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## TOWNSHIP OF FERGUSON

3147 Research Drive • State College, Pennsylvania 16801  
Telephone: 814-238-4651 • Fax: 814-238-3454  
www.twp.ferguson.pa.us

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### FERGUSON TOWNSHIP PLANNING COMMISSION REGULAR MEETING AGENDA Tuesday, May 28, 2019 6:00 PM

I. **CALL TO ORDER**

II. **CITIZEN INPUT**

III. **Hummel Subdivision**

The Hummel Subdivision is located at 154 Ridge Road, Pennsylvania Furnace. The purpose of this plan is to subdivide existing tax parcel 24-7-14E, creating revised tax parcel 24-7-14E and create the new Proposed Lost 1 and 2. Revised tax parcel 24-7-14E will remain with home and garage. Lot 1 and Lot 2 shall be sold as a planned lots for future single-family residential homes. The following modifications have been granted by the Board of Supervisors.

- To not pay fee-in-lieu of parkland for the residential subdivision
- Request for relief from Chapter 22.506.3 Water Supply-Fire Apparatus Access to not widen the private Ridge Road to be 18' wide.
- The Board of Supervisors at their May 20, 2019 meeting reviewed the requested modifications and request to not include sidewalks. The modifications were granted, and the Board determined that sidewalks do not have to be installed.

**Staff Recommendation:** That the Planning Commission recommend the Board of Supervisors **approve** the Hummel Subdivision, Subdivision of Tax Parcel 24-7-14E, contingent upon the remaining conditions being met, which are outlined in the Interim Planning and Zoning Director's memo dated May 23, 2019.

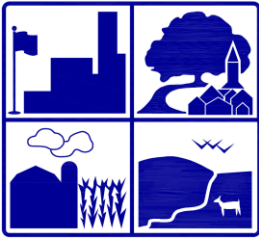
IV. **ORCHARD VIEW PRELIMINARY/FINAL SUBDIVISION PLAN**

This Subdivision Plan was submitted by Penn Terra Engineering, Inc. on behalf of the applicant, Aspen Whitehall Partners LLC. It is a proposed 36 lot subdivision, zoned single-family residential with corridor overlay. The site is approximately 16.568 acres (721,716 SF). A stormwater plan has been submitted. A traffic study is currently under review, a public street will be constructed and all associated utilities will be installed. The applicant is also requesting a modification of Chapter 22-401.A(3)(e) Profiles along center line of each proposed street, showing finished grade a scaled of one inch equal to 50 feet horizontal and one inch equals five feet vertical.

**Staff Recommendation:**

That the Planning Commission review and make comment upon the proposed plan so that the comments can be included in the plan review comment letter which will be sent back to Penn Terra next week.

- V. CONSENT AGENDA**
- VI. INTERIM PLANNING DIRECTOR REPORT**
- VII. CENTRE REGIONAL PLANNING COMMISSION REPORT**
- VIII. ZONING/SALDO UPDATE**
- IX. PINE GROVE MILLS – SMALL AREA PLAN**
- X. APPROVAL OF REGULAR MEETING MINUTES: MAY 13, 2019**
- XI. ADJOURNMENT**



# TOWNSHIP OF FERGUSON

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[www.twp.ferguson.pa.us](http://www.twp.ferguson.pa.us)

TO: Planning Commission

FROM: Lindsay K. Schoch, Interim Planning & Zoning Director

DATE: May 23, 2019

SUBJECT: Hummel Subdivision/Subdivision of Tax Parcel 24-7-14E

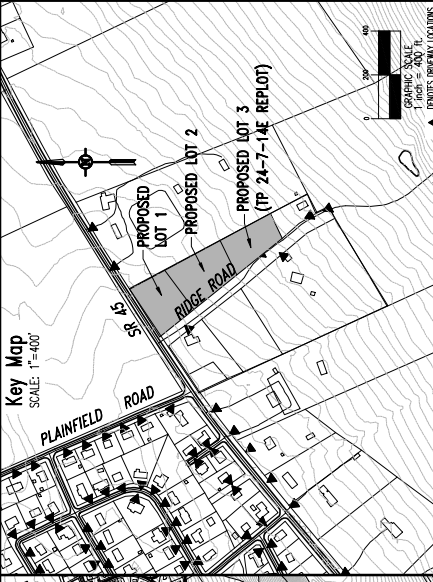
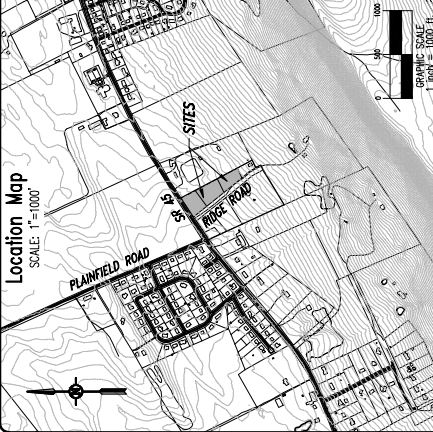
1. 22-403.O: Completed signature blocks as required by 22-401.A.4 and 22-401.B.2. **Comment Stands**
2. A time extension must be submitted with any revised plan (Chapter 22, Section 303). **Comment Stands**
3. A digital copy of the plan in accordance with Township requirements must be provided to the Township prior to final plan signature (Chapter 22, Section 304.7). **Comment Stands**
4. The plan must be signed, all fees paid to the Township and the plan recorded within the plan deadline. **Comment Stands**
5. Completed signature blocks must be included on the Record Plan. (Chapter 22, Section 401) **Comment Stands**
6. I have included an attachment from the County Planning and Community Development Office as a result of an email they received from the recorder of deeds. Kindly review this letter include the requirement on the Mylar when ready for signatures and recording. Thank you. **Comment Stands**
7. The private street agreement that was provided should list both parcels that are owned by Martha S. Hummel. Parcel 24-7-75 (Bk 2136, Pg 841) is missing. (Ch 22, Section 504.2.A.2) Awaiting submission of revised agreement for review. **Comment Stand**
8. The plan proposes an extension of a sanitary sewer main along Ridge Road to serve Lots 1 and 2. The sanitary sewer main extension needs to be designed and included with the plan. Surety will need to be posted for the main extension. (Ch 22, Sec 505.1) The response to this comment does not clarify what is happening. Is this lot being created as a building lot? Note 3 on the plan indicates that UAJA will provide service to the lot. As such, the ordinance requires all newly created lots in the sewer service area connect to the public sewer when approved by the sewer authority. I do not believe it is appropriate to create a salable lot without providing the sanitary sewer required by the ordinance. Not resolved. **Comment Stands**
9. In the RR zoning district, the installation of sidewalks will be determined by the Board of Supervisors. If sidewalks are required, the design of sidewalks needs to be shown on the plan and surety posted for construction. Note 17 needs to be revised. Either the note will indicate the waiver was granted, or the note will be removed, and the sidewalk design added to the plans. A provisional note is not appropriate. (Ch 22-512.1 D) I understand

the Board of Supervisors determined that sidewalks are not required for this plan. *Note 17 just needs to be revised accordingly. **Comment Stands***

10. A fire apparatus access route is required to be 18 feet wide with stabilized mud-free shoulders. Existing Ridge Road is only 10 feet wide. (Ch 22, Sec 506.3.B) I understand that the Board of Supervisors granted a modification from this requirement. A note should be placed on the record plan to summarize the modification approval. **Comment Stands**

11. Fee in lieu of parkland payment as referenced in Note 14 shall be received prior to plan signature. (Ch 22, Sec 513.2.I) I understand that the Board of Supervisors granted a modification from this requirement. *Note 14 should be revised to summarize the modification approval. **Comment Stands***

**Staff Recommendation:** That the Planning Commission recommend the Board of Supervisors **approve** the Hummel Subdivision, Subdivision of Tax Parcel 24-7-14E, contingent upon the remaining conditions being met, which are outlined in the Interim Planning and Zoning Director's memo dated May 23, 2019.



**PennTerra ENGINEERING INC.**  
**CENTRAL PENNSYLVANIA**  
 301 S. CENTRE DRIVE  
 SUITE 100  
 STATE COLLEGE, PA 16801  
 PH: 814-237-6285  
 FAX: 814-237-2308

**LANCASTER REGION OFFICE**  
 3904 B ABEL DRIVE  
 COLUMBIA, PA 17512  
 PH: 717-522-5001  
 FAX: 717-522-5046

**WWW.PENNTERRA.COM**

**COMPLIANT 2018 BY THE ENGINEER**  
 THE INFORMATION CONTAINED HEREIN MAY NOT BE USED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE WORK AND SERVICES PROVIDED BY APPROXIMATELY 10% OF THE TOTAL PROJECT COST. ALL RIGHTS RESERVED.

**Owners Certification (T.P. 24-7-14E)**

Commonwealth of Pennsylvania  
 County of Centre

On this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, I, \_\_\_\_\_, the undersigned, being duly sworn, depose and say that I am the owner of the above described land and that I am the owner of the right and interest therein and that I have read and approved the plat and description of the same and that I have caused the same to be recorded as such, according to the law.

Witness my hand and seal, this date \_\_\_\_\_, 20\_\_\_\_.

Notary Public \_\_\_\_\_ Commission Expires \_\_\_\_\_

**PROJECT NOTES:**

1. Owner of Record: Martha S. Hummel, Pennsylvania Furnace, PA 16865, Pennsylvania Furnace Book 222A, Page 34, 24-7-14E. Existing: T.P. 24-7-14E, Lot 2. Released: T.P. 24-7-14E, 1.208 acres / 52,613 S.F. 3,837 acres / 167,133 S.F. 1,181 acres / 51,451 S.F.

2. Zoning: RB - Rural Residential District, Pennsylvania Furnace, PA 16865 (Lot 1) 11 Ridge Road, Pennsylvania Furnace, PA 16865 (Lot 2) 474 West Pine Grove Road, Pennsylvania Furnace, PA 16865 (Lot 3) 131 Ridge Road, Pennsylvania Furnace, PA 16865 (Lot 2)

3. Site Use: Single Family Residence

4. Proposed: Released: T.P. 24-7-14E, Single Family Residence & Undeveloped Land

5. Building Setbacks: Front - 50' on exterior streets, 20' on local or collector streets. Side - 30'. Rear - 30'.

6. Public Sewer: 1576 Spring Valley Road, State College, PA 16801; (814) 238-9662 (Lot 1 and Lot 2)

7. Private Sewer: Existing on-lot sewage system (Refer to Sanitary Module)

8. Telephone: 224 South Allen Street, State College, PA 16801; (814) 231-6511

9. Electric: West Penn Power Company, 2800 East College Avenue, State College, PA 16801; (814) 237-5821

10. Cable Television: Comcast, 60 Deibel Road, State College, PA 16801; (814) 238-5500

11. Gas: Columbia Gas, 2550 Corison Drive, State College, PA 16801; (814) 238-6775

12. Storm Sewer: (None Existing) Ferguson Township, 3147 Research Drive, State College, PA 16801; (814) 238-4651

13. Permitted District: 2-0

14. 812 West College Avenue, Bellefonte, PA 16823; (814) 355-4731

15. UUA has granted Lots 1 & 2 approval for sewage connection.

16. Lot 1 & Lot 2 shall be serviced by UUA for a new public sewage system. UUA has granted Lot 2 approval for sewage connection. Related Tax Parcel 24-7-14E shall continue to use an on-lot septic system/conventional sewage system.

17. **REPROPOSED USE & PLAN EXPANSION:**

18. The purpose of this plan is to Subdivide Existing T.P. 24-7-14E, creating Revised T.P. 24-7-14E and create the new Proposed Lot 1 & Lot 2. Revised T.P. 24-7-14E will remain with home & garage. Lot 1 and Lot 2 shall be sold as a planned lot for a future single family residential home construction.

19. The site is not located within the 100-year flood plain shown on the Flood Insurance Rate Map (FIRM), Community Panel 4322702835, prepare by Federal Emergency Management Agency (FEMA), effective May 4, 2008. The National Wetlands Inventory mapping.

20. There are no wetlands located on site according to the National Wetlands Inventory mapping.

21. Based on a survey by PennTerra Engineering, Inc., there are no steep slopes on the property.

22. Based on field observations, there are no wetlands on the property.

23. No more than three existing utility poles shall be located on the lot, which is the subject of this subdivision plan, unless additional utility poles are necessary for the proposed use and/or for the Board of Supervisors' approval.

24. Existing areas for septic systems shall not be altered or disturbed. No construction or activity may occur which would render these areas unusable for sewage disposal. The minimum isolation distance between an absorption area and a property line, easement, or right-of-way is 10 feet per Pennsylvania Code Title 25, Chapter 74.13. Refer to on-lot sewage certification for revised Tax Parcel 24-7-14E. This sheet. Similar language shall be represented in the new deed.

25. Fee-in-lieu payment in accordance with Ferguson Township Ordinance Section 22-511.22(b)(1) shall be made prior to final plan approval and municipal signatures for records.

26. Ridge Road is to remain a Private Road. The private road agreement is as identified & recorded in RB 676, PG. 882. A new agreement is developed with the New Lot 1 & Lot 2 creation. That agreement is recorded in \_\_\_\_\_.

27. All improvements are, or will be installed in accordance with such Plan in a manner and time as specified therein.

28. *Stipulations shall be constructed along the frontage of Lots OR may be waived at the discretion of the Township Supervisors. A waiver request is made by the Subdivider since no other stipulations exist within the development area and/or along Ridge Road the private roadway. The nearest sidewalk is approximately 1/2 mile away outside of Pine Grove Mills on Deepwood Drive.*

29. Project References: - Final Plan, Skakley Subdivision, Survey of Lands for Charles Skakley, dated March 10, 1975 and recorded at the Centre County Recorder of Deeds in Plat Book 20 page 53. - "Hummel Subdivision for Malcolm K. and Martha S. Hummel" dated March 18, 1992 and recorded at the Centre County Recorder of Deeds in Plat Book 46 page 5. - Deed from Martha S. Hummel to Philip R. & Amanda M. Mandak, Record Book 2169, Page 0096. - Declaration of private right of way agreement and agreement to maintain common water system (RB 676, PG. 882).

**Professional Land Surveyor Certification**

I, \_\_\_\_\_, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

Signature \_\_\_\_\_ Date \_\_\_\_\_

**Sewage Disposal Review**

Based on the results of soil log profiles performed on this property in compliance with the Pa. Sewage Facilities Act No. 537, as amended by Act 200, Chapter 73, the areas around lot pit number 1 are generally suitable for on-lot sewage disposal; this is not a guarantee that a permit will or will not be issued for any lot or parcel. The Municipal Sewage Enforcement Officer (SEO) must be contacted to conduct further tests as necessary to determine permit issuance.

Sewage Enforcement Officer \_\_\_\_\_ Date \_\_\_\_\_

**Township Engineer Certification**

I, \_\_\_\_\_, have reviewed and hereby certify that the plan meets all engineering design standards and criteria of the Ferguson Township Code of Ordinances.

Township Engineer \_\_\_\_\_ Date \_\_\_\_\_

**Township Supervisors**

Ferguson Township Supervisors Approved

Chairman \_\_\_\_\_ Date \_\_\_\_\_

Secretary \_\_\_\_\_ Date \_\_\_\_\_

**Township Planning Commission**

Ferguson Township Planning Commission Approved

Chairman \_\_\_\_\_ Date \_\_\_\_\_

Secretary \_\_\_\_\_ Date \_\_\_\_\_

**Recorder of Deeds**

Recorded in the Office of the Recorder of Deeds at Centre County, Pennsylvania, in Plat Book \_\_\_\_\_, Page \_\_\_\_\_ on this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Recorder of Deeds \_\_\_\_\_

**SURVEY FEATURES LEGEND**

Property Line, Lot Line or Right of Way Line  
 Adjoining Property Line  
 Building Setback Line  
 Existing Property Corner  
 PROPOSED Property Corner

**EXISTING FEATURES LEGEND**

Existing Building  
 Existing Contours (2's)  
 Existing Contours (10's)  
 Existing Soil Limit Line / Boundary  
 Existing Soil Type  
 Existing Tree Line  
 Existing Sanitary Sewer w/ Manhole  
 Existing Sanitary Sewer Lateral  
 Existing Water Line w/ Valve  
 Existing Water Service Lateral  
 Existing Storm Sewer Line w/ Inlet  
 Existing Overhead Utility Line w/ Pole  
 Existing Evergreen Tree

**SOILS LEGEND**

Soil cover on the site consists of:  
 AaB - Andover channery silt loam, 0%-8% Slopes  
 AaC - Andover channery silt loam, 8%-15% Slopes  
 AaD - Andover channery stony loam, 8%-15% Slopes  
 AbB - Buchanan channery silt loam, 3%-6% Slopes  
 Soil Moieties:  
 - Andover and Buchanan soils are on the Centre County Hydroic soils list.  
 - There are no Prime Agricultural soils on this plan.

**PROPOSED LOT 1**  
 52,613 S.F.  
 1.208 Acres  
 474 West Pine Grove Road or 11 Ridge Road

**PROPOSED LOT 2**  
 63,089 S.F.  
 1.448 Acres  
 131 Ridge Road

**PROPOSED LOT 3**  
 51,451 S.F.  
 1.181 Acres  
 151 (formerly 137 Ridge Road) Pennsylvania Furnace, PA 16865

REFER TO REPLIT OF LOTS 1 & 3 SZALKALY SUBDIVISION PLAT 20, PG 53 AS RECORDED AT PG 32, PAGE 77 FOR 50' (OPEN) RIGHT-OF-WAY

**DESIGNER:** M.H.  
**PROJECT MANAGER:** C.S.  
**SURVEYOR:**  
**PERMITTER:** P.  
**BOOK:** Pg.  
**DRAWING:** P., Legend, Subdivision  
**SCALE:** 1"=60'-0.00'

**REVISIONS:**

5.8-19 REVISION FOR THE COMMENTS.  
 Date Description

**HUMMEL SUBDIVISION**

FERGUSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

**SUBDIVISION OF TAX PARCEL 24-7-14E**

PROJECT NO. 15102  
 DATE JUNE 6, 2017  
 SCALE 1"=60'  
 SHEET NO. 1 of 2

**GRAPHIC SCALE**  
 (IN FEET)  
 1 inch = 60 ft.

### SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Existing Property Corner
- PROPOSED Property Corner

### EXISTING FEATURES LEGEND

- Existing Building
- Existing Contours (2's)
- Existing Contours (10's)
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Line
- Existing Sanitary Sewer w/ Manhole
- Existing Sanitary Sewer Lateral
- Existing Water Line w/ Valve
- Existing Water Service Lateral
- Existing Storm Sewer Line w/ Inlet
- Existing Overhead Utility Line w/ Pole
- Existing Evergreen Tree

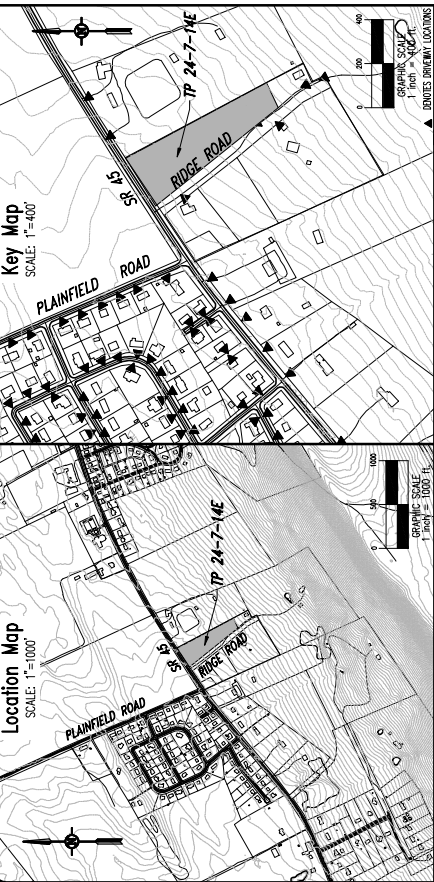
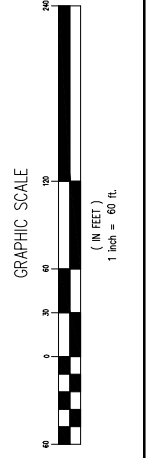
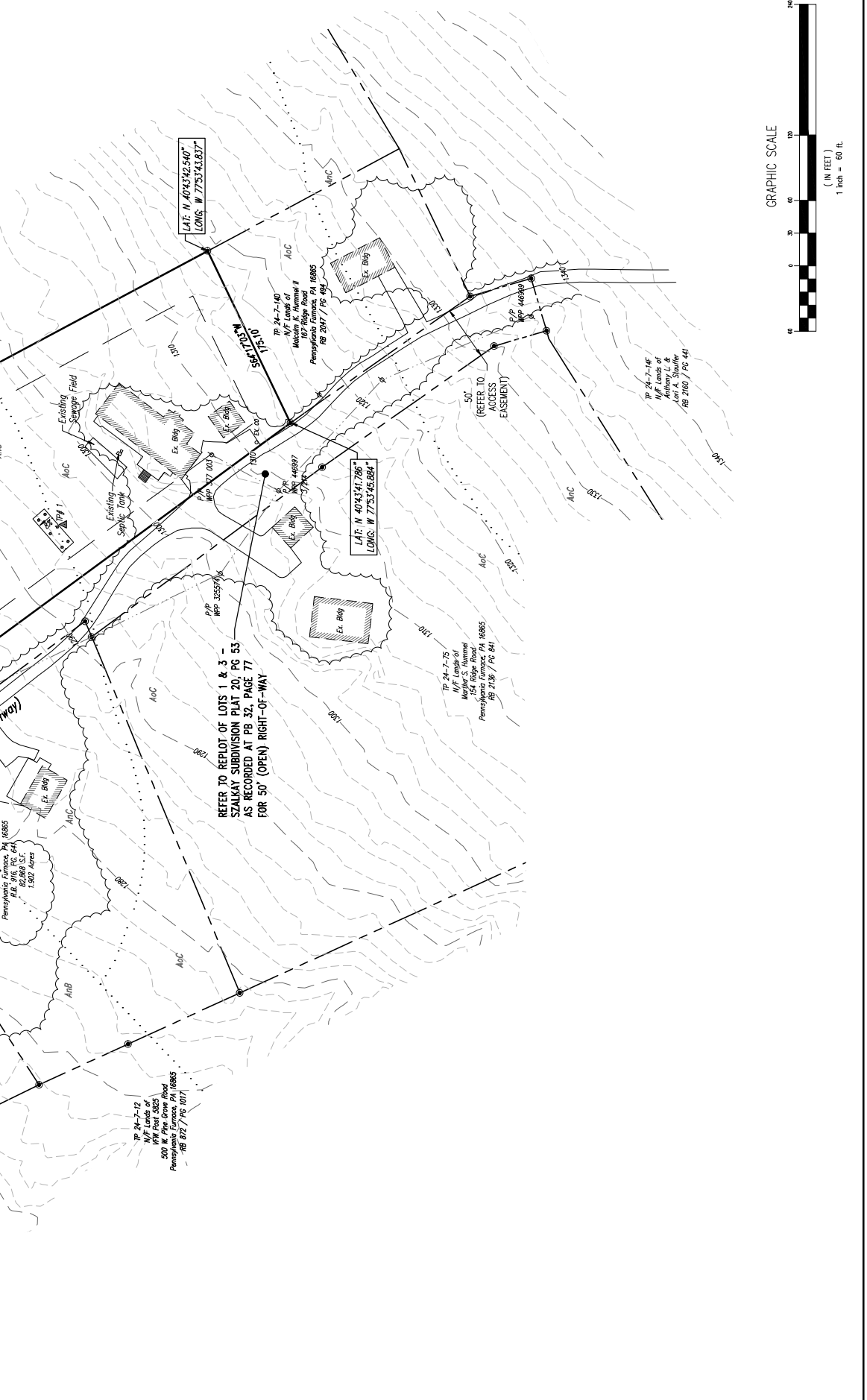
### SOILS LEGEND

Soil cover on the site consists of:

- AnB - Andover channely silt loam, 0%-8% Slopes
- AnC - Andover channely silt loam, 8%-15% Slopes
- AcC - Andover channely silt loam, 8%-15% Slopes
- BuB - Buchanan channely silt loam, 3%-8% Slopes

**Soil Notes:**

- Andover and Buchanan soils are on the Centre County Hyric soils list.
- There are no Prime Agricultural soils on this plan.

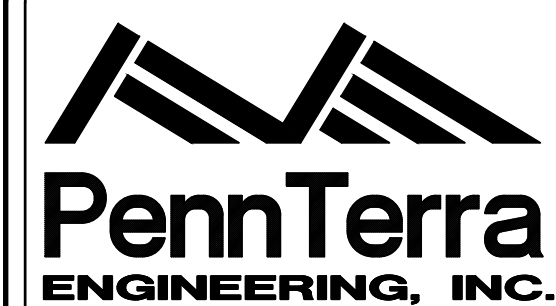
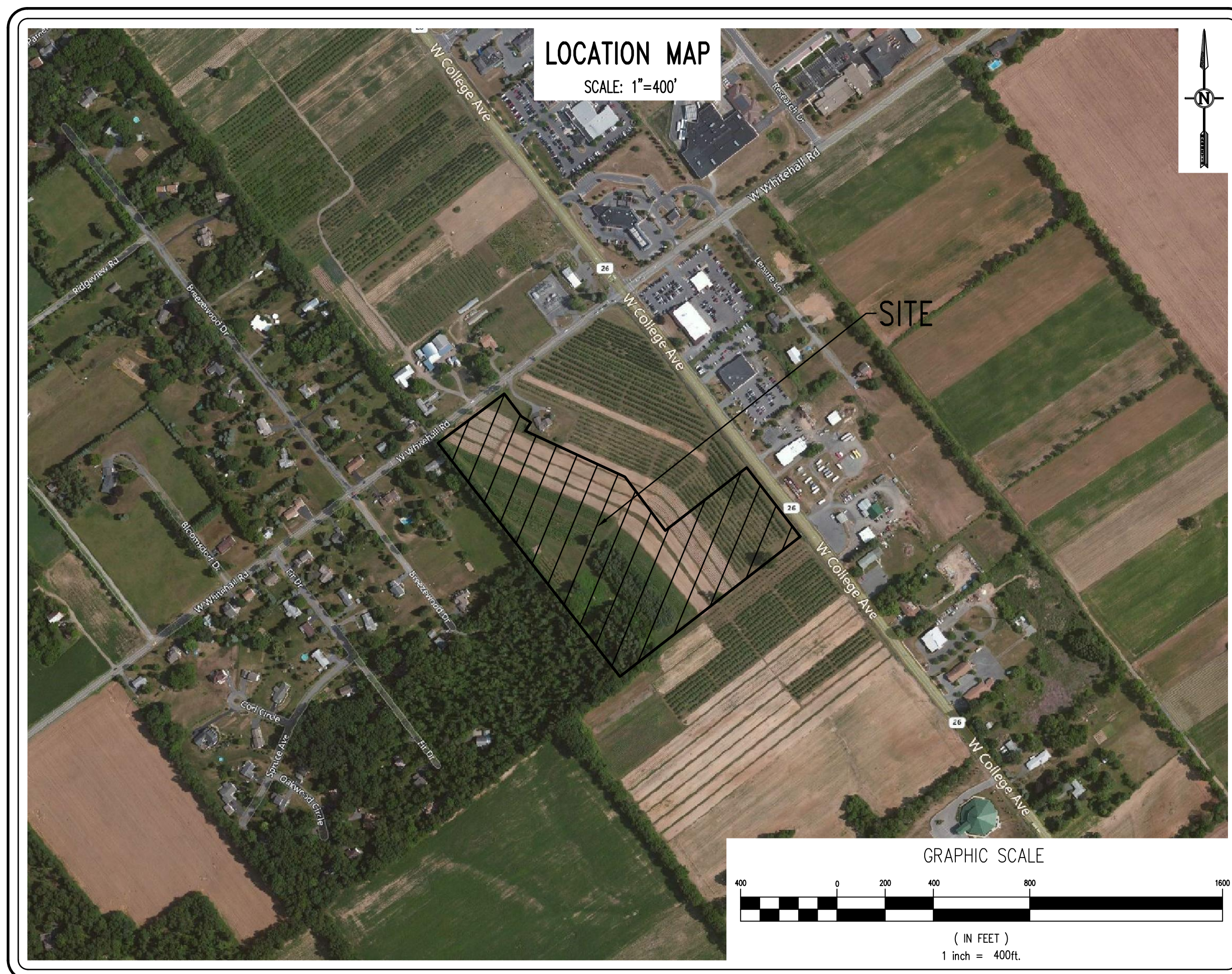


# ORCHARD VIEW

## PRELIMINARY/FINAL SUBDIVISION PLAN

FERGUSON TOWNSHIP \* CENTRE COUNTY \* PENNSYLVANIA

MAY 14, 2019



**CENTRAL PENNSYLVANIA  
REGION OFFICE:**  
3075 ENTERPRISE DRIVE  
SUITE 100  
STATE COLLEGE, PA 16801  
PH: 814-231-8285  
Fax: 814-237-2308

**LANCASTER  
REGION OFFICE:**  
3904 B ABEL DRIVE  
COLUMBIA, PA 17512  
PH: 717-522-5031  
Fax: 717-522-5046

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### ACT 287 UTILITY INFORMATION (SERIAL NUMBER: 20183162948)

**SANITARY SEWER**  
UNIVERSITY AREA JOINT AUTHORITY  
1576 SPRING VALLEY ROAD  
STATE COLLEGE, PA 16801  
PHONE: (814) 238-9662

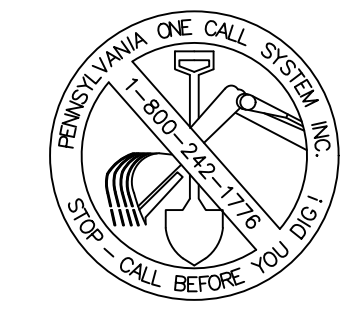
**PUBLIC WATER**  
STATE COLLEGE BOROUGH WATER AUTHORITY  
1201 WEST BRANCH ROAD  
STATE COLLEGE, PA 16801  
PHONE: (814) 238-6766

**NATURAL GAS**  
COLUMBIA GAS OF PENNSYLVANIA  
2550 CAROLEAN INDUSTRIAL DRIVE  
STATE COLLEGE, PA 16801  
PHONE: (814) 238-6775

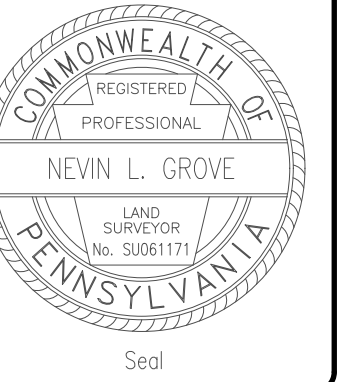
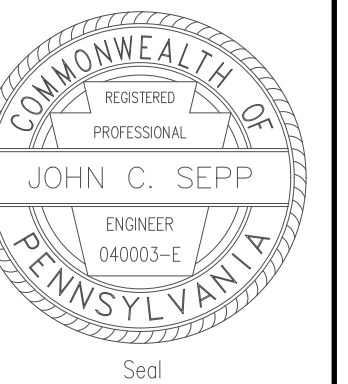
**ELECTRIC**  
WEST PENN POWER COMPANY  
2800 EAST COLLEGE AVENUE  
STATE COLLEGE, PA 16801  
PHONE: (814) 237-5721

**TELEPHONE**  
VERIZON  
224 SOUTH ALLEN STREET  
STATE COLLEGE, PA 16801  
PHONE: (814) 231-6511

**CABLE TELEVISION**  
COMCAST  
60 DECIBEL ROAD  
STATE COLLEGE, PA 16801  
PHONE: (800) 992-3515



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NON-MEMBERS MUST BE CONTACTED DIRECTLY



Designer	EAH
Draftsman	EAH
Proj. Manager	MAT/JCS
Surveyor	MAK/JDF
Perimeter Ck.	
Book	543 Pg 1
Acad	17125-RESIDENTIAL-SUB-EX
Layout	EX

Date	Description	REVISIONS

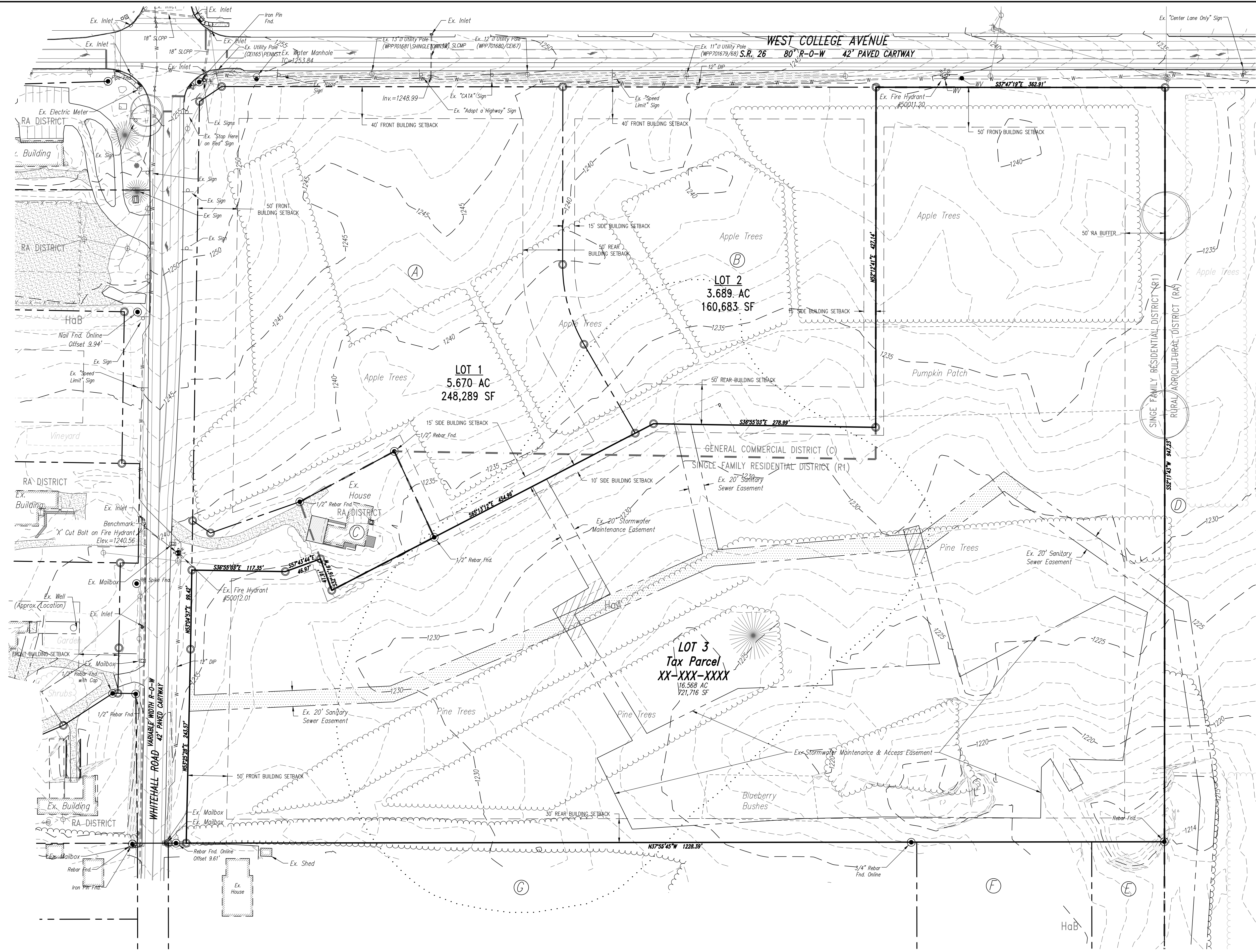
**ORCHARD VIEW**

FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

**PRELIMINARY/FINAL  
SUBDIVISION PLAN**

**EXISTING  
CONDITIONS  
PLAN**

PROJECT NO.	17125
DATE	MAY 14, 2019
SCALE	1"=60'
SHEET NO.	2



**SURVEY FEATURES LEGEND**

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Zoning Boundary
- Property Corner Found
- Property Corner To Be Set
- Project Benchmark

**SOILS LEGEND**

- Soil cover on the site consists of:
- HaA - Hagerstown Silt Loam, 0-3% Slopes
  - HaB - Hagerstown Silt Loam, 3-8% Slopes
  - HuA - Hublerburg Silt Loam, 0-3% Slopes
  - HuB - Hublerburg Silt Loam, 3-8% Slopes
  - OhB - Opequon-Hagerstown Complex, 3-8% Slopes

**EXISTING FEATURES LEGEND**

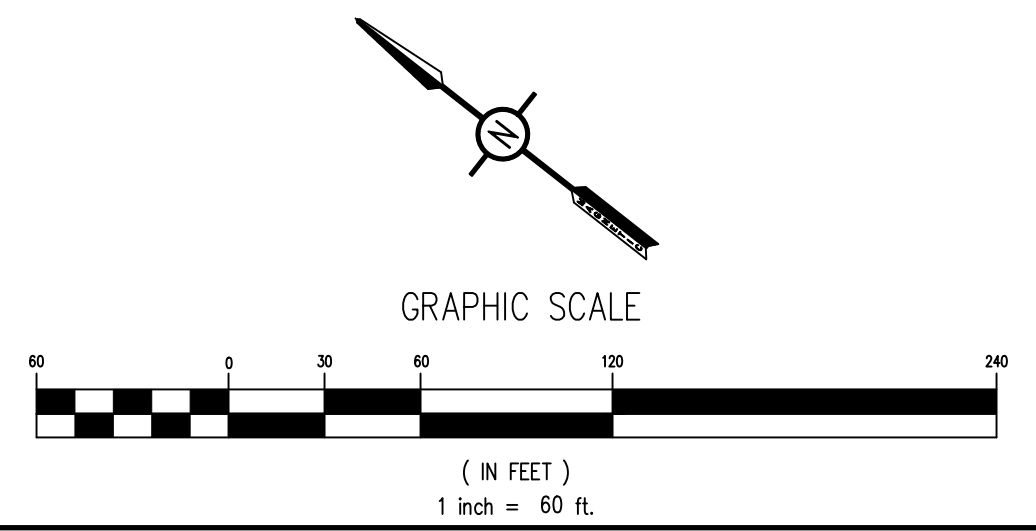
- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Gravel Areas
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Underground Electric
- Existing Overhead Utility Line w/ Pole
- Existing Fire Hydrant
- Existing Utility Pole
- Existing Guy Wire
- Existing Sign
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Row
- 25% Slopes Or Greater
- Existing Deciduous Tree
- Existing Evergreen Tree

**Property Adjoiners**

Lot	Owner
A	ASPEN WHITEHALL PARTNERS, LLC
B	ASPEN WHITEHALL PARTNERS, LLC
C	24-004-0070-0000 HARNER, THOMPSON P
D	24-004-0780-0000 0623-0218 HARNER, THOMPSON P & DANNY R
E	24-017-017-0000 2146-0355 SMITH, VIRGINIA CAROL & RICHARD B
F	24-017-018-0000 0516-0162 DELAUNTER, JOSEPH H & SANDRA
G	24-017-019-0000 0418-0759 WIKES, IRVING A & WENDY L

- AREA OF EX. STORMWATER MAINTENANCE & ACCESS EASEMENT TO BE VACATED UPON DEDICATION OF PROPOSED APPLE VIEW DRIVE ROW.
- AREA OF EX. 20" SANITARY SEWER EASEMENT TO BE VACATED UPON DEDICATION OF PROPOSED APPLE VIEW DRIVE ROW.

NOTE:  
1. THE EXISTING LOT LINES AND EASEMENTS SHOWN ARE BASED UPON THE "STATE COLLEGE, PA (WHITEHALL ROAD) SHEETZ" LAND DEVELOPMENT PLAN, WHICH IS CURRENTLY UNDER REVIEW BY FERGUSON TOWNSHIP. SEE NOTE 12.b. ON SHEET 4 FOR MORE INFORMATION.



P:\MapInfo\201717125\Design\lot final\Residential Subdivision Plan\17125-RESIDENTIAL-SUB-EX.dwg, 5/13/2019 3:17:37 PM, 1:1



CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C1	354.82'	625.00'	182.33'	S 52° 50' 22" E	350.08'	32° 31' 39"
C2	286.94'	525.00'	147.15'	S 53° 26' 45" E	283.38'	31° 18' 53"
C3	318.30'	175.00'	224.86'	S 89° 53' 44" E	276.21'	104° 12' 51"
C4	31.01'	125.00'	15.59'	N 45° 06' 16" E	30.93'	14° 12' 51"
C5	45.51'	125.00'	23.01'	N 62° 38' 29" E	45.26'	20° 51' 37"
C6	27.31'	75.00'	13.81'	N 62° 38' 29" E	27.16'	20° 51' 37"
C7	45.51'	125.00'	23.01'	S 62° 38' 29" W	45.26'	20° 51' 37"
C8	27.31'	75.00'	13.81'	S 62° 38' 29" W	27.16'	20° 51' 37"
C9	18.61'	75.00'	9.35'	S 45° 06' 16" W	18.56'	14° 12' 51"
C10	409.25'	225.00'	289.10'	N 89° 53' 44" W	355.12'	104° 12' 51"
C11	259.61'	475.00'	133.13'	N 53° 26' 45" W	256.39'	31° 18' 53"
C12	383.21'	675.00'	196.92'	N 52° 50' 22" W	378.08'	32° 31' 39"
C13	15.89'	675.00'	7.95'	S 37° 15' 00" E	1233.27'	1° 20' 56"
C14	77.14'	675.00'	38.61'	S 41° 11' 54" E	1235.58'	6° 32' 53"
C15	77.14'	675.00'	38.61'	S 47° 44' 47" E	77.10'	6° 32' 53"
C16	77.14'	675.00'	38.61'	S 54° 17' 40" E	77.10'	6° 32' 53"
C17	77.14'	675.00'	38.61'	S 60° 50' 33" E	211.76'	6° 32' 53"
C18	58.75'	675.00'	29.39'	S 66° 36' 36" E	205.78'	4° 59' 11"
C19	56.34'	475.00'	28.20'	S 65° 42' 19" E	56.31'	6° 47' 45"
C20	94.86'	475.00'	47.59'	S 56° 35' 11" E	94.70'	11° 26' 31"

CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C21	96.57'	475.00'	48.45'	S 45° 02' 29" E	96.40'	11° 38' 53"
C22	11.85'	475.00'	5.92'	S 38° 30' 11" E	11.85'	1° 25' 44"
C23	59.77'	225.00'	30.06'	S 45° 23' 54" E	59.59'	15° 13' 11"
C24	77.99'	225.00'	39.39'	S 62° 56' 19" E	77.60'	19° 51' 37"
C25	77.92'	225.00'	39.36'	S 82° 47' 24" E	77.53'	19° 50' 33"
C26	77.62'	225.00'	39.20'	N 77° 24' 22" E	77.23'	19° 45' 55"
C27	78.13'	225.00'	39.46'	N 57° 34' 33" E	77.74'	19° 53' 42"
C28	37.82'	225.00'	18.96'	N 42° 48' 46" E	37.78'	9° 37' 52"
C29	25.00'	125.00'	12.54'	S 46° 28' 55" W	24.96'	11° 27' 33"
C30	6.01'	125.00'	3.01'	S 39° 22' 29" W	6.01'	2° 45' 18"
C31	5.08'	175.00'	2.54'	S 38° 49' 45" W	5.08'	1° 39' 51"
C32	135.24'	175.00'	71.20'	S 61° 48' 01" W	131.90'	44° 16' 40"
C33	126.12'	175.00'	65.94'	N 75° 24' 51" W	123.41'	41° 17' 36"
C34	51.86'	175.00'	26.12'	N 46° 16' 41" W	51.67'	16° 58' 45"
C35	37.55'	525.00'	18.78'	N 39° 50' 15" W	37.54'	4° 05' 52"
C36	76.36'	525.00'	38.25'	N 46° 03' 12" W	76.30'	8° 20' 02"
C37	76.36'	525.00'	38.25'	N 54° 23' 14" W	76.30'	8° 20' 02"
C38	76.36'	525.00'	38.25'	N 62° 43' 16" W	76.30'	8° 20' 02"
C39	20.30'	525.00'	10.15'	N 67° 59' 44" W	20.29'	2° 12' 54"
C40	1.67'	625.00'	0.83'	N 69° 01' 36" W	1.67'	0° 09' 10"

CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C41	83.33'	625.00'	41.73'	N 65° 07' 50" W	83.27'	7° 38' 22"
C42	83.33'	625.00'	41.73'	N 57° 29' 28" W	83.27'	7° 38' 22"
C43	85.99'	625.00'	43.06'	N 49° 43' 48" W	85.92'	7° 52' 59"
C44	83.33'	625.00'	41.73'	N 41° 58' 08" W	83.27'	7° 38' 22"
C45	17.16'	625.00'	8.58'	N 37° 21' 44" W	17.16'	1° 34' 25"

**Property Adjoints**

A	B
24-004-0676-0000- ASPHEN WHITEHALL PARTNERS, LLC	
24-004-0788-0000- HARNER, THOMPSON P	
24-073-017-0000- HARNER, THOMPSON P & DANNY R	
24-073-017-0000- SMITH, VIRGINIA CAROL & RICHARD B	
24-073-018-0000- DELAUER, JOSEPH H & SANDRA	
24-073-019-0000- MYERS, DENNIS A & WENDY L	

**GEODETIC GPS POINTS**

POINT	LATITUDE	LONGITUDE
A	40°45'35.041"	77°52'40.614"
B	40°45'25.801"	77°52'31.164"
C	40°45'20.053"	77°52'40.878"
D	40°45'29.616"	77°52'50.708"

**PLANTING SCHEDULE**

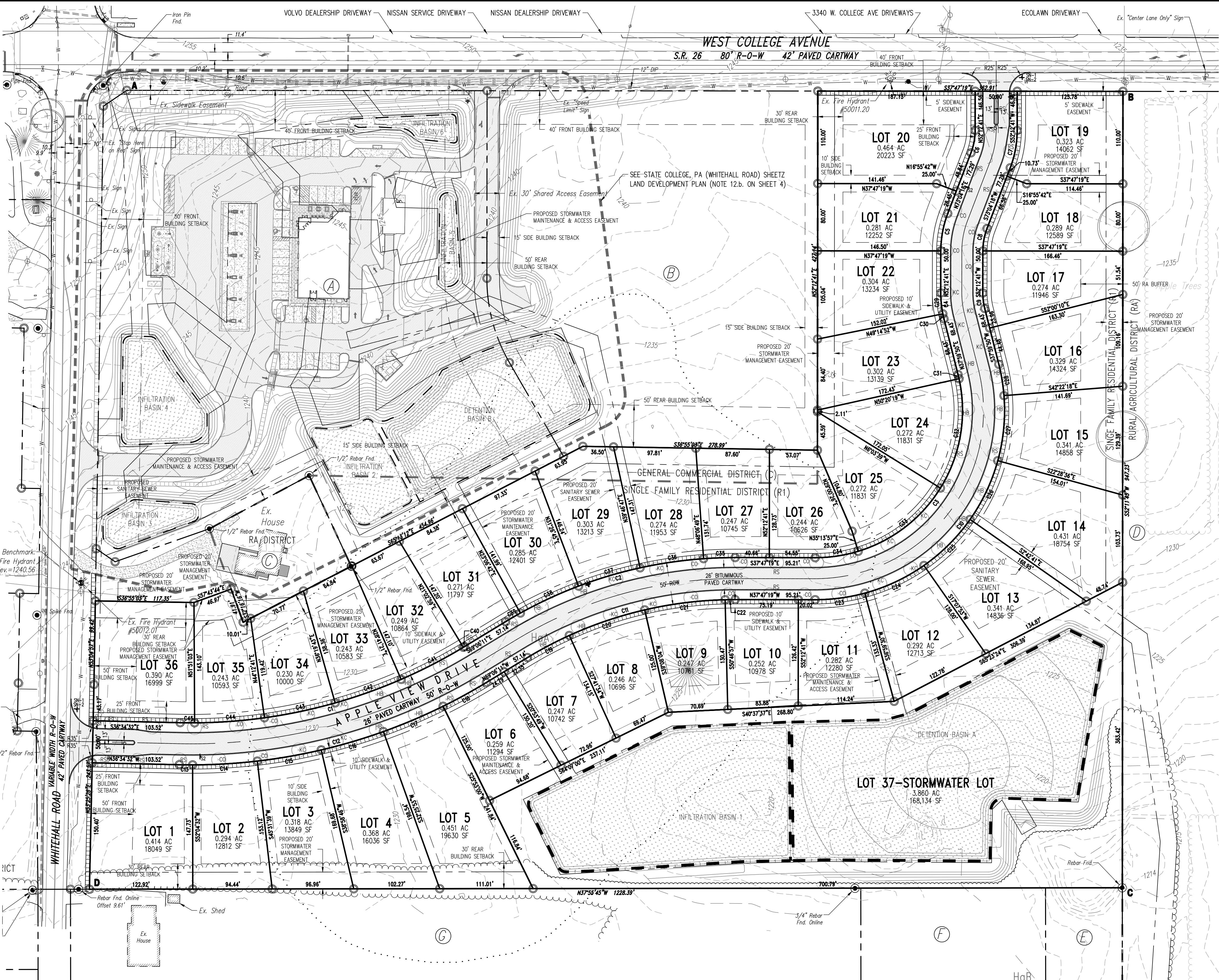
SYMBOL	KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE	MATURE HEIGHT	MATURE SPREAD
<b>STREET TREES</b>							
○	CO	16	CHINKAPIN OAK	Q. muehlenbergi	2" CAL.	45'	45'
○	HB	16	HACKBERRY	Celtis occidentalis	2" CAL.	50'	50'
○	KC	16	KENTUCKY COFFEE TREE	Gymnocladia dioica	2" CAL.	60'	40'
○	RS	21	RED SUNSET MAPLE	Acer rubrum - red sunset	2" CAL.	60'	30'

NOTE: ALL TREES & SHRUBS ARE TO BE PLANTED IN ACCORDANCE WITH CHAPTER 25 (SHADE TREES) OF THE FERGUSON TOWNSHIP SUBDIVISION ORDINANCE.

**Fire Flow Information:**

Fire Hydrant #50011.20  
Location: Across from 3340 W College Ave  
Flow Information  
Test Date: 08/17/2017  
Nozzle: 4.5"  
Pressure: Static: 74 psi  
Residual: 58 psi  
Flow: 1,750 gpm

Fire Hydrant # 50012.01  
Location: Across from 2177 W Whitehall Rd  
Flow Information  
Test Date: 08/28/2017  
Nozzle: 4.5"  
Pressure: Static: 76 psi  
Residual: 60 psi  
Flow: 1,800 gpm



**SURVEY FEATURES LEGEND**

- Property Line, Lot Line or Right of Way Line
- - - Adjoining Property Line
- ▬ Building Setback Line
- Easement Line
- - - Zoning Boundary
- Property Corner Found
- Property Corner To Be Set
- Project Benchmark

**SOILS LEGEND**

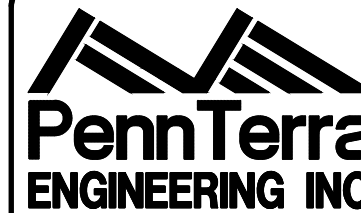
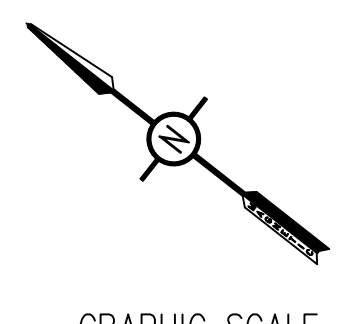
Soil cover on the site consists of:  
HuA - Hagerstown Sh Loom, 0-3% Slopes  
HuB - Hagerstown Sh Loom, 3-8% Slopes  
HuC - Hagerstown Sh Loom, 0-3% Slopes  
HuD - Hagerstown Sh Loom, 3-8% Slopes  
OHB - Opequon-Hagerstown Complex, 3-8% Slopes

**EXISTING FEATURES LEGEND**

- ▬ Existing Building
- ▬ Existing Concrete Areas
- ▬ Existing Gravel Areas
- x - x - Existing Fence / Type
- s - s - Existing Sanitary Sewer w/ Manhole
- w - w - Existing Water Line w/ Valve
- s - s - Existing Storm Sewer Line w/ Inlet
- - - Existing Gas Line
- - - Existing Underground Electric
- Existing Overhead Utility Line w/ Pole
- ⊛ Existing Fire Hydrant
- ⊥ Existing Utility Pole
- ⊙ Existing Sign
- Existing Soil Limit Line / Boundary
- ⊙ Existing Soil Type
- ⊙ Existing Tree Row
- ⊙ Existing Deciduous Tree
- ⊙ Existing Evergreen Tree

**PROPOSED FEATURES LEGEND**

- ▬ PROPOSED CURBING & EDGE OF PAVEMENT
- ▬ PROPOSED CONCRETE SIDEWALK
- ▬ PROPOSED BITUMINOUS PAVEMENT AREAS
- ⊙ PROPOSED FIRE HYDRANT
- ⊙ PROPOSED TREE ROW
- ⊙ PROPOSED SIGN W/ LABEL
- ▬ PROPOSED DEPRESSED CURB W/ CURB TRANSITION
- ▬ PROPOSED STORMWATER BASIN/ BEST MANAGEMENT PRACTICE (BMP) FACILITIES
- ▬ PROPOSED STREET TREE

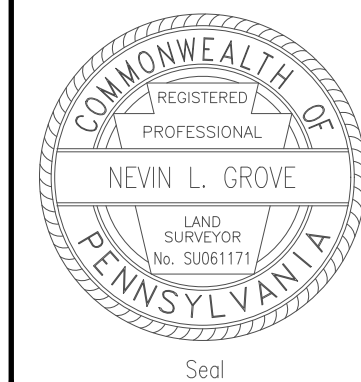
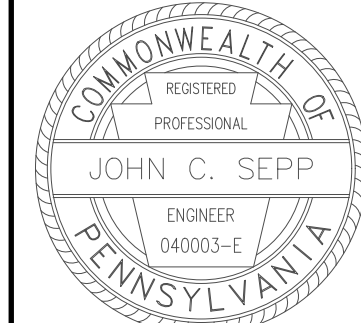


**CENTRAL PENNSYLVANIA REGION OFFICE:**  
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SUITE 100  
STATE COLLEGE, PA 16801  
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Fax: 814-237-2308

**LANCASTER REGION OFFICE:**  
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Fax: 717-522-5046

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Designer	EAH
Draftsman	EAH
Proj Manager	MAI/JCS
Surveyor	MAK/JDF
Perimeter Ok	
Book	543 Pg 1
Acad	17125-RESIDENTIAL-SUB-RP
Layout	RP

**ORCHARD VIEW**

FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

PRELIMINARY/FINAL  
SUBDIVISION PLAN

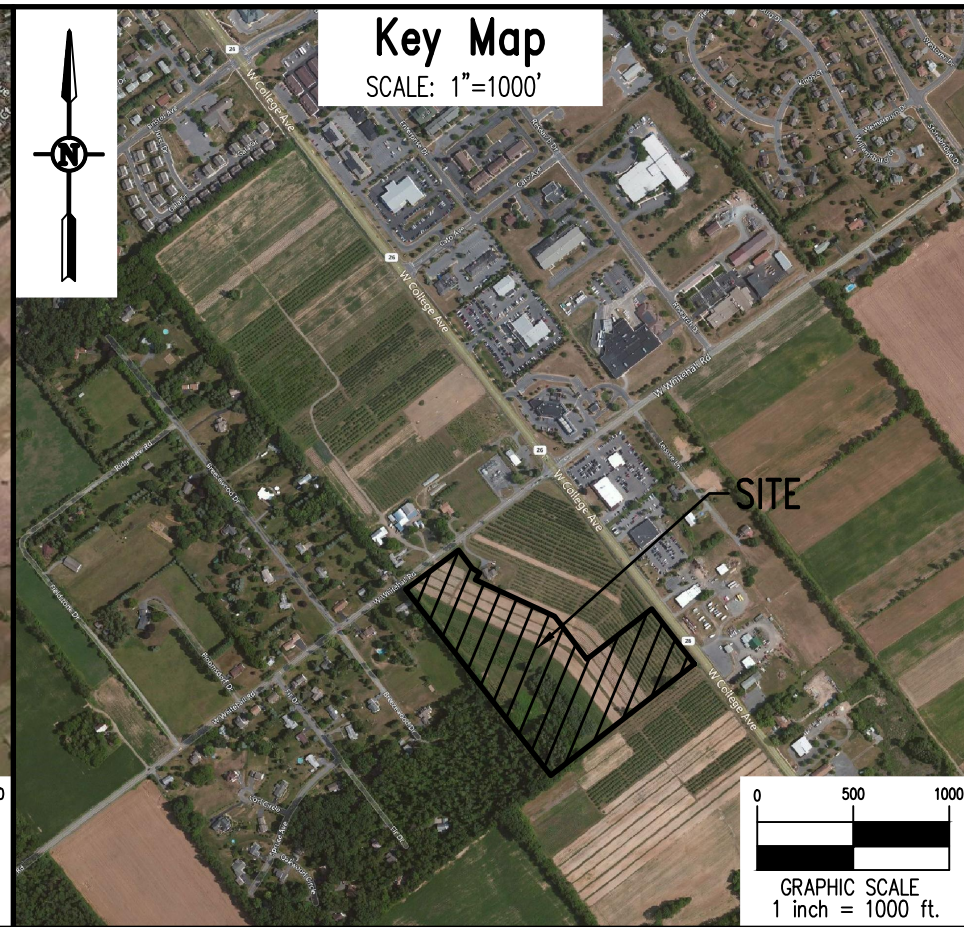
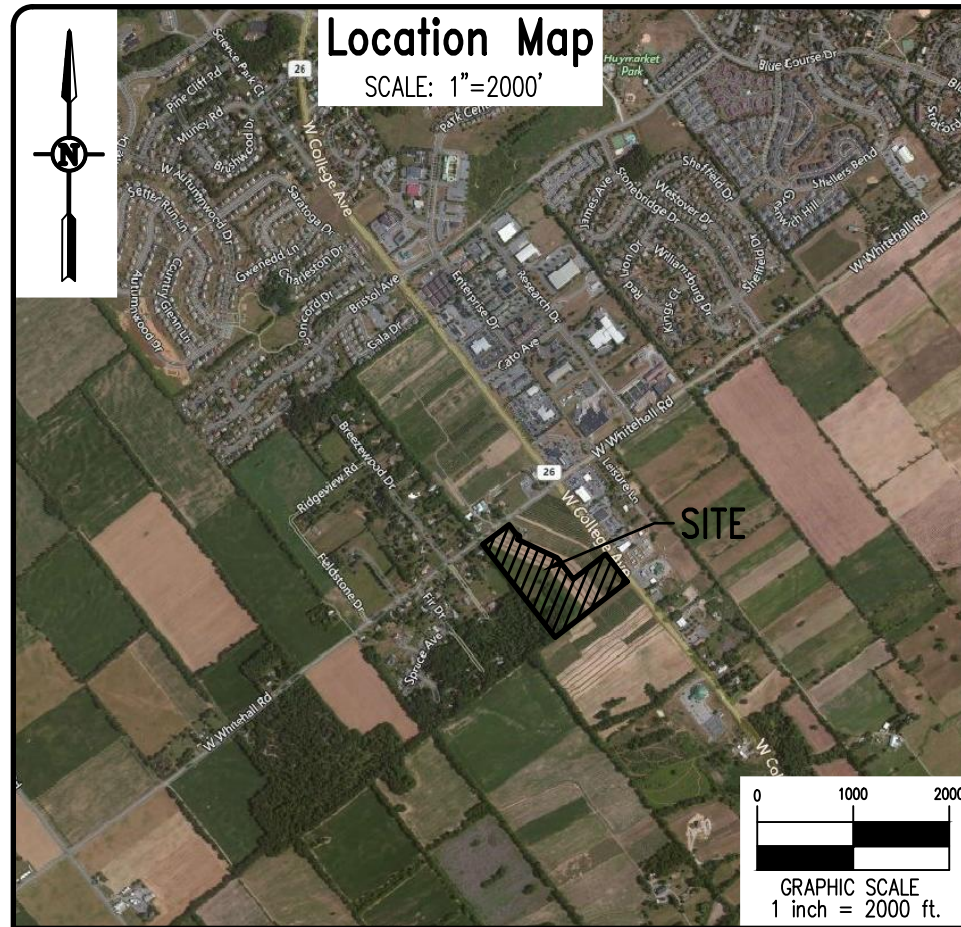
**RECORD PLAN**

PROJECT NO.  
17125

DATE  
MAY 14, 2019

SCALE SHEET NO.  
1"=60' 3

P:\Info\2017\17125\Design\01 Prel\Residential Subdivision Plan\17125-RESIDENTIAL-SUB-RP.dwg, 5/13/2019 3:18:16 PM, 11



**Project Notes:**

- 1. General Site Information:
a. Owner Information: Aspen Whitehall Partners LLC
b. Tax Parcel Number:
c. Deed Information:
d. Property Address:
e. Municipality:
f. Zoning:
g. Existing Site Use:
h. Proposed Site Use:
i. Lot Size:
j. Maximum Building Coverage:
k. Proposed Building Coverage:
l. Maximum Impervious Coverage:
m. Proposed Impervious Coverage:
n. Maximum Building Height:
o. Proposed Building Height:
p. Total Number of Lots:
2. Building Setbacks:
3. The purpose of this plan is to Subdivide existing Tax Parcel Number into 36 Single Family Residential lots, 1 Stormwater Management Lot, construct a public street, and install all associated utilities.
4. Act 287 Utility Information:
5. Natural Site Features & Survey Information:
6. Easement Information:
7. Street Lighting:
8. Any signage required by the Township shall be acquired and erected at the expense of the developer.
9. Property monuments and pins shall be set after lot development and landscaping is completed.
10. Apple View Drive shall have a 26' wide paved cartway bordered by extruded plain cement concrete curb and centered within a dedicated 50' R-O-W.
11. All pedestrian walkways, drainage easements, detention basins, and all drainage structures located outside of the street R-O-W shall be maintained by
12. For additional information, refer to:
13. As-Built drawings/documentation of the stormwater management facilities must be prepared in accordance with Chapter 26 §26-402D.4 and submitted to Ferguson Township at the completion of construction as a prerequisite of the release of surety and issuance of Occupancy Permit.
14. Street trees along Apple View Drive shall be as follows: (Min. Spacing: 41', Max. Spacing: 50', Min. Caliper: 2") (Refer to Plan Sheet 3). Due to potential conflicts with driveway entrances and construction equipment, the installation of street trees within this subdivision shall be done all at the same time after all sidewalks are completed in this phase. Street tree planting shall be in compliance with Chapter 25 (Shade Trees) of the Ferguson Township Subdivision Ordinance.
15. A Sidewalk Easement Agreement has been recorded in Record Book Page for the concrete sidewalk along the street frontage of all single family lots.
16. No structure is required to have a built-in fire suppression system.
17. This Record Plan Conforms with the plan receiving final approval by the Ferguson Township Board of Supervisors on. All improvements are or will be installed in accordance with such plan in a manner and time so specified therein.
18. A fee-in-lieu payment will be provided by the developer to meet the parkland requirement.
19. No more than 36 dwelling units may be constructed on the land which is the subject of this Subdivision Plan unless additional land is dedicated to the Township of Ferguson for parkland and/or the Board of Supervisors accepts an additional fee-in-lieu of dedication of parkland.

**Stormwater BMPs Long Term Ownership, Operation and Maintenance Program**

All stormwater management BMPs on this site not contained in a Ferguson Township Right-of-Way shall be owned and maintained by the Home Owners Associations their executors, heirs and assigns. The owners agree to provide perpetual maintenance, access to and ownership of the BMPs. Ferguson Township, its agents and assigns shall have the uninterrupted right to access the property for inspection and maintenance of the stormwater BMPs. This note applies to the entire property shown on these plans and shall be in effect for perpetuity. The responsibility for long-term operation and maintenance of the BMPs is a covenant that runs with the land and binding upon and enforceable by subsequent grantees.
Ferguson Township and/or the Centre County Conservation District requires the Owners to maintain a record of all inspections, repairs, and maintenance activities associated with the proposed stormwater management and permanent erosion and sediment pollution control facilities at this project site. The Owners shall immediately notify Ferguson Township and Centre County Conservation District prior to initiating any major repair activities.
The Owners hereby acknowledges Ferguson Township's right to periodically access the project site to inspect the permanent stormwater management facilities that are part of this project. The Owners acknowledges Ferguson Township's right to access the project site with notice to repair and/or maintain the permanent stormwater management facilities in accordance with this Maintenance Program. Any maintenance and/or repair activities conducted by Ferguson Township shall be at the expense of the Owners.
The facilities that will require maintenance are inlets, storm sewer pipes, rip-rap aprons, swales and detention/infiltration basins. All stormwater facilities should be inspected monthly or after any rainfall producing runoff and maintained as follows:
1. The proposed storm sewer pipe inlets and outlets shall be cleaned of all debris, litter, and other deleterious material.
2. The rip-rap aprons at the outlets of the pipes need to be inspected to ensure proper erosion protection. If erosion occurs, additional rip-rap should be added.
3. The rear lot swales shall be cleaned of debris and if any erosion is present the area is to be backfilled with topsoil and seeded with a permanent mixture. Vegetation shall be maintained to a height of six inches.
4. The stormwater detention/infiltration basins shall be cleaned of debris and if any erosion is present the area is to be backfilled with topsoil and seeded with a permanent mixture. The outlet structures shall be kept clean of trash and debris. Vegetation in Detention Basin A and on the sides of Infiltration Basin 1 shall be maintained to a height of six inches. The vegetation within the bottoms of Infiltration Basin 1 should not be frequently cut. This vegetation shall at a minimum be trimmed annually to a height of three to six inches. All clippings in excess of two inches in length shall be removed from the basins. Vehicular traffic in Infiltration Basin 1 shall be limited to the maximum extent possible. No vehicular traffic should operate within the basin bottoms when the soils are saturated.
5. Documentation of inspections must be maintained by the owner and submitted to Township upon request. Maintenance inspections may be performed by the Township to ensure proper functioning of all stormwater facilities.

**Owners Certification Tax Parcel**

Commonwealth of Pennsylvania
County of Centre
On this the day of 20, personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.
witness my hand and seal, this date
Notary Public Commission Expires

**Storm Water Certification**

I, hereby certify that the Stormwater Management Plan meets all design standards and criteria of the Ferguson Township Stormwater Management Ordinance.

**Design Engineer Certification**

I, hereby certify that this land development meets all design requirements of the Subdivision and Land Development Ordinance, Zoning Ordinance and all other applicable Chapters of Ferguson Township Code.

**Offer of Dedication**

Commonwealth of Pennsylvania
County of
On this the day of 2019, certifies that all proposed streets, right of ways, and easements not heretofore dedicated shown on this plan, are hereby offered for public use. He acknowledges responsibility for maintenance of lands and/or facilities until they are complete and accepted for dedication by the Municipality.
witness my hand and seal, this date
Notary Public Commission Expires

**Storm Water Facilities Acknowledgement**

I/We, the landowner(s), my/our heirs and assigns, acknowledge the Stormwater Management System to be a permanent facility which can be altered or removed only after approval of a revised plan by the Ferguson Township Board of Supervisors. The stormwater management system is to be maintained in accordance with the approved ownership and maintenance program.

**Township Engineer Certification**

I, have reviewed and hereby certify that the plan meets all engineering design standards and criteria of the Ferguson Township Code of Ordinances.

**Municipal Storm Water Certification**

I, have reviewed the Stormwater Management Plan in accordance with the design standards and criteria of the Ferguson Township Stormwater Management Ordinance.

**Township Planning Commission**

Ferguson Township Planning Commission Approved
Chairman Date
Secretary Date

**Township Supervisors**

Ferguson Township Supervisors Approved
Chairman Date
Secretary Date

**Fire Chief Certification**

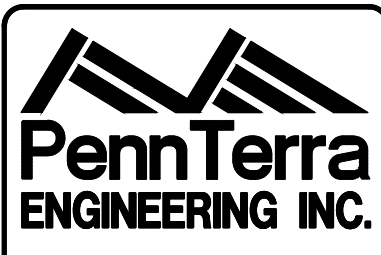
I have reviewed and hereby certify that the location of Fire Lanes and Fire Hydrants shown on this plan are adequate.
Fire Chief Date

**Professional Land Surveyor Certification**

I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.
Signature Date

**Recorder of Deeds**

Recorded in the Office of the Recorder of Deeds at Centre County, Pennsylvania, in Plot Book Page, on this day of 20.
By Recorder

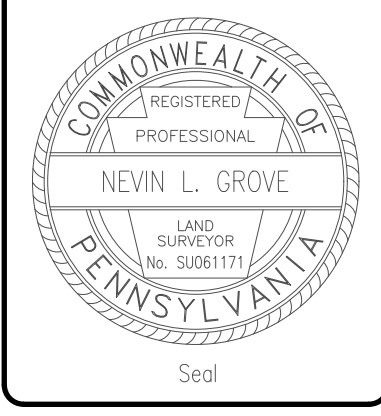
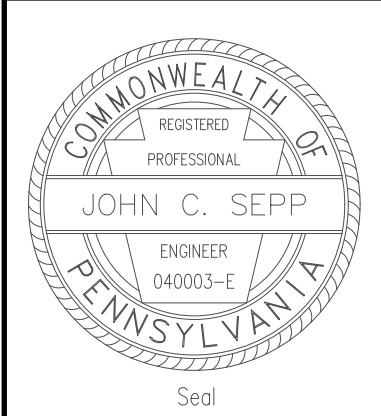


CENTRAL PENNSYLVANIA REGION OFFICE: 3075 ENTERPRISE DRIVE SUITE 100 STATE COLLEGE, PA 16801 PH: 814-231-8285 Fax: 814-237-2308

LANCASTER REGION OFFICE: 3904 B ABEL DRIVE COLUMBIA, PA 17512 PH: 717-522-5031 Fax: 717-522-5046

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Designer EAH
Draftsman EAH
Proj/Manager MAT/JCS
Surveyor MAK/JDF
Perimeter Ok
Book 543 Pg 1
Acad 17125-RESIDENTIAL-SUB-SIG
Layout SIGN-NOTES

Table with 2 columns: Date, Description, REVISIONS

**ORCHARD VIEW**

FERGUSON TOWNSHIP CENTRE COUNTY PENNSYLVANIA

**PRELIMINARY/FINAL SUBDIVISION PLAN**

SIGNATURE & NOTES PAGE

PROJECT NO. 17125
DATE MAY 14, 2019
SCALE N.T.S. SHEET NO. 4

**SURVEY FEATURES LEGEND**

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Project Benchmark

**EXISTING FEATURES LEGEND**

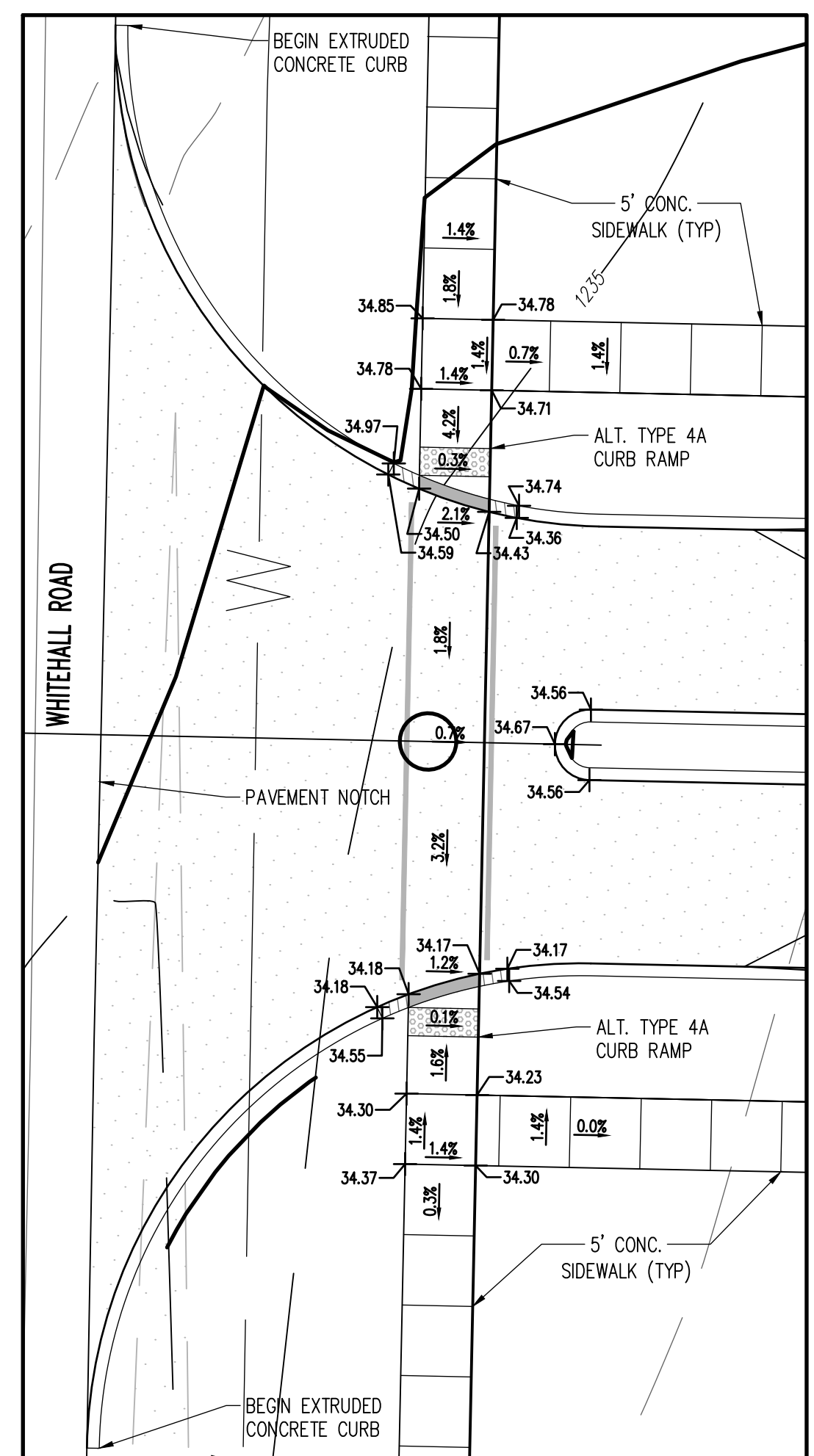
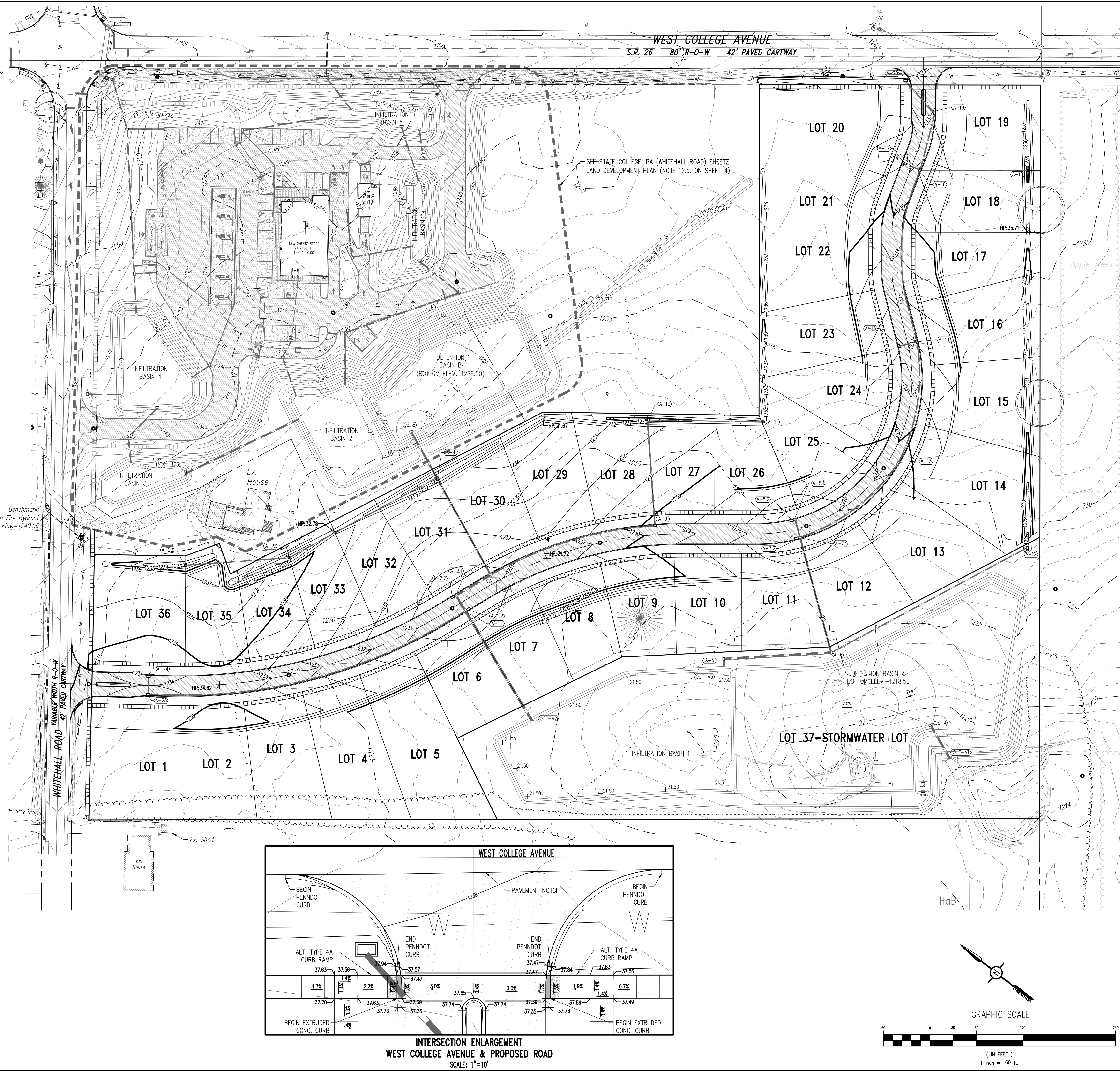
- EXISTING BUILDING
- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Gravel Areas
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Storm Sewer Line w/ Inlet
- Existing Sign
- Existing Soil Limit Line / Boundary
- HoB
- Existing Soil Type
- Existing Tree Row
- 25% Slopes Or Greater
- Existing Deciduous Tree
- Existing Evergreen Tree

**PROPOSED FEATURES LEGEND**

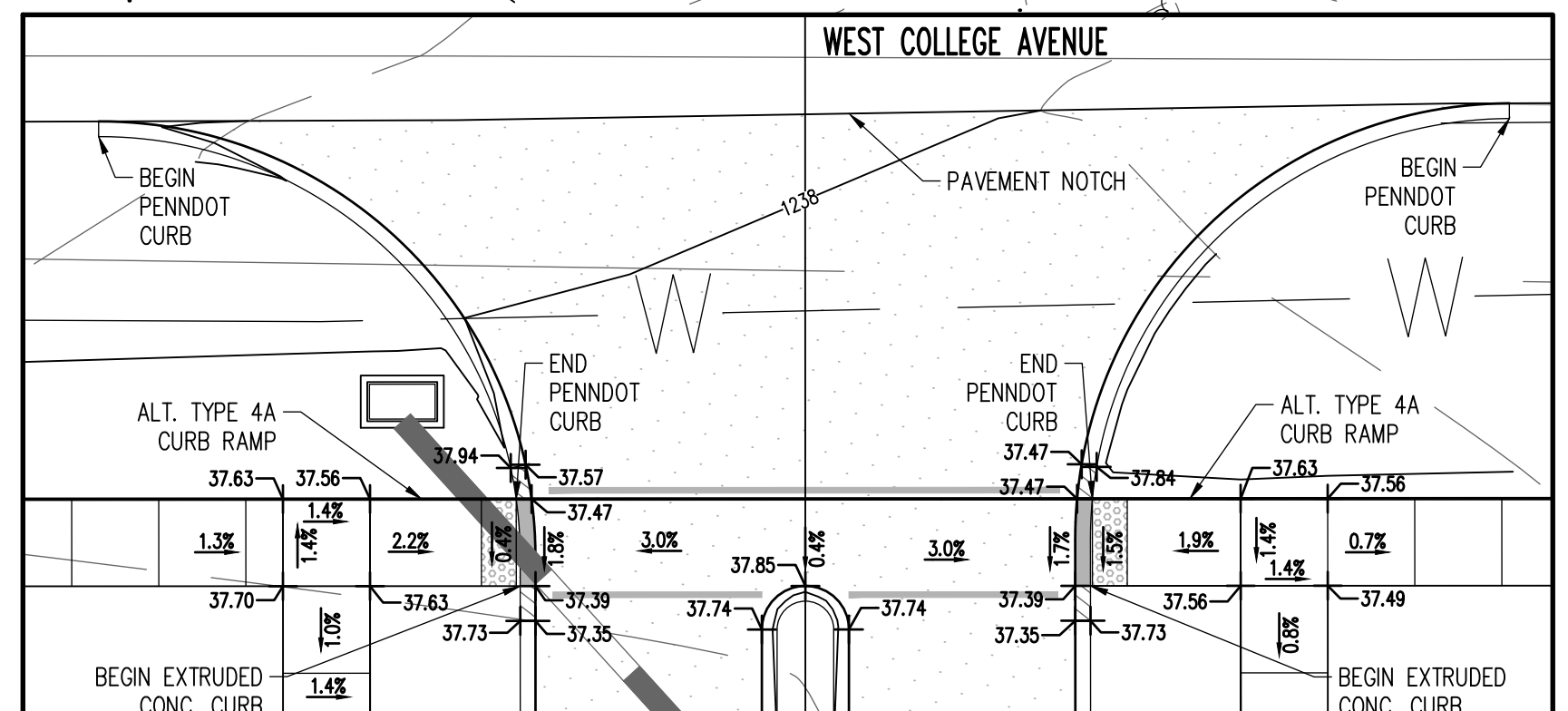
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED BITUMINOUS PAVEMENT AREAS
- 1109
- 1110
- PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- PROPOSED SPOT ELEVATION
- PROPOSED GRADE SLOPE
- PROPOSED STORM SEWER W/ TYPE C INLET
- PROPOSED FIRE HYDRANT
- PROPOSED UTILITY MANHOLE
- PROPOSED STORM SEWER INLET - TYPE M
- PROPOSED STORM SEWER INLET - TYPE C
- PROPOSED TREE ROW
- PROPOSED DEPRESSED CURB W/ CURB TRANSITION

**SOILS LEGEND**

- Soil cover on the site consists of:
- HaA - Hagerstown Silt Loam, 0-3% Slopes
  - HaB - Hagerstown Silt Loam, 3-8% Slopes
  - HuA - Hublersburg Silt Loam, 0-3% Slopes
  - HuB - Hublersburg Silt Loam, 3-8% Slopes
  - OhB - Opequon-Hagerstown Complex, 3-8% Slopes



**INTERSECTION ENLARGEMENT  
WHITEHALL ROAD & PROPOSED ROAD  
SCALE: 1"=10'**



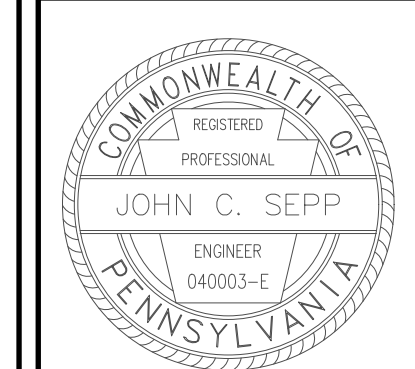
**INTERSECTION ENLARGEMENT  
WEST COLLEGE AVENUE & PROPOSED ROAD  
SCALE: 1"=10'**

**PennTerra ENGINEERING INC.**  
**CENTRAL PENNSYLVANIA REGION OFFICE:**  
 3075 ENTERPRISE DRIVE  
 SUITE 100  
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 PH: 814-231-8285  
 Fax: 814-237-2308

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Draftsman	EAH
Proj Manager	MAT/UCS
Surveyor	MAX/JOE
Perimeter Ck.	
Book	543 Pg 1
Acad	17125-RESIDENTIAL-SUB-GP
Layout	GP

**ORCHARD VIEW**

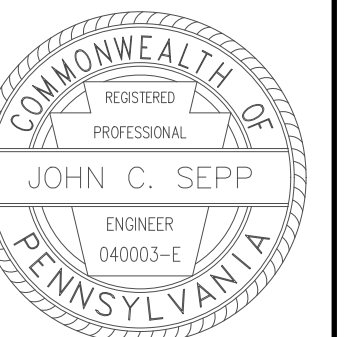
FERGUSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

**PRELIMINARY/FINAL  
 SUBDIVISION PLAN**

**GRADING PLAN**

PROJECT NO.	17125
DATE	MAY 14, 2019
SCALE	1"=60'
SHEET NO.	5

P:\dtp\2017\17125\Design\17125-RESIDENTIAL-SUB-GP.dwg, 5/13/2019 3:19:28 PM, 1:1



Designer	EAH
Draftsman	EAH
Proj Manager	MAT/JCS
Surveyor	MAK/JDF
Perimeter Ck.	
Book	543 Pg 1
Acad	1725-RESIDENTIAL-SUB-PCSM
Layout	PCSM

Date	Description

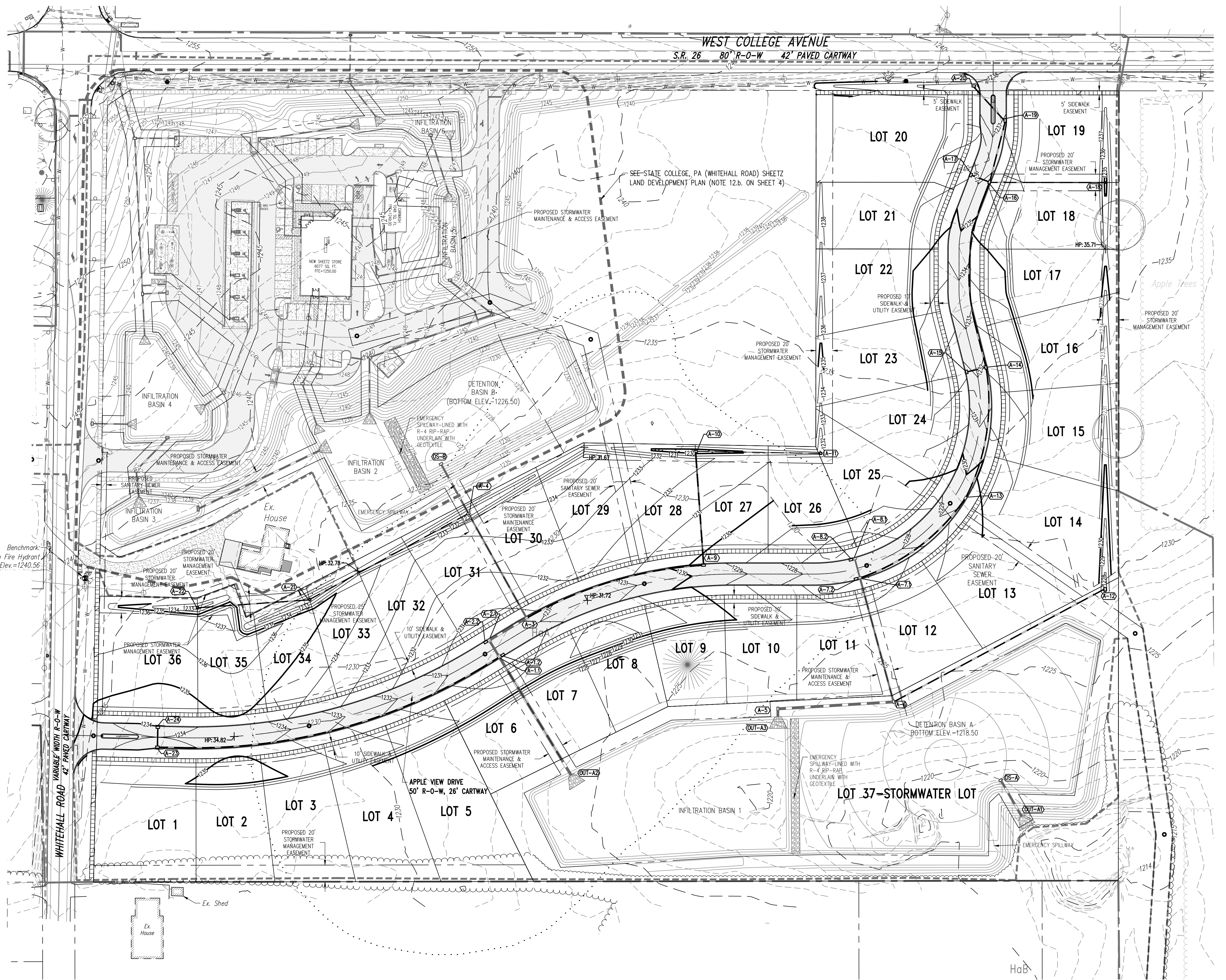
**ORCHARD VIEW**

FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

**PRELIMINARY/FINAL**  
SUBDIVISION PLAN

**POST**  
CONSTRUCTION  
STORMWATER  
MANAGEMENT  
PLAN

PROJECT NO.	17125
DATE	MAY 14, 2019
SCALE	1"=60'
SHEET NO.	6



**SURVEY FEATURES LEGEND**

- Property Line, Lot Line or Right of Way Line
- - - Adjoining Property Line
- Project Benchmark

**SOILS LEGEND**

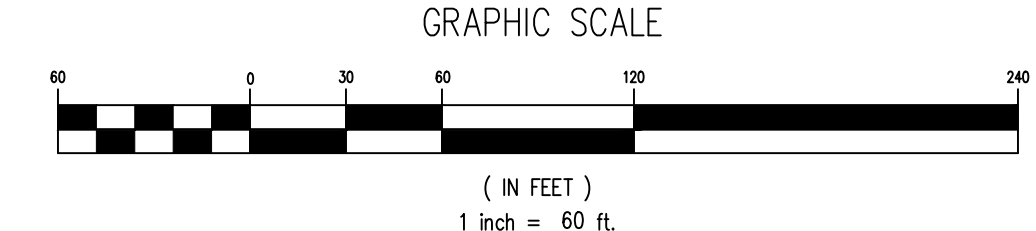
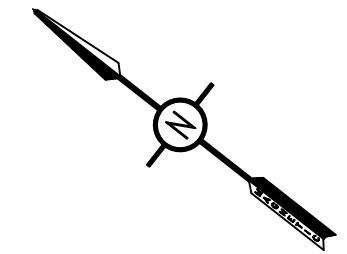
- Soil cover on the site consists of:
- HaA - Hagerstown Silt Loam, 0-3% Slopes
  - HaB - Hagerstown Silt Loam, 3-8% Slopes
  - HuA - Hubersburg Silt Loam, 0-3% Slopes
  - HuB - Hubersburg Silt Loam, 3-8% Slopes
  - OnB - Opequon-Hagerstown Complex, 3-8% Slopes

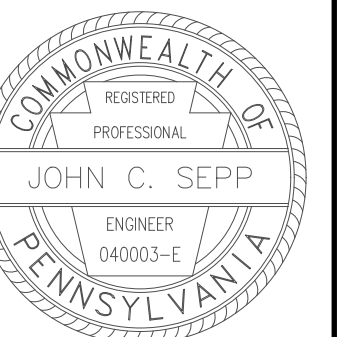
**EXISTING FEATURES LEGEND**

- [Hatched Box] Existing Building
- [Dashed Line] Existing Curbing & Edge of Pavement
- [Solid Line] Existing Concrete Areas
- [Dotted Line] Existing Gravel Areas
- [X-X-X-X] Existing Fence / Type
- [Dashed Line] Existing Contours w/ Elevation (1's & 2's)
- [Dashed Line] Existing Contours w/ Elevation (5's & 10's)
- [Dashed Line] Existing Storm Sewer Line w/ Inlet
- [Circle with X] Existing Sign
- [Dotted Line] Existing Soil Limit Line / Boundary
- [Wavy Line] Existing Soil Type
- [Dashed Line] Existing Tree Row
- [Dashed Line] 25% Slopes Or Greater
- [Wavy Line] Existing Stream
- [Dashed Line] Existing Floodplain
- [Dashed Line] Delineated Wetlands Line
- [Circle with X] Existing Deciduous Tree
- [Circle with Star] Existing Evergreen Tree

**PROPOSED FEATURES LEGEND**

- [Dashed Line] PROPOSED CURBING & EDGE OF PAVEMENT
- [Dashed Line] PROPOSED CONCRETE SIDEWALK
- [Dashed Line] PROPOSED BITUMINOUS PAVEMENT AREAS
- [Dashed Line] PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- [Dashed Line] PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- [Circle with X] PROPOSED STORM SEWER W/ TYPE C INLET
- [Circle with X] PROPOSED UTILITY MANHOLE
- [Circle with X] PROPOSED STORM SEWER INLET - TYPE M
- [Circle with X] PROPOSED STORM SEWER INLET - TYPE C
- [Dashed Line] PROPOSED TREE ROW
- [Dashed Line] PROPOSED DEPRESSED CURB W/ CURB TRANSITION
- [Dashed Line] NPDES BOUNDARY LINE
- [Dashed Line] LIMIT OF DISTURBANCE





Designer	EAH
Draftsman	EAH
Proj Manager	MAT/JCS
Surveyor	MAK/JDF
Perimeter Ck.	
Book	543 Pg 1
Acad	17125-RESIDENTIAL-SUB-UP
Layout	LUP

Date	Description
	REVISIONS

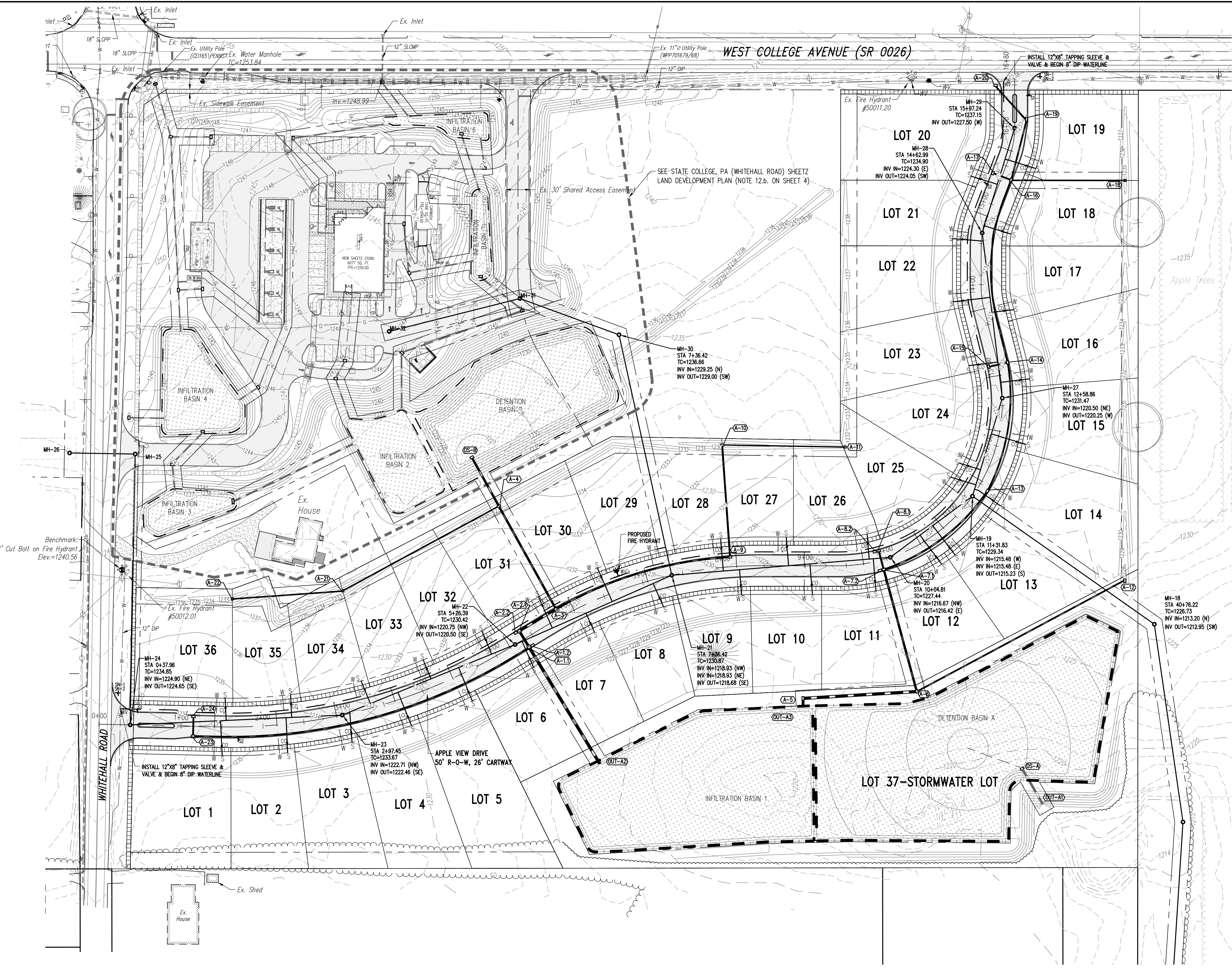
**ORCHARD VIEW**

FERGUSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

**PRELIMINARY/FINAL  
 SUBDIVISION PLAN**

**UTILITY PLAN**

PROJECT NO.	17125
DATE	MAY 14, 2019
SCALE	1"=60'
SHEET NO.	7



**SURVEY FEATURES LEGEND**

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Easement Line
- ◆ Project Benchmark

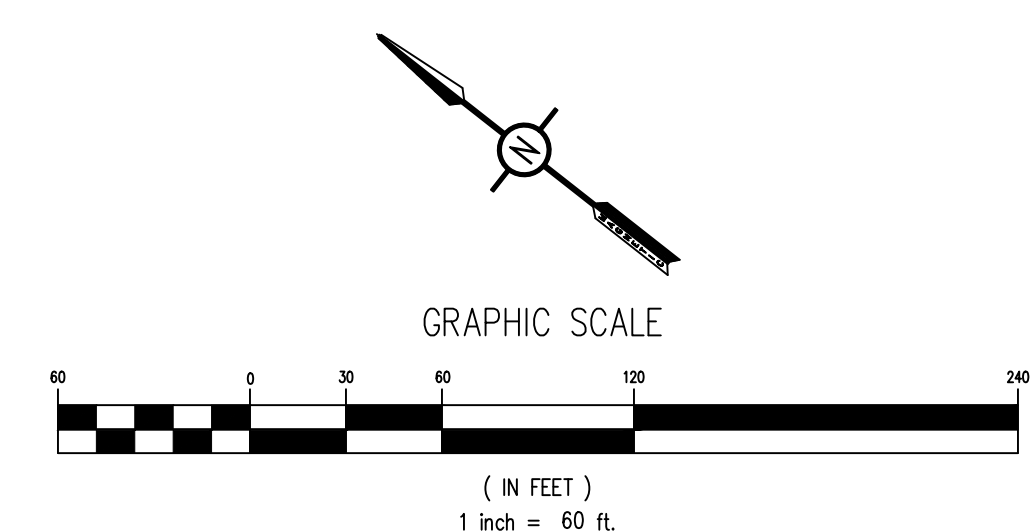
**EXISTING FEATURES LEGEND**

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Gravel Areas
- Existing Fence / Type
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Underground Electric
- Existing Overhead Utility Line w/ Pole
- Existing Fire Hydrant
- Existing Utility Pole
- Existing Guy Wire
- Existing Sign
- Existing Tree Row
- Existing Deciduous Tree
- Existing Evergreen Tree

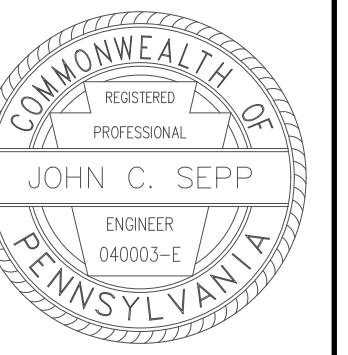
**PROPOSED FEATURES LEGEND**

- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED 8" SANITARY SEWER W/ MANHOLE
- PROPOSED 6" PVC SANITARY SEWER LATERAL W/ CLEAN OUT
- PROPOSED 8" WATER LINE W/ VALVE
- PROPOSED 1" SINGLE UNIT DOMESTIC WATER SERVICE LATERAL W/ CURB BOX
- PROPOSED STORM SEWER W/ TYPE C INLET
- PROPOSED GAS LINE
- PROPOSED UNDERGROUND ELECTRIC
- ETC ETC PROPOSED COMBINED UTILITY CONDUIT
- PROPOSED FIRE HYDRANT
- PROPOSED UTILITY MANHOLE
- PROPOSED STORM SEWER INLET - TYPE M
- PROPOSED STORM SEWER INLET - TYPE C
- PROPOSED STORM SEWER END SECTION
- PROPOSED WATER SERVICE VALVE
- PROPOSED CLEAN-OUT
- PROPOSED TREE ROW
- PROPOSED SIGN W/ LABEL
- PROPOSED DEPRESSED CURB W/ CURB TRANSITION

NOTE:  
 1. THE PROPOSED FIRE HYDRANT SHALL BE AMERICAN DARLING, MODEL B-62-B, TRAFFIC MODEL, AND INSTALLED PER SCBWA SPECIFICATIONS.



P:\dtp\2017\17125\Design\lot final\Residential Subdivision Plan\17125-RESIDENTIAL-SUB-UP.dwg, 5/13/2019 3:20:30 PM, 1:1



Designer	EAH
Draftsman	EAH
Proj/Manager	MAT/JCS
Surveyor	MAK/JDF
Perimeter Clk.	
Book	543 Pg 1
Acad	17125-RESIDENTIAL-SUB-PF
Layout	PF

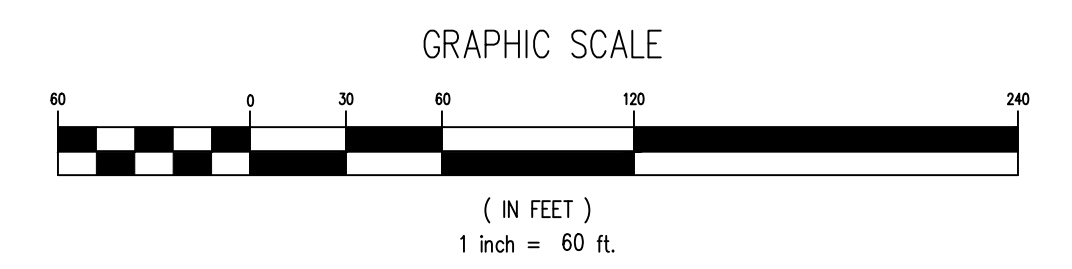
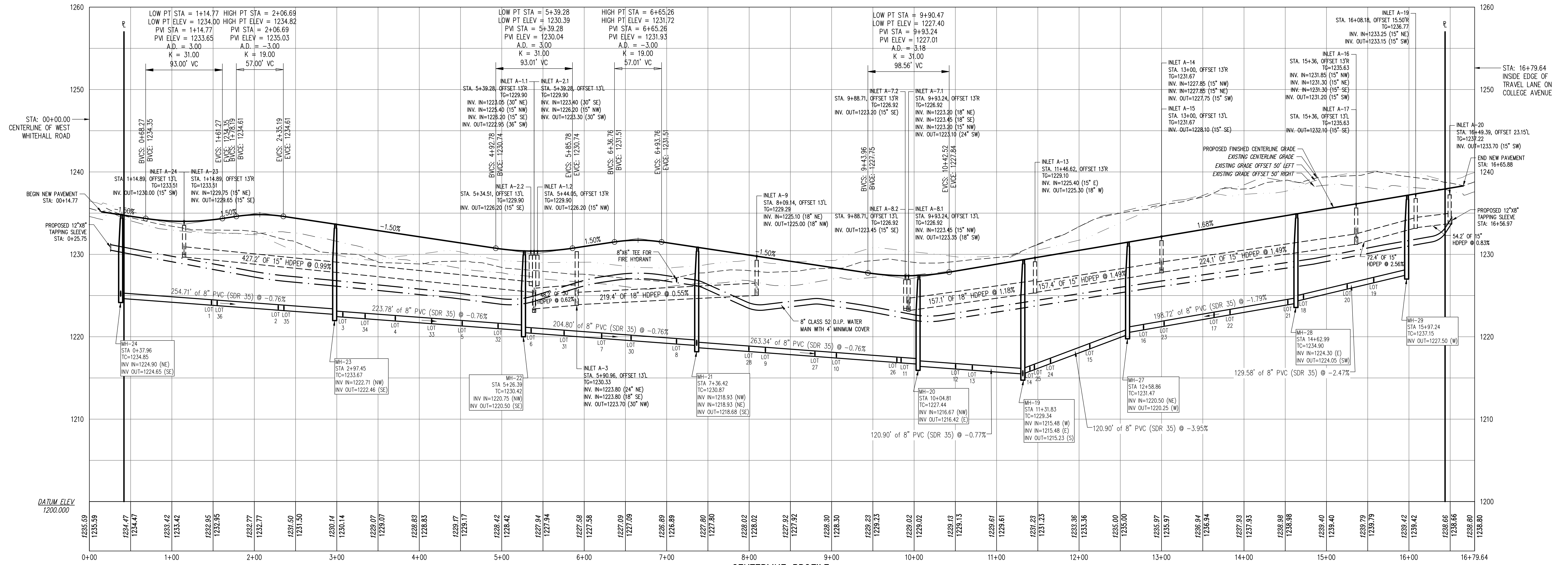
**ORCHARD VIEW**

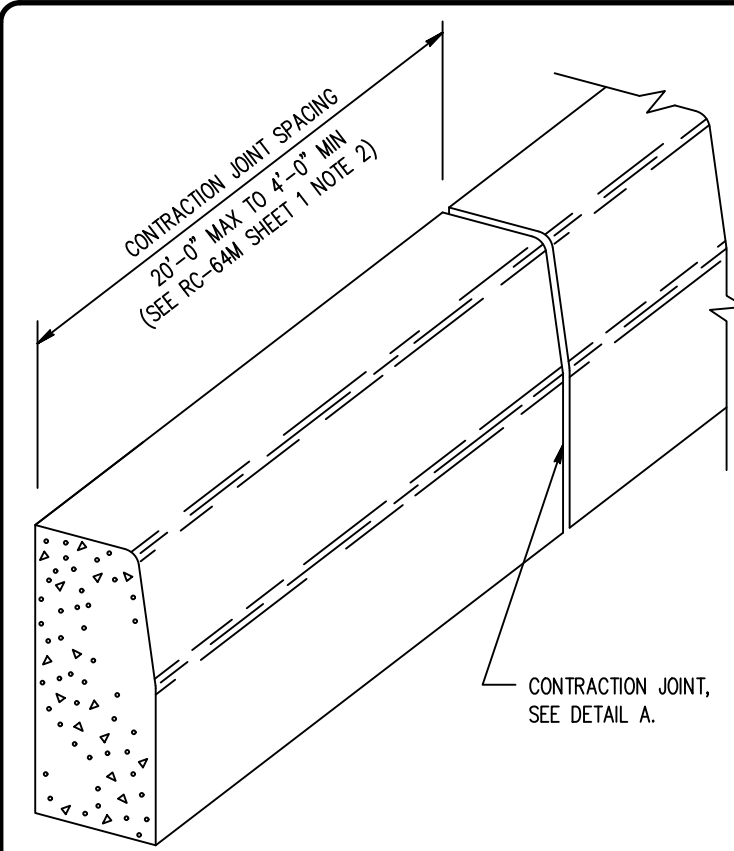
FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

PRELIMINARY/FINAL  
SUBDIVISION PLAN

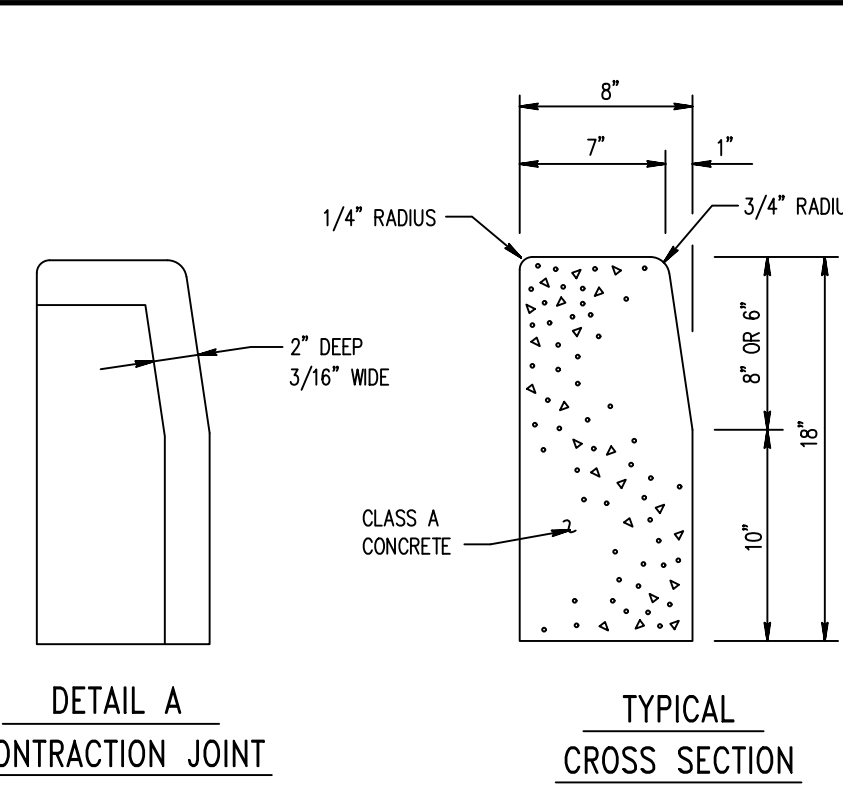
PROFILE -  
APPLE VIEW  
DRIVE

PROJECT NO.	17125
DATE	MAY 14, 2019
SCALE	HZ: 1"=60' VT: 1"=6'
SHEET NO.	8

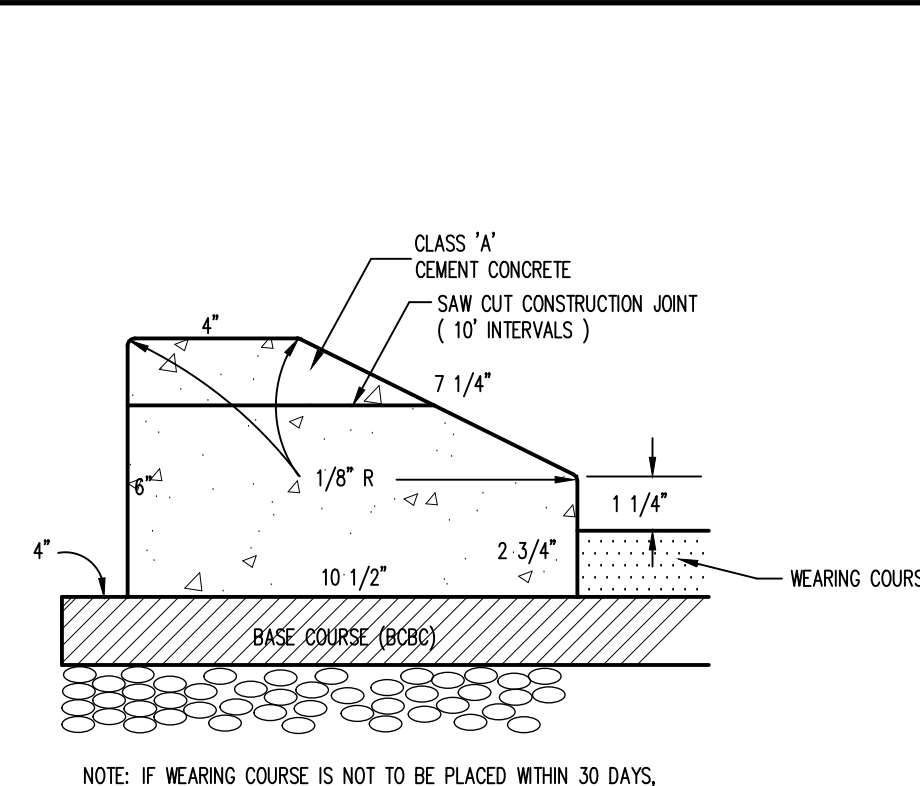




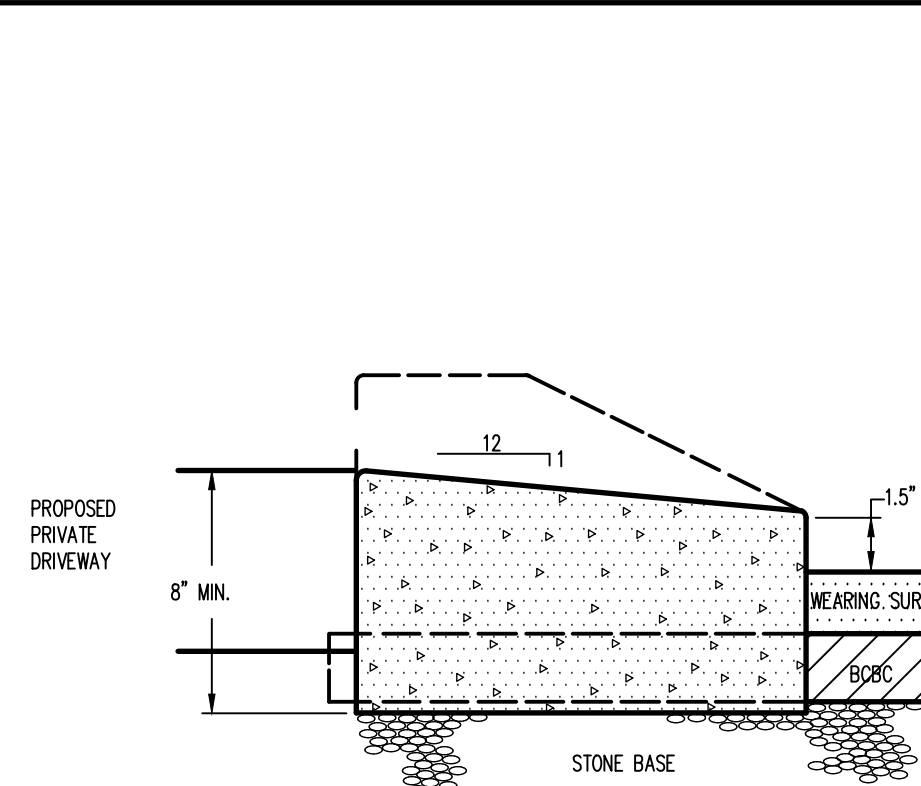
PLAIN CEMENT CONCRETE CURB



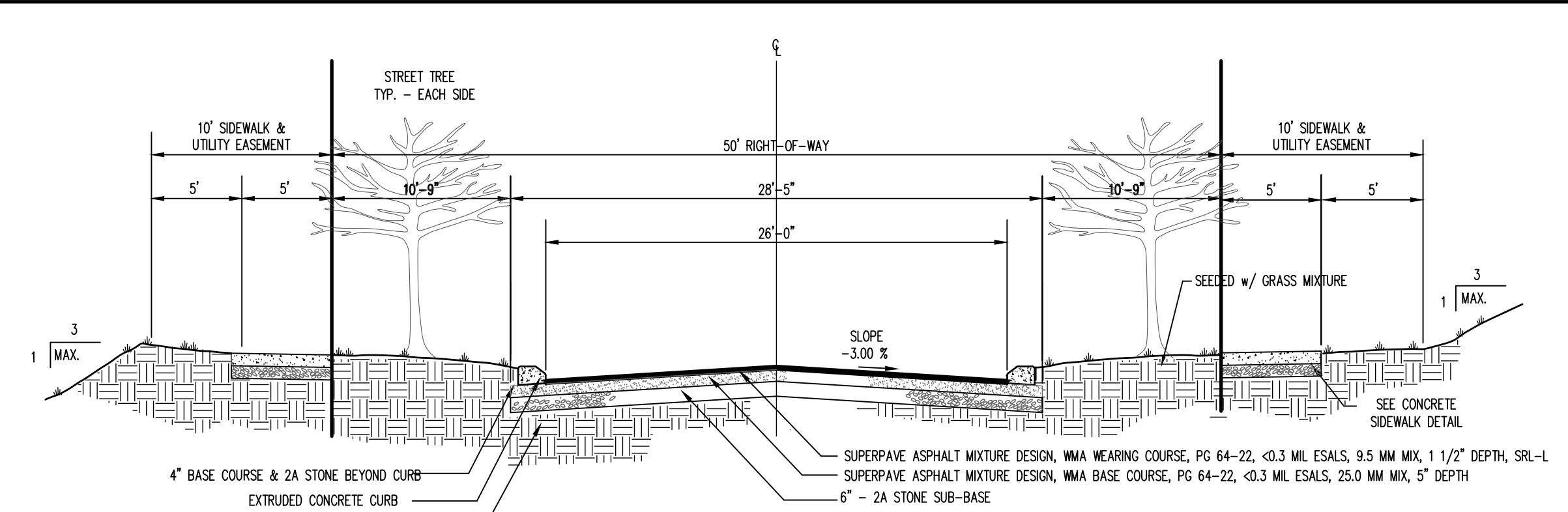
PENNDOT CURB  
NOT TO SCALE



EXTRUDED CONCRETE CURB DETAIL  
NOT TO SCALE



DEPRESSED EXTRUDED CONCRETE CURB FOR DRIVEWAYS  
NOT TO SCALE



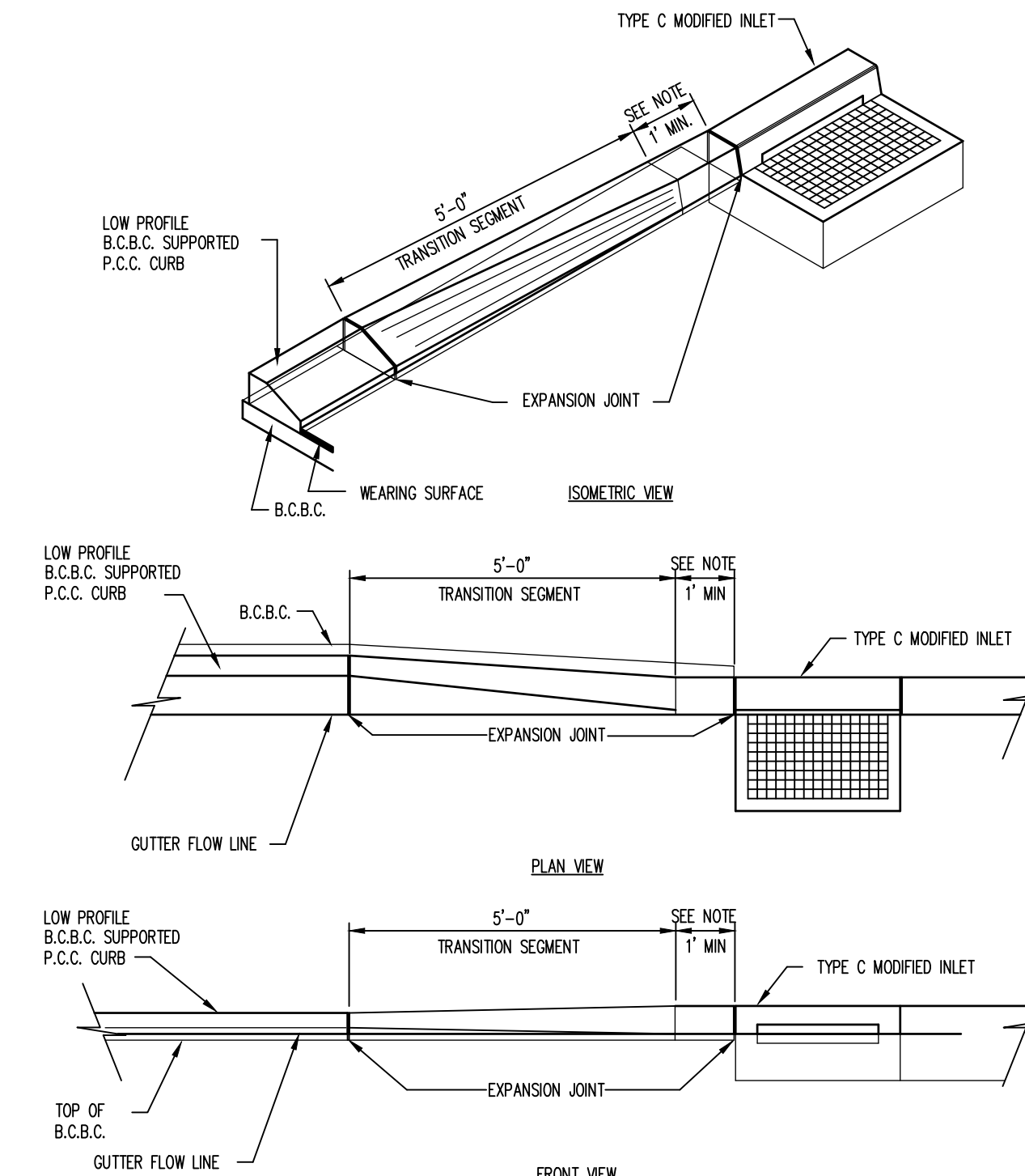
CROSS SECTION: 50' R-O-W W/26' CARTWAY  
APPLE VIEW DRIVE  
NOT TO SCALE

RC-67M SHEET 1 NOTES

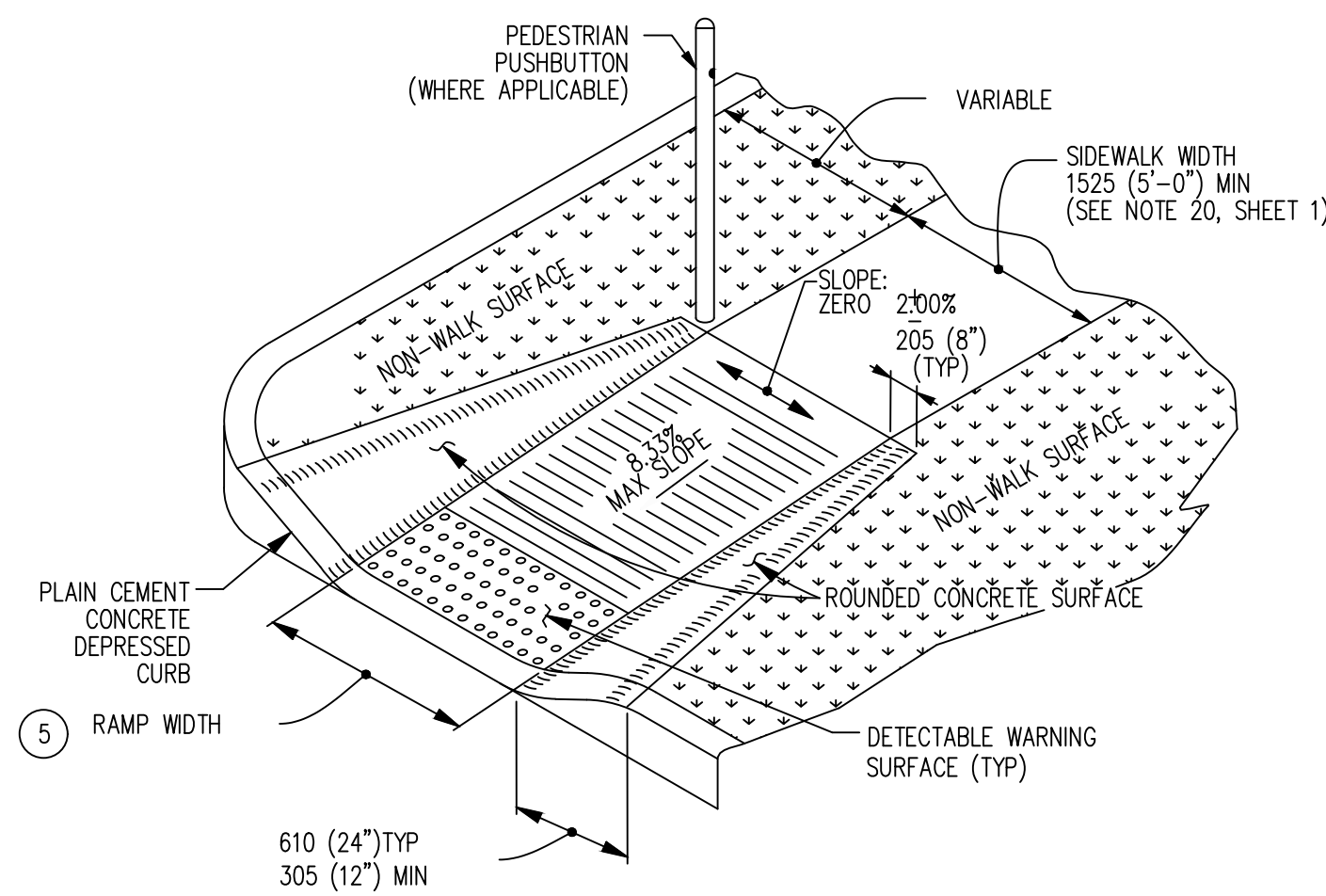
- PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTIONS 350, 409, 630, 676, 694 AND 695.
- PROVIDE EXPANSION JOINT MATERIAL 1/2" THICK WHERE CURB RAMP ADJOINS ANY RIGID PAVEMENT, SIDEWALK OR STRUCTURE WITH THE TOP OF JOINT FILLER FLUSH WITH ADJACENT CONCRETE SURFACE.
- SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
- MODIFY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS THAN THE STANDARD 8" HEIGHT.
- NON-WALK AREA IS AN OBSTRUCTED OR GRASS/NON-PAVED AREA ADJACENT TO THE PEDESTRIAN ACCESS ROUTE THAT IS NOT USED BY THE PEDESTRIAN FOR ACCESS.
- FOR NEW CONSTRUCTION, DO NOT EXCEED 2.00% CROSS SLOPE ON THE CURB RAMP OR PEDESTRIAN ACCESSIBLE ROUTE.
- CONSTRUCT SIDEWALKS AT A LONGITUDINAL SLOPE NOT TO EXCEED 5.00% FOR ROADWAY PROFILE SLOPES THAT EXCEED 5.00% CONSTRUCT PARALLEL SIDEWALKS ADJACENT TO ROADWAY AT A LONGITUDINAL SLOPE NOT TO EXCEED ROADWAY PROFILE SLOPE.
- THE CONSTRUCTION STANDARDS DEPICTED ARE MOST APPROPRIATE FOR NEW CONSTRUCTION. ALL CONSTRUCTION MUST MEET THE STANDARDS CONTAINED HEREIN UNLESS OTHERWISE NOTED OR DIRECTED.
- SIDEWALK WIDTH MAY BE REDUCED TO 4'-0", WHEN PASSING AREAS 5'-0" X 5'-0" ARE PROVIDED EVERY 200'.
- THE TRAVEL LANE IS DEFINED BY THE OUTSIDE EDGE OF THE WHITE PAVEMENT MARKING LINE. IF A WHITE PAVEMENT MARKING LINE DOES NOT EXIST, THE TRAVEL LANE IS DEFINED BY THE CONTRACT DOCUMENTS.
- A 4'-0" MAXIMUM DIGITAL DISPLAY LEVEL WILL BE USED TO VERIFY THE SLOPES OF CURB RAMP AND SIDEWALKS.
- INSTALL DUMMY JOINTS WHERE RAMPS, TURNING SPACES, FLARES, AND SIDEWALKS ABUT.
- DO NOT SCORE OR MAKE GROOVES ON SLOPED SURFACES. LINES SHOWN ON DETAILS ARE FOR ILLUSTRATION ONLY. SEE NOTE 5.

RC-64M SHEET 1 NOTES

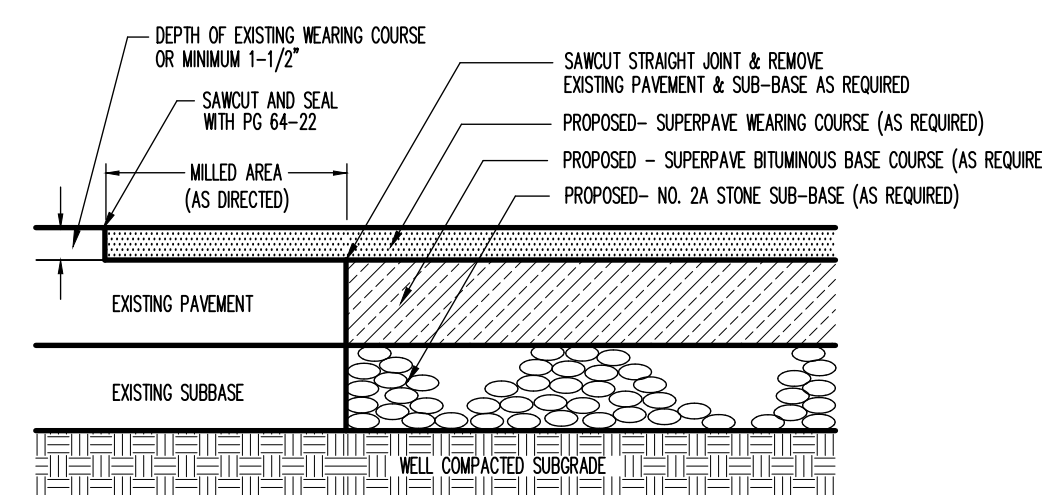
- PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 630 FOR PLAIN CEMENT CONCRETE CURBS AND DEPRESSED CURB, SECTION 640 FOR PLAIN CEMENT CONCRETE GUTTER AND SECTION 641 FOR PLAIN CEMENT CONCRETE CURB CUTTER.
  - SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
  - PLACE 3/4" THICK PREMOULDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.
  - WHERE CURBS ARE INSTALLED ADJACENT TO PARKING LANES A 6" HIGH CURB CAN BE UTILIZED WITH APPROVAL FROM THE LOCAL MUNICIPALITY.
- CONTRACTOR NOTES:  
-PER RC-64M SHEET 1 NOTE #5, WHERE CURBS ARE INSTALLED ADJACENT TO PARKING LANES A 6" HIGH CURB CAN BE UTILIZED WITH APPROVAL FROM LOCAL MUNICIPALITY  
-PER RC-67M SHEET 1 NOTE #6, CONTRACTOR TO MODIFY TYPICAL CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS THAN THE STANDARD 8" HEIGHT.  
-CONTRACTOR TO MATCH ALL EXISTING CURBS HEIGHTS ALONG EAST BEAVER AVENUE.



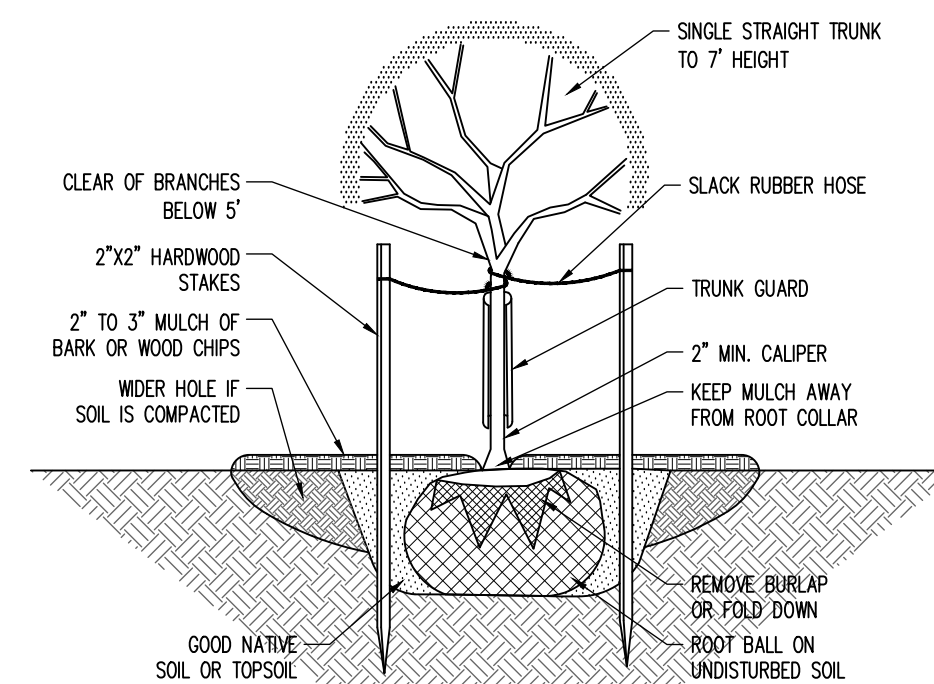
TRANSITION: EXTRUDED CURB TO TYPE C INLET  
NOT TO SCALE



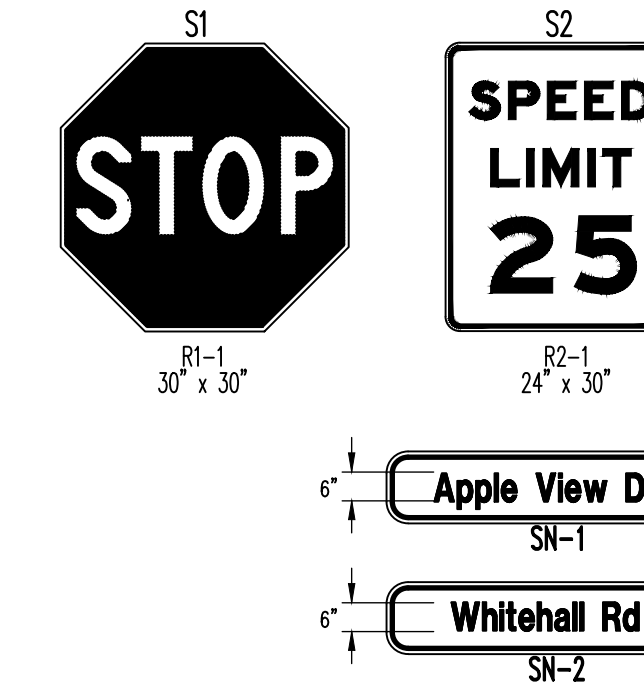
ALTERNATE TYPE 4A CURB RAMP (PARALLEL)  
NOT TO SCALE



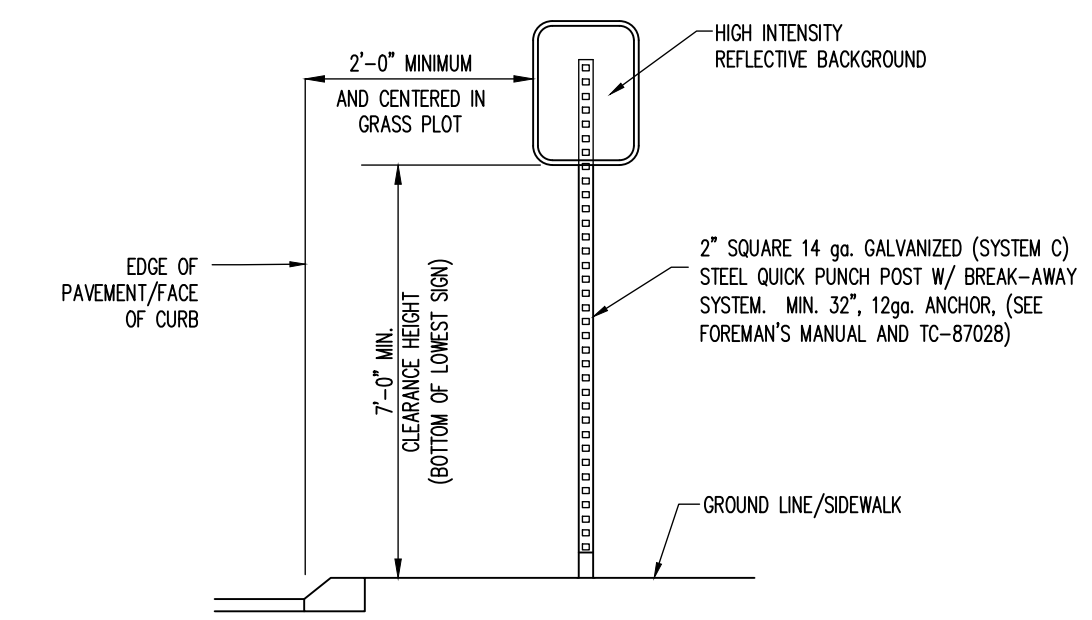
PAVEMENT NOTCH DETAIL  
NOT TO SCALE



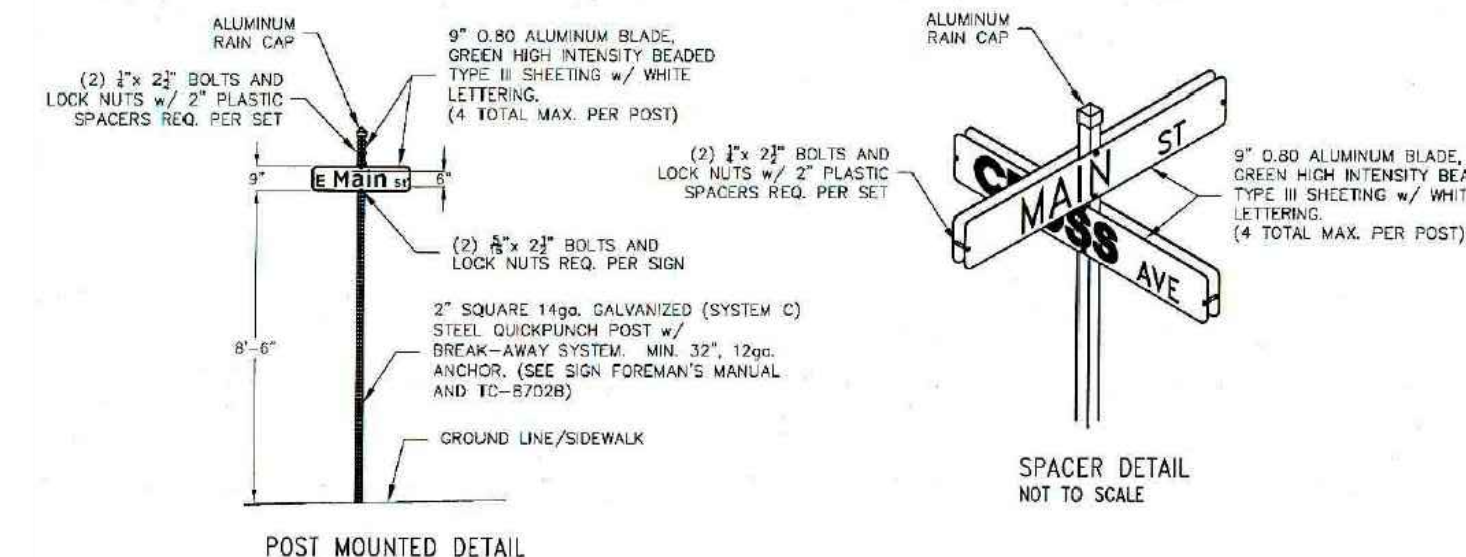
STREET TREE PLANTING DETAIL  
NOT TO SCALE



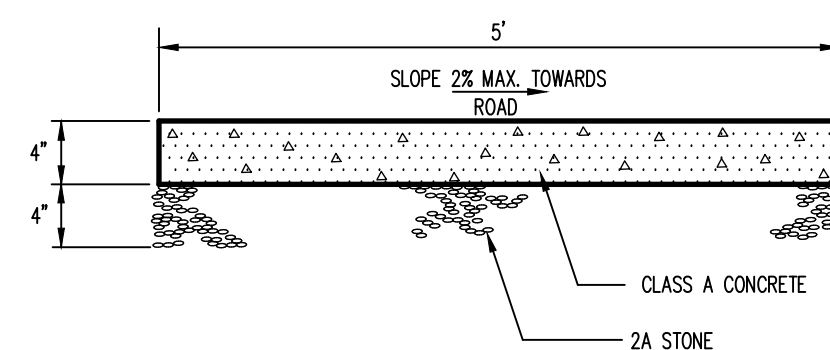
REFER TO FERGUSON TOWNSHIP SIGN STANDARDS FOR COMPLETE SPECIFICATIONS AND MOUNTING REQUIREMENTS  
STREET SIGNS  
NOT TO SCALE



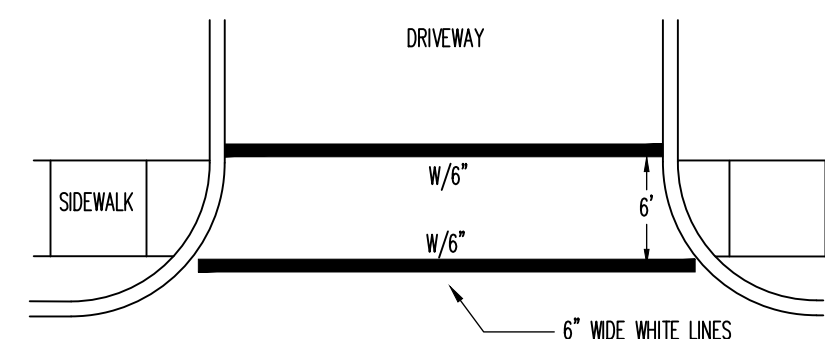
SIGN POST DETAIL  
NOT TO SCALE



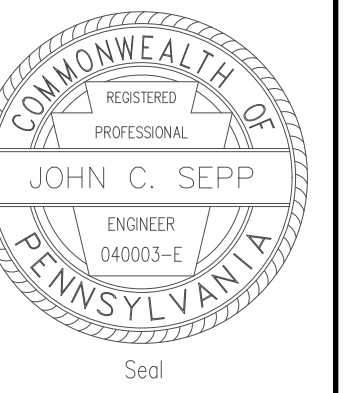
STREET SIGN MOUNTING DETAILS  
NOT TO SCALE



5' CEMENT CONCRETE SIDEWALK  
NOT TO SCALE



CROSSWALK DETAIL  
NOT TO SCALE



Designer	EAH
Draftsman	EAH
Proj/Manager	MAT/SCS
Surveyor	MAK/ABF
Perimeter Clk.	
Book	543 Pg 1
Acad	17125-RESIDENTIAL-SUB-DTI
Layout	DTI

Date	Description
	REVISIONS

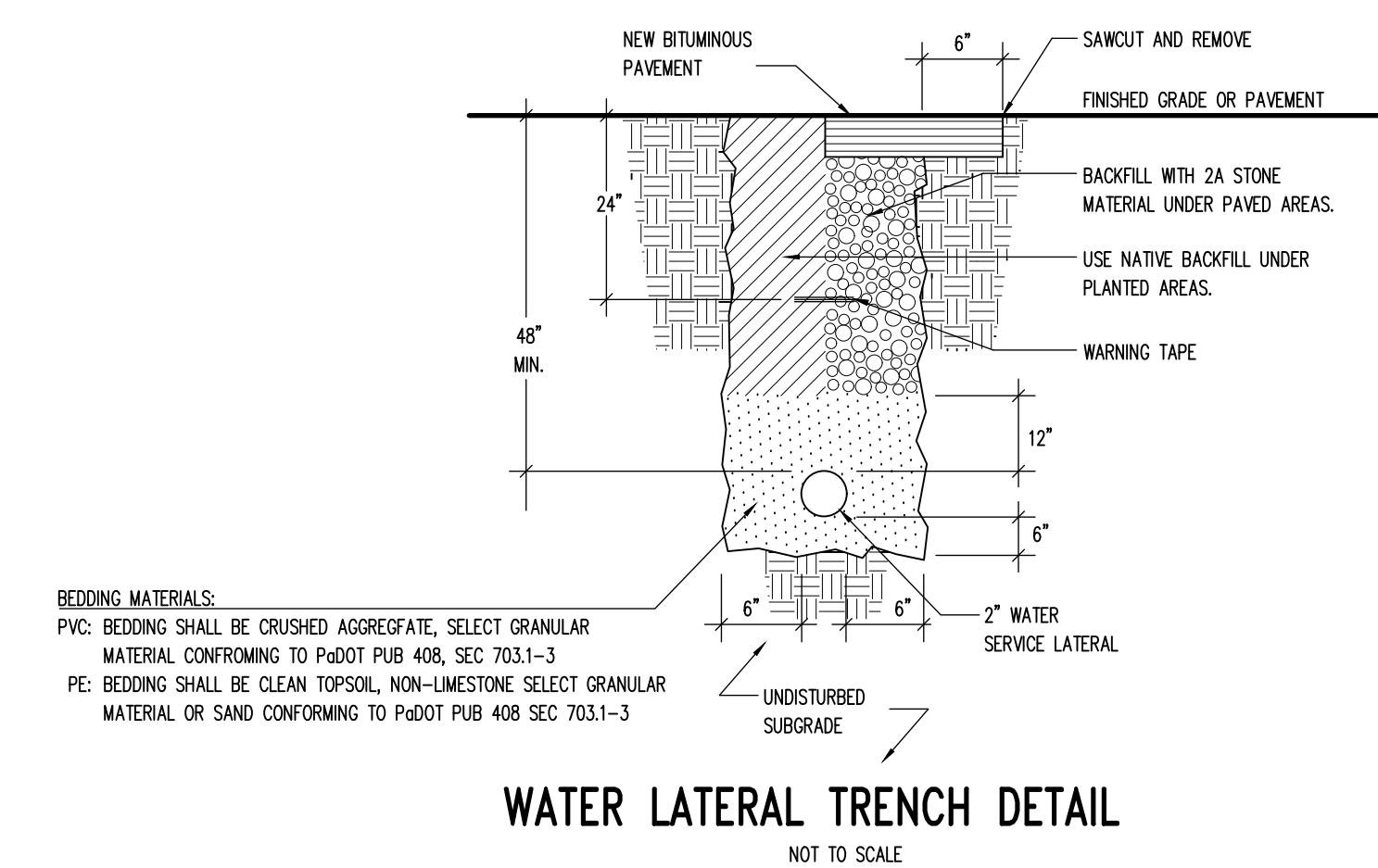
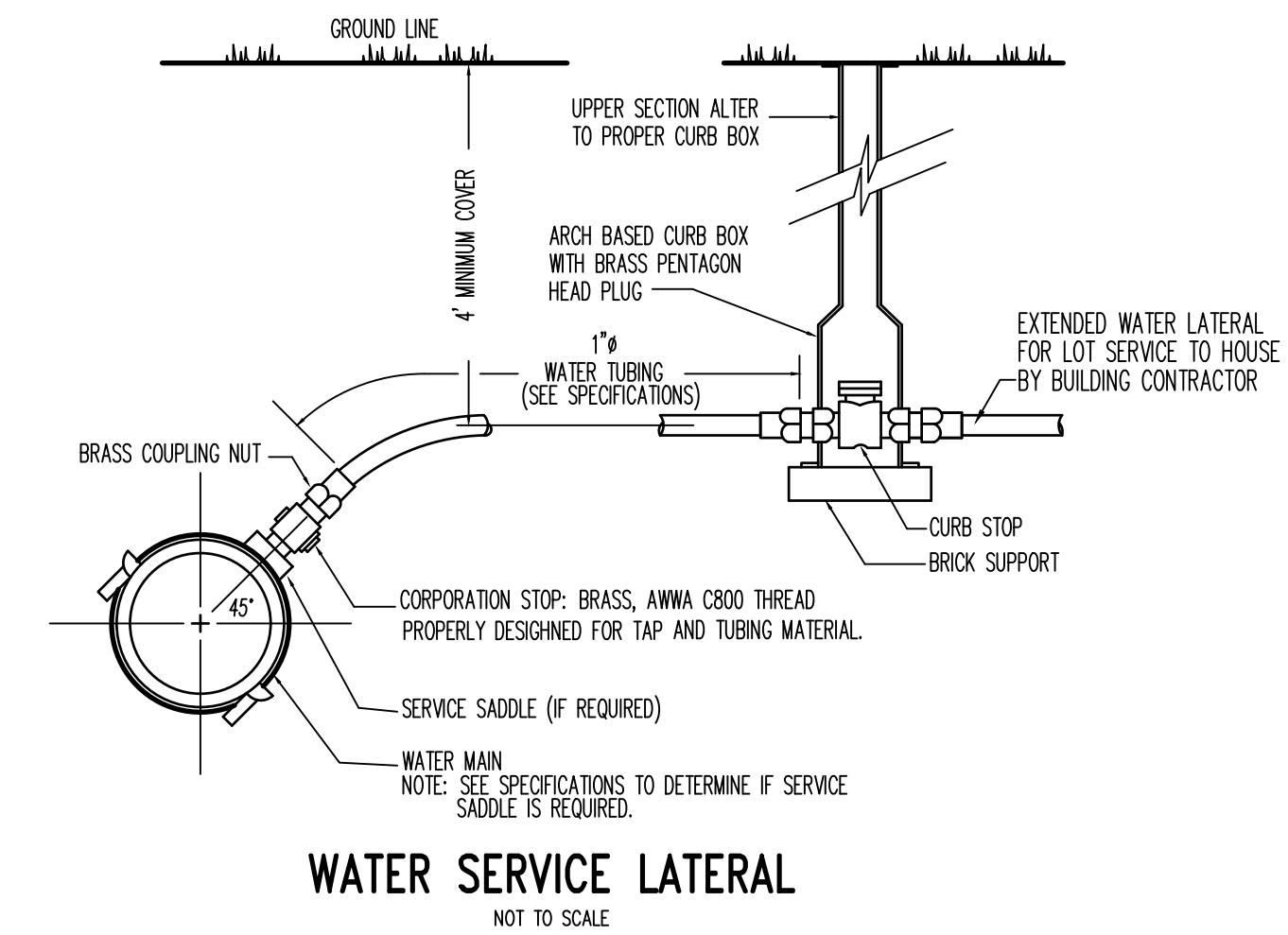
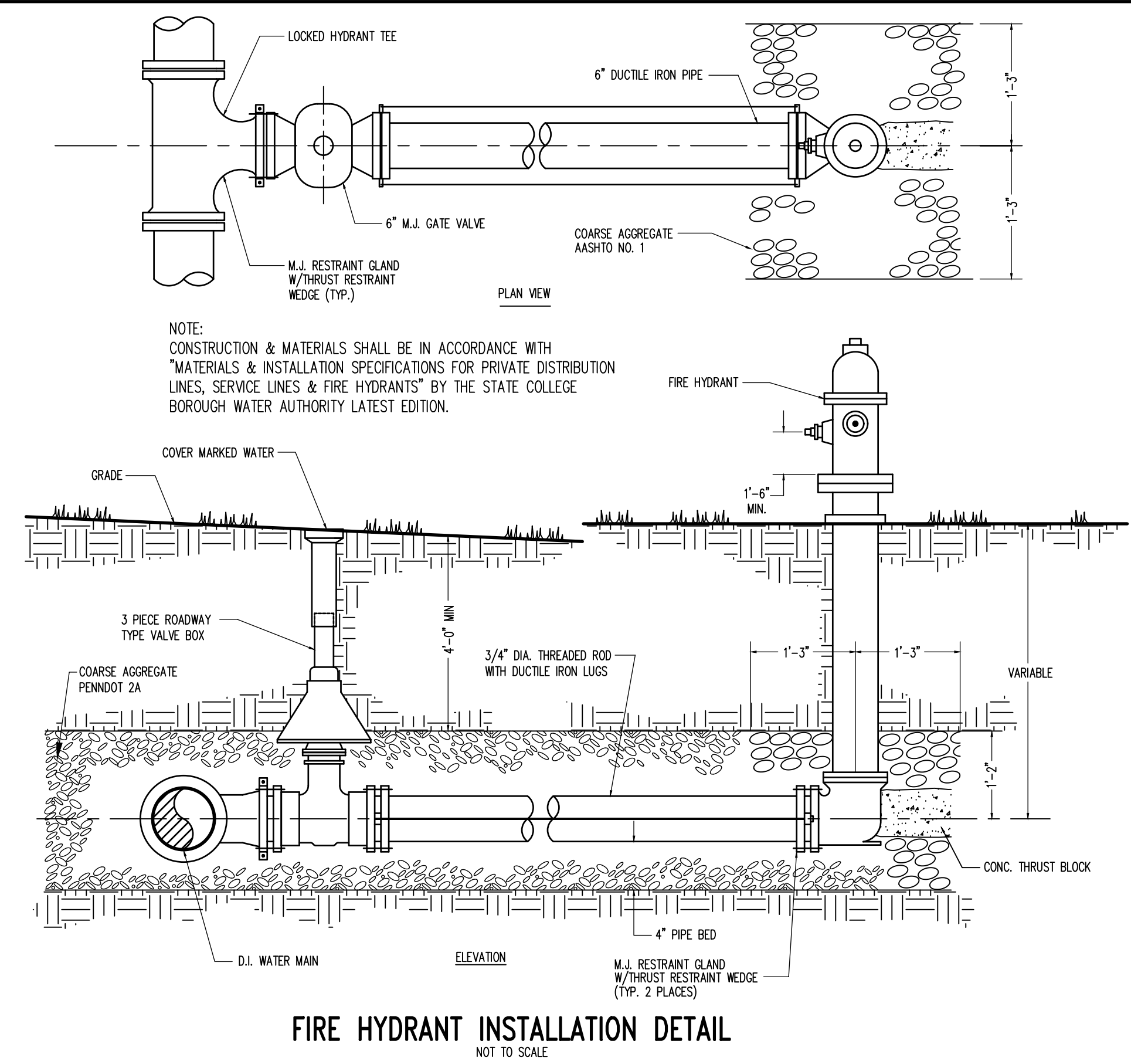
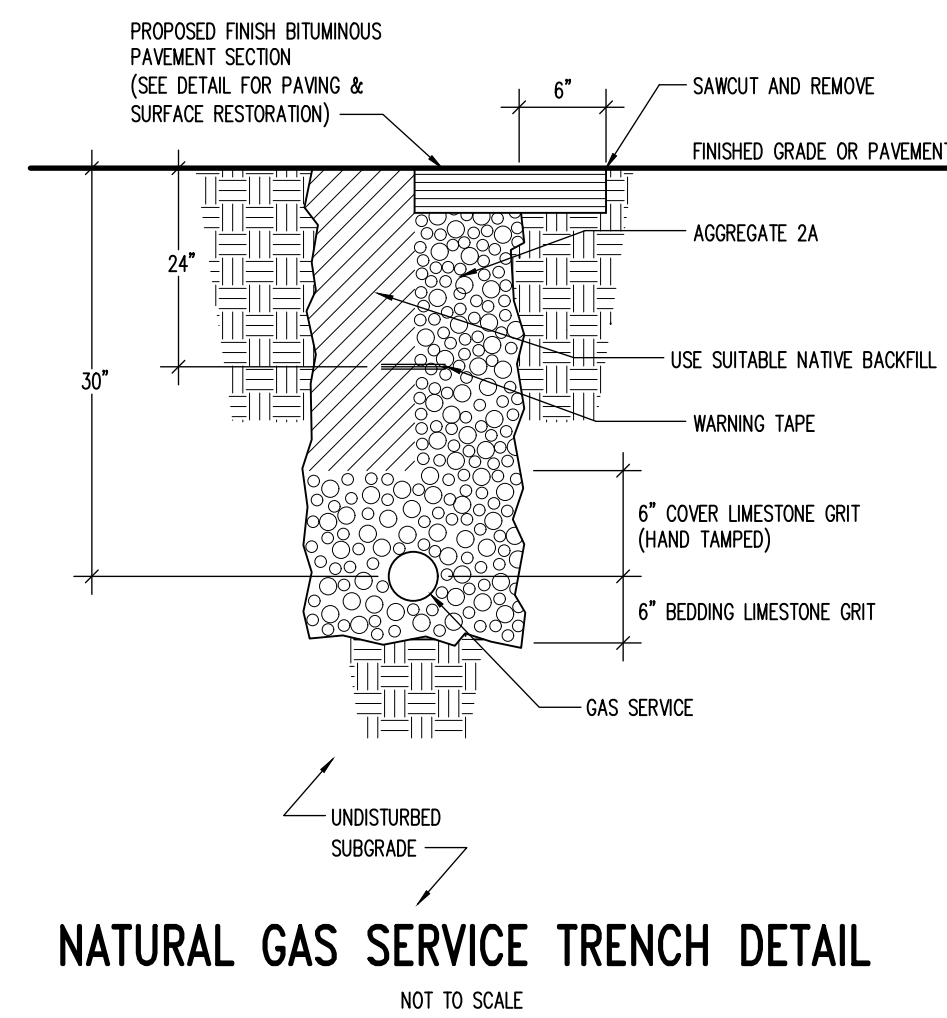
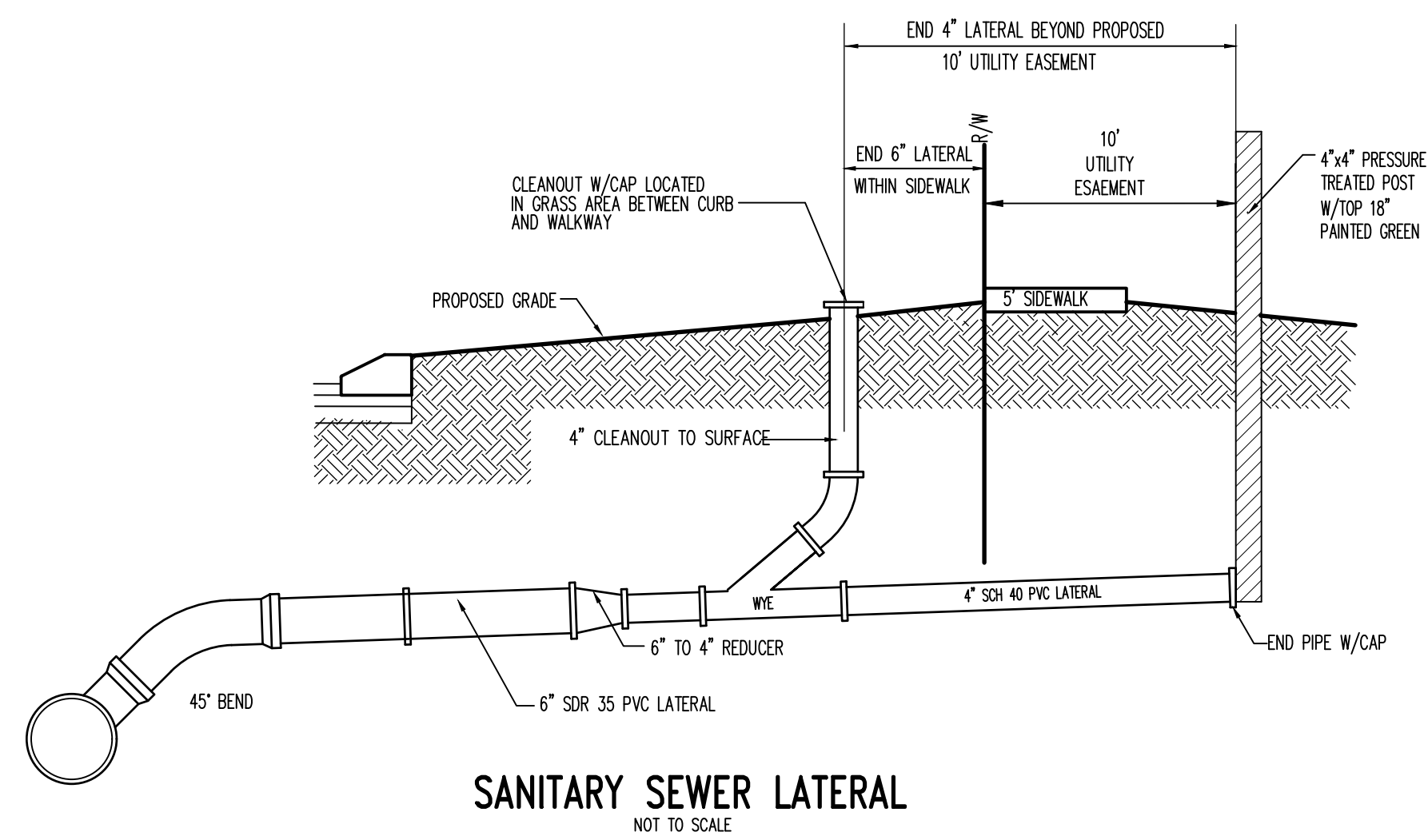
ORCHARD VIEW

FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

PRELIMINARY/FINAL  
SUBDIVISION PLAN

GENERAL  
CONSTRUCTION  
DETAILS

PROJECT NO.	17125
DATE	MAY 14, 2019
SCALE	N.T.S.
SHEET NO.	9

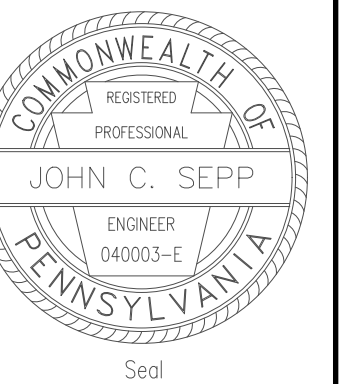


**PennTerra ENGINEERING INC.**  
CENTRAL PENNSYLVANIA REGION OFFICE:  
3075 ENTERPRISE DRIVE  
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COLUMBIA, PA 17512  
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Designer: EAH  
Draftsman: EAH  
Proj Manager: MAT/SCS  
Surveyor: MAK/ADF  
Perimeter Ok:  
Book: 543 Pg: 1  
Acad: 17125-RESIDENTIAL-SUB-DT2  
Layout: DT2

**ORCHARD VIEW**

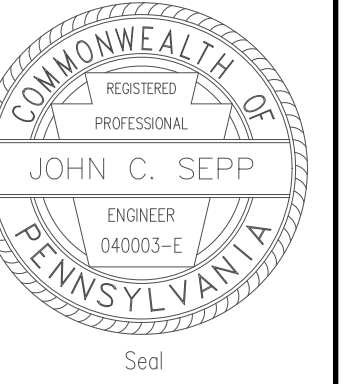
FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

**PRELIMINARY/FINAL  
SUBDIVISION PLAN**

**UTILITY DETAILS**

PROJECT NO.  
17125  
DATE  
MAY 14, 2019  
SCALE  
N.T.S.  
SHEET NO.  
10





Designer: EAH  
Draftsman: EAH  
Proj/Manager: MAT/JCS  
Surveyor: MAK/JDF  
Perimeter Ok.  
Book: 543 Pg: 1  
Acad: 7125-RESIDENTIAL-SUB-SWOT  
Layout: SWOT

**ORCHARD VIEW**

FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

**PRELIMINARY/FINAL  
SUBDIVISION PLAN**

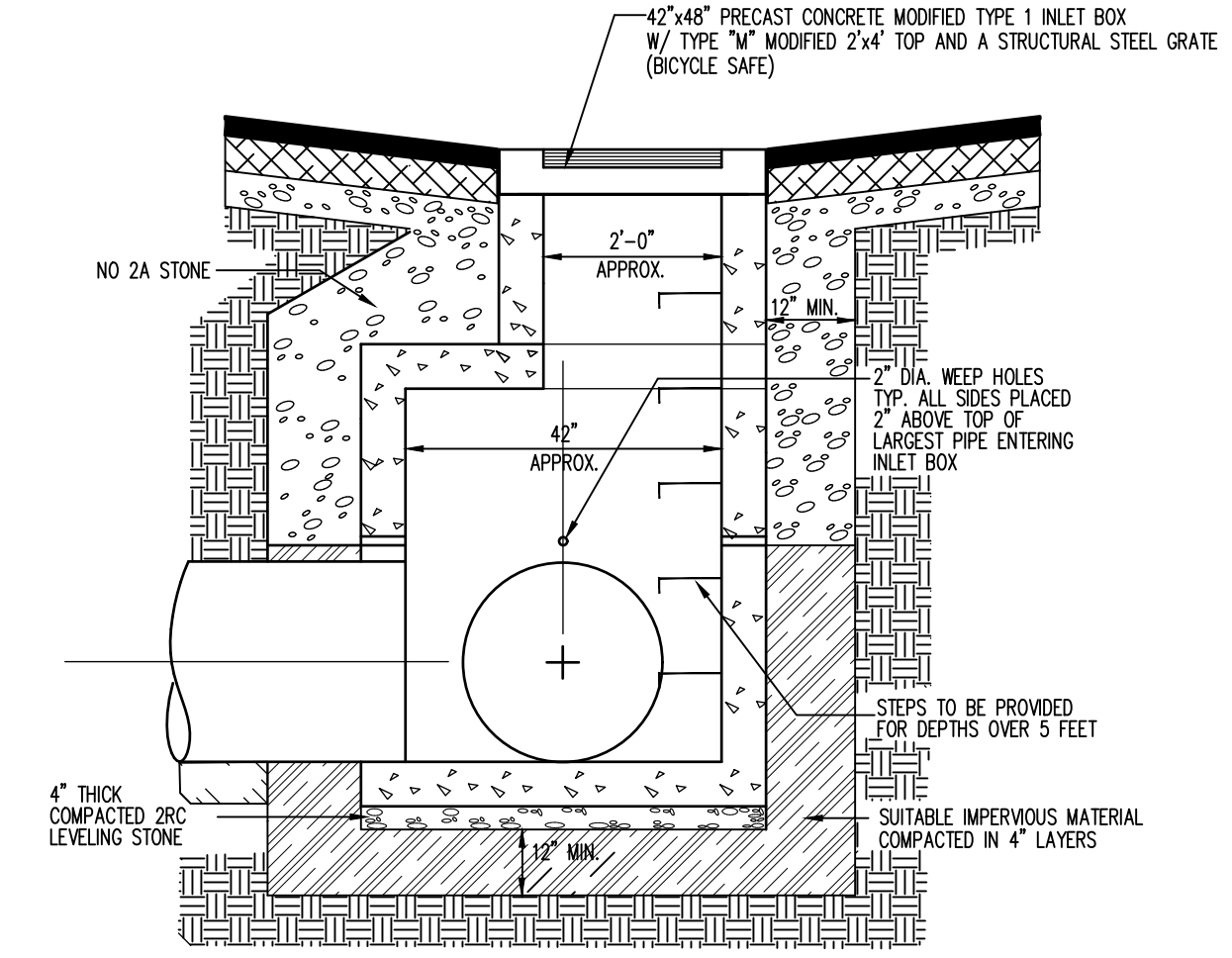
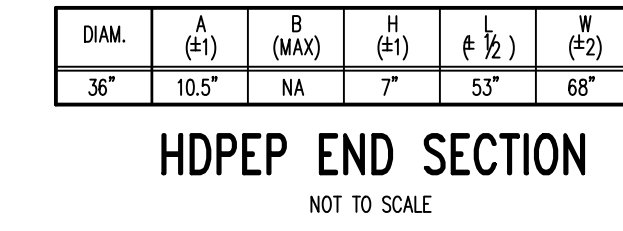
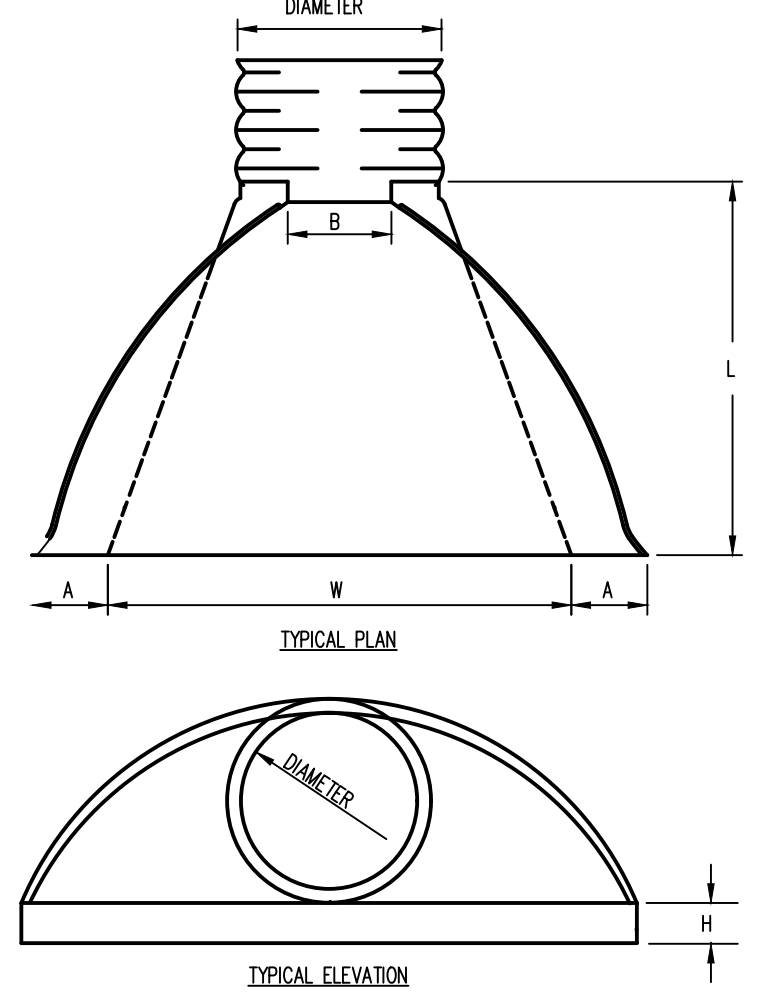
**STORMWATER  
MANAGEMENT  
DETAILS**

PROJECT NO.  
17125  
DATE  
MAY 14, 2019  
SCALE SHEET NO.  
N.T.S. 11

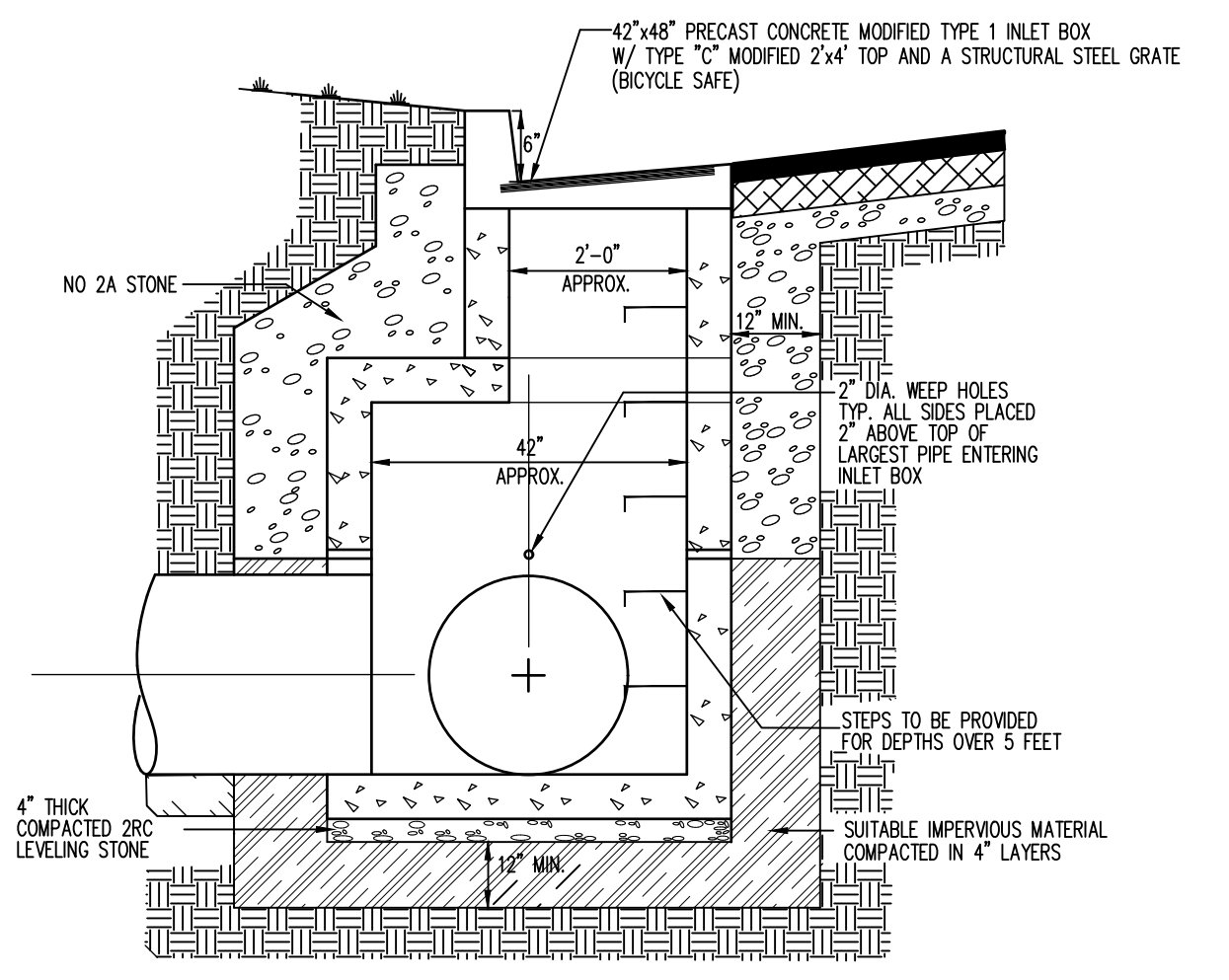
**PROPOSED STORM DRAINAGE STRUCTURE DATA**

ID	STRUCTURE TYPE	TG ELEV	INVERT IN	INVERT OUT	PIPE RUN PIPE TYPE	LENGTH (FT)	SIZE (IN)	SLOPE (%)	
OUT-A2	HDPEP End Section								
A-1.1	42 X 48 Precast Penn D.O.T. Type 1 Inlet Box with 24 x 48 Type C Modified Bicycle Safe Gate/Top	1229.90	1223.05 1225.40 1226.20	A-1.1 A-2.3 A-1.1	1221.50 A-2.1 TO A-1.1 A-2.3 TO A-1.1	HDPEP HDPEP HDPEP	21.5 30 15	1.16 0.99	
A-1.2	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1229.90			1226.20				
A-2.1	42 X 48 Precast Penn D.O.T. Type 1 Inlet Box with 24 x 48 Type C Modified Bicycle Safe Gate/Top	1229.90	1223.40 1226.20	A-3 A-2.2	1223.30 A-3 TO A-2.1	HDPEP HDPEP	48.2 15	0.62	
A-2.2	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1229.90			1226.20				
A-3	42 X 48 Precast Penn D.O.T. Type 1 Inlet Box with 24 x 48 Type C Modified Bicycle Safe Gate/Top	1230.33	1223.80 1223.80	A-4 A-9	1223.70 A-4 TO A-3 A-9 TO A-3	HDPEP HDPEP	140.8 24	0.64 0.55	
A-4	2 X 4 Precast Type M Inlet w/ Bicycle Safe Gate	1229.98	1226.75	A-21	1224.70	HDPEP	213.5	12 0.69	
A-21	2 X 2 Precast Inlet w/ Bicycle Safe Gate	1231.24	1228.75	A-22	1228.65	HDPEP	133	12 0.94	
A-22	2 X 2 Precast Inlet w/ Bicycle Safe Gate	1232.54			1230.00				
A-23	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1233.51	1229.75	A-24	1229.65	HDPEP	21.5	15 1.16	
A-24	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1233.51			1230.00				
A-9	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1229.29	1225.10	A-10	1225.00	HDPEP	134.5	18 1.04	
A-10	2 X 4 Precast Type M Inlet w/ Bicycle Safe Gate	1229.33	1226.80	A-11	1228.50	HDPEP	147.1	15 0.95	
A-11	2 X 2 Precast Inlet w/ Bicycle Safe Gate	1230.83			1228.00				
OUT-A3	HDPEP End Section								
A-5	42 X 48 Precast Penn D.O.T. Type 1 Inlet Box with 24 x 48 Type M Bicycle Safe Gate/Top	1225.50	1221.60	A-6	1221.60	HDPEP	136.9	36 0.51	
A-6	42 X 48 Precast Penn D.O.T. Type 1 Inlet Box with 24 x 48 Type M Bicycle Safe Gate/Top	1226.50	1222.30 1223.20	A-7.1 A-12	1222.30 A-7.1 TO A-6 A-12 TO A-6	HDPEP HDPEP	150.8 285.1	24 15	0.53 0.51
A-7.1	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1226.92	1223.20 1223.45 1223.20	A-8.1 A-13 A-7.2	1223.10 A-8.1 TO A-7.1 A-13 TO A-7.1	HDPEP HDPEP HDPEP	21.5 157.1 15	18 18 15	0.7 1.18
A-7.2	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1226.92			1223.20				
A-8.1	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1226.92	1223.45	A-8.2	1223.35	HDPEP	15		
A-8.2	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1226.92			1223.45				
A-12	2 X 4 Precast Type M Inlet w/ Bicycle Safe Gate	1227.57			1224.65				
A-13	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1229.10	1225.40	A-14	1225.30	HDPEP	157.4	15 1.49	
A-14	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1231.67	1227.85 1227.85	A-15 A-16	1227.75 A-15 TO A-14 A-16 TO A-14	HDPEP HDPEP	21.5 224.1	15 15	1.16 1.49
A-15	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1231.67			1228.10				
A-16	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1235.63	1231.85 1231.30 1231.30	A-17 A-18 A-19	1231.20 A-17 TO A-16 A-18 TO A-16 A-19 TO A-16	HDPEP HDPEP HDPEP	21.5 137.2 72.4	15 12 15	1.16 0.51 2.56
A-17	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1235.63			1232.10				
A-18	2 X 2 Precast Inlet w/ Bicycle Safe Gate	1234.72			1232.00				
A-19	2 X 4 Precast Type C Modified Inlet w/ Bicycle Safe Gate	1236.77	1233.25	A-20	1233.15	HDPEP	54.2	15 0.83	
A-20	2 X 4 Precast Type M Inlet w/ Bicycle Safe Gate	1237.22			1233.70				

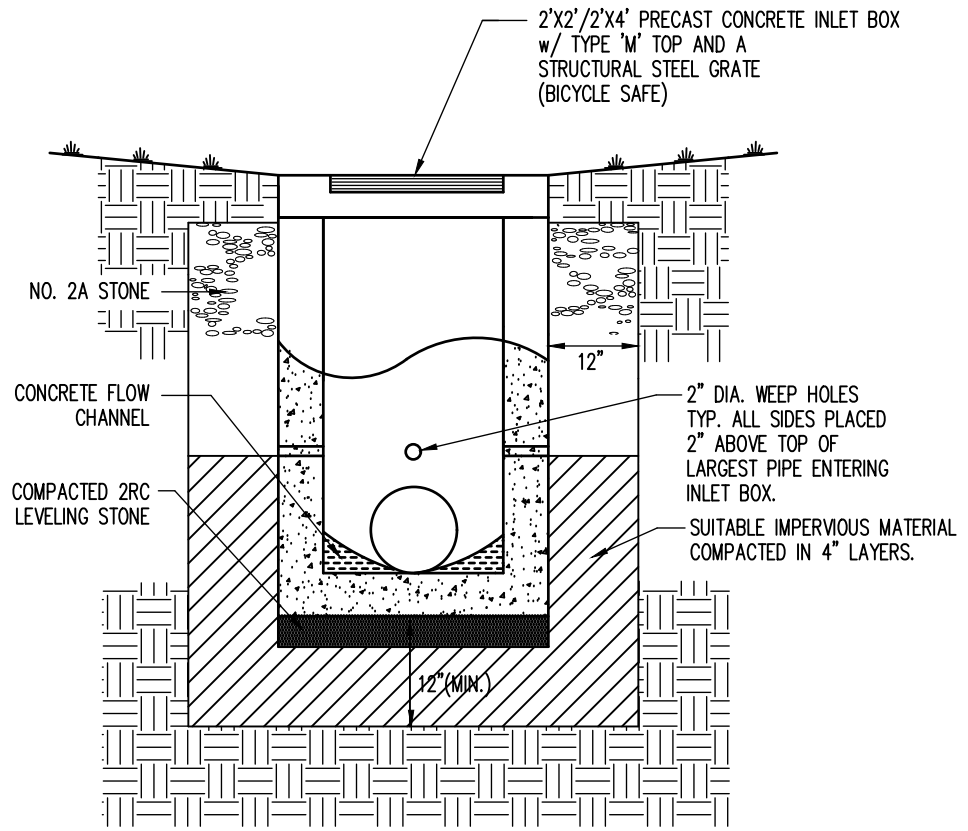
NOTES:  
1. ALL INLET TOP OF GRATES HAVE BEEN SET 0.10' BELOW THE FINAL DESIGN SURFACE ELEVATION.  
2. ALL INLETS DENOTED BY "\*" MUST MEET PENNDOT SPECIFICATIONS. SEE PENNDOT RC-45M & RC-46M IN PUB. 72M FOR MORE INFORMATION.



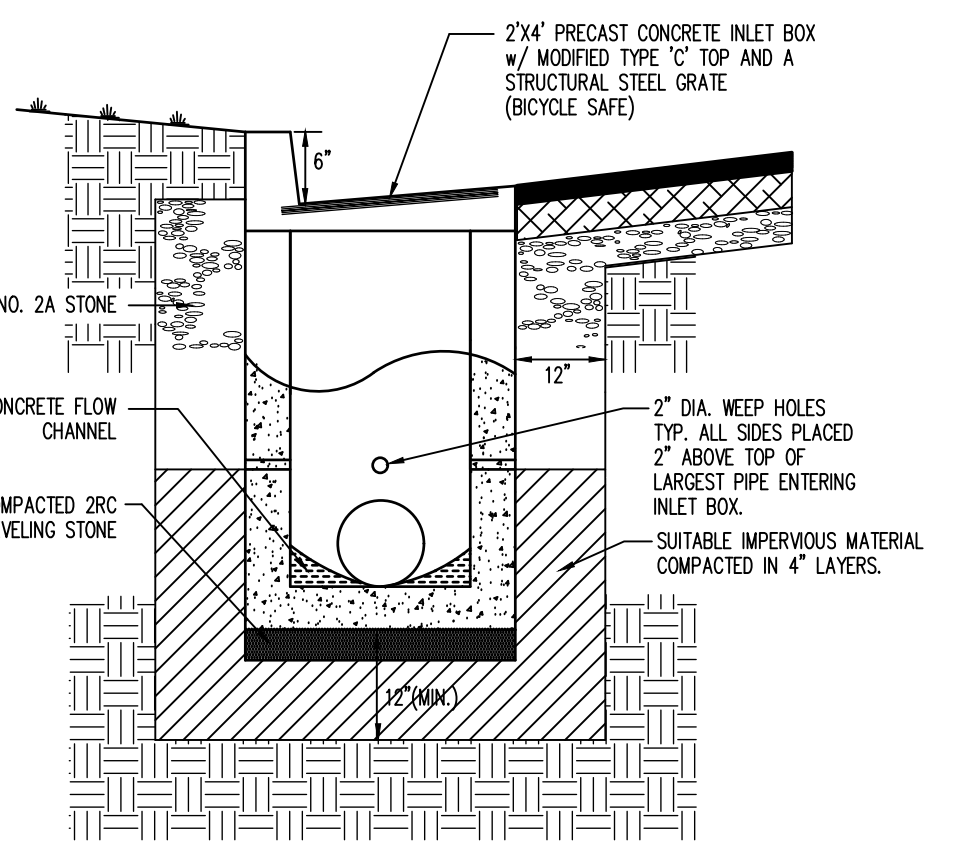
**42"x48" PENNDOT PRECAST TYPE 1 INLET  
W/ 24 X 48 TYPE M TOP**  
NOT TO SCALE



**42"x48" PENNDOT PRECAST TYPE 1 INLET  
W/ 24 X 48 TYPE C TOP**  
NOT TO SCALE

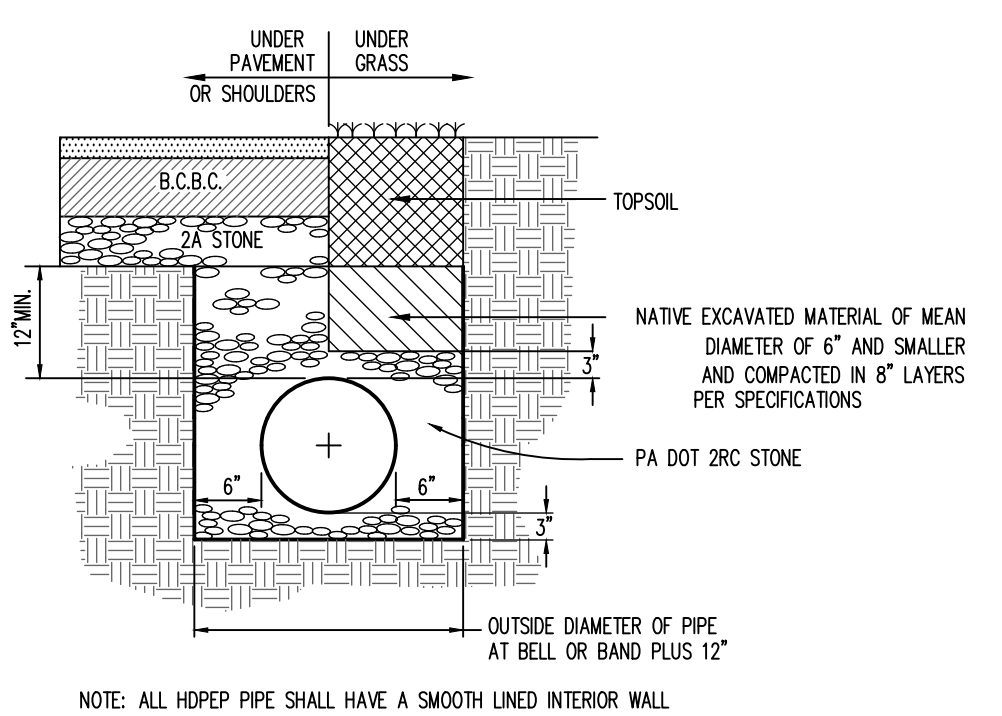


**TYPE 'M' PRECAST CONCRETE INLET**  
NOT TO SCALE

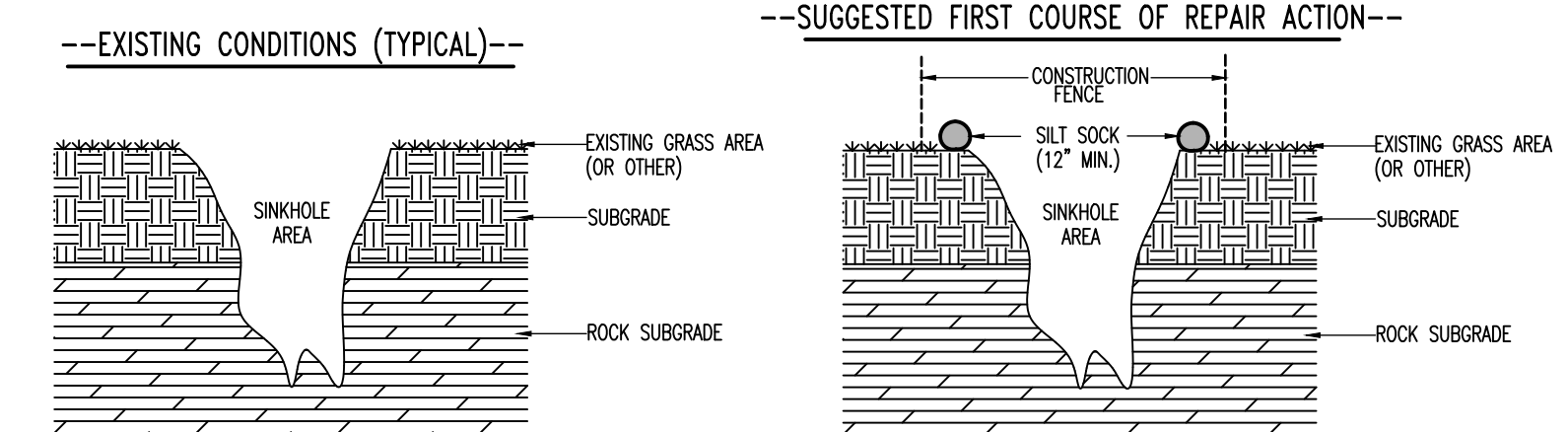


**MODIFIED TYPE 'C' PRECAST CONCRETE INLET**  
NOT TO SCALE

OVERALL INLET NOTE  
INLETS A-1 THRU A-3, A-7 THRU A-9, A-13 THRU A-17, A-19, A-23 AND A-24 MUST MEET PENNDOT SPECIFICATIONS. SEE PENNDOT RC-45M & RC-46M IN PUB. 72M FOR MORE INFORMATION.

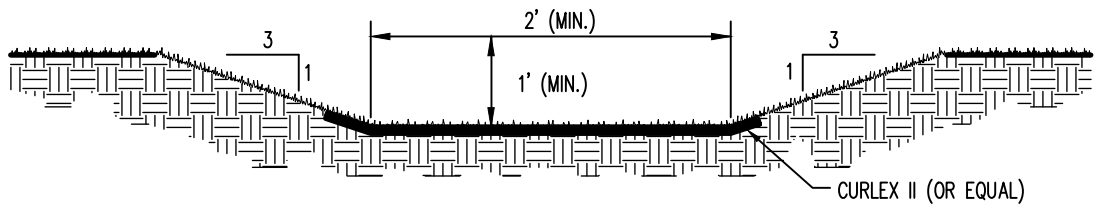


**STORMSEWER (HDPEP) INSTALLATION**  
NOT TO SCALE

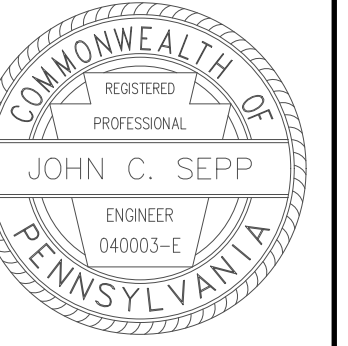


- REPAIR STEPS**  
UPON DISCOVERY OF A SINKHOLE, THE FOLLOWING STEPS SHALL IMMEDIATELY OCCUR:
1. INSTALL SILT SOCK OR SOME OTHER PERIMETER EROSION AND SEDIMENT CONTROL BMP AROUND THE SINKHOLE PERIMETER, AS SHOWN UNDER THE SUGGESTED FIRST COURSE OF REPAIR ACTION.
  2. INSTALL CONSTRUCTION FENCE AROUND THE SINKHOLE PERIMETER, AS SHOWN ABOVE UNDER THE SUGGESTED FIRST COURSE OF REPAIR ACTION.
  3. CONTACT THE PROJECT GEOTECHNICAL AND CIVIL CONSULTING ENGINEERS TO ARRANGE A FIELD VIEWING OF THE SINKHOLE AND DETERMINE THE FINAL COURSE OF ACTION TO REPAIR THE SINKHOLE.
  4. IMPLEMENT THE FINAL COURSE OF ACTION TO REPAIR THE SINKHOLE UNDER THE DIRECTION AND SUPERVISION OF THE GEOTECHNICAL ENGINEER. REFER TO THE INVERTED FILTER FOR A TYPICAL REPAIR. THE FINAL REPAIR APPROACH SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER.

**SINKHOLE REPAIR—COURSE OF ACTION PLAN**  
(NOT INCLUDED IN UTILITY/EARTHWORK BASE BID)  
NOT TO SCALE



**TYPICAL REAR LOT SWALE DETAIL**  
NOT TO SCALE



Designer	EAH
Draftsman	EAH
Proj Manager	MAT/JCS
Surveyor	MAK/JDF
Perimeter Ck.	
Book	543 Pg 1
17125-RESIDENTIAL-SUB-ES-PLAN	
Layout	EAS-PLAN

Date	Description	REVISIONS

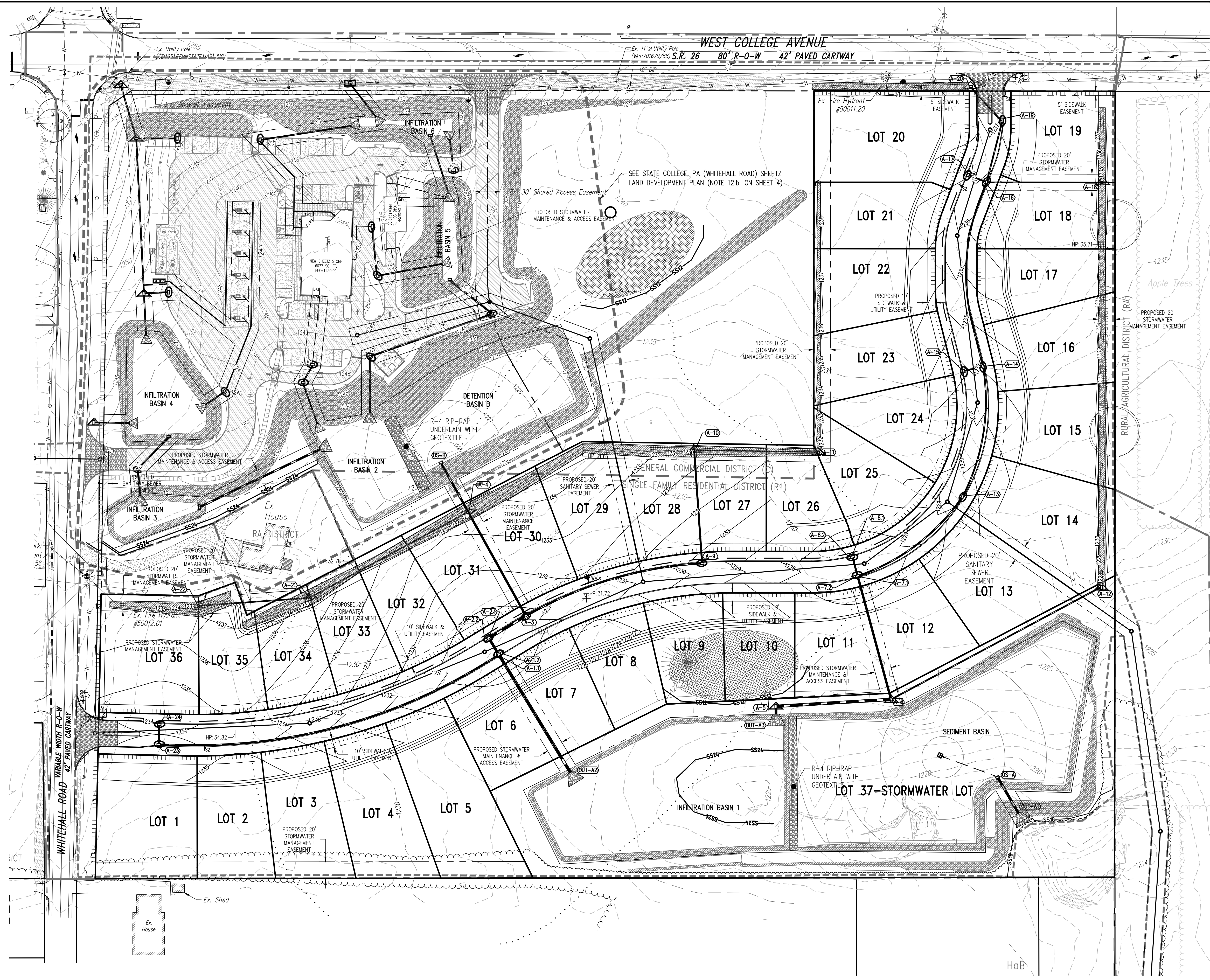
**ORCHARD VIEW**

FERGUSON TOWNSHIP  
CENTRE COUNTY  
PENNSYLVANIA

**PRELIMINARY/FINAL  
SUBDIVISION PLAN**

**EROSION &  
SEDIMENTATION  
CONTROL PLAN**

PROJECT NO.	17125
DATE	MAY 14, 2019
SCALE	1"=60'
SHEET NO.	12



**SURVEY FEATURES LEGEND**

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Easement Line
- Project Benchmark

**SOILS LEGEND**

- Soil cover on the site consists of:
- HaA - Hagerstown Silt Loam, 0-3% Slopes
  - HaB - Hagerstown Silt Loam, 3-8% Slopes
  - HuA - Hublersburg Silt Loam, 0-3% Slopes
  - HuB - Hublersburg Silt Loam, 3-8% Slopes
  - OhB - Opequon-Hagerstown Complex, 3-8% Slopes

**EXISTING FEATURES LEGEND**

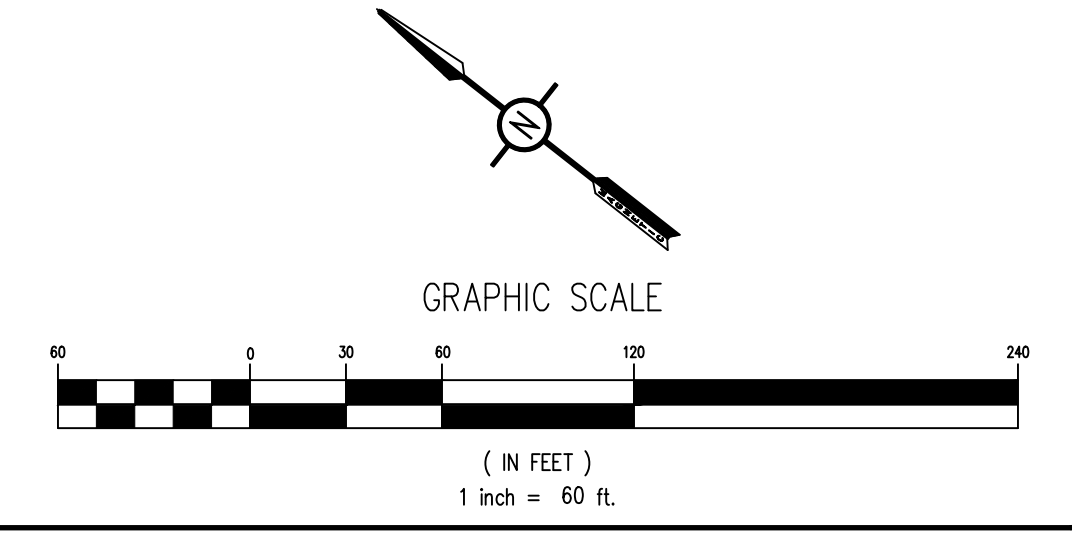
- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Gravel Areas
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Storm Sewer Line w/ Inlet
- Existing Sign
- Existing Soil Limit Line / Boundary
- Existing Soil Type
- Existing Tree Row
- 25% Slopes Or Greater
- Existing Stream
- Existing Floodplain
- Delineated Wetlands Line
- Existing Deciduous Tree
- Existing Evergreen Tree

**PROPOSED FEATURES LEGEND**

- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- PROPOSED STORM SEWER W/ TYPE C INLET
- PROPOSED FIRE HYDRANT
- PROPOSED UTILITY MANHOLE
- PROPOSED STORM SEWER INLET - TYPE M
- PROPOSED STORM SEWER INLET - TYPE C
- PROPOSED TREE ROW
- PROPOSED SIGN W/ LABEL
- PROPOSED DEPRESSED CURB W/ CURB TRANSITION

**EROSION & SEDIMENTATION CONTROL LEGEND**

- NPDES BOUNDARY LINE
- LIMIT OF DISTURBANCE
- CONSTRUCTION ENTRANCE
- INLET PROTECTION-TYPE M
- INLET PROTECTION-TYPE C
- INLET PROTECTION-TYPE C-FILTER BAG
- RIP-RAP APRON
- EROSION CONTROL LINING (CURLEX II OR APPROVED EQUAL)
- TOPSOIL STOCKPILE
- 12" SILT SOCK
- 18" SILT SOCK
- 24" SILT SOCK



## Standard Erosion and Sediment Control Plan Notes

1. All earth disturbances, including clearing and grubbing as well as cuts and fills shall be done in accordance with the approved E&S plan. A copy of the approved drawings (stamped, signed and dated by the reviewing agency) must be available at the project site at all times. The reviewing agency shall be notified of any changes to the approved plan prior to implementation of those changes. The reviewing agency may require a written submittal of those changes for review and approval at its discretion.
2. At least 7 days prior to starting any earth disturbance activities, including clearing and grubbing, the owner and/or operator shall invite all contractors, the landowner, appropriate municipal officials, the E&S plan preparer, the PCSM plan preparer, the licensed professional responsible for oversight of critical stages of implementation of the PCSM plan, and a representative from the Centre County Conservation District to an on-site preconstruction meeting.
3. At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-242-1776 for the location of existing underground utilities.
4. All earth disturbance activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved in writing from the local conservation district or by the Department prior to implementation.
5. Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots and other objectionable material.
6. Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specified by the BMP sequence for that stage or phase have been installed and are functioning as described in this E&S plan.
7. At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan maps. These areas must be clearly marked and fenced off before clearing and grubbing operations begin.
8. Topsoil required for the establishment of vegetation shall be stockpiled at the location(s) shown on the plan map(s) in the amount necessary to complete the final grading of all exposed areas that are to be stabilized by vegetation. Each stockpile shall be protected in the manner shown on the plan drawings. Stockpile heights shall not exceed 35 feet. Stockpile slopes shall be 2H:1V or flatter.
9. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to minimize the potential for erosion and sediment pollution and notify the local conservation district and/or the regional office of the Department.
10. All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1, and 267.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
11. All off-site waste and borrow areas must have an E&S plan approved by the local conservation district or the Department fully implemented prior to being activated.
12. The contractor is responsible for ensuring that any material brought on site is clean fill. Form FP-001 must be retained by the property owner for any fill material affected by a spill or release of a regulated substance by qualifying as clean fill due to analytical testing.
13. Until the site is stabilized, all erosion and sediment BMPs shall be maintained properly. Maintenance shall include inspections of all erosion and sediment BMPs after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, remulching and renetting must be performed immediately. If the E&S BMPs fail to perform as expected, replacement BMPs, or modifications of those installed will be required.
14. A log showing dates that E&S BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection.
15. Sediment tracked onto any public roadway or sidewalk shall be returned to the construction site by the end of each work day and disposed in the manner described in this plan. In no case shall the sediment be washed, shoveled, or swept into any roadside ditch, storm sewer, or surface water.
16. All sediment removed from BMPs shall be disposed of in the manner described on the plan drawings.
17. Areas which are to be topsoiled shall be scarified to a minimum depth of 3 to 5 inches - 6 to 12 inches on compacted soils - prior to placement of topsoil. Areas to be vegetated shall have a minimum 4 inches of topsoil in place prior to seeding and mulching. Fill outcrops shall have a minimum of 2 inches of topsoil.
18. All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc. shall be compacted in accordance with local requirements or codes.
19. All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness.
20. Fill materials shall be free of frozen particles, brush, roots, sod, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills.
21. Frozen materials or soft, mucky, or highly compressible materials shall not be incorporated into fills.
22. Fill shall not be placed on saturated or frozen surfaces.
23. Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain or other approved method.
24. All graded areas shall be permanently stabilized immediately upon reaching finished grade. Cut slopes in competent bedrock and rock fills need not be vegetated. Seeded areas within 50 feet of a surface water, or as otherwise shown on the plan drawings, shall be blanketed according to the standards of this plan.
25. Immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reactivated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
26. Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
27. E&S BMPs shall remain functional as such until all areas tributary to them are permanently stabilized or until they are replaced by another BMP approved by the local conservation district or the Department.
28. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district for an inspection prior to removal/conversion of the E&S BMPs.
29. After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed or converted to permanent post construction stormwater management BMPs. Areas disturbed during removal or conversion of the BMPs shall be stabilized immediately. In order to ensure rapid revegetation of disturbed areas, such removal/conversions are to be done only during the germinating season.
30. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district to schedule a final inspection.
31. Failure to correctly install E&S BMPs, failure to prevent sediment-laden runoff from leaving the construction site, or failure to take immediate corrective action to resolve failure of E&S BMPs may result in administrative, civil, and/or criminal penalties being instituted by the Department as defined in Section 602 of the Pennsylvania Clean Streams Law. The Clean Streams Law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor criminal penalties for each violation.
32. All channels shall be kept free of obstructions including but not limited to fill, rocks, leaves, woody debris, accumulated sediment, excess vegetation, and construction material/wastes.
33. Underground utilities cutting through any active channel shall be immediately backfilled and the channel restored to its original cross-section and protective lining. Any base flow within the channel shall be conveyed past the work area in the manner described in this plan until such restoration is complete.
34. Channels having stone linings must be sufficiently over-excavated so that the design dimensions will be provided after placement of the protective lining.

## Staging of Earthmoving Activities

### Note:

REFER TO THE EROSION AND SEDIMENTATION CONTROL PLAN PREPARED FOR THE SHEETZ STATE COLLEGE, PA (WHITEHALL ROAD) FOR CONSTRUCTION STAGING RELATED TO THE SEDIMENT BASIN AND STORMWATER MANAGEMENT DETENTION AND INFILTRATION BASIN CONSTRUCTION. CONSTRUCTION OF RESIDENTIAL SUBDIVISION ROADWAY AND INFRASTRUCTURE CAN OCCUR CONCURRENTLY WITH THE SHEETZ STATE COLLEGE, PA (WHITEHALL ROAD PLAN). THE SEDIMENT BASIN SHALL REMAIN OPERATIONAL AND BE MAINTAINED UNTIL THE APPROPRIATE STABILIZATION FOR BOTH PROJECTS IS ACHIEVED. LIKEWISE, ALL OTHER BASINS SHALL REMAIN AT THEIR INTERIM ELEVATIONS UNTIL THE APPROPRIATE STABILIZATION OF UPSLOPE AREAS IS ACHIEVED. SUCH STABILIZATION IS DEFINED IN CONSTRUCTION STAGING STEP "M" OF THE SHEETZ STATE COLLEGE, PA (WHITEHALL ROAD PLAN) FINAL CONVERSION OF ALL SEDIMENT AND STORMWATER BASIN FACILITIES CAN OCCUR PRIOR TO INDIVIDUAL RESIDENTIAL LOT CONSTRUCTION. INDIVIDUAL RESIDENTIAL LOT CONSTRUCTION MAY OCCUR WITH SPECIFIC ON-LOT CONTROLS IN PLACE.

**Sequence:** All earth disturbance activities shall proceed in accordance with the following staging of earthmoving activities. Each stage shall be completed before a subsequent stage is initiated.

- A. Install the rock construction entrances for the public roadway at the locations shown on the Erosion and Sedimentation Control Plan (E&SCP).
- B. Install the entire site perimeter silt sock, where shown on the E&SCP.
- C. Strip the topsoil from the roadway and infrastructure construction area and stockpile at the locations shown on the E&SCP. Seed the stockpile with the temporary seeding mixture and repair silt sock if damaged.
- D. Begin the rough grading of the public roadway. As fill is needed within the site development area, it shall be removed and relocated onsite where necessary from the Material Borrow Area indicated on the Sheetz State College, PA (Whitehall Road) Erosion and Sedimentation Control Plan.
- E. Commence with construction of all utilities. All utilities are to be installed at the rate of the length of the utility that can be installed and backfilled in one day. All stormwater shall be installed beginning at the downstream end and working upstream. Inlet protection shall be placed immediately on all newly installed inlets and outlet protection installed at outlets. All swales shall be constructed as stormwater is installed up to their location. Upon construction, all swales must be immediately stabilized with topsoil, permanent seeding and appropriate erosion control lining.
- F. Continue with the roadway construction until all utilities are installed. Bring to sub grade and stabilize with stone.
- G. Continue with all site grading. Stabilize all vegetated areas, which shall include the Material Borrow Area, with topsoil and the appropriate seeding mixture immediately after they are brought to final grade. Install the appropriate erosion control lining, where shown on the E&SCP.
- H. Begin the paving operations, thus removing the rock construction entrances. All curbing and sidewalks shall also be installed.
- I. Check all erosion controls on a daily basis and make any needed repairs or replacements as needed immediately. Any erosion control disturbed or removed by the installation of utilities shall be repaired or replaced to proper functioning condition by the end of that same day. All areas abandoned for more than four (4) days are to be seeded with the temporary seeding mixture.
  - J. Current regulations state: (a) Upon completion of an earth disturbance activity or any stage or phase of an activity, the site shall be immediately seeded, mulched or otherwise protected from accelerated erosion and sedimentation. (b) Erosion and sediment control BMP's shall be implemented and maintained until the permanent stabilization is completed. (c) For an earth disturbance activity or any stage or phase of an activity to be considered permanently stabilized, the disturbed areas shall be covered with one of the following: (1) A minimum uniform 70% perennial vegetative cover, with a density capable of resisting accelerated erosion and sedimentation. (2) An acceptable BMP which permanently minimizes accelerated erosion and sedimentation. Once stabilization has been achieved, all temporary erosion and sediment controls may be removed as follows:
    - Remove all temporary controls, such as silt sock, topsoil stockpiles and inlet protection. Any areas disturbed by the removal of these controls shall be stabilized immediately with a permanent seeding mixture.
- K. Upon stabilization of all disturbed areas, individual lot construction may proceed by the individual lot owners/builders with specific on-lot controls.

### Construction for the individual lots shall proceed with the following sequence:

- A. The proposed driveway entrance area will be stabilized with AASHTO #1 stone as shown in the construction entrance detail. The proposed silt sock is to be installed as shown on the typical on-lot erosion controls details depending on drainage direction. A minimum 12" silt sock must be installed along the downslope end of all disturbed area associated with the driveway construction.
- B. The proposed lawn area will have the topsoil stripped and stockpiled as shown on the typical on-lot erosion controls details. The stockpiles will be stabilized with the temporary seeding mixture.
- C. The building foundation will be constructed.
- D. Utilities will be installed. Any facilities crossing temporary erosion control facilities will be installed and completed in one day and the control facility must be restored that same day.
- E. As building construction proceeds, lawn areas shall be brought to final grade and topsoil placed. All lawn areas shall be seeded and mulched as per the rates shown in the section labeled 'PERMANENT CONTROL MEASURES'. All slopes 3:1 and steeper shall be stabilized with Curlex I (or equal) erosion control lining.
- F. As construction proceeds, temporary erosion control facilities will be maintained as specified in the maintenance program included in this report. All areas abandoned for more than four (4) days are to be seeded with the temporary seeding mixture.
- G. When construction is complete and the area stabilized with pavement or a uniform 70% vegetative cover over the entire disturbed area, all temporary erosion and sediment control measures will be removed.

## Temporary Control Measures

Temporary control measures will be implemented to ensure that erosion is minimized and that sediment is retained during construction. The rock construction entrance will be provided at the site entrance to prevent tracking of sediment from the site. Silt sock will be placed at the locations shown on the Erosion and Sedimentation Control Plan to provide proper filtration of the site runoff. Inlet protection will be installed at inlets to prevent the sedimentation of the storm sewer systems. A sediment basin will filter site runoff. Stone diversion swales will ensure runoff is adequately directed to the sediment basin.

Temporary seeding on all disturbed areas shall be done immediately after grading is finished and shall consist of the following:

Item	Rate
1. Agricultural grade limestone	1 ton / acre
2. Fertilizer 10-10-10	500 lbs. / acre
3. Annual ryegrass	40 lbs. / acre
4. Mulch (straw)	3 tons / acre

## Permanent Control Measures

Permanent control measures include the storm sewer, curbing, basins, swales and seeding / landscaping.

Permanent seeding on all disturbed areas may consist of the following:

Soil Enhancements: For permanent seeding outside of the basin bottom, it is recommended that site specific soil testing be performed. Lieu of soil test recommendations, use the following acceptable schedule:

Apply 6 tons/acre (240 lbs/1,000 s.f.) Dolomitic Limestone and 1,000 lbs/acre (25 lbs/1,000 s.f.) of 10-20-20 fertilizer before seeding. Harrow or disc into upper three inches of soil.

Permanent seeding on all basin bottom areas may consist of the following:

Permanent seeding on all other disturbed areas may consist of the following:

Item	Rate
1. Seed Mixture Consists of:	
50R Poa pratensis (Kentucky Bluegrass)	
30R Festuca rubra (Creeping Red Fescue)	
20R Lolium perenne L. (Perennial Rye)	102 lbs. / acre
2. Mulch	3 tons / acre

For lawn areas, a suitable lawn mixture, such as Agways Royal Green, shall be substituted for Item 3 of the permanent seeding mixture and applied at the rate directed by the manufacturer.

\*Mulching: Apply mulch immediately after seeding and anchor properly with an anchoring tool or following one of the methods listed below.

- 1) Tracking: The process of cutting mulch into the soil via equipment that runs n tracks, is employed primarily on slopes 3:1 or steeper.
- 2) Mulch Nettings: Staple lightweight biodegradable paper, plastic or cotton netting over the mulch according to the manufacturer's recommendations.
- 3) Synthetic Binders: Synthetic binders such as acrylic DLR (AGRI-TAC), DCA-70, Petrosol or Terratack may be used at rates recommended by the manufacturer to anchor mulch material.
- 4) Wood Cellulose Fiber: The fiber binder shall be applied at a net dry weight of 750 lb/acre. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 lbs of wood cellulose fiber per 100 gallons.
- 5) Peg & Twine: Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to surface by stretching twine between pegs in a criss-cross within a square pattern. Secure twine around each peg with two or more turns.

## Maintenance Program

During construction, the contractor will be responsible for maintenance and repair of all erosion and sedimentation control facilities. These facilities should be inspected weekly and after every runoff event. Any erosion control disturbed during construction or found to be inadequate upon inspection shall be repaired or replaced within 24 hours after the disturbance or the discrepancy is discovered. All inspections and repairs shall be documented within a written report and retained for record keeping. The maintenance of the erosion control facilities will include the following:

**Construction Entrance:**  
 a. The entrance shall be maintained in a condition that will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measure used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way - Any section of the filter fabric fence which has been undermined or topped must be immediately replaced with a rock filter outfit.

**Inlet Protection:**  
 a. Sediment shall be removed from the structure and spread over an existing stockpile with controls already in place, or spread over an existing window and seeded with the temporary seeding mixture.

a. The structure should be checked regularly to ensure its soundness. If the stone filter has been disturbed and cannot perform its proper protective function, additional stone should be installed to provide adequate filtration.

**Spoil Materials:**  
 a. All sediment removed from erosion and sedimentation pollution control facilities shall be spread over spoil areas with controls already in place. Stabilize the spoil material with the temporary seeding mixture.

### Permanent Seeding:

a. If the vegetative cover is not established uniformly by the third mowing, the contractor shall reapply topsoil if necessary and seed and mulch as needed to provide adequate cover.

### Silt Sock:

- a. The Contractor shall maintain the socks in a functional condition at all times and it shall be routinely inspected.
- b. Where the sock requires repair, it will be routinely repaired.
- c. The contractor shall remove sediment collected at the base of the sock when they reach 1/2 of the exposed height of the sock, or as directed by the Engineer. Alternatively, rather than create a soil disturbing activity, the engineer may call for additional sock to be added at areas of high sedimentation, placed immediately on top of the existing sediment laden sock. The sock will be dispersed on site when no longer required, as determined by the Engineer.

### Sediment Basin:

a. The sediment basin shall be stabilized with the temporary seeding mixture and maintained to ensure that it is structurally sound at all times. Sediment accumulation within the sediment trap shall be removed when it reaches the clean-out storage elevation as indicated on the E&SCP.

## Recycling and Disposal of Materials

The operator shall remove from the site, recycle, or dispose of all building materials and wastes in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1et seq., 271.1 et seq., and 267.1 et seq. The contractor shall not illegally bury, dump, or discharge any building material or wastes.

Wastes generated during the construction of this project shall be recycled if at all possible. Any materials that cannot be recycled or reused shall be disposed of at a Pennsylvania Department of Environmental Protection approved landfill. If soil and/or rock disposal areas are required, erosion and sedimentation controls shall be implemented at these areas. Any excess soil waste may only be disposed of at an approved E&S/NPDES permitted site.

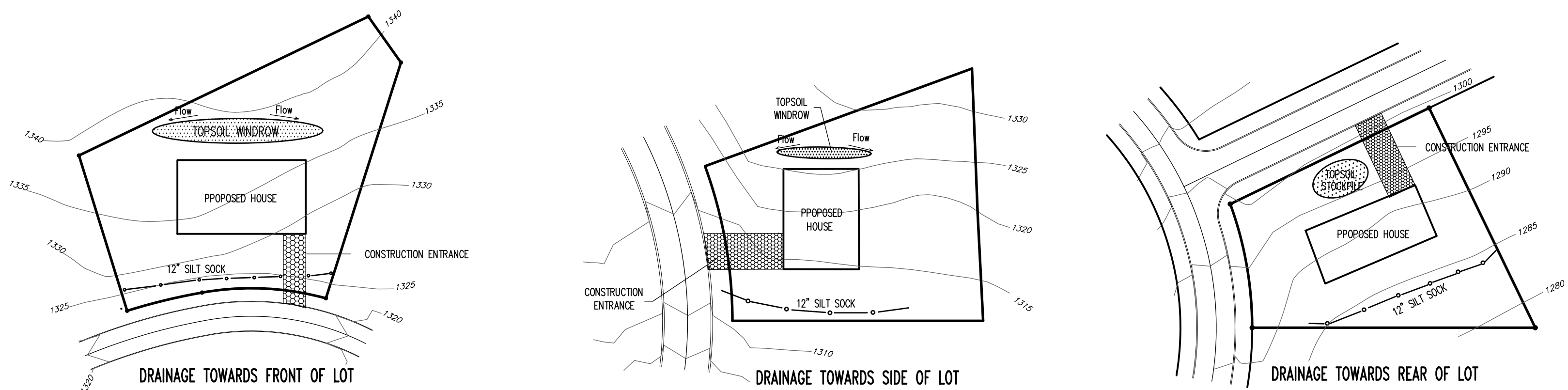
## Responsibilities for Fill Materials

The contractor is responsible to use environmental due diligence to ensure any fill material required to be imported to or exported from the site qualifies as Clean Fill.

Clean Fill is defined as: Uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and is recognizable as such. The term does not include materials placed in or on the waters of the Commonwealth unless otherwise authorized. (The term "used asphalt" does not include milled asphalt or asphalt that has been processed for re-use.)

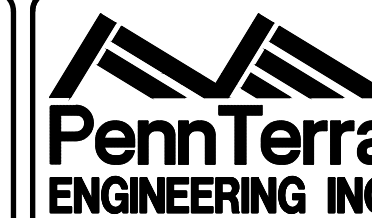
Environmental due diligence: Investigative techniques, including, but not limited to, visual property inspections, electronic data base searches, review of property ownership, review of property use history, Sanborn maps, environmental questionnaires, transaction screens, analytical testing, environmental assessments or audits. Analytical testing is not a required part of due diligence unless visual inspection and/or review of the past land use of the property indicates that the fill may have been subjected to a spill or release of regulated substance. If the fill may have been affected by a spill or release of a regulated substance, it must be tested to determine if it qualifies as clean fill. Testing should be performed in accordance with Appendix A of the Department's policy "Management of Fill".

Fill material that does not qualify as clean fill is regulated fill. Regulated fill is waste and must be managed in accordance with the Department's municipal or residual waste regulations based on 25 Pa. Code Chapters 267 Residual Waste Management or 271 Municipal Waste Management, whichever is applicable.



## TYPICAL ON-LOT EROSION CONTROL

NOT TO SCALE

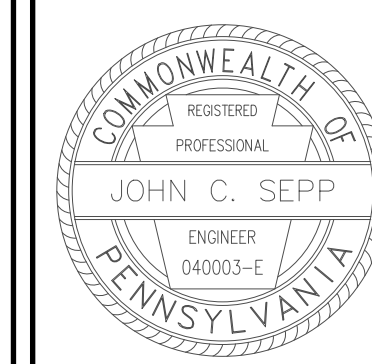


**CENTRAL PENNSYLVANIA REGION OFFICE:**  
 3075 ENTERPRISE DRIVE  
 SUITE 100  
 STATE COLLEGE, PA 16801  
 PH: 814-231-8285  
 FAX: 814-237-2308

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Designer: EAH  
 Draftsman: EAH  
 Proj./Manager: MAT/JCS  
 Surveyor: MAK/AJF  
 Perimeter Ok.  
 Book: 543 Pg: 1  
 4444'S-RESIDENTIAL-SUB-ES-NAR  
 Layout: ES-NAR

Date	Description
	REVISIONS

## ORCHARD VIEW

FERGUSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

## PRELIMINARY/FINAL SUBDIVISION PLAN

## EROSION & SEDIMENTATION CONTROL NARRATIVE & DETAILS

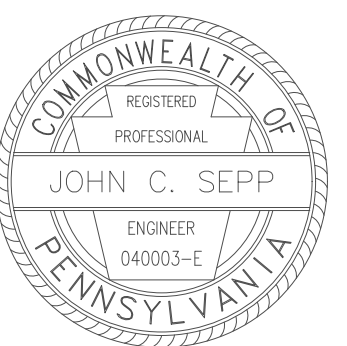
PROJECT NO.  
17125

DATE

MAY 14, 2019

SCALE SHEET NO.

N.T.S. 13



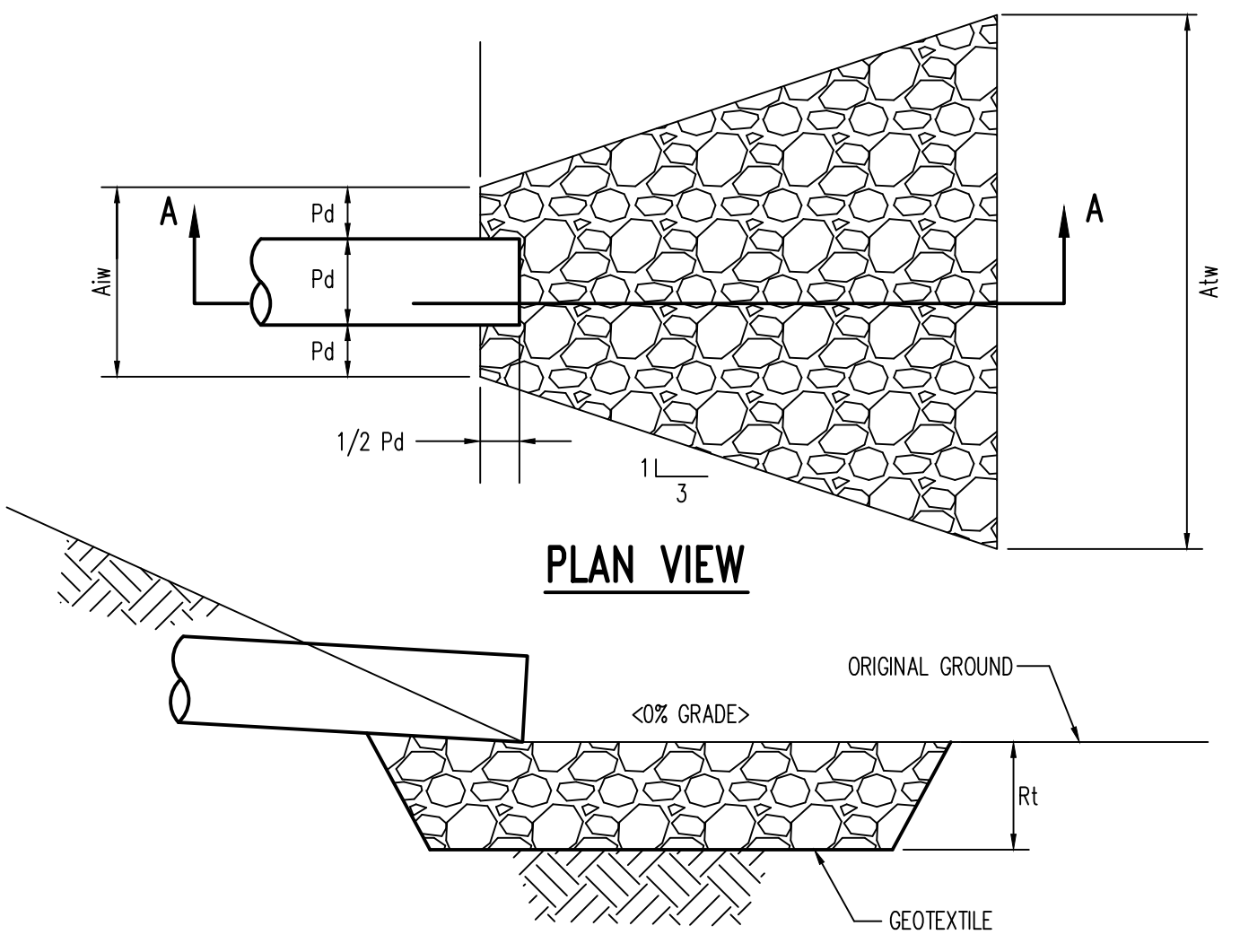
Designer: EAH  
 Draftsman: EAH  
 Proj/Manager: MAT/JCS  
 Surveyor: MAK/JWF  
 Perimeter Ok.  
 Book: 543 Pg: 1  
 A&W 25-RESIDENTIAL-SUB-ES-DT  
 Layout: ES-DET

**ORCHARD VIEW**  
 FERGUSON TOWNSHIP  
 CENTRE COUNTY  
 PENNSYLVANIA

PRELIMINARY/FINAL  
 SUBDIVISION PLAN

**EROSION & SEDIMENTATION CONTROL DETAILS**

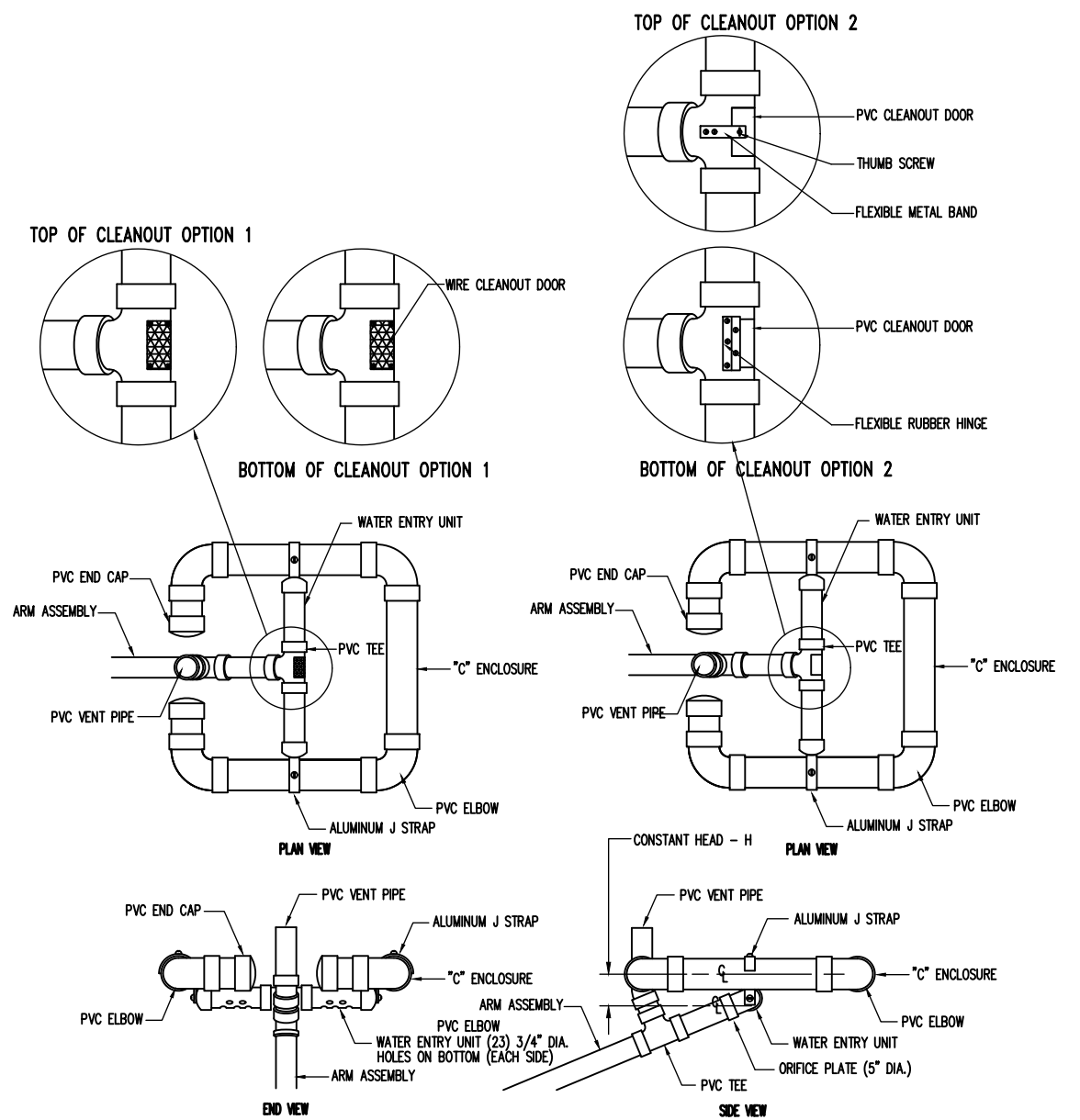
PROJECT NO. 17125  
 DATE MAY 14, 2019  
 SCALE N.T.S. SHEET NO. 14



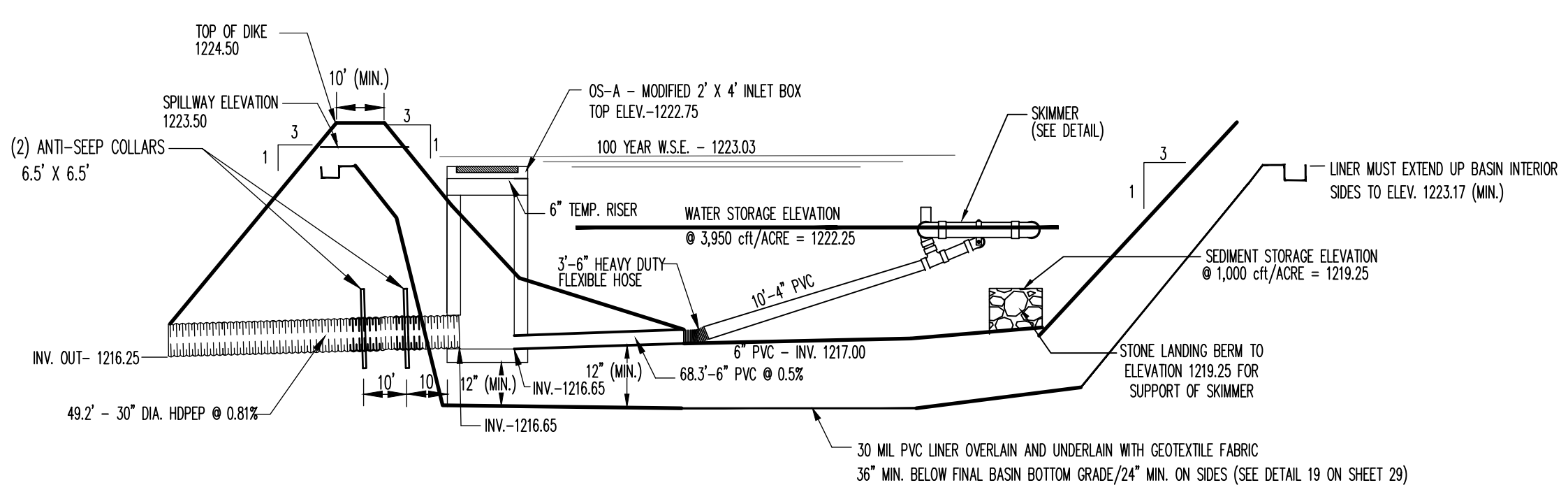
OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON		
		SIZE (R-)	THICK. Rt (IN)	LENGTH Al (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)
OUT-A2-A3	36	R-5	27	20	9.00	29.00

- NOTES:
- All aprons shall be constructed to the dimensions shown. Terminal widths shall be adjusted as necessary to match receiving channels.
  - All aprons shall be inspected at least weekly and after each runoff event. Displaced riprap within the apron shall be replaced immediately.
  - Extend riprap on back side of apron to at least 1/2 depth of pipe on both sides to prevent scour around the pipe.

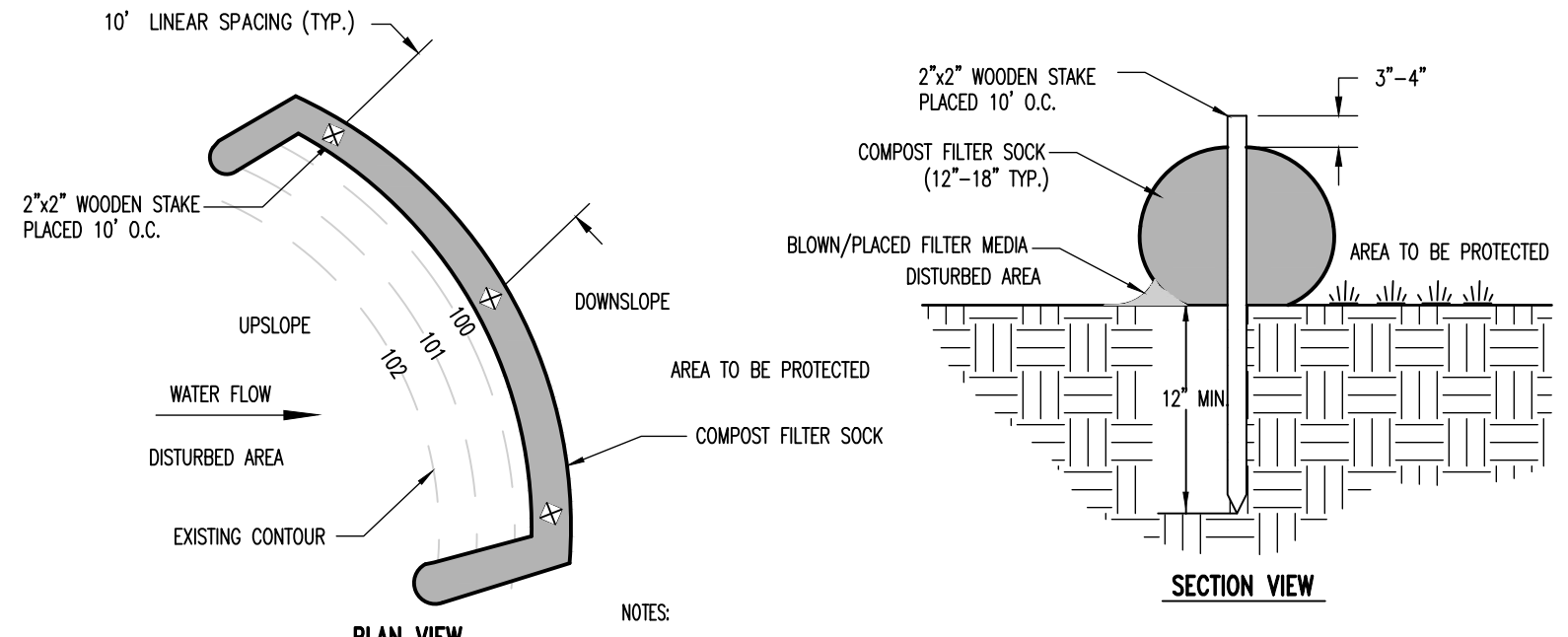
**RIPRAP APRON**  
 NOT TO SCALE



**SKIMMER-CONSTRUCTED WITH SHEETZ STATE COLLEGE PA, (WHITEHALL ROAD) PLAN**  
 NOT TO SCALE



**SEDIMENT BASIN CROSS SECTION - CONSTRUCTED WITH SHEETZ STATE COLLEGE PA, (WHITEHALL ROAD) PLAN**  
 NOT TO SCALE



- NOTES:
- ALL MATERIAL TO MEET EPA COMPOST FILTER SOCK SPECIFICATIONS.
  - SILT SOCK COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
  - SILT SOCKS DEPICTED ARE FOR USE ON MINIMAL SLOPES. GREATER SLOPES MAY REQUIRE LARGER SILT SOCKS PER THE ENGINEER.
  - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

TABLE 4.1  
 Compost Sock Fabric Minimum Specifications

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MPP)	Heavy Duty Multi-Filament Polypropylene (HMPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years

Two-Ply Systems

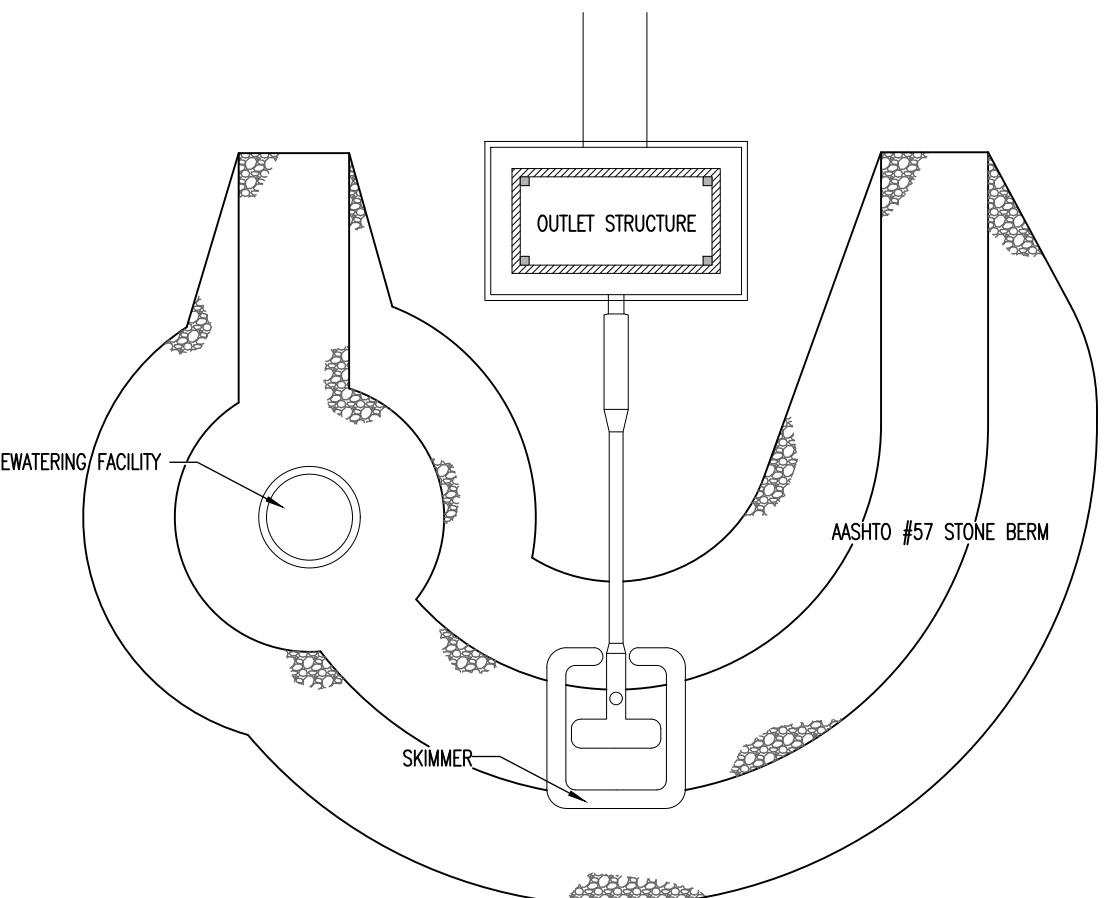
Inner Containment Netting	HDPE biaxial net
	Continuously wound Fusion-welded junctures 3/4"x3/4" Max. aperture size
Outer Filtration Mesh	Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch)
	3/16" Max. aperture size

Sock fabrics composed of burlap may be used on projects lasting 6 months or less.

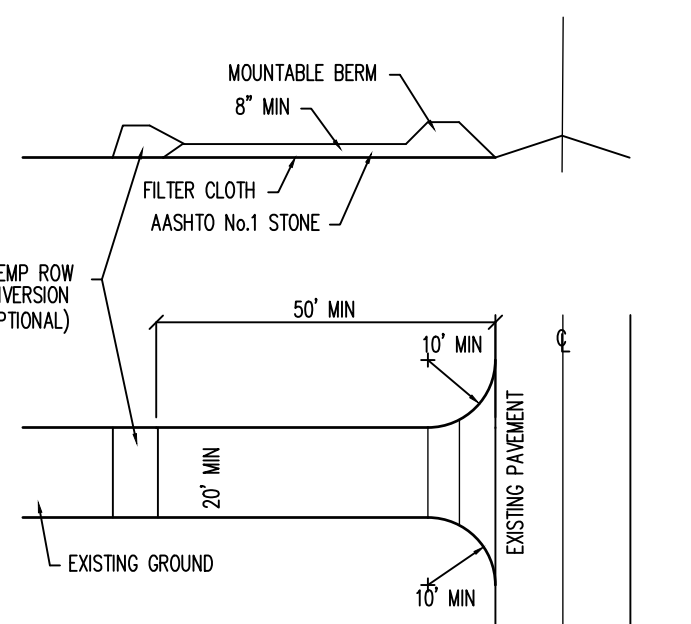
TABLE 4.2  
 Compost Standards

Organic Matter Content	25%-100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5-8.5
Moisture Content	30%-60%
Particle Size	30% - 50% pass through 3/8" sieve
Soluble Salt Concentration	5.0 ds/m (mmhos/cm) Maximum

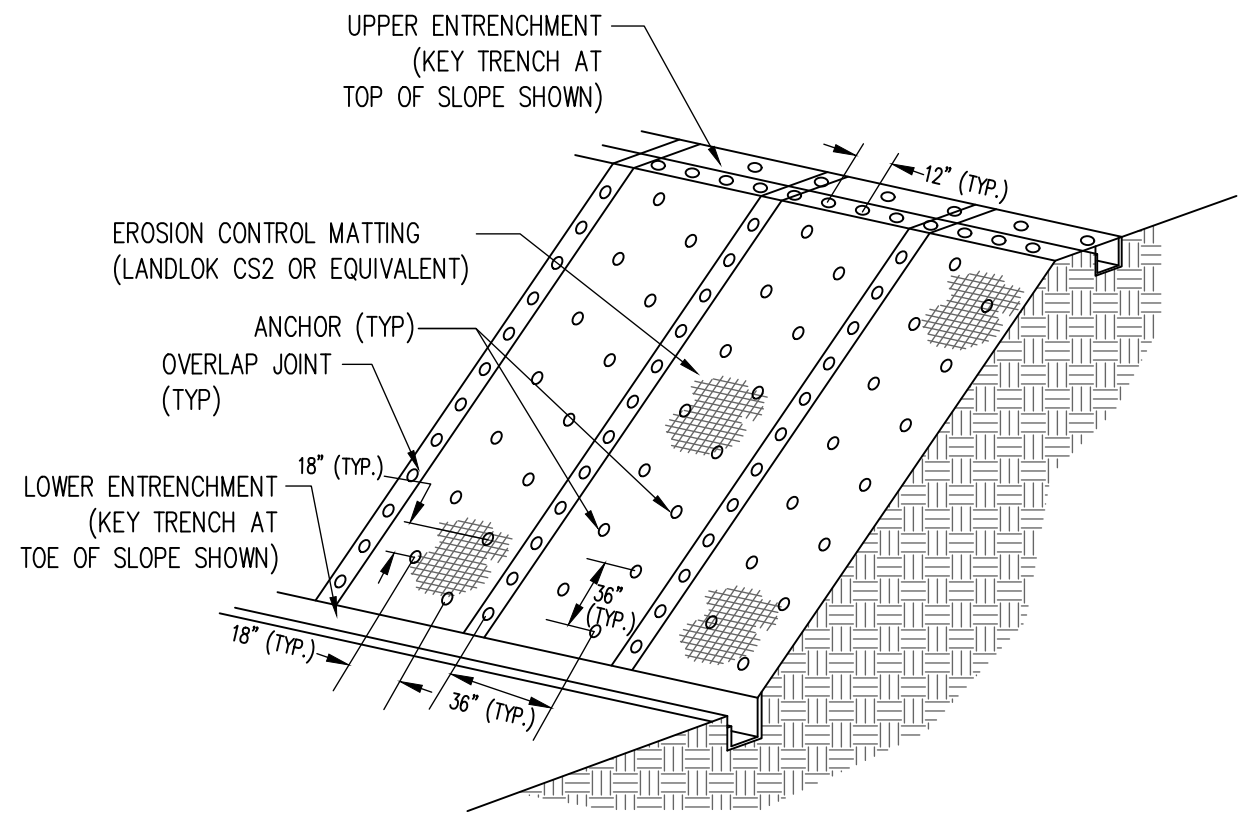
**COMPOST FILTER SOCK DETAIL**  
 NOT TO SCALE



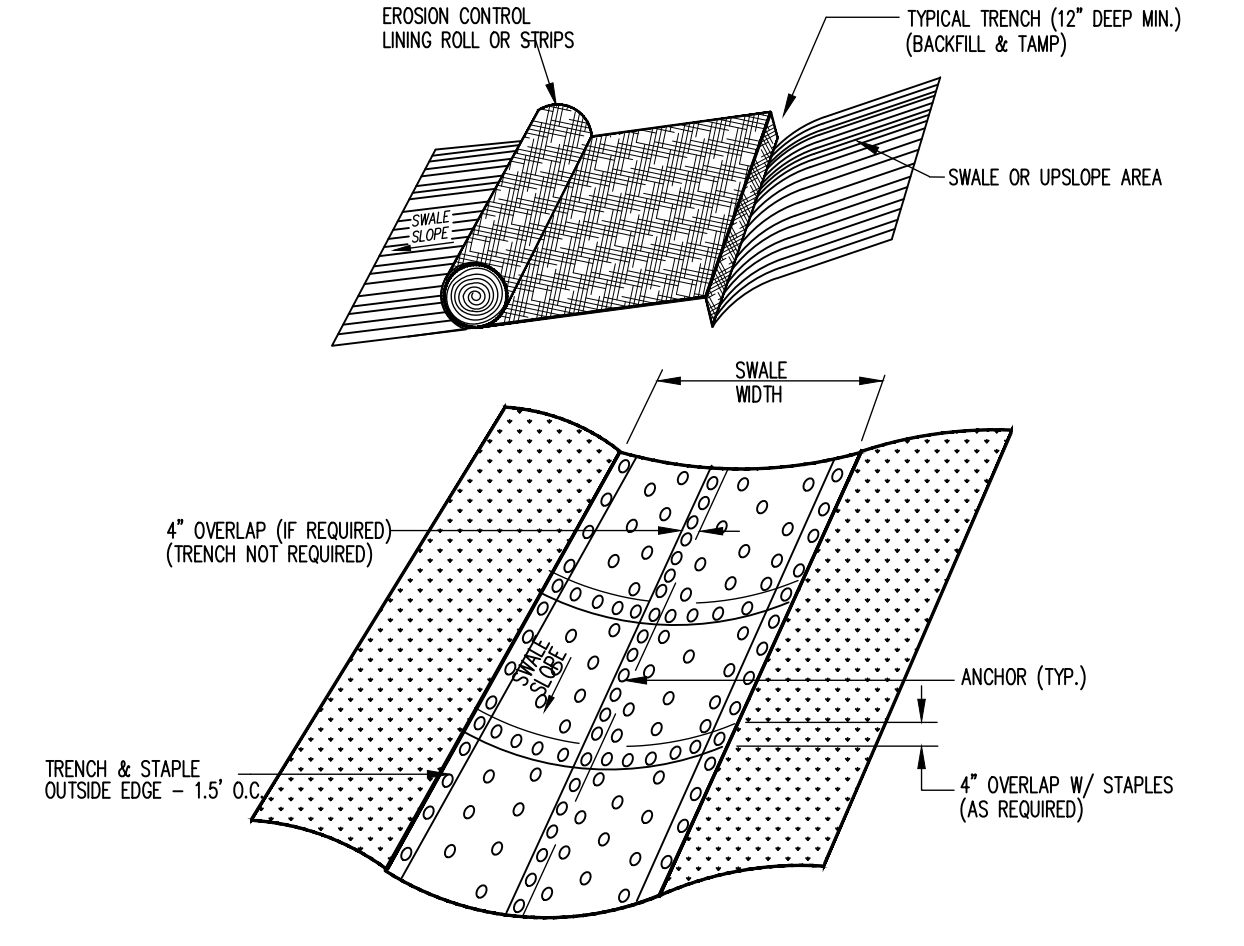
**SKIMMER WITH STONE LANDING BERM**  
 NOT TO SCALE



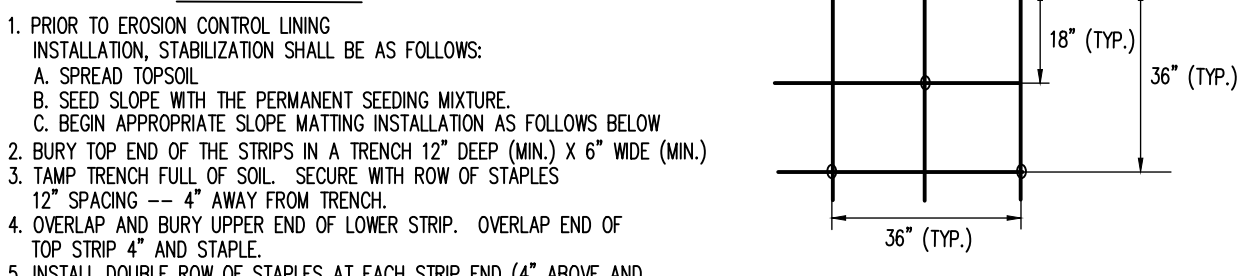
**CONSTRUCTION ENTRANCE**  
 NOT TO SCALE



**ON SLOPES**

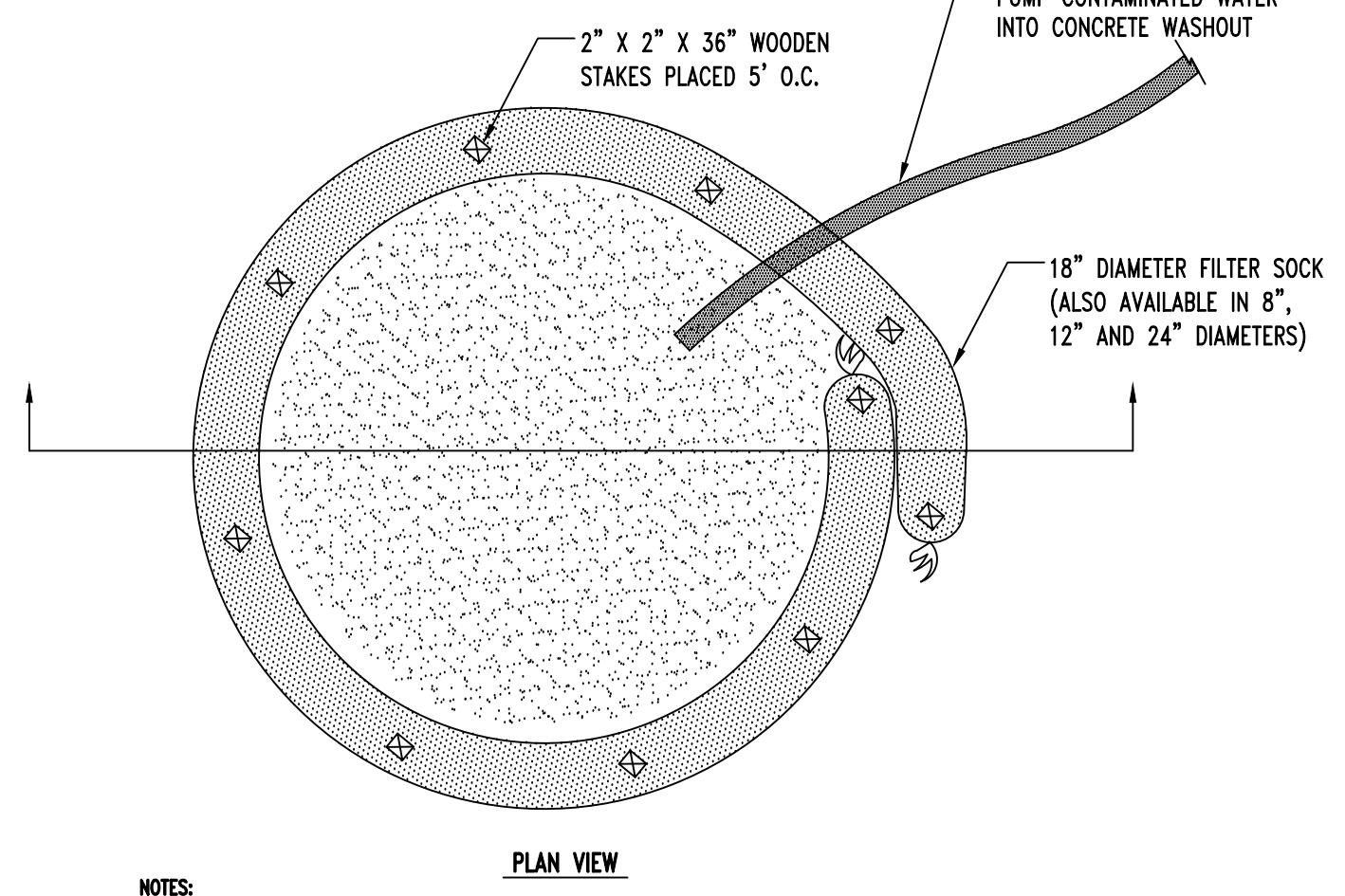
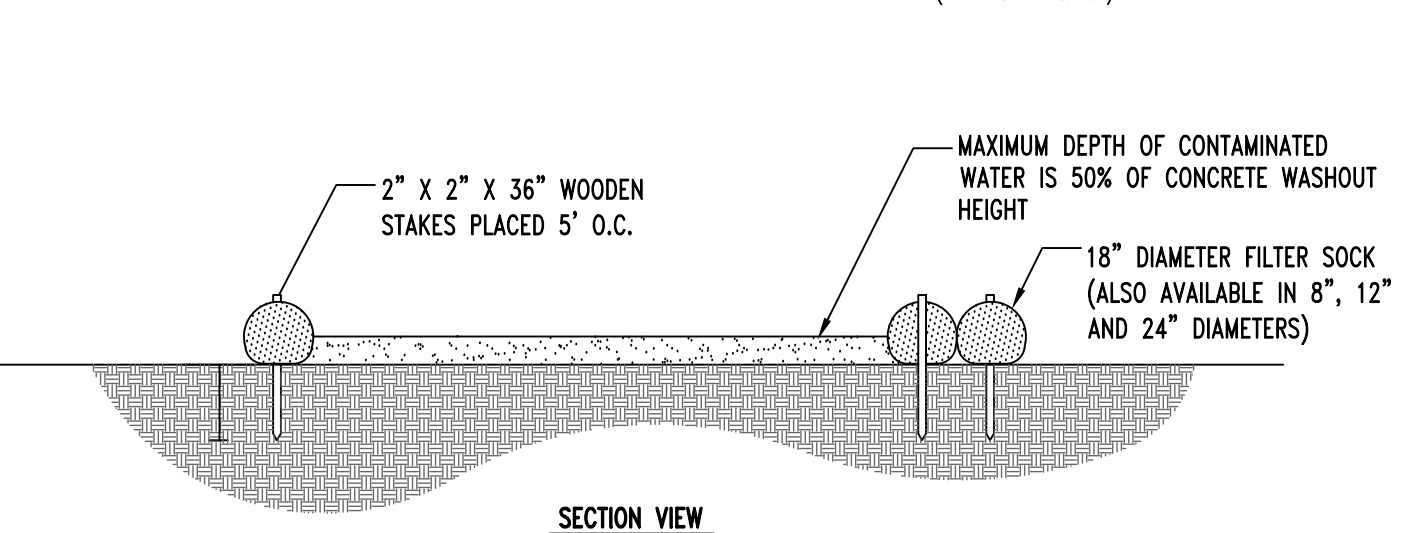


**IN SWALES**



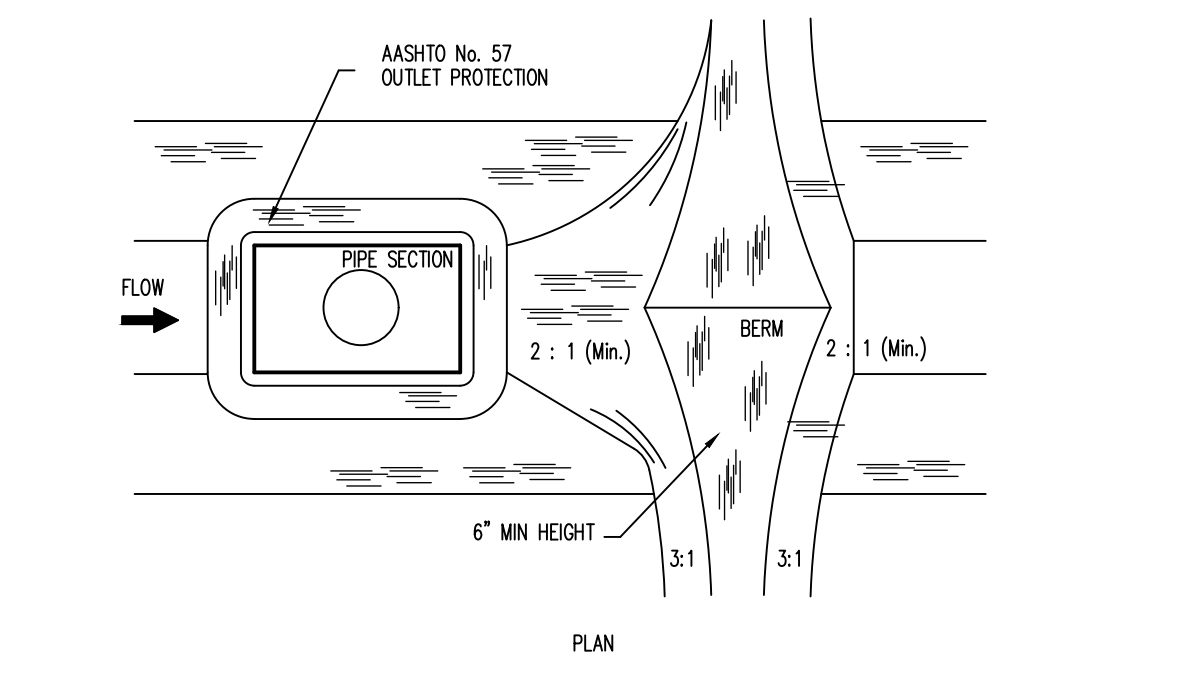
**TYPICAL ANCHORING PATTERN**

**EROSION CONTROL LINING INSTALLTION**  
 NOT TO SCALE

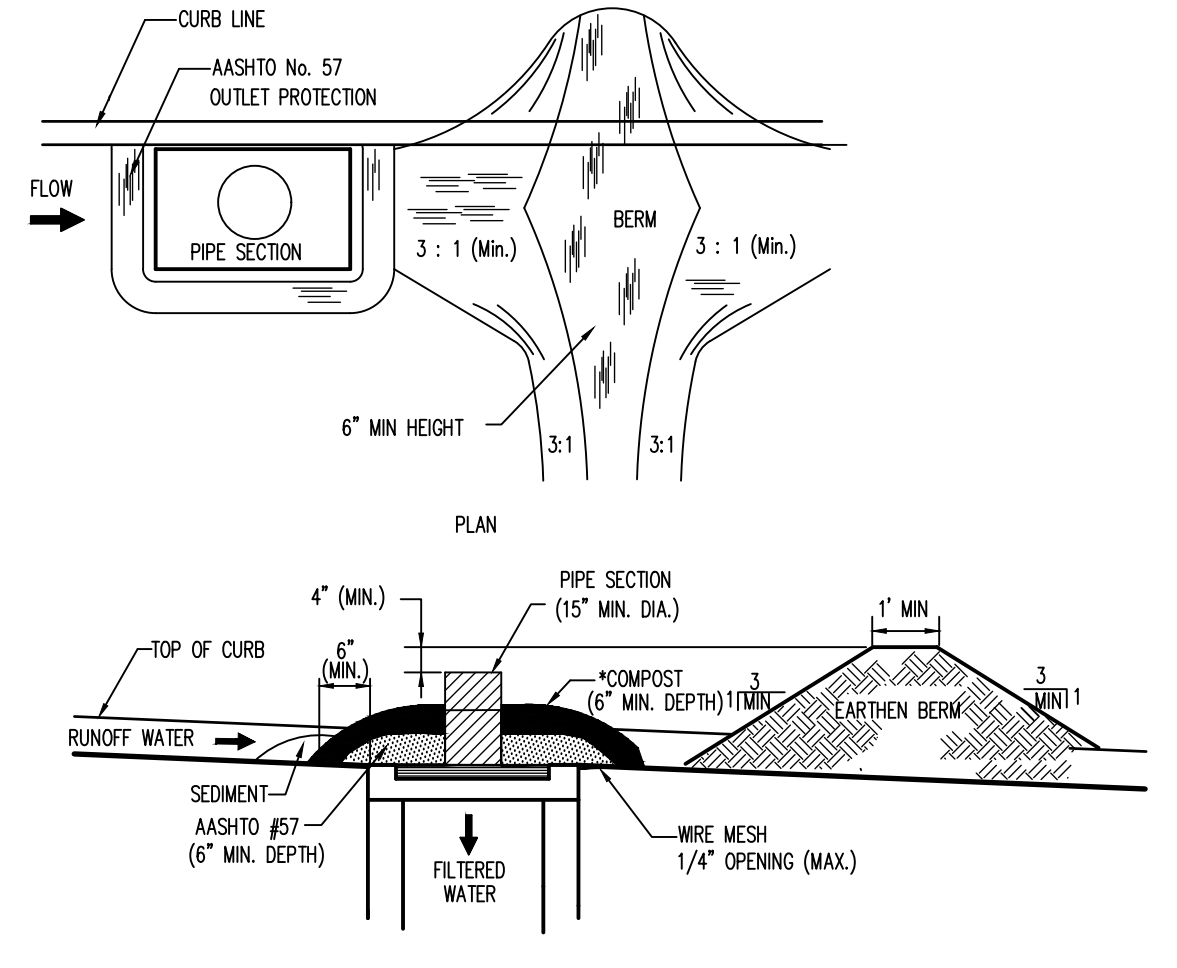


- NOTES:
- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE
  - CONCRETE WASHOUT MAY BE STACKED IN A PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT AND STABILITY
  - CONCRETE WASHOUT MAY BE DIRECT SEEDED AT THE TIME OF INSTALLATION
  - A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE FILTER SOCKS.

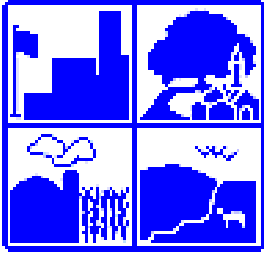
**CONCRETE WASHOUT AREA**  
 NOT TO SCALE



**DROP INLET FILTER W/ EARTHEN BERM (TYPE M)**  
 NOT TO SCALE



**DROP INLET FILTER W/ EARTHEN BERM (TYPE C)**  
 NOT TO SCALE



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# TOWNSHIP OF FERGUSON

3147 Research Drive, State College, Pennsylvania 16801  
Telephone: 814-238-4651 Fax: 814-238-3454

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TO: Ferguson Township Planning Commission

FROM: Lindsay K. Schoch, Interim Planning and Zoning Director

DATE: May 23, 2019

SUBJECT: Active Development Projects and Planning and Zoning Department Update

In an effort to keep the Planning Commission and Board of Supervisors up-to-date on pending proposals and applications, staff is providing a list of Active Plans and other Projects in the Township.

Currently, the Township has six (6) Active Plans, one (1) Conditionally approved plan and the Planning Commission held (1) Pre-application Conference.

- 1. Orchard View Land Development Plan:** This land development plan, submitted by Penn Terra Engineering on behalf of the applicants, Aspen Whitehall Partners, LLC proposed a 36 lot subdivision on tax parcel yet to be determined by the approval of the Subdivision & Replot Plan for the Harner Farm (Tax Parcel 24-4-67/C). The land is located in the single-family residential zoning district with corridor overlay. The Plans were submitted to staff on Tuesday, May 14 and will be sent to reviewers. Plan Expiration is Tuesday, August 16, 2019. **Plan Under Review**
- 2. Preliminary/Final Land Development Plan – State College, PA (Whitehall Road) Sheetz:** Penn Terra Engineering, Inc. on behalf of the applicant, Aspen Whitehall Partners LLC submitted a Preliminary/Final Land Development Plan for the State College, PA (Whitehall Road) Sheetz. Prior to the submission of this land development plan, a pre-application conference was held with the Ferguson Township Planning Commission as per the optional section 22.302 of the Ferguson Township Subdivision and Land Development Ordinance. The overall concept plan for Harner Farm was discussed at the pre-application conference, including the proposed Sheetz Convenience Store and the subdivision of land as part of the project. The proposed Sheetz Convenience store will be developed on 5.7 acres at the southwest corner of Whitehall Road and West College Avenue. The building will be 6,077 square feet, the site will also have a car wash, stormwater management basins and required access points. A Traffic Impact Study, Stormwater Management Plan and Lighting Plan have been submitted for review. Construction is scheduled to begin in the fall of 2019 and last a year to eighteen months. Prior to the proposed development, the land was actively farmed for the past fifty years. A plan to subdivide tax parcel 24-4-67 and replot of tax parcel 24-4-67C is also being considered concurrently with the review of the land development plan. The Plan is currently being reviewed by staff and other required agencies with comments due back to the Community Planner on May 8, 2019. **Plan Expiration is July 18, 2019. Plan under review.**
- 3. Harner Farm Subdivision Plan – Subdivision of Tax Parcel 24-4-67 and Replot of Tax Parcel 24-4-67C:** Penn Terra Engineering, Inc. on behalf of the applicant, Aspen Whitehall Partners LLC submitted a Plan for the subdivision of tax parcel 24-4-67 and replot of tax parcel 24-4-67C. The purpose of this plan is to subdivide Tax Parcel 24-4-67 into four (4) lots, replot Tax Parcel 24-4-67C and dedicate land from Tax Parcel 24-4-67 to Ferguson Township Right of Way. In conjunction with this Subdivision/Replot Plan is a Land Development Plan for the State College,

PA Whitehall Road Sheetz. The Plan is currently being reviewed by staff and other required agencies with comments due back to the Community Planner on May 8, 2019. **Plan Expiration is July 18, 2019. Plan under review.**

- 4. Hummel Subdivision/Subdivision of Tax Parcel 24-7-14E:** Penn Terra Engineering, Inc. on behalf of the owner, Martha S. Hummel submitted a plan to subdivide tax parcel 24-007-,014E into three (3) lots. Proposed Lot 1 being 52,613 square feet (1.208 acres); proposed Lot 2 being 63,069 square feet (1.448 acres); and proposed Lot 3 being the remaining 51,451 square feet (1.181 acres). This plan was formally withdrawn in May of 2018 and is now resubmitted under new ownership. Plan is currently being reviewed by staff, comments are due back on April 4. Plan Expiration is June 18, 2019. Additionally, Lot #1 and #2 will be served by individual lateral or main UAJA connections off of S.R. 45 and the remaining Lot #3 will retain on-lot septic. The Ferguson Township SEO checked the existing system and designated a reserve system location for the existing on-lot facility. A Sewage Facilities Planning Module will need to be executed by the Ferguson Township Planning Commission Chairperson and Zoning Administrator. The Planning Commission had an opportunity to review and comment upon the initial submission of this plan at the April 8 meeting. Their major concerns were the requirement for a fee-in-lieu of parkland and the process of the plan being resubmitted after it was withdrawn in 2018. Staff has included the PC comments into the plan review comment letter and sent to the Engineer. Plan Expiration is June 18, 2019. **The Board granted two modifications from the Subdivision and Land Development Ordinance and also waived the requirement for sidewalks. The Planning Commission's May 28 Agenda will have the Plan for recommendation to the Board of Supervisors.**
- 5. Pine Hall Traditional Town Development General Master Plan:** On February 21, 2018 Residential Housing Development, LLC submitted a General Master Plan for the Pine Hall TTD. A Master Plan currently exists for Pine Hall, but Residential Housing Development, LLC has a different vision, therefore is proposing a new General Master Plan. The Plan was at a stay until decisions were made from both the Zoning Hearing Board concerning the validity challenge and the Court of Common Pleas concerning the procedural challenge—both decisions have been denied and since, appealed by Circleville Partners. Staff submitted initial plan comments to the developer on Friday, March 30, 2018. The Board of Supervisors reviewed the Plan and made initial comments at its April 16, 2018 meeting and the Planning Commission reviewed and made initial comments at its April 23, 2018 meeting. Staff met with the Pine Hall Development Team to discuss initial comments. A Joint Public Work Session with the Board of Supervisors and Planning Commission was held on June 5, 2018. The Pine Hall Design Team submitted a summary of the meeting to staff. Trans Associates submitted the Traffic Impact Study to staff on Monday, July 30, 2018 for review. The General Master Plan was formally submitted to staff for review on August 1, 2018, which started the 90-day review period for the Board of Supervisors to consider approval of the Plan. The Planning Commission reviewed the proposed plan on Monday, August 27, 2018 and had minimal comments and some public comment. Staff has prepared a schedule to move the Plan forward. The traffic study is under review, terms and conditions and agreements are being prepared in preparation for a Public Hearing. Circleville Partners appealed the decision of the Zoning Hearing Board (to the Court of Common Pleas) and the Court of Common Pleas decision (to the Commonwealth Court). Plan review comments were submitted to the developer on September 19, 2018. Staff had a meeting with the Design Team on October 2, 2018 to discuss the various agreements, terms and conditions, and other items. On October 30, 2018, the plan was resubmitted to staff, reviewed, and comment letter was sent to the developer and their team on November 14, 2018. The traffic impact study is still in discussions and the developer's transportation engineer is reviewing township comments. Traffic Impact Study is still undergoing review. At this time, the majority of the comments are addressed. The proposed Terms and Conditions are being reviewed internally by staff. The developer reviewed and made comments on the proposed workforce housing agreement; staff is currently considering their comments.

Plan Expiration is April 8, 2019. Terms and Conditions are now in the hands of the developer. Staff conducted a meeting to discuss the Draft Workforce Housing Agreement on Friday, March 29. A time extension was submitted. Staff met with the Developer on Monday, April 15 and discussed the Traffic Impact Study, Terms and Conditions and Workforce Housing. A tentative schedule to move the Plan forward was discussed. Most recently, staff discussed our proposed traffic improvements (on-site and off-site) as a result of the Traffic Impact Study, and each considered which improvements the Township can take responsibility and which the developer will take responsibility. The Developer will now make a few corrections to the Terms and Conditions and Workforce Housing Agreement and submit to staff. The tentative schedule moving forward is still consistent with the schedule that was discussed earlier in April. ***Plan Expiration is August 6, 2019. The Developer requested the Public Hearing be postponed until July 15.***

**Conditionally Approved Plans:**

**Ferguson Township Public Works Building Land Development Plan:** The Board of Supervisors conditionally approved the Land Development Plan at their meeting on Monday, May 20. Plan shall be recorded by Thursday, July 4, 2019. Unless a request to extend the plan beyond that date is approved by the Board of Supervisors.

**King Wealth Strategies Land Development Plan has been recorded.**

**Preapplication Conference:**

**Whitehall Road Regional Park:** A pre-application conference was held with the Ferguson Township Planning Commission and the Ferguson Township Parks and Recreation Committee as per the optional Section 22.302 of the Ferguson Township Subdivision and Land Development Ordinance. Stahl Sheaffer made a presentation to the two entities, took comments and answered questions. Staff anticipates a Land Development Plan submission in the future, but an exact timeline does not exist at this time.

**Potential Preapplication Conference:**

**Hillside Farm Estates Master Plan/PRD.** Tentative scheduled for June 10 Planning Commission Meeting

**Zoning Hearing Board:**

Request to defer sidewalks during the subdivision/replot process for the Harner Farm. The Board of Supervisors remained neutral on this request at their meeting on Monday, May 20.

**The Township advertised the Planning and Zoning Director Position.**

**FERGUSON TOWNSHIP PLANNING COMMISSION**  
**REGULAR MEETING MINUTES**  
**Monday, May 13, 2019**  
**6:00 PM**

**ATTENDANCE**

The Planning Commission held its regular meeting of the month on Monday, May 13, 2019, at the Ferguson Township Municipal Building. In attendance were:

**Commission:**

Lisa Strickland, Chairperson  
Bill Keough, Vice Chairperson  
Ralph Wheland-Absent  
Erik Scott  
Jeremie Thompson  
Jerry Binney  
Shannon Holliday, Alternate  
Rob Crassweller, Secretary

**Staff:**

Lindsay Schoch, Interim Planning Zoning Director  
Jeff Ressler, Zoning Administrator-Absent

Others in attendance were: Summer Krape, Recording Secretary; David Pribulka, Township Manager, Wes Glebe Traditional Town Development, Stan Smith, Dennis & Wendy Myers Ferguson Township Residents, David Wantin, Michelle Spiering Ferguson Township Residents, John Sepp Penn Terra Engineering, Brad Brubaker from Sheetz, and Aspen Whitehall Partner Representatives, Justin Mandel.

**I. CALL TO ORDER**

Mrs. Lisa Strickland called the Ferguson Township Planning Commission meeting on Monday May 13, 2019 to order at 6:01 pm.

**II. Citizen Input**

Wes Glebe, reviewed and clarified a letter he read last week to the Board of Supervisors and he wanted to read it again for the Planning Commission. The letter pertains to the Traditional Town Development Tree Preservation ordinance. He spoke about the ordinance and how it has been interpreted. Wes explained that this ordinance is unusual in both its brevity and that it only pertains to the Traditional Town Development. Wes explained the intent of this ordinance is clear in its first sentence "existing wooded areas shall be protected to prevent unnecessary destruction" Wes stated that this would protect the entire 65 acre wood lot. Wes was given the consultant's evaluation of the lot, the evaluation states that the saw timber is of good quality and has good market ability. Wes has inferred from the evaluation that the Pine Hall wood lot is healthy and therefore, there is no good reason for the proposed removal of what would amount to 85% of these trees for profit. By ignoring that first sentence of the ordinance "shall be protected from unnecessary destruction" this ordinance has been misused and misinterpreted. Wes strives to understand and interpret the words as they are written. He wouldn't have questioned the ordinance if the developer left 40% of the woods untouched. He believes the Board of Supervisors has a responsibility to interpret the ordinance as it is written on behalf of the township, for the sake of the trees, good stewardship and governess.



**III. INTRODUCTION OF NEW PLANNING ZONING AND PUBLIC WORKS ADMINISTRATIVE ASSISTANT**

Mrs. Lindsay Schoch introduced Ms. Summer Krape as the new Planning and Zoning and Public Works Administrative Assistant.

**IV. FERGUSON TOWNSHIP PUBLIC WORKS FACILITY AND LAND DEVELOPMENT PLAN**

Adam Long from Keller Engineering has been working on this land development plan and came to tonight's meeting to make a brief presentation of the facility and answer any questions the Commission may have. Adam explained where the new 13,000 sq ft building will be located and all the amenities it will include such as: 4 bays, new fueling island, breakroom, locker rooms, and office space on the second floor for public works staff. There will also be an employee patio and an electric car charging station that will be able to charge 2 vehicles. Adam also showed the Commission where the reserved parking would be at the facility for car pool/low emission vehicles and where the ADA parking would be. The carpool/low emission parking, electric car charging station, and covered and uncovered bike racks meet the LEED standard. Another LEED goal was to increase pollinator habitat, because of this, a pollinator garden and 2 reforestation areas will be installed. He went on to tell the Commission that the building is proposed to be some level of LEED certification at this point we are targeting Gold status. Adam went over storm water management and how that will be handled via our rain garden. The rain garden will meet both the Township ordinance and the National Pollutant Discharge Elimination System (NPDES) requirements. Adam also went over the spill containment system and the emergency stop the new fueling island will have along with the concrete containment tank that a spill would go into if one was to occur. Per the Commission's request, Adam explained the difference between a storm water basin and a rain garden, where all 109 parking spaces would be located/that the 109 parking stalls include the already existing parking on the campus, and that the already existing public works building 1 will be used for vehicle storage. Vice Chair Person Mr. Bill Keough expressed concern about the electric car charging station, stating that the Township doesn't own electric cars and that it would not be used. Mr. David Pribulka, Township Manager stated to the Commission that Ferguson Township has in the budget this year to purchase an electric car and will be doing so before the end of the year for the Engineering and Administrative staff. The Township has also received a grant to help with the purchasing of these cars in the future.

A big concern that most members of the Commission expressed was that the plan included the planting of fruit trees. They felt this was a big issue given the care these types of trees require and the proximity to the Harner Farm and the possible contamination of their commercial fruit tree business. Mrs. Lindsay Schoch stated the new public works facility was extensively reviewed by the Township Arborist and the Tree Commission and they had no positive or negative comments regarding the fruit trees.

**Staff Recommendations:**

Secretary Mr. Rob Crassweller made a motion to approve the Ferguson Township Public Works Facility plan under the condition that they replace the fruit trees in the plan with another type of tree. Mr. Bill Keough seconded the motion.

**V. HARNER FARM SUBDIVISION OF TAX PARCEL 24-4-67 & REPLOT OF TAX PARCEL 24-4-67C**

Mrs. Lindsay Schoch explained to the Planning Commission that Harner Farm was rezoned in 2018 to include both commercial and residential zoning districts. As a result of that, the Harner Farm Subdivision Plan of Tax Parcel 24-4-67 and Replot of Tax Parcel 24-4-67C is being proposed and that this is the Planning Commission's opportunity to have an initial review of this subdivision plan. The lot total is about 72 acres and is zoned commercial and single family residential with corridor overlay. The proposed use is a gasoline convenience store with a drive thru, car wash and a mixed-use building with housing above. The proposed lots are: Lot 1 that is about 5.6 acres, Lot 2 that is about 3.6 acres and the residual track/Lot 3 is 16 acres.

So far the Township has received comments back from the Centre County Department of Planning and Community Development and Centre Regional Planning Agency. The Township Zoning Administrator and Township Engineer have both reviewed this plan as well and at this point the plan looks clean. This is the Commission's initial review and any comments that are made tonight will be included in the comment letter that will go back to Penn Terra Engineering. John Sepp from Penn Terra and Lindsay both explained to the Commission the road layouts and the traffic study that occurred and is currently being reviewed. The roads that were studied in the traffic study are:

- W. College Ave & Whitehall Road
- Whitehall Road & Research Drive
- W. College Ave & Bristol Ave
- W. College Ave & Science Park Road
- W. College Ave & Nissan Driveway/Northern Site Driveway
- W. College Ave & Southern Site Driveway
- Whitehall Road & Eastern Site Driveway
- Whitehall Road & Western Site Driveway

The proposed traffic improvement recommendations from the traffic study is to construct a 225 foot South bound Right Turn lane on W. College Ave to turn right into the Northern Site driveway. Construct a 100 foot Westbound Left Turn lane on Whitehall Road to turn left into Eastern Site Driveway. Lengthen Eastbound Left Turn lane on Whitehall Road on approach to W. College Ave from 175 feet to 225 feet. Increase green signal time during AM peak period for the Eastbound/Westbound phase at the intersection of W. College Ave and Whitehall Road, and put in a signal with signal timing adjustments at peak times. Improvements to the cross walk that that will connect the Sheetz to the other side walks that are there was also recommended. These are the recommendations of the traffic study but cannot be validated because the study has not yet been approved. The traffic study should be reviewed and approved in the next week.

**VI. STATE COLLEGE, PA (WHITEHALL ROAD SHEETZ PRELIMINARY/FINAL LAND DEVELOPMENT PLAN**

Mrs. Lindsay Schoch stated this is the Planning Commission's initial review and that we are just taking comments and will incorporate them in our response letter to give to the agents this week. Mrs. Lindsay Schoch explained that the State College Whitehall Road Sheetz Preliminary Plan is proposed to be a gasoline convenience store with a drive thru and a car wash with access points on both Whitehall Road and W. College Ave. Penn Terra Engineers and representatives from Aspen Whitehall Partners are present to take any questions the Commission has. Mrs. Lindsay Schoch wanted to note that this is the second time the Planning Commission is seeing this plan, the first time was in December during the Pre-Application Conference. John Sepp from Penn Terra Engineering explained that this plan is very similar to the plan the Commission saw in December. Some changes were made such as the entrance being moved down away from the intersection. John stated that Penn Terra will be submitting a residential subdivision plan for the remainder of the track tomorrow May 14, 2019. John also added that PennDot is also reviewing the traffic study as well as the Township Engineer and the Township's consulting Traffic Engineer, McCormick Taylor. Commission member Mr. Jerry Binney asked if a separate trip generation will be done for Sheetz and one for the residential area or if one was done for Sheetz and residential together. John Sepp explained that one was done for Sheetz and one for residential development.

Mrs. Lindsay Schoch explained that the land use codes being used in the traffic impact study are Single Family Detached Housing (210), Multifamily Housing Low Rise (220) for housing above the mixed used building, Shopping Center ( 820), Drive-In Bank (912), and Super Convenience Market/Gas Station (960). Mr. Jerry Binney asked if a trip generation will be made for all the entities John stated that yes a trip generation for these entities will be done as well and Lindsay followed up that one will be done for peak am and pm hours. Lindsay stated that the next time the Planning Commission sees this plan the traffic study will be approved by the Township and PennDot and signed off on by all parties. Commission member Mr. Jerry Binney asked about the spill containments, a representative from Aspen Whitehall stated that the spill containment basins are made from prefabricated fiber glass. Mrs. Lindsay Schoch added that this plan was submitted after the source water protection overlay was adopted by the Township so there are some notes and requirements that will have to be added to the plan including secondary containment and what well zone this is located in.

There was some discussion that there will be two sidewalks to nowhere. Commission member Mr. Jeremie Thompson asked that there be some consideration for the sidewalk to have connection from Lot 2 that wouldn't require a pedestrian to go to the intersection to go into the store. He also wanted to address lighting with this particular plan as he knows this has been addressed several times by residents. He said it would be nice if Sheetz could implement a plan during overnight hours where not every light will be on, possibly motion sensors, or the possibility of turning on every other light but still have enough light for the area but not so bright for residents but also conserve energy.

Chairperson Mrs. Lisa Strickland asked if CATA is reviewing this plan, Lindsay stated that CATA has reviewed and submitted comment. Lisa said that there are two CATA stops over in the area and she is pleased to see that the sidewalk will connect down to where the first stop is located. She voiced that pedestrian access needs to be a big consideration as

pedestrian traffic will increase due to the development and especially with the Whitehall Road Regional Park that will be developed in the future.

Mrs. Lisa Strickland also followed up on the lighting at the proposed Sheetz and asked if it is the same lighting 24 hours or if there is difference between night and day. Mr. Brad Brubaker from Sheetz said the lights are generally the same during the night as they are during the day. Due to the response of lighting comments they have had Brad will be bringing a real time rendering of day and night time lighting in all 4 directions to the next meeting. Lisa then asked if it would be possible to move the lighting along the Whitehall Road access to the other side of the road. Mrs. Lindsay Schoch has spoken with Township Engineer Ron Seybert about this and the lighting when the light abuts up to another property needs to be zero.

There was one resident that wanted to make a public comment. Mr. Dennis Myers and his wife Wendy live at 2210 W. Whitehall Road and other than Tom Harner they will be the closest neighbor to this project. He wanted to voice a few concerns they have about this project. He first wanted to make it known that he feels like he's six months behind on the Sheetz part of this project. Dennis' biggest concern with the Sheetz plan being the closest resident is the big red canopy. Dennis asked why the plan can't put the canopy on the W. College Ave side instead of Whitehall Road side; questions why wouldn't the pumps be on the business side of the property and not the residential side. He asked that this be taken into consideration. Dennis also has concerns about the traffic flow. By moving the entrance it is now closer to his home. Another concern for the Myers' is boundary protection for their property and the residential development. He stated there are some trees there now but they are mostly gone so they would like some type of boundary protection. He requested the consideration on putting a cul de sac at the end where his house is located to cut down on this traffic congestion. Mr. Jerry Binney asked about thru traffic in the subdivision and the possibility of posting signs and would like to discuss this at the next Planning Commission meeting.

## **VII. CONSENT AGENDA**

There were no consent agenda items.

## **VIII. PLANNING DIRECTOR REPORT**

Mr. Ray Stolinis prepared his last director report. Mrs. Lindsay Schoch was available to answer questions

- Mr. Jeremie Thompson had a question on item number four the Petition for Appeal Bond. Mrs. Lindsay Schoch stated that residential housing is requesting a bond from Circleville partners for the amount of time and costs that have been holding the Pine Hall plan up for so long. Judge Pam Ruest will make a verdict in about 30 days and it can be appealed.
- Secretary Mr. Rob Crassweller had some questions about the location of where the Hillside Farms project is. Mrs. Lindsay Schoch explained the location and that it is owned by Armen Sahakian and that the Township has met with him to discuss his options for the property. Mrs. Lindsay Schoch explained there are two Sahakian's that are discussing building in the township.
- Vice Chairperson Mr. Bill Keough had some questions on item fourteen the George Novosel Property: Mrs. Lindsay Schoch explained The Community Planner and Township Manager have met with Mac McKinzie and his realtor. They want to work

on subdividing a portion of the property off and selling the rest. Mrs. Lindsay Schoch stated she also believes they want to keep the rest of the property and somehow conserve the wooded area. Mrs. Schoch added that it is a Flag Lot, Flag Lots are a conditional use so there are a few things the Township is talking to our solicitor about. At one point Clearwater Conservancy was interested in preserving the property.

**IX. ACTIVE PLANS UPDATE**

Mrs. Mrs. Lindsay Schoch thanked the Planning Commission for their input tonight on the Sheetz Land Development Plan. She also thanked them for their participation in the Whitehall Road Regional Park joint meeting in which she felt was very productive.

The Hummel Subdivision will be requesting a few modifications such as one for Fee in Lieu and for the widening of the road to be in compliance with our Subdivision and Land Development ordinance. Also, in the rural residential zoning district the Board of Supervisors can determine whether or not sidewalks should be installed or not. It's not an actual modification but just the decision of the Board of Supervisors and in this case it would be a sidewalk that does not at the current time have a connection. This will be going on the Board's agenda for the meeting on Monday May, 20<sup>th</sup>.

The mylar for King Wealth Strategies was received for signatures.

Pine Hall: The Terms and Conditions, transportation improvements on site and off site, were discussed with the developers.

Mrs. Lindsay Schoch thanked the Planning Commission for their input on the Public Works Building.

Vice Chairperson Mr. Bill Keough wanted to make a point that another supervisor has resigned. Bill is disappointed that we have lost three elected officials in the last year and he feels it doesn't paint a good picture for Ferguson Township.

Mrs. Lisa Strickland inquired about the Sheetz variance request on sidewalks. She wanted Mrs. Lindsay Schoch to point out which ones they are referring to. Mrs. Lindsay Schoch stated that she has not yet had the opportunity to look at the variances but that there will be more information in the agenda for the Board meeting on Monday May 20<sup>th</sup>.

**X. CENTRE REGIONAL PLANNING COMMISSION REPORT**

Mr. Jeremie Thompson attended the meeting on May 2. They had presentation from Deborah Nardone the Executive Director of Clearwater Conservancy. She outlined some of the accomplishments/activities of Clearwater and some of their goals and objectives for the future. They reviewed the request by the State College Area School District to install 70 foot high luminaries on the high school track. They went over Harris Township's Planning Commission's rural rezoning proposal. The meeting also covered for a matter of record the Whitehall Road Regional Park Plan. Next meeting will be Thursday June 6<sup>th</sup> at 7:00 pm in the General Forum room at the COG offices. They will be seeing a presentation from Centre Region Parks & Rec regarding the Whitehall Regional Park and the ongoing comprehensive parks plan.

**XI. ZONING/SALDO UPDATE**

Mrs. Lindsay Schoch stated that we are on our 6<sup>th</sup> draft. Last Friday staff voiced concerns about some items like parking and net vs. gross to the consultant and she addressed the comments. Mrs. Lindsay Schoch is working toward putting a schedule together. Staff anticipate an August 5<sup>th</sup> Public Hearing and at this time staff is unsure if zoning and SALDO will be at the Public Hearing together or separate. Staff would like the Planning Commission to have ten to twelve days to review the ordinances prior to the next discussion.

Vice Chairperson Mr. Bill Keough asked when the Planning Commission's next interaction will be. Mrs. Lindsay Schoch stated that Carolyn will be getting the books to the Planning Commission on the 22<sup>nd</sup> and then we will be able to see that in our meeting on May 28<sup>th</sup> but we do have some wiggle room and may see it on June 10<sup>th</sup>. The Zoning books will be received by the end of the week on May 20<sup>th</sup>. Mr. Bill Keough asked Mrs. Lindsay Schoch if she has spoken to Carolyn regarding the Fee and Lieu issue. Mrs. Lindsay Schoch stated she did and when Carolyn is here again she will be able to cover it. Bill stated he may have a suggestion to fix it.

Mrs. Lisa Strickland said it is a good idea to separate the Zoning // SALDO in her opinion. Mrs. Lisa Strickland asked if the Commission should read the book they are to receive on the 22<sup>nd</sup> as a final draft. Mrs. Lisa Strickland asked if the Commission was to see it on the 28<sup>th</sup> when they would see it again. Mrs. Lindsay Schoch stated that we may be able to give it you the week of May 20<sup>th</sup> and that will give you the opportunity to look at it until June 10<sup>th</sup>. Mrs. Lindsay Schoch will meet with staff and see what would be most appropriate. Mrs. Lisa Strickland asked if the Planning Commission will be going through the whole thing during the meeting on May 28<sup>th</sup> or if we will be breaking up. Mrs. Lindsay Schoch stated that we would break it up and Carolyn will go over heavily questioned areas, areas we have worked on the most, and sections we aren't familiar with. Eventually once everyone is comfortable the Planning Commission will make a recommendation to the Board of Supervisors. Mrs. Lindsay Schoch stated that there is a required 45 day period the County and Public will need to review as well as Centre Regional Planning Commission and Centre Regional Planning Agency. Mrs. Lisa Strickland stated that timeline sounds ambitious and Mrs. Lindsay Schoch said this is the tentative schedule. Mrs. Lindsay Schoch stated the deadline to get the ordinances out for review/Public comment period is Friday June 21<sup>st</sup>.

**XII. PINE GROVE MILLS-SMALL AREA PLAN**

Chairperson Mrs. Lisa Strickland took the lead on this item as she attended the meeting that was held Wednesday May 8<sup>th</sup>. They started out with a discussion on two parcels of State Game Lands in Pine Grove Mills and the potential of giving those to Department of Conservation and Natural Resources (DCNR) to own and maintain. There was a lot of discussion about traffic concerns and ways to address the concern. Possible signage at the top of Pine Grove Mountain saying "Welcome to Pine Grove Mills" or "Village of Pine Grove Mills" to let people know they will be entering a residential area was a suggestion of the committee. Mrs. Lisa Strickland stated that another big part of the meeting was spent on alleyways in the village. The ownership of most is unknown and often disputed. Questions

on who's responsible for maintenance/upkeep was a large part of the discussion. Another big issue with the alleyways is accessibility. The need to lay out who is responsible for these is a necessity that needs to be addressed in the Small Area Plan. The next meeting is scheduled for June 12<sup>th</sup> and they will be talking about implementing the plan.

Vice Chairperson Mr. Bill Keough said he had a suggestion years ago that the Township facilitate a meeting and have all alleyway owners/residents attend and discuss the issues, ask for feedback, and possible resolutions/how they would resolve it. Mrs. Lisa Strickland stated that she will bring this idea up at the next small area plan meeting.

**XIII. APPROVAL OF REGUALR MEETING MINUTES: APRIL 22, 2019**

Mr. Bill Keough moved to approve minutes for April 22, 2019. Mr. Jerry Binney seconded the motion.

**XIV. ADJOURNMENT:**

Meeting was adjourned at 8:06 pm.

Respectfully Submitted,

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Rob Crassweller, Secretary  
For the Planning Commission