

ORDINANCE NO. 943

AN ORDINANCE OF THE TOWNSHIP OF FERGUSON, CENTRE COUNTY, PENNSYLVANIA, AMENDING THE CODE OF ORDINANCE AS FOLLOWS: (1) CHAPTER 27, ZONING, PART 7, MIXED USE DISTRICTS, BY ADDING SECTION 703 TERRACED STREETSCAPE DISTRICT; (2) CHAPTER 27, ZONING, PART 12, DEFINITIONS, SECTION 1202, DEFINITIONS, AS FOLLOWS: (A) BY DELETING THE EXISTING DEFINITIONS OF FAMILY, HIGHER EDUCATION, HOTEL, MAXIMUM LOT COVERAGE, MOTEL, PLAN (GENERAL MASTER) AND WORKFORCE HOUSING; AND (B) ADDING DEFINITIONS FOR AGE-RESTRICTED UNITS, BIORETENTION, BIOSWALE, CONFERENCE CENTER, COOL ROOF, DRIVE THRU, FAMILY, GREEN ROOF, HIGHER EDUCATION, HOTEL, LOT COVERAGE, LOW IMPACT DEVELOPMENT, MOTEL, PLAN (GENERAL MASTER), PUBLIC OR PRIVATE INSTITUTIONS OF HIGHER EDUCATION, RAIN GARDEN, STREET WALL, STRUCTURED PARKING, TWELVE (12') FEET LANDSCAPE BUFFER REQUIREMENTS, VERTICAL MIXED USE BUILDING, WIND ENERGY CONVERSION SYSTEM, AND WORKFORCE HOUSING; AND (3) CHAPTER 22, SUBDIVISION AND LAND DEVELOPMENT, BY ADDING PART 5A, DESIGN STANDARDS FOR DEVELOPMENT IN THE TERRACED STREETSCAPE DISTRICT.

The Board of Supervisors of the Township of Ferguson hereby ordains:

Section 1. Chapter 27, Zoning, Part 7, Mixed Use Districts, is hereby amended by adding as Section 703, Terraced Streetscape District which is fully set forth in Exhibit "A", which exhibit is hereby incorporated by reference as though set forth in full.

Section 2. Chapter 27, Zoning, Part 12, Definitions, Section 1202, Definitions, is hereby amended by deleting the definitions of Family, Higher Education, Hotel, Maximum Lot Coverage, Motel, Plan (general master) and Workforce Housing.

Section 3. Chapter 27, Zoning, Part 12, Definitions, Section 1202, Definitions, is hereby amended by adding the following definitions:

AGE-RESTRICTED UNITS-Housing that restricts ownership and residency to individuals 55 and older.

BIORETENTION-The process in which contaminants and sedimentation are removed from stormwater runoff. Stormwater is collected into the treatment area which consists of a grass buffer strip, sand bed, ponding area, organic layer or mulch layer, planting soil, and plants. Runoff passes first over or through a sand bed, which slows the runoff's velocity, distributes it evenly along the length of the ponding area, which consists of a surface organic layer and/or groundcover and the underlying planting soil. The ponding area is graded, its center depressed. Water is ponded to a depth of 15 cm (5.9 in) and gradually infiltrates the bioretention area or is evapotranspired. The bioretention area is graded to divert excess runoff away from itself. Stored water in the bioretention area planting soil exfiltrates over a period of days into the underlying soils.

BIOSWALE-A landscape element, often a planted strip along a street or parking lot, for the purpose of capturing surface water runoff and filtering out silt and pollution before the storm water enters the drainage system or groundwater.

CONFERENCE CENTER-A facility that is constructed for and devoted to accommodating meetings by providing meeting space.

COOL ROOF-A cool roof reflects and emits the sun's heat back to the sky instead of transferring it to the building below. "Coolness" is measured by two properties, solar reflectance and thermal emittance. Roofs with an SRI value greater than or equal to 78 for low-slope roofs, and 29 for steep-slope roofs, covering at least 75% of the roof area. A lower SRI is allowed if more than 75% of the roof is covered, using a weighted formula. A cool roof surface may also be installed in concert with a vegetated roof. See the U.S. Green Building Council's LEED Green Building Rating System for details.

DRIVE THRU-A facility or portion of a facility that permits goods or services to be dispensed directly to a patron in a motor vehicle by any means which eliminates the necessity for the patron to exit the motor vehicle.

FAMILY-(1) a person; (2) two or more persons, all of whom are related by blood, marriage, parentage or adoption (including foster children); living together as a single housekeeping unit. In addition to the family, two or fewer unrelated persons may reside with the housekeeping unit in the dwelling unit. For dwelling units in multifamily buildings containing three or more dwelling units *[other than those in vertical mixed use buildings in the Terraced Streetscape zone]* the number of persons permitted to occupy a unit shall be determined by the Centre Region Code Office in accordance with the provisions of the Ferguson Township Housing Code.

GREEN ROOF-A roofing system that utilizes vegetation to absorb rain water and reduce heat reflection.

HIGHER EDUCATION-Study beyond the level of secondary education.

HOTEL-A facility offering transient lodging accommodations on a daily rate to the general public where the rooms are only accessible from an interior corridor. Where additional facilities such as meeting rooms and banquet facilities are included, this use shall be considered a conference center as defined herein.

LOT COVERAGE-The portion of the lot that may be impervious. This includes, but may not be limited to, both building footprint and parking area.

LOW IMPACT DEVELOPMENT (LID)-An innovative stormwater management approach with a basic principle that is modeled after nature: manage rainfall at the source using uniformly distributed decentralized micro-scale controls. LID's goal is to mimic a site's predevelopment hydrology by using design techniques that infiltrate, filter, store, evaporate, and detain runoff close to its source. Small, cost-effective landscape features located at the lot level, known as Integrated Management Practices (IMPs), are the building blocks of LID. Almost all

components of the urban environment have the potential to serve as an IMP. This includes not only open space, but also rooftops, streetscapes, parking lots, sidewalks, and medians.

MOTEL-A facility offering transient lodging accommodations on a daily rate to the general public where the rooms are accessible from an outdoor parking.

PLAN (general master)-A depiction of a proposed Traditional Town Development or associated Mixed Residential Area, indicating the overall design and approximate layout of the various elements required by the applicable provisions of this Chapter. This plan shall serve as the basis for consideration of compliance with the design goals of the regulations prior to preparation of a specific implementation plan. *This term is also used to identify the first step in the plan approval process for any development in the Terraced Streetscape Zoning District.*

PUBLIC OR PRIVATE INSTITUTIONS OF HIGHER EDUCATION-Colleges and universities as well as professional schools in such fields as law, theology, medicine, business, music, and art where, at the end of a prescribed course of study, a degree, diploma, or certificate is awarded.

RAIN GARDEN-A planted depression that allows rainwater runoff from impervious urban areas like roofs, driveways, walkways, parking lots, and compacted lawn areas the opportunity to be absorbed.

STREET WALL-That portion of the building façade facing the arterial street at the back edge of the sidewalk.

STRUCTURED PARKING-(PARKING STRUCTURE, PARKING GARAGE, OR PARKING DECK)-Is a building (or part thereof) which is designed specifically to be for automobile parking and where there are a number of floors or levels on which parking takes place.

TWELVE (12') FEET LANDSCAPE BUFFER REQUIREMENTS-Minimum of one canopy tree or evergreen tree and fifteen shrubs per 35 linear feet of the rear lot line.

VERTICAL MIXED USE BUILDING-A building with more than one use where the separate uses occupy separate floors of the structure.

WIND ENERGY CONVERSION SYSTEM (WECS)-Any device which converts wind energy to a form of usable energy.

WORKFORCE HOUSING-Housing that is affordable for someone earning between 80% and 120% of the median household income in Centre County as determined by the latest Census data. These units shall not be segregated or clustered within a neighborhood *or structure* and, from the exterior, will provide no evidence that distinguishes them from market-rate units.

Section 4. Chapter 22, Subdivision and Land Development, is hereby amended by adding as adding Part 5A, Design Standards for Development in the Terraced Streetscape District as set forth in Exhibit "B", which exhibit is hereby incorporated by reference as though set forth in full.

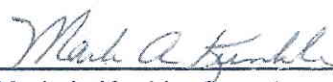
ORDAINED and ENACTED this 7th day of February, 2011.

**FERGUSON TOWNSHIP
BOARD OF SUPERVISORS**



George Pytel, Chairman

ATTEST:



Mark A. Kunkle, Secretary

EXHIBIT 'A'

SECTION 703 (TS) Terraced Streetscape District

A. Specific Intent. It is the intent of this district to encourage innovation and to promote flexibility, economy, and ingenuity in development within the TS District for the purpose of allowing for an increase in the permissible density, or intensity of a particular use, based upon the standards, criteria and incentives set forth herein and in Chapter 22. The application of design standards and any permissible increases in density or mix of uses shall be dependent on the extent to which a project is consistent with and achieves the following design objectives and goals:

1. Establishes a pedestrian-oriented district that accommodates and encourages pedestrian and other multi-modal travel alternatives by including sidewalks, greenways, and/or bike path linkages and does not promote vehicular travel
2. Promotes development that creates shared parking facilities through the use of either surface parking lots or structured parking and decreases curb cuts by encouraging a "park once" approach to servicing retail and residential development.
3. Promotes viable public transit by developing at an appropriate density with attention to transit routes and by providing transit stops or hubs within the proposed district.
4. Provides opportunities to integrate age and income groups through the provision of a wide range of housing alternatives that are suitably mixed throughout the zoning district.
5. Promotes development that, through the use of distinctive architectural elements and siting criteria, creates community character.
6. Utilizes increased building height and mixed uses to achieve a more compact development footprint and efficient pattern of development while utilizing existing infrastructure.
7. Promotes development that creates and retains a human-scaled context.
8. Encourages energy efficiency, sustainable development, and green construction.
9. Allows for small scale retail and entertainment uses that contribute to and enhance evening and weekend activity in the corridor.

B. Use regulations. A building may be erected, altered, or used and a lot may be used, or occupied, for any of the following purposes and no other:

(1) Permitted principal uses, subject to the lot sizes as set forth in Section B.(2), B.(3), and B.(4) below as well as the maximum square footage criteria as specified in Section C.(3)

(a) Conversion of an existing single family detached dwelling unit to include accommodation of a non-residential use such as art studio, gallery, handicraft or photography studio, or professional office(s);

(b) Conversion of an existing dwelling from apartment units back to a single family dwelling;

(c) Reconstruction of a single family dwelling unit that exists at the time of adoption of this ordinance and is subsequently destroyed or partially destroyed by any means to an extent of 75% or more of the market valuation of all structures and other improvements on the lot as per the provisions of Section 903.C. herein, only as long as such unit is designed to incorporate the non-residential uses identified in B(1)(a) above. All such properties shall be designed to comply with all provisions of the district when reconstructed;

(d) Playground, greenway, trail, square, commons, plaza, transit area, courtyard or public area, community gardens;

(e) Bed & breakfast with no accessory services;

(f) Farm Market (Seasonal)

(g) Retail sale, service or rental of basic convenience commercial goods and services such as, but not limited to, books, flowers, antiques, gifts, jewelry, or music;

(h) Business or professional office;

(i) Vertical mixed use building involving a combination of uses B (1)(f) through (w)

(j) Hotel;

(k) Restaurant, café, diner or coffee shop;

(l) Community theater or play house;

(m) Non-profit or civic service agency;

(n) Pharmacy with no drive-thru;

(p) Health club;

- (q) Bank or financial office with no drive-thru;
 - (r) Eating and licensed drinking establishments with no drive-thru
 - (s) Salon or spa;
 - (t) Medical/dental office;
 - (u) Structured parking when provided as part of or accessory to a proposed vertical mixed use structure;
 - (v) Multi-family dwelling units (other than University Housing) only if part of a vertical mixed use structure; no more than three unrelated individuals may reside in each dwelling unit.
 - (w) Gallery, handicraft, art, or photography studio, professional office for accountant, architect, attorney or similar profession
 - (x) Uses associated with Private or Public Institutes of Higher Education; In this zoning district, these shall be limited to the following primary uses: classrooms, research facilities and labs; administrative and faculty offices, and residence halls for graduate and undergraduate student housing only when staffed, owned and operated by the University which the students attend.
- (2) Lots up to and including .39 acres – The Permitted Principal Uses as set forth in Sections B.(1)(a)-(f) only.
- (3) Lots from .40 acres, up to and including lots of .99 acres – The Permitted Principal Uses as set forth in Sections B.(1)(a) – (u) subject to the following:
- (a) Any structure that will be located on the corner of a lot that is at least .40 acres in size and that involves an intersection with West College Avenue must address both frontages (no blank walls) and be a minimum of 55' in height. The structure shall be designed in accordance with the applicable provisions of Chapter 22. The façade of buildings on corner lots may be accentuated by towers, corner building entrances or other distinctive elements however, all structures on such lots shall be designed to architecturally enhance the corner location and all effort shall be made to ensure that such structure is a signature building within the district.
 - (b) The entire first floor of all structures located on lots that have frontage on West College Avenue must be devoted to retail or commercial uses permitted in the district.
 - (i) To allow pedestrian access to office, hotel, or residential uses located above street level, lobbies may be allowed within the required retail storefront space provided that street frontage of the lobby is limited relative to the property's overall retail frontage and that the storefront design of the lobby provides continuity to the retail character of the site and the overall street.

(c) Any vertical mixed use building not fronting on West College Avenue must dedicate a minimum of 50% of the first floor square footage of the building to non-residential uses as specified in Section B.1 (g)-(t).

(4) Lots or combined lots totaling 1 acre or larger – All Permitted Principal Uses as set forth in Sections B.(1)(a) through B.(1)(x) above subject to the same criteria as identified in Sections B.(3)(a)-(c) above.

(5) **Conditional Uses.** All of the following conditional uses shall be permitted only upon a lot, or combined lots, that total one (1) acre or larger upon approval by the Board of Supervisors:

(a) Any use not specifically permitted within the TS District that is deemed to be an acceptable use due to its consistency with the stated intent of the District, and the application of appropriate design criteria as determined by the Board of Supervisors through the conditional use approval process.

(b). Any use not specifically excluded in Section B.(6) that would be deemed to be an acceptable use within the TS District and is consistent with the stated intent of the District and the application of appropriate design criteria as determined by the Board of Supervisors through the conditional use approval process.

(c). Conference Center subject to the following criteria:

- (i) Maximum building footprint of 30,000 square feet
- (ii) All parking must be provided in an on or off-site parking structure
- (iii) The building must adhere to the design requirements in Chapter 22 and must have lot frontage on West College Avenue
- (iv) The “center” may include eating and sleeping accommodations if incorporated in a manner that is consistent with the intent of the district.

(d). Uses accessory to permitted principal uses, subject to the following criteria:

The proposed Accessory Use is associated with a use specifically permitted in the district;

- (i) The proposed Accessory Use is complementary to the specific intent of the TS Zoning District and the West College Avenue streetscape;
- (ii) Sufficient parking exists or can be established to support the proposed accessory use under the parking standards specified in this district.
- (iii) Conformance with the criteria found in Section 204

(e) Structured Parking as a Stand Alone structure subject to the following criteria:

- i. Conformance to the design requirements as stipulated in Chapter 22 as they pertain to architectural scaling elements; building materials and other design considerations that minimize the monotony of repetitive structural elements by varying the façade treatments from bay to bay, integrating planter walls, and/or incorporating landscaping along long undifferentiated expanses of wall.
- ii. Must be wrapped at ground level with retail or other activity-generating use(s) permitted in the district. Any portion of the ground floor that does not incorporate retail or service-oriented uses must provide additional landscaping to create a separation from pedestrian activity.
- iii. Minimize the dominance of the vehicular entrance and provide a human scale and pedestrian orientation along any street frontage.
- iv. Must be established through a public-private partnership with the Township and/or developer of a separate site in the district.
- v. No access to the structure is permitted from the West College Avenue corridor. Access must be provided from a cartway that parallels the corridor. Vehicles may exit onto West College Avenue however, depending on the location, may be prohibited from making a left turning movement.
- vi. Maximum height 60'. Fifteen (15') feet may be added through the use of incentives as specified in Section C. (1)(b)(v) below.

(f) Structures (other than parking structures) above 55' subject to the following criteria:

- (i) The structure does not exceed 75' in height, including all rooftop appurtenances other than solar panels or rooftop wind energy conversion systems;
- (ii) The appearance of any portion of the façade between 55' and 75' is distinguished from the façade treatment/material of the portion of the structure between 35' and 55' per the design requirements in Chapter 22,
- (iii) Any vertical mixed use structure that contains more than two floors devoted to residential units must provide full-time, on-site management.
- (iv) The application of sufficient incentives from Section C.2. below, to reach a height above the permitted 55'

- (6) **Prohibited Uses.** Only those uses specifically identified above or found to be consistent with the intent of the district are permitted in the TS District. The following represent some, but not all of the uses that are specifically prohibited in the TS District:

- (a) Convenience Stores with Fuel Pumps;
- (b) Vehicle Garages and Repair Shops;
- (c) Adult Entertainment;
- (d) Equipment Rental;
- (e) Motor Vehicle Display, Repair, and Sales;
- (f) Child Daycare/Preschool
- (g) Private and Public K-12 schools;
- (h) Private Recreation Areas, Arenas, and Stadiums
- (i) Car wash;
- (j) Motels;
- (k) Drive-thru
- (l) Surface parking lots that are not an Accessory Use to and required by a Permitted Principal Use or approved Conditional Use on the same lot.

- (7) **ALL DEVELOPMENT IN THE TS DISTRICT IS SUBJECT TO THE DESIGN STANDARDS FOUND IN CHAPTER 22.**

C. **Height, Area and Bulk Regulations.** The following regulations shall be observed for all permitted principal uses:

(1) **Maximum Height.**

- (a) Lots up to and including .39 acres and any lot that does not have lot frontage on West College Avenue (an arterial): 35'; incentives may not be applied to increase this height.
- (b) Lots of .40 acres and up with frontage on an arterial street:
 - i. By right maximum of 55'; 55' required on corner lots of this size.
 - ii. Additional height up to 75' for lots of at least one acre may be obtained through the use of incentives set forth in Section C.(2) below; use of any incentive(s) other than 2(b) retains the requirement to obtain conditional use approval.
 - iii. Maximum height of parking structures is 60', not including any underground parking levels. Additional height of up to 15' may be added specifically to this use if a minimum of 50% of the roof is planted as a green roof or roof garden, or if a wind energy conversion system, and/or solar panels are placed on the roof and provide energy for the parking structure and/or adjacent structures.
 - iv. Minimum height of all structures on lots of this size other than corner lots which are subject to (b) i above: A street wall at least two stories or thirty (30') feet in height (whichever is greater) shall be maintained for a minimum of 65% of the length of the lot frontage through placement of the principal structure or extension of its façade with an appropriate architectural element;

(2) Building Height Incentives

- (a) If a shared parking facility is provided or used to accommodate the use(s) on the lot, an additional 10 feet may be added to the permitted maximum.
- (b) If structured parking is provided to accommodate the use(s) on the lot and provides space for use by others, an additional 20' may be added to the permitted maximum without the need to obtain conditional use approval.
- (c) If 10% of the total residential units in a vertical mixed use building are established and maintained as owner occupied workforce units, an additional 20 feet may be added to the permitted maximum.
- (d) If 15% of the total residential units in a vertical mixed use building are established and maintained as "age-restricted" units, an additional 20 feet may be added to the permitted maximum.

(3) Building Occupancy. The maximum square footage per individual non-residential use is 10,000 square feet/floor. The maximum achievable through use of the incentives set forth below (a) – (d) is a maximum of 15,000 square feet/use/floor.

- (a) Incorporation of day lighting through clerestories, roof monitors, light shelves, or other technologies throughout 30% of the building allows the maximum square footage/individual use to expand 2,500 square feet/floor.
- (b) If structured parking to meet the parking requirement of the site is provided on or off site, the maximum square footage per individual use may expand by 5,000 square feet/use/floor.
- (c) Incorporation of on-site drainage retention, such as bioswales or rain gardens into the landscaping design and the use of gray water for site irrigation allows the maximum square footage/individual use to expand 2,500 square feet/floor.
- (d) Use of on-site, non-polluting, renewable technologies [solar, geothermal, wind or biomass] for self-supply energy for a minimum of 5% of the total projected energy use allows the maximum square footage/individual use to expand 2,500 square feet/floor.

(4) Yard Regulations.

Front yard.

(a) Buildings shall be located on the sidewalk line of the primary street. Sidewalks shall be 12 feet deep from the back edge of the curb on West College Avenue, and a minimum of 5 feet deep from the back edge of the curb on all side streets and cross streets off of West College Avenue. This area is subject to all sidewalk and streetscape requirements as specified in the design regulations of Chapter 22 or officially adopted Streetscape Plan for the Township. A standard 5' sidewalk shall be installed for the length of any portion of a lot that abuts an existing alley.

(b) Building frontages along streets shall break any flat, monolithic façade by including architectural elements such as bay windows, recessed entrances, or other articulation so as to provide pedestrian scale to the first floor.

(i) The building façade may recede from the street wall by as much as 18" to allow for columns or other architectural elements as parts of the street wall.

(ii) A setback, not to exceed fifteen (15') feet measured from the back of the sidewalk is permitted, provided that no less than 65% of the street wall is maintained. Recesses on the ground floor to accommodate entryways, display windows, planters, or similar features shall not be considered as setbacks provided that the directly adjacent upper stories (to a minimum of 30') have been built to the street wall.

(c) All structures on a lot must maintain a minimum of 65% of their facade along the sidewalk line and 50% of the length and 50% of the ground level wall height or 15' above finished grade, whichever is less, of any building façade facing and/or adjacent to a public street, or facing into a park, plaza or other public outdoor space shall be transparent.

(i) Darkly tinted windows and mirrored windows which block two-way visibility are prohibited as ground floor windows required under this provision. Storefront windows may not be completely obscured with display cases or signage that prevents customers and pedestrians from seeing inside.

(ii) Continuous window walls shall be avoided by providing architectural building treatments, mullions, building modulation, entry doors, and/or columns at appropriate intervals.

Side yard.

- (a) A side yard of 10' will be applicable except in the circumstances set forth below.
 - (i) In the event that the side of a building would have frontage on a cross street, this shall be considered as a front yard and will be subject to the setback and design requirements as set forth above. However, the depth of sidewalk from back of curb may be maintained at 5' along the cross street.
 - (ii) In the event that the side yard is adjacent to another lot that fronts on West College Avenue, there will be no required side yard setback and new buildings may be constructed with a zero lot line.
 - (iii) In the event that the side yard is adjacent to a structured parking facility, there will be no side yard setback required and new buildings may be constructed with a zero lot line.
 - (iv) In the event that the side yard abuts an alley which coincides with the district boundary, this side yard shall be established as a rear yard consistent with the provisions for a rear yard as indicated below.
- (b) Pavement to accommodate surface parking may not encroach within the required setbacks.

Rear yard.

- (a) On each lot there shall be a rear yard, the depth of which shall be 5 feet. However, if the rear yard is adjacent to a property with a single family residential dwelling unit, or a property outside of the TS District, a 12' landscaped buffer shall be provided at the property line and shall constitute the required setback. Surface parking may not encroach within the required setback.
 - (i) The required buffer shall be composed of one canopy tree or evergreen tree and fifteen shrubs per 35 linear feet of the lot line.
- (b) If the rear yard of a lot abuts an alley, whether in or out of the district, a 5' concrete sidewalk shall be provided along the entire length of the property adjacent to the alley. Buildings may directly abut this sidewalk. If the alley coincides with the district boundary, the 12' landscaped buffer required above shall be provided in addition to the 5' sidewalk; establishing a total 17' setback.

Building separation

- (a) All buildings built on a zero lot line shall be independent and no structural wall may be shared by buildings on adjacent lots. Buildings on the same lot may be connected by enclosed walkways or covered walks.

(5) Impervious Lot Coverage.

- (a) Lots up to and including .39 acres. – Fifty percent (50%), up to a maximum of sixty percent (60%) permitted for each lot by way of the incentives set forth at Section (6) below.

- (b) Lots from .40 acres up to and including lots of .99 acres. – Sixty percent (60%), up to a maximum of seventy-five percent (75%) for each lot by way of the incentives set forth at Section (6) below.

- (c) Lots 1 acre or larger. – Seventy-five percent (75%), up to a maximum of ninety-five percent (95%) for each lot by way of the incentives set forth at Section (6) below.

(6) Impervious Coverage Incentives. In no event shall the maximum total impervious coverage, with any of the incentives provided for within this Section, exceed 95% of the site as measured within all existing or proposed lot lines:

- (a) If a green roof or roof garden(s) covering a minimum of 60% of the roof is provided on the structure(s) on the lot, an additional 10% coverage is permitted;
- (b) If an approved pervious parking surface is provided for a least 50% of the required on-site parking, an additional 10% coverage is permitted;
- (c) If the proposal is for vertical expansion of an existing use, an additional 10% coverage is permitted;
- (d) If the proposal is to add upper floor office or residential units to create a mixed use structure out of an existing single use building, an additional 10% coverage is permitted.
- (e) If the entire roof is a cool roof that reduces cooling loads, an additional 5% coverage is permitted
- (f) If the proposal is to undo a previous conversion of a single family dwelling from apartments back into a single family dwelling an additional 10% coverage is permitted.

(7) **Parking Requirements.** The regulations set forth herein are intended to apply within the TS District and may differ from the provisions of Section 809.

- (a) The required parking may be met through the use of on-site, off-site, and remote or structured parking, or any combination thereof
- (b) When an on-site surface parking area is proposed, it shall be located underneath or to the side or rear of the structure(s) it is intended to serve and shall have vehicular access from the side or rear of the lot. On-site parking in the front yard is specifically prohibited.
- (c) When surface parking is located to the side of a structure, it must be set back from the sidewalk edges a minimum of ten feet. This additional setback shall be used to accommodate screening composed of a low architectural wall, masonry piers, fencing, or a combination thereof, and a continuous four foot (4') high (at time of planting) shrub hedge that screens the parking and defines the sidewalk edge. Additional deciduous and evergreen trees may be used to supplement the required plantings.
- (d) Surface parking located to the side of a structure may not extend to a side street. The corner lots are subject to the Use and Yard requirements as stipulated above.
- (e) The maximum number of permitted spaces in an on-site surface parking lot is thirty. However, if acceptable pervious paving is used for the entire parking area, this number may be increased to forty-five.
- (f) Parking areas shall be designed so as to optimize the potential to serve more than one building or more than one use on a site or adjoining sites as long as the location and design remain consistent with the other criteria of this section
- (g) To be counted toward the minimum number of required spaces, off-site parking must be located within two blocks or ¼ mile of the main entrance to the use that requires the spaces. If the off-site spaces are not in a publicly owned and operated parking structure, documentation of the reservation of such spaces for each use must be provided in the form of a shared parking agreement.
- (h) Residential parking within the TS District shall be provided at the rate of 1.0 space for each studio or one bedroom unit and 1.5 spaces for each unit that is two bedrooms or larger, subject to the following criteria:
 - (i) To utilize this parking standard, all surface parking on the site shall be priced separately from the cost of the unit. Such fee structure would not be applicable to the use of driveways, attached garages, or underground and understructure parking spaces on site but would be applicable to the use of off-site parking spaces in a structured parking facility; and
 - (ii) The use of incentives cannot reduce this required parking ratio.

- (i) Parking for non-residential uses within the TS District shall be provided at the rate of 1/500 square feet, subject to the following criteria:
 - (i) Where shared parking can be arranged, the amount of required parking shall be dictated in accordance with the provisions of the ULI Shared Parking Handbook, Second Edition (2005);
 - (ii) Where either on or off-site shared parking is utilized, an agreement establishing the rights to use of the spaces shall be prepared, submitted and upon approval by the Township, recorded;
 - (iii) Additional reductions may be considered through the use of incentives as listed elsewhere in this Section.
 - (j) Every non-residential use with a floor area of 10,000 square feet or more must provide a loading/unloading area. Curbside deliveries are permitted so long as they do not block travel lanes.
 - (k) All uses shall provide bicycle parking accommodations on site.
 - (l) All egress from a parking area shall be designed so that motor vehicles leaving the parking area will enter the public street traveling in a forward direction.
 - (m) All surface parking lots must be suitably landscaped to minimize noise, glare, and other nuisance characteristics as well as enhance the environment and ecology of the site and surrounding area. At a minimum, all surface parking areas shall be landscaped in accordance with the provisions of Section 807.16.B-C and shall demonstrate that a minimum of 5% of the internal surface parking area has been devoted to landscaping area.
 - (n) Surface parking space dimensions shall be in accordance with the provisions of Section 809.
- (8) **Parking Incentives.** The parking requirements for non-residential development, or non-residential uses within vertical mixed use structures as set forth herein, may be reduced by use of the following:
- (a) Provide additional landscaping and/or open space that is twenty percent (20%) greater than that required by the Township Ordinance. Reduce total required parking spaces by 10%;
 - (b) Provide and maintain at least ten (10%) percent of the housing units as age-restricted units. Reduce total required parking spaces by 15%;
 - (c) Provide and maintain at least ten (10%) percent of the housing units as owner occupied workforce housing units. Reduce total required parking spaces by 15%;

- (9) **THE INCENTIVES IDENTIFIED IN THE ABOVE SECTION C. MAY BE MIXED OR MATCHED, BUT NO INCENTIVE MAY BE USED TO OBTAIN MULTIPLE BONUSES.**

For example: A green roof may count towards additional impervious on a lot, or an extra story of structured parking, but NOT BOTH.

- D. **PLAN PROCESSING AND PROCEDURE.** The following general requirements shall apply to any proposal for development within the TS District:

- (1) **Eligibility.** The site proposed for development shall be under single ownership and shall be developed according to a single master plan that depicts full build-out of the site with common authority and responsibility.

(a) The site shall be served by both public sewer and public water and notice of capacity and intent to serve shall be provided prior to approval of any final plan.

(b) Any subdivision or land development proposal within the TS District that involves multiple phases of development, shall follow the procedures outlined below, including each of the following steps:

- (i) Initial conference;
- (ii) General Master Plan; and
- (iii) Final Plan.

- E. **Initial Conference:** An initial conference shall be scheduled to discuss the proposed development. The conference shall include appropriate representative(s) of the developer and the Township. The goal of the conference is to review the development proposal and to establish its consistency with the intent and purpose of the TS District as established by this Section and associated Design Manual. The applicant may submit any information they deem necessary to substantiate conformance with the objectives of the TS District. This step shall be required regardless of whether the development will be phased.

- F. **General Master Plan.** A Master Plan shall be required whenever a development is proposed to be phased, or where the developer wishes to obtain a preliminary level of approval prior to preparation of a final plan. Where such circumstances do not exist, the project may be submitted as a Final Plan. Review of the General Master Plan shall proceed as outlined in the Subdivision and Land Development Ordinance, Chapter 22 Section 303, C-E, including review by the Township Planning Commission, review by the Centre County Planning Commission or its designee, and review by the Board of Supervisors.

(a) The General Master Plan shall cover the entire tract, regardless of any intended phasing of the proposed development. The plan shall show the size and location of all access locations, parking facilities, public space, and service areas. Accompanying the Master Plan shall be rendered architectural elevation and perspective drawings providing a clear representation of the relationship of the proposed development to the site and its visual impact on adjacent properties and a narrative clarifying and illustrating the significance of the applicant's proposed design. In addition, the plan submission must include:

(i) A completed application for subdivision or land development approval and payment of all application and escrow fees.

(ii) Written notice of acceptance of the design proposal by staff as a result of the required initial conference.

(iii) Five black or blue on white prints of the General Master Plan and ten reduced 11x17 copies of all plan sheets prepared in conformance with all provisions of this part and the associated design guidelines.

(iv) Such plans shall be drawn at a legible scale and shall include a key map showing the location of the site in relation to adjacent properties and the larger neighborhood, adjacent zoning, and road system connections identifying existing and proposed roads within 500'.

(v) All dimensions of the site shall be in feet and decimals; bearings shall be in degrees, minutes, and seconds. Lot line descriptions shall read in a clockwise direction. The survey of the site shall not have an error of closure greater than 1" in 10,000'.

(vi) This plan shall be legible in every detail and shall identify the proposed project name, the name and address of the owner of the tract, the developer/subdivider and the firm that prepared the plan, as well as the plan date and the date of all plan revisions.

(vii) The plan shall show the existing tract boundary with bearings and distances and identify the total acreage of the entire existing tract, the zoning district, lot size, and/or density requirements of the applicable zoning regulations, and the location of existing lot line markers along the perimeter of the entire existing tract as well as the general location of all existing man made features including any historic structures, utilities, adjacent land uses, adjacent roadways, and other existing public infrastructure such as sewer and water mains, fire hydrants and storm water management facilities.

(viii) The presence of existing natural features including but not limited to soil types, unique vegetation, tree masses, closed depressions, sinkholes, watercourses, floodplains, steep slopes, archaeological sites, burial sites, wetlands, solid waste disposal areas and topography of the site shall be identified on the plan and any necessary approvals for encroachment in these areas shall be obtained.

(ix) The proposed general lot layout shall be shown on the plan including the location of the various types of land uses and approximate location of lot lines; building setback measurements; the approximate location, use, height, and bulk of buildings; the proposed units of occupancy and resultant density calculation; the approximate location and size of park space or public plazas; the approximate floor space and general configuration of all non-residential uses and the provisions for access and parking.

(x) The general layout of any proposed streets, alleys, and sidewalks, including cartway and right-of-way widths shall be identified by the plan. A typical street cross-section and street centerline profile shall be provided for any proposed street or alleyway.

G. **Final Plan.** Review and approval of the Final plan shall proceed as outlined in the Subdivision and Land Development Ordinance, Chapter 22 Section 304, 1-7, including review by the Township Planning Commission, review by the Centre County Planning Commission or its designee, and review by the Board of Supervisors. Rendered architectural elevation and perspective drawings providing a clear representation of the relationship of the proposed development to the site and its visual impact on adjacent properties and a narrative clarifying and illustrating the significance of the applicant's proposed design must also be submitted with the final plan. Written notice of acceptance of the design proposal by staff as a result of the required initial conference will also be required. For projects that are not phased, this step will follow the initial conference.

H. In addition to addressing all of the requirements of Chapter 22, Sections 401-403, the Final Plan submission shall address the following criteria. In the event of a conflict between these standards and criteria and those contained in Chapter 22, the standards and criteria set forth in this Section H. shall control.

(a) TS District Development Plans shall address all design requirements set forth in the Township's Subdivision and Land Development Ordinance. This shall include but not be limited to information on the following, whether or not specific requirements are established in Chapter 22:

- (i) Exterior building materials;
- (ii) Special building features and design elements;
- (iii) Signage and graphics;

- (iv) Lighting;
- (v) Open space areas, including commons, plazas and pedestrian spaces;
- (vi) Circulation systems for vehicles and pedestrians, including linkages with adjoining properties and transit stops as well as between parking areas and building entrance(s);
- (vii) Landscape and hardscape design, including paving materials and plant materials to be used for buffering, screening, in parking areas and detention basins and any building related planting; and
- (viii) Refuse facilities providing the appropriate containers in accordance with the standards of the Centre Region Refuse and Recycling Program

- I. **Stormwater Management Plan.** The control of erosion and sediment during construction is subject to approvals of Centre County Conservation District, and the ongoing management of stormwater on the tract, shall be accomplished in accordance with Chapter 26 provided that the proposed plan for the control of erosion and sedimentation may be submitted as a component of the final land development plan for the associated phase or stage of construction. Efforts must be made to improve the current systems on the site and to ensure no harm or damage is caused to the existing storm system and adjoining properties.

(a) The final plan shall reflect and be accompanied by supporting documentation identifying the ownership and method of administering and maintaining all permanent stormwater management facilities in accordance with the provisions of Chapter 26, Sections 703 and 704.

(b) The agreement, declaration of easement(s) or other legally binding documentation shall be submitted to the Township for review. Upon review, the Township may require the agreement to contain provisions for requiring the posting and/or periodic payment of escrow funds by the private entity to guarantee proper maintenance of the facilities.

EXHIBIT 'B'

Part 5A

Design Standards for Development in the Terraced Streetscape District

Section 501.A Intent. The standards included in this Part are intended to establish guidelines for development activity in the area designated as the Terraced Streetscape Zoning District on the Township's Official Zoning Map. The district generally extends from the Township boundary on the east to Blue Course Drive on the west and from West Campus Drive on the north to Beaver Avenue on the south.

These guidelines are intended to aid the Township and property owners in making sensitive and appropriate decisions with regard to the built environment and quality of space within the district. Adherence to these design standards will ensure that development within the district is attractive and harmonious. It will also promote vitality and a pedestrian focused area that is distinguishable in character from the surrounding area.

Section 502.A Purpose. Design guidelines provide a common basis for making decisions about design elements that affect individual properties as well as the overall character of the district. The guidelines are not intended to dictate solutions but rather provide general information to guide the Township and property owners in making decisions by providing appropriate choices for a variety of specific design issues. The guidelines are intended to inform the community and property owners of the policies and standards expected by the Township within the established district and to ensure quality development that enhances the character of the district.

The provisions of this Part also identify several design approaches that will enhance both the appearance and potential value of existing properties within the district and help to ensure that the desired character is established uniformly.

This Part will serve as a guide to the Township but will not necessarily dictate the final outcome. Each project has unique circumstances that will be considered and result in the Township applying the standards on a project by project basis; ensuring that the character of individual structures observes the fundamental standards of quality anticipated within the District.

Section 503.A Statutory Authority. Pursuant to Section 708-A of the Pennsylvania Municipalities Planning Code, the written and graphic design guidelines included herein are established to assist applicants in the preparation of land development plans for projects within the Terraced Streetscape Zoning District. The design guidelines take effect only when a project is initiated by a property owner or tenant to alter an existing structure or to construct a new one. The guidelines do not require existing properties to initiate changes nor is there any deadline that forces existing properties into compliance or otherwise alters the non-conforming rights established in Chapter 27, Section 903.

Property owners, tenants, developers and architects are encouraged to use these guidelines as a starting point for all projects within the Terraced Streetscape District. These standards will assist them by providing a basic framework for planning of a project and serve as a reference as well as regulatory

manual. The Township will apply these provisions in the review and approval of development proposals and in the issuance of permits as a measure of the observance of the goals and intent of the district.

Section 504.A Goals The goal of the application of the design standards set forth herein is to shape and protect the character and appeal of the Terraced Streetscape District within the Township. These provisions are designed to ensure that all proposed new construction and renovation or expansion activity is consistent with the standards of quality as well as respect for the built environment within the district as it relates to appearance, scale and density.

Specific goals include:

- a) To promote and improve the perception of the district
- b) To protect the desired appearance of the district
- c) To promote a sense of identity and place
- d) To prioritize and encourage pedestrian activity
- e) To convey a sense of human/pedestrian scale in common areas, streetscaped areas and public outdoor spaces.
- f) To ensure development practices within the district meet the expected standards
- g) To attract a dynamic and diverse concentration of uses and to foster economic interaction among the mix of uses in the district.

Section 505.A Context. Development projects within an urban or suburban setting are part of a larger context that requires that architects, developers, and approval authorities make decisions within the parameters of an established and diverse physical setting. Each project within the Terraced Streetscape District will ultimately become part of the larger neighborhood fabric. Buildings within the district should therefore be planned with the utmost consideration for adjacent structures and properties while exhibiting compliance with the principal goals of the District and thoughtfulness for the overall quality of place.

Section 506.A Design Principles. Successful urban environments accommodate and foster multiple uses and activities while simultaneously addressing human scale and safety. These environments result from the cumulative effect of well designed individual sites that are mindful of their context. Enjoyable and pleasant streetscapes, as well as walkable destinations combine to give a neighborhood its recognizable character. To accomplish this, proper zoning and architectural standards need to be applied.

Basic principles of project planning and site design within the Terraced Streetscape District include:

- a) Promote a diversity of uses/occupancies
- b) Create functional pedestrian and public transit linkages
- c) Foster a distinctive identity that prioritizes high quality design and development
- d) Introduce landscaping and green space as much as is practical
- e) Foster intensity of development and compactness
- f) Ensure the perception of safety by way of proper lighting/sightline strategies

Section 507.A Synergy. The District is designed to encourage as much density and mix of occupancies as is practical. It is the synergy of diverse and complimentary uses that make a mixed-use neighborhood experientially rich and attractive. In such mixed use settings, the issues of identity, territoriality and privacy need to be addressed as do connectivity to public common areas, gathering spaces, public

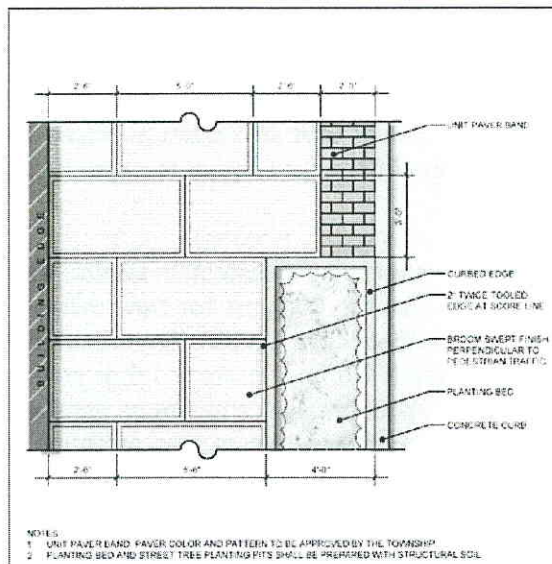
transit, and retail and service operations. Awareness of these issues and a balanced approach to the definition of space and the associated access is required.

Single development projects that integrate both commercial and residential components shall locate the commercial uses on the ground floor level, so as to encourage direct interface with pedestrians. Office functions may occupy upper stories above the first floor. Residential uses in a vertical mixed use structure however, may only occupy upper floors above the ground floor, and above any commercial uses.

Section 508.A Density. The issue of proper density and compactness can be measured in several ways. Standards of density derived from national guidelines established by the Congress for New Urbanism will be used as a basis for proposed projects in the Terraced Streetscape District. Non residential development should achieve a density whereby the floor area ratio (FAR) for the site is 1.0 or greater. Any residential development within a vertical mixed use structure should achieve a minimum density of ten units/acre or higher. These recommended densities, when enhanced by proper attention to articulation and detail and integrated with the planned streetscape design, will lend themselves to a more urban and vibrant neighborhood along the West College Avenue corridor.

Section 509.A Streetscape Design Standards. The West College Avenue Corridor is intended to be the center and focal point of the District. The corridor is conducive to density and mixed-use development and is intended to be accompanied by streetscape treatment that is pedestrian friendly and consistent with the following design requirements or any officially adopted Streetscape Plan:

1. Sidewalks shall be a minimum of twelve feet (12') in depth from back of curb to building face along West College Avenue.
 - a. Sidewalks shall be scored in patterns that modulate the scale of the sidewalk and may include a variety of dimensional sizes including square, rectangular or diagonal patterns at the applicant's discretion and in keeping with the intent of the design standards.
 - b. All score lines shall utilize a twice tooled troweled edge on all pattern joints including construction and expansion joints. In the case of stamped or colored concrete, this requirement may be modified at the discretion of the Board of Supervisors.
 - c. All curbs, sidewalks, handicapped ramps and crosswalks shall be designed and constructed in accordance with the latest official version of the Americans with Disabilities Act.
 - d. All proposed sidewalks, curbs, crosswalks shall be designed and constructed in accordance with the provisions and specifications established by the Township and specified herein or in an officially adopted Streetscape Plan.
2. A two foot (2') wide minimum paver accent band shall be installed along the back of the curb line along all sidewalks on West College Avenue. The pavers shall be standard 4" x 8" brick size, red color. Pavers may be traditional clay brick or pressed concrete. Color and pattern of the paver field may include various size pavers and colors at the discretion of the applicant, subject to approval by the Board of Supervisors.
 - a. Decorative brick, concrete pavers or pavement treatments shall be considered as an integrated feature to properties on gateway corners in the Township, the main entrance of buildings, public plazas, pedestrian access areas and public roads as noted.
 - b. Street signs, regulatory signs, wayfinding signs, utility poles, street lighting, utility appurtenances and traffic signal poles are to be placed within the paver accent band unless otherwise required by ordinance or upon review by the Township Engineer.

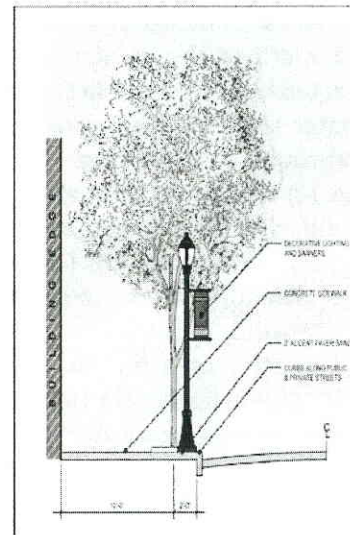


3. Four foot (4') wide by twenty foot (20') long minimum, planter beds shall be incorporated parallel to the curb line adjacent to West College Avenue. Measurement shall be from outside edge to outside edge of planting area.
 - a. Planters shall be spaced a minimum of forty feet (40') on center for the width of the proposed lot or length of the unit block where the site is located. The spacing and location may be adjusted dependent on site conditions, clear sight triangles and at the discretion of the Township Engineer and Board of Supervisors.
 - b. Planters may intersect the two foot side accent paver bands as noted above.



- c. Planters shall be curbed with brick or pavers to match adjacent paver accent band or other materials consistent with the architecture of the proposed project. In no case shall the width and height of the raised curb exceed six inches (6") in either direction. Planter edge may include a decorative metal fencing garden edge to accent and highlight the planting area. The fencing may be part of the raised curb or independent thereof. In no case shall the fencing exceed twenty four inches (24") in height.

- d. Planters shall be backfilled with CU-Structural Soil® or approved equal for the full length and width of the planter to a depth of three feet (3') where feasible or otherwise directed by the Township Engineer.
 - e. Planter areas shall be planted with a perennial, semi or evergreen ground cover as a year-round base planting. Planters shall also incorporate seasonal plantings to provide four (4) season visual interest. The applicant shall provide a list of proposed seasonal plantings to be provided and maintained by the property owner and or tenant. These may include but are not limited to tulips, impatiens, petunias, mums and ornamental kale. The use of ornamental grasses, perennials, and ornamental shrubs is also encouraged.
 - f. The planting plan for the accent planting beds shall be prepared and sealed by a Pennsylvania Registered Landscape Architect.
 - g. Where feasible, applicants are encouraged to utilize and incorporate planter areas into the project's overall storm water management strategy as bio retention/water quality filter areas. The use of planter areas as a stormwater best management practice (BMP) will be subject to review and approval by the Township Engineer and must be consistent with the Township's overall stormwater management plan and objectives for improving water quality and reducing runoff volumes.
4. Pedestrian scale, period style lighting standards shall be used along the West College Avenue street edge, immediately adjacent to the proposed project site. The horizontal spacing of the light fixtures shall be consistent with meeting required light levels established by Township ordinance.
- a. Street lights shall not exceed fourteen feet (14') in height.
 - b. Street lights shall utilize decorative, fluted or tapered poles with decorative base covers to match the style of pole.
 - c. Poles shall be cast iron, steel or aluminum, painted black
 - d. Poles shall be located within the proposed paver accent band
 - e. Street light lamps shall incorporate night sky friendly, energy efficient, full cut-off optics. The use of LED technology is encouraged.
 - f. Poles along West College Avenue shall incorporate banner brackets for upper and lower banner arms, to hang one (1) banner, perpendicular to the street edge.
 - g. Poles along West College Avenue shall include provisions for two (2) planter arms, one on each side of the pole, parallel to the street edge.
 - h. Poles along West College Avenue shall include provisions for one exterior rated duplex electrical outlet located immediately below the point of attachment between luminaire and pole.



5. A minimum of one (1) street tree shall be planted in the center of each four foot by twenty foot (4'X20') accent planting bed as required above. The selected species of tree shall be as permitted by this ordinance unless otherwise approved by the Township Engineer or Board of Supervisors.
- Where accent planter beds exceed forty feet (40') in length, a minimum of two (2) trees, spaced thirty feet (30') on center shall be planted. Each tree shall be located five feet (5') inward from the inside edge of the planting bed end.
 - The planting plan for the street trees shall be prepared and sealed by a Pennsylvania Registered Landscape Architect.
 - While the full list of street tree species found elsewhere in this chapter is available to the applicant, the following list of species is recommended for use in this planting environment:

Trees

Acer campestre
 Acer rubrum
 Carpinus betulus
 Crateagus varieties
 Fraxinus pensylvanica
 Gelditsia triacanthos inermis
 Liriodendron tuliperfera
 Magnolia soulangiana
 Platanus x acerfolia
 Pinus nigra
 Pinus strobes
 Pyrus calleryana "Aristocraft" or Chanticleer
 Quercus palustris
 Quercus rubra
 Tilia cordata
 Tilia tomentosa
 Zelkova serrata

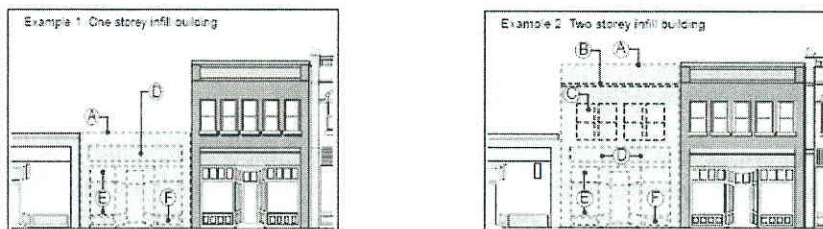
Shrubs

Aronia arbutifolia
 Buddleia davidii
 Clethra alnifolia
 Cotoneaster var.
 Forsythia x intermedia
 Hamamelis virginiana
 Hibiscus syriacus
 Hydrangea var.
 Hypericum var.
 Ilex crenata
 Ilex glabra
 Itea virginica
 Juniperus var.
 Juniperus var.
 Mahonia aquifolium
 Potentilla var.
 Rosa var.
 Spirea x vanhouttei
 Viburnum var
 Weigela floribunda

6. Each project with frontage on West College Avenue shall include the provision of site furnishings consistent with the intended creation of an inviting, safe and enjoyable pedestrian experience. These furnishings may include benches, trash and recycling receptacles, bike racks, bus shelters, and individual free standing planters.
- Site furnishings shall be constructed of non-biodegradable, vandal resistant materials such as cast iron, steel, aluminum, or recycled plastic components.
 - Site furnishings shall be period style consistent with the overall character of the area or any officially adopted Streetscape Plan.
 - Site furnishings shall be from a coordinated family of furnishings by the same manufacturer unless otherwise approved by the Township
 - Benches shall be a minimum of six feet (6') in length and shall incorporate a center armrest.
 - Trash receptacles shall be a minimum of thirty two (32) gallon capacity and shall utilize the smallest possible semi-covered top opening to prevent the deposition of large trash bags or household debris.
 - Recycling receptacles shall be provided and incorporated consistent with Centre Region Refuse and Recycling requirements.
 - Benches and receptacles shall be grouped together along the street edge but not within the required accent paver band. Where feasible these groupings may occur between accent planting beds when two or more beds are included along the frontage of a project.
 - Bus shelters may be incorporated subject to the review and approval of CATA. The style of shelter shall be consistent with the overall site furnishings palette.

Section 509. B Streets perpendicular to the West College Avenue Corridor will also provide for a variety of uses but at a slightly reduced scale. The sidewalks and streetscape treatment along these streets will be correspondingly reduced in scale, with fixtures and landscape features more conducive to a side street location.

Section 510.A Building Design & Façade Considerations Issues of character, aesthetic contribution, scale , proportion and material quality shall all be evenly considered along with the traditional measures of zoning and code compliance when evaluating building design. To minimize subjectivity in the consideration of these elements, the following guidelines shall be considered.

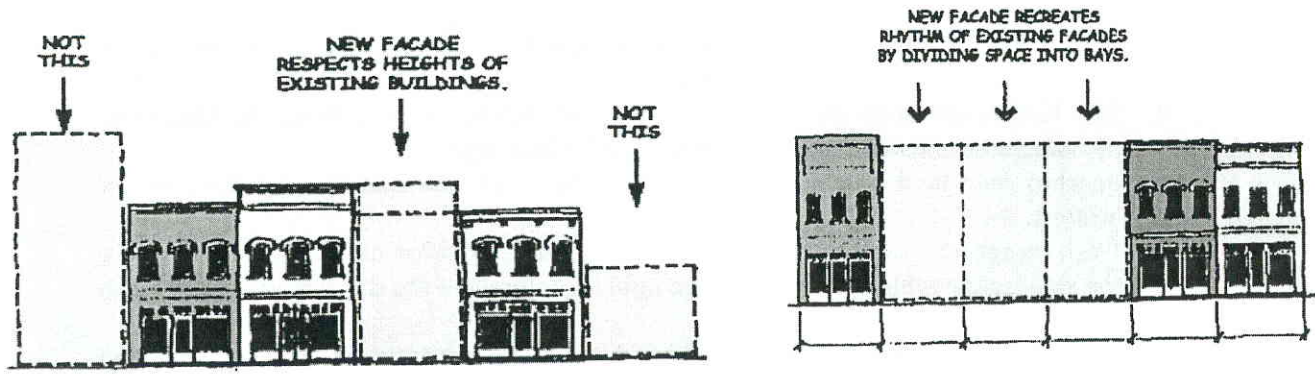


New Infill Building

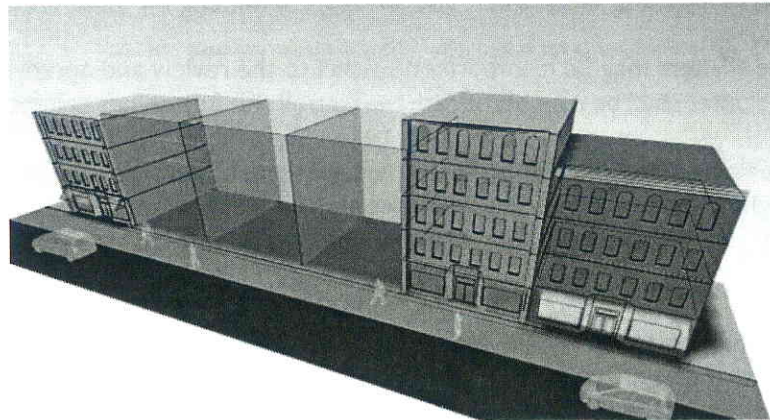
- | | |
|-------------------|----------------------|
| A Roof line | D Signband |
| B Façade ornament | E Storefront windows |
| C Upper windows | F Bulkhead panels |

Section 511. A Building Massing and Composition Consideration toward scale and the transition of building height from one site to the next must be taken into account. While abrupt changes in scale

between two adjacent properties are generally discouraged, articulation of the building to address relevant issues of scale combined with appropriate setbacks and landscaping can help soften these transitions. Graduated massing of building heights is preferred and should be accomplished in accordance with the provisions of the district as specified herein as well as in Chapter 27.



Larger infill development that respects massing and articulation becomes a harmonious part of the block.



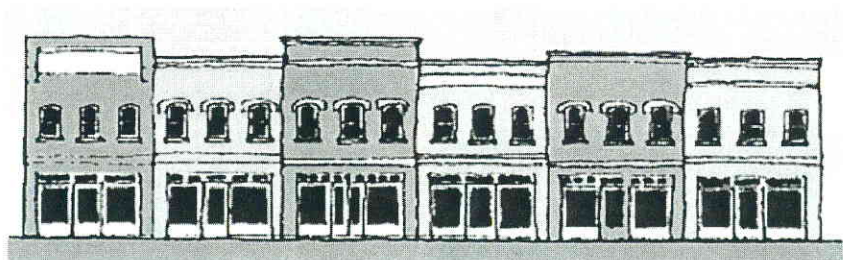
1. Structures on West College Avenue are to be located on or near the street line as to engender a physical presence on the main thoroughfare and support a more pedestrian-centered focus. Parking areas in front of buildings are prohibited as are any other features that detract from pedestrian access to the front of the building. Building entrances shall be designed in such a manner as to be immediately recognizable, accessible and safe.
 - a. It is the intent of the district to create the greatest practical commercial density along the West College Avenue corridor. Commercial occupancies perform best when they are visible and easily accessible. Storefronts are to be designed to be as open and transparent as practical in accordance with the district regulations.

Section 512.A Articulation of Facades Development projects within the Terraced Streetscape district shall be mindful of the fact that well articulated building facades provide visual interest and enhance the experience of the neighborhood. Whereas large unarticulated building masses can negate any sense of human scale within the block, large buildings that are sensible in their composition and reverent to the scale of pedestrians are generally more successful and appealing.

1. New buildings in the district shall observe some of the basic parameters of scale and proportion (see examples below). It is the intent of these regulations to ensure that no single building appear too diminutive as to defy the basic tenets of the district which requires that landowners maximize the volume and development potential of their site.
 - a. Single-story building facades are required to convey a greater sense of height consistent with the scale of adjacent or surrounding multi-story structures through use of a parapet. All structures fronting on West College Avenue shall conform to the building height regulations of the district.
 - b. All structures shall convey the greatest practical density and vibrancy by way of articulating multiple occupancy/tenancy through appropriate ground floor storefront design. This will enhance the pedestrian experience as well as improve the massing of larger commercial structures.

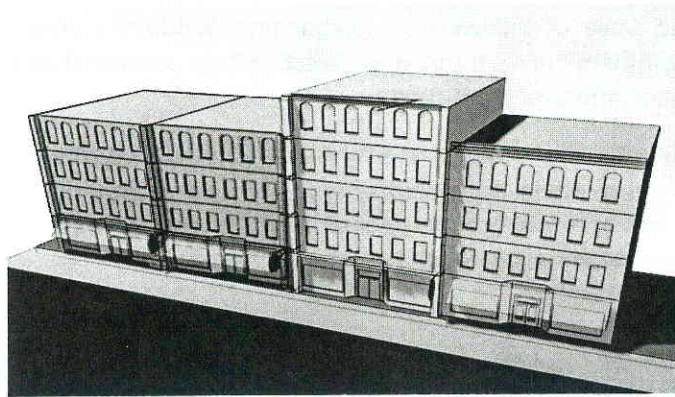


2. Streetscapes and building façade design in the district are required to execute the rhythm created by many individual facades and storefronts that relate to the scale of the pedestrian. A building's massing shall contribute positively to a pedestrian-friendly public realm. Long, unbroken walls are overwhelming and must be divided into rhythmic blocks bringing the design of the façade closer to a human scale.

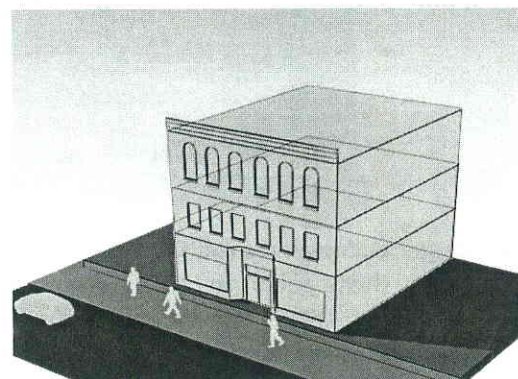
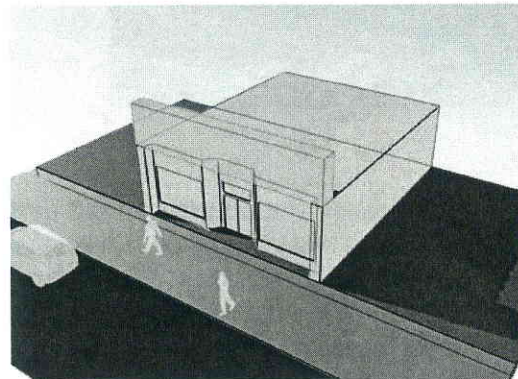


3. Larger buildings are required to subdivide the appearance of their facades and storefronts, as to make them seem to be smaller, individual buildings. Articulation by means of material difference, color difference, and vertical/horizontal variation in alignment, recesses or projections are required to accomplish the appearance of individual facades.

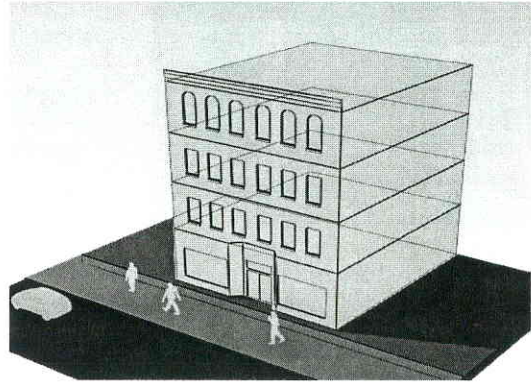
- a. The upper floors of multi-story buildings are required to provide a differentiation of color or material to break up the façade massing of the building exterior.
- b. Storefronts and façade treatment at ground level must be differentiated every 40' or less, to provide proper articulation at street level.



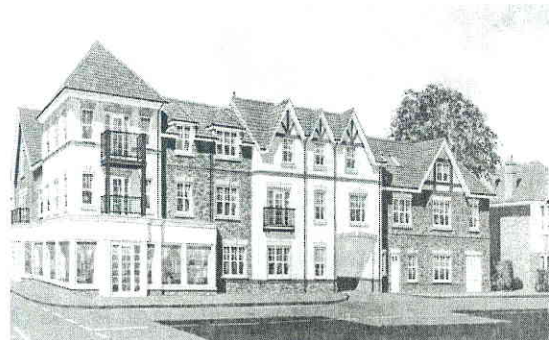
4. The ground floor of any multi-story building is required to be articulated from the stories above it. The appearance of a specialized and welcoming storefront, building entrance or any other pedestrian appropriate treatment is required to enhance the pedestrian street life generated in the district.



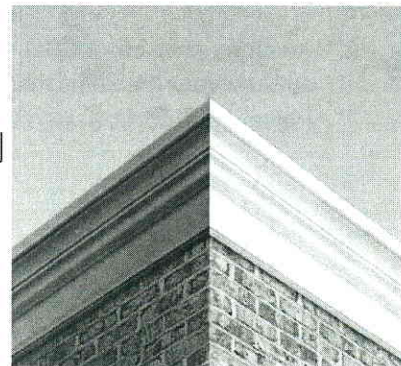
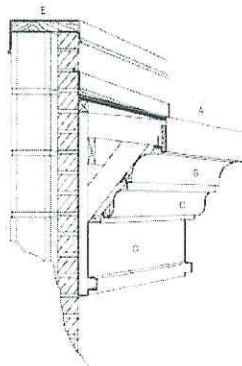
5. Where buildings of 55' or higher are proposed, in addition to articulating their ground floor, articulation of their upper most floor(s) must occur as well.



6. Façade treatment of multi-story buildings should also include appropriate consideration in the design of the top of the building. Roof lines for pitched roof structures should be articulated to subdivide the mass and appearance of the roof area toward the predominant façade. Strategies include the introduction of dormers, roofed vents, chimney stacks, or variation in finished rooflines.



7. Façade treatment for flat roofed buildings shall include parapets, built-up cornices or both, as appropriate to the architectural style of the proposed building. Building tops shall be visually interesting, and compliment the character of the building, as well as contributing positively to the character of the district.

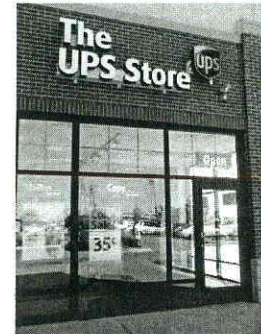




8. Multi-story buildings, due to their size and presence, are encouraged to be creative in their use of massing, articulation and design. Developers of multi-story buildings shall consider their appearance from multiple vantage points.

Section 513.A Storefront Design Commercial occupancies at ground floor level, especially spaces intended for retail or restaurant uses, are required to incorporate standards for successful storefront design. Good storefront design integrates means of maximizing transparency and openness with durability and energy efficiency,

- a. Storefronts need to be differentiated (every 40' max) from one another to create an attractive and visual interest for pedestrians. The surface area of storefronts in the district is required to be 50% (min) transparent (glass), to optimize public viewing. This will enhance the pedestrian experience.
- b. Storefronts shall be constructed with durable finishes consistent with the expected high traffic/pedestrian environment. Consideration must also be given to lighting strategies so that both the storefront and the interior space behind it are well lit, and easily seen.
- c. Avoid excessive visual clutter especially that produced by too much interior signage.
- d. Outdoor signage shall fit the character and proportion of the building and enhance the architecture. Signage shall be clearly visible without dominating the building façade or obscuring architectural details.
- e. Benches and other moveable objects such as bike racks or trash containers shall be coordinated with the building entrance so as not to obstruct sidewalk traffic or diminish the appearance of the façade.
- f. Awnings may be utilized to add interest and aesthetic quality to the building and the streetscape. Awnings and canopies must be compatible with the building and windows in scale, proportion and color.



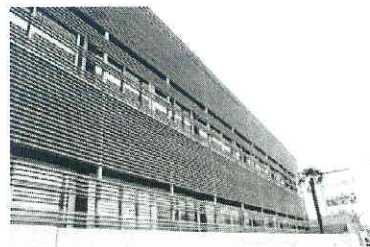
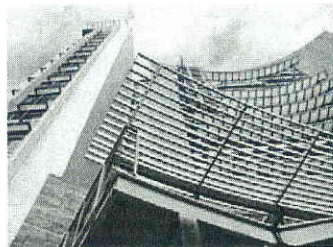
Section 514.A Corner Building Sites Corner buildings serve as landmarks within the district and, as a result, special consideration must be given to their design so that they address the intersection as well as complimenting other, adjacent buildings in the district.

- a. Proposed corner buildings need to address the intersection they front through the inclusion of accentuating features such as towers, turrets, chamfers, canopies or recessed areaways to highlight their corner-most facades.
 - i. Building corners can be accentuated in a variety of ways. Employing novel geometrics while utilizing the same color palette is a subtle approach while the introduction of more elaborate elements and accent materials and/or color result in a more predominant/more recognizable structure.
 - ii. A common approach is to differentiate the bay of the building that is closest to the corner through the use of offsets, additional height, and differences in roof line, color or material. This will help to delineate and symbolically mark the intersection and physically note its importance.
 - iii. The creation of additional “public space” on the corner can be achieved through the use of a recessed or chamfered entrance that broadens the common area and makes the space more usable. Porticos, colonnades, stoops and similar features fronting the corner further enhance the presence of the building and improve the visual character.

Section 515.A Parking Structures Parking structures and elevated parking decks within the district need to exhibit sensitivity to scale and massing. These structures also need to relate to pedestrian scale

and attempt to integrate with other structures in the broader environment by way of articulation and material usage. A key objective shall be to disguise the structure's function as car storage through the use of screening elements, spandrel panels or glazing systems in conjunction with good façade design strategies.

1. Design strategies that include locating stair wells and/or elevator towers on a corner or public access way improves the overall pedestrian interface with these structures while also improving their massing. These strategies also open the possibility of improved articulation, fenestration, and use of materials for façade enhancement. Lighting can also be employed to further enhance and accent the structure; providing a visual focal point at night.
 - a. Material and/or color usage shall differentiate the ground and upper floors of the structure to improve the relationship with pedestrian scale and the streetscape.
 - b. Facades shall avoid the appearance of support columns unless combined with a screening system. Use of masonry, composite panels or E.I.F.S. systems will lend a sense of permanence and evoke the image of a conventional building rather than an open deck.
 - c. Metal or mesh screening systems can be used to obscure stored cars. These systems should also employ masonry or other suitable material so that the resulting façade does not appear out of character.



- d. Glazing or curtain wall systems can also be used to screen cars and achieve the look of a more conventional building. Window walls or windows set in a backup wall can be detailed to create a more uniform and interesting appearance to the overall structure while concealing its use for parking.

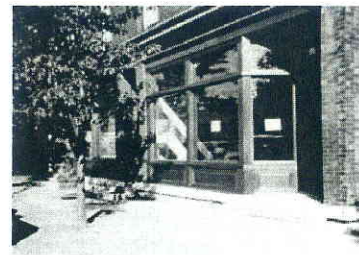


2. Storefronts and leasable commercial space shall be incorporated into the ground floor plan of parking structures. The storefronts shall enhance the streets cape and conform to the design requirements of the Terraced Streetscape zoning.



Section 516.A Exterior Materials Buildings designed with authentic materials in a manner that evidences craftsmanship and detail lend a sense of authenticity and permanence to the buildings themselves. Authentic and permanent materials on building exteriors will provide visual continuity and discernable character to the zoning district.

1. Authentic materials such as brick, cast stone, limestone, concrete block and other conventional masonry products should be used. Exterior finish systems and proprietary panel systems can be employed to the extent that they compliment the material quality of the building and surrounding structures and are used in combination with more permanent/natural materials.[A synthetic or E.I.F.S. clad building with a masonry base detail for example]



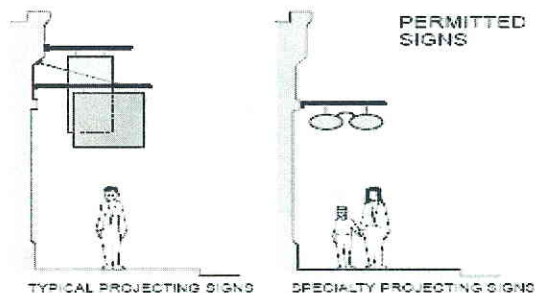
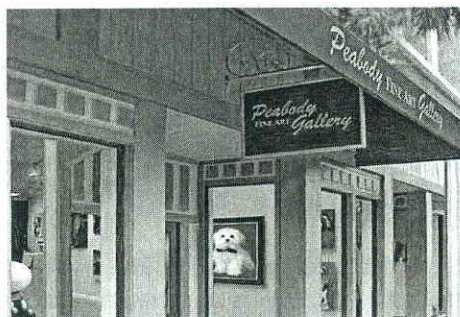
Section 517.A Color Selection In general, it is recommended that the color palette selected for the building exterior not include exceptionally bright or overly colorful schemes. Subtle and complimentary color choices, such as more naturalistic or muted tones are suggested. However, vibrant colors can be used for accent and trim.

1. Painted strips or pronounced patterns on wall surfaces or large surface areas of brilliant color are distracting and shall be avoided.



Section 518.A Signage It is important that the nature of the signage employed by a business does not conflict with the character or goals of the district. Good sign design can both enhance the business and add a dimension of vibrancy and visual interest.

1. The following recommendations shall be considered
 - a. Signs hung parallel to the business shall not overwhelm the storefront or architectural detail of the building.
 - b. Lighting shall not produce glare and automated signage shall not be permitted
 - c. Signs should be designed to draw the attention of the pedestrian rather than motorists within the district. Projecting signage, hung perpendicular to the building is recommended.
 - d. Graphics should be clear and legible. Limited text or company colors/logos should be considered over a heavily stylized or cluttered and confusing sign face.



Section 519.A Lighting The lighting of buildings, entryways, building surfaces or landscape within the district is desirable. Exterior lighting will enliven the district and add a sense of vibrancy as well as enhancing the safety of the area. The use of energy efficient luminaires or LED lighting is encouraged.

1. Commercial facades in the district should utilize lighting in a creative and innovative manner to highlight their business. However, visually distracting and automated signage or moving lighting shall not be permitted.

2. Lighting that produces glare or impedes the vision of motorists or pedestrian traffic is prohibited. Surface mounted lighting must have fixtures that are aimed directly at the targeted façade or surface area and away from traffic.
3. The surface up-lighting of a building is allowed however, light spillage or glare onto adjacent buildings or properties is not permitted.

