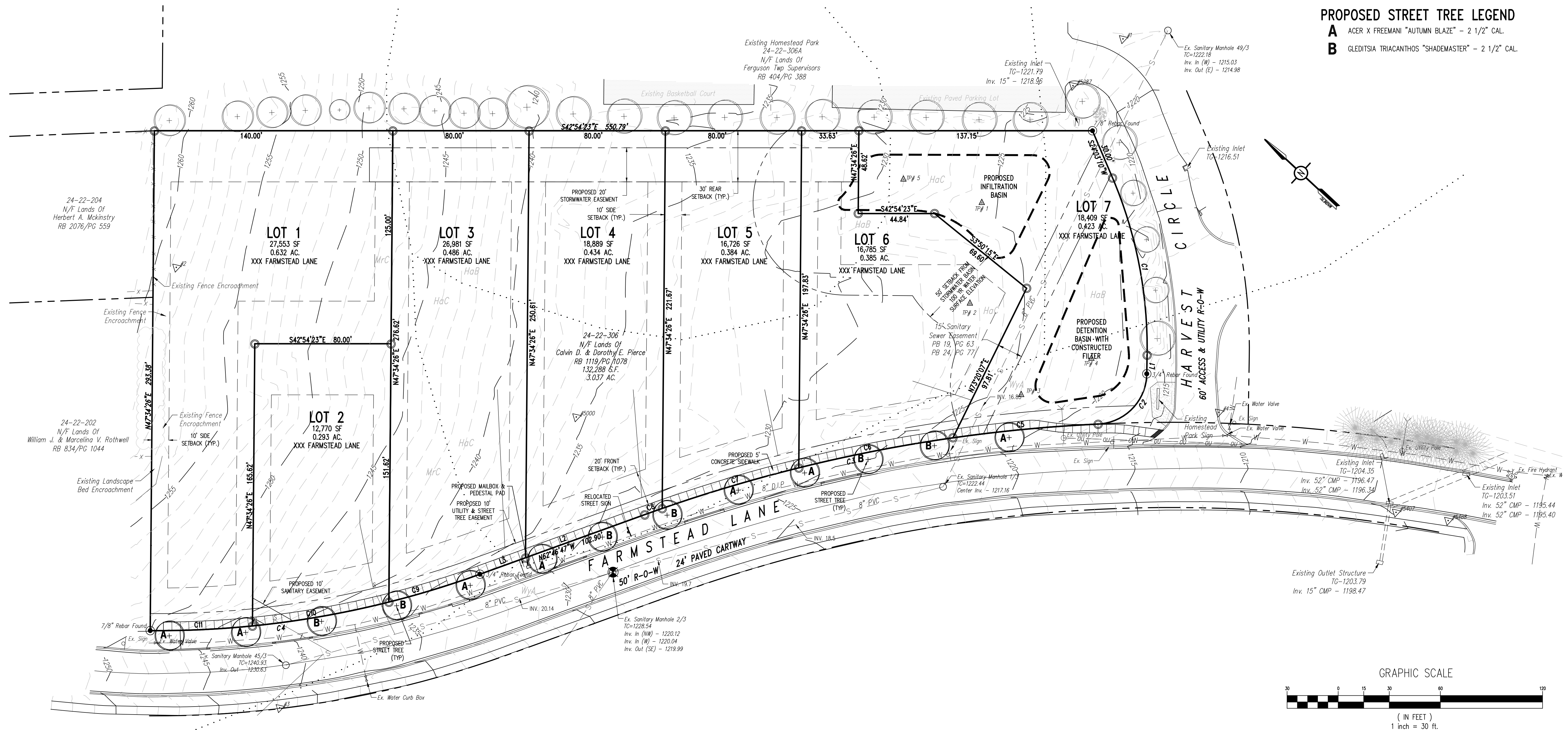
- Existing Building
- Existing Curb and Gutter
- Existing Gravel Areas
- Existing Bituminous Areas
- Existing Fence
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Overhead Utility Line w/ Pole
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub
- Existing Soil Infiltration Test Pit

SOILS LEGEND

- Soil cover on the site consists of:
- HaB - Hagerstown Silt loam, 3%-8% Slopes
 - HaC - Hagerstown Silt loam, 8%-15% Slopes
 - McC - Morrison sandy loam, 8%-15% Slopes
 - WyA - Wyoming gravelly sandy loam rarely flooded, 0% to 5% slopes
- Existing Soil Limit Line / Boundary
- Existing Soil Type

PROPOSED STREET TREE LEGEND

- A** ACER X FREEMANI "AUTUMN BLAZE" - 2 1/2" CAL.
- B** GLEDITSIA TRIACANTHOS "SHADEMASTER" - 2 1/2" CAL.



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JOHN C. SEPP
 REGISTERED PROFESSIONAL ENGINEER
 ENGINEER 04003-E

NEVIN L. GROVE
 REGISTERED PROFESSIONAL LAND SURVEYOR
 No. 5001171

Designer	MLH
Draftsman	MLH
Proj. Manager	MAT
Surveyor	BRK
Perimeter Ok.	
Book	Pg
File	2020-PR-04-RECORD
Layout	RECORD

Date	Description
	REVISIONS

FARMSTEAD VIEW

FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY SUBDIVISION PLAN

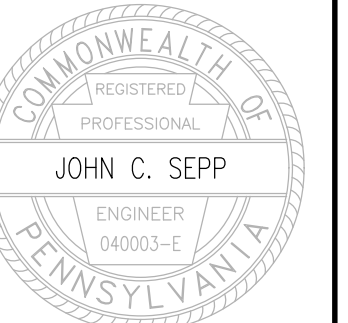
RECORD PLAN

PROJECT NO.
20290

DATE
JULY 29, 2021

SCALE SHEET NO.
1"=30' 4

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Designer	MLH
Draftsman	MLH
Proj/Manager	MAT
Surveyor	BRK
Perimeter Ok.	
Book	Pg
File	2020-PR-05-GRADING
Layout	GRADING

Date	Description
	REVISIONS

FARMSTEAD VIEW

FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

**PRELIMINARY
SUBDIVISION PLAN**

GRADING PLAN

PROJECT NO.	20290
DATE	JULY 29, 2021
SCALE	SHEET NO.
1" = 30'	5

GRADING NOTES

- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PENNTERRA, THE CURRENT REQUIREMENTS OF THE FERGUSON TOWNSHIP, THE APPLICABLE SECTIONS OF THE PENNDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PA ONE CALL 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- MAXIMUM SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) EXCEPT WHERE SPECIFICALLY NOTED.
- ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
- THE MAXIMUM SLOPE FOR ALL ON-SITE SIDEWALKS SHALL BE 4.90% WITH A MAXIMUM CROSS SLOPE OF 2.00% AND CURB RAMPS SHALL HAVE A MAXIMUM SLOPE OF 8.30%.
- CONTOURS SHOWN ARE GENERATED FROM A FIELD SURVEY BY PENNTERRA ENGINEERING, INC. AND ARE BASED ON AN ASSUMED ELEVATION. THE PROJECT BENCHMARK IS A SANITARY MANHOLE (MANHOLE 2/3) IN THE CENTER OF FARMSTEAD LANE. TC ELEVATION = 1228.54.

EXISTING FEATURES LEGEND

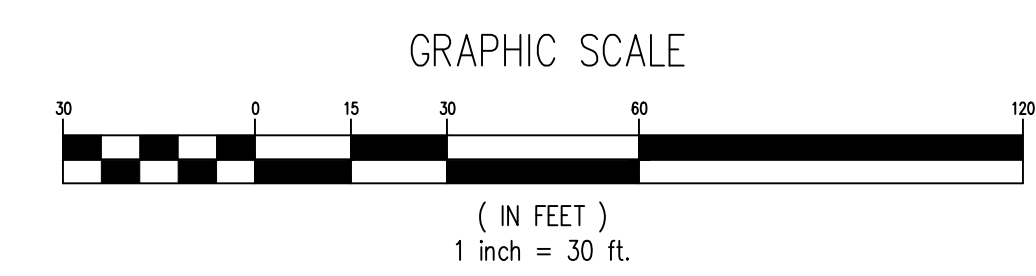
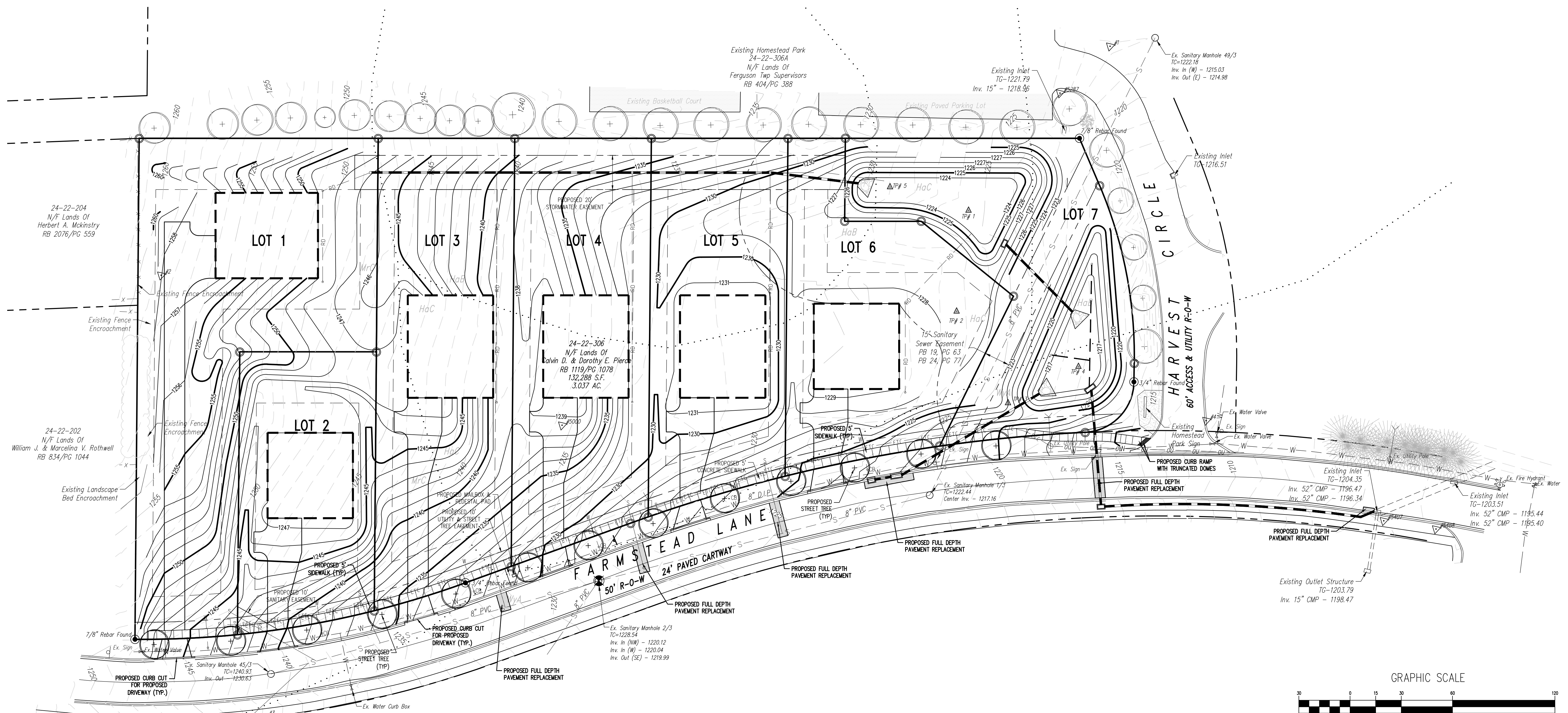
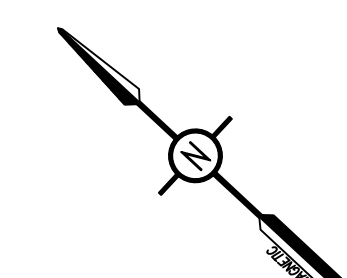
- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Gravel Areas
- Existing Bituminous Areas
- Existing Fence
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Overhead Utility Line w/ Pole
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub
- Existing Soil Infiltration Test Pit

SOILS LEGEND

- Soil cover on the site consists of:
- HaB - Hagerstown Silty loam, 3%-8% Slopes
 - HaC - Hagerstown Silty loam, 8%-15% Slopes
 - M/C - Morrison sandy loam, 8%-15% Slopes
 - WyA - Wyoming gravelly sandy loam rarely flooded, 0% to 5% slopes
- Existing Soil Limit Line / Boundary
- Existing Soil Type

PROPOSED FEATURES LEGEND

- PROPOSED CONCRETE SIDEWALK
- PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- PROPOSED 6" PVC SANITARY SEWER LATERAL W/ CLEAN OUT
- PROPOSED SINGLE UNIT DOMESTIC WATER SERVICE LATERAL W/ CURB BOX
- PROPOSED STORM SEWER W/ TYPE C INLET
- PROPOSED 8" STORM SEWER ROOF DRAIN (MIN SLOPE)
- PROPOSED COMBINED UTILITY CONDUIT
- PROPOSED APPROXIMATE HOUSE DEVELOPMENT AREA - SHOWN FOR GRADING PURPOSES ONLY. FINAL HOUSE FOOTPRINT FOR EACH LOT WILL BE SHOWN ON INDIVIDUAL LOT ZONING PERMIT SITE PLANS.



UTILITY NOTES

- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PENNTERRA ENGINEERING INC., THE CURRENT REQUIREMENTS OF THE FERGUSON TOWNSHIP, THE APPLICABLE SECTIONS OF THE PENNDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROMSIONS, AND POLICES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVI, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PA ONE CALL AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY OR REGULATORY AUTHORITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
- AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
- ALL SANITARY SEWER & WATER LINES SHALL HAVE 4' MINIMUM COVERAGE.
- ALL WATER SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE SUMMARY OF STATE COLLEGE BOROUGH WATER AUTHORITY PUBLIC WATER MAIN, SERVICE CONNECTION & FIRE HYDRANT SPECIFICATIONS FOR DEVELOPER/CONTRACTOR INSTALLATION.
- ALL SANITARY SEWER SERVICE LATERALS SHALL BE IN ACCORDANCE WITH THE UNIVERSITY AREA JOINT AUTHORITY'S STANDARDS AND SPECIFICATIONS. LATERAL CONNECTIONS TO SEWER MAIN FOR LOTS 3-6 SHALL BE BY UAJA.
- REFER TO THE LATEST FARMSTEAD VIEW STORMWATER MANAGEMENT SITE PLAN SET FOR STORMWATER DRAINAGE SYSTEM DESIGN INFORMATION.

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Gravel Areas
- Existing Bituminous Areas
- Existing Fence
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Overhead Utility Line w/ Pole
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub
- Existing Soil Infiltration Test Pit

SOILS LEGEND

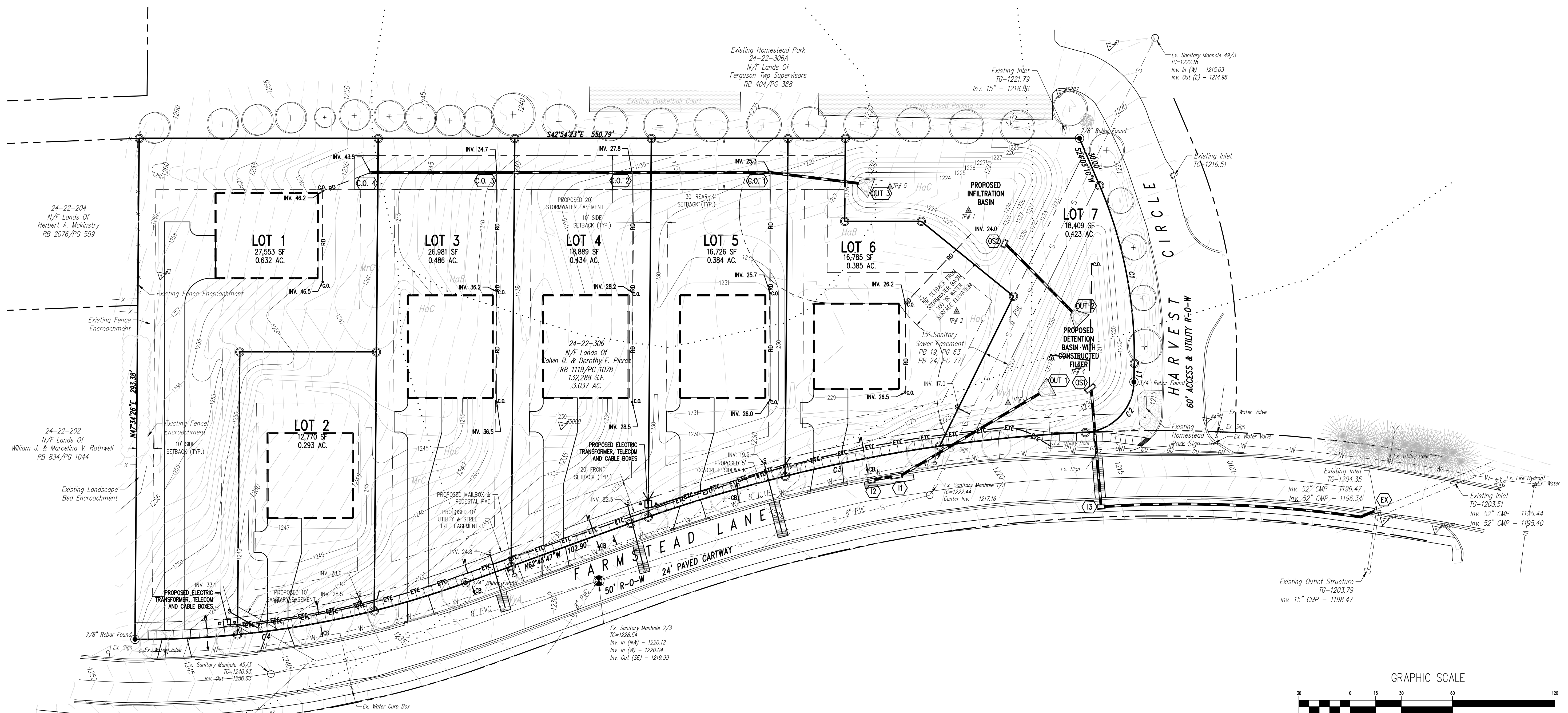
- Soil cover on the site consists of:
- HaB - Hagerstown Silt Loam, 3%-8% Slopes
 - HaC - Hagerstown Silt Loam, 8%-15% Slopes
 - MrC - Morrison sandy loam, 8%-15% Slopes
 - WyA - Wyoming gravelly sandy loam rarely flooded, 0% to 5% slopes
- Existing Soil Limit Line / Boundary
- Existing Soil Type

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- Property Corner Found
- Property Corner To Be Set

PROPOSED FEATURES LEGEND

- PROPOSED CONCRETE SIDEWALK
- PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
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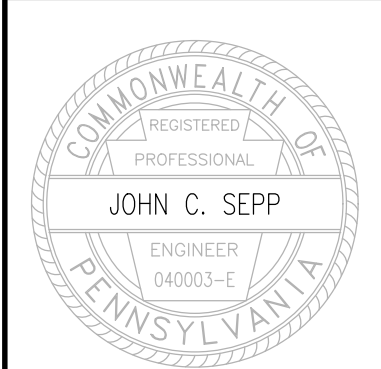


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Designer	MLH
Draftsman	XXX
Proj Manager	MAT
Surveyor	BRK
Perimeter Ok	
Book	Pg
File	2020-PR-06-UTILITY
Layout	UTILITY PLAN

Date	Description
	REVISIONS

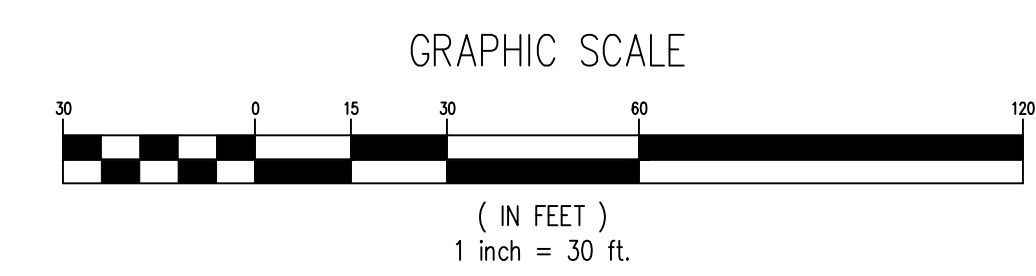
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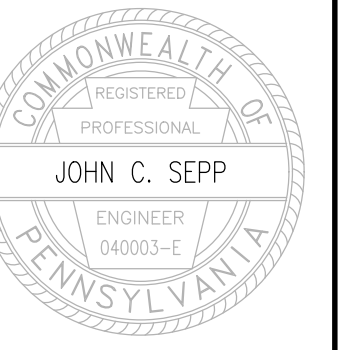
FARMSTEAD VIEW
 FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY SUBDIVISION PLAN

UTILITY PLAN

PROJECT NO.	20290
DATE	JULY 29, 2021
SCALE	1" = 30'
SHEET NO.	6





Designer	MLH
Draftsman	MLH
Proj Manager	MAT
Surveyor	BRK
Perimeter Ok.	
Book	Pg
File	2020-PRJ-08-DETAILS
Layout	DETAILS

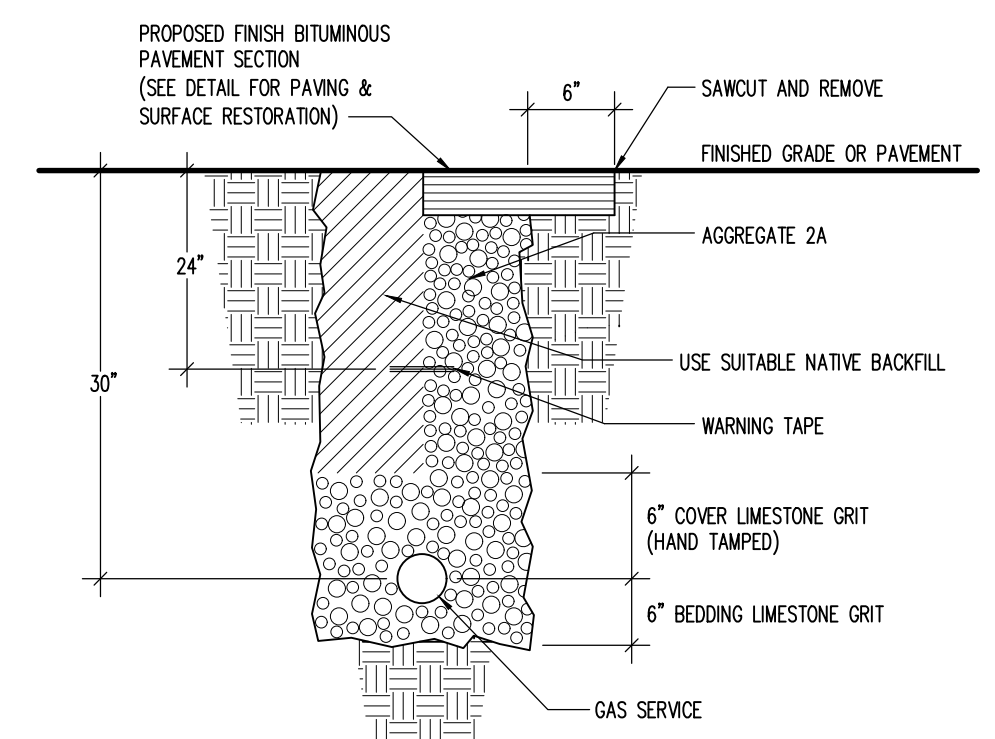
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FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

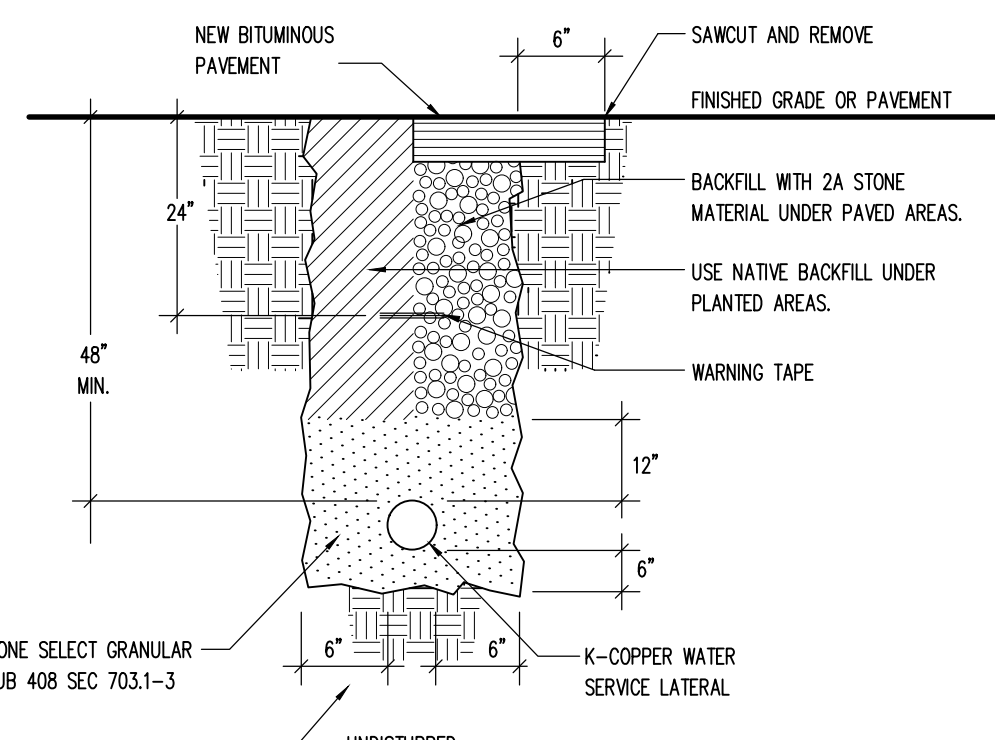
PRELIMINARY SUBDIVISION PLAN

UTILITY DETAILS

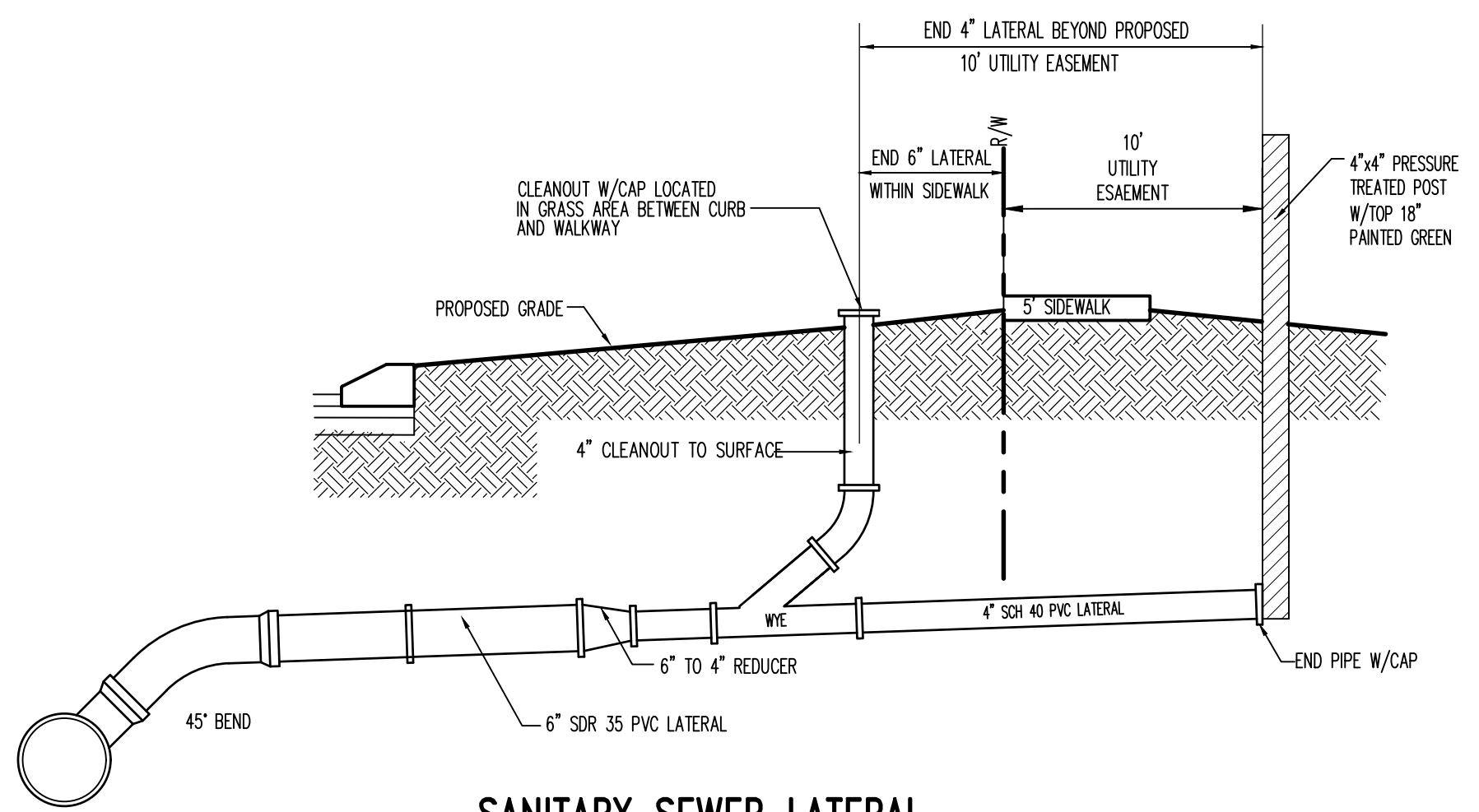
PROJECT NO.	20290
DATE	JULY 29, 2021
SCALE	N.T.S
SHEET NO.	7



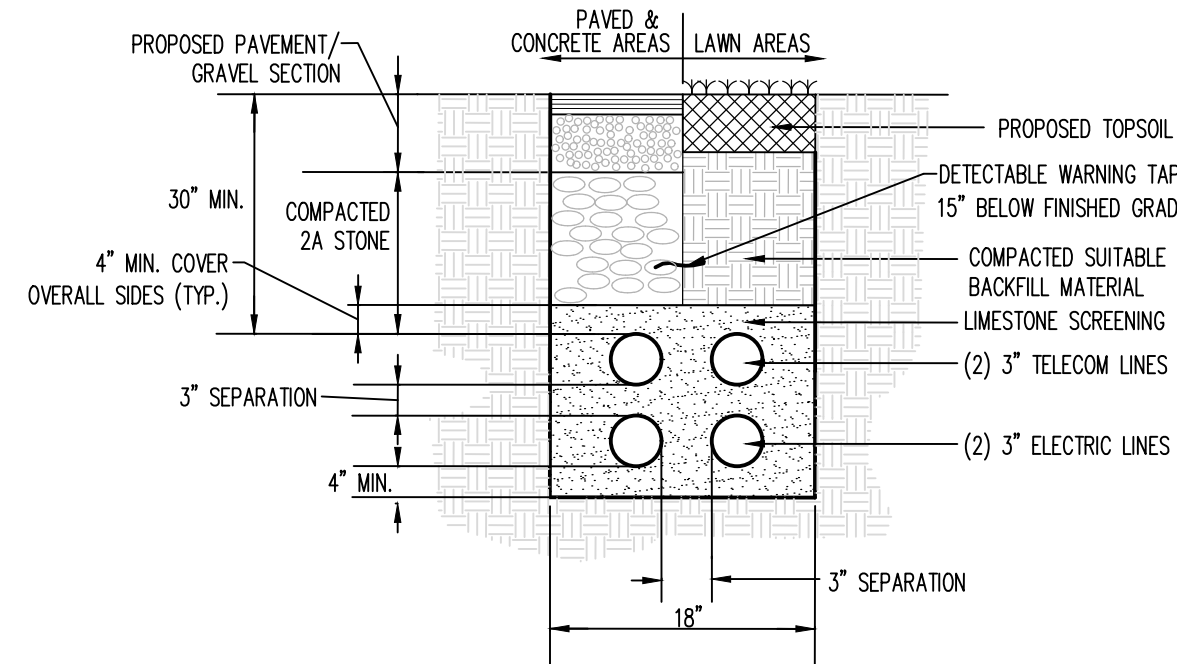
NATURAL GAS SERVICE TRENCH DETAIL
NOT TO SCALE



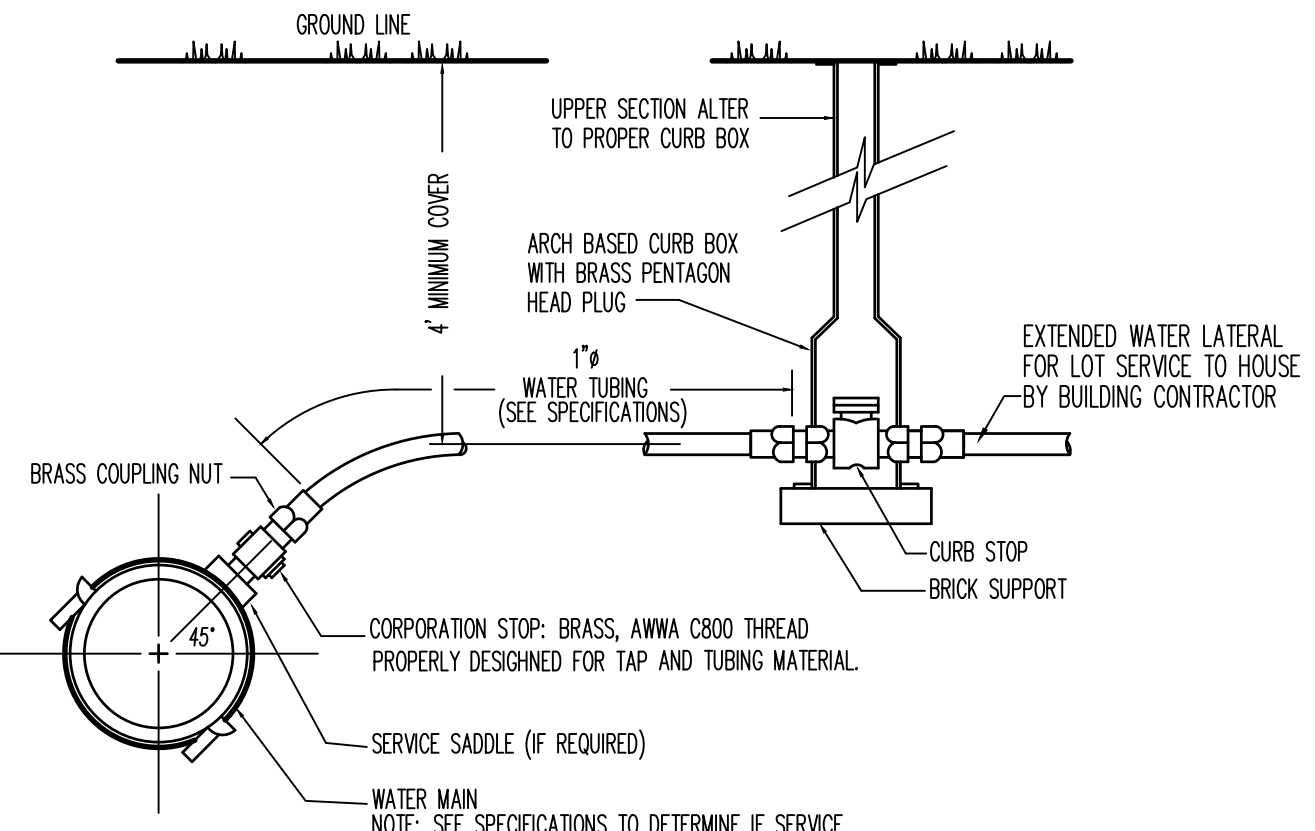
WATER LATERAL TRENCH DETAIL
NOT TO SCALE



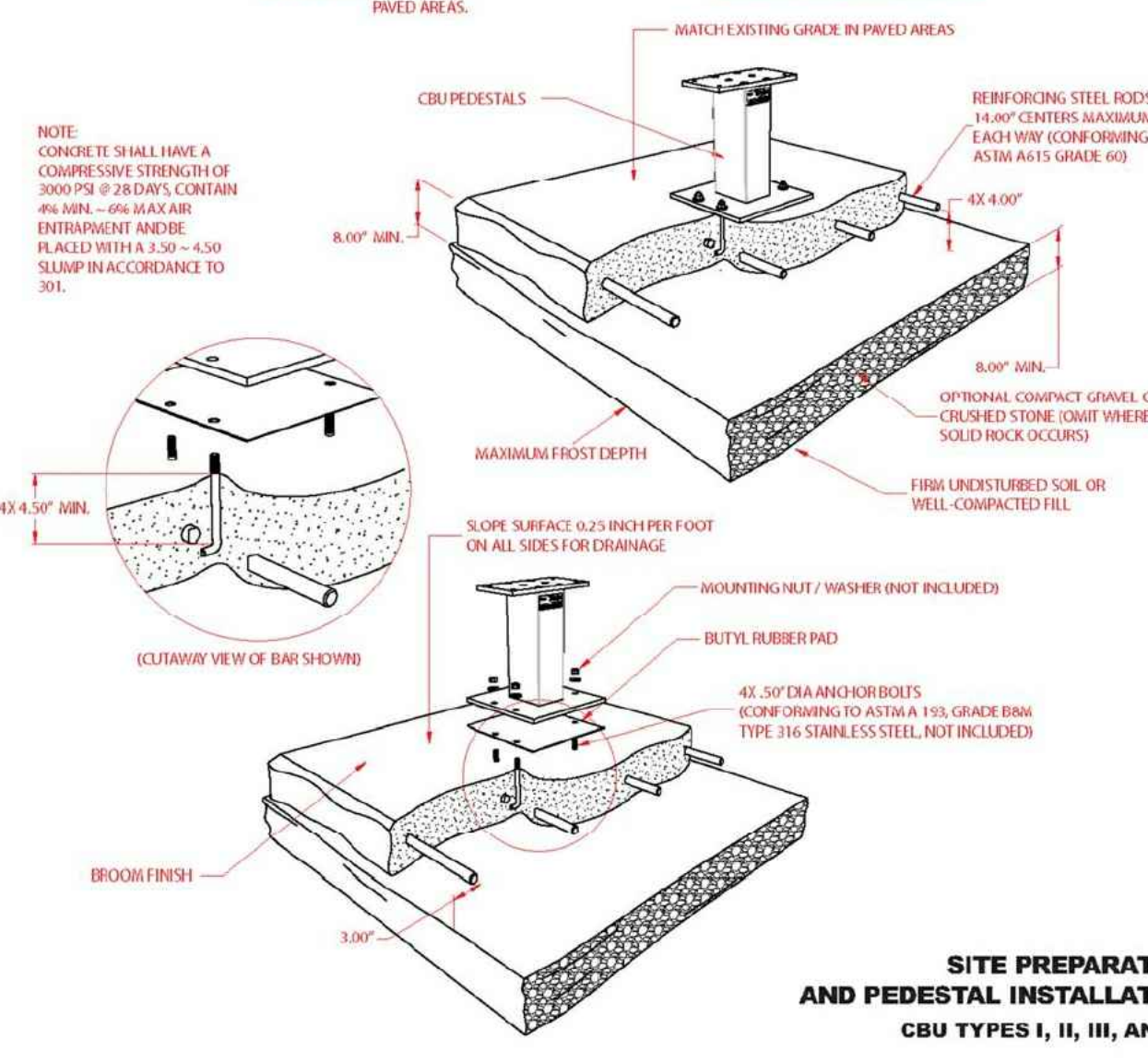
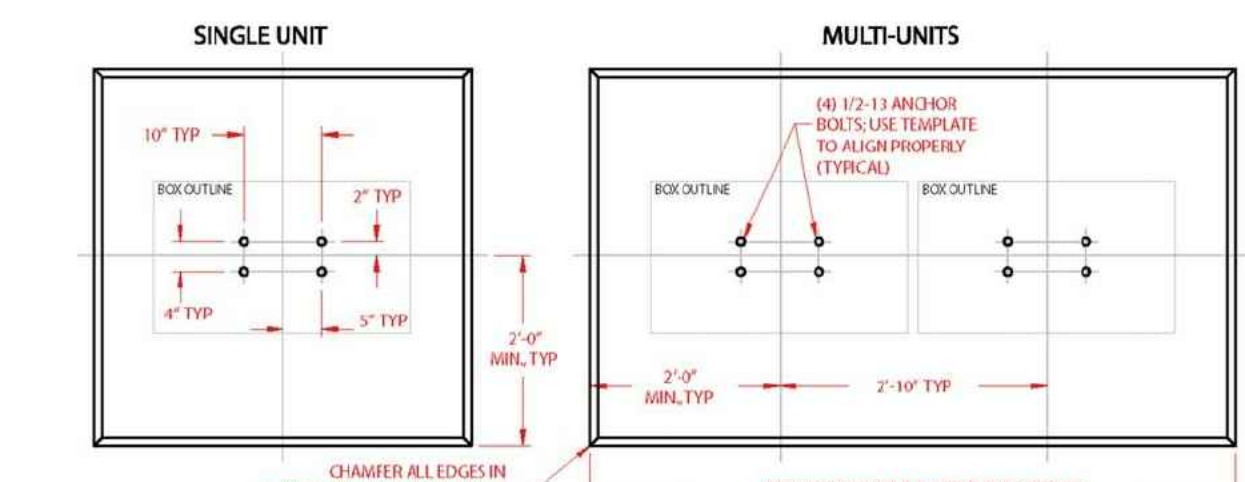
SANITARY SEWER LATERAL
NOT TO SCALE



PRIMARY UTILITY TRENCH DETAIL
NOT TO SCALE

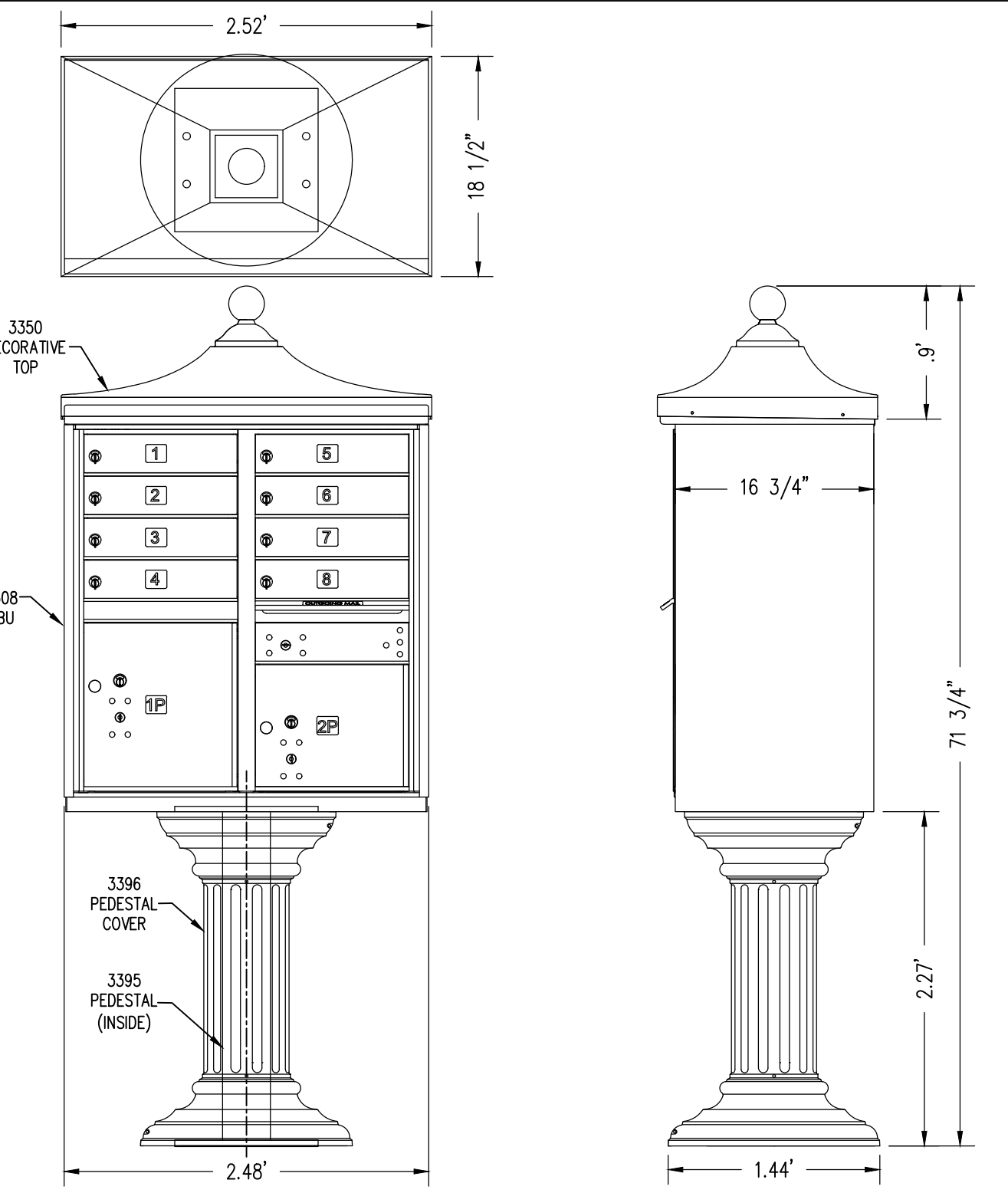
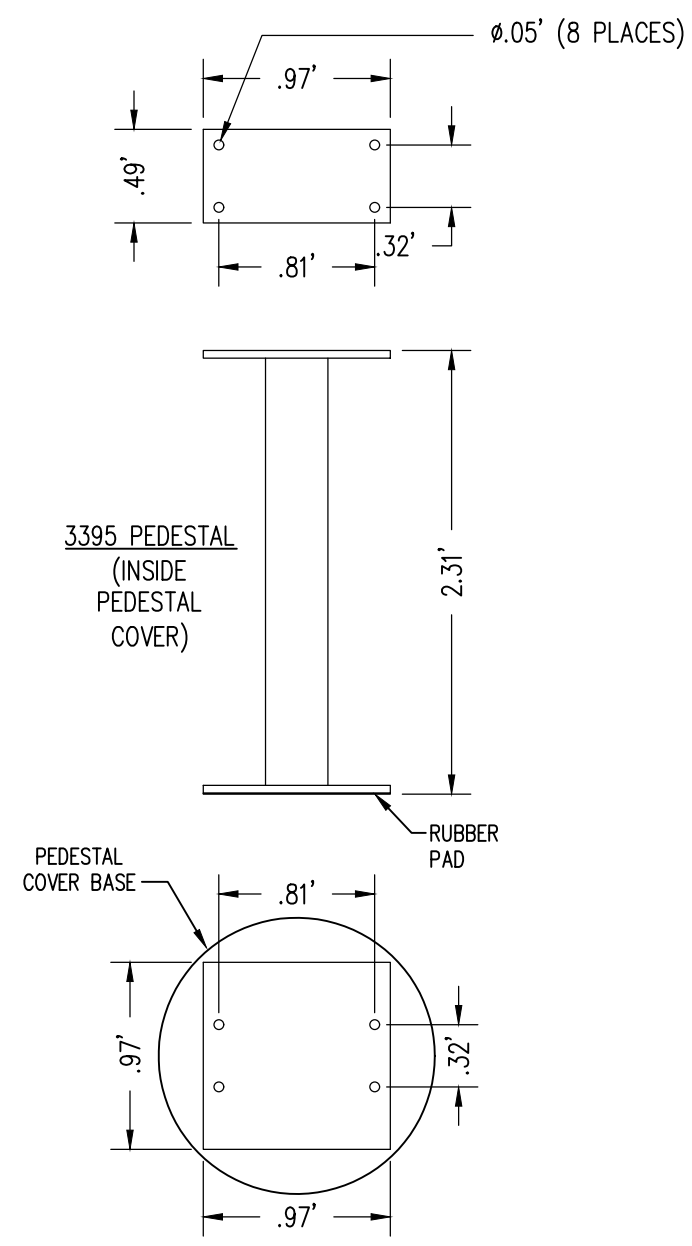


WATER SERVICE LATERAL
NOT TO SCALE

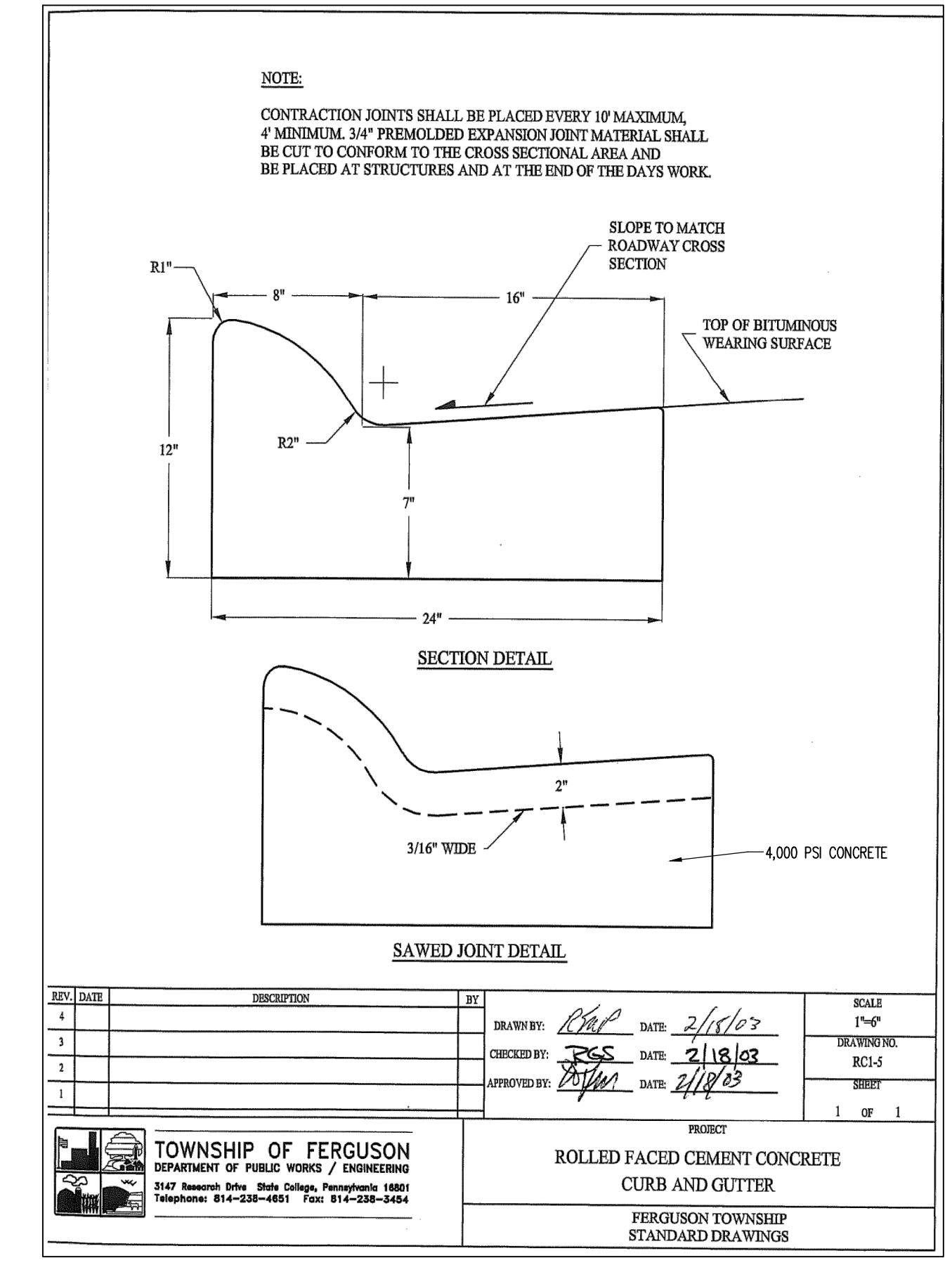
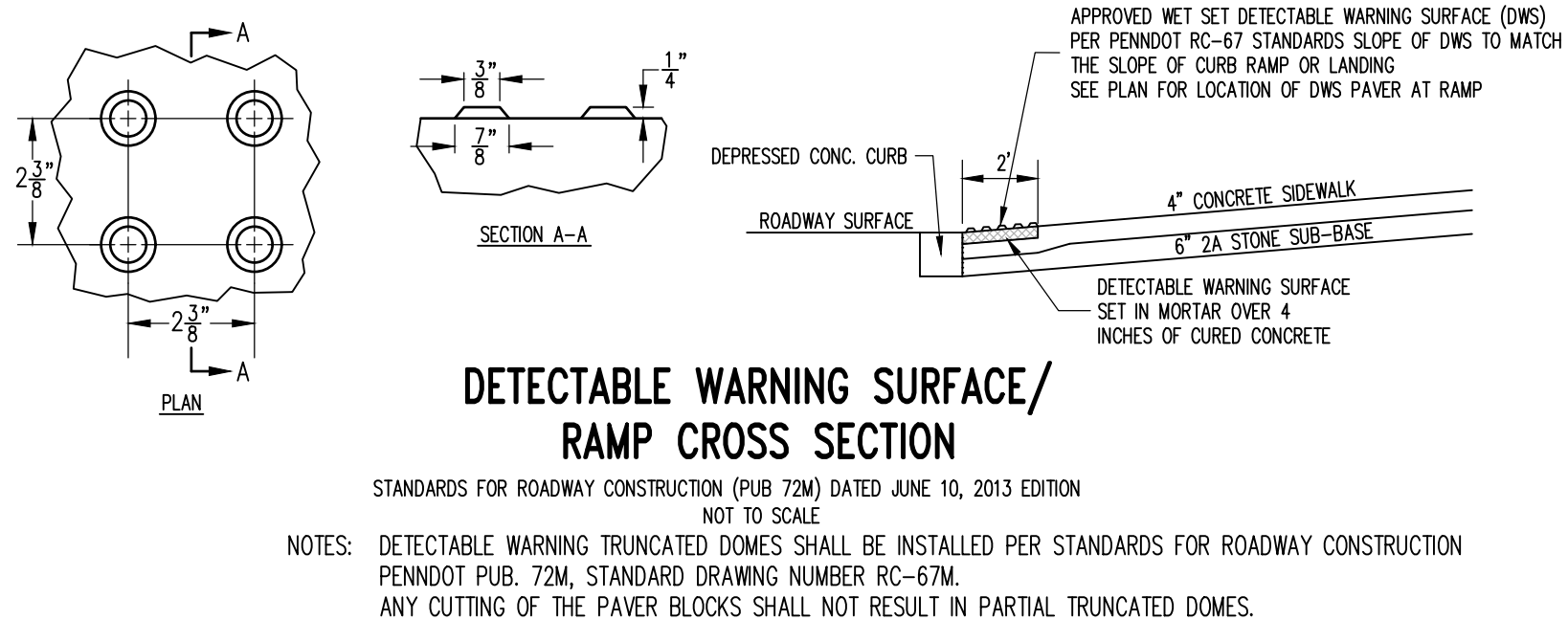
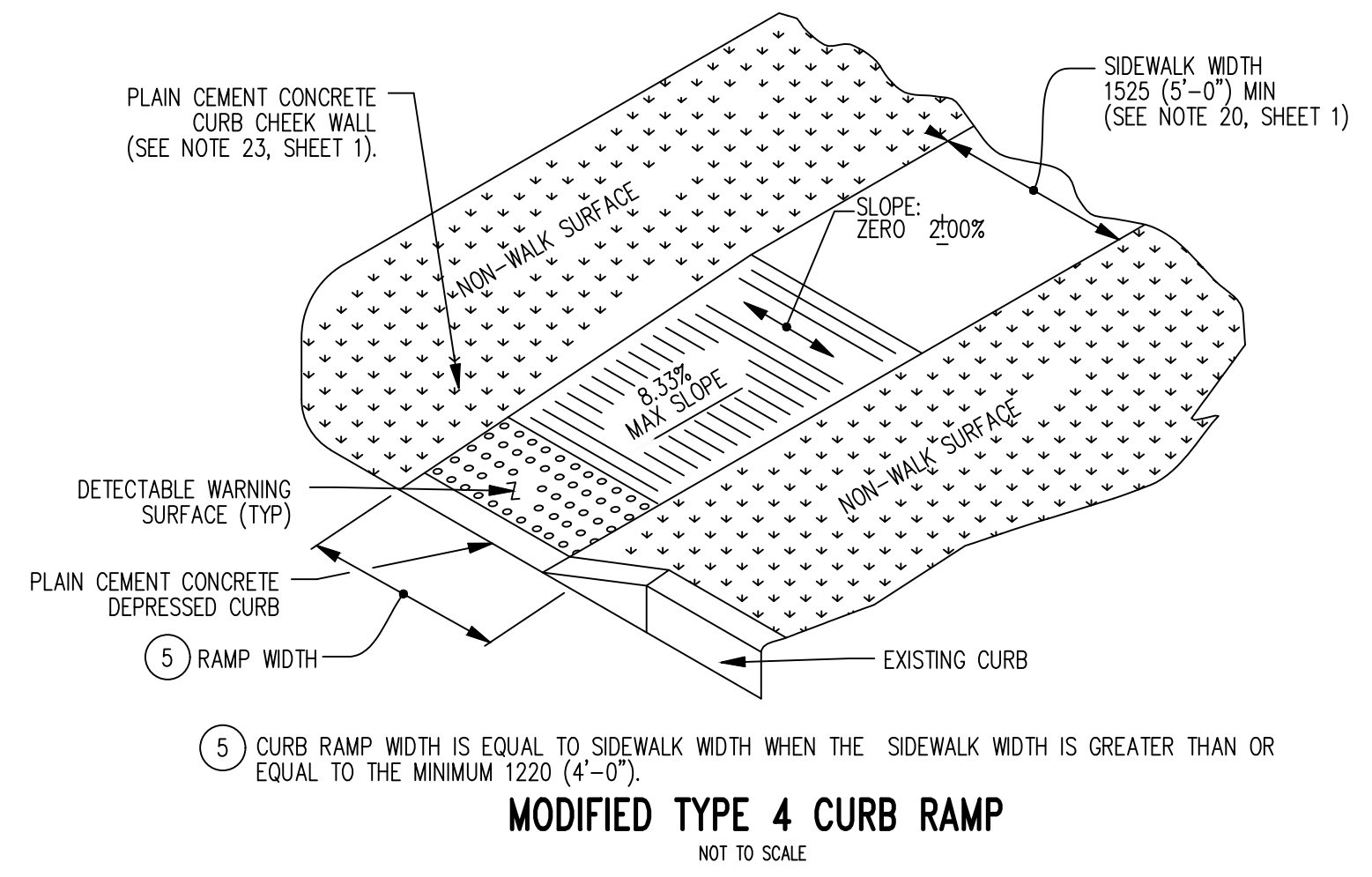
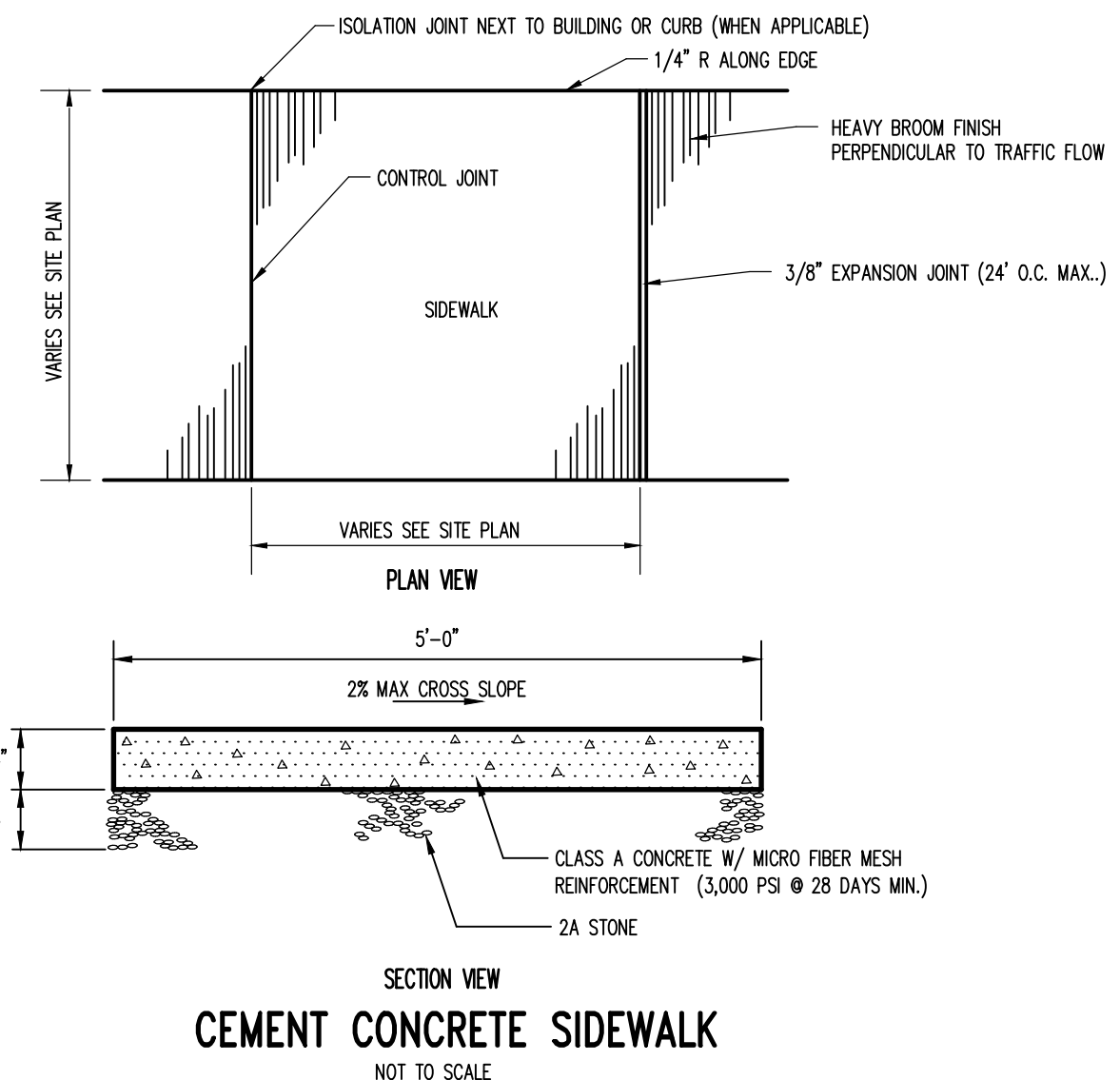
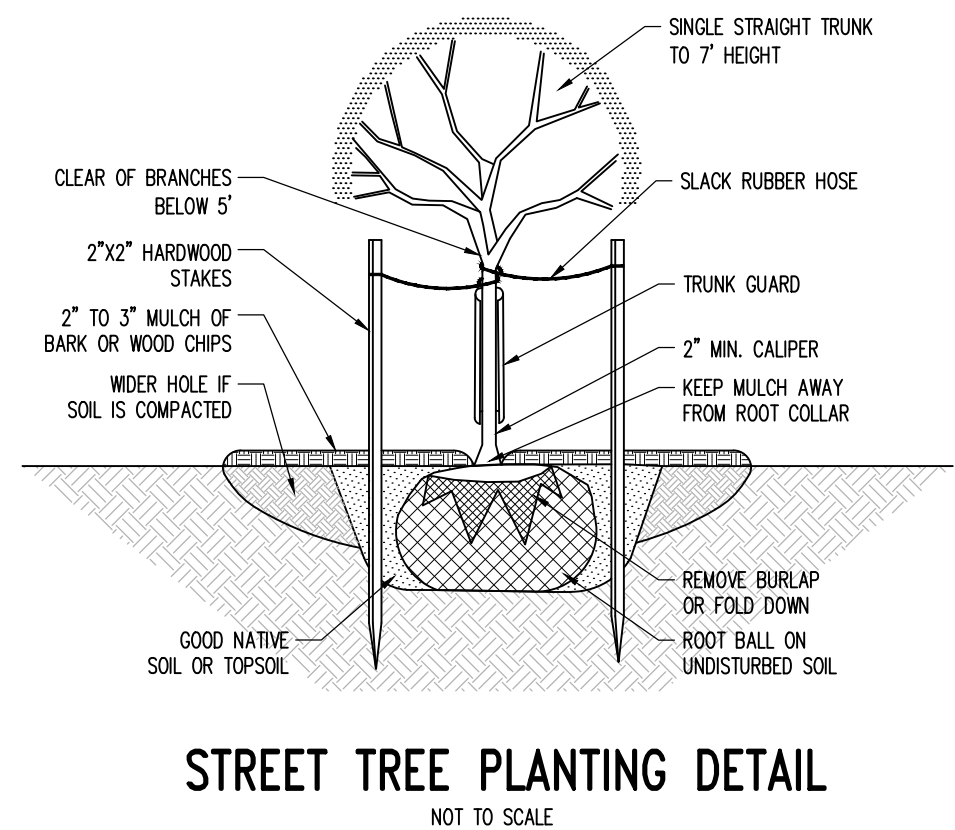
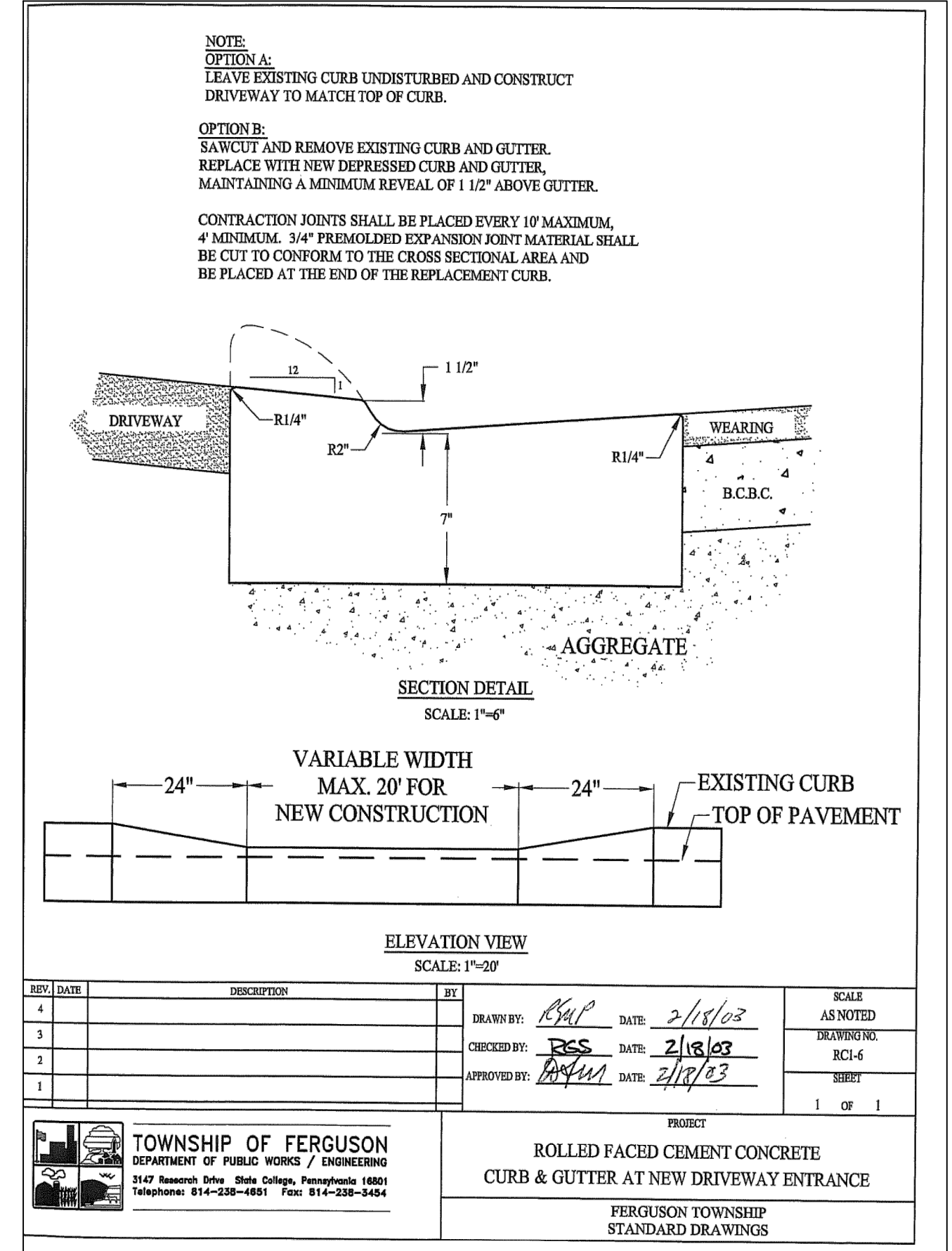
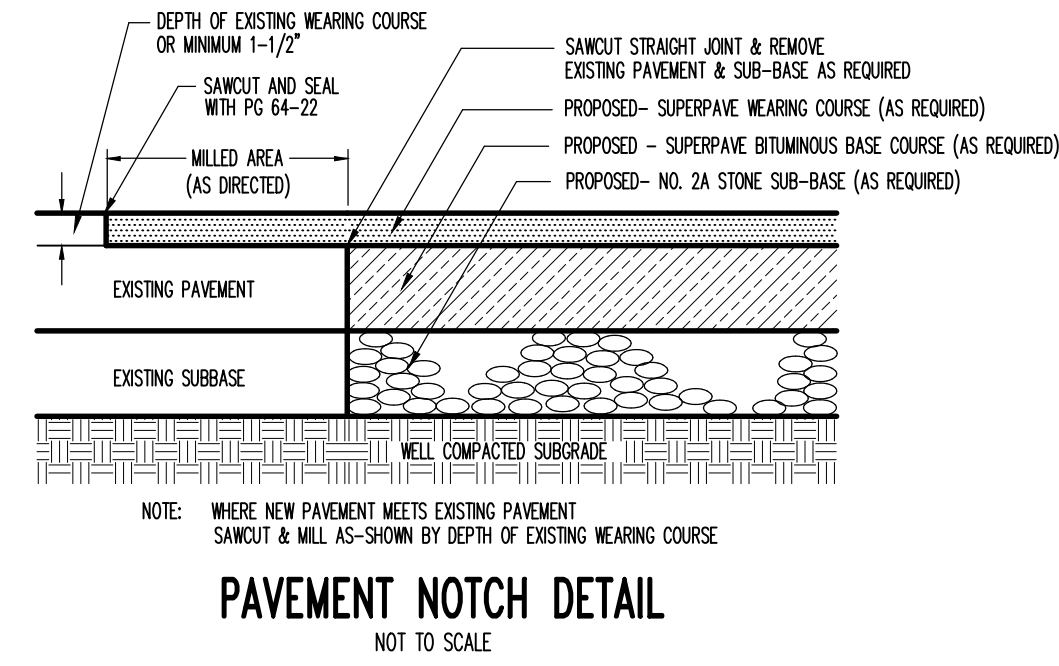
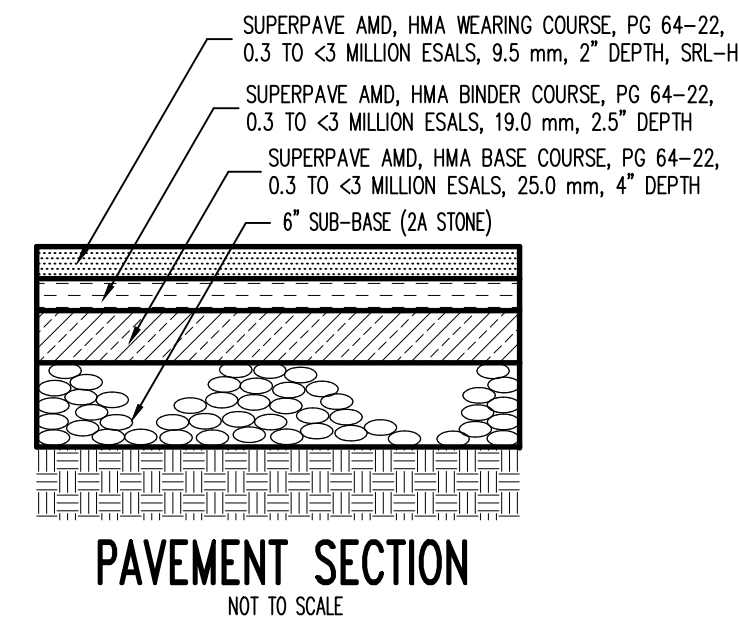
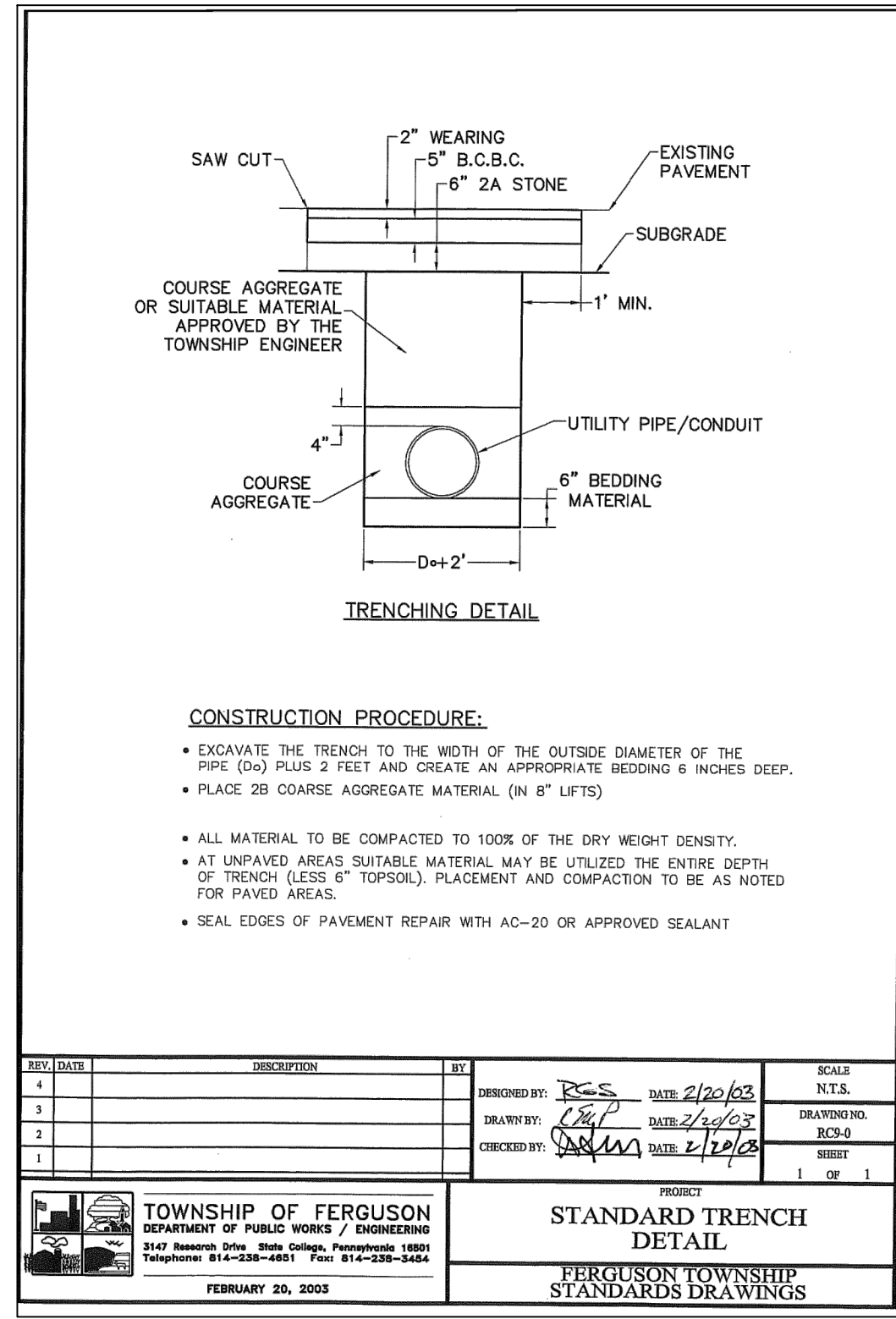


SALSBUURY INDUSTRIES
1010 East 62nd Street, Los Angeles, CA 90001-1598
Phone: 1-800-624-5269 Int'l Phone: 323-846-6700
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Installation instructions are provided as general guidelines. It is advised that a professional installer be consulted. Salsbury Industries assumes no product assembly or installation liability.
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DESIGNER	AE	SALSBUURY 18300 Central Avenue Carson, CA 90746-4008 Phone: (800) 624-5269 Fax: (800) 624-5299	REGENCY CLUSTER BOX UNITS	(8) MAILBOXES	MODEL	3308R
DATE	4/5/2019		3300R SERIES "F" CBUs	(1) OUTGOING MAIL COMPARTMENT	DRAWING NO.	CAD_3308R
SCALE	1 : 1	email: engineering@mailboxes.com	AVAILABLE FOR USPS ACCESS OR PRIVATE ACCESS	(2) PARCEL LOCKERS		



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REGISTERED PROFESSIONAL ENGINEER
JOHN C. SEPP
ENGINEER 04003-E
PENNSYLVANIA

Designer: MLH
Draftsman: XXX
Proj. Manager: MAT
Surveyor: BRK
Perimeter: Ok
Book: Pg
File: 2020-PRC-01-DETAILS
Layout: DETAILS

Date	Description	REVISIONS

FARMSTEAD VIEW
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY
SUBDIVISION PLAN
GENERAL
CONSTRUCTION
DETAILS

PROJECT NO. 20290
DATE JULY 29, 2021
SCALE N.T.S.
SHEET NO. 8

STORMWATER MANAGEMENT NOTES

- All site work shall be done in accordance with the plans prepared by PennTerra Engineering, Inc., the current requirements of the governing municipality, the applicable sections of the PennDOT standard specifications for roadway construction, and all other pertinent federal and state laws.
- The Contractor shall comply at all times with applicable federal, state and local laws, provisions, and policies governing safety and health, including the federal construction safety act, as amended.
- The Contractor shall be responsible for examining the area and conditions under which the project is to be constructed prior to the submission of a bid. Submission of a bid to be constructed to mean the Contractor has reviewed the site and is familiar with conditions and constraints of the site.
- Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify by one call 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
- An as-built drawing of new utility services shall be prepared by the Contractor and submitted to the Owner upon completion of the project.
- All storm pipe shall be as noted. All joints shall be watertight.
- Contractor shall refer to other plans within this construction set for other pertinent information.
- Co-permittee requirements: Contractor to complete Pennsylvania Department of Environmental Protection (D.E.P.) forms and make application to become co-permittee of the general NPDES permit prior to commencing any land disturbance. Contractor shall assume full responsibility for any fines or other measures assessed by regulatory agencies due to improper or deficient installation and / or maintenance of the temporary erosion and sedimentation control measures and post-construction stormwater measures installed. Contractor shall remain a co-permittee of the National Pollutant Discharge Elimination System (NPDES) permit until the notice of termination of the NPDES permit has been issued by the PA D.E.P.
- Notice of termination services: Contractor shall be responsible for the services for the notice of termination of the NPDES permit. This includes but is not limited to the following:
 - Have a licensed professional or designee on-site to observe the critical stages of construction noted in the post-construction stormwater management plan. The licensed professional or designee will be responsible for signing the required certification forms and certifying that the facilities have been built according to the approved plans, processing and recording any required forms and the as-built survey through the PA D.E.P. until the notice of termination is received.
 - Prepare an as-built topographic survey sealed by a licensed surveyor from the commonwealth of Pennsylvania of the stormwater management facilities (infiltration basin, detention basin with constructed filter and outlet structures, outlet pipes, tops of berms and spillways).
 - Provide double-ring infiltrometer tests as outlined in the December 2006 PA D.E.P. Stormwater BMP manual of the produced basin bottom soil mix prior to installation to certify that the soil mix meets the infiltration requirements noted on the plans.
- Contractor shall have a licensed professional submit as-built drawings/documentation (including verification of infiltration testing) of the stormwater management facilities prepared in accordance with chapter 26 of the governing municipality's code of ordinances and submitted to the governing municipality at the completion of construction as a prerequisite of issuance of occupancy permit or release of the surety bond. A narrative and photographic documentation for critical stages of construction and for the infiltration surface prior to placement of filter fabric/amended soils must also be submitted to the governing municipality.
- As-built infiltration testing in basins shall be performed at the top of the finished native soil layer prior to topsoil placement. This testing is in addition to the testing identified in Note 9.c. The number of infiltration tests performed shall be in accordance with the governing municipality's code of ordinances.

NPDES PERMIT CO-PERMITTEE AND NOTICE OF TERMINATION NOTES:

- The contractor shall process forms with the Local County Conservation District to become a co-permittee on the NPDES. The contractor shall remain a co-permittee until the applicant releases them from the permit.
- The Notice of Termination requires certification by a licensed professional of the stormwater facilities as noted on the Post Construction Stormwater Management Plan under the section labeled "Critical Stages of Construction".
- The licensed professional responsible for certifying the Notice of Termination (NOT) of the NPDES permit shall be selected prior to commencing earth disturbance activities on the project site. The general site contractor shall be responsible for supplying & coordinating the licensed professional.
- The licensed professional responsible for certifying the NOT shall be present for all "Critical Stages of Construction".
- A pre-construction meeting between the contractor, owner and licensed professional responsible for certifying the NOT is required to ensure all "Critical Stages of Construction" are reviewed, acknowledged and milestones established to ensure the licensed professional is present onsite during the "Critical Stages of Construction".
- The licensed professional will be required to certify and seal as-built drawings at the end of construction that the stormwater facilities have been built to the specifications on the post construction stormwater management plans and details.
- Upon completion of all earth moving activities and once site stabilization is achieved in accordance with the Erosion and Sediment Control Plan, the contractor shall then file the as-built drawings and NOT certification with the Local County Conservation District.

CRITICAL STAGES OF CONSTRUCTION FOR PROJECTS REQUIRING A GENERAL NPDES PERMIT

Critical Stages of Construction are key components of the construction sequence of the Post Construction Stormwater Management Plan and require certification and construction oversight by the licensed professional responsible for certification of the certified stormwater as-built plan and the NOT.

At least two weeks in advance of construction, the contractor shall schedule a coordination meeting with the licensed professional to review the critical stages and establish a schedule for inspections/verifications of all critical stages. At the discretion of the licensed professional, the contractor will provide photo documentation of the installation of certain items in lieu of the licensed professional being present.

The critical stages for each Post Construction Stormwater Best Management Practice are as follows:

INFILTRATION BASINS

- In order to ensure the basin floor is not compacted, equipment shall not be permitted to operate within the basin when the floor is less than 36" from subgrade elevation. A typical infiltration facility bottom excavation detail has been provided on the plans for construction. Alternatively, the contractor may develop their own plan and methods for bottom excavation. The contractor must review the proposed plan/methods with the licensed professional during the coordination meeting.
- Once subgrade of the facility has been reached, and prior to topsoil placement, the licensed professional and responsible testing firm shall be notified to schedule infiltration testing verification of the subgrade.
- Infiltration testing of the final basin floor elevation to verify infiltration rates of the soil mixture (i.e. topsoil and amendments) placed on the basin floor is required. The contractor shall coordinate infiltration testing with the licensed professional and responsible testing firm. It is recommended that this soil mixture also be tested prior to placement.
- The contractor must notify the licensed professional of the installation of the outlet structure, outfall pipe and anti-seep collars prior to backfill to ensure installation has been completed in accordance with the approved plan.
- Compaction testing reports are required on the basin berm. The contractor shall coordinate compaction testing with the licensed professional and responsible testing firm.
- Berms shall be installed and compacted in conformance with the requirements of the local municipality's Stormwater Management Ordinance. If the municipality does not specify compaction requirements, then all berms shall be installed as follows:
 - Whenever berm fill material in excess of 3 feet in height is to be used, each layer of compacted fill shall be tested to determine its density per ASTM D2922 or ASTM D3017.
 - All berm lifts shall be 8" or less.
 - The density of each layer shall be 98% of a Standard Proctor Density analysis per ASTM D698.
- All proposed vegetation within the limits of construction shall be established to a 70% uniform vegetated cover prior to final notice of termination certification.

DETENTION BASINS WITH CONSTRUCTED FILTER

- The contractor must notify the licensed professional of the installation of the outlet structure, outfall pipe, underdrain network and anti-seep collars prior to backfill to ensure installation has been completed in accordance with the approved plan.
- Compaction testing reports are required on the basin berm. The contractor shall coordinate compaction testing with the licensed professional and responsible testing firm.
- Berms shall be installed and compacted in conformance with the requirements of the local municipality's Stormwater Management Ordinance. If the municipality does not specify compaction requirements, then all berms shall be installed as follows:
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 - All berm lifts shall be 8" or less.
 - The density of each layer shall be 98% of a Standard Proctor Density analysis per ASTM D698.
- Constructed filter infiltration rate shall be tested prior to and after placement to ensure the infiltration capabilities meet the design requirements noted on the Post construction Stormwater Management Details Sheet.
- All proposed vegetation within the basin shall be established to a 70% uniform vegetated cover prior to final notice of termination certification.

NATURALLY OCCURRING GEOLOGIC FORMATIONS/SOIL CONDITIONS:

There are no known naturally occurring geologic formations or soil conditions that pose the potential for pollution during construction. If a sinkhole is encountered due to karst topography, the sinkhole shall be repaired as specified on the sinkhole repair detail and/or a geotechnical engineer must be contacted for proper repair procedures.

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Gravel Areas
- Existing Bituminous Areas
- Existing Fence
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Overhead Utility Line w/ Pole
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub
- Existing Soil Infiltration Test Pit

SOILS LEGEND

- Soil cover on the site consists of:
- HaB - Hagerstown Silt loam, 3%-8% Slopes
 - HaC - Hagerstown Silt loam, 8%-15% Slopes
 - MtC - Morrison sandy loam, 8%-15% Slopes
 - WJA - Wyoming gravelly sandy loam rarely flooded, 0% to 5% slopes
- Existing Soil Limit Line / Boundary
- Existing Soil Type

PROPOSED FEATURES LEGEND

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- PROPOSED SINGLE UNIT DOMESTIC WATER SERVICE LATERAL W/ CURB BOX
- PROPOSED STORM SEWER W/ TYPE C INLET
- PROPOSED 8" STORM SEWER ROOF DRAIN (MIN SLOPE)
- PROPOSED COMBINED UTILITY CONDUIT

EROSION & SEDIMENTATION CONTROL LEGEND

- LIMIT OF DISTURBANCE / NPDES BOUNDARY LINE
- CONSTRUCTION ENTRANCE
- INLET PROTECTION
- RIP-RAP APRON
- EROSION CONTROL LINING (CURLLEX I OR APPROVED EQUAL)
- TOPSOIL STOCKPILE
- 12" SILT SOCK
- 18" SILT SOCK
- 24" SILT SOCK
- 32" SILT SOCK
- CONCRETE WASHOUT AREA
- TOPSOIL WINDROW

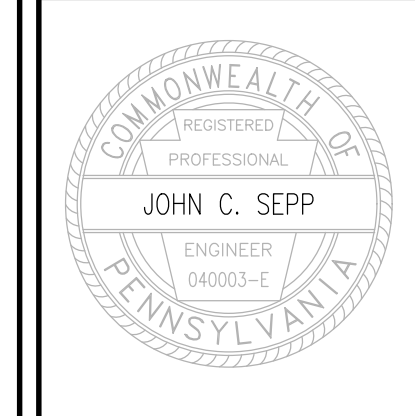
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Draftsman	XXX
Proj. Manager	MAT
Surveyor	BRK
Perimeter Ok.	
Book	Pg
File	20200-PRE-E&S-1-PLAN
Layout	ESI

Date	Description
	REVISIONS

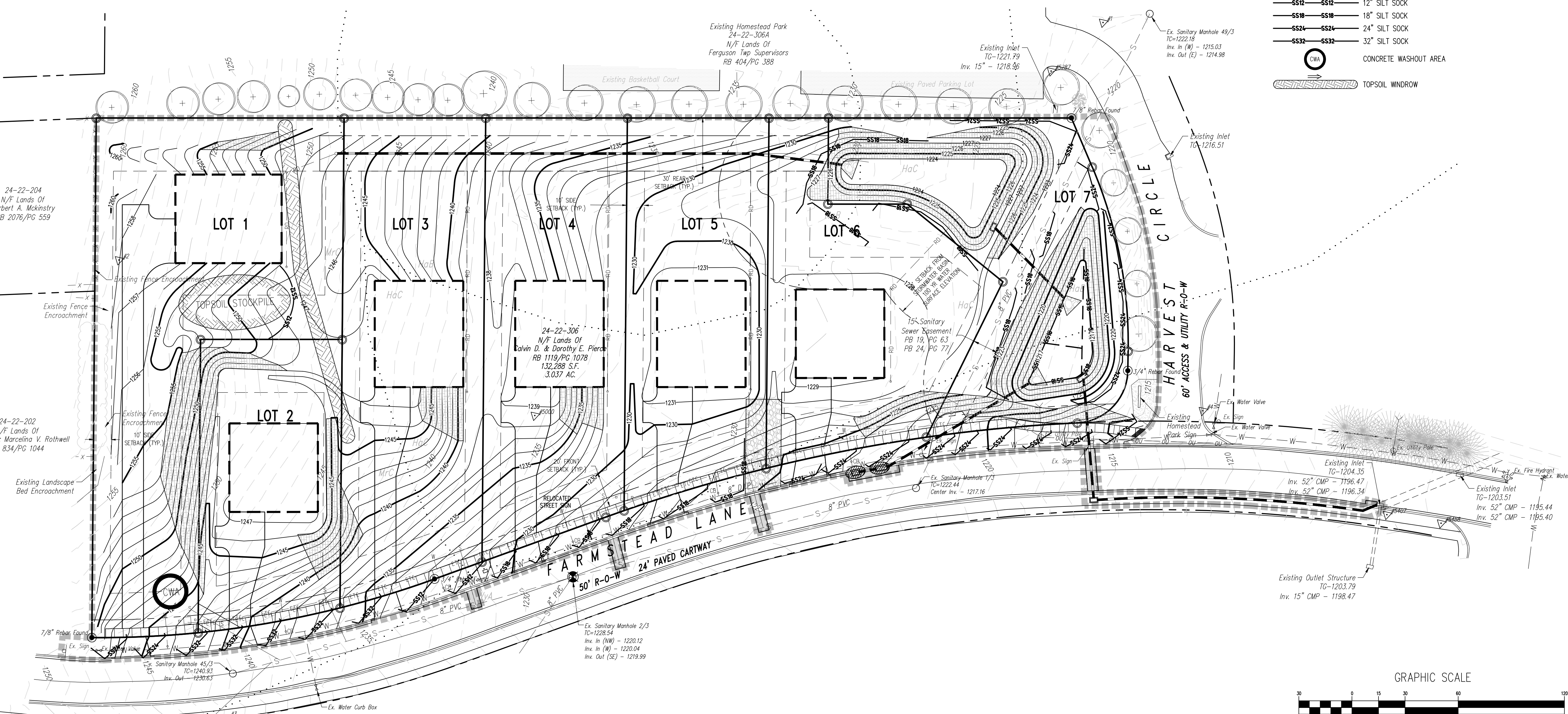
FARMSTEAD VIEW

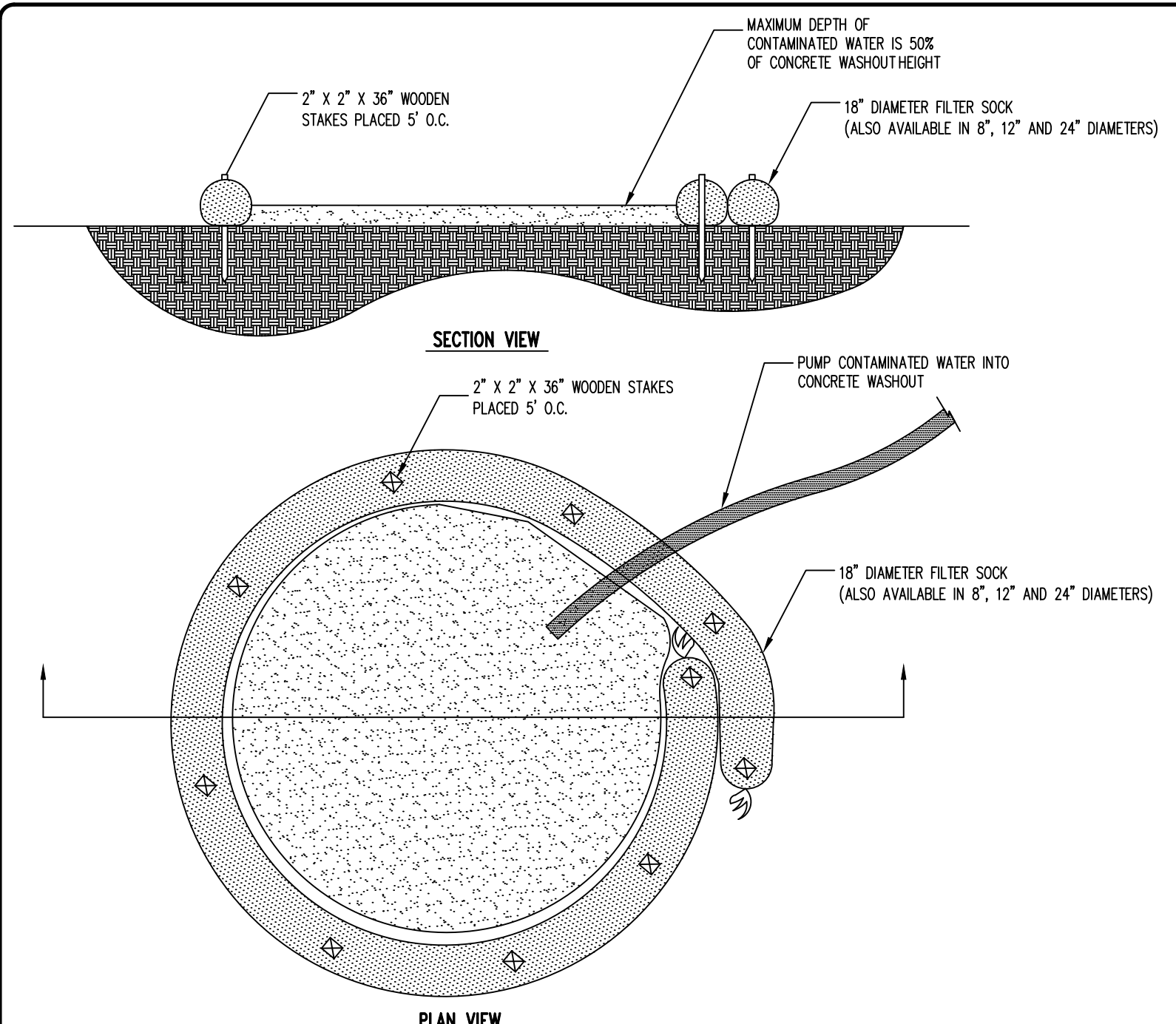
FERGUSON TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY SUBDIVISION PLAN

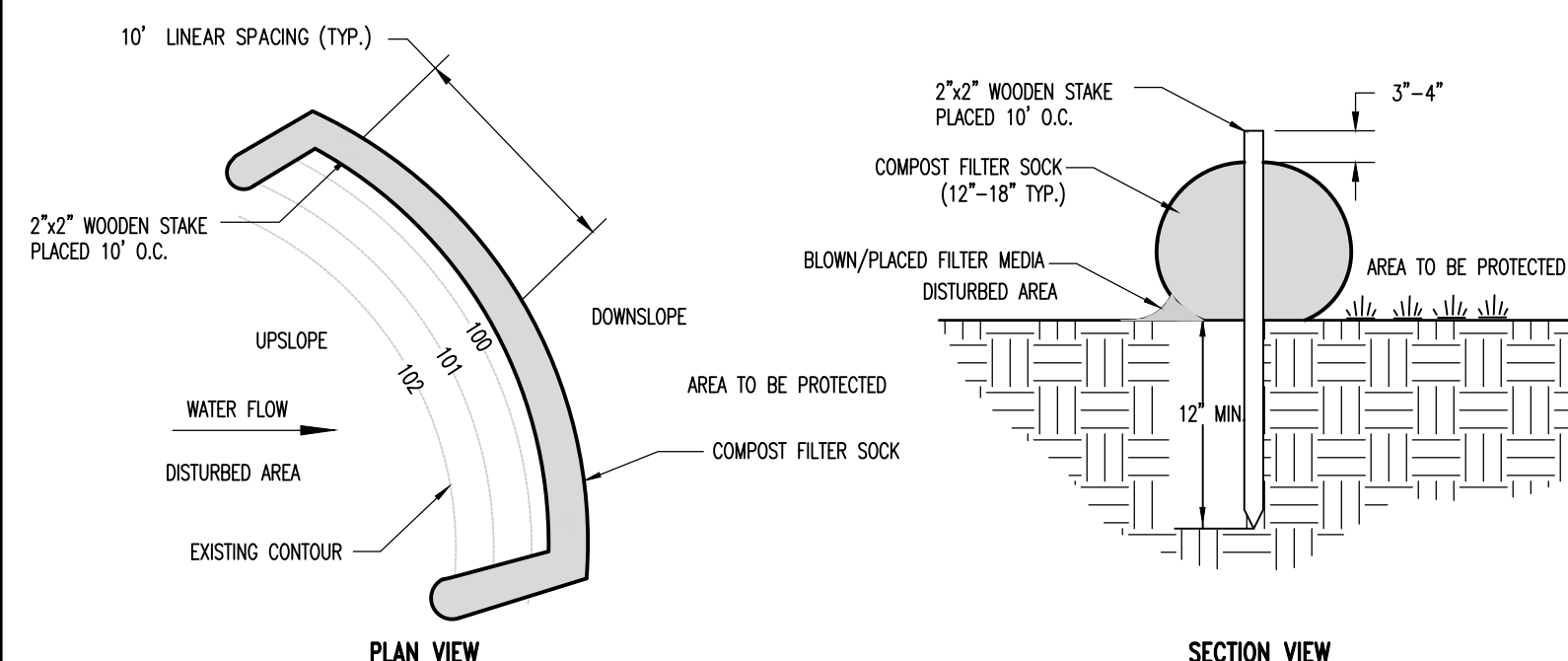
EROSION & SEDIMENTATION CONTROL PLAN

PROJECT NO.	20290
DATE	JULY 29, 2021
SCALE	1" = 30'
SHEET NO.	ES1





CONCRETE WASHOUT AREA
NOT TO SCALE



COMPOST FILTER SOCK DETAIL
NOT TO SCALE

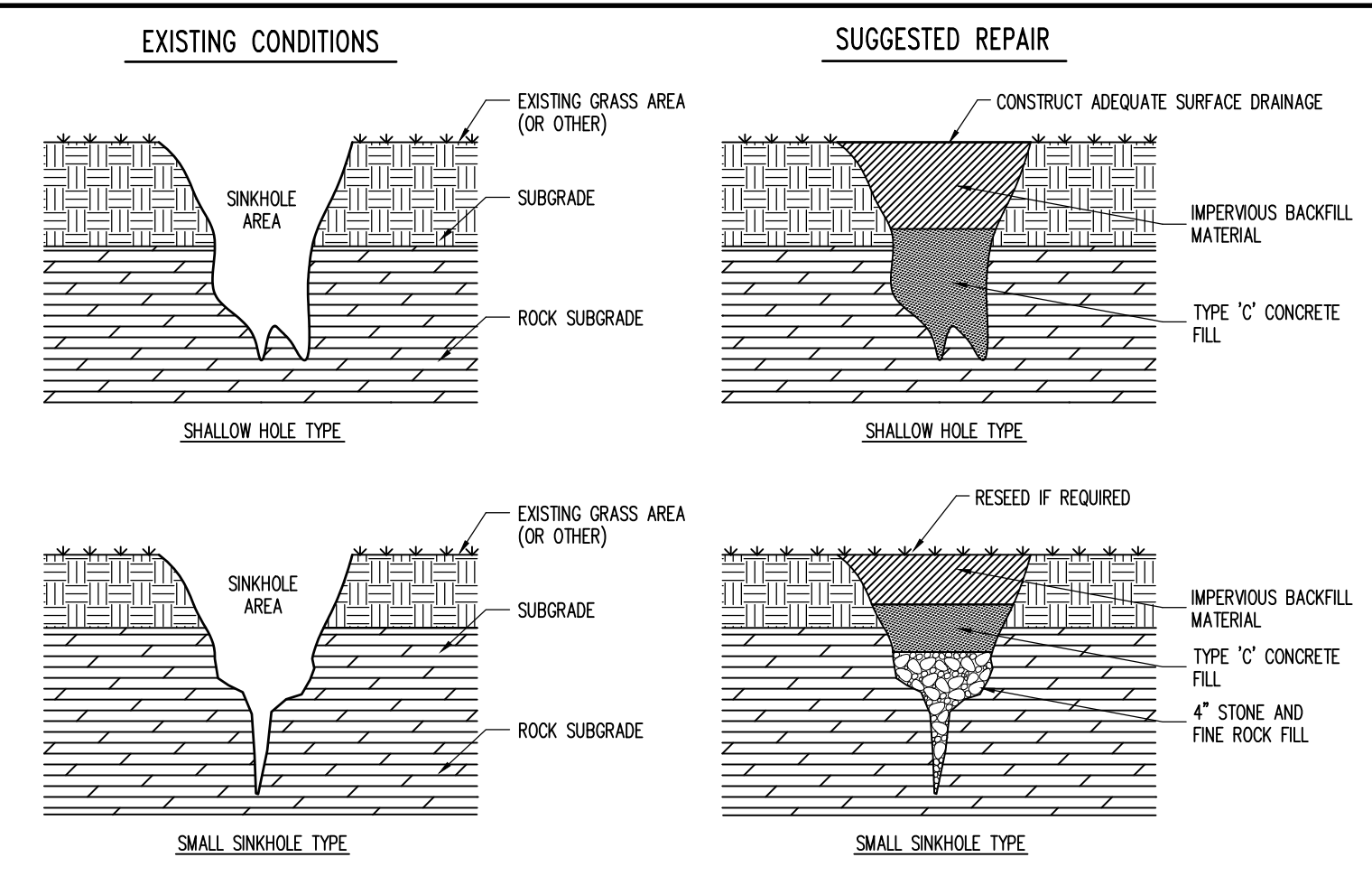
TABLE 4.1
Compost Sock Fabric Minimum Specifications

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPF)	Heavy Duty Multi-Filament Polypropylene (HDMFPF)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years

TABLE 4.2
Compost Standards

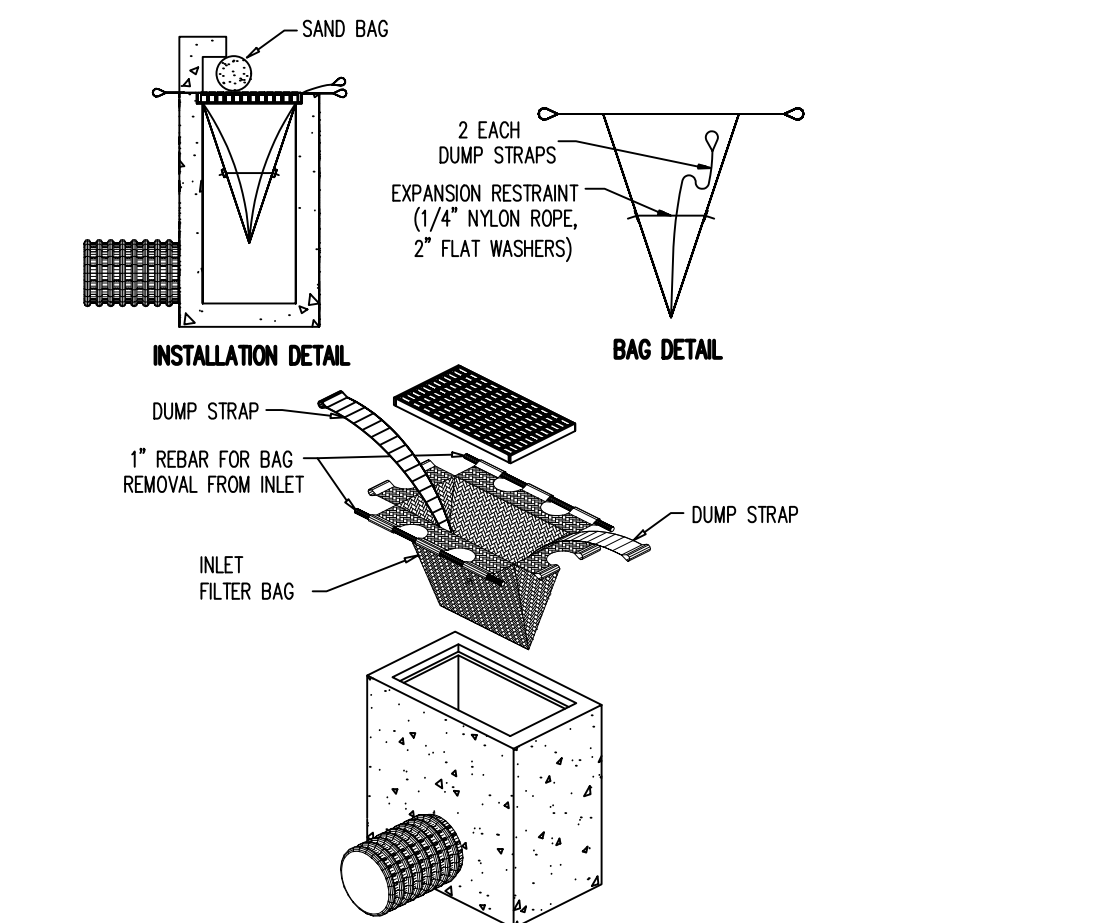
Organic Matter Content	25%-100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5-8.5
Moisture Content	30%-60%
Particle Size	30% - 50% pass through 3/8" sieve
Soluble Salt Concentration	5.0 ds/m (mmhos/cm) Maximum

COMPOST FILTER SOCK TABLE
NOT TO SCALE

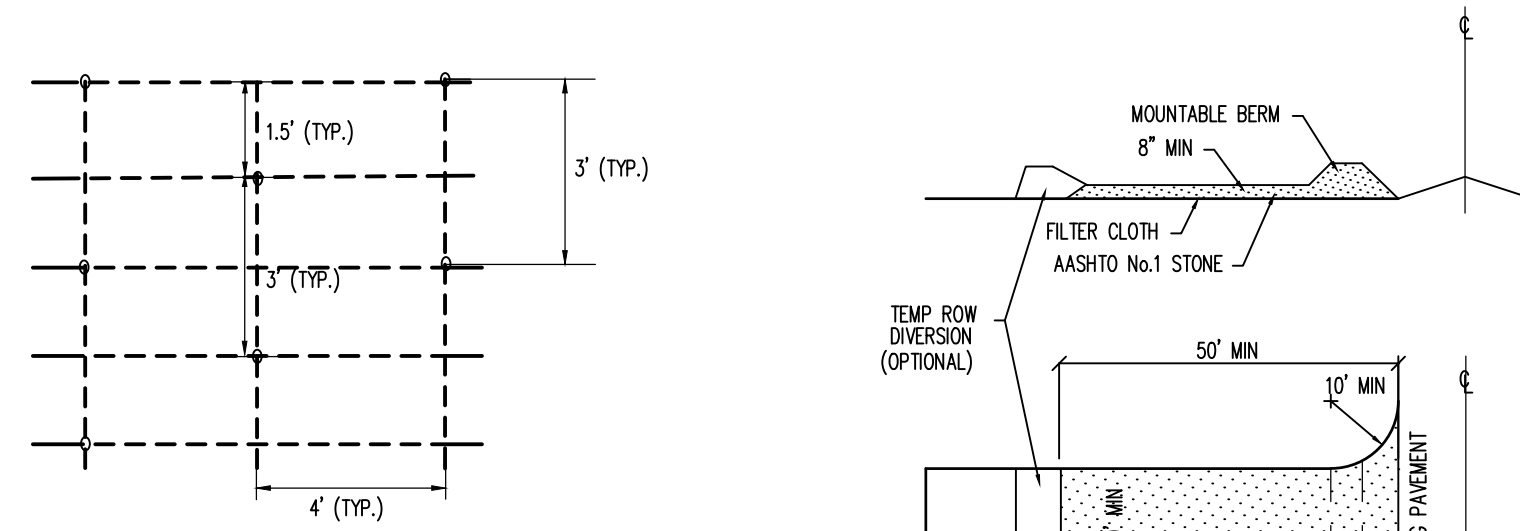


SINKHOLE REPAIR
(NOT INCLUDED IN UTILITY/EARTHWORK BASE BID)

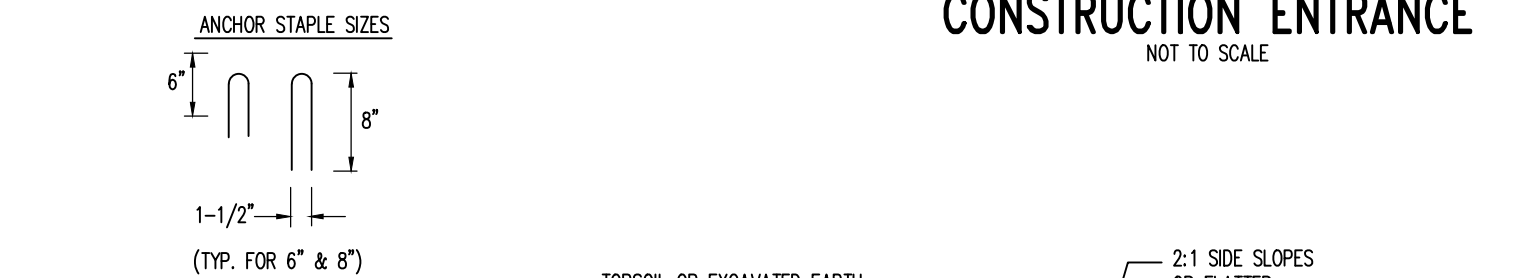
THESE DETAILS REPRESENT TYPICAL SINKHOLE SHAPES AND REPAIR TECHNIQUES. SINKHOLES VARY IN SIZE AND TYPE. THEREFORE, THE OWNER'S GEOTECHNICAL ENGINEER SHALL BE CONTACTED PRIOR TO FIELD REPAIR OF ANY SINKHOLE.



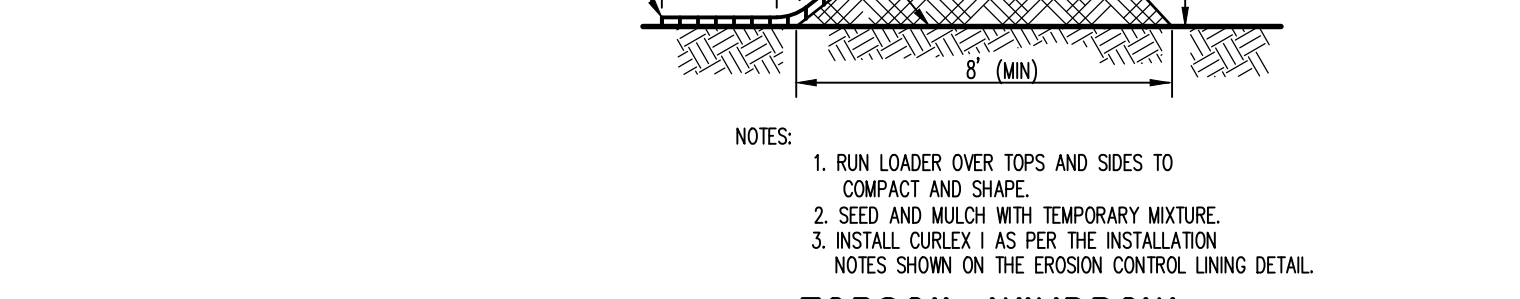
INLET FILTER BAG (TYPE C)
NOT TO SCALE



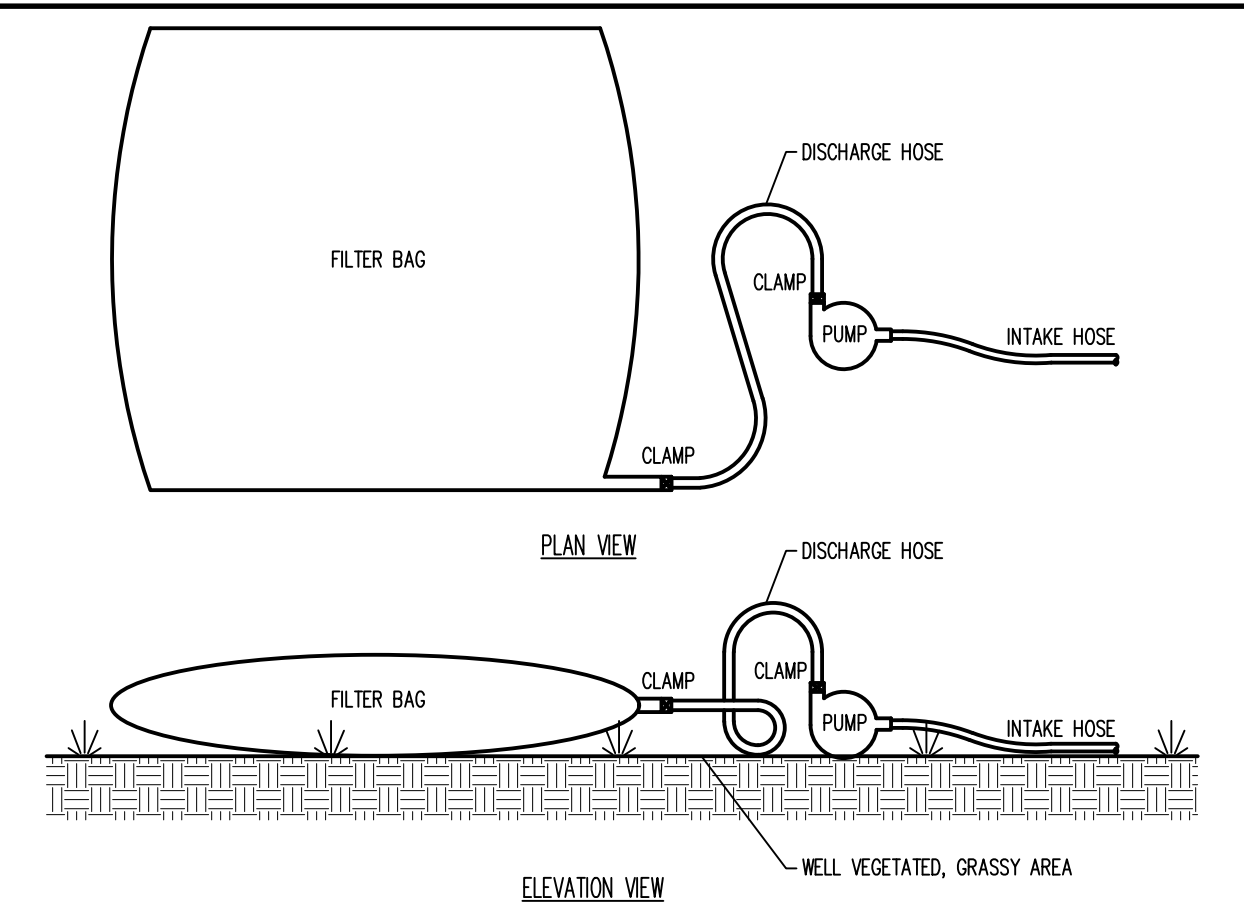
TYPICAL ANCHORING PATTERN (1.1 STAPLES/YD²)



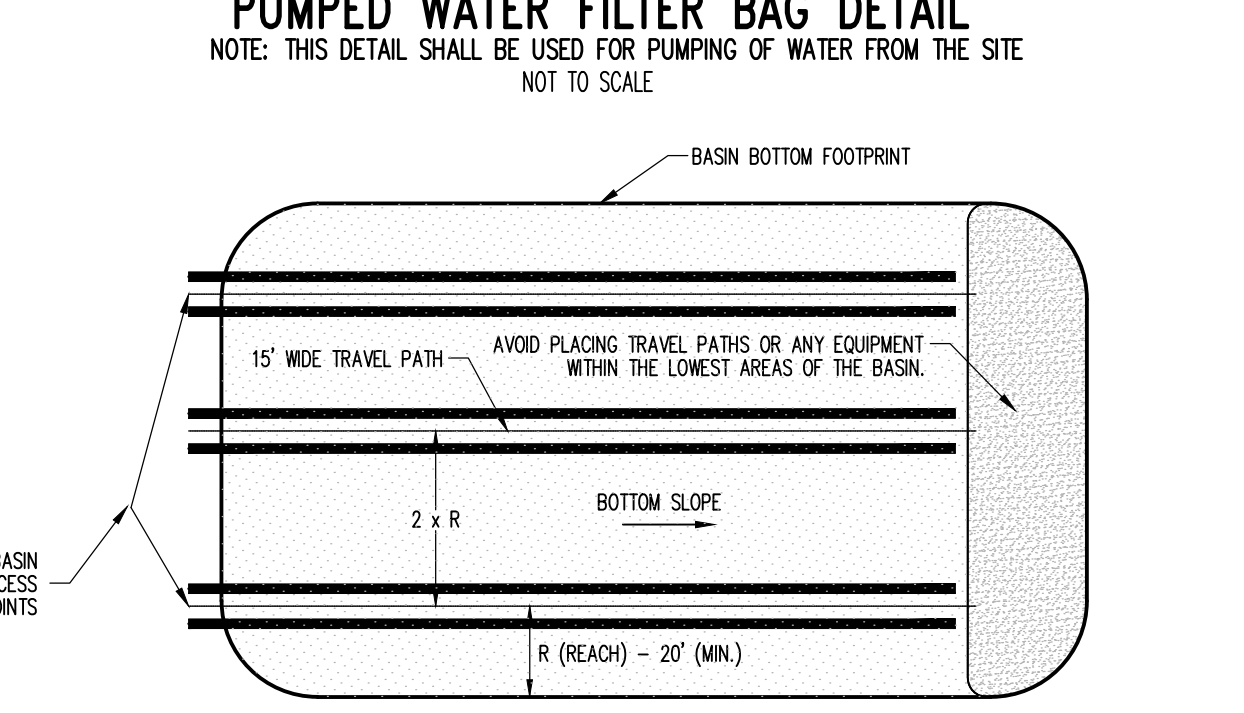
CONSTRUCTION ENTRANCE
NOT TO SCALE



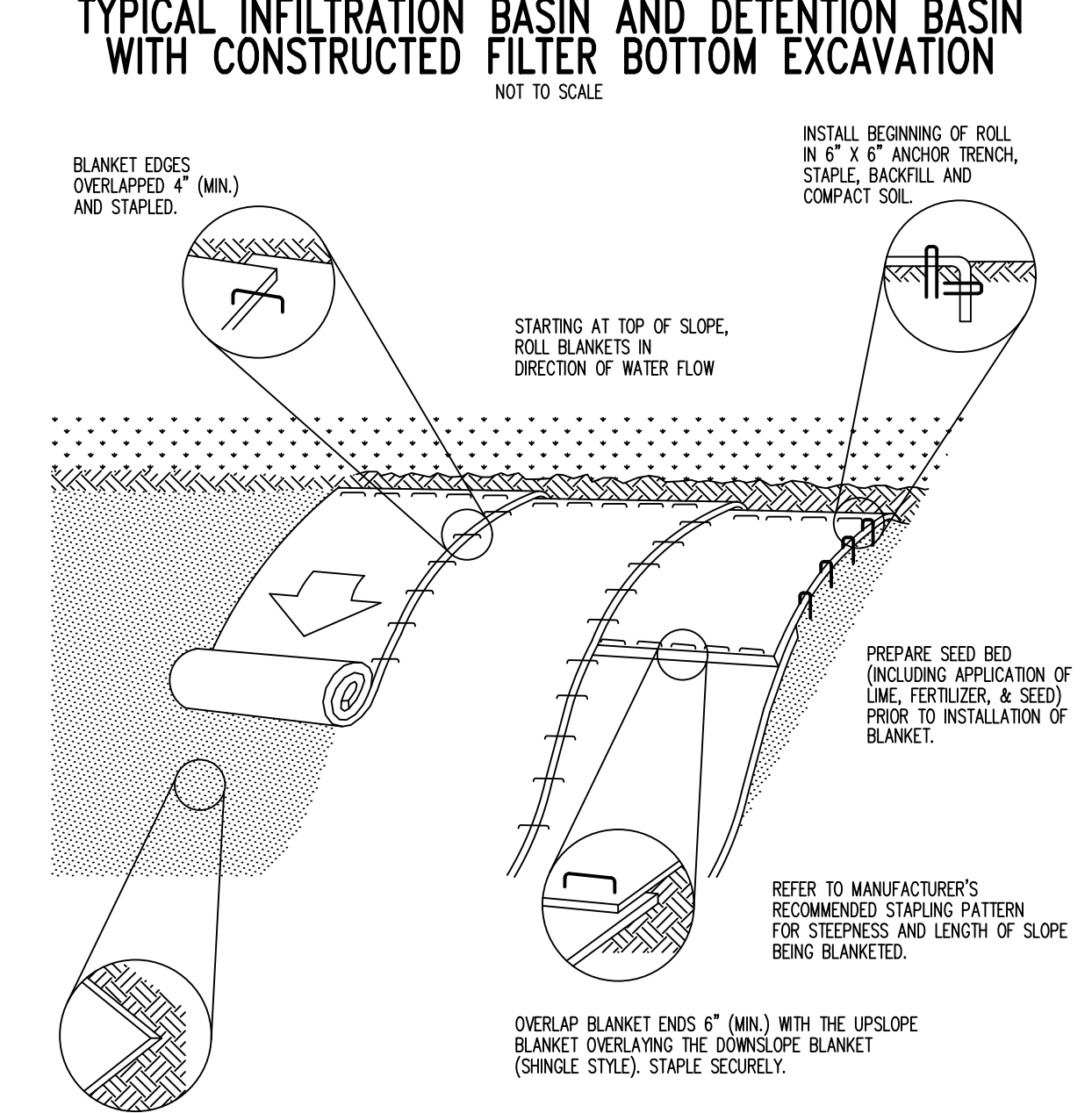
TOPSOIL WINDROW
NOT TO SCALE



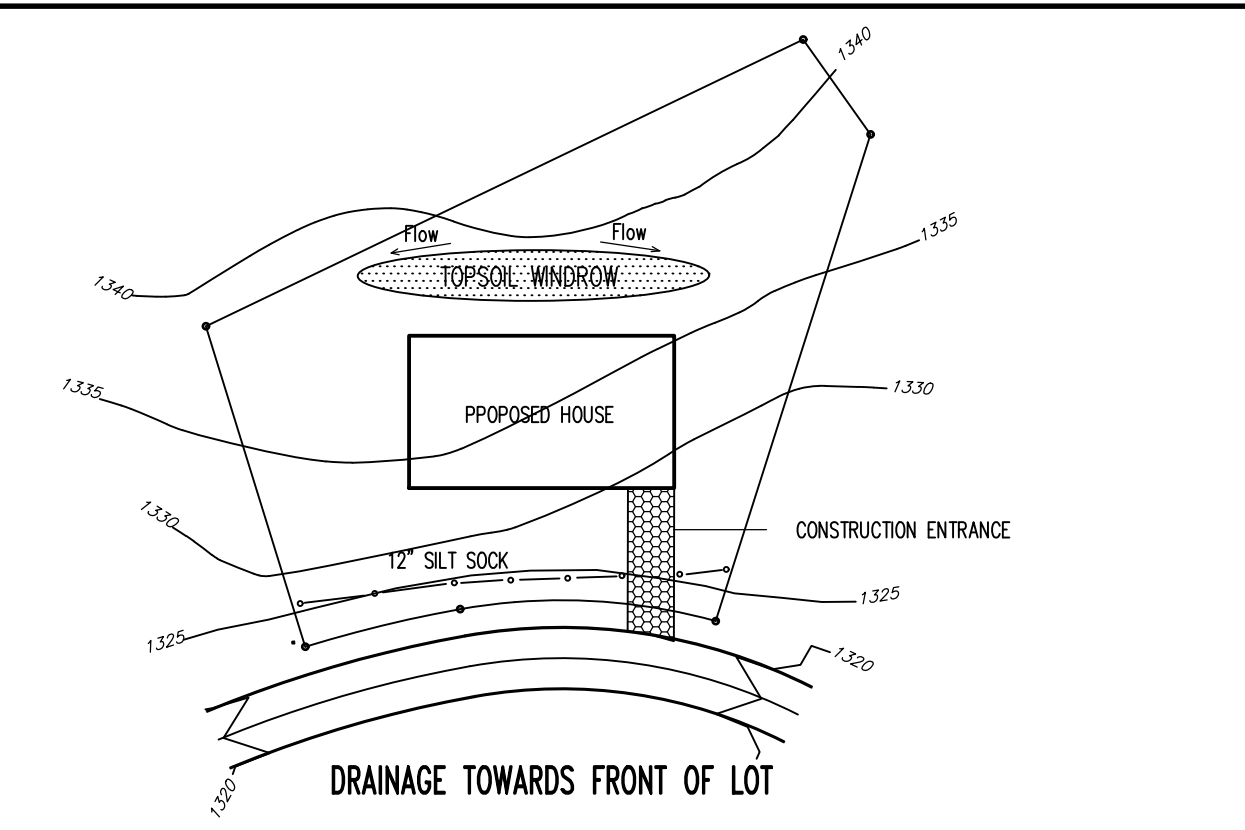
PUMPED WATER FILTER BAG DETAIL
NOTE: THIS DETAIL SHALL BE USED FOR PUMPING OF WATER FROM THE SITE. NOT TO SCALE



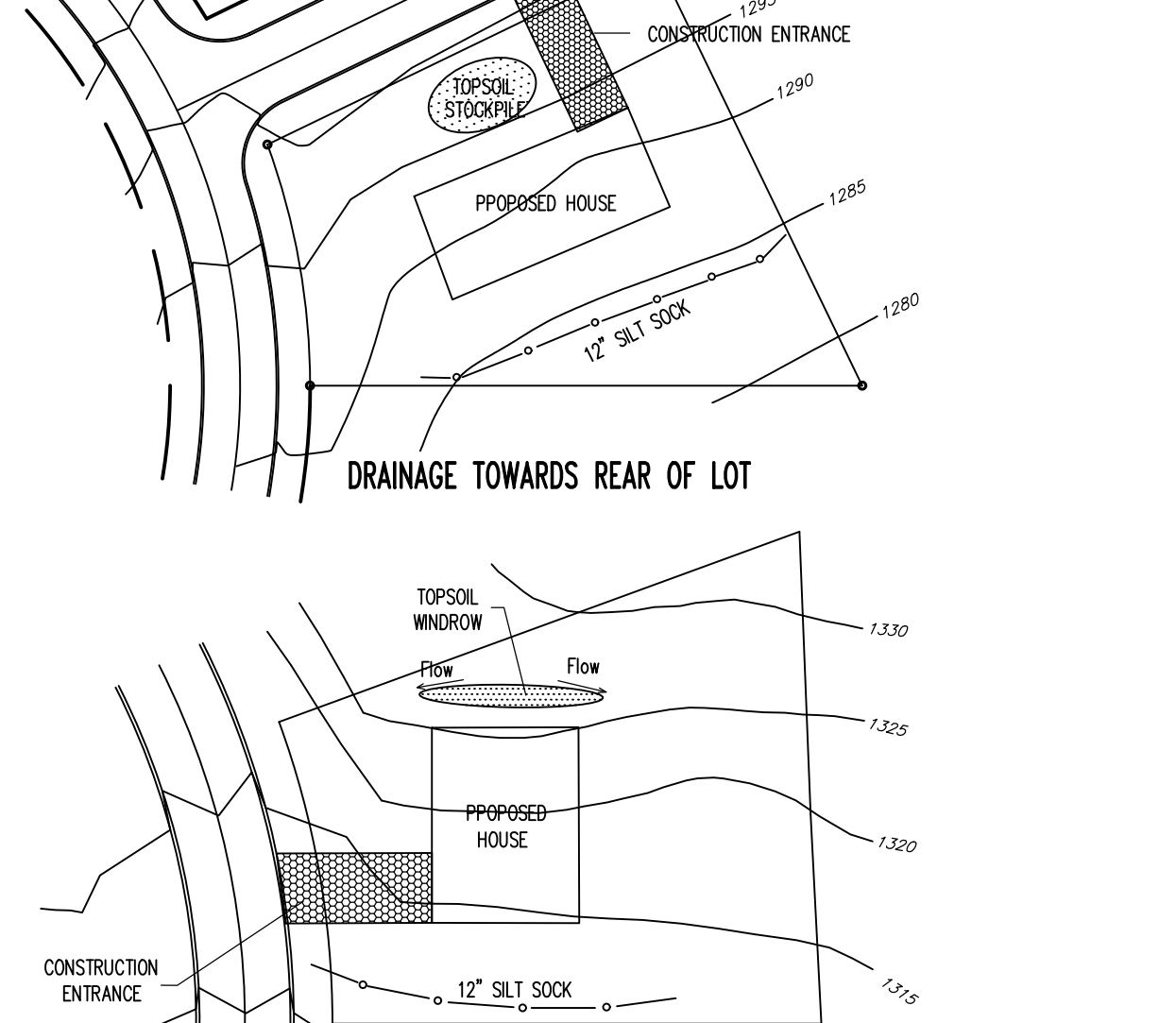
TYPICAL INFILTRATION BASIN AND DETENTION BASIN WITH CONSTRUCTED FILTER BOTTOM EXCAVATION
NOT TO SCALE



EROSION CONTROL BLANKET INSTALLATION
NOT TO SCALE



TYPICAL ON-LOT EROSION CONTROL
NOT TO SCALE



RIPRAP APRON AT PIPE OUTLET WITHOUT FLARED ENDWALL
NOT TO SCALE

OUTLET NO.	PIPE DIA (IN)	RIPRAP		APRON		
		SIZE (R-...)	THICK (IN)	LENGTH (FT)	INITIAL WIDTH (FT)	TERMINAL WIDTH (FT)
OUT-1	15"	R-3	9"	8.00'	3.75'	11.75'
OUT-2	15"	R-3	9"	8.00'	3.75'	11.75'
OUT-3	15"	R-3	9"	8.00'	3.75'	11.75'

EROSION & SEDIMENTATION CONTROL DETAILS

PRELIMINARY SUBDIVISION PLAN

FARMSTEAD VIEW
FERGUSON TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PROJECT NO.
20290
DATE
JULY 29, 2021

SCALE
N.T.S

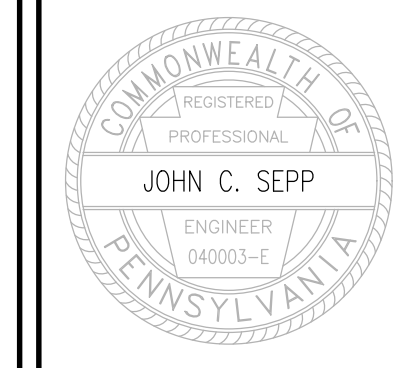
SHEET NO.
ES2

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File: 2020-PR-ES-2-DETAILS
Layout: ES2

Date	Description
	REVISIONS

FARMSTEAD VIEW
FERGUSON TOWNSHIP
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